



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING

June 3, 2019, 7:00 PM

WASHINGTON COUNTY ADMINISTRATIVE COMPLEX
100 WEST WASHINGTON STREET
2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. May 6, 2019 Planning Commission regular meeting minutes *

MODIFICATIONS

1. PR Valley Limited Partnership [OM-19-003] Modification for proposed 3 lots without public road frontage for property located at 17300 Valley Mall Road; Zoning: PB – Planned Business; Planner: Cody Shaw *

SITE PLANS

1. GTR Auto Transport [SP-19-011] Site plan for a proposed 4,120 square foot truck terminal with maintenance shop for car transport at 13535 Label Lane; Zoning: HI – Highway Interchange; Planner: Lisa Kelly *

OTHER BUSINESS

1. Update of Staff Approvals – Ashley Holloway
2. Election of Officers

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, July 1, 2019, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administrative Complex, 100 W. Washington Street, 2nd Floor, Public Meeting Room #2000, Hagerstown, Maryland

**a t t a c h m e n t s*

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.*



Washington County

M A R Y L A N D

DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: May 20, 2019

SUBJECT: Ordinance Modification for PR Valley Limited Partnership – 3 proposed lots
(OM-19-003)

Attached you will find for your review a modification request to allow the creation of three lots without public road frontage. Section 405.11.B of the Washington County Subdivision Ordinance states that every lot shall abut a minimum of 25 feet and have access to a public road. The applicant is requesting that the Planning Commission approve the creation of these lots without public road frontage. The three proposed lots have existing businesses currently located on them (Olive Garden, Firestone, Golden Corral), and the purpose of this modification and forthcoming plat is to create standalone lots for the properties.

Attached you will find a statement of justification from the applicant listing the reasoning behind the modification request.

The proposed modification request was reviewed by Plan Review (Land Use & Engineering), Emergency Services, and the Halfway Fire Department. All of the reviewing agencies had no comment or objection to the approval of this modification request.

If you have comments regarding the proposed modification and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or cshaw@washco-md.net.

Cody L. Shaw
Chief of Plan Review



OM-19-003
Washington County
M A R Y L A N D

RECEIVED

MAY - 6 2019

**DIVISION OF
PLAN REVIEW & PERMITTING**

**WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT**

**WASHINGTON COUNTY PLANNING COMMISSION
APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION**

APPLICANT

NAME PR Valley Limited Partnership Attn: Steve Hutchinson

MAILING ADDRESS 200 South Broad St, suite 300, Philadelphia, PA 19102-3803

TELEPHONE 215.454.1293 216.212.1779
(home) (work) (cell)

PROPERTY OWNER

NAME PR Valley Limited Partnership Attn: Steve Hutchinson

MAILING ADDRESS 200 South Broad St, suite 300, Philadelphia, PA 19102-3803

TELEPHONE 215.454.1293 216.212.1779
(home) (work) (cell)

CONSULTANT

NAME Fox & Associates, Inc. Attn: Steve Cvijanovich

ADDRESS 981 Mt. Aetna Road Hagerstown, MD 21740

TELEPHONE 301.733.8503 ext. 129

DESCRIPTION OF PROPERTY

TAX ACCOUNT ID # (Required) 029996

PARCEL REFERENCE: MAP 0048 GRID 0018 PARCEL 0728

PROPOSED LOT ACREAGE See Justification Statement TOTAL SITE ACREAGE 63.31

ZONING DISTRICT PB ROAD FRONTAGE (FT) See Justification Statement

9/24/18

Page 1 of 7

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

WWW.WASHCO-MD.NET

**PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE
STANDARDS OF THE SUBDIVISION ORDINANCE**

1. Modification request applications shall be filed with the Washington County Division of Plan Review & Permitting, Washington County Administrative Annex, 80 West Baltimore Street, Hagerstown, Maryland 21740, Phone: 240-313-2460, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed off of the <https://www.washco-md.net/index.php/2017/04/25/plan-review-forms-checklists/>. A Filing fee of \$115.00 dollars should be submitted when no engineering / outside agency review is required. A filing fee of \$265.00 is required when multiple agency review is necessary, and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.

2. The Planning Commission meets on a monthly basis (schedule attached) on the second floor of the County Administration Building, 100 West Washington Street, Room 2000, Hagerstown, Maryland. Attendees must use the entrance on West Washington Street and the elevator to the 2nd floor. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.

3. Upon receipt of the modification application, the Plan Review Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.

4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):

(a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.

(b) The hardship is not the result of the applicant's own actions – that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.

(c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.

(d) That the modification is to correct inequities resulting from a physical hardship such as topography.

(e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.

5. The Director of the Division of Plan Review & Permitting shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:

(a) Where it is impractical to dedicate the full right-of-way required by Washington County Plan Review or State Highway Administration are satisfied with the acquired right-of-way.

(b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.

(c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Plan Review and/or State Highway; and have no negative impact on neighboring properties.

(d) Panhandle Length – based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.

(e) Public Road Frontage – Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by County Plan Review and/or State Highway Administration. There is no negative impact on neighboring properties.

(f) The Director of the Division of Plan Review & Permitting shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.

6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.

7. Appeal by any person aggrieved from any action of the Planning Commission or the Director of the Division of Plan Review & Permitting shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 – Subdivision Ordinance). The BZA is located on the second floor of the County Administration Building, 100 West Washington Street, Room 2000 Hagerstown, Maryland 21740 Phone: 240-313-2460
<https://www.washco-md.net/index.php/2017/04/28/planreview-bza/>

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<u>X</u>	<u> </u>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<u>X</u>	<u> </u>	A filing fee of \$115.00 when no Engineering or outside agency review is required. A fee of \$265.00 is required when multiple agency reviews are required. Make check payable to: Washington County Treasurer. Include fee worksheet.
<u>X</u>	<u> </u>	Twelve (12) sketch plans, drawn to scale, showing:
<u>X</u>	<u> </u>	a. dimensions & shape of proposed lot with acreage;
<u>X</u>	<u> </u>	b. size & location of existing and/or future structures;
<u>X</u>	<u> </u>	c. existing/proposed roadways and associated access right of way or easements;
<u>X</u>	<u> </u>	d. existing/proposed entrance/exit to property;
<u>N/A</u>	<u> </u>	e. natural or topographic peculiarities of the lot in question.
<u>X</u>	<u> </u>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

2018 Planning Commission Meeting Schedule

December 4, 2017

January 8, 2018

February 5, 2018

March 5, 2018

April 2, 2018

May 7, 2018

June 4, 2018

July 2, 2018

August 6, 2018

September 10, 2018

October 1, 2018

November 5, 2018

December 3, 2018

The Planning Commission's Policy #7 states, "Approvals from agencies for all matters to be considered by the Commission must be received by the Planning Commission office no later than 9:00 a.m. two Monday's prior to the Commission meeting. All matters not received by the times indicated will be deferred until the Commission's regular meeting the following month." Determination for plan readiness for review by the Planning Commission is determined by the Division of Plan Review & Permitting.

All regular monthly Planning Commission meetings will be held on the second floor of the County Administration Building located at 100 West Washington Street, Room 2000, Hagerstown, Maryland. Attendees must use the entrance on West Washington Street and the elevator to the second floor. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed.

Workshop meetings will be scheduled on an as-needed basis.

Statement of Justification to the Requested Modification

The Valley Mall shopping center is located within the PB-Planned Business District. The Valley Mall shopping center is comprised of multiple lots of record that have been created over time from the original early 1970's development of the mall through the last year. For example, the former Sears (formerly Montgomery Wards) and the former auto center buildings are situated on a lot independent of the lot that the main mall building is situated on. This also is true for the One-Life Fitness Center and the adjacent Tilt arcade as these current tenants are in the space that was originally developed as a Hecht's department store and later rebranded to Macy's. There are a number of other businesses at the Mall that are on their own lots of record. These businesses include Popeye's, Burger King, National Tire and Battery (NTB), Chuck-E-Cheeses, and Country Inn and Suites by Radisson.

The project owner wishes to prepare subdivision plats for Olive Garden, Firestone, and Golden Corral that would result in these businesses being on their own lots of record. In order to create individual lots for these existing businesses an ordinance modification is being sought.

The purpose of this ordinance modification is to seek relief from section 405.11.B of the subdivision ordinance. The referenced section of the subdivision ordinance states " **Every lot shall abut a minimum of twenty-five (25) feet, and shall have access to a road or street that has been dedicated to public use and accepted for public maintenance,**" Each of the three lots proposed to be created are improved currently and are occupied by Olive Garden Firestone, Golden Corral. These businesses are currently on the parcel that contains the main Mall Building. This parcel is 63.31 acres in size according to the SDAT records. Each of these three (3) businesses do have frontage along a public road, but the existing ingress/egress to all three (3) of these businesses does not utilize an entrance onto a public road directly, but utilize the main drive aisles on the mall parcel as their means of ingress/egress to the respective businesses. Given the Mall was developed prior to many current regulations being in place and also that the entrances utilized by the aforementioned businesses also exist, a hardship is created should "new" entrances from the aforementioned businesses be constructed as the horizontal spacing of these "new" entrances compared to the current entrances being utilized by the aforementioned businesses would not be compliant with the County entrance spacing criteria. It would be expected that the County would deny access onto the public roads that these businesses front should a new entrance be proposed. Additionally, it is not the intent to alter these businesses in any way from their current site configuration.



ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

May 3, 2019

Cody L. Shaw, Chief of Plan Review
Washington County Department of Plan Review and Permitting
80 West Baltimore Street
Hagerstown, MD 21740

Re: Valley Mall Subdivision Ordinance Modification Request for proposed Olive Garden,
Firestone, Golden Corral lots

Dear Cody,

As you know we've filed a Subdivision Ordinance Modification Request that is associated with the Valley Mall owner's desire to subdivide Olive Garden, Firestone, and Golden Corral from the current Mall parcel. As explained in the **Statement of Justification** contained within the Subdivision Ordinance Modification application, the existing condition of the physical improvements on Olive Garden, Firestone, and Golden Corral will remaining exactly as they are today under the subdivision proposed. As I explained in recent conversations, the intent of the subdivision of these businesses is to result in the existing businesses to be on their own lot(s) similar to other businesses at Valley Mall. The exhibit contained in the Subdivision Ordinance Modification do represent the extent of the lots proposed. Therefore, and working on the assumption that the Planning Commission will act favorably on the Subdivision Ordinance Modification we respectfully request that the Planning Commission allow the Final Plats to be reviewed at Staff level and not require another appearance before the Planning Commission for action on the Final Plats for Olive Garden, Firestone, and Golden Corral. We feel this request is a reasonable request given the businesses mentioned are existing and no physical changes to the sites on which these businesses are situated will result from the subdivision now being proposed.

In closing, please consider this correspondence as an official request for you to present to the Planning Commission our request to allow these Final Plats to be reviewed and approved at Staff level and not require attendance at a Planning Commission meeting for approval of the Final

Plats for the three (3) lots proposed. Should you have any questions or require additional information please don't hesitate to contact me directly.

Sincerely,
FOX & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Stephen C. Cvijanovich', with a stylized, flowing script.

Stephen C. Cvijanovich
Senior Project Manager

Copy to: PR Valley Limited Partnership, File

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
SUITE "C"
FREDERICK, MD. 21703
PHONE: (301) 895-0880
or (301) 735-7230
FAX: (301) 735-1853
www.foxassociatesinc.com
Email: foxasso@foxassociatesinc.com

DOWN BY

REVISION

DATE

EXHIBIT
SUBDIVISION ORDINANCE MODIFICATION

VALLEY MALL

WASHINGTON COUNTY, MARYLAND

SCALE: 1"=120'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No. EXP. DATE:

PROJECT NO. 19-50951

DRAWING NO. D-6304

DATE: APRIL, 2019

DRAWN BY: MTB/DCM

CHECKED BY: SCC

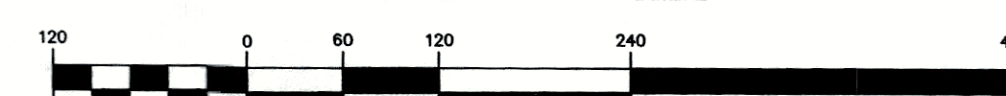
SHEET 1 OF 1

RECEIVED

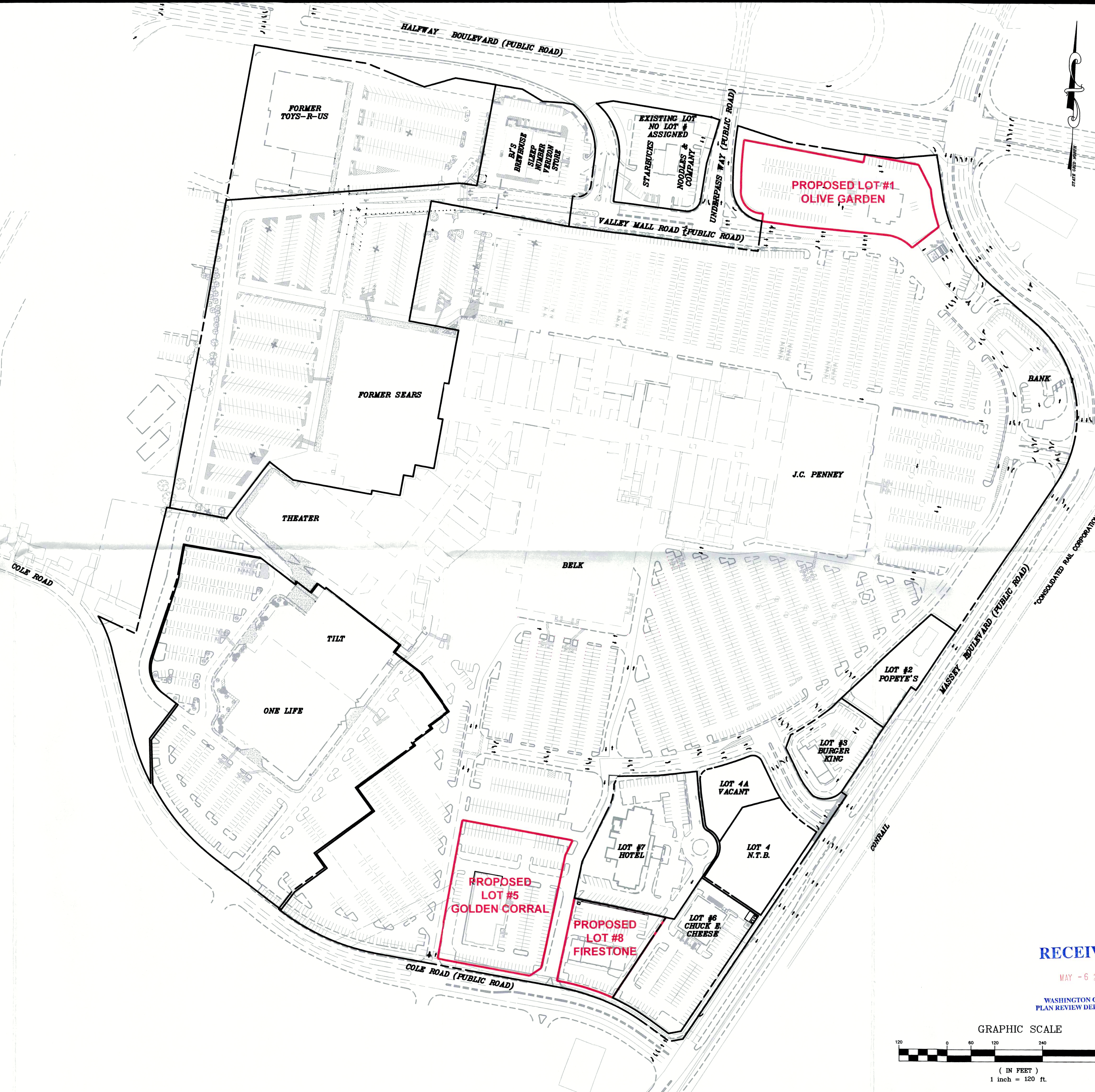
MAY - 6 2019

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

GRAPHIC SCALE



(IN FEET)
1 inch = 120 ft.



Site Plan for GTR Auto Transport LLC

Presented for approval is a site plan for GTR Auto Transport.

The subject site is located along the east side of Label Lane near Maugansville.

Zoning is Highway Interchange.

The developer is proposing to construct a 4,120 square foot truck terminal with maintenance shop for car transport. Parcel area is 3.60 acres.

There will be 4 employees on the site.

Hours of operation will be 9 – 6 Monday through Friday.

Total parking required for cars is 11 spaces – 11 spaces will be provided. There will be 12 truck parking spaces provided for in the future. The site will be surrounded by an 8 foot chain link fence with a gate at the entrance onto Label Lane.

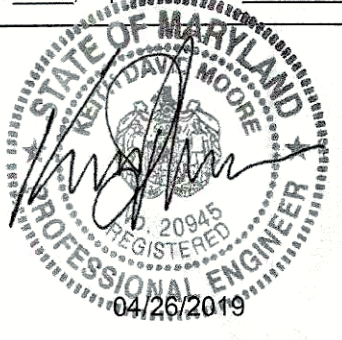
Trash will be collected on the inside.

Signage will be building mounted; lighting will be building mounted and pole mounted.

Landscaping is proposed for the bio retention ponds.

Forestation was addressed when subdivision occurred in 2004.

Approvals

MD-ENG-6A 1/89 UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777	USDA SCS OWNER / DEVELOPERS CERTIFICATION "I/We certify all/any parties responsible for clearing, grading, construction and/or development will, be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." 4/25/19 Mike Suleymanov DATE PRINTED NAME _____ SIGNATURE
DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>3.0</u> ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>2,685</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>1,353</u> CU. YDS. OF FILL.	OWNER / DEVELOPERS CERTIFICATION "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." 4/25/19 Mike Suleymanov DATE PRINTED NAME _____ SIGNATURE
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)	ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.14.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control. 04/26/2019 20945 DATE REG. NO. _____ SIGNATURE Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20945, Expiration Date: 2019-08-23.
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility. _____ SIGNATURE DATE	
ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant." _____ SIGNATURE DATE SEAL	

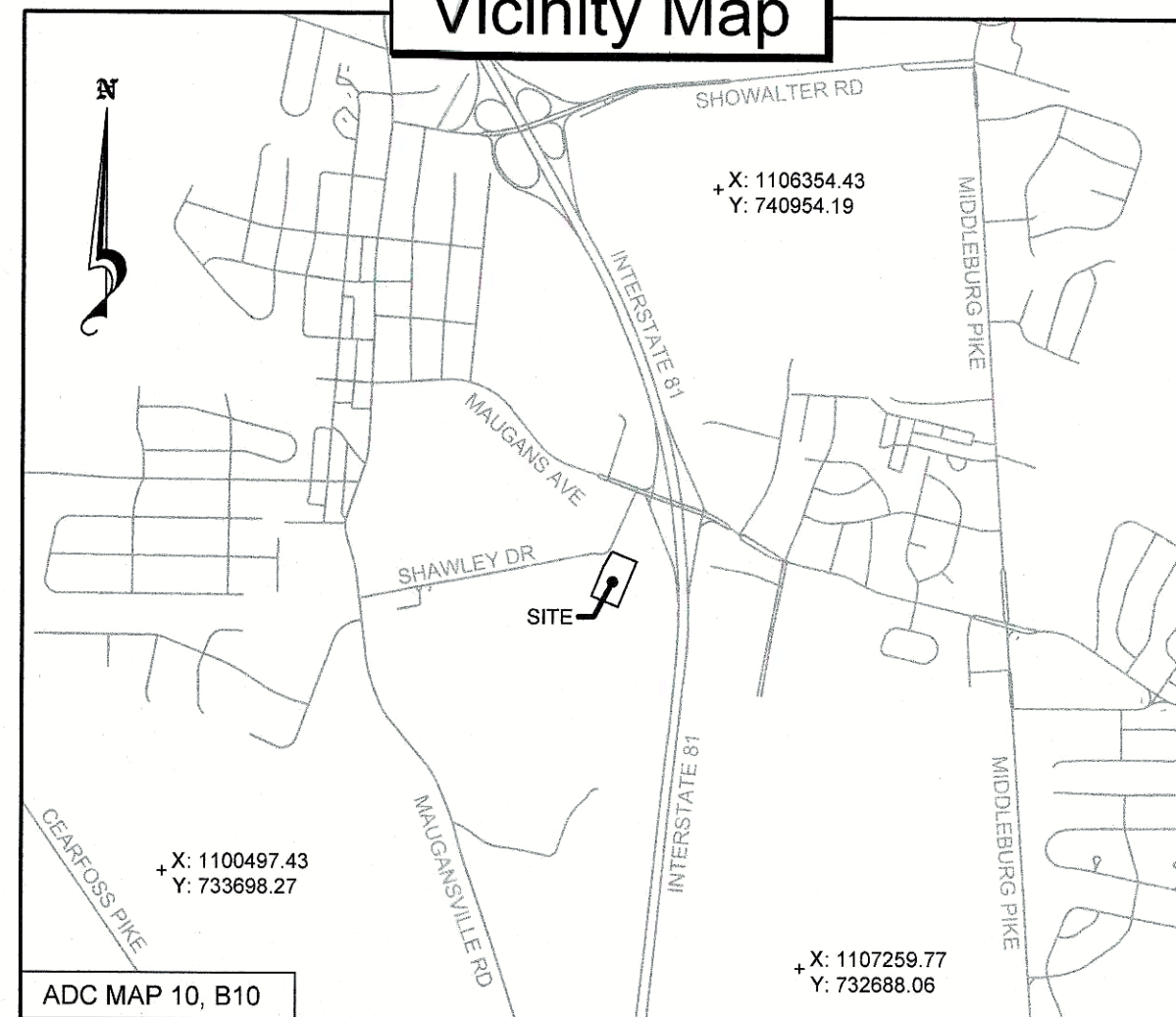
Site Plan for *GTR Auto Transport LLC*

Situate at:
13535 Label Lane
Hagerstown, MD 21740

OWNER/DEVELOPER:
GTR Auto Transport LLC
13026 Nittany Lion Circle
Hagerstown, MD 21740

ATTN: Mike Suleymanov
PHONE: 301-302-7620

Vicinity Map



Sheet Index

TYPE	NUMBER	TITLE
G-001	Sheet 1	Cover Sheet
G-002	Sheet 2	General Notes
V-101	Sheet 3	Existing Conditions
C-101	Sheet 4	Sediment Erosion Control Plan
C-102	Sheet 5	Grading Plan
C-103	Sheet 6	Site and Dimension Plan
C-104	Sheet 7	Utility & Drainage Plan
C-105	Sheet 8	Stormwater Management Plan
C-201	Sheet 9	Utility & Stormwater Management Profiles
C-501	Sheet 10	Sediment Erosion Control Details & Notes
C-502	Sheet 11	Site Details & Notes
L-101	Sheet 12	Landscape Plan, Details, & Notes

SWM Narrative

This stormwater management narrative is for the ultimate construction of a truck shop, office, and truck parking lot. The site is located along the eastern side of Label Lane. The property is 3.6 acres on one parcel, 0.77 acres of the parcel will be dedicated to Washington County for a future road expansion. There is 0.0 s.f. (0.0 ac.) of existing impervious area on the site. The zoning for the site is (H1) - Highway Interchange. The proposed impervious coverage for the site is 78408 s.f. (1.8 ac.) on 2.5 acres of disturbed area. This equates to a water quality volume of 6,534 CF and a ESDv of 11,761 CF. The site is graded to drain all runoff into 2 micro-bioretenention ponds. The micro-bioretenention ponds provide 12,175 CF of treatment volume, which is more than the 11,761 CF that's required. Water quantity for the site has been provided within the existing stormwater management pond. The pond was designed and constructed to manage 3.06 acres (85%) of impervious coverage from the previously approved site plan. Since this plan only proposed 1.8 acres of impervious coverage, stormwater management is addressed.

ESD Practices (Chapter 5 - Structural & Non-Structural)									
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	ESDv (ac-ft)	WQv (ac-ft)	CPv (ac-ft)	CPv (cfs) (Discharge)	Rev (ac-ft)
Bio-Pond	1	0.9100	0.7600	83	0.1000	0.0650	0.1000	2.2500	Not Recommended
Bio-Pond	2	1.2400	0.9800	80	0.1800	0.0850	0.1200	2.6300	Not Recommended

		GRADING CHK BY: KDM	DATE: 2019	PROJECT NUMBER:
		SEC CHK BY: DST	DATE: 2019	Cover Sheet
Resubmittal Set	04-25-19	SWM CHK BY: KDM	DATE: 2019	G-001
Submittal Set	03-01-19	PLAN CHK BY: KDM	DATE: 2019	SHEET 1 OF 12
DESCRIPTION:	DATE:			SP-19-011

GENERAL NOTES

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
- | | |
|-----------------------------------------------------------|-------------------------|
| Miss Utility | 1-800-257-7777 |
| Washington County Land Development Engineering Department | (240) 313-2400 |
| City of Hagerstown Water Department | (301) 739-8577 ext. 650 |
| Washington County Department of Water Quality | (240) 313-2600 |
| Washington County Soil Conservation District | (301) 797-6821 Ext. 3 |
- G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- G.9 Benchmark as shown on Sheet V-101. Elevations based on NAVD 83. The contractor must have Frederick Seibert & Associates verify benchmarks before any construction activity begins.
- G.10 The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- G.15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- G.16 Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
- G.17 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
- G.18 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
- G.19 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- G.20 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- G.21 All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- G.22 The existing site contours shown hereon were obtained from an field survey completed and verified by FSA (Contour accuracy is to plus or minus one half the contour interval).
- G.23 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- G.24 Exterior lighting will consist of building mounted lights as shown on the architectural plans and pole mounted lights directed on site as shown on the site plan and electrical plan.
- G.25 The contractor shall provide MOSH safety assistance for W.P.C inspector.
- G.26 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- G.27 All grading for this project shall be the full responsibly of the property owner.

Site Data

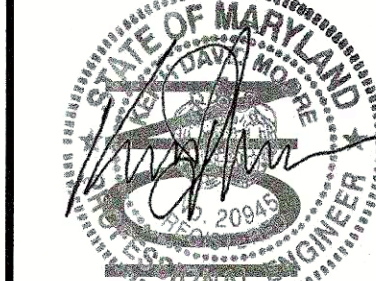
Tax Map	0024
Parcel	1122
Election District	13
Zoning	HI - Highway Interchange
Setbacks	Front - 40', Rear - 10', Side - 10'
Max. Building Height	No structure may exceed seventy-five (75) Feet in height, including any sign that may be located on the top of the structure, except as provided in article 23.
Functional Description	Truck Terminal & Maintenance Shop
Number of Employees	4
Hours of Operation	9am - 6pm (Monday - Friday)
Deliveries	Tractor Trailer, Box Truck (Daily)
Parcel Area	3.6 Ac+/-
Existing Impervious Area	0.00 Ac
Proposed Impervious Area	1.80 (50%)
Proposed Building Area	4,120 SF
Proposed Building Height	20'
Total Parking Required	11 = 5 + 4 + 4 (1 Space per 300 SF of office space + 2 space per service bay + 1 space per employee)
Total Parking Provided	11 Spaces Regular- 10 Spaces Handicap- 1 Space
Water	City of Hagerstown Water Department
Wastewater	Water County Department of Water Quality
Water & Sewer Usage:	
Proposed Water Allocation	200 GPD
Proposed Wastewater Discharge	200 GPD
Proposed Site Lighting	(See Site Plan) Pole and Building Mounted Lights
Solid Waste	(Storage and Collection) Inside Private Trash Container
Proposed Signage	(See Site Plan) Building Mounted
Watershed	Conococheague Creek
8 Digit Watershed #	02-14-05-04
FEMA Panel	24043C0136D & 24043C0128D Dated August 15, 2017
Flood Plain	None
Streams, Wetlands or Buffers	None
Forest Conservation	Payment in Lieu per Approved Plan SP-04-037

Abbreviation Legend

AASHTO	= American Association OF State Highway and Transportation Officials	N.T.S.	= Not To Scale
ADS	= Advanced Drainage System	O.A.E.	= Or Approved Equal
ASTM	= American Society for Testing & Material	O.C.	= On Center
AWWA	= American Water Works Association	PC	= Point of Curvature
BLDG	= Building	PCC	= Point of Compound Curve
BOT	= Bottom	PGL	= Proposed Grade Line
CIP	= Cast Iron Pipe	PRC	= Point of Reverse Curve
CL	= Centerline	PT	= Point of Tangent
CMP	= Corrugated Metal Pipe	PVC	= Point of Vertical Curve
CO	= Sanitary Sewer Plan	PVI	= Point of Vertical Intersection
CONC	= Concrete	PVT	= Point of Vertical Tangent
DA	= Drainage Area	R/W	= Right-of-Way
DIA	= Diameter	SAN	= Sanitary
EGL	= Existing Grade Line	SCE	= Stabilized Construction Entrance
EX	= Existing	SDR	= Standard Dimension Ratio
FH	= Fire Hydrant	SDMH	= Stormdrain Manhole
GV	= Gate Valve	SF	= Square Feet
HGL	= Hydraulic Grade Line	SSMH	= Sanitary Sewer Manhole
HDPE	= High Density Polyethylene	STA.	= Station
INV	= Invert	STD	= Standard
LF	= Linear Feet	SY	= Square Yard
MAX	= Maximum	T.A.N.	= Type As Noted
MB	= Mail Box	TEMP	= Temporary
MIN	= Minimum	TG	= Top of Grate
MJ	= Mechanical Joint	TYP	= Typical
NO	= Number	VIF	= Verify in Field
N.T.C.	= Not This Contract	WM	= Water Valve

Legend

SYMBOL		FEATURE	
EXISTING	PROPOSED		
		Property Line, Corner	
		Permanent Easement	
		Centerline	
		Contours	
		Tree Line	
		Edge of Pavement	
		Concrete Curb	
		Stream or Ditch	
		Flow Line	
		Water Line	
		Sanitary Sewer Line, Stub	
		Gas Line	
		Force Main	
		Storm Drain, End Section	
		Roof Drain Pipe	
		Water Valve	
		Water Cap, Reducer	
		Fire Hydrant, Water Valve	
		Overhead Electric Line	
		Guardrail	
		Railroad Tracks	
		Buildings, Houses, Garages	
		Sanitary Sewer Manhole	
		Storm Drain Inlet	
		Utility Pole	
		Handicap Parking	
		Pole Light	
		Road Sign	
		Spot Elevation	
		Double Water Meter	
		Double Sewer Cleanout	
		Detail Reference	
W	Single Water Meter	W	Double Water Meter
SS	Single Sewer Cleanout	SS	Double Sewer Cleanout
Detail #		Sheet #	
P.I.	Point of Intersection	P.O.L.	Point of Line
P.C.	Point of Curvature	B.C.	Bottom of Curb
P.T.	Point of Tangency	T.C.	Top of Curb



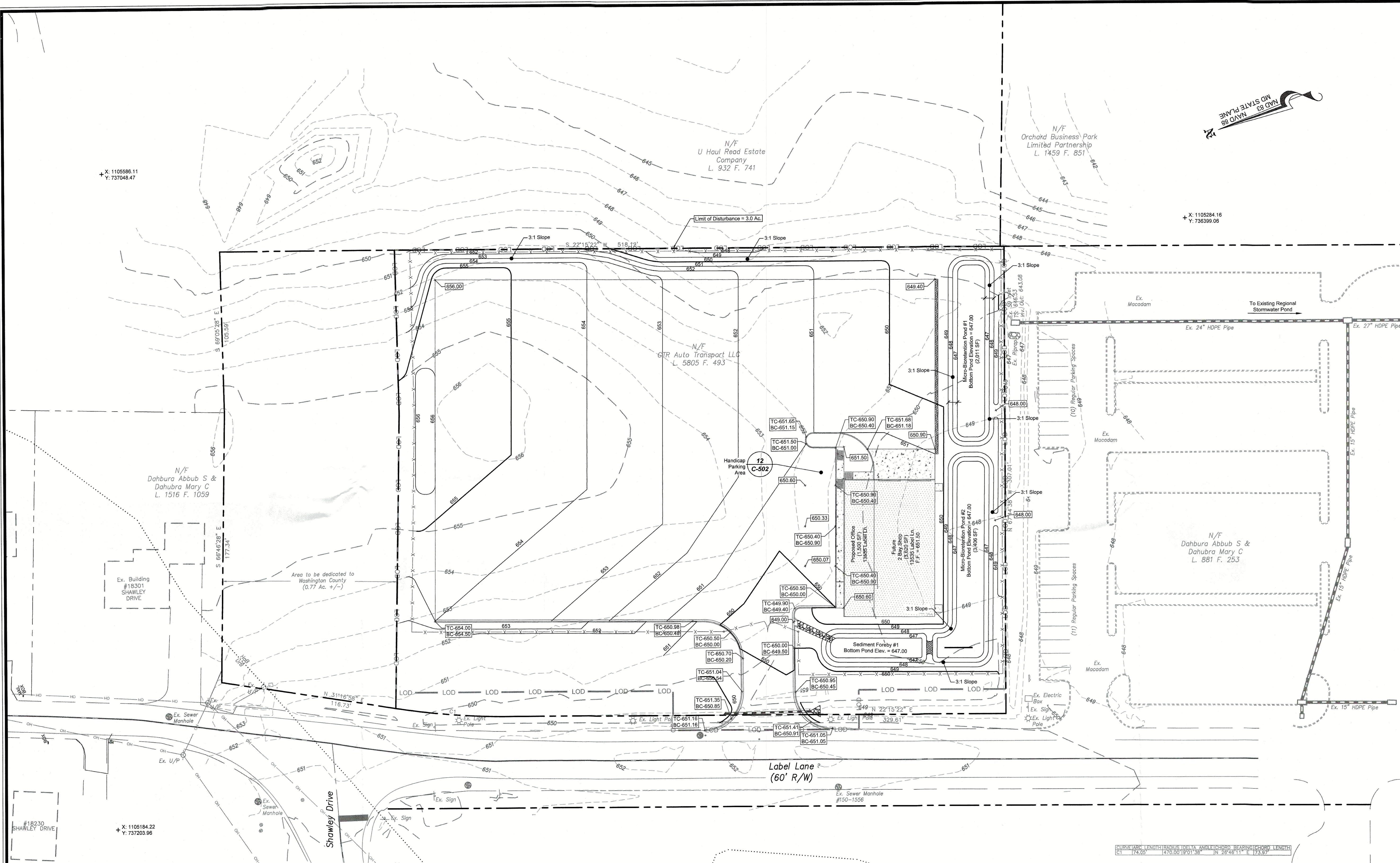
Professional Certification
I hereby certify that the drawings were prepared, approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20945 Expiration Date: 05-26-2019

FREDERICK SEIBERT & ASSOCIATES, INC.
Civil Engineers, Surveyors, Land Surveyors, Architects and Drafters
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17033
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
(717) 797-8111
(717) 797-1027
www.fsa-inc.com
(717) 416-7476
(717) 791-5802

DATE: 03-25-19
DESCRIPTION: Revised per agency comments
MARK: NOT APPROVED

GTR Auto Transport LLC
1306 Nittany Lane
Hagerstown, MD 21740
WASHINGTON COUNTY, MARYLAND
client: GTR Auto Transport LLC
1306 Nittany Lane, Hagerstown, MD 21740
301-302-1620

PROJECT NO: 7439
CAD DWG FILE: 7439 - GTR Transport LLC
DWN BY: BAB
DATE: 11-30-2018
CHK BY: DATE: 12-2018
DST
TAX MAP: 0024-016-1122-13 ELECTION DIST.
SCALE: N.T.S.
SHEET TITLE: General Notes
G-002
SHEET 2 OF 12
SP-19-011



Hatch Legend

	Proposed Building
	Proposed Concrete

General Grading Notes:

1. The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils. Please be alert to the possibility of sinkhole formation.

2. All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole.

3. Per Geo-technical recommendations from Triad Engineering dated 01/30/2019: The high plasticity clay soils encountered at the site will not be suitable for re-use as controlled fill for the gravel parking lot. The contractor shall remove these materials to a minimum of 1' below subgrade elevation and replace them with suitable materials such as decomposed shale, CR-6 aggregate or low plasticity soils. The contractor shall contact the Geo-technical engineer for more information and recommendations.

STANDARD UTILITY NOTES:

1. Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.

2. Contractor to place excavated materials in a dump truck and hauled to an approved location to wasted materials to paved areas.

3. Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.

4. In areas where the construction takes to place outside of the existing roadbed, Contractor to install silt fence along the downhill side of the trench before beginning construction and place excavated material from the trench on the uphill side.

5. If dewatering of the trench is required, Contractor to pump water to a filter bag to dewater.

6. Contractor to sweep streets of any debris or sediments caused by construction operations and dispose of at an approved location.

7. Contractor to stabilize all disturbed areas with seed & mulch or appropriate street repair.

CHURCHMAN LENGTH RADIUS DELTA ANGLE CHORD BEARING CHORD LENGTH

C1 74.05' 470.00' 90°1'38" N 26°48'11" E 173.97'

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft

PROJECT NO. 7439

CAD DWG FILE 7439 - GTR Auto Transport LLC

DWN BY BAB DATE 11-30-2018

CHK BY DST DATE 12-2018

TAX MAP 0024-015-1122 ELECTION DIST. 13

SCALE 1" = 30'

SHEET TITLE Grading Plan

C-102

SHEET 5 OF 12

SP-19-011

UNDER AGENCY REVIEW-NOT APPROVED

DATE: 04-25-19

DESCRIPTION: Revised per agency comments

MARK: [Blank]

FREDERICK SEIBERT & ASSOCIATES, INC.

CIVIL ENGINEER, SURVEYOR, LANDSCAPE ARCHITECT, AND PLANNERS

101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013

(717) 791-8800

(717) 791-8807

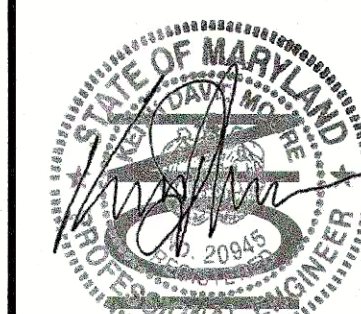
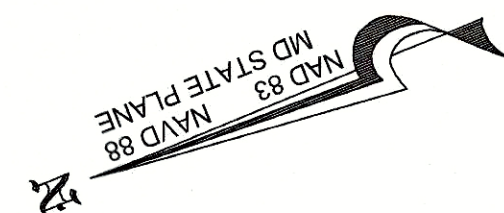
(717) 791-8811

+ X: 1105586.11
Y: 737048.47

N/F
U Haul Road Estate
Company
L. 932 F. 741

N/F
Orchard Business Park
Limited Partnership
L. 1459 F. 851

+ X: 1105284.16
Y: 736399.06



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer for the State of Maryland. License No. 20945, Expiration Date: 05-23-2019.

FREDERICK S. EIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS AND PLANNERS
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17226
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
(717) 741-5800
(717) 741-5811

MARK	DESCRIPTION	DATE
	Revised per agency comments	04-25-19

NOT APPROVED FOR REVIEW-AGENCY
GTR Auto Transport LLC
1330 West Lige Highway, MD 21740
WASHINGTON COUNTY, MARYLAND
GTR Auto Transport LLC
13026 Nitany Lion Circle Hagerstown, MD 21740
301-302-7620

PROJECT NO.	7439
CAD DWG FILE	7439 - GTR Auto Transport LLC
DWN BY	BAB
CHK BY	DST
TAX MAP	0024-016-1122
SCALE	1" = 30'
SHEET TITLE	Site & Dimension Plan
SHEET	6 OF 12
SP-19-011	

N/F
Dahbura Abbub S &
Dahubra Mary C
L. 1516 F. 1059

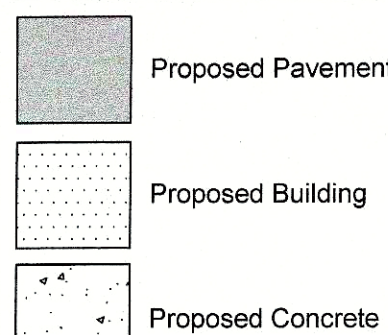
Ex. Building
#18301
SHAWLEY
DRIVE

Area to be dedicated to
Washington County
(0.77 Ac. +/-)

N/F
GTR Auto Transport LLC
L. 5805 F. 493

N/F
Dahbura Abbub S &
Dahubra Mary C
L. 881 F. 253

Hatch Legend



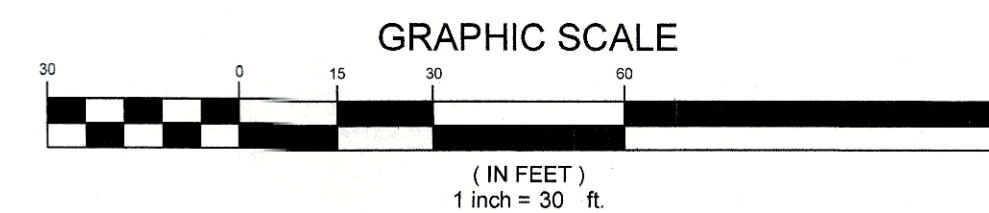
Striping Legend

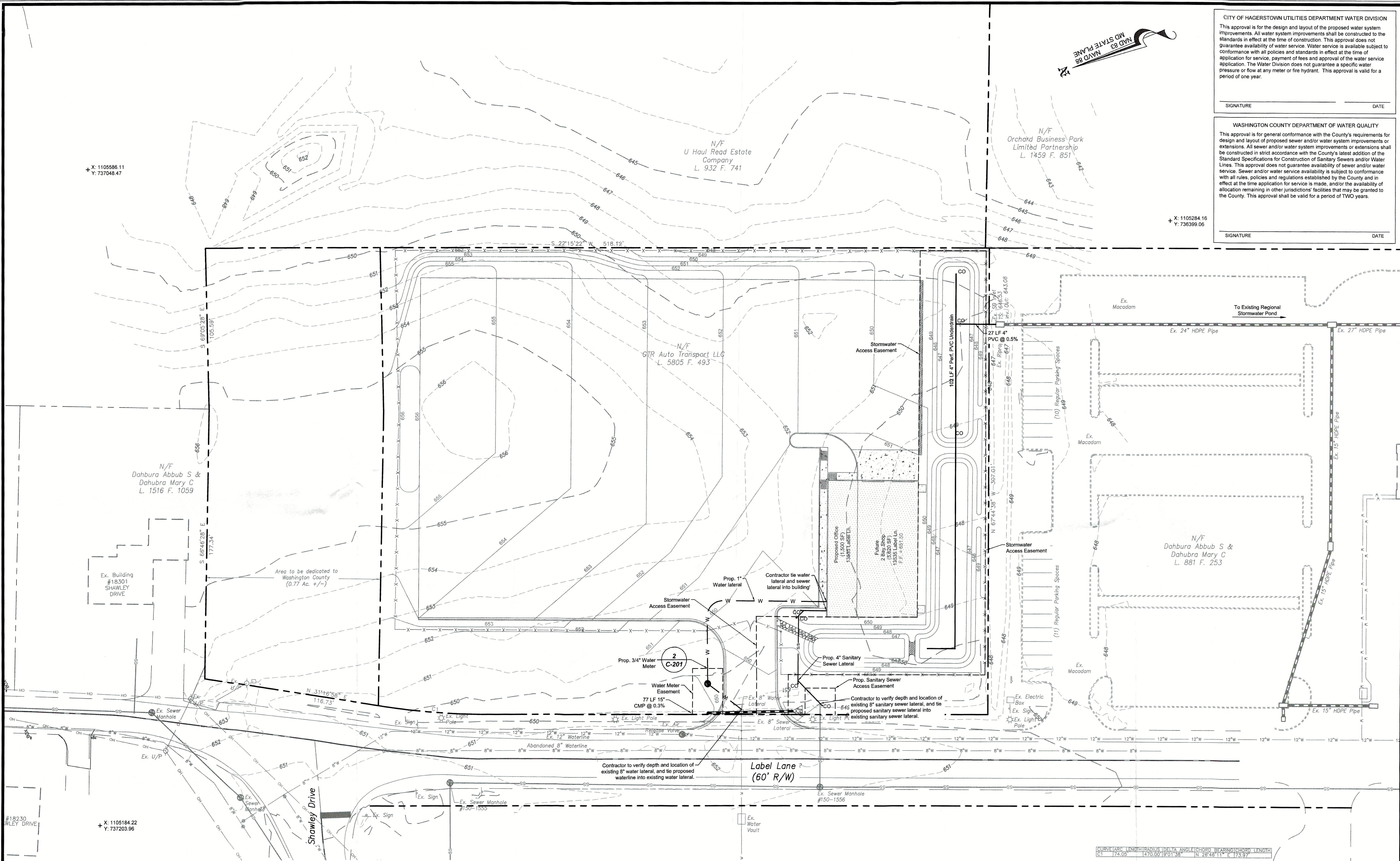
- 24" Wide solid white stop bar
- 5" Wide solid double yellow center line
- 4" Wide solid white parking delineation
- 4" Wide solid white line @ 45° w/ 2' spacing

Notes:

- The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils. Please be alert to the possibility of sinkhole formation.
- All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole.

CURVE ARC LENGTH CHORD BEARING CHORD LENGTH
C1 174.05 1270.00 1901.36 N 28°48'11" E 173.97





Utility Notes

U.1 All water facilities shall be constructed in conformance with City of Hagerstown Utilities Department and State of Maryland Department of the Environment standards and specifications.

a. All fittings, bends, and appurtenances shall be installed with proper and required concrete buttresses. All dead end services shall be properly capped and buttressed.

b. All pipe joints shall be left open until water line has been hydrostatically tested unless directed otherwise by the City of Hagerstown Utilities Department.

c. All underground water lines are to be installed with a cover of 3' below finished grade.

U.2 All sanitary sewer facilities shall be constructed in conformance with the Washington County Utilities Department and State of Maryland Department of the Environment standards and specifications.

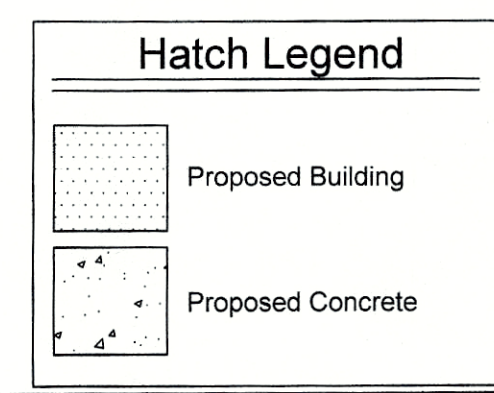
a. All sewer lines to be PVC-SDR-35 (public), or Sch. 40 (private).

b. All bedding and embedment material and compaction shall meet Hagerstown Utilities Department specifications.

U.3 The Contractor shall verify the location and elevation of existing utilities before starting construction.

U.4 The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.

U.5 Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.

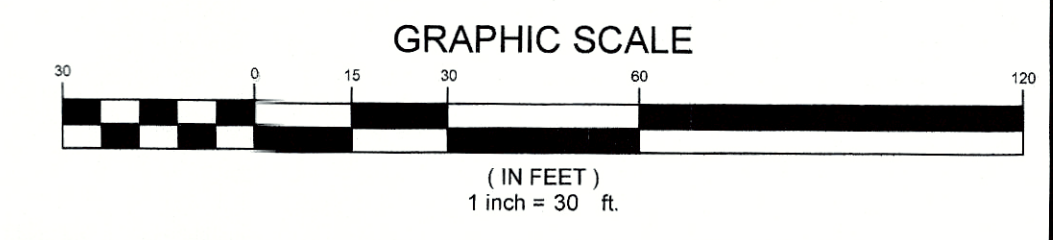


Water & Wastewater Allocation:

Proposed Water Allocation = 200 G.P.D.

Proposed Wastewater Allocation = 200 G.P.D.

CURVE DATA: LENGTH=174.05', RADIUS=1476.00', DELTA ANGLE=19°01'38", CHORD BEARING=N 26°46'11" E 173.97'



CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION

This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE _____ DATE _____

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

SIGNATURE _____ DATE _____

STATE OF MARYLAND

PROFESSIONAL ENGINEER

04/26/2019

Professional Participation

I hereby certify that these drawings were prepared, designed by me, and I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22945, Expiration Date 09/23/2019.

FREDERICK SEIBERT & ASSOCIATES, INC.

CIVIL ENGINEERS, SURVEYORS, LANDSCAPE ARCHITECTS, AND PLANNERS

20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17228

101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013

(817) 791-5830 (817) 415-7478 (717) 701-9111

DATE: 04-26-19

DESCRIPTION: Review per agency comments

MARK:

PROJECT NO.: 7439

CAD DWG FILE: 7439 - GTR Transport LLC

DWN BY: BAB

DATE: 11-30-2018

CHK BY: DST

DATE: 12-2018

TAX MAP: 0024-015-1122

ELEVATION DIST: 13

SCALE: 1" = 30'

SHEET TITLE: Utility & Drainage Plan

C-104

SHEET 7 OF 12

SP-19-011

Specifications for Bioretention
(Reference - Maryland Stormwater Design Manual, Volume Two, Appendix B-4)

Material Specifications
The allowable materials to be used in bioretention areas are detailed in Table B.4.1

Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
- Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content - Media shall have a clay content of less than 5%.
- pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

Compaction

It is very important to minimize compaction of both the base of the bioretention area and the required backfill. When possible, use excavation hoses to remove original soil. If bioretention areas are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause compaction resulting in reduced infiltration rates and storage volumes and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention area facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the required sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand / topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts of 12 inches or greater. Do not use heavy equipment within the bioretention area. Heavy equipment may be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. Root stock of the plant material shall be kept moist during transport and on-site storage. Planting pits shall follow LCA planting guidelines. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed shall be tilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling, the primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch is used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

Underdrains

Underdrains should meet the following criteria:

- Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer.
- The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations - If perforated pipe is used, perforations should be 1/2" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel - The gravel layer (No. 57 stone preferred) shall be at least 1" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/2" to 3/4" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

Miscellaneous

These practices may not be constructed until all contributing drainage area has been stabilize.

Bio-retention berms are to be constructed per the MD 378 small pond standards with respect to materials, placement, and compactions.

Table B-4.1 Material Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration

Material	Specification	Size	Notes
Plantings	see planting list	n/a	plantings are site-specific
Planting Soil	loamy sand (60 - 65%) & compost (35 - 40%) (2" to 4" deep)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood	n/a	aged 6 months; minimum, no pine or wood chips
Pea gravel diaphragm	pea gravel, ASTM-D-448	No. 6 or No. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone, washed cobbles	stone, 2" to 5"	PE Type 1 nonwoven
Geotextile		n/a	
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" rigid sch. 40 PVC or SDR35	Slotted or perforated pipe, 3/8" perf @ 6" o/c, 4 holes/row; min. 3' of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4 inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3, Fc = 3500 psi @ 28 days normal weight, air-entrained, reinforcing to meet ASTM 615-60	n/a	On-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional engineer licensed in the State of Maryland - design to include meeting ACI Code 308.1R89; vertical loading (14-10 or 14-25) allowable horizontal loading (based on soil pressure); and analysis of potential cracking
Sand	AASHTO M-6 or ASTM C-33	0.02" to 0.04"	Sand substitution such as Dababase and Graystone (AASHTO) #10 are not acceptable. No calcium chlorinated or chlorinated sand substitutions are acceptable. No "rock dust" can be used for sand
Compost	MSHA Standard Specifications for Construction and Materials, July 2008 920.02.05 Compost	Uniform particle size of 0.5" or less	Source - Separated Compost (Type B). Type B Compost shall be tree leaf compost or non-tree leaf compost. Type B Compost produced from lawn clippings shall be tested for contaminants in conformance with Maryland law and regulations

Notice of Required Stormwater Management Inspections
Sand Filters, Bioretention and Rain Garden Facilities

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

Inspection Item	Bio #1	Bio #2
EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.	Certifying Engineer Date County Inspector Date Certifying Engineer Date County Inspector Date	

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.

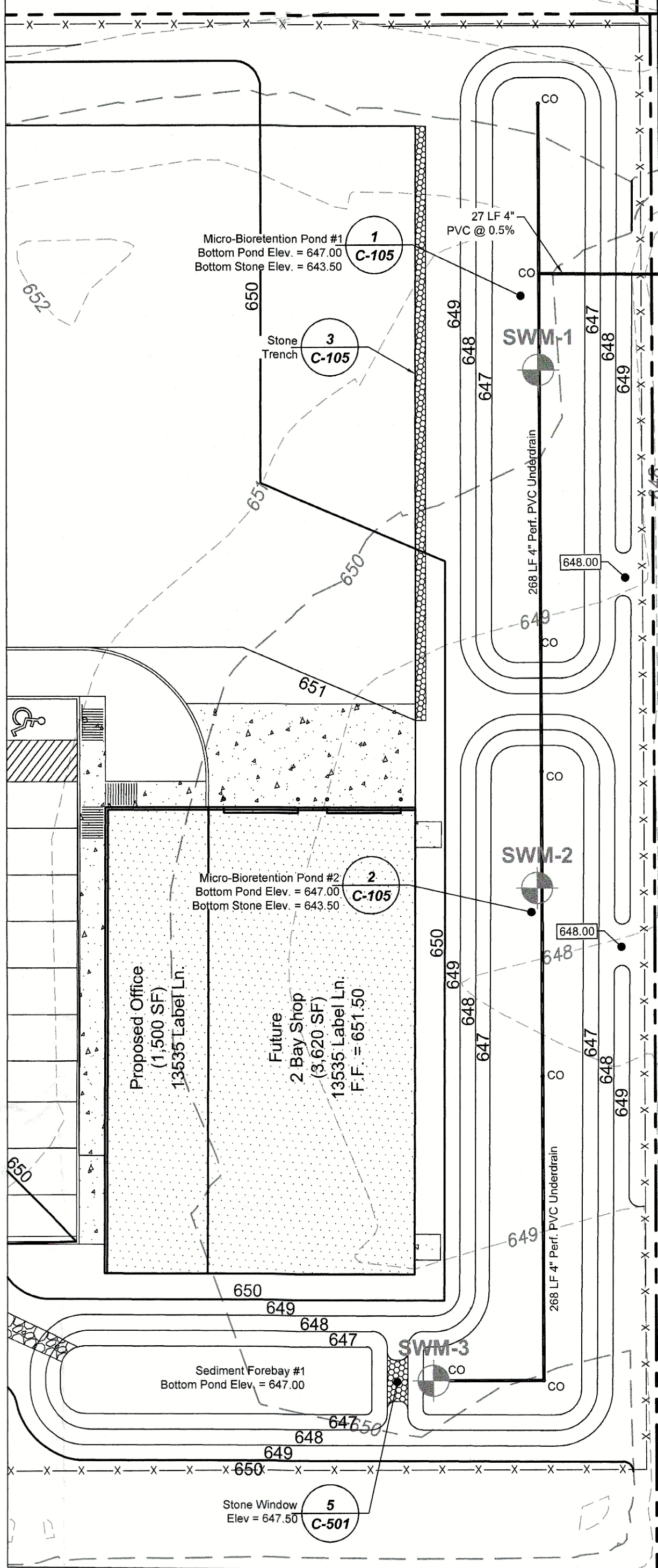
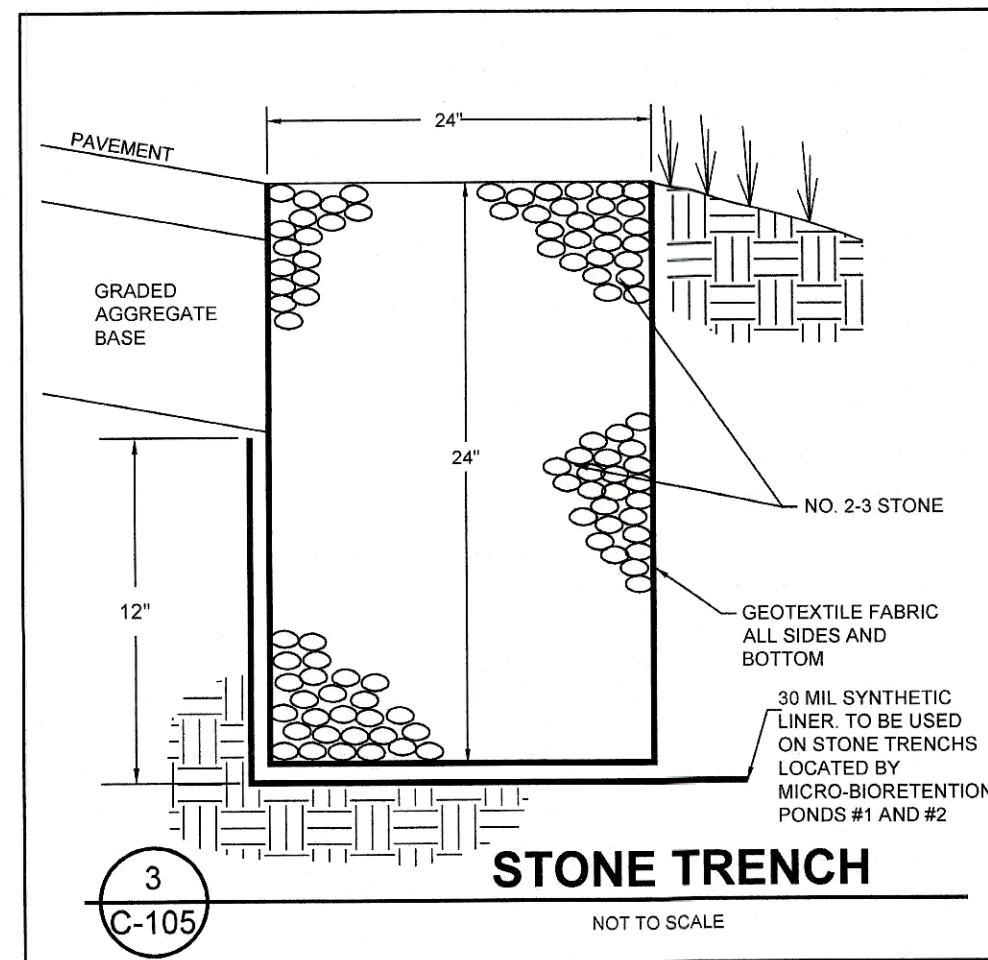
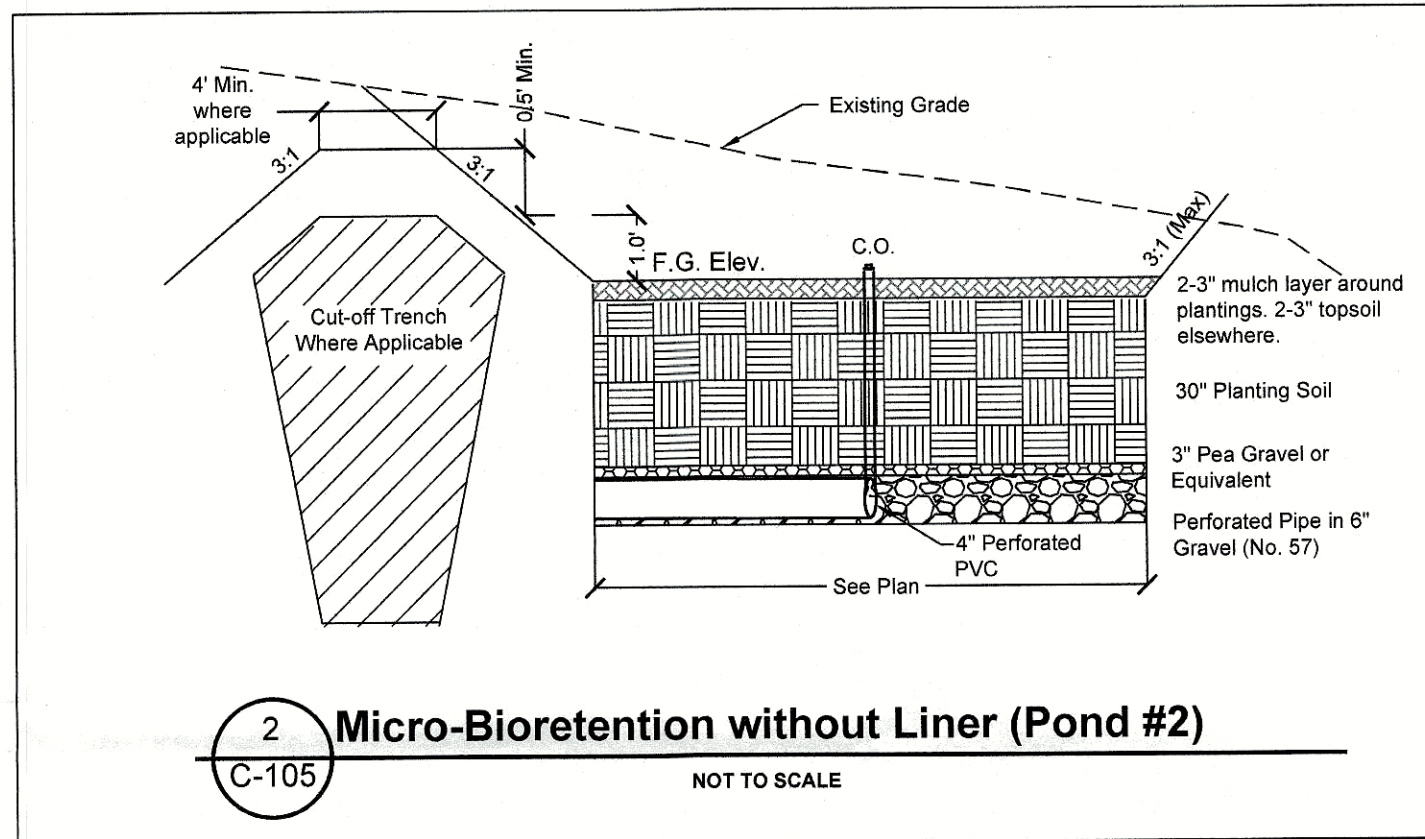
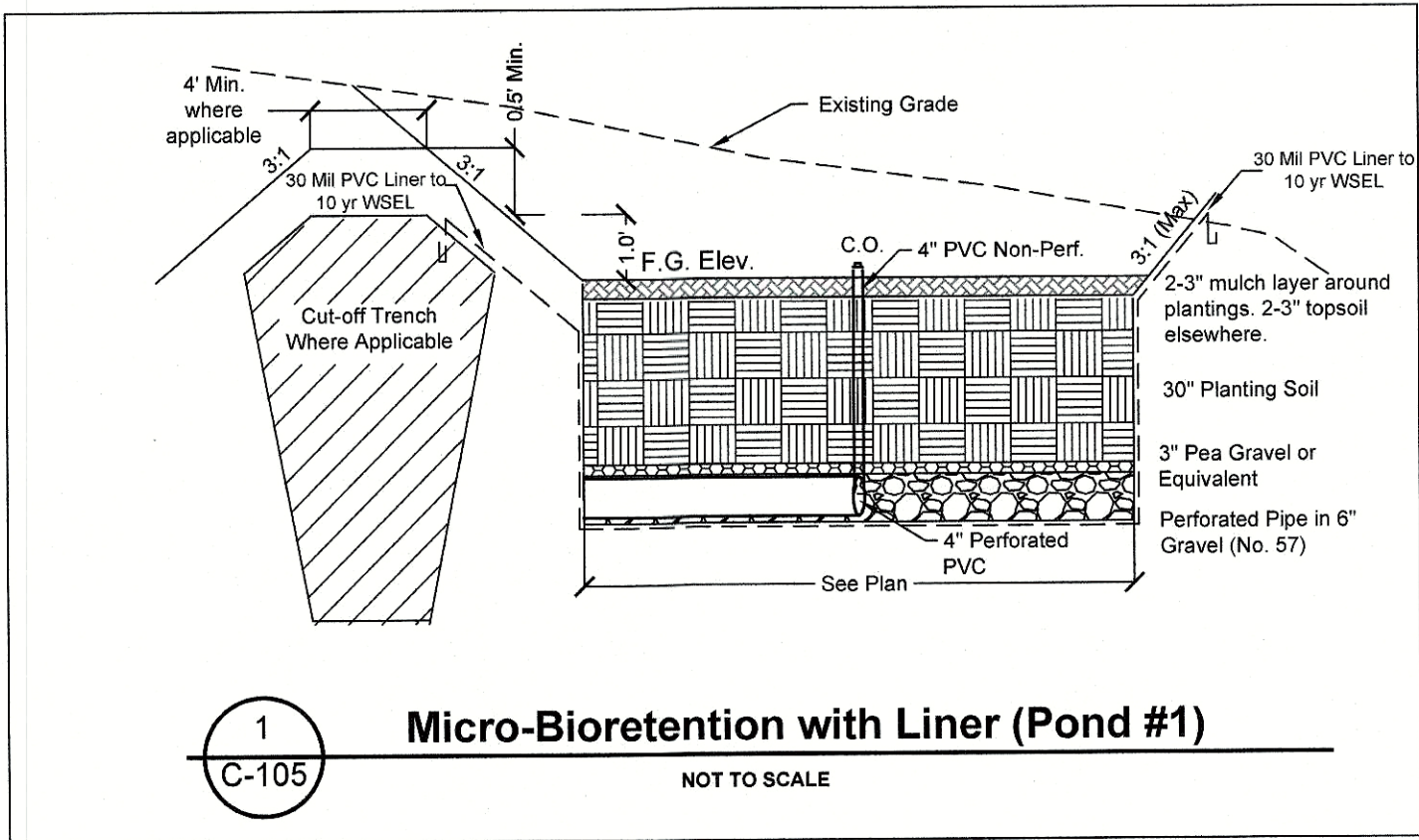
Operation and Maintenance Plan Bioretention		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access		
General	Check for accessibility to facility; excessive vegetation; surface stability	Repair erosion and maintain access surface in good condition
Pretreatment		
Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
Optional sand layer	Check sand for staining and sediment accumulation	If contaminated, replace first three inches of sand layer
Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
Mulch layer	Check for a 2-3 inch mulch layer	Remove mulch and replace as needed
Filter Bed		
Dewatering	Check for dewatering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top 3-6 inches of soil/sediment and replace with suitable materials per plan specifications; follow up inspections shall confirm adequate dewatering; contact the plan approval authority if the facility does not function as intended
Sediment	Check for sediment accumulation	Remove sediment as needed
Mulch layer	Check for adequate cover; sediment accumulation; discoloration	Remove and replace mulch and excess sediment as needed
Vegetation		
Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds, and dead or dying vegetation	Remove and replace plants as necessary
Vegetative cover/erosion	Check for erosion, runoff channelizing, or bare spots	Repair/grade and stabilize as needed
Outlets		
Underdrain system	Check outlet end to ensure that discharge is not obstructed; check for erosion	Remove any flow obstructions; grade and stabilize any eroded areas to provide stable conveyance
Overflow spillway	Check for displacement of rip-rap, stable conveyance, and erosion below the outlet	Repair and replace as needed
Conveyance Systems		
General	Check for erosion, flow blockages or bypass, and stable conveyance	Repair/replace and stabilize as needed
Flow diversion	Check flow splitter for proper functioning	Repair as necessary
Trash and Debris		
	Check for trash and debris accumulation	Trash and debris shall be disposed of in an acceptable manner
Structural Components		
	Check for structural deterioration, spalling or cracking	Repair according to specifications on the approved plans

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

Stormwater Management Facilities Construction Inspection Requirements

1. The developer/contractor shall notify the Division of Public Works ("DPW") at least five (5) days before commencing any work in conjunction with the approved final stormwater management plan and upon completion of the project when a final inspection will be conducted.
2. Regular inspections shall be made and documented for each structural ESD planning technique and practice and structural stormwater measures every 2 weeks and at the required critical inspection stages identified in the attached checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance.
3. All non-structural practices shall be inspected, at a minimum, upon completion of final grading, the establishment of permanent stabilization, and before issuance of use and occupancy permit.
4. Inspections shall be conducted by DPW, the MDE (as applicable), and by the Verifying Professional. Inspections performed by the DPW are not to be considered a substitute for those inspections required by the Verifying Professional. Written inspection reports shall be prepared by the Verifying Professional during construction of ESD planning techniques and practices plans. Copies of all inspection reports shall be provided to DPW by the person performing the inspection and kept on file with DPW.
5. Written inspection reports are required and shall be submitted in a manner consistent with the Public Works Agreement and this Article and in a format approved by DPW, and shall include, at a minimum:
 - a. The date and location of the inspection;
 - b. Work observed;
 - c. Photos;
 - d. Tests performed;
 - e. Whether construction was in compliance with the approved stormwater management plan;
 - f. Any variations from the approved construction specifications;
 - g. Any violations that exist;
 - h. Signature and date of Verifying Professional.
6. Failure to comply with these inspection requirements and/or obtain approval from the Verifying Professional or DPW at the required construction stages will result in disapproval of the facility, delays of final acceptance and permit release.
7. The developer, DPW, the MDE, Verifying Professional, and on-site personnel shall be notified in writing when violations are observed. Written notification shall be made by the person discovering the violation and shall describe the nature of the violation and the required corrective action. No further work affected by the violation shall proceed until the corrective action is inspected and approved in writing by the Verifying Professional, the Division, MDE (as applicable), and the District (as applicable).
8. DPW may require adjustments to address items overlooked or inappropriately addressed by the plans. Such adjustments may be required during construction or at the final inspection.
9. The County may require a revision to the approved construction drawings or site plans be submitted and approved by the DPW, the Division of Planning and Community Development (as applicable), the MDE (as applicable) and the District prior to continuation of construction activity.
10. No work shall proceed beyond the construction stages specified in attached checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance until DPW and the Verifying Professional inspect and approve the work previously completed and the Verifying Professional furnishes the DPW and developer with the results of the inspection reports as soon as possible after completion of each required inspection.

BIO-RETENTION SCHEDULE									
NO.	AREA (S.F.)	PONDING DEPTH (FT.)	BOTTOM STONE ELEV.	BOT POND ELEV.	PLANTING SOIL DEPTH	TOP BERM	C.O.'s	LINER REQUIRED	10-YR WSEL
Bio 1	2,011	1.0	643.50	447.00	30"	649.00	3	Yes	648.05
Bio 2	3,064	1.0	643.50	447.00	30"	649.00	4	No	648.03



SWM-1			SWM-2			SWM-3		
650.00	12" Topsoil	649.00	648.00	5" Topsoil	647.60	650.00	14" Topsoil	564.40
Brown orange silty clay, trace sand, little gravel, trace cobbles, moist, trace boulders			Tan orange silty clay, trace gravel, trace sand, trace cobbles, moist			Tan Silty Clay, trace gravel, moist		
BUCKET REFUSAL 646.00			TEST PIT TERMINATED 640.00			TEST PIT TERMINATED 640.00		

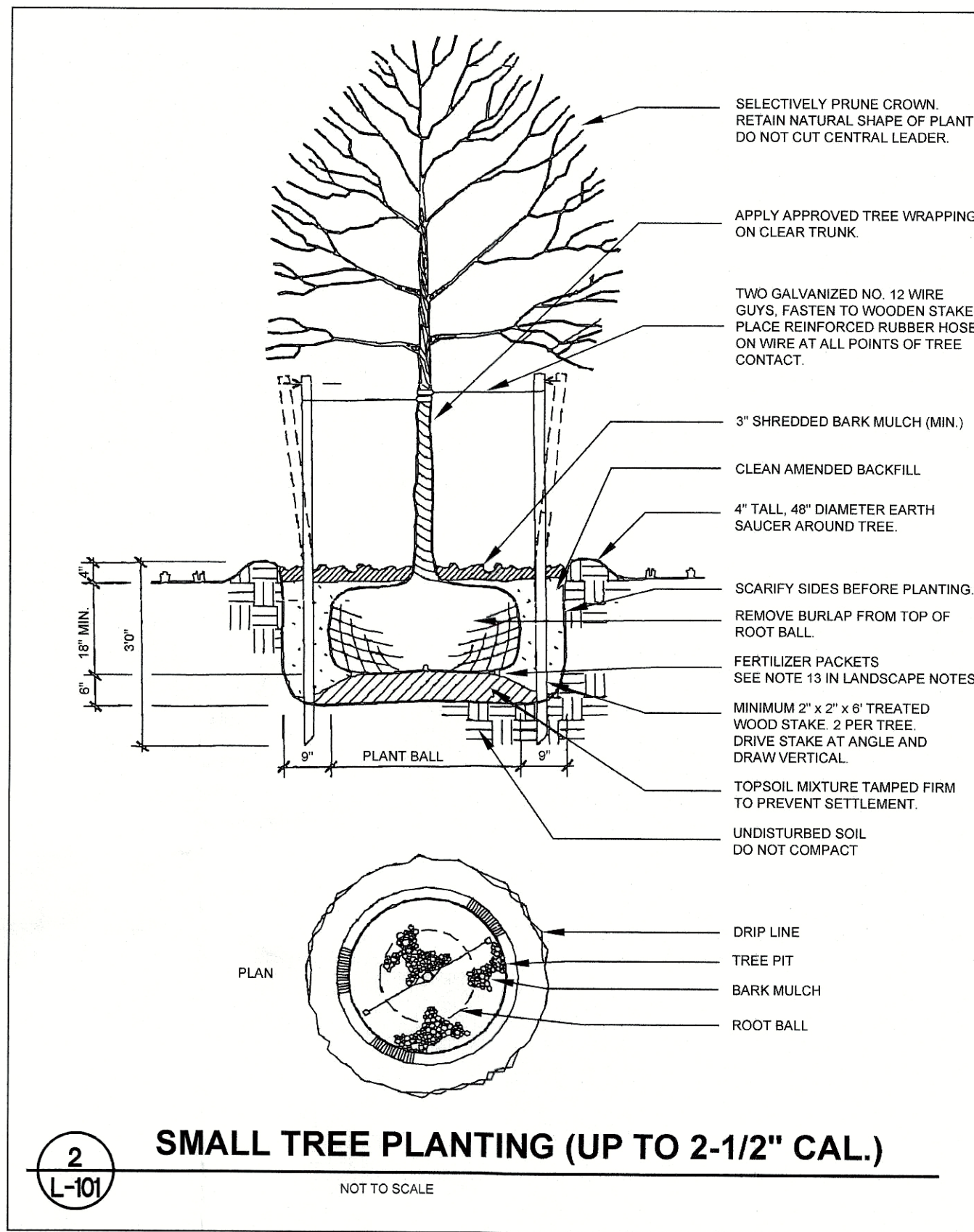
STATE OF MARYLAND
Professional Engineer
04/26/2019

FREDERICK S. EIBERT & ASSOCIATES, INC.
ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - PLANNERS
208 SOUTH POTOMAC STREET, FLORENCE, MARYLAND 21034
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013
(410) 416-4878
(717) 591-0087
www.fsa-inc.com

DATE: 04-25-19
DESCRIPTION: Revised per agency comments

PROJECT NO.: 7439
CAD DWG FILE: 7439 - GTR Transport LLC
DWN BY: BAB
CHK BY: DST
TAX MAP: 0024-016-1122
SCALE: 1" = 20'

SHEET TITLE: Stormwater Management Plan
C-105
SHEET 8 OF 12
SP-19-011



GTR Auto Transport LLC
13335 Belair Line
Hagerstown, MD 21740

WASHINGTON COUNTY, MARYLAND

CLARK COUNTY

GTR Auto Transport LLC
13026 Nitany Loop Circle Hagerstown, MD 21740
301-302-1620

FREDERICK
SEIBERT &
ASSOCIATES INC.

CIVIL ENGINEER - SURVEYOR - LANDSCAPE ARCHITECTS AND PLANNERS
468 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENGASTON, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013

(717) 733-6811
(717) 597-6667
www.fsa-inc.com
(301) 465-9425

MARK:

DESCRIPTION: Revised per agency comments

DATE: 04-25-19

04/26/2019

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20945. Expiration Date: 08-23-2019.

PROJECT NO.: 7439

CAD DWG FILE: 7439 - GTR Transport LLC

DWN BY: BAB **DATE:** 11-30-2018

CHK BY: DST **DATE:** 12-2018

TAX MAP: 0024-016-1122 **ELECTION DIST.:** 13

SCALE: AS SHOWN

SHEET TITLE:

LANDSCAPE PLAN, DETAILS, & NOTES

L-101

SHEET 12 OF 12

SP-19-011