



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## AGENDA

### WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING

May 6, 2019, 7:00 PM

WASHINGTON COUNTY ADMINISTRATIVE COMPLEX  
100 WEST WASHINGTON STREET  
2<sup>ND</sup> FLOOR, PUBLIC MEETING ROOM #2000

#### CALL TO ORDER AND ROLL CALL

#### OLD BUSINESS

1. **RZ-19-001** Recommendation for the Alcohol Manufacturing Facilities Text Amendment – Proposed amendment to Articles 3.3, 11.3, 12.1, 14.1 and 28A of the Washington County Zoning Ordinance; Planner: Jill Baker
2. **RZ-19-002** Recommendation for Text Amendment for Mineral Extraction – Proposed amendment to Articles 3, 4.14, 11, 12, 13, 14, 21A, 21B, and 21C of the Washington County Zoning Ordinance; Planner: Travis Allen
3. **Rosewood Commons Shared Parking Request** – Planner: Cody Shaw \*

#### NEW BUSINESS

#### MINUTES

1. April 1, 2019 Planning Commission regular meeting minutes \*

#### SUBDIVISIONS

1. **Perini Industrial Land LLC [S-19-003]** – Preliminary/final plat for Lot 3 for Perini Industrial Land LLC located along the south side of Showalter Road; Zoning: HI (Highway Interchange) with AP/HW (Airport Overlay/Hazardous Wildlife Attractant Management); Planner: Cody Shaw \*

#### SITE PLANS

1. **Project Snowman [SP-19-012]** Site plan for a proposed manufacturing warehouse located at 100 Tandy Drive; Zoning: IG – Industrial General; Planner: Cody Shaw \*
2. **Hub City Vineyards [SP-19-009]** Site plan for a proposed addition to an existing church located along the south side of Oak Ridge Drive, just east of its intersection with Halfway Boulevard; Zoning: RU (Residential Urban); Planner: Lisa Kelly \*

#### FOREST CONSERVATION

1. **Bowman Truck Terminal [FP-19-007; GP-18-008]** Request to utilize offsite retention to satisfy .87 acre planting requirement for the grading of three lots adjacent to the existing truck terminal at 10038 Governor Lane Boulevard; Zoning: EC (Environmental Conservation); Planner: Travis Allen \*
2. **Fountainhead Properties Management [FP-19-009]** Request to move a disturbed portion of an existing forest conservation easement at 13716 Crayton Boulevard offsite into the Andrew Michael forest mitigation bank recently established near Cearfoss; Zoning: RS (Residential Suburban); Planner: Travis Allen \*

## **OTHER BUSINESS**

1. **Update of Staff Approvals** – Ashley Holloway

## **ADJOURNMENT**

## **UPCOMING MEETINGS**

1. Monday, May 6, 2019, 7:00 p.m., Washington County Planning Commission public rezoning meeting and regular meeting, Washington County Administrative Complex, 100 W. Washington Street, 2<sup>nd</sup> Floor, Public Meeting Room #2000, Hagerstown, Maryland

### ***\*a t t a c h m e n t s***

**The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.***





Washington County

M A R Y L A N D

DIVISION OF  
PLAN REVIEW & PERMITTING

# MEMORANDUM

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TO: Washington County Planning Commission  
FROM: Cody Shaw, Chief of Plan Review  
DATE: March 19, 2019  
SUBJECT: Shared Parking Request for Rosewood Village PUD Phase IIA (PSP-07-001)

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Attached you will find for your review a request to allow shared parking for Rosewood Commons within the Rosewood Village PUD.

Rosewood Commons (shopping center) was approved as part of PSP-07-001, Rosewood, Phase IIA. The functional description reflected “retail and office” and the minimum requirements for parking was based on retail use at 5.5 spaces per 1,000 sq. ft. of gross floor area which equated to 122 spaces with 125 spaces provided – 5 being designated as handicapped.

The building consists of 16 tenant spaces. Early tenants consisted of mainly retail sales, as approved on the site plan, including a liquor store, a party supply store, a dry cleaning business and a fitness center. There were also two restaurants approved including Schula’s.

Over the years, the occupancy has changed from mainly retail to food service establishments. Currently, there are 7 restaurants, 2 retail businesses, both of which occupy two tenant spaces, and 5 vacant units.

Per the parking matrix provided by the Applicant, there is 11,102 sq. ft. of restaurant space which requires 1 space per 75 sq. ft. of gross floor area or 148 spaces. This well exceeds the number of spaces currently existing at the shopping center.

The parking issue was brought to light with the application for a building permit for Schula’s to expand into a third tenant space. The Applicant was advised of the inadequate parking and spoke with staff and presented a resolution. However, since the property is within a PUD, the Planning Commission is charged with reviewing and approving shared or off-site parking requests.

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

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It is important to note, the Applicant has been advised that no new building permit applications or zoning certifications will be processed until the parking issue has been resolved.

If you have comments regarding the proposed modification and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or [cshaw@washco-md.net](mailto:cshaw@washco-md.net).

A handwritten signature in black ink, appearing to read 'Cody L. Shaw', with a long horizontal flourish extending to the right.

Cody L. Shaw  
Chief of Plan Review



72 W Washington St., Hagerstown, MD 21740  
Phone (301) 791-4882 Fax (301) 791-4883

April 5, 2019

Mr. Cody Shaw  
Chief of Plan Review  
Division of Plan Review and Permitting  
Washington County

RE Rosewood Shared Parking

Attached please find response to the Planning Commissions comments from our shared parking submittal.

- 1- How will the share parking affect the rest of the PUD?  
***The shared parking, we are proposing is in Phase I and Phase IIA. The shared parking proposal will not affect the remaining PUD since each Phase is self-sufficient in parking. The next approved Phase IIB has its own dedicated parking.***
  
- 2- Provide an evaluation of the hours of operations of the tenants in Rosewood Commons and how they are staggered (meaning if some are only open in the mornings, some only open for lunch/dinner hours, etc)  
***Attached find chart that uses percentages of parking requirements per time of day and use.***
  
- 3- How will you account for parking for future tenants for the vacant units?  
***Attached is a chart that projects the parking for the vacant spaces. In our request we are including these spaces.***
  
- 4- Employee parking: approximately 50 employee parking spaces will be moved to the overflow areas

Please let us know if you need any additional information

**ROSEWOOD PARKING**

EXISTING ROSEWOOD	614
EXISTING ROSEWOOD COMMONS	122
<b>TOTAL EXISTING</b>	<b>736</b>
REQUIRED ROSEWOOD	459
REQUIRED ROSEWOOD COMMONS	243
<b>TOTAL REQUIRED</b>	<b>702</b>
<b>TOTAL EXCESS PARKING</b>	<b>34</b>

**ROSEWOOD COMMONS PARKING MATRIX**

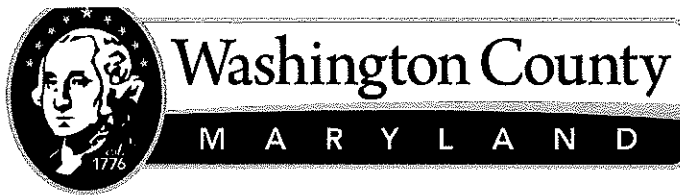
SUITE	CURRENT TENANT	USE	TOTAL SQ FT	PARKING REQUIRED
101	SAFRON BAKERY	RESTAURANT	1,605	21
102	VACANT	RESTAURANT	1,525	20
103	VACANT	RESTAURANT	1,525	20
104	ROYAL PAWN	RETAIL	3,050	15
105				
106	ROSEWOOD LIQUORS	RETAIL	3,090	15
107				
108	HUMMUS GRILL	RESTAURANT	1,640	22
201	MANGO GRILL	RESTAURANT	1,602	21
202	ZHEST DRYCLEANERS	RETAIL	3,090	15
203				
204	VACANT	RESTAURANT	1,563	8
205	FUJI	RESTAURANT	1,545	21
206	SCHULA'S	RESTAURANT	4,710	63
207				
208				
<b>TOTAL</b>			<b>24,945</b>	<b>243</b>

**MAXIMUM PROJECTED**

USE	TOTAL REQUIRED	WEEKDAY		WEEKEND	
		6AM TO 6PM	6PM TO MIDNIGHT	6AM TO 6PM	6PM TO MIDNIGHT
GENERAL RETAIL		60%	90%	100%	70%
	46	28	42	46	32
RESTAURANT		50%	100%	100%	100%
	197	98	197	197	197
REQURIED	243				
ACTUAL USED		126	238	243	229

**CURRENT TENANTS**

USE	TOTAL REQUIRED	WEEKDAY		WEEKEND	
		6AM TO 6PM	6PM TO MIDNIGHT	6AM TO 6PM	6PM TO MIDNIGHT
GENERAL RETAIL		60%	90%	100%	70%
	46	28	42	46	32
RESTAURANT		50%	100%	100%	100%
	148	74	148	148	148
REQURIED	194				
ACTUAL USED		102	190	194	180



DIVISION OF  
PLAN REVIEW & PERMITTING

# MEMORANDUM

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TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: April 23, 2019

SUBJECT: Preliminary/Final Plat for Perini Industrial Land, LLC – Lot 3 (S-19-003)

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Attached you will find for your review a subdivision request for Lot 3 of Perini Industrial Land LLC. Since this plat is a commercial subdivision, it requires Planning Commission approval. The property is a 10.18 acre parcel located on the west side of Crayton Blvd (Tax Map 24, Parcel 470). The zoning for this site is HI – Highway Interchange. This plat is a result of the associated grading plan (GP-19-002 Vista Business Park – Perini Ave Extension). The associated grading plan is for the extension of Perini Avenue, which is to be connected to Crayton Blvd. In doing this, it creates a subdivision, which required this plat to be submitted for approval.

The proposed subdivision was reviewed by Plan Review (Land Use & Engineering), Addressing, City Water, City Sewer, Forest Conservation, Soil Conservation, Maryland SHA, Water Quality, and the Health Department.

Staff is requesting that the Planning Commission grant Staff the authority to approve this plat once all agency approvals have been obtained. Approvals have been obtained from every agency except Plan Review Land Use, City Sewer, and Health Department.

If you have comments regarding the proposed subdivision, please call or e-mail me at: (240) 313-2442 or [cshaw@washco-md.net](mailto:cshaw@washco-md.net).

A handwritten signature in black ink, appearing to read 'Cody L. Shaw'.

Cody L. Shaw  
Chief of Plan Review



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS PLAN IS CORRECT, THAT IT IS A SUBDIVISION OF THE PART OF THE LAND DESCRIBED IN A DEED FROM LABAN R. SHOWALTER, ET AL TO PERINI INDUSTRIAL LAND, LLC DATED JUNE 10, 2004 AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND IN LIBER 2396 AT FOLIO 346; AND FURTHER THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

DATE \_\_\_\_\_ GEORGE E. NAGEL  
PROFESSIONAL LAND SURVEYOR  
MARYLAND REGISTRATION No. 21052  
EXPIRATION/RENEW DATE: 08/24/2020

**NOTES:**

- BEARINGS ARE BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM NAD83(2011).
- CONTOURS ARE BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY MCKENZIE SNYDER, INC. DATE OF SURVEY IS MARCH 19, 2018.
- THE PROPERTY SHOWN HEREON IS ZONED HI - HIGHWAY INTERCHANGE DISTRICT.
- THE PROPERTY DELINEATED ON THIS PLAT IS SHOWN ON WASHINGTON COUNTY TAX MAP 24 AS PARCEL 470. BEING ALL THE LAND CONVEYED TO PERINI INDUSTRIAL LAND, LLC, A MARYLAND LIMITED LIABILITY COMPANY, BY DEED DATED JUNE 10, 2004 AND RECORDED IN LIBER 2396, FOLIO 346, OF THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.
- THE PROPERTY IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS PER FEMA FLOOD INSURANCE RATE MAP NO. 24043C0128D, DATED AUGUST 15, 2017.
- THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 318 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL PLANNING AREAS AS DEFINED BY ARTICLE IV, SECTION 411 OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE.
- THE DRAINAGE AREA TO THIS SITE IS LESS THAN 40 ACRES.
- THIS PLAT IS REVIEWED/APPROVED PER THE HI ZONING DISTRICT, ANY DEVELOPMENT/CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WASHINGTON COUNTY ZONING ORDINANCE CURRENTLY BEING ENFORCED.
- THERE ARE NO HOUSES, WELLS OR SEWAGE DISPOSAL SYSTEMS WITHIN 100 FEET OF THE SUBDIVISION BOUNDARY, UNLESS SHOWN.
- SHOWALTER ROAD IS CLASSIFIED AS A MINOR ARTERIAL. PENNSYLVANIA AVENUE IS CLASSIFIED AS OTHER PRINCIPAL ARTERIAL.
- ACCESSORY STRUCTURES MAY BE CONSTRUCTED IN ACCORDANCE WITH SECTION 318.1 OF THE SUBDIVISION ORDINANCE.
- THIS PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING THE OWNERSHIP AND USE NOR EVERY MATTER RESTRICTING THE OWNERSHIP AND USE OF THIS PROPERTY. THIS PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEPICT OR NOTE ALL MATTERS AFFECTING TITLE.
- ADDRESS TO BE ADDRESSED AT TIME OF PERMITTING.
- LOT 3 IS PART OF THE REMAINDER OF PARCEL 1 AS SHOWN ON A SIMPLIFIED PLAT RECORDED AS PLAT No. 10868 & 10869 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MD.
- THERE IS A 10 FT. WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL FRONT LOT LINES AND AN 8 FT. WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL SIDE AND REAR LOT LINES HEREBY RESERVED UNLESS OTHERWISE SHOWN HEREON.
- FOREST CONSERVATION HAS BEEN SATISFIED FOR PORTIONS OF LOT 3 AND THE EXTENSION OF PERINI AVENUE BY PAYMENT-IN-LIEU ON COUNTY FILES FP-18-003 AND FP-19-005. ALL ACREAGE ON LOT 3 AND THE REMAINING LANDS SHOWN ON THIS PLAT NOT MITIGATED FOR FOREST CONSERVATION UNDER THE ABOVE REFERENCED PLANS MUST BE MITIGATED WHEN A PLAN IS SUBMITTED FOR THEIR DEVELOPMENT.

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR SYSTEMS TRIBUTARY TO THE CITY OF HAGERSTOWN WASTEWATER TREATMENT PLANT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS FACILITIES THAT MAY BE GRANTED TO THE COUNTY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATE OF APPROVAL OF COMMUNITY WATER AND/OR SEWERAGE SYSTEM**

I HEREBY CERTIFY THAT THE USE OF THE COMMUNITY WATER AND/OR COMMUNITY SEWERAGE SYSTEM FOR THIS SUBDIVISION IS IN CONFORMANCE WITH THE COUNTY WATER AND SEWERAGE PLAN.

DATE \_\_\_\_\_ COUNTY HEALTH OFFICER \_\_\_\_\_

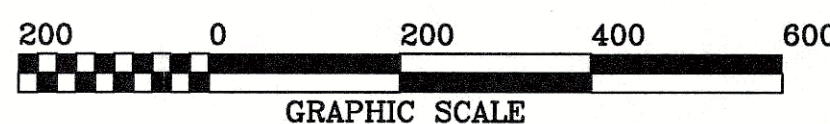
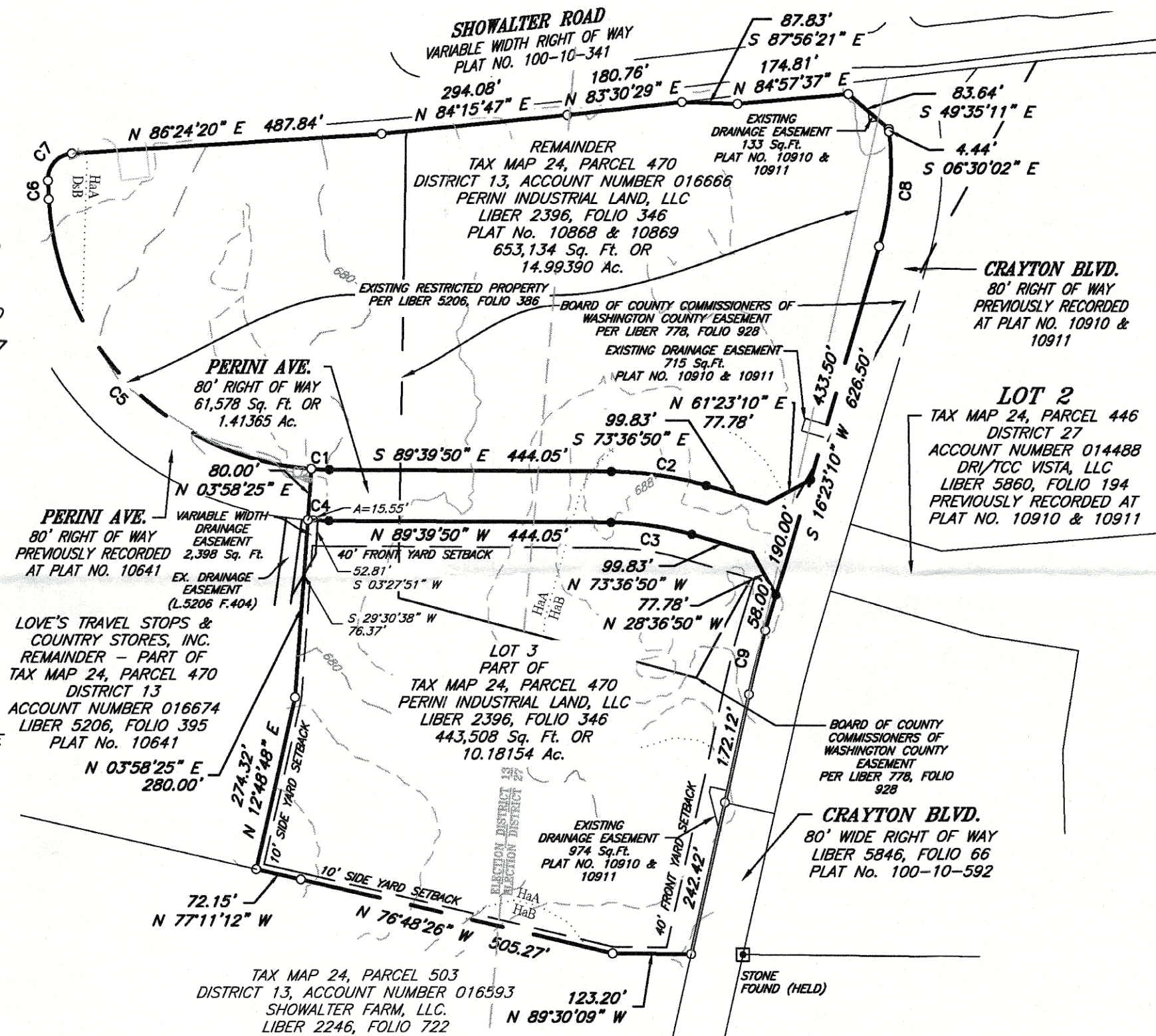
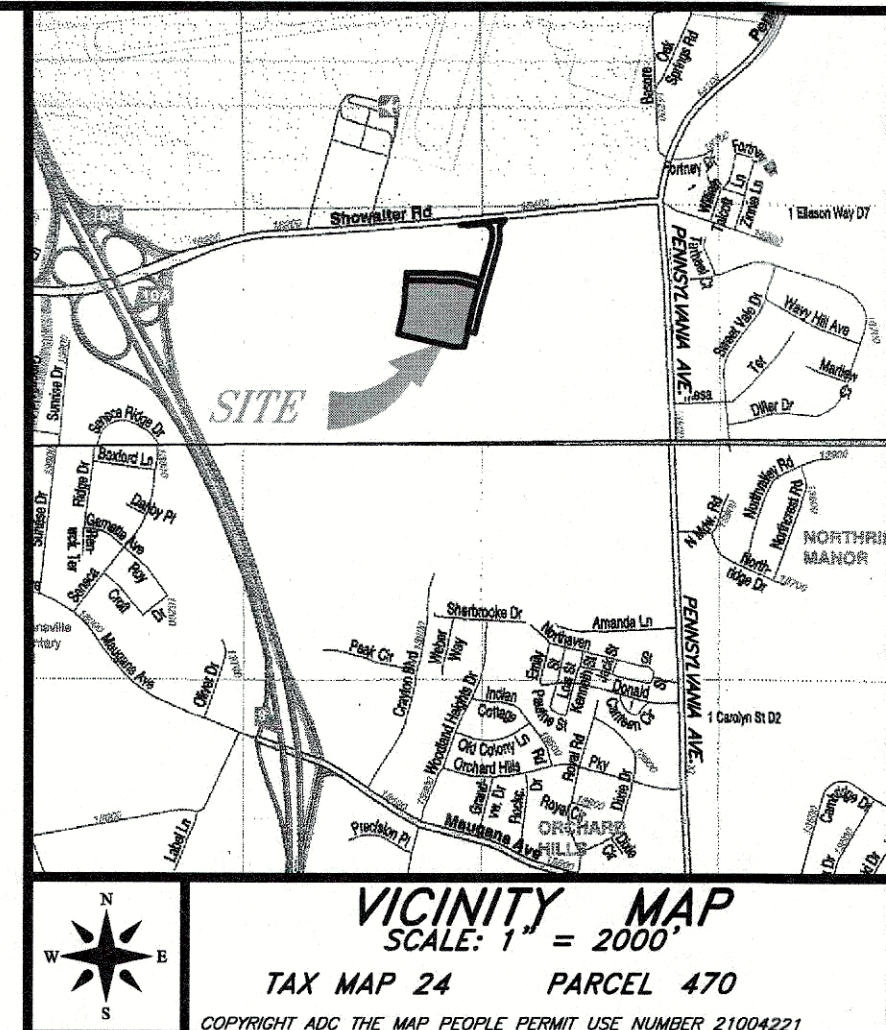
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	28.25'	445.00'	3°38'15"	S 87°50'43" E	28.25'
C2	151.27'	540.00'	16°03'00"	S 81°38'20" E	150.77'
C3	128.86'	460.00'	16°03'00"	N 81°38'20" W	128.44'
C4	33.33'	525.00'	3°38'15"	N 87°50'43" W	33.32'
C5	643.83'	445.00'	82°53'44"	N 44°34'43" W	589.12'
C6	29.28'	1704.88'	0°59'02"	N 03°07'51" W	29.28'
C7	62.59'	39.77'	90°09'44"	N 41°27'30" E	56.33'
C8	180.28'	445.00'	23°12'41"	S 04°46'50" W	179.05'
C9	103.23'	1540.00'	3°50'26"	S 14°27'57" W	103.21'

**SOIL TYPES**

HaA HAGERSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES - 71%  
HaB HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES - 29%

**LEGEND:**

- REBAR AND CAP FOUND
- REBAR AND CAP TO BE SET



**OWNER'S DEDICATION**

WE DO HEREBY CERTIFY, FOR OURSELVES AND OUR PERSONAL REPRESENTATIVES HEIRS AND ASSIGNS, THAT WE ARE THE LEGAL AND TRUE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAT AND THAT WE HEREBY ADOPT THE PLAN OF SUBDIVISION SHOWN HEREON, HEREBY DEDICATE TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALL ALLEY, STREET, AND ROAD RIGHTS-OF-WAY DESIGNATED ON THIS PLAT, HEREBY AGREE TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN HEREON AND HEREBY AGREE THAT SAID DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY SAID BOARD, AND WE HEREBY RESERVE THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS-OF-WAY, OPEN SPACES AND RECREATION AREAS, AND WITH REGARD TO SAID EASEMENTS AND RIGHTS-OF-WAY, HEREBY AGREE TO CONVEY THE SAME TO SAID BOARD, FOR THE USED OF SAID WASHINGTON COUNTY, WITHOUT CONSIDERATION, UPON THE LEGAL ACCEPTANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY BY SAID BOARD.

THIS DEED AND AGREEMENT OF DEDICATION SHALL BE BINDING UPON OUR GRANTEEES, ASSIGNS, SUCCESSORS, HEIRS AND PERSONAL REPRESENTATIVES.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS OR RIGHTS-OF-WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:

AND ALL PARTIES HAVING AN INTEREST THEREIN HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

WE DO HEREBY ASSENT TO THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

WITNESS \_\_\_\_\_ PERINI INDUSTRIAL LAND LLC

WITNESS \_\_\_\_\_ LOVE'S TRAVEL STOPS & COUNTRY STORES, INC.

**CERTIFICATE OF APPROVAL**

APPROVAL GRANTED: \_\_\_\_\_ DATE \_\_\_\_\_ APPROVAL GOOD FOR 6 MONTHS FROM ABOVE DATE

**RECEIVED**

APR 23 2019

WASHINGTON COUNTY  
PLAN REVIEW DEPARTMENT

**PRELIMINARY/FINAL PLAT**

LOT 3  
**PERINI INDUSTRIAL LAND, LLC**

SITUATE SOUTH OF SHOWALTER RD. AND WEST OF PENNSYLVANIA AVE. WASHINGTON COUNTY, MARYLAND

PLAT No. \_\_\_\_\_  
DATE \_\_\_\_\_  
WASHINGTON COUNTY

FILE No. S-19-003

**OWNER**  
PERINI INDUSTRIAL LAND LLC  
13725 MARSH PIKE  
HAGERSTOWN, MD 21742  
PAUL A. PERINI, MEMBER

DRAWN BY: M.E.N.H. DATE: 01-04-19  
CHECKED BY: G.E.N. DATE: 01-04-19  
SCALE: 1" = 200'

**FOX & ASSOCIATES, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
981 MT. AETNA ROAD HAGERSTOWN, MARYLAND 21740  
PHONE: (301)733-8503 FAX: (301)733-1853  
82 WORMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701  
PHONE: (301)695-0880 FAX: (301)293-6009



DISTRICT 13  
TAX MAP No. 24  
DWG. No. C-03561

18-171426231\_Vista Business Park\Survey\DWG\PDF\Lot 3--0303061.dwg Mar 27, 2019 - 3:44pm User: Dorigel





Washington County

M A R Y L A N D

DIVISION OF  
PLAN REVIEW & PERMITTING

# MEMORANDUM

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TO: Washington County Planning Commission  
FROM: Cody Shaw, Chief of Plan Review  
DATE: April 23, 2019  
SUBJECT: Project Snowman Site Plan (SP-19-012)

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A site plan has been submitted for review and approval for Project Snowman on a parcel located at 100 Tandy Drive. The property is located in the IG – Industrial General Zoning District.

The description for this site is for manufacturing of roofing membranes and polyisocyanurate insulation material (PIR) and storage/distribution of roofing materials. The site is located on a 20.5 acre parcel, and the applicant is looking to redevelop the site.

The proposed improvements are shown on the site plan can be summarized as follows:

- Functional description is for manufacturing, storage and distribution of roofing materials
- Hours of operation 24 hrs a day, 7 days a week (Day shift 6 am – 6 pm; night shift 6 pm – 6 am)
- Total required parking spaces is 40; total parking provided is 126 spaces
- Proposed impervious of the 9.75 acre site area is 6.5 acres (82% of site area)
- Site is served by proposed City Water and City Sewer
- SWM for this site is being handled via underground treatment facilities and regional pond facility
- Forest Conservation is handled via the payment in lieu

The site plan was routed to Plan Review Land use, Plan Review Engineering, Addressing, City Water, City Sewer, Health Department, Forest Conservation, and Soil Conservation. Approvals have been obtained by Addressing. This project has been closely working with the Division of Business Development and has requested to be presented to the Planning Commission. Staff is asking the Planning Commission to grant the Staff authority to approve the plan once all agency approvals have been received.

A copy of the site plan is attached.

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

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**Approvals**

MD-ENG-6A 1/89  UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777	USDA SCS  OWNER / DEVELOPERS CERTIFICATION "We certify all parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." 02/28/19 DATE David Koschitzky PRINTED NAME SIGNATURE
DISTURBED AREA QUANTITY  THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 9.9 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 13,350 CU. YDS. OF EXCAVATION AND APPROXIMATELY 16,700 CU. YDS. OF FILL.	OWNER / DEVELOPERS CERTIFICATION "I hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." 02/28/19 DATE David Koschitzky PRINTED NAME SIGNATURE
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL  By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)	ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, 29 CFR 22.101.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control. 04/18/2019 DATE 20945 REG. NO. SIGNATURE
APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING  SIGNATURE _____ DATE _____	ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."  SIGNATURE _____ DATE _____ SEAL _____



# Combined ESD Stormwater Concept & Site Plan

## for Project Snowman

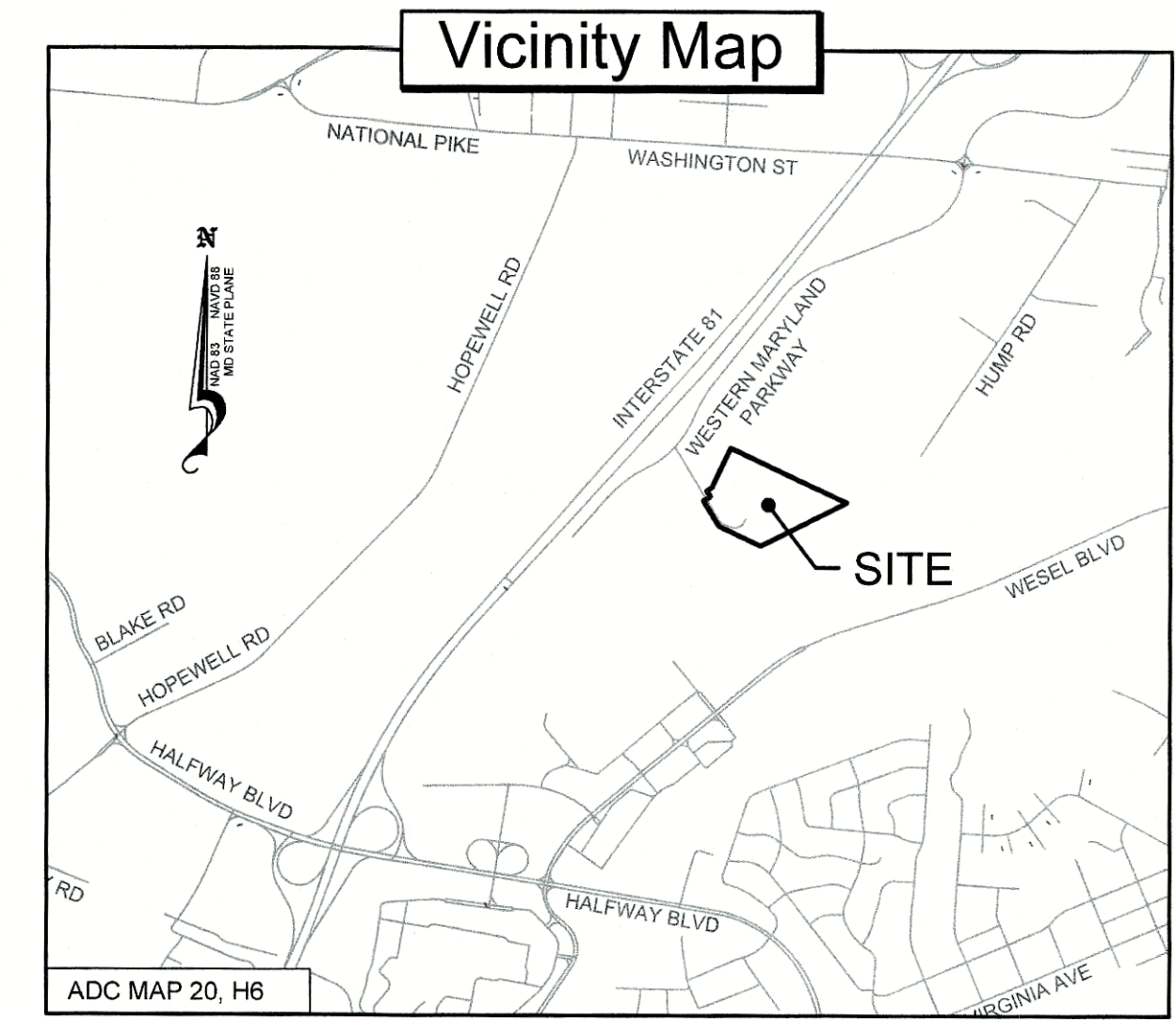
Situated at: 100 Tandy Drive  
Hagerstown, MD 21740

**OWNER**  
RS Hagers c/o SK Realty  
Management  
100 Tandy Drive  
Hagerstown, MD 21740

ATTN: Kenneth Litoff  
PHONE: 779-801-4506

**DEVELOPER:**  
Conewago Enterprises, Inc.  
660 Edgegrove Road  
P.O. Box 407  
Hanover, PA 17331

ATTN: Andy Feeser  
PHONE: 717-632-8240 ext. 3168  
Email: afeeser@conewago.com



SCALE: 1" = 2000'

**FREDERICK SEIBERT & ASSOCIATES, INC.** © 2019

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225

(301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4556

**SWM Narrative**

The purpose of this project is to construct two building additions, loading areas and truck circulation areas next to an existing building on a previously developed lot located at 100 Tandy Drive which is located east of the Western Maryland Parkway and Tandy Drive intersection in Hagerstown, Maryland. The work area covers 9.75 acres, 3.60 acres (45%) of which is existing impervious coverage. The proposed building area is 126,375 S.F. with a 4,300 S.F. proposed truck circulation area addition. The total proposed new impervious area is 3.00 acres (31%).

The existing site is a previously developed site with impervious coverage greater than 40% and so it is considered redevelopment for SWM purposes. Since the existing impervious area is currently controlled for quantity and quality within a regional facility, this site is not required to treat 50% of the existing impervious area under the redevelopment section of the Ordinance. This site will treat 100% of all new impervious area.

This site qualifies as a redevelopment site per the Washington County, Grading, SWM, and SEC ordinance. For this project, the site area within the LOD is 9.75 acres of which 3.50 acres are existing impervious area and 3.00 acres are proposed impervious. This equates to 21,100 CF of ESD treatment volume required, treating 100% of the new impervious area for ESD to the MEP. The ordinance also states that 50% of existing impervious area must be treated for WQ under redevelopment but as mentioned above, since the existing impervious area inside the LOD (3.60 acres) has already been treated for WQ, it will not be treated again within underground system. An ESD treatment volume of 21,108 CF has been provided to return the site into woods in good condition.

The proposed rear access drive, between the building and northern property line, will not be controlled in the proposed underground facility. Instead a portion of the existing building area, that equals the proposed access drive impervious area, will be routed to and handled within the proposed underground facility.

Non-structural practices were initially looked at for treating the water quality volume. The steeper slopes, restricted site, and shallow depth to rock do not allow for non-structural methods to be implemented. Bio-retention areas were also considered but not chosen due to the restricted site and the required area for truck movements. The total ESD, Qp (Channel Protection Volume), Qo (Overbank Flood Protection), and Qf (Extreme Flooding) is managed in two underground treatment facilities, one a flow based treatment chamber and one a storage based treatment chamber.

**Sheet Index**

TYPE	NUMBER	TITLE
G-001	Sheet 1	Cover Sheet
G-002	Sheet 2	General Notes
V-101	Sheet 3	Environmental Resource Map
V-102	Sheet 4	Demo Plan
C-101	Sheet 5	Erosion & Sediment Control Plan
C-102	Sheet 6	Grading Plan
C-103	Sheet 7	Site & Dimension Plan
C-104	Sheet 8	Utility Plan
C-105	Sheet 9	Stormwater Management Plan
C-201	Sheet 10	Stormwater Management Profiles
C-202	Sheet 11	Utility Profiles
C-501	Sheet 12	Erosion & Sediment Control Details & Notes
C-502	Sheet 13	Site Details & Notes
C-503	Sheet 14	Utility Details
C-504	Sheet 15	Stormdrain Details & Notes
L-101	Sheet 16	Landscape Plan
C-106	Sheet 17	Photometric Plan (By Others)

GRADING CHK BY: KDM	DATE: 2019	PROJECT NUMBER: 7819.1
SEC CHK BY: DST	DATE: 2019	
SWM CHK BY: KDM	DATE: 2019	Cover Sheet
PLAN CHK BY: DST	DATE: 2019	
Resubmittal Set	04-17-19	G-001
Initial Submittal Set	03-08-19	SHEET 1 OF 17
DESCRIPTION:	DATE:	SP-19-012/SWCP19-009



## General Notes

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.  
 G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.  
 G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.  
 G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.  
 G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.  
 G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.  
 G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Washington County	(301) 313-2400
Washington County Engineering & Construction Management	(240) 313-2460
Washington County Soil Conservation District	(301) 797-6821 Ext. 3
City of Hagerstown Water Division	(301) 739-8577 Ext. 650
City of Hagerstown Wastewater Division	(301) 739-8577 Ext. 650

- G. 8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.  
 G. 9 Benchmark shown is shown on sheet V-102. The contractor shall have Frederick Seibert & Associates verify location and elevation of benchmark before any construction activity begins.  
 G. 10 The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.  
 G. 11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.  
 G. 12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.  
 G. 13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.  
 G. 14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.  
 G. 15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.  
 G. 16 Minimum Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.  
 G. 17 Minimum Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.  
 G. 18 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.  
 G. 19 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.  
 G. 20 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.  
 G. 21 All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.  
 G. 22 The existing site contours shown hereon were obtained from a field survey completed and field verified by FSA in January 2019 (Contour accuracy is to plus or minus one half the contour interval).  
 G. 23 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.  
 G. 24 All road regulatory signing and pavement marking shall comply with the latest MD SHA version of the MUTCD.  
 G. 25 The USDA Soil Survey of Washington County shows the soils on this project as being "Karl Landscape" soils. There is a potential for sinkhole formation.  
 G. 26 A building permit is required for walls greater than three feet in height.  
 G. 27 In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.

## Legend

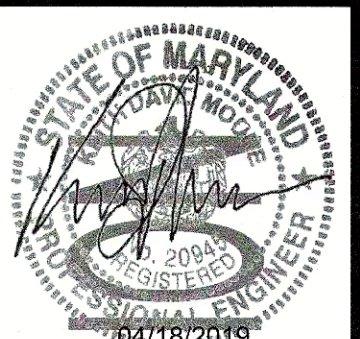
SYMBOL	EXISTING	PROPOSED	FEATURE
			PROPERTY LINE, CORNER
			PERMANENT EASEMENT
			CENTERLINE
			CONTOURS
			TREE LINE
			EDGE OF PAVEMENT
			CONCRETE CURB
			FENCE LINE
			STREAM OR DITCH
			FLOW LINE
			WATER LINE
			SANITARY SEWER LINE, STUB
			GAS LINE
			FORCE MAIN
			STORM DRAIN, END SECTION
			ROOF DRAIN PIPE
			WATER VALVE
			WATER CAP, REDUCER, BEND
			FIRE HYDRANT, METER
			OVERHEAD ELECTRIC LINE
			GUARDRAIL
			RAILROAD TRACKS
			BUILDINGS, HOUSES, GARAGES
			SANITARY SEWER MANHOLE
			STORM DRAIN INLET
			UTILITY POLE
			HANDICAP PARKING
			POLE LIGHT
			ROAD SIGN
			SPOT ELEVATION
			SINGLE WATER METER
			DOUBLE WATER METER
			SINGLE SEWER CLEANOUT
			DOUBLE SEWER CLEANOUT
			P.O.I. POINT OF INTERSECTION
			P.C. POINT OF CURVATURE
			P.T. POINT OF TANGENCY
			P.O.L. POINT ON LINE
			B.C. BOTTOM OF CURB
			T.C. TOP OF CURB

## Abbreviation Legend

AASHTO = American Association of State Highway and Transportation Officials	N.T.S. = Not To Scale
ADS = Advanced Drainage System	O.A.E. = Or Approved Equal
ASTM = American Society for Testing & Material	O.C. = On Center
AWWA = American Water Works Association	PC = Point of Curvature
BLDG = Building	PCC = Point of Compound Curve
BOT = Bottom	PGL = Proposed Grade Line
CIP = Cast Iron Pipe	PRC = Point of Reverse Curve
CL = Centerline	PT = Point of Tangent
CMP = Corrugated Metal Pipe	PVC = Point of Vertical Curve
CO = Sanitary Sewer Plan	PVI = Point of Vertical Intersection
CONC = Concrete	PVT = Point of Vertical Tangent
DA = Drainage Area	R/W = Right-of-Way
DIA = Diameter	SAN = Sanitary
EGL = Existing Grade Line	SCE = Stabilized Construction Entrance
EX = Existing	SDR = Standard Dimension Ratio
FH = Fire Hydrant	SDMH = Stormdrain Manhole
GV = Gate Valve	SF = Square Feet
HGL = Hydraulic Grade Line	SSMH = Sanitary Sewer Manhole
HDPE = High Density Polyethylene	STA. = Station
INV = Invert	STD = Standard
LF = Linear Feet	SY = Square Yard
MAX = Maximum	T.A.N. = Type As Noted
MB = Mail Box	TEMP = Temporary
MIN = Minimum	TG = Top of Grate
MJ = Mechanical Joint	TYP = Typical
NO = Number	VIF = Verify in Field
N.T.C. = Not This Contract	WM = Water Valve

## Site Data

Tax Map	0049
Parcel	0685
Election District	24
Zoning	IG - Industrial General
Setbacks	Front - 50, Rear - 25', Side - 25'
Address Assignment	100 Tandy Drive Hagerstown, MD 21740
Functional Description	Manufacturing of roofing membranes and polyisocyanurate insulation material (PIR); storage and distribution of roofing materials
Hours of Operation	24 Hours, 7 Days Day Shift: 6 am to 6 pm* Night Shift: 6 pm to 6 am*
Number of Employees	31 Total Employees* Day Shift: 22 Employees Night Shift: 9 Employees
Deliveries	*Employee count and shift schedule to change based on future business. Tractor Trailer, Box Truck (Daily)
Parcel Area	20.50
Site Area	9.75 Ac +/- (30% of Parcel Area)
Existing Impervious Area	3.6 Ac +/- (45% of Site Area)
Proposed Impervious Area	6.5 Ac +/- (82% of Site Area)
Proposed Building Area	126,375 Square Feet
Office	2,843 SF
Production	85,514 SF
Warehouse	40,000 SF
Proposed Building Height	42'
Total Parking Required	31 Spaces (1 space per employee on the main shift plus 1 space per 350 SF of office and/or sales space. Office Square Footage: 2,843 SF/ 350 SF = 9 Employees: 31 <b>Total Parking Required = 40 Spaces</b>
Total Parking Provided	126 Spaces Existing Parking = 126 Spaces Proposed Parking = 0 Spaces <b>Total Parking Provided = 126 Spaces</b>
Water & Sewer Usage	1,000 GPD
Water Usage	1,000 GPD
Wastewater Usage	3,750 GPD
Existing Water Allocation	3,750 GPD
Existing Wastewater Allocation	0 GPD
Proposed Additional Water Allocation	0 GPD
Proposed Additional Wastewater Allocation	0 GPD
Proposed Site Lighting	(See Photometric Plan) Pole and Building Mounted Lights
Solid Waste	(Storage and Collection) Inside (Private Hauler)
Proposed Signage	(See Site Plan) Building Mounted (No additional exterior signage)
Watershed	Conococheague Creek
8 Digit Watershed #	02-14-05-04
FEMA Panel	24043C120D Dated August 15, 2017
Flood Plain, Streams, Wetlands or Buffers	1. Parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel 24043C120D effective date 8/15/2017 2. There are no floodplains, streams other related buffers or habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 cfr17.
Forest Conservation	Forestation will be addressed by pay-in-lieu



Professional Certification  
 I hereby certify that these documents were prepared, approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 2094 - Expiration Date: 03/31/2019

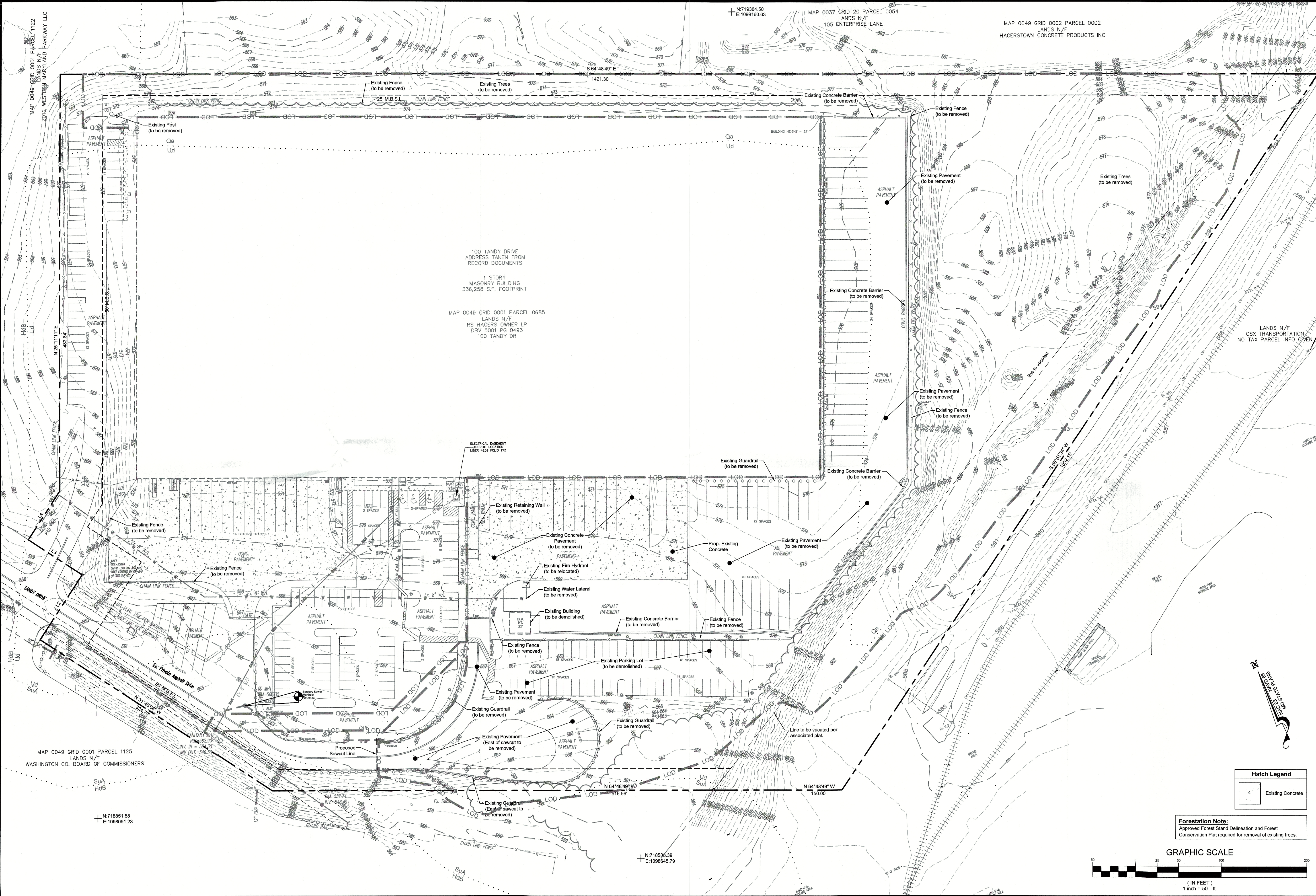
**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 A SCS GROUP COMPANY  
 CIVIL ENGINEERS, SURVEYORS, LANDSCAPE ARCHITECTS AND PLANNERS  
 20 WEST BALTIMORE STREET, HAGERSTOWN, MARYLAND 21740  
 506 SOUTH HANOVER STREET, GREENCASTLE, PENNSYLVANIA 17033  
 (301) 797-1818  
 (717) 832-8240 ext. 3108  
 www.fsa-inc.com

DATE: 04-17-19  
 PROJECT NO: 7619  
 CAD DWG FILE: 7619 - Construction Set  
 DWN BY: BAB DATE: 02-12-2019  
 CHK BY: DST DATE: 02-2019  
 TAX MAP: 0049-001-0685 ELECTION DIST: 24  
 SCALE: N.T.S.

**PRECEDENCE REVIEW - NOT APPROVED**  
 Project Snowman  
 100 Tandy Drive  
 Hagerstown, MD 21740  
 WASHINGTON COUNTY, MARYLAND  
 Client: Coneyago Enterprises, Inc. (Attn: Andy Fessler)  
 680 Edgemoor Road, P.O. Box 407, Hanover, PA 17331  
 717-532-8240 ext. 3108

SHEET TITLE  
**General Notes**  
 G-002  
 SHEET 2 OF 17  
 SP-19-012/SWCP19-009





100 TANDY DRIVE  
ADDRESS TAKEN FROM  
RECORD DOCUMENTS

1 STORY  
MASONRY BUILDING  
336,258 S.F. FOOTPRINT

MAP 0049 GRID 0001 PARCEL 0685  
LANDS N/F  
RS HAGERS OWNER LP  
DBV 5001 PG 0493  
100 TANDY DR

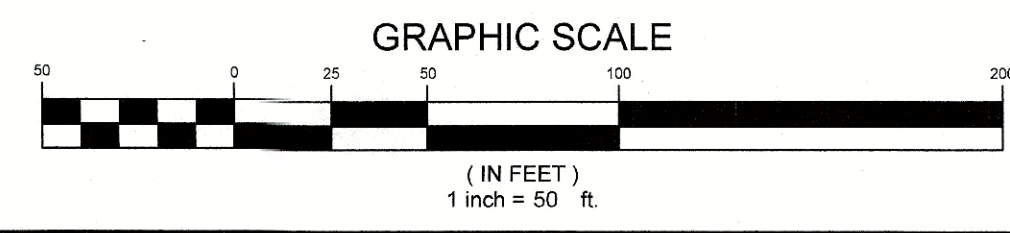
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LANDS N/F  
WASHINGTON CO. BOARD OF COMMISSIONERS

N 718851.58  
E: 1098091.23

N 718536.39  
E: 1098645.79

Hatch Legend	
	Existing Concrete

**Forestation Note:**  
Approved Forest Stand Delineation and Forest Conservation Plat required for removal of existing trees.



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20242. Expiration Date: 06-23-2019.

**FREDERICK S. SEIBERT & ASSOCIATES, INC.**  
CIVIL ENGINEER - SURVEYOR - LANDSCAPE ARCHITECT - LAND PLANNERS  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17325  
505 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
(717) 791-3500  
(717) 791-1907  
www.fsa-inc.com

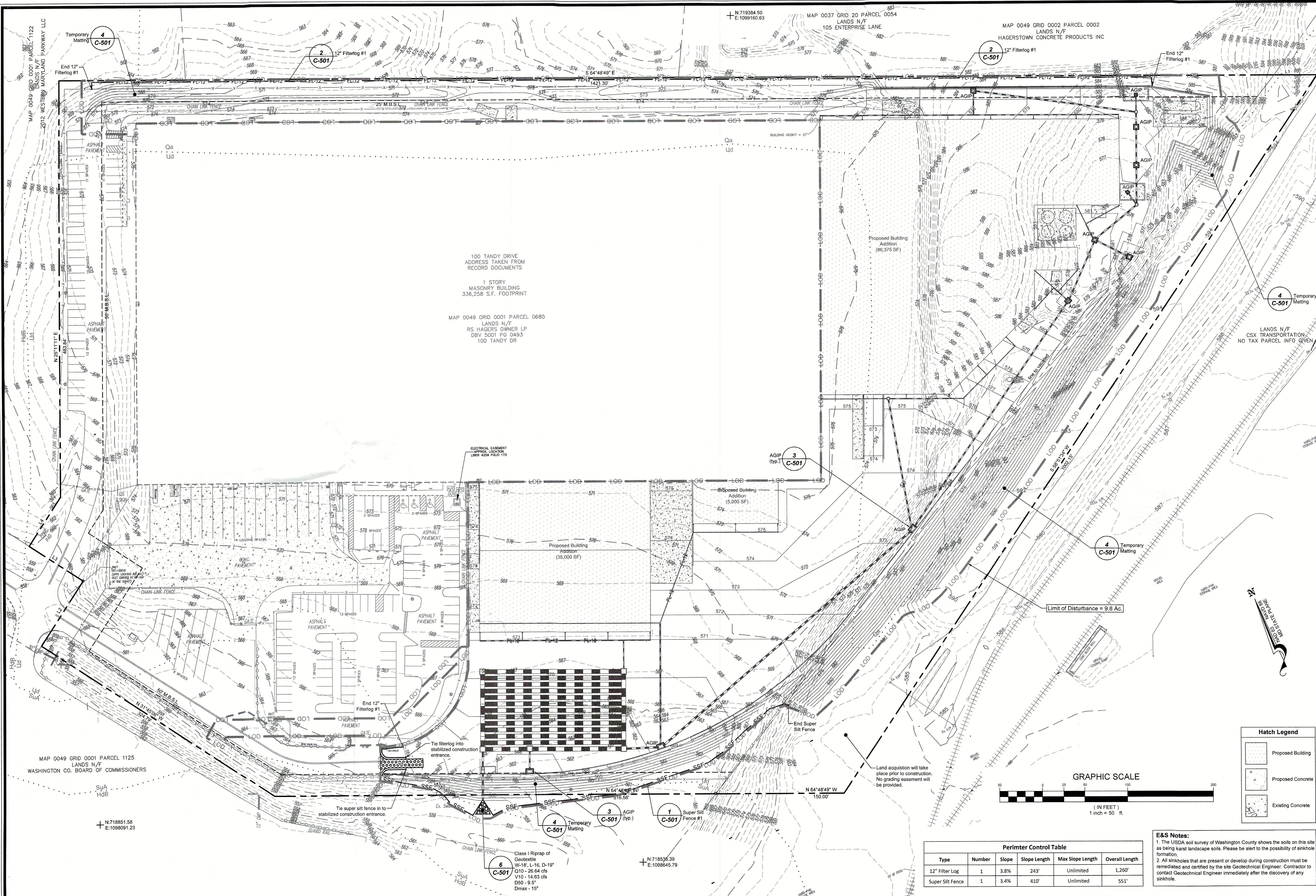
DATE:	DESCRIPTION:
04-17-19	Revised per agency comments

**Project Showman**  
100 Tandy Drive  
Hagerstown, MD 21749  
WASHINGTON COUNTY, MARYLAND  
Conewago Enterprises, Inc. (Attn: Andy Reaser)  
660 Edgewood Road, P.O. Box 407, Hanover, PA 17331  
717-532-8240 ext. 3168

PROJECT NO:	7619
CAD DWG FILE:	7619 - Construction Set
DWN BY:	BAJ
DATE:	02-28-2019
CHK BY:	DST
DATE:	02-20-2019
TAX MAP:	0049-001-0685 - 24
ELECTION DIST.:	
SCALE:	1" = 50'
SHEET TITLE:	Demo Plan
V-102	
SHEET 4 OF 17	
SP-19-012/SWCP19-009	

**UNDER AGENCY REVIEW - NOT APPROVED FOR CONSTRUCTION**





100 TANDY DRIVE  
ADDRESS TAKEN FROM  
RECORD DOCUMENTS

1 STORY  
MASONRY BUILDING  
336,258 S.F. FOOTPRINT

MAP 0049 GRID 0001 PARCEL 0685  
LANDS N/F  
RS HAGERS OWNER LP  
DBV 5001 PG 0493  
100 TANDY DR

Proposed Building  
Addition  
(35,000 SF)

Proposed Building  
Addition  
(86,375 SF)

Proposed Building  
Addition  
(5,000 SF)

MAP 0049 GRID 0001 PARCEL 1125  
LANDS N/F  
WASHINGTON CO. BOARD OF COMMISSIONERS

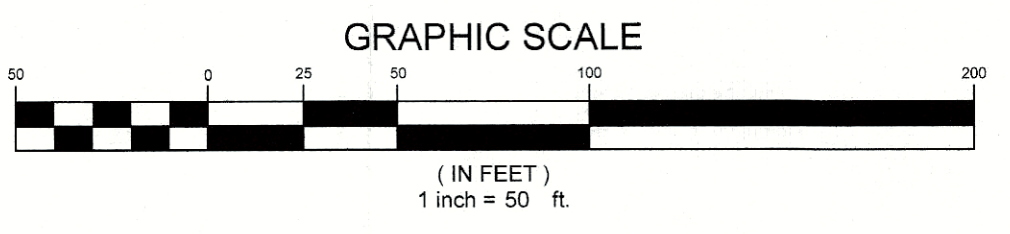
N:718851.58  
E:1098091.23

N:718536.39  
E:1098645.79

Class I Riprap of  
Geotextile  
W-18', L-16, D-19"  
Q10 - 26.64 cfs  
V10 - 14.63 cfs  
D50 - 9.5"  
Dmax - 15"

**Hatch Legend**

	Proposed Building
	Proposed Concrete
	Existing Concrete



**Perimeter Control Table**

Type	Number	Slope	Slope Length	Max Slope Length	Overall Length
12" Filter Log	1	3.8%	243'	Unlimited	1,260'
Super Silt Fence	1	3.4%	410'	Unlimited	551'

**E&S Notes:**

- The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils. Please be alert to the possibility of sinkhole formation.
- All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole.

04/18/2019

Professional Certification  
I hereby certify that these documents were prepared or reviewed by me, and that I am a duly licensed Professional Engineer for the State of Maryland. License No. 20445. Expiration Date: 08-23-2018.

**FREDERICK S. EIBER & ASSOCIATES, INC.**  
CIVIL ENGINEER - SURVEYOR, LANDSCAPE ARCHITECTS & LAND PLANNERS  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
800-343-4488 (TOLL FREE) | 717-652-2420 (PA) | 717-652-2420 ext. 3188 (PA)

**APPROVED FOR CONSTRUCTION**

DATE: 04-17-19

DESCRIPTION: Released per agency comments

MARK: [Blank]

PROJECT NO.: 7619

CAD DWG FILE: 7619 - Construction Set

DWN BY: BAB DATE: 02-28-2019

CHK BY: DST DATE: 02-20-19

TAX MAP: 0049-001-0685 SECTION DIST. 24

SCALE: 1" = 50'

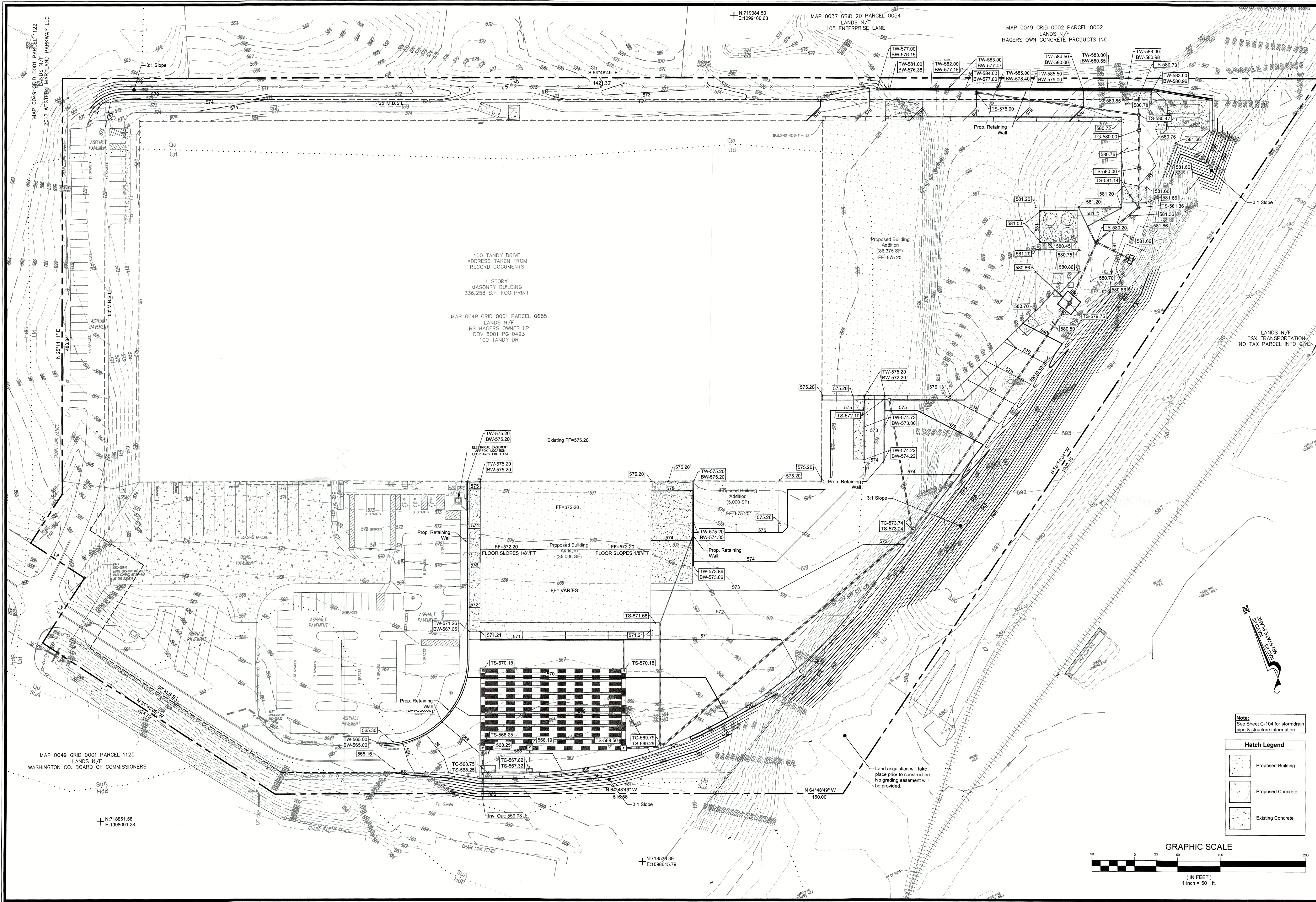
SHEET TITLE: Erosion & Sediment Control Plan

C-101

SHEET 5 OF 17

SP-19-012/SWCP19-009





100 TANDY DRIVE  
ADDRESS TAKEN FROM  
RECORD DOCUMENTS

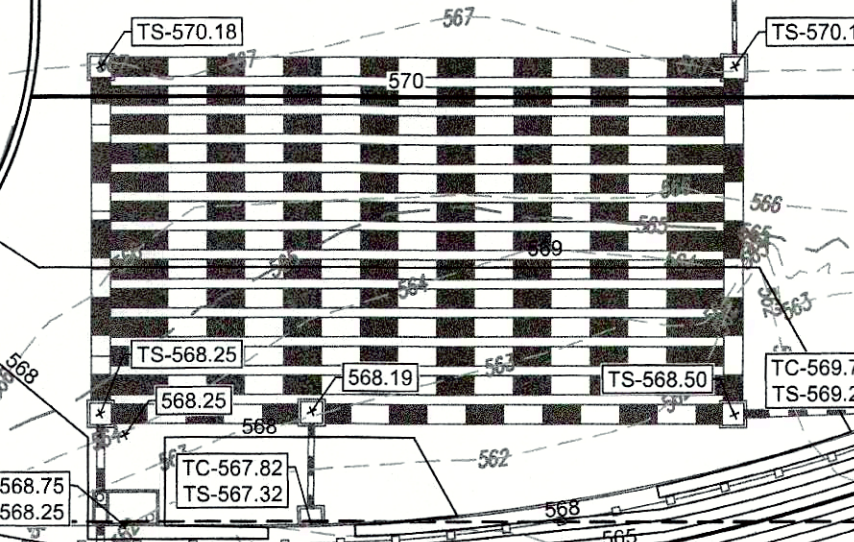
1 STORY  
MASONRY BUILDING  
336,258 S.F. FOOTPRINT

MAP 0049 GRID 0001 PARCEL 0685  
LANDS N/F  
RS HAGERS OWNER LP  
DBV 5001 PC 049.3  
100 TANDY DR

Existing FF=575.20

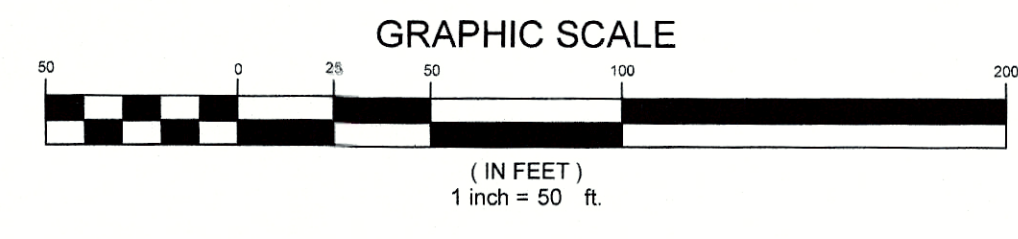
Proposed Building Addition  
(35,000 SF)  
FLOOR SLOPES 1/8"/FT

Proposed Building Addition  
(86,375 SF)  
FF=575.20



**Note:**  
See Sheet C-104 for stormdrain pipe & structure information.

Hatch Legend	
	Proposed Building
	Proposed Concrete
	Existing Concrete



Professional Engineer  
I hereby certify that these drawings were prepared, approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20055, Expiration Date: 03/31/2019.

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
A SEIBERT COMPANY

CIVIL ENGINEERS, SURVEYORS, LANDSCAPE ARCHITECTS, AND PLANNERS  
603 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21440  
505 SOUTH HANOVER STREET, CARLETON, PENNSYLVANIA 17013  
(410) 391-6600  
www.seibert.com

**PROJECT NO. 7619**

CAD DWG FILE: 7619\_Construction Set

DWN BY: BAB DATE: 02-28-2019

CHK BY: DST DATE: 02-20-19

TAX MAP: 0049-001-0685 ELECTION DIST: 24

SCALE: 1" = 50'

SHEET TITLE: **Grading Plan**

C-102  
SHEET 6 OF 17  
SP-19-012/SWPC19-009

**UNDER AGENCY REVIEW - NOT APPROVED**

Project Snowman  
100 Tandy Drive  
Hagerstown, MD 21749  
WASHINGTON COUNTY, MARYLAND  
Conevago Enterprises, Inc. (Attn: Andy Feeber)  
680 Edgemoore Drive  
Hagerstown, PA 17331  
717-522-8249 ext. 1188

DATE: 04-17-19

DESCRIPTION: Revised per agency comments

MARK: [Blank]

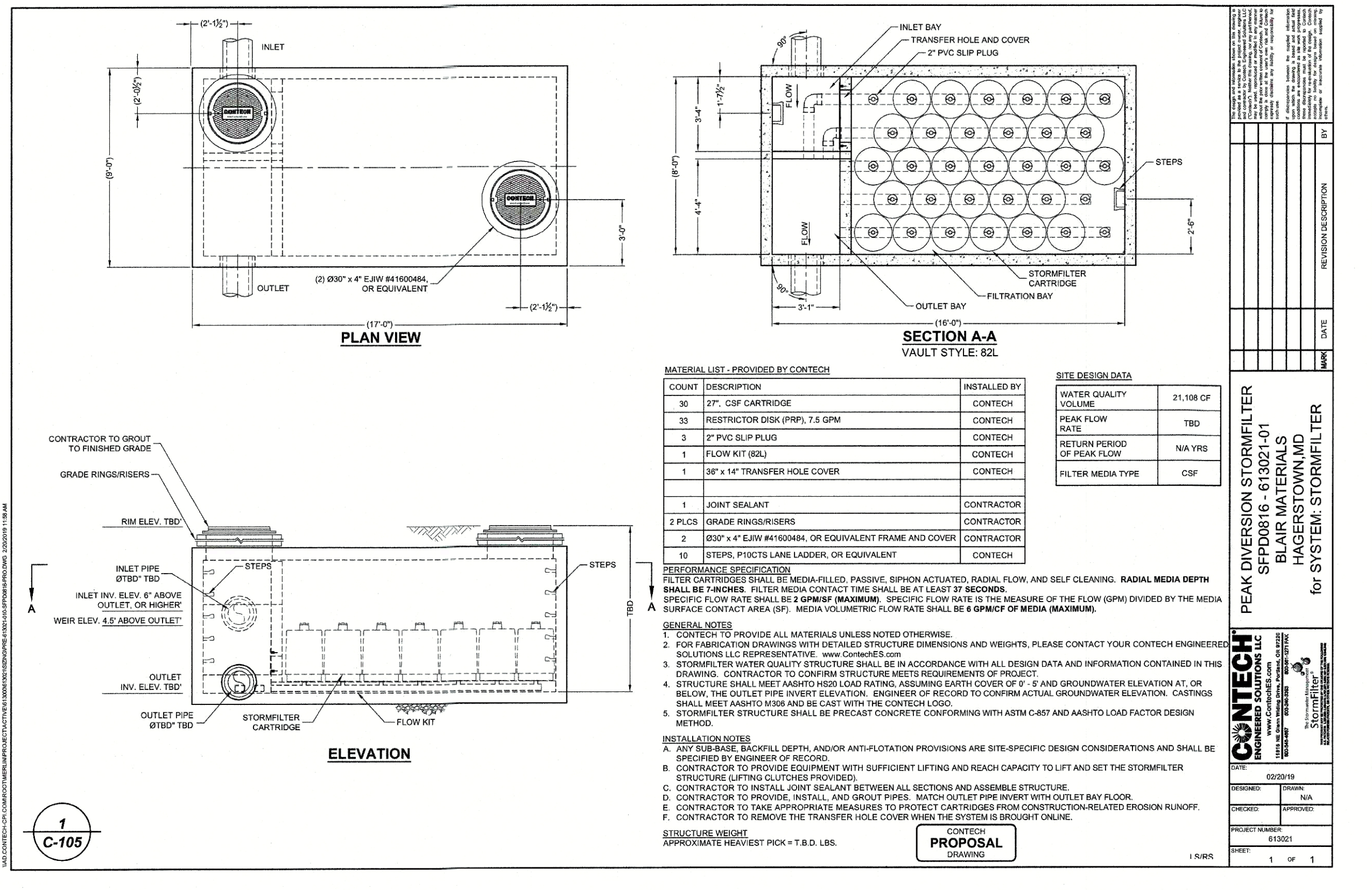












**NOTES:**

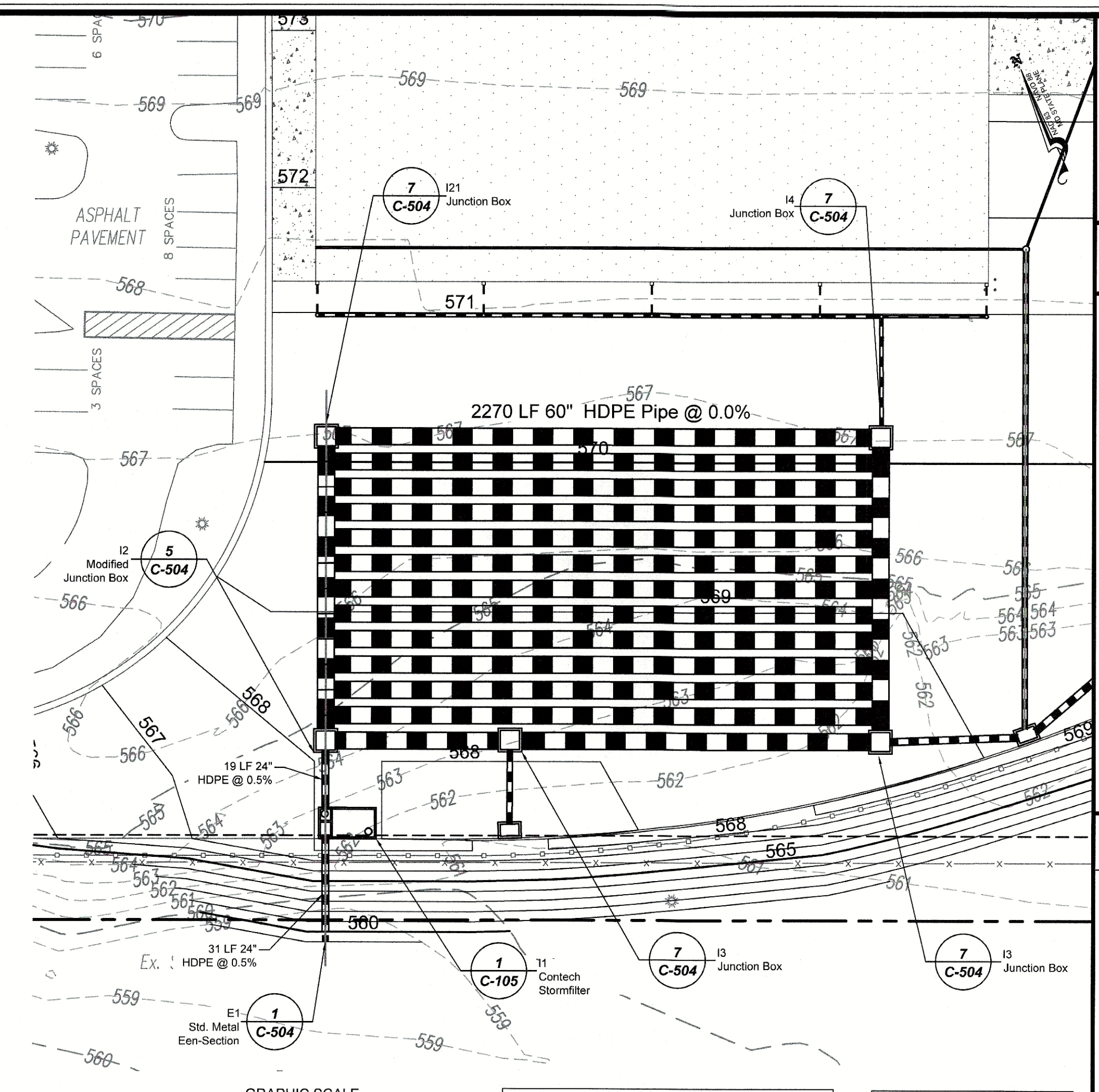
- All pipe joints shall be watertight.
- The contractor is to contact Miss Utility a minimum of 2 days prior to any digging on the site (1-800-257-7777).
- All grading on lot, either before or after the construction of a dwelling or outbuildings, shall be the full responsibility of the lot owner.
- No permanent structures (fences, sheds, play equipment, retaining walls) shall be permitted within any storm drainage easement either shown or described on the final plat of subdivision.
- Developer / contractor must contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection timetables.
- Pipes for underground detention facility to be laid on prepared subgrade with 12" gravel or sand bed.
- All storm drain structures (inlets, manholes, endwalls, etc.), regardless if precast or constructed in place of brick or concrete, shall be placed on a 6" depth of AASHTO No. 57 clean stone agitated in place and to grade on top of firm undisturbed soil subgrade.
- Backfill material for all structures in traffic bearing or structural areas shall be MD Dept. of Transportation SHA Graded Aggregate-Base. Backfill material for structures in non-traffic bearing areas shall be suitable excavated or borrow soils.
- Where specified for use AASHTO No. 57 clean stone shall be agitated, vibrated, or otherwise settled in place in lifts of 12" maximum. Where specified for use MD Dept. of Transportation SHA Graded Aggregate-Base, Section 901.01 of the Standard Specifications for Construction and Materials, shall be compacted by mechanical means in 8" lifts to a minimum of 95% of the maximum dry density of the modified proctor (ASTM D1557-78, or AASHTO T-180) with an in place moisture content of approximately 2% of the optimum moisture content.
- All inlet grates to be bolted to the inlets.
- Access points to the underground detention system shall have "Confined Space" warnings.

**MAINTENANCE SCHEDULE**

- The owner is responsible for performing all maintenance and inspections for this underground stormwater management facility.
- A written inspection report including photographs shall be submitted to the County by, or on behalf of, the owner a minimum of every three years or as directed by the County.
- Trash and debris shall be removed as necessary from the storm water management inlets & filters.
- Sediment should be cleaned out of the storm water management inlets when it accumulates to a depth of more than six inches.
- A typical Stormfilter requires maintenance once every three to four years. The owner shall periodically check the Stormfilter at least once every 6 months to check the condition of the stormfilter cartridges and replace them as needed.

**IMPOSED SOIL LOADINGS**

- In accordance with manufacturer specifications, the minimum fill cover shall not be less than 1 foot and the maximum fill shall be no more than 55 feet.



**NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS UNDERGROUND SWM STRUCTURE**

The following inspections are required to be performed by the Qualified Professional for the construction of any Public Road. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

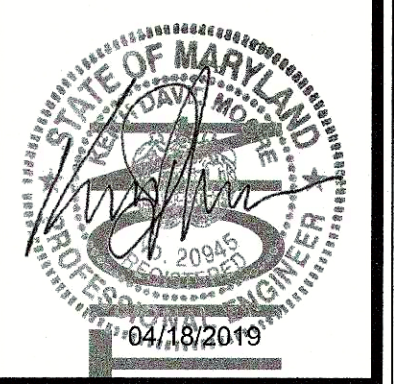
\* MANDATORY NOTIFICATION: Inspection and approval by the parties indicated is required at these points prior to proceeding with construction. The permittee is required to give the required inspection parties twenty-four (24) hours notice. The county inspector may waive an inspection, provided the design engineer and/or geotechnical engineer makes the required inspection per a prior scheduled arrangement which has been confirmed with the county inspector. Work completed without the necessary party's approval may result in the permittee having to remove and reconstruct the unapproved work. The permittee must maintain a "record set" of approved SEC/SWM plans on-site.

Inspection Item	Certifying Engineer	Date	County Inspector	Date
Sediment control installation				
Excavation for stormwater management structure (GEO)				
Install stormwater management control structure/storage structure and associated storm drainage, a. Footing subgrade, prior to pouring (GEO)				
Forms set and rebar placed for walls/slabs prior to pouring (DE)				
Pipe assembled in place (DE) on acceptable subgrade (GEO)				
Any required storm drain pipe installed to structure and temporarily plugged shut (DE)				
Internal components installed, if any (DE)				
Backfilling of drainage structure (GEO)				
Installation of storm drain inlet protection or blocking on all inlets draining to structure which may receive silt-laden runoff				
Installation of final compacted cover and grade - Lifts, compaction, soil material (GEO) - Location, dimensions (DE)				
Stabilize drainage area to stormwater management structure				
Removal of sediment and construction debris from structure				
Remove temporary blocking (DE) and (GEO)				
Submit record drawing and documentation (DE)				
Final Inspection				

NOTES: 1. Contractor to supply Design/Certifying Engineer with delivery tickets for all materials used in SWM structure construction. 2. See construction specifications for detailed requirements. 3. A copy of this completed checklist must be submitted as part of the stormwater management as-built package. (GEO=Geo-Technical Engineer, DE=Design Engineer)  
The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.

**Stormwater Management Facilities Construction Inspection Requirements**

- The developer/contractor shall notify the Division of Public Works ("DPW") at least five (5) days before commencing any work in conjunction with the approved final stormwater management plan and upon completion of the project when a final inspection will be conducted.
- Regular inspections shall be made and documented for each structural ESD planning technique and practice and structural stormwater measures every 2 weeks and at the required critical inspection stages identified in the attached checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance.
- All non-structural practices shall be inspected, at a minimum, upon completion of final grading, the establishment of permanent stabilization, and before issuance of use and occupancy permit.
- Inspections shall be conducted by DPW, the MDE (as applicable), and by the Verifying Professional. Inspections performed by the DPW are not to be considered a substitute for those inspections required by the Verifying Professional. Written inspection reports shall be prepared by the Verifying Professional during construction of ESD planning techniques and practices plans. Copies of all inspection reports shall be provided to DPW by the person performing the inspection and kept on file with DPW.
- Written inspection reports are required and shall be submitted in a manner consistent with the Public Works Agreement and this Article and in a format approved by DPW, and shall include, at a minimum:
  - The date and location of the inspection;
  - Work observed;
  - Photos;
  - Tests performed;
  - Whether construction was in compliance with the approved stormwater management plan;
  - Any variations from the approved construction specifications;
  - Any violations that exist;
  - Signature and date of Verifying Professional.
- Failure to comply with these inspection requirements and/or obtain approval from the Verifying Professional or DPW at the required construction stages will result in disapproval of the facility, delays of final acceptance and permit release.
- The developer, DPW, the MDE, Verifying Professional, and on-site personnel shall be notified in writing when violations are observed. Written notification shall be made by the person discovering the violation and shall describe the nature of the violation and the required corrective action. No further work affected by the violation shall proceed until the corrective action is inspected and approved in writing by the Verifying Professional, the Division, MDE (as applicable), and the District (as applicable).
- DPW may require adjustments to address items overlooked or inappropriately addressed by the plans. Such adjustments may be required during construction or at the final inspection.
- The County may require a revision to the approved construction drawings or site plans be submitted and approved by the DPW, the Division of Planning and Community Development (as applicable), the MDE (as applicable) and the District prior to continuation of construction activity.
- No work shall proceed beyond the construction stages specified in attached Checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance until DPW and the Verifying Professional inspect and approve the work previously completed and the Verifying Professional furnishes the DPW and developer with the results of the inspection reports as soon as possible after completion of each required inspection.



**FREDERICK S. EIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS, LANDSCAPE ARCHITECTS, AND PLANNERS  
 122 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21040  
 540 SOUTH HANOVER STREET, GREENSBORO, NORTH CAROLINA 27401  
 (410) 798-9650 (301) 452-7476  
 www.fsa-inc.com

**NOT APPROVED**

**Project Snowman**  
 100 Landry Drive  
 Hagerstown, MD 21749  
 WASHINGTON COUNTY, MARYLAND  
 CONEY ENGINEERS, LLC (Attn: Andy Fessenden)  
 660 Edgegrove Road, P.O. Box 407, Hanover, PA 17331  
 717-932-8240 ext. 3188

PROJECT NO: 7619  
 CAD DWG FILE: 7619 - Construction Set  
 DWN BY: DATE: 06-16-2019  
 BAB: 02-12-2019  
 CHK BY: DATE: 02-2019  
 DST: 02-2019  
 TAX MAP: 0049-001-0685  
 ELECTION DIST: 24  
 SCALE: 1" = 30'  
 SHEET TITLE: Stormwater Management Plan  
 SHEET 9 OF 17  
 SP-19-012/SWCP19-009









**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

SITE NAME.....: Hub City Vineyard  
NUMBER.....: SP-19-009

OWNER.....: HUB CITY VINEYARD INC  
LOCATION.....: southeast side of Oak Ridge Drive  
DESCRIPTION.....: Site plan for addition to existing church

ZONING.....: Residential, Urban  
COMP PLAN LU.....: Low Density Residential  
PARCEL.....: 26037859  
PLANNING SECTOR.....: 1  
ELECTION DISTRICT.....: 26

TYPE.....: Institutional  
GROSS ACRES.....: 4.01  
DWELLING UNITS.....:  
TOTAL LOTS.....: 1  
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly  
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES  
RECEIVED.....: February 15, 2019

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No  
WETLANDS.....: No  
WATERSHED.....: Marsh Run  
ENDANGERED SPECIES.....: None  
STEEP SLOPES.....: No  
STREAM BUFFER.....: No  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: None

Staff Comments:

*Not Applicable*



Washington County  
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

*SITE DESIGN*

<b>Impervious Area Plan</b>	<b>Impervious Maximum Allowed</b>	<b>Open Space Area Planned</b>
61		
<b>Open Space Minimum Required</b>	<b>Residential Amenity Plans</b>	<b>Solid Waste Disposal Plans</b>
	n/a	Inside trash can
<b>Materials Stored on Site</b>	<b>Buffer Design Meets Requirements</b>	<b>Landscaping Meets Requirements</b>
No	Yes	Yes
<b>Lighting Plan Meets Requirements</b>	<b>Pedestrian Access is Adequate</b>	<b>Bus Stop is Within Walking Distance</b>
Yes		
<b>Loading Area Meets Requirements</b>		
		<b>Not Fast Track</b>
<b>Parking Spaces - Total Planned</b>	<b>Parking Spaces - Per Dwelling Unit</b>	
164		
<b>Parking Spaces - Minimum Required</b>	<b>Recreational Parking Provided</b>	
152	No	

ACCESS SPACING VARIANCE NEEDED: No

*SCHOOL INFORMATION*

	<b>ELEMENTARY</b>	<b>MIDDLE</b>	<b>HIGH</b>
<b>SCHOOL DISTRICT</b>	Lincolnshire	Springfield	Williamsport
<b>PUPIL YIELD</b>			
<b>CURRENT ENROLLMENT</b>			
<b>MAXIMUM CAPACITY</b>			

*PUBLIC FACILITIES INFORMATION*

<b>FIRE DISTRICT.....:</b>	HALFWAY
<b>AMBULANCE DISTRICT.....:</b>	HALFWAY

*WATER & SEWER INFORMATION*

	<b>WATER</b>	<b>SEWER</b>
<b>METHOD.....:</b>	City	County
<b>SERVICE AREA.....:</b>	City	County
<b>PRIORITY.....:</b>	1-Existing Service	1-Existing Service
<b>NEW HYDRANTS.....:</b>		
<b>GALLONS PER DAY SEWAGE...:</b>		
<b>PLANT INFO.....:</b>		Conococheague

## Site Plan for Hub City Vineyard

Presented is a site plan for Hub City Vineyard Church at the site of the Church of the Holy Trinity.

The subject site is located along the south side of Oak Ridge Drive, just east of its intersection with Halfway Boulevard. Zoning is Residential Urban.

The congregation of Hub City Vineyard is proposing to construct a 13,007 square foot addition to the existing 14,600 square footage of the existing Church of the Holy Trinity. Both congregations will use the enlarged 27,700 square foot church for services. During the week, Hub City Vineyard will also run a child daycare facility. Church offices are currently located in a separate building located behind the church. This will remain as an office for both churches. An existing child play area and pavilion will remain. Total parcel area is 4.01 acres.

Building height of the church will be 30 feet.

The site will have two entrances – the existing combined entrance and the addition of an exit only access onto Oak Ridge Drive.

Public water and sewer will service the site.

Church services will be on Sunday mornings. The daycare will occur Monday thru Friday 6:00 am to 6:00 p.m.

Parking required is 152 spaces with 164 spaces being provided.

A screened dumpster will provide for solid waste.

Site lighting will be building mounted and pole mounted in the parking lot.

Site signage will be building mounted.

Forest requirements will be met by a proposal to pay the fee in lieu of \$5,096.52.

Landscaping is located around the church and throughout the parking lot.

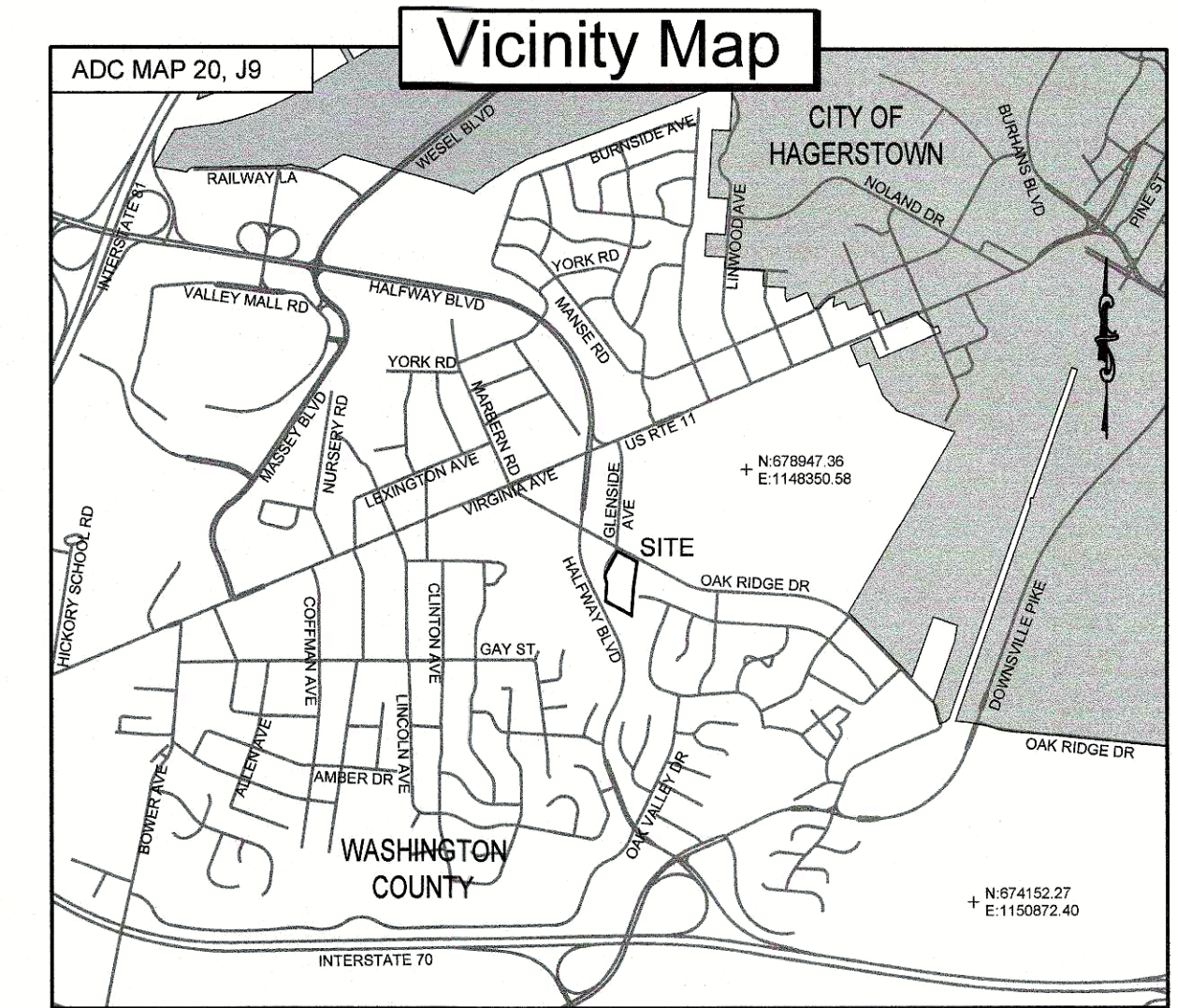


# SITE PLAN for *HUB CITY VINEYARD*

Situate at: 17805 Oak Ridge Drive  
Washington County, Maryland

**OWNER/DEVELOPER:**  
Hub City Vineyard, Inc.  
11000 Bower Ave. #12  
Hagerstown, MD 21740

**ATTN:** Christy Thompson  
**PHONE:** (301)-582-3344  
**Email:** Christy@hcv.church



SCALE: 1" = 2,000'

## Approvals

<p>MD-ENG-6A 1/89</p> <p>USDA SCS</p> <p><b>UTILITY NOTIFICATION</b> The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:  Phone No. 1-800-257-7777</p> <p><b>DISTURBED AREA QUANTITY</b> THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>2.6</u> ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>2400</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>2023</u> CU. YDS. OF FILL.</p> <p>WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p> <p>APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING</p> <p>SIGNATURE _____ DATE _____</p> <p><b>ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</b> "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."</p> <p>SIGNATURE _____ DATE _____ SEAL _____</p> <p>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.</p> <p>SIGNATURE _____ DATE _____</p>	<p><b>OWNER / DEVELOPERS CERTIFICATION</b> "I/We certify all/any parties responsible for clearing, grading, construction and/or development will, be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>DATE _____ PRINTED NAME _____ SIGNATURE _____</p> <p><b>OWNER / DEVELOPERS CERTIFICATION</b> "I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>DATE _____ PRINTED NAME _____ SIGNATURE _____</p> <p><b>ENGINEER / ARCHITECT DESIGN CERTIFICATION</b> I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p> <p>DATE _____ REG. NO. _____ SIGNATURE _____</p> <p><b>Professional Certification</b> I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. <u>49808</u>, Expiration Date: <u>08/24/2020</u>.</p>
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CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225

(301) 791-3650      (301) 416-7478      (717) 597-1007      FAX (301) 739-4956

## Sheet Index

TYPE	NUMBER	TITLE
C-001	SHEET 1	COVER SHEET
C-001	SHEET 2	GENERAL NOTES
V-101	SHEET 3	EXISTING CONDITIONS PLAN
V-102	SHEET 4	SITE DEMOLITION PLAN
C-101	SHEET 5	SITE & DIMENSIONING PLAN
C-102	SHEET 6	GRADING AND SEDIMENT EROSION CONTROL PLAN
C-103	SHEET 7	STORMWATER MANAGEMENT PLAN
C-501	SHEET 8	STORMWATER MANAGEMENT DETAILS AND NOTES
C-502	SHEET 9	SEDIMENT EROSION CONTROL DETAILS AND NOTES
C-503	SHEET 10	SITE DETAILS AND NOTES
C-504	SHEET 11	UTILITY PROFILES, DETAILS AND NOTES
L-101	SHEET 12	LANDSCAPE PLAN, DETAILS & NOTES

## SWM Narrative

**Stormwater Management Requirements**  
This project was designed in accordance with Washington County's Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance, which was adopted February 26, 2013 and current MDE SWM regulations, Sections 3.5.1 and 3.6.2 of the Wash. Co. ordinance specifies the minimum SWM control requirements. These requirements are ESD to MEF, Channel Protection volume, CPv, and 2-yr and 10-yr peak flows.

**ESDv**  
The plan is designed to minimize the extent and duration of earth disturbance, protect existing drainage channels, and minimize soil compaction to the maximum extent practical. The site is proposing 1.3 acres of new impervious coverage across 2.6 acres of disturbed area. The Water Quality, WQv, and Environmental Site Design volume, ESDv generated is 4,719 CF and 8494 CF respectively. This site proposes to address the entire ESDv through micro-scale practices. There is no room for non-structural practices within the drainage area. The ESDv will be treated through micro bio-retentions. Together the proposed BMPs provide 8,781 CF of treatment volume.

ESD Practices (Chapter 5 - Structural & Non-Structural)									
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	ESDv (ac-ft)	WQv (ac-ft)	CPv (ac-ft)	CPv (cf) (Discharge)	Rev (ac-ft)
MICRO-BIORETENTION	1	0.47	0.37	94	0.04	0.04	0.04	0.31	NA
MICRO-BIORETENTION	2	1.00	0.56	88	.07	.07	0.12	0.00	NA

Total DA (Site)	2.6000
Construction Type (circle one)	<input checked="" type="radio"/> New <input type="radio"/> Redevelopment <input type="radio"/> Restoration

	GRADING CHK BY: TMF	DATE:	PROJECT NUMBER: 6230.1
	SEC CHK BY: TMF	DATE:	<b>COVER SHEET</b>
	SWM CHK BY: TMF	DATE:	C-001
Revised per Wash. County Water Quality comments	DATE: 3/27/2019	PLAN CHK BY: TMF	SHEET 1 OF 12
DESCRIPTION:	DATE:		SP-19-009



**GENERAL NOTES**

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. Refer to the Geotechnical Report for this site prepared by Hillis-Carnes & Associates.
- G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- G.4 The contractor shall verify the existence and location of all the utilities, shown hereon or otherwise, and verify existing conditions before beginning construction. It is the responsibility of the contractors to assure themselves that no hazard exists or damage will occur to the utilities. It is required that "miss utility" (1-800-257-7777) and all applicable utility companies be contacted at least one week prior to commencement of work.
- G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
 

<b>Miss Utility</b>	<b>(800) 257-7777</b>
<b>Potomac Edison</b>	<b>(800) 255-3443</b>
<b>Columbia Gas</b>	<b>(888) 460-4332</b>
<b>Maryland Department of the Environment</b>	<b>(301) 665-2850</b>
<b>Washington County Department of Water Quality</b>	<b>(240) 313-2600</b>
<b>Washington County Division of Construction</b>	<b>(240) 313-2400</b>
<b>Washington County Soil Conservation District</b>	<b>(301)-797-6821 Ext. 3</b>
- G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- G.9 Benchmark as shown. See Sheets V-101 and V102.
- G.10 The contractor shall be responsible for notifying the Architect/Engineer, before construction, of any discrepancies in the plans, actual field conditions and/or in the relationship of finished grades to existing prior to beginning work.
- G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- G.15 Erosion & Sediment control measures shall be installed per erosion and sediment control plans, details and specifications.
- G.16 Fills shall be placed in accordance with the geotechnical engineers specifications.
- G.17 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials. Unless otherwise directed by the geotechnical engineer.
- G.18 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- G.19 Stormwater management is being provided by two proposed bioretention areas.
- G.20 Fill brought to this site and/or excavation/sediment exported from this site shall be imported/exported from a site with an approved and up-to-date erosion and sediment control plan and N.P.D.E.S. Permit, where applicable.
- G.21 The site shall comply with the Maryland Accessibility Code and the Americans with Disabilities Act.
- G.22 This project has a projected start date of August 2019 and a completion date of August 2020.
- G.23 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- G.24 All grading on lot, either before or after the construction of a dwelling or appurtenances, shall be the full responsibility of the lot owner.
- G.25 No permanent structures (fences, sheds, play equipment, retaining walls) shall be permitted within any storm drainage easement either shown or described on the final plat of subdivision.
- G.26 There are 49 existing parking spaces on this site that is being increased to 164 spaces.
- G.27 The purpose of this site plan is for the building addition to an existing church. The existing church tenants (Church of the Holy Trinity) will continue to use a portion of the existing building while the new owners (Hub City Vineyard) the remaining building. An agreement has been recorded between the two church in Washington County Liber 5892 Folio 395

**SITE DATA**

Tax map	0049-0020-1003
Election district	26
Zoning	RU - Residential Urban
<b> setbacks:</b>	
Front	25'
Side	20'
Rear	40'
<b>Area Summary:</b>	
Parcel	4.01 Ac ±
Existing Impervious	1.13 Ac ± (28%)
Proposed Impervious	2.43 Ac ± (61%)
<b>Building area:</b>	
Existing Church	14,693 S.F.
Building Addition	13,007 S.F.
Building height	30'
Function description	Church
Hours of Operation	10am-4pm, Tues.-Fri., Sunday 8am-2pm
Freight / Delivery	Box Truck Weekly
<b>Parking Summary:</b>	
Area	56,928 S.F.
Parking required	1 space per 5 seats provided in the main religious assembly auditorium
Number of Seats Available in Main Worship Area	760
Total Spaces	152 Spaces
Parking proposed	
Regular	157 Spaces
Handicapped	7 Space
Total	164 Spaces
<b>Water &amp; Sewer Usage:</b>	
Water provided	Public Water (City of Hagerstown)
Sewer provided	Public Sewer (Washington County)
<b>Waste &amp; Recyclables:</b>	
Solid Waste Removal	Dumpster
Recycle Removal	Internal Collection & Storage with Private Hauler
<b>Site Lighting:</b>	
Existing	Building Mounted
Proposed	Pole and Building Mounted
<b>Site Signage:</b>	
Existing	3' x 7', 21 S.F., 6' High (to be removed)
Proposed	Building Mounted
<b>Address assignment:</b>	
Church	#17805
Variance	None
Forest Stand Delineation	FS-19-003
Forest Conservation	Required - 16,988.4 S.F. (0.39 Ac.) - Express Procedure Pay-in-Lieu (\$5,096.52)
<b>Watershed:</b>	
Name	Marsh Run
Number	02140503
FEMA Panel #	24043C0282D
Sensitive Area	There are no floodplains, or habitat of threatened or endangered species identified by the U.S. Fish & Wildlife Service per 50 CFR 17 as required to be shown by sections 306, 307 & 314 of the Washington County Subdivision Ordinance & section 4.21 (C&D) of the Washington County Zoning Ordinance. See sheet V-101 for location.

**△ SITE DATA (Church of the Holy Trinity)**

Function description	Church
Hours of Operation	Sunday 8am-2pm
Freight / Delivery	None
<b>Parking required</b>	
Number of Seats Available in Main Worship Area	40
Total Spaces	8 Spaces
Parking provided	8 Spaces
<b>Site Signage:</b>	
Existing	3' x 7', 21 S.F., 6' High (to be removed)
Proposed	None

**△ SITE DATA (Daycare for Hub City Vineyard)**

Function description	Children's Daycare Service
Hours of Operation	Mon. - Fri. 6am - 6pm
Freight / Delivery	None
<b>Parking required</b>	
Number of children attend day care service	21
Total Spaces	5 Spaces
Parking provided	5 Spaces
<b>Site Signage:</b>	
Existing	None
Proposed	None

**ABBREVIATION LEGEND**

- AASHTO = AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
- ADS = ADVANCED DRAINAGE SYSTEM
- ASTM = AMERICAN SOCIETY FOR TESTING & MATERIAL
- AWWA = AMERICAN WATER WORKS ASSOCIATION
- BLDG = BUILDING
- BOT = BOTTOM
- CIP = CAST IRON PIPE
- CL = CENTERLINE
- CMF = CORRUGATED METAL PIPE
- CO = SANITARY SEWER CLEAN-OUT
- CONC = CONCRETE
- DA = DRAINAGE AREA
- DIA = DIAMETER
- EGL = EXISTING GRADE LINE
- EX = EXISTING
- FH = FIRE HYDRANT
- GV = GATE VALVE
- HGL = HYDRAULIC GRADE LINE
- HDPE = HIGH DENSITY POLYETHYLENE
- INV = INVERT
- LF = LINEAR FEET
- MAX = MAXIMUM
- MB = MAIL BOX
- MIN = MINIMUM
- MJ = MECHANICAL JOINT
- NO = NUMBER
- N.T.C. = NOT THIS CONTRACT
- N.T.S. = NOT TO SCALE
- O.A.E. = OR APPROVED EQUAL
- O.C. = ON CENTER
- PC = POINT OF CURVE
- PCC = POINT OF COMPOUND CURVE
- PGL = PROPOSED GRADE LINE
- PRC = POINT OF REVERSE CURVE
- PT = POINT OF TANGENT
- PVC = POINT OF VERTICAL CURVE
- PVI = POINT OF VERTICAL INTERSECTION
- PVT = POINT OF VERTICAL TANGENT
- R/W = RIGHT-OF-WAY
- SAN = SANITARY
- SCE = STABILIZED CONSTRUCTION ENTRANCE
- SDR = STANDARD DIMENSION RATIO
- SDMH = STORM DRAIN MANHOLE
- SF = SQUARE FEET
- SSMH = SANITARY SEWER MANHOLE
- STA = STATION
- STND = STANDARD
- SY = SQUARE YARDS
- T.A.N. = TYPE AS NOTED
- TEMP = TEMPORARY
- TG = TOP OF GRATE
- TYP = TYPICAL
- VIF = VERIFY IN FIELD
- WM = WATER VALVE

**Legend**

SYMBOL		FEATURE
EXISTING	PROPOSED	
		PROPERTY LINE, CORNER
		PERMANENT EASEMENT
		CENTERLINE
		CONTOURS
		TREE LINE
		EDGE OF PAVEMENT
		CONCRETE CURB
		STREAM OR DITCH
		WATER LINE
		FLOW LINE
		SANITARY SEWER LINE, STUB
		GAS LINE
		FORCE MAIN
		STORM DRAIN, END SECTION
		ROOF DRAIN PIPE
		WATER VALVE
		WATER CAP, REDUCER, BEND
		FIRE HYDRANT, METER
		OVERHEAD ELECTRIC LINE
		GUARDRAIL
		RAILROAD TRACKS
		BUILDINGS, HOUSES, GARAGES
		SANITARY SEWER MANHOLE
		STORM DRAIN INLET
		UTILITY POLE
		HANDICAP PARKING
		POLE LIGHT
		ROAD SIGN
		SPOT ELEVATION
		SINGLE WATER METER
		SINGLE SEWER CLEANOUT
		DOUBLE WATER METER
		DOUBLE SEWER CLEANOUT
		P.I. POINT OF INTERSECTION
		P.C. POINT OF CURVATURE
		P.T. POINT OF TANGENCY
		P.O.L. POINT ON LINE
		B.C. BOTTOM OF CURB
		T.C. TOP OF CURB

**SENSITIVE AREA NOTICE**  
 The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.


UNDER REVIEW - NOT APPROVED

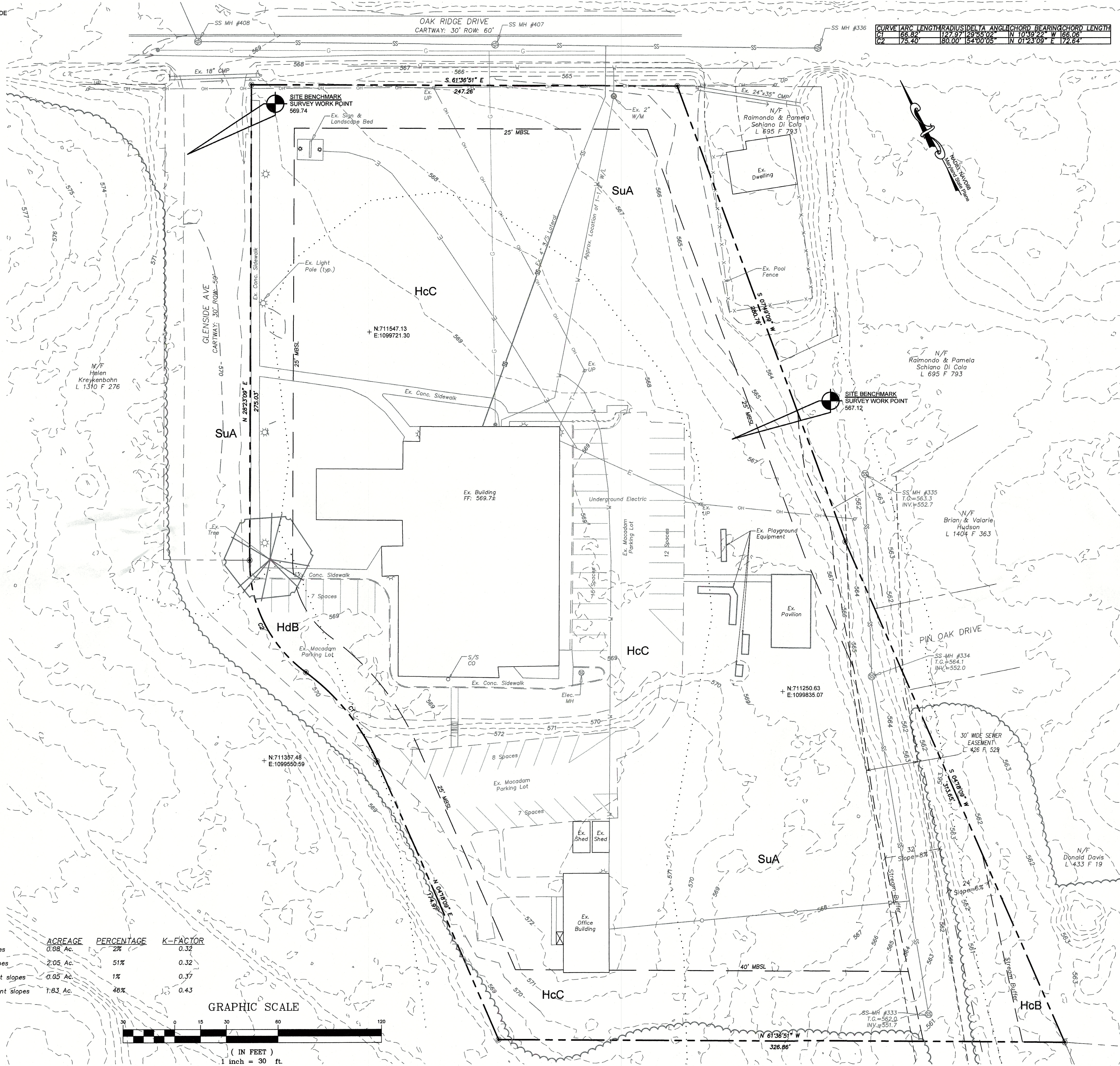
HUB CITY VINEYARD  
 11000 Bower Ave. #12 Hagerstown, MD 21740  
 (301)-562-5344

FREDERICK & SEIBERT ASSOCIATES, INC.  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17025  
 (717) 991-1007

PROJECT NO: 6210.1  
 CAD DWG FILE: General Notes.dwg  
 DWN BY: DWH  
 DATE: 01-23-2019  
 CHK BY: DATE  
 TMF  
 TAX MAP: 49-20-1003  
 ELECTION DIST: 26  
 SCALE: NTS  
 SHEET TITLE: GENERAL NOTES  
 C-002  
 SHEET 2 OF 12  
 SP-19-009



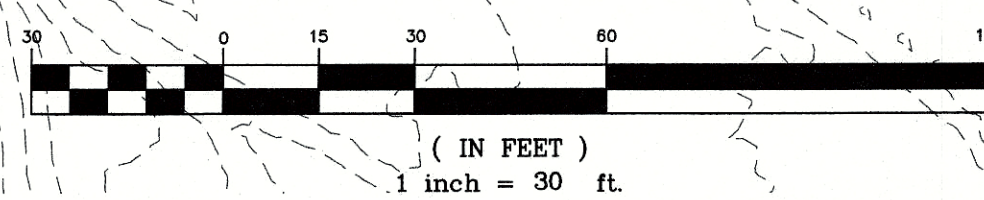
THE SOILS ON SITE ARE CLASSIFIED AS 'KARST LANDSCAPE SOILS' IN THE USDA SOIL SURVEY OF WASHINGTON COUNTY. CONTRACTOR SHALL BE MADE AWARE OF THE POTENTIAL OF SINKHOLES. CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER IF SINKHOLES ARE FOUND ON SITE FOR REMEDIATION RECOMMENDATIONS. 



SOILS KEY

SOILS	NAME	ACREAGE	PERCENTAGE	K-FACTOR
HcB	Hagerstown-Rock outcrop complex, 3 to 8 percent slopes	0.08 Ac.	2%	0.32
HcC	Hagerstown-Rock outcrop complex, 8 to 15 percent slopes	2.05 Ac.	51%	0.32
HdB	Hagerstown-Duffield-Urban land complex, 0 to 8 percent slopes	0.05 Ac.	1%	0.37
SuA	Swanpond-Funkstown-Urban land complex, 0 to 3 percent slopes	7.83 Ac.	46%	0.43

GRAPHIC SCALE



Professional Certification  
I hereby certify that these documents were prepared or supervised by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4988  
FREDERICK & SEIBERT ASSOCIATES, INC.  
REGISTERED PROFESSIONAL ENGINEERS - LAND PLANNERS  
28 EAST PATRICK STREET, GREENSBORO, MARYLAND 21725  
505 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
(301) 446-7478 (301) 446-7478

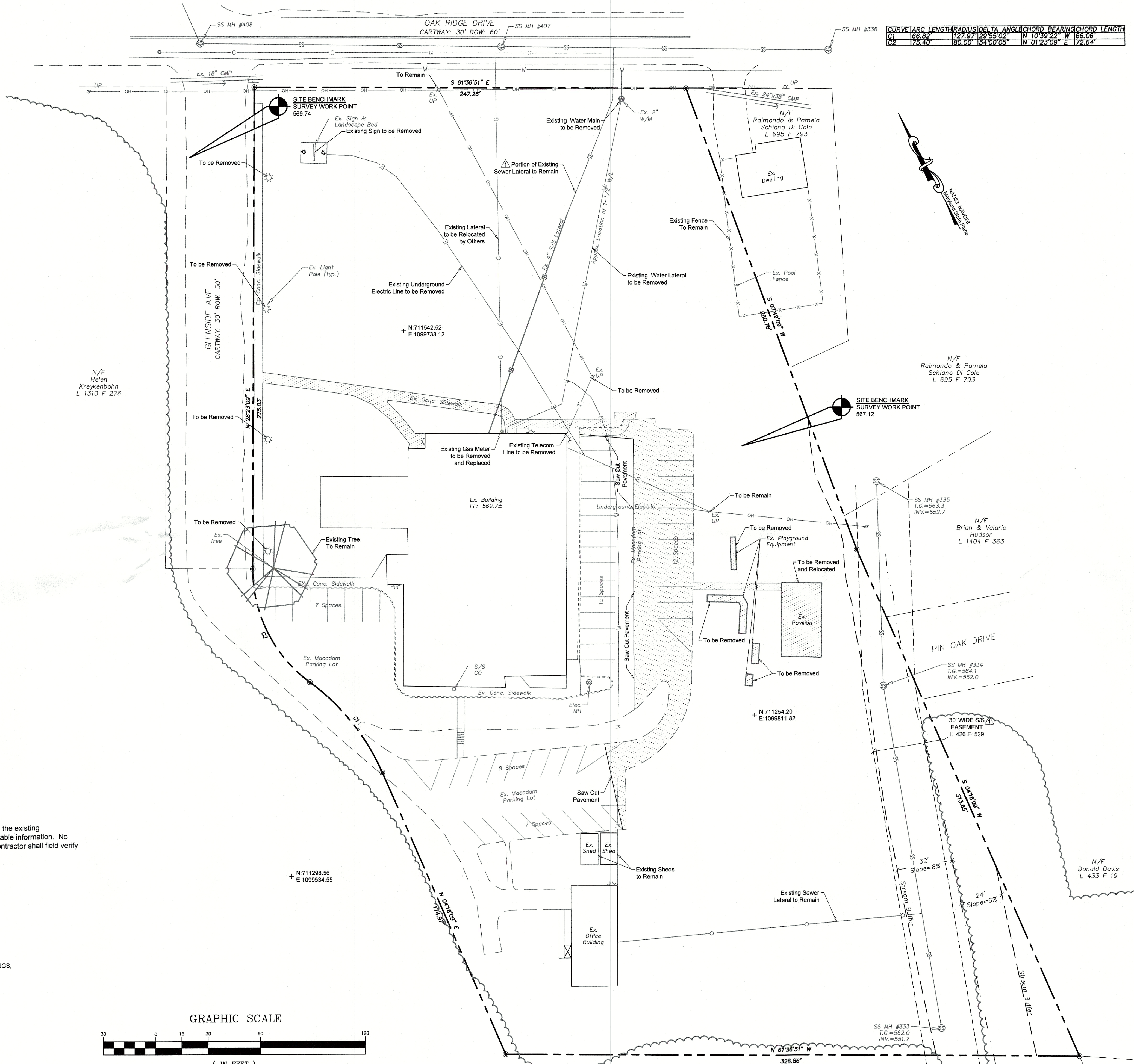
DATE:	DESCRIPTION:
3/25/2019	Revised per WCCSD comments

**HUB CITY VINEYARD**  
Situates at 17805 Oak Ridge Drive  
Essexville, Maryland  
South of Glenside Avenue  
WASHINGTON COUNTY, MARYLAND  
CLIENT:  
Hub City Vineyard  
11000 Bower Ave #12 Hagerstown, MD 21740  
(301) 582-3344

PROJECT NO.	CAD DWG FILE	DWN BY	CHK BY	TAX MAP	SCALE
5230.1	General Notes.dwg	DWH	TMF	49-20-1003	1" = 30'

SHEET TITLE  
**EXISTING CONDITIONS**  
V-101  
SHEET 3 OF 12  
SP-19-009





CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.82	127.07	129.5302°	N 10°39'22" W	168.06
C2	75.40	80.00	54.0005°	N 01°23'08" E	72.84

Professional Certification  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4502  
 FREDERICK & SEIBERT & ASSOCIATES, INC. ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 128 SOUTH POTOMAC STREET - HAGERSTOWN, MARYLAND 21740  
 505 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
 (301) 795-8850 (301) 146-7478 FAX (301) 794-9925

MARK	DESCRIPTION	DATE
▲	Revised per Wash. County Water Quality comments	3/27/2015

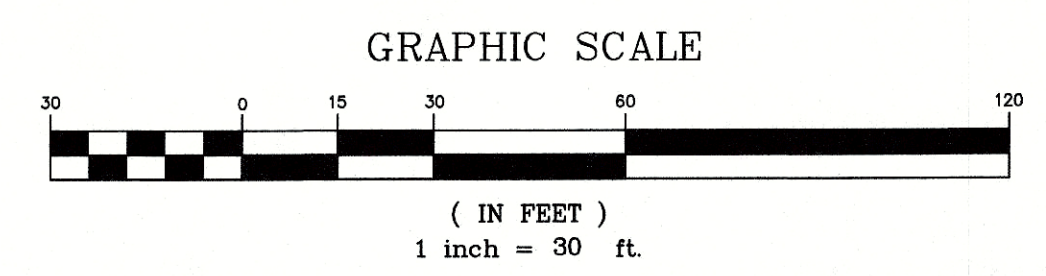
**HUB CITY VINEYARD**  
 Situate at 17805 Oak Ridge Drive  
 Eastern Branch of Potomac River  
 South of Glenside Avenue  
 WASHINGTON COUNTY, MARYLAND  
 CLIENT:  
 Hub City Vineyard  
 11000 Bower Ave #12 Hagerstown, MD 21740  
 (301) 582-3344

PROJECT NO.	5230.1
CAD DWG FILE	Site Demolition Plan.dwg
DWN BY	DWH
DATE	01-23-2019
CHK BY	TMF
DATE	
TAX MAP	49-20-1003
ELECTION DIST.	26
SCALE	1" = 30'
SHEET TITLE	SITE DEMOLITION PLAN

V-102  
 SHEET 4 OF 12  
 SP-19-009

Note: Frederick, Seibert & Associates assumes no liability with the existing underground utilities shown hereon are based on the best available information. No sub-surface investigation has been done on this site and the contractor shall field verify all existing utilities for depth and locations.

EXISTING PAVEMENT, CONCRETE, BUILDINGS, STRUCTURES, ETC. TO BE REMOVED





EXISTING WATER ALLOCATION - 1600 GPD  
 PROP. ADDITIONAL WATER ALLOCATION - 0 GPD  
 TOTAL WATER ALLOCATION - 1600 GPD

**CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION**  
 This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

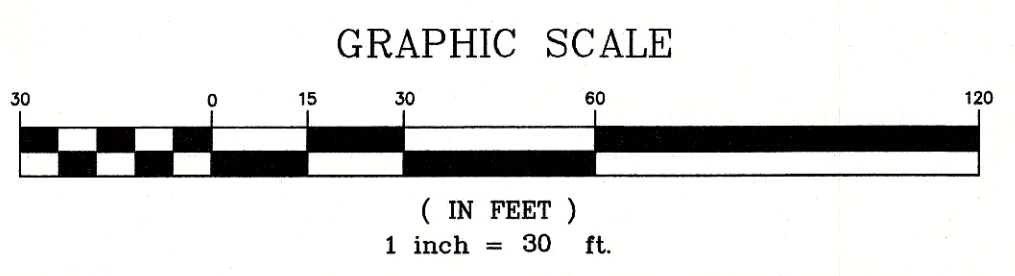
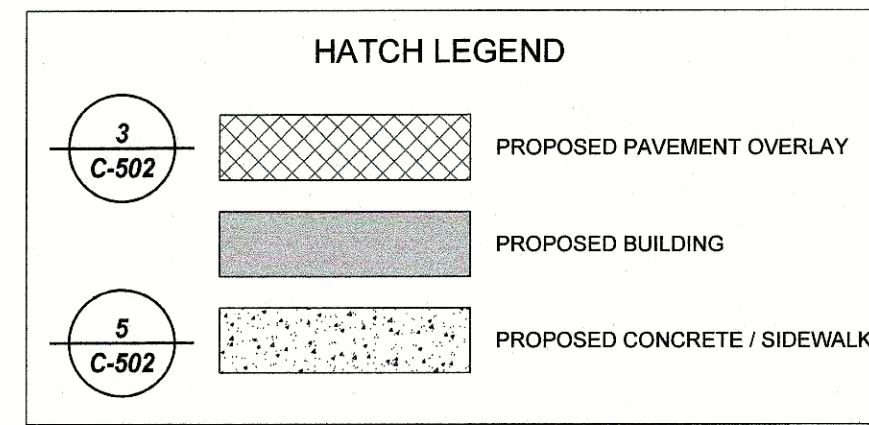
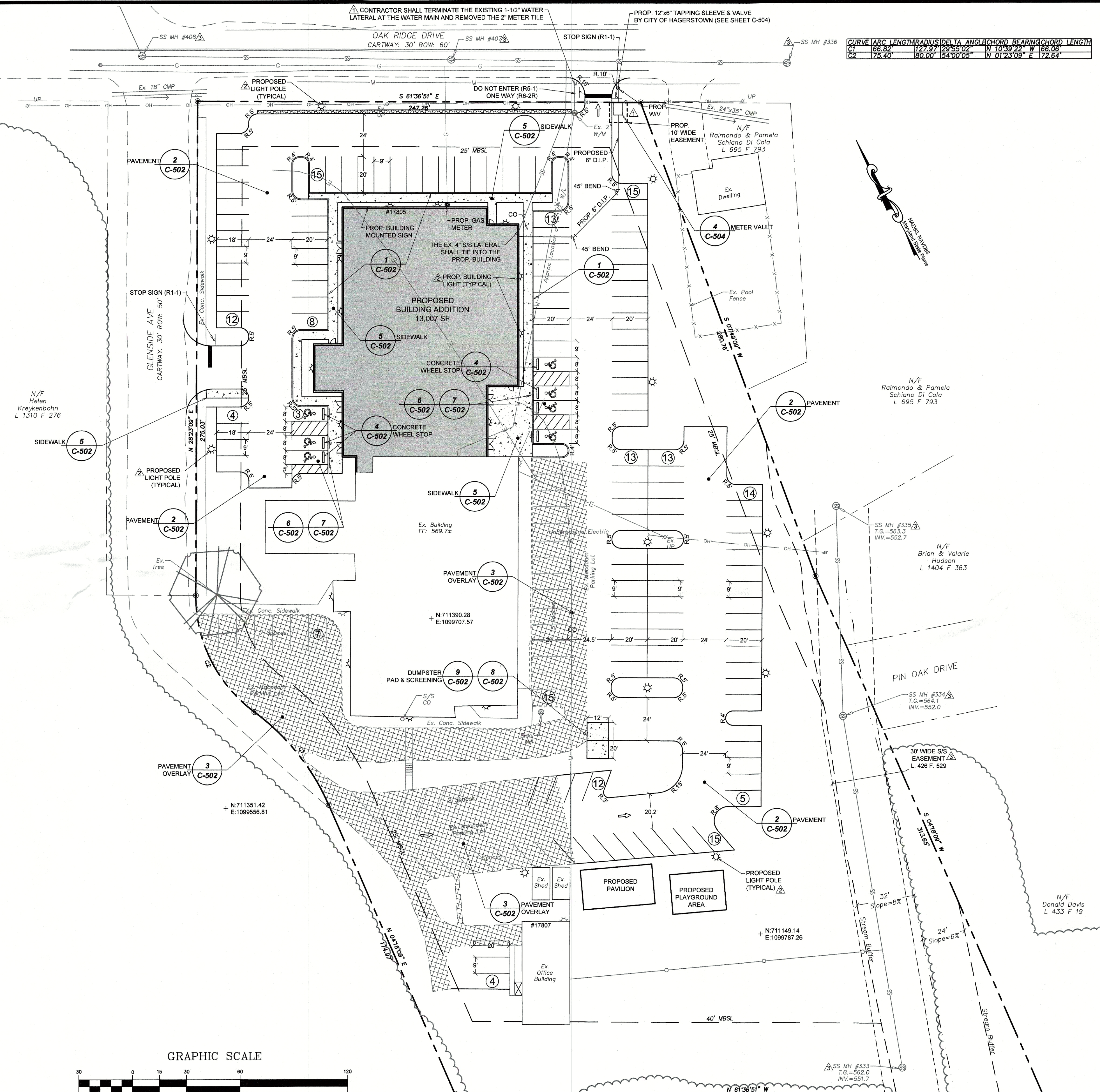
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

EXISTING WASTEWATER ALLOCATION - 800 GPD  
 EXISTING WASTEWATER USAGE - 200 GPD  
 ADDITIONAL WASTEWATER ALLOCATION - 0 GPD

**WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY**  
 This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CURVE	ARC LENGTH	RADIUS	DELTA	ANGLE	CHORD	BEARING	CHORD LENGTH
C1	56.84	172.97	128.53	0°	N 103° 09' 22" W	166.08	
C2	75.40	80.00	154° 00' 05"		N 01° 23' 09" E	72.64	



**UNDER REVIEW - NOT APPROVED FOR CONSTRUCTION**

**FREDERICK & SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
 128 SOUTH POTOMAC STREET • HAGERSTOWN, MARYLAND 21740  
 505 SOUTH HANOVER STREET • CARLEISLE, PENNSYLVANIA 17013  
 (301) 442-7438 (F) (717) 961-0027 FAX (301) 794-4995

MARK	DESCRIPTION	DATE
▲	Revised per City of Hagerstown Water Department comments	3/27/2019
▲	Revised per Washington County Planning comments	3/27/2019
▲	Revised per Wash. County Health Dept. comments	3/27/2019

**HUB CITY VINEYARD**  
 Situate at 17805 Oak Ridge Drive  
 Eastern Shore, Washington County, Maryland  
 South of Glen Side Ave  
 WASHINGTON COUNTY, MARYLAND

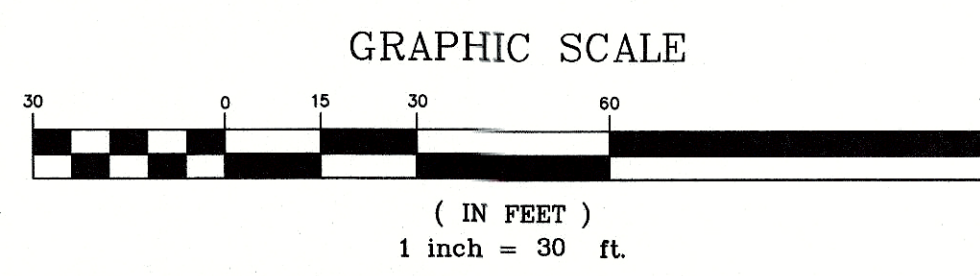
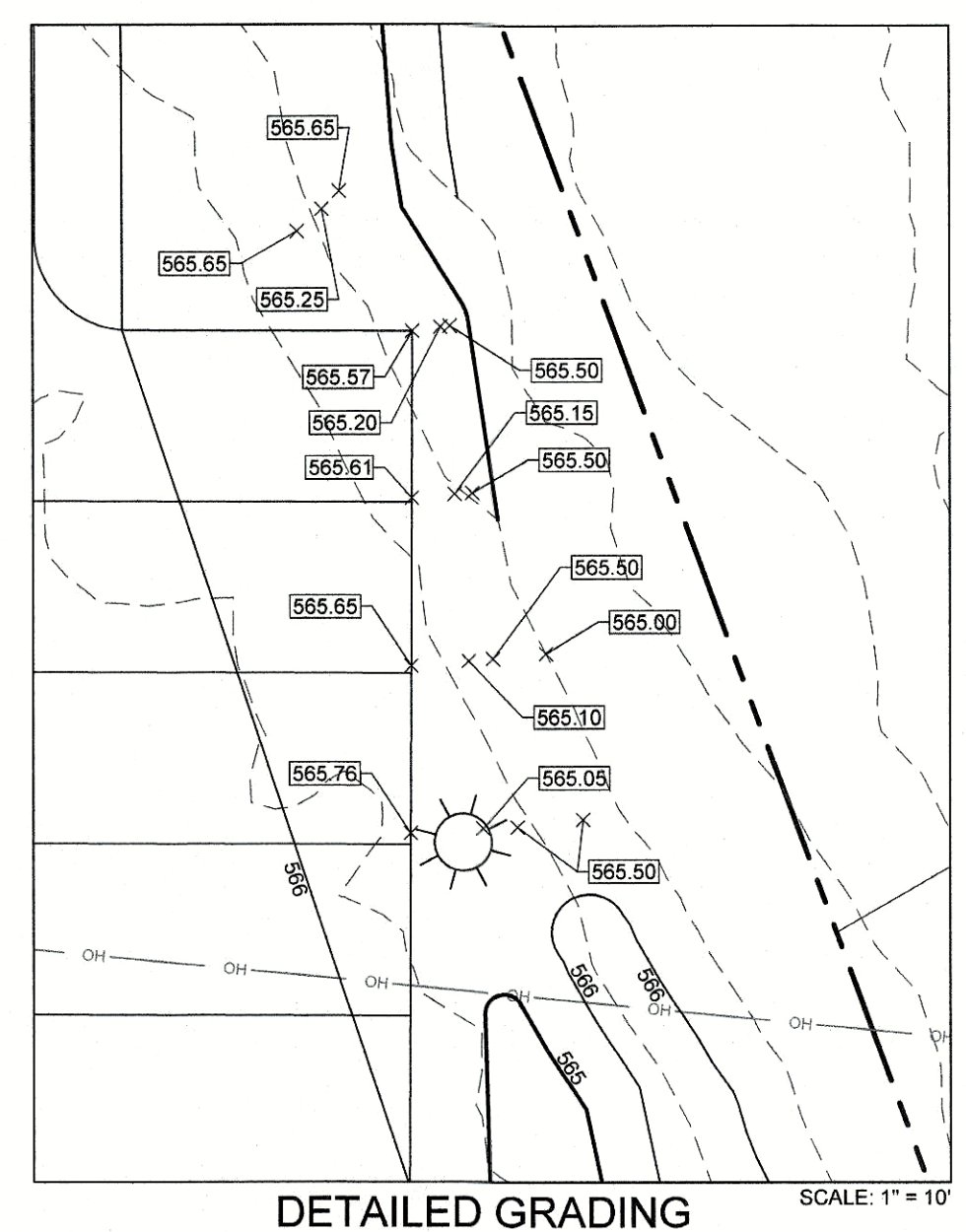
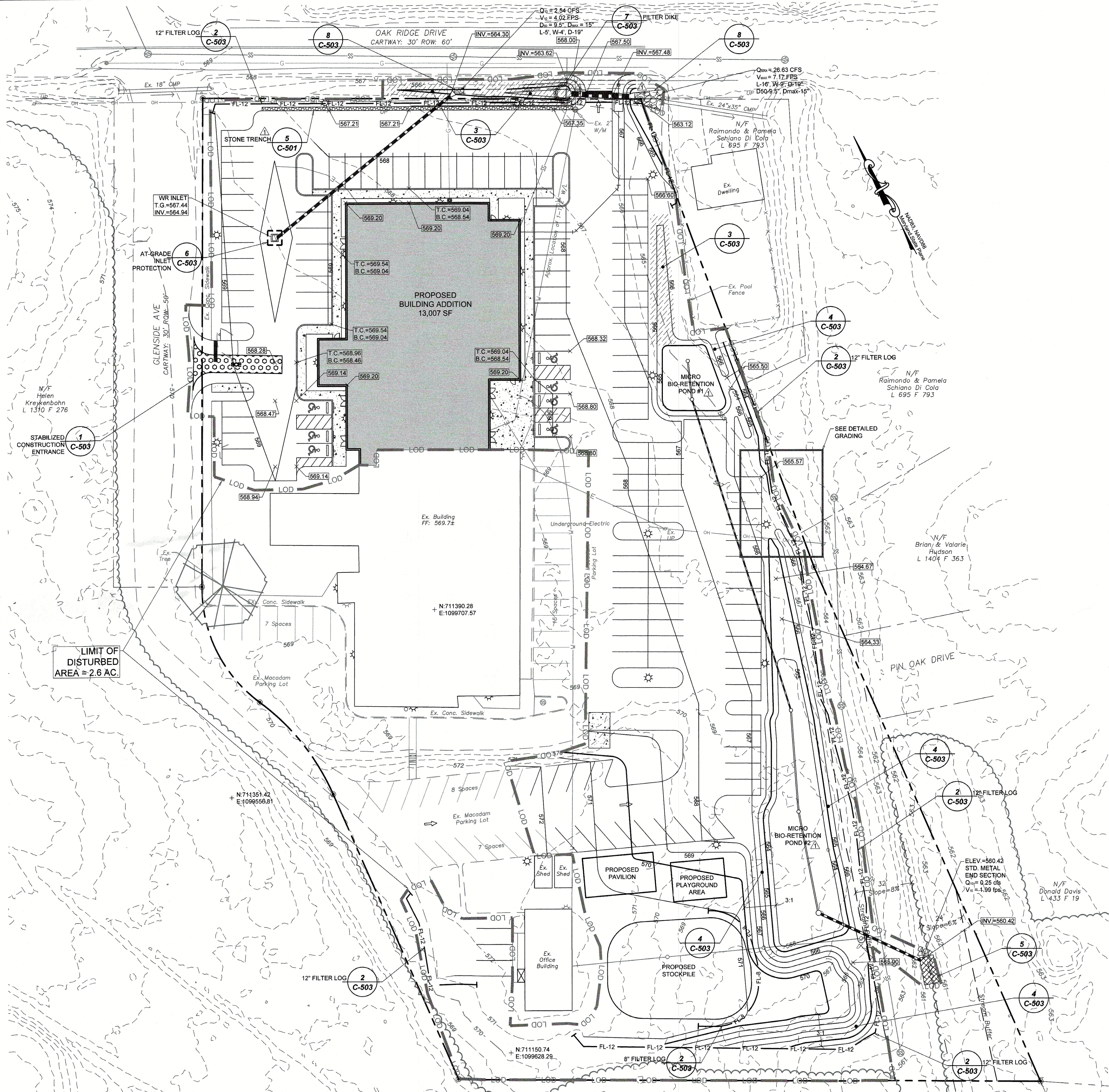
**CLIENT:**  
 Hub City Vineyard  
 11000 Bower Ave. #12 Hagerstown, MD 21740  
 (301) 562-3344

PROJECT NO.	5230.1
CAD DWG FILE	Site & Dimensioning Plan.dwg
DWN BY	DWH
DATE	01-24-2019
CHK BY	TMF
DATE	
TAX MAP	49-20-1003
ELECTION DIST.	26
SCALE	1" = 30'

**SHEET TITLE**  
 SITE, UTILITY & DIMENSIONING PLAN

C-101  
 SHEET 5 OF 12  
 SP-19-009





- PERMANENT CONTROL MATTING  
NORTH AMERICAN GREEN P300
- TEMPORARY CONTROL MATTING  
CURLEX TYPE CL-II

Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License # 4586  
Date: 03/20/2019

**FREDERICK & SEIBERT & ASSOCIATES, INC.**  
**LANDSCAPE ARCHITECTS - LAND PLANNERS**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 555 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
 (301) 791-5866 (171) 981-9897  
 FAX: (301) 798-4966

DATE	DESCRIPTION
3/25/2019	Revised per VCSO comments

**HUB CITY VINEYARD**  
 Situate at 17805 Oak Ridge Drive  
 Eastern Neck Road, Hagerstown  
 South of Glenside Avenue  
 WASHINGTON COUNTY, MARYLAND  
 CLIENT:  
 Hub City Vineyard  
 11000 Bower Ave. #12 Hagerstown, MD 21740  
 (301) 582-3344

PROJECT NO.	DATE
5220.1	01-24-2019

CAD DWG FILE	DATE
Grading & SEC Plan.dwg	01-24-2019

DWN BY	DATE
DWH	01-24-2019

CHK BY	DATE
TMF	

TAX MAP	ELECTION DIST.
49-20-1003	26

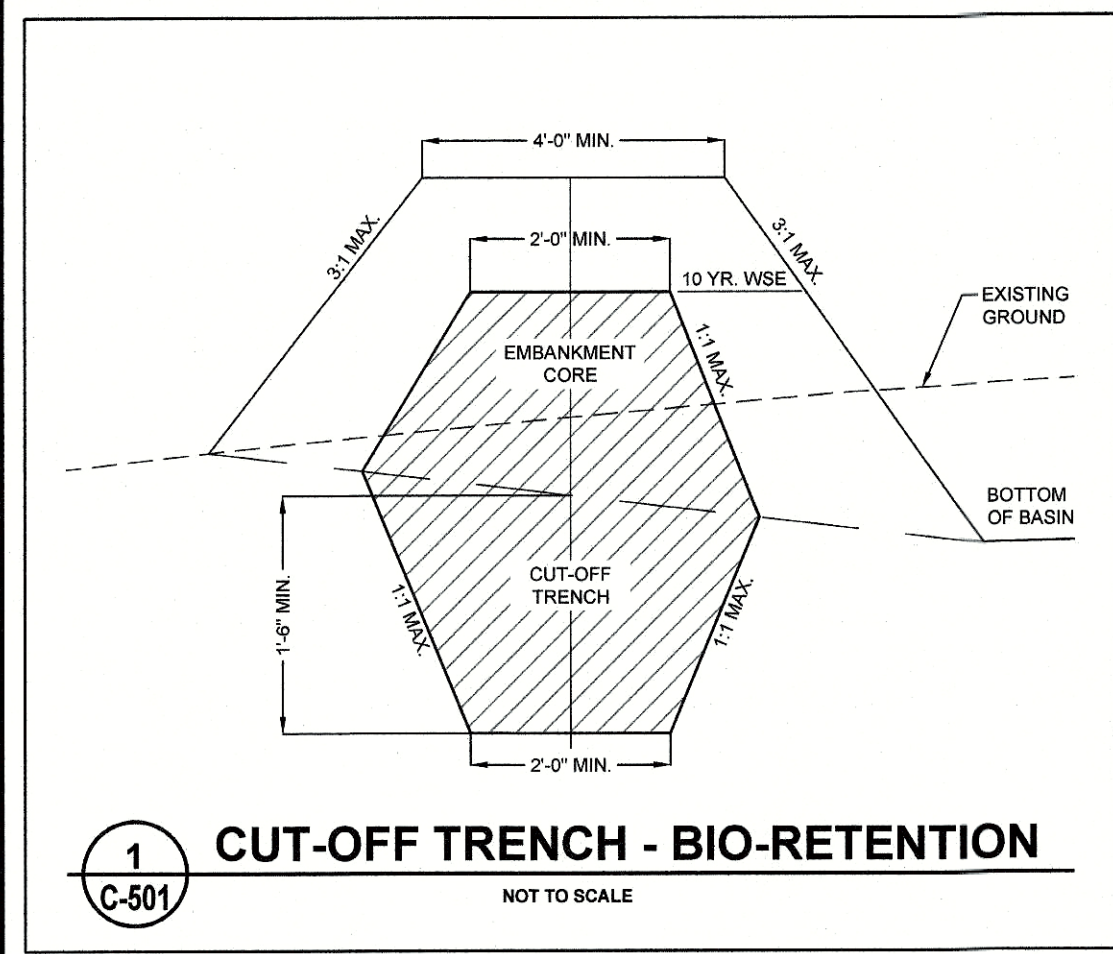
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SHEET TITLE  
**GRADING & SEC PLAN**  
 C-102  
 SHEET 6 OF 12  
 SP-19-009

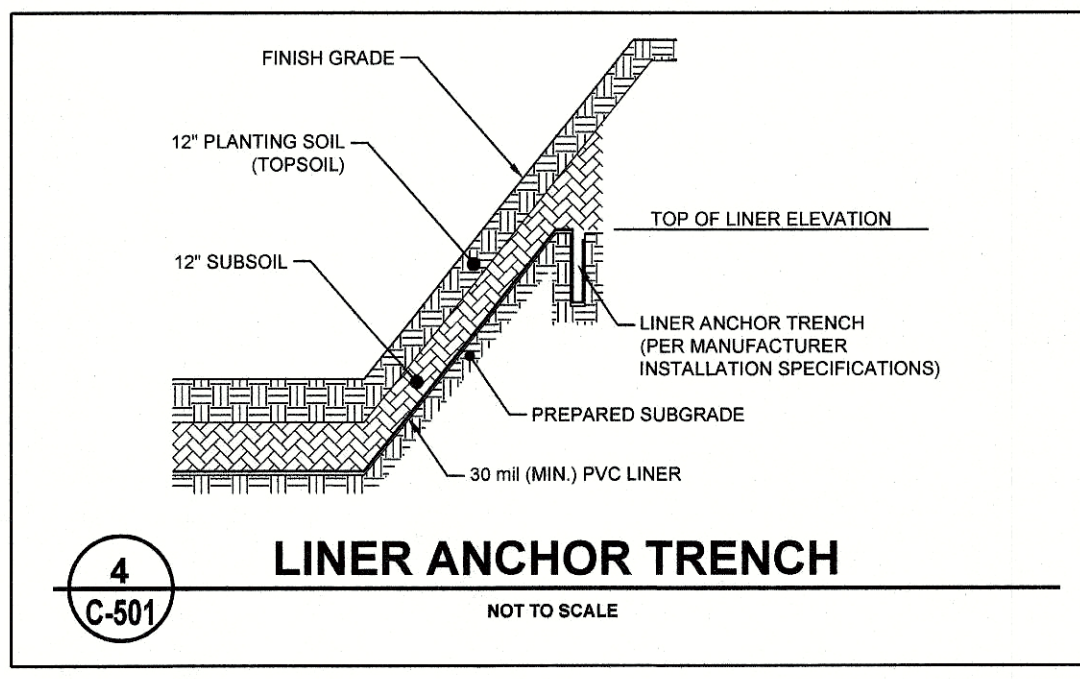








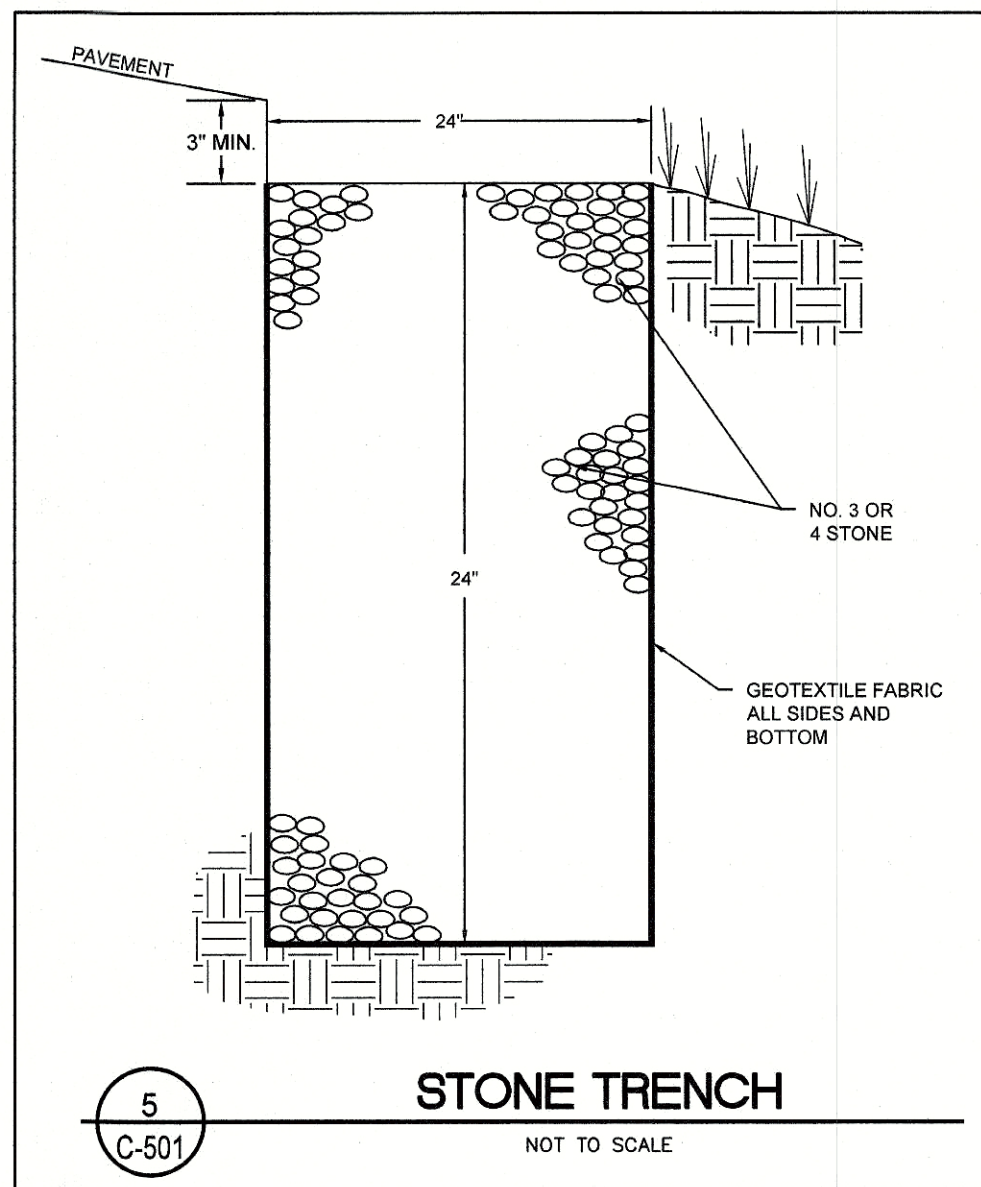
**1 CUT-OFF TRENCH - BIO-RETENTION**  
NOT TO SCALE



**4 LINER ANCHOR TRENCH**  
NOT TO SCALE

**CLAY LINER NOTES:**

- REMOVE 2 FEET OF THE SWM FACILITIES SUBGRADE.
- PLACE SOIL MATERIALS THAT MEET THE MINIMUM REQUIREMENTS.
  - THE MATERIALS SHALL HAVE A MAXIMUM DRY DENSITY OF AT LEAST 100 PCF AS PER ASTM D-698
  - ACCEPTABLE MATERIALS SHALL BE CL OR CH WITH NO ROCK GREATER THAN 1-INCH IN DIAMETER AND CONSTITUTING NO MORE THAN 15% OF THE MATRIX. THE SAND CONTENT MUST BE LESS THAN 20%.
  - MATERIALS ARE TO BE PLACED IN 8-INCH LIFTS AND PROPERLY COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY VALUE AS DETERMINED BY ASTM D-698. A SUFFICIENT NUMBER OF IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY AN EXPERIENCED ENGINEERING TECHNICIAN TO VERIFY THAT THE PROPER DEGREE OF COMPACTION IS BEING OBTAINED.
  - THE LINER MATERIAL SHOULD HAVE A PERMEABILITY OF LESS THAN OR EQUAL TO  $1 \times 10^{-6}$  CMS.



**5 STONE TRENCH**  
NOT TO SCALE

**Table B-4.1 Material Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration**

Material	Specification	Size	Notes
Plantings	see planting list	n/a	plantings are site-specific
Planting Soil	loamy sand (60-65%) & compost (35-40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam, clay content < 5%
Organic content	Min 10% by dry weight (ASTM D 2974)	n/a	
Mulch	eroded hardwood	n/a	aged 6 months, minimum, no pine or wood chips
Pea gravel diaphragm	pea gravel ASTM D-448	No. 8 or No. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone, washed cobbles	stone 2" to 5"	FE Type 1 nonwoven
Geotextile		n/a	
Gravel underdrains and infiltration basins	AASHTO M-43	NO. 57 OR NO. 6 AGRREGGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" rigid sm. 40 PVC or SDR35	slotted or perforated pipe, 3/8" slot @ 8" o.c. 4' below, min. 3" of gravel over pipe, no necessary underdrain pipes. Perforated pipe shall be wrapped with 1/4 inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3, f'c = 3000 psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-615-00	n/a	concrete testing of precast-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional engineer licensed in the State of Maryland - design to include meeting AGI Code 350 R89, vertical loading (H-10 or H-20), allowable horizontal loading (based on soil pressure), and analysis of potential cracking
Sand	AASHTO M-6 or ASTM C-33	0.02" to 0.04"	Sand substitution such as Database and Gravestone (AASHTO) #10 are not acceptable. No calcium carbide or olivine sand substitutions are acceptable. No "rock dust" can be used for sand.
Compost	MSHA Standard Specifications for Construction and Materials, July 2009 920.02.05 Compost	Uniform particle size of 0.5" or less	Source - Separated Compost (Type B). Type B Compost shall be tree leaf compost or non-tree leaf compost. Type B Compost produced from lawn clippings shall be tested for contaminants in conformance with Maryland law and regulations.

**CATEGORY 300 DRAINAGE PVC LINED PONDS**

**DESCRIPTION:** Furnish, place, and anchor a 30-mil PVC liner along designated ditch or swale areas, and in SWM facilities as shown and as directed.

**MATERIALS:**

Furnished Topsoil	920.01.02
Furnished Subsoil	920.01.04
Type B Soil Stabilization Matting	920.05.01
Staples	920.05.02
Select Borrow	916.01
PVC Liner Material	As below

The minimum physical properties for the PVC liner are as follows:

PROPERTY	TEST METHOD	REQUIREMENT
Thickness	D 1599	+/- 5%
Specific Gravity (min.)	D 762	1.20
100% Modulus (psi, min.)	D 882	100
1 lb. force/in. width, min.)		30
Tensile (psi, min.)	D 882	2300
(Lb. force/in. width, min.)		73
Elongation at Break (% min.)	D 882	380
Graves Tear (lb./in., min.)	D 1004	325
(lb. force/in. width, min.)		8
Resistance to Soil Burial (% change max.)	G 160	20
(a) Breaking Factor		5
(b) Elongation at Break		20
(c) Modulus at 100% Elongation		20
Impact Cold Crack (F)	D 1790	-20
Dimensional Stability	D 120	3
(2/28/15 min.)		
Water Extrusion (% max.)	D 1239	0.3
Volatiles Loss (% max.)	D 1203	0.70
Hydrostatic Resistance (psi, min.)	D 751	100

**PVC LINER CERTIFICATION.**

Submit certification per TC 1.03 that the PVC liner material conforms to the physical properties. Include the following:

- Polymer and composition of the PVC Liner, including additive composition of any coating materials
- Manufacturer's Quality Control plan including properties, test methods, frequency of testing, tolerances and method of resolution for out-of-specification material.
- Laboratory test results documenting the physical properties.

**STORAGE AND HANDLING.**  
Store the PVC liner in a dry area in its original container. Protect the liner from puncture, dirt, grease, water, mud, mechanical abrasions, or other damage. Document any damage to the PVC liner. Remove and replace damaged PVC liners that cannot be repaired to comply with the specification at no additional cost.

**CONSTRUCTION.**  
Construct PVC Lined Ditches in conformance with the details as shown, as directed, and as follows:

**SUBGRADE PREPARATION.**  
Ensure subgrades to be lined are smooth and free of rocks, stones, sticks, sharp objects, or other debris. Prepare the subgrade to provide a firm, unyielding foundation for the liner, with no sudden or abrupt changes or break in grade. Completely remove standing water, mud, snow, or excess moisture prior to placement. Do not place the liner on frozen subgrade; or on subgrade that has been softened by water or overly dried until it has been properly reconditioned and compacted. Take special care in maintaining the prepared soil surfaces. The soil surface will be monitored daily to evaluate the surface condition. Repair any damage to the surface caused by weather conditions, as directed.

**ANCHOR TRENCH.**  
Excavate the anchor trench to the line, grade, and width shown.  
(a) Excavate the anchor trench to a minimum of 1.5 ft wide and 2.5 ft high.  
(b) Excavate trench located in clay susceptible to desiccation to no more than the amount of trench required for anchoring the liner in one day.  
(c) Provide slightly rounded corners in the trench to avoid introducing sharp bends in the liner. Ensure the leading edges of the trench are smooth and even.

**LINER PLACEMENT.**  
(a) Place the liner down gradient (upstream to downstream) to facilitate overlapping and prevent run-off from entering under the placed liner.  
(b) Use methods to place the liner panels that avoid excessive wrinkling (especially differential wrinkles between adjacent panels). Minimum wrinkling is allowed to insure the liner is installed in a relaxed condition. Stretching the liner is not allowed.  
(c) Panels may be repositioned after placement to conform to the overlap requirements. Use repositioning methods that prevent dragging or elongating the panels.  
(d) Provide a seam overlap of a minimum of 3 ft, and a maximum of 4 ft.  
(e) Place adequate ballast (e.g., cover soil, or similar measures that will not damage the liner) on the liner to prevent uplift by wind. Continuous loading is recommended along the edges of panels (if high winds are anticipated) to prevent wind flow under the panels.  
(f) Only equipment necessary for installation and testing of the liner is permitted to come in contact with the liner. Use rubber-tired equipment with a ground pressure not exceeding 5 psi, and a total weight not exceeding 750 lb.

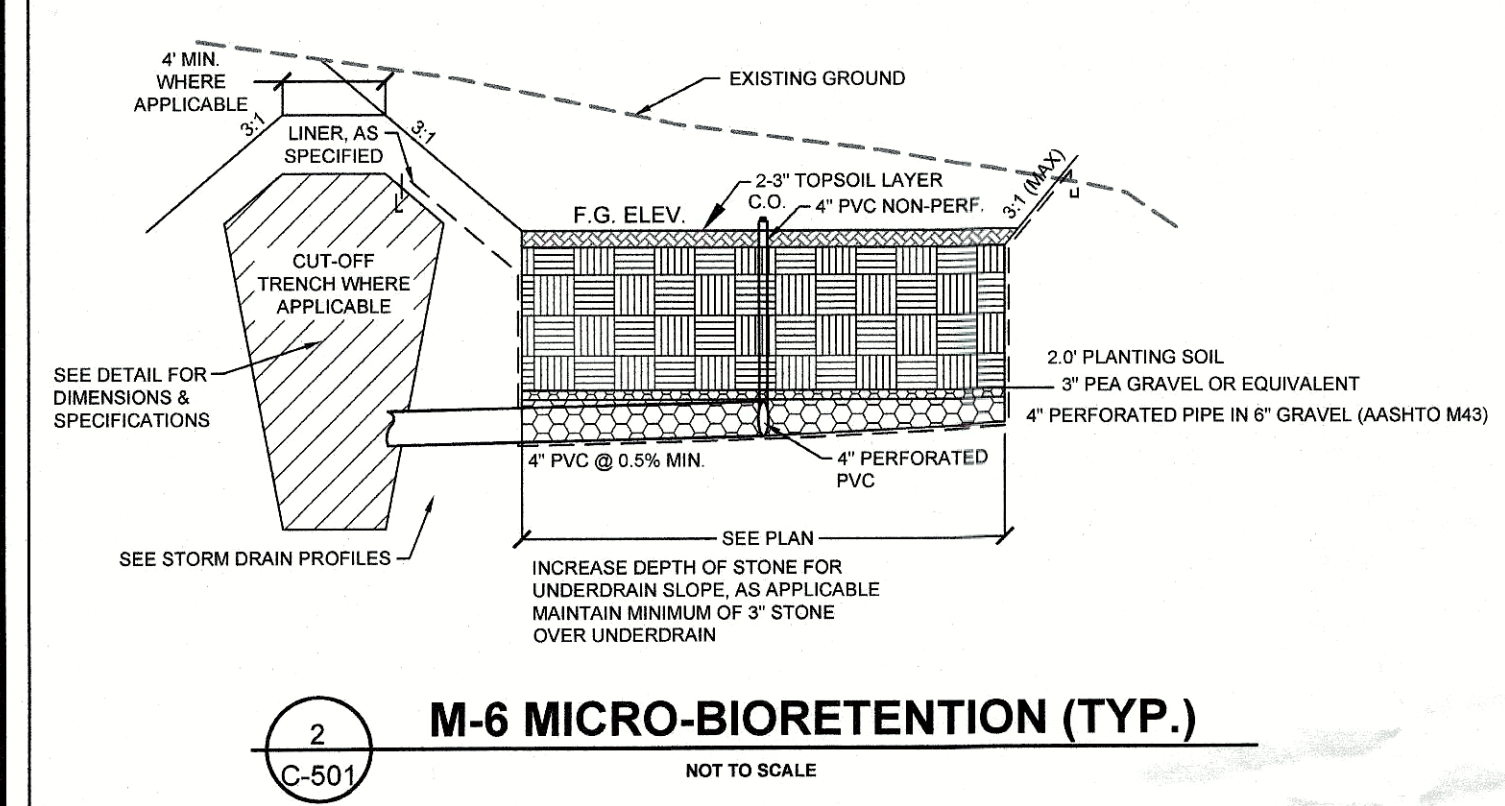
**WEATHER CONDITIONS.**  
Proceed with liner placement when the ambient temperature and material sheet surface are between 60 and 105 F. Measure the sheet temperature of the liner surface with an infrared thermometer or a surface thermometer.  
(a) Do not place the liner during periods of precipitation, in the presence of excessive moisture (i.e., fog, dew, mud), or during excessive winds, as determined.  
(b) Provide a means of storing the liner in an area that maintains the liner temperature above 60 F, if liner placement is required at ambient temperatures below 60 F.

**UNPACKING THE LINER.**  
Notify the Engineer to witness the liner unpacking. Mark liners that are damaged or have suspect areas for testing and/or repair. Replace liners that are damaged when unpacked and that cannot be adequately repaired at no additional cost.

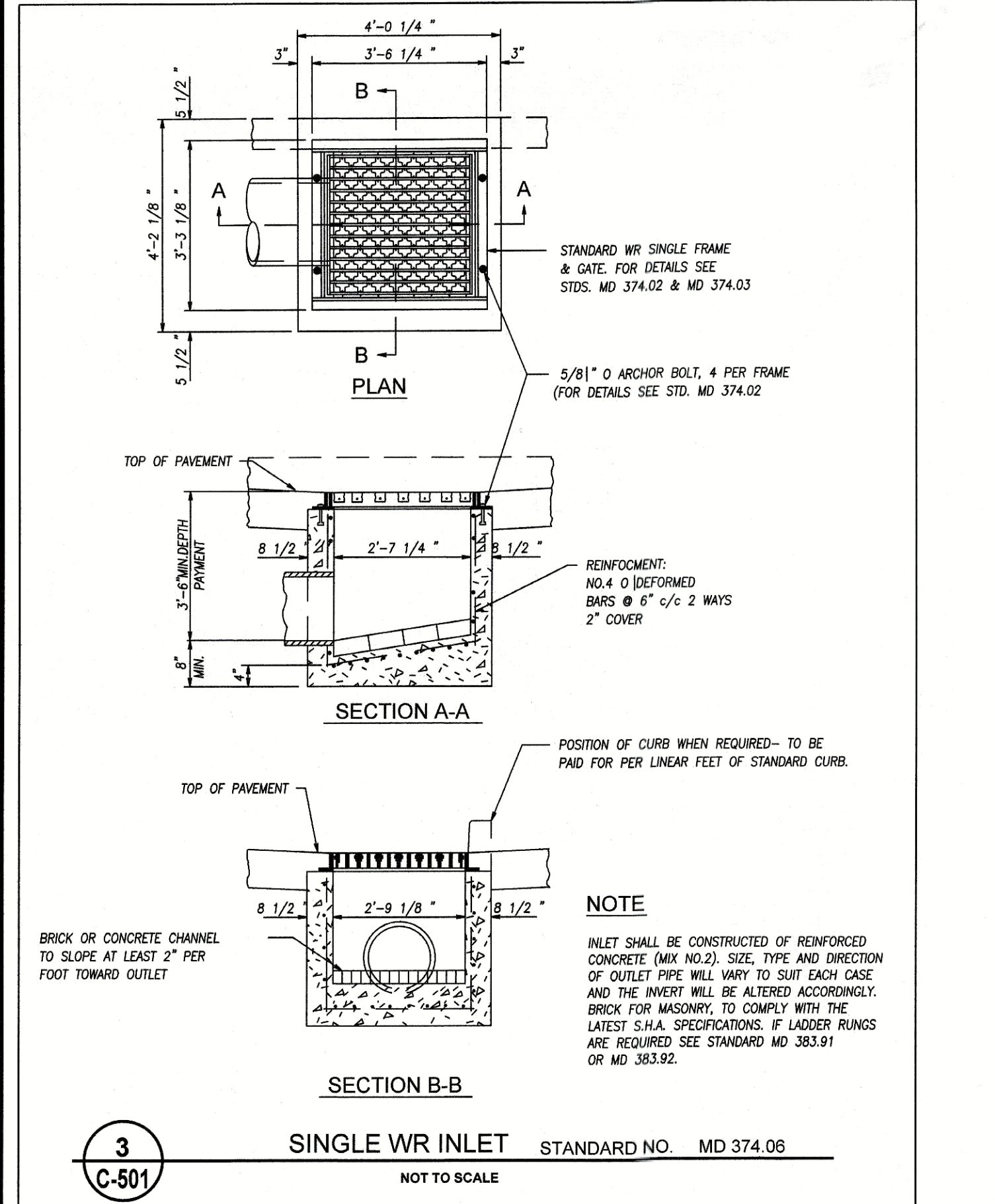
**BACKFILLING THE ANCHOR TRENCH.**  
Backfill the anchor trench and compact as directed. Place backfill in 8 in. thick loose lifts and compact by wheel rolling with light rubber, tire or other light compaction equipment. Take care to prevent damage to the liner while backfilling the trench. Construction equipment is not allowed to come into direct contact with the liner at any time. Repair any damage to the liner that occurs while backfilling at no additional cost.

**BACKFILLING THE PVC LINER.**  
Cover the liner with a 1 foot layer of soil. Use soil conforming to 920.01.04 as backfill for the first 8 inches. Use soil conforming to 920.01.02 as backfill for the top 4 inches. Tamp the backfill in place as directed. Place Type B Soil Stabilization Matting conforming to 920.05 over the topsoil in conjunction with permanent vegetation, as specified.

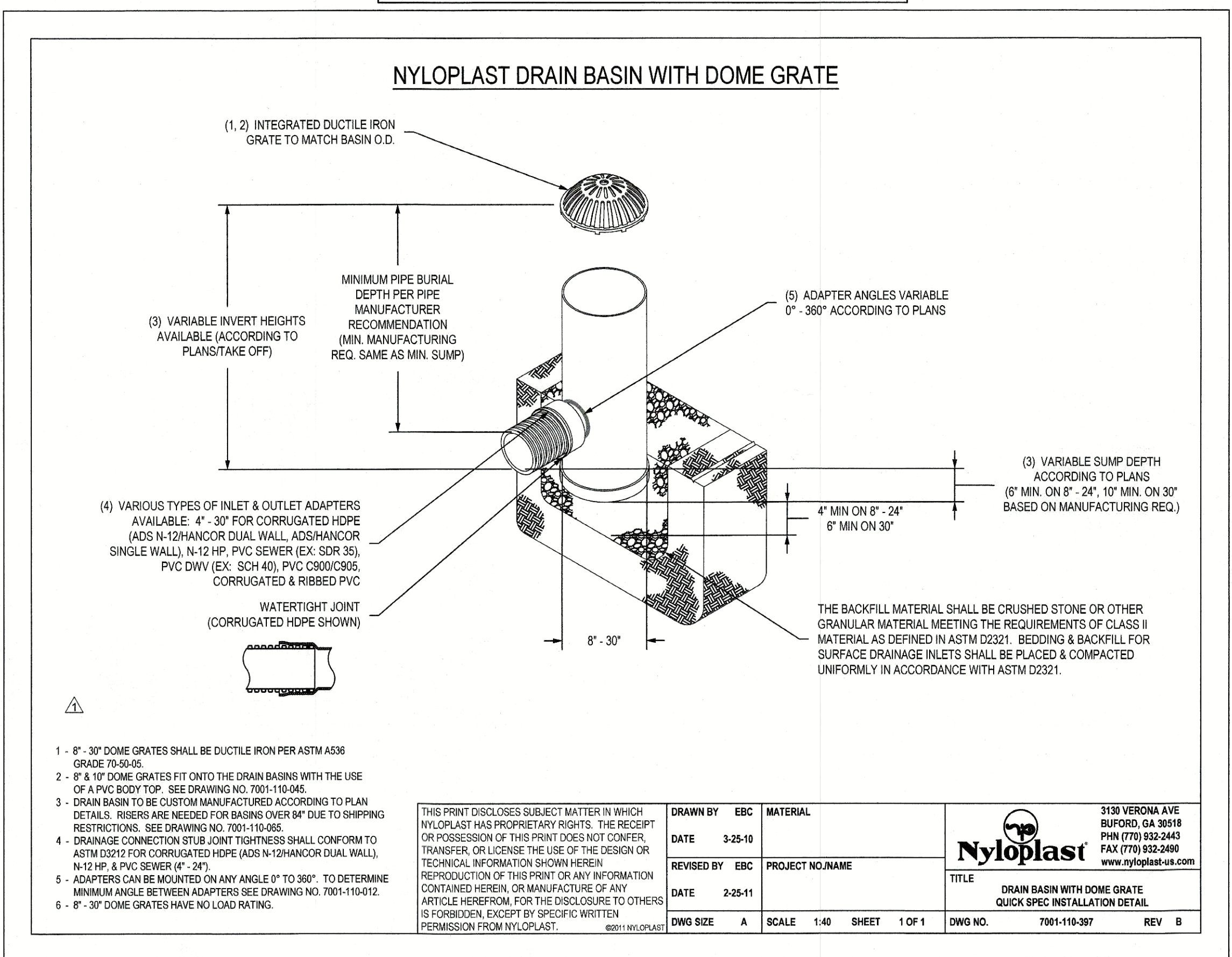
**MEASUREMENT AND PAYMENT.**  
PVC Lined Liner will be measured and paid for at the Contract unit price per square yard. Payment will be full compensation for the PVC liner, backfill, furnished subsoil and topsoil, and for all other material, labor, equipment, tools and incidentals necessary to complete the work.  
(a) Type B Soil Stabilization Matting and Turfgrass Establishment will be measured and paid for at the Contract unit price per square yard.  
(b) PVC liner overlap shall not be measured and paid for as a separate item. PVC liner overlap shall be incidental to the total of PVC liner installation.  
(c) Excavation will be measured and paid for at the Contract unit price per cubic yard for Class 2 Excavation.



**2 M-6 MICRO-BIORETENTION (TYP.)**  
NOT TO SCALE



**3 SINGLE WR INLET** STANDARD NO. MD 374.06  
NOT TO SCALE



THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONVEY, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST. ©2011 NYLOPLAST	DRAWN BY EBC	MATERIAL	3130 VERONA AVE BUPFORD, GA 30918 PHN (770) 932-2443 FAX (770) 932-2400 www.nyloplast-usa.com
DATE 3-25-10	PROJECT NO. NAME		
REVISED BY EBC			
DATE 2-25-11			
DWG SIZE A	SCALE 1:40	SHEET 1 OF 1	DWG NO. 7001-110-397 REV B

**NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES**

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

Inspection Item	Certifying Engineer (Bioretention #1)	Date (Bioretention #1)	County Inspector (Bioretention #1)	Date (Bioretention #1)	Certifying Engineer (Bioretention #2)	Date (Bioretention #2)	County Inspector (Bioretention #2)	Date (Bioretention #2)
EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.								
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure fabric filter is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and bases to prevent beaming. Verify that uplift fabric roll overlaps two (2) feet over downhill roll.								
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover								
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify fabric filter or pea gravel used between sand layers. Verify top filter media layer.								
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.								
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.								

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.

**OPERATION AND MAINTENANCE PLAN BIORETENTION**

INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
<b>Maintenance Access</b>		
General	Check for accessibility to facility; excessive vegetation; surface stability	Repair erosion and maintain access surface in good condition
<b>Pretreatment</b>		
Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
Optional sand layer	Check sand for staining and sediment accumulation	If contaminated, replace first three inches of sand layer
Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
Mulch layer	Check for a 2-3 inch mulch layer	Remove mulch and replace as needed
<b>Filter Bed</b>		
Dewatering	Check for dewatering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top 3-6 inches of soil/dewatering and replace with suitable materials per plant specifications; follow up inspections shall confirm adequate dewatering; contact the plan approval authority if the facility does not function as intended
Sediment	Check for sediment accumulation	Remove sediment as needed
Mulch layer	Check for adequate cover; sediment accumulation; discoloration	Remove and replace mulch and excess sediment as needed
<b>Vegetation</b>		
Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds, and dead or dying vegetation	Remove and replace plants as necessary
Vegetative cover/erosion	Check for erosion, runoff channelizing, or bare spots	Repair/grade and stabilize as needed
<b>Outlets</b>		
Underdrain system	Check outlet end to ensure that discharge is not obstructed; check for erosion, runoff channelizing, or bare spots	Remove any flow obstructions; grade and stabilize any eroded areas to provide stable conveyance
Overflow spillway	Check for displacement of rip-rap, stable conveyance, and erosion below the outlet	Repair and replace as needed
<b>Conveyance Systems</b>		
General	Check for erosion, flow blockages or bypass, and stable conveyance	Repair/replace and stabilize as needed
Flow diversion	Check flow splitter for proper functioning	Repair as necessary
<b>Trash and Debris</b>		
Check for trash and debris accumulation		Trash and debris shall be disposed of in an acceptable manner
<b>Structural Components</b>		
Check for structural deterioration, spalling or cracking		Repair according to specifications on the approved plans

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

**HUB CITY VINEYARD**  
SWM DETAILS & NOTES

**UNDER APPROVAL - NOT APPROVED**

**FREDERICK & SEIBERT & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS & LAND PLANNERS  
23 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
515 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
(301) 791-5850

**CLIENT:** Hub City Vineyard  
11000 Bower Ave #12 Hagerstown, MD 21740  
(301) 562-3344

**DATE:** 3/27/2015  
**DESCRIPTION:** Revised per Wash County Engineering comments

**PROJECT NO:** 5230.1  
**CAD DWG FILE:** SWM Details & Notes.dwg  
**DWN BY:** DATE  
**DWH:** 01-24-2019  
**CHK BY:** DATE  
**TMF:** DATE  
**TAX MAP:** ELECTION DIST. 26  
**SCALE:** NTS  
**SHEET TITLE:** SWM DETAILS & NOTES  
**SHEET 8 OF 12**  
**SP-19-009**

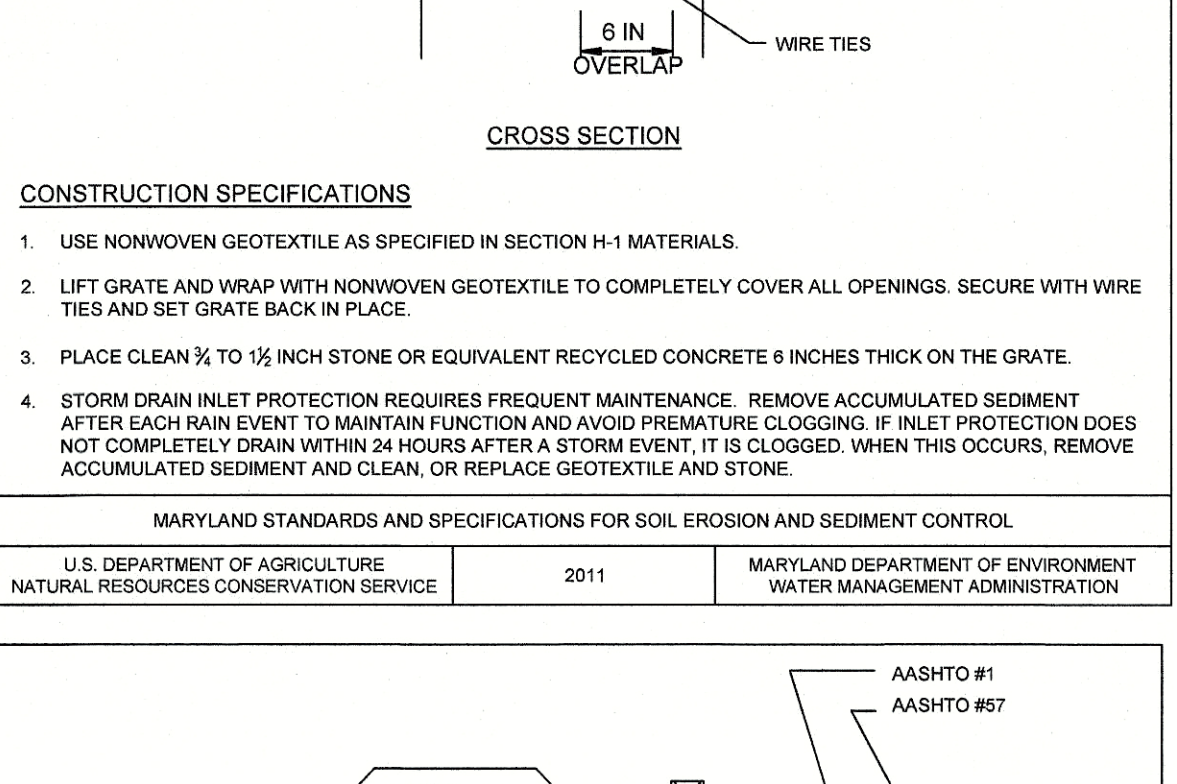
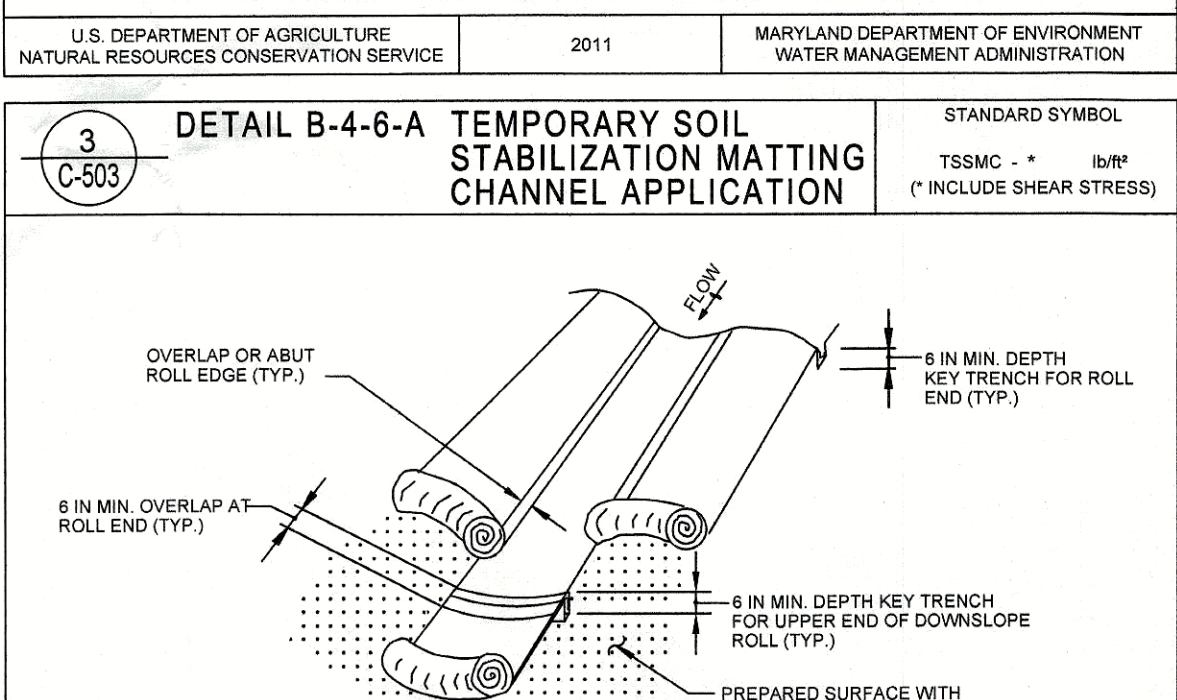
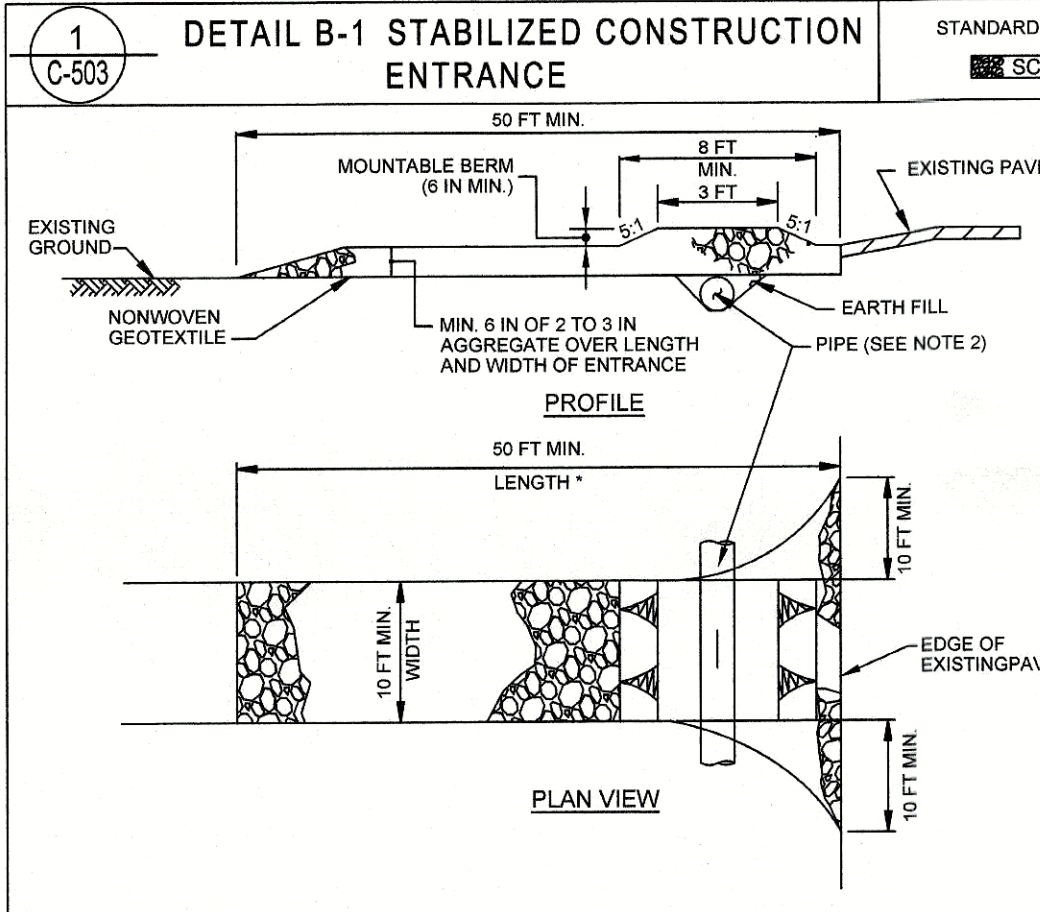
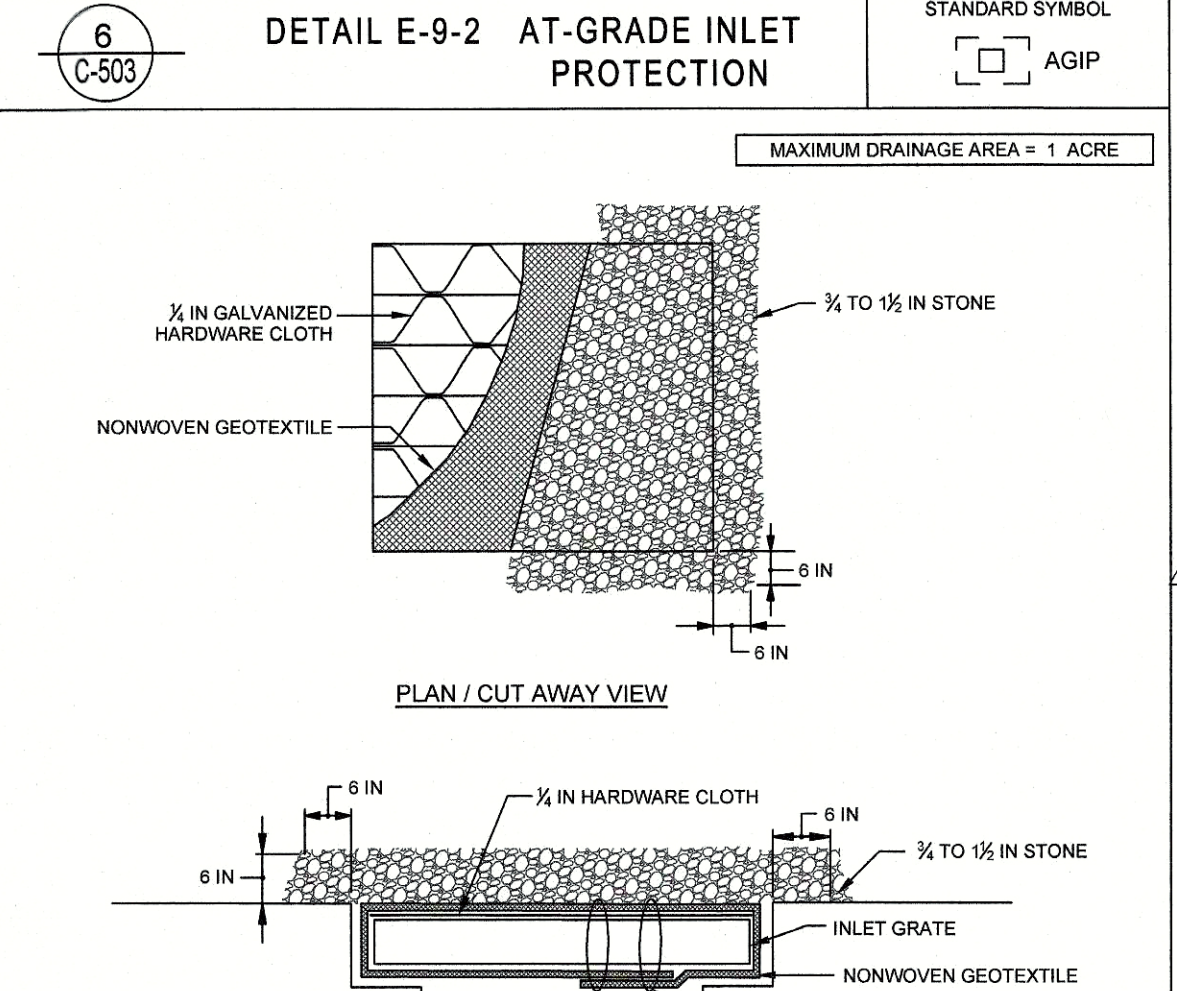
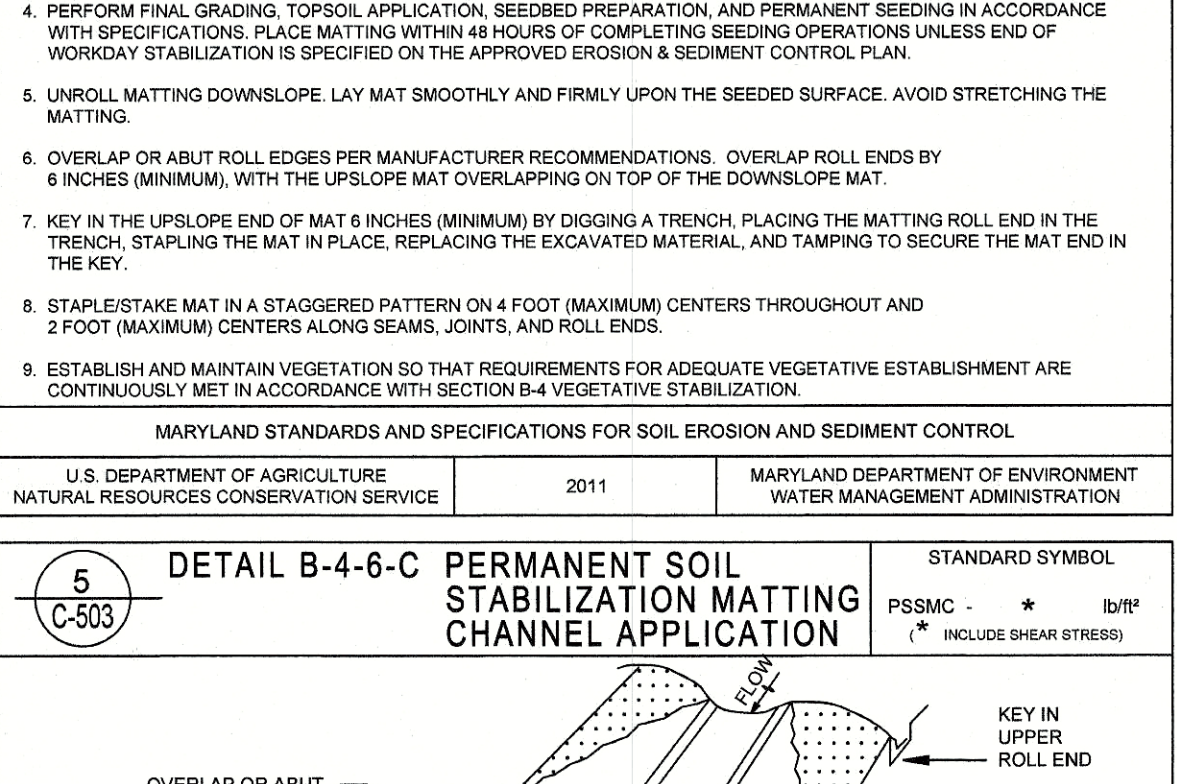
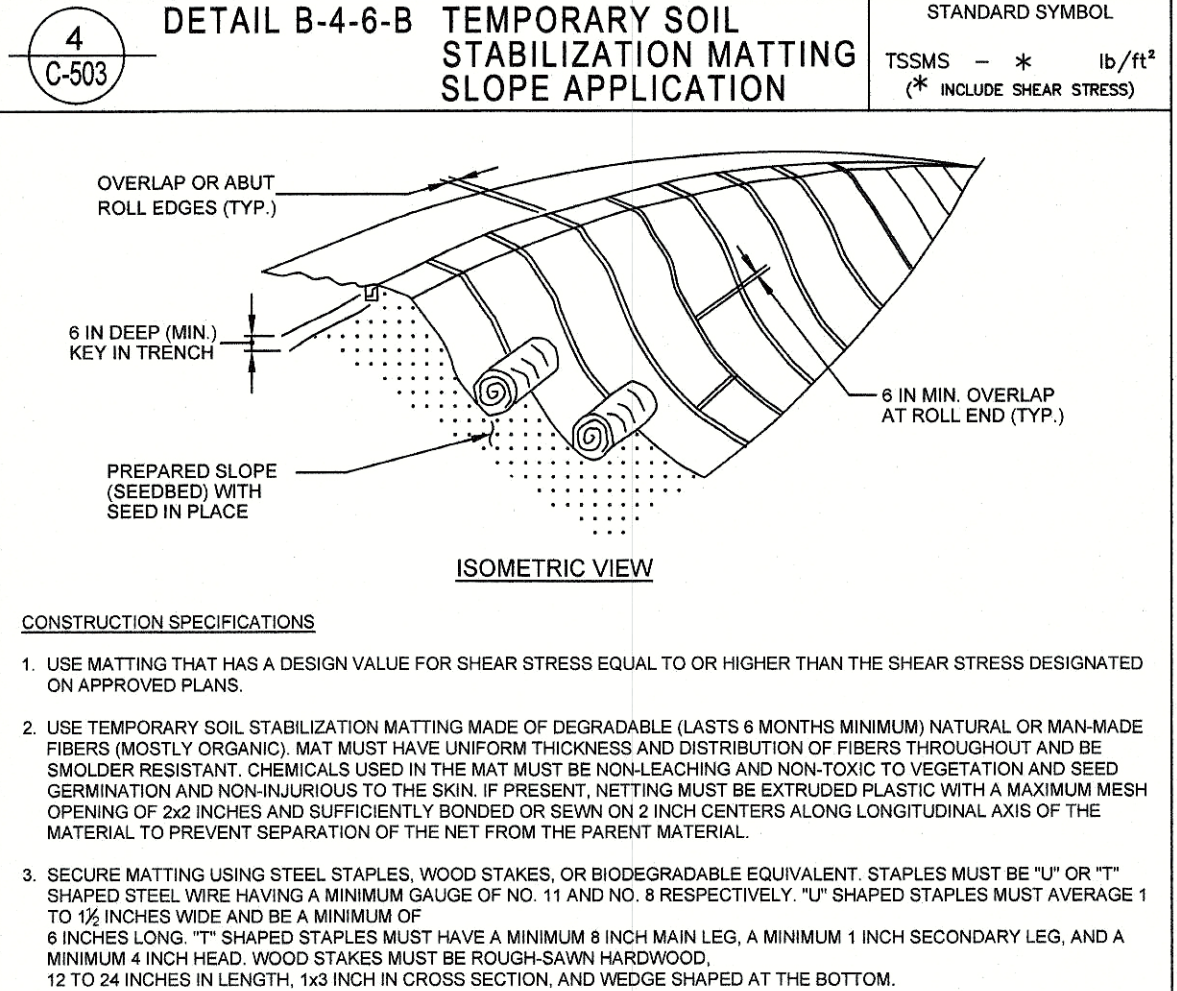
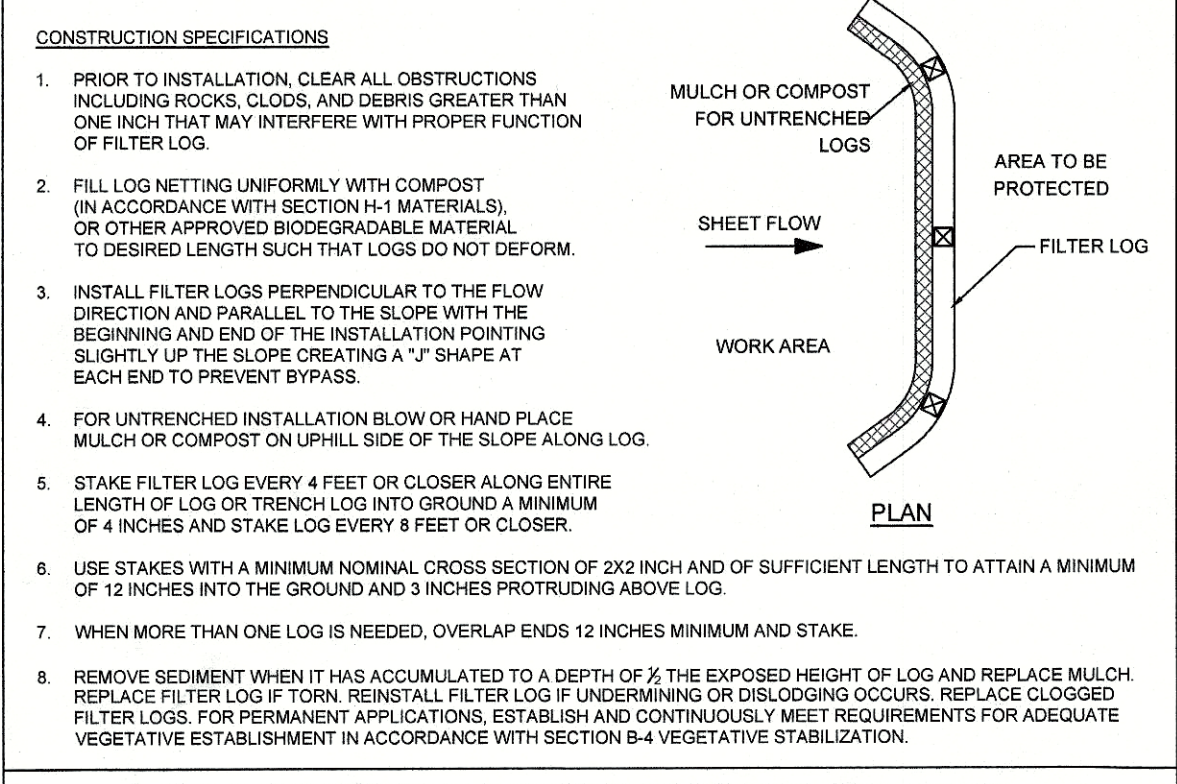
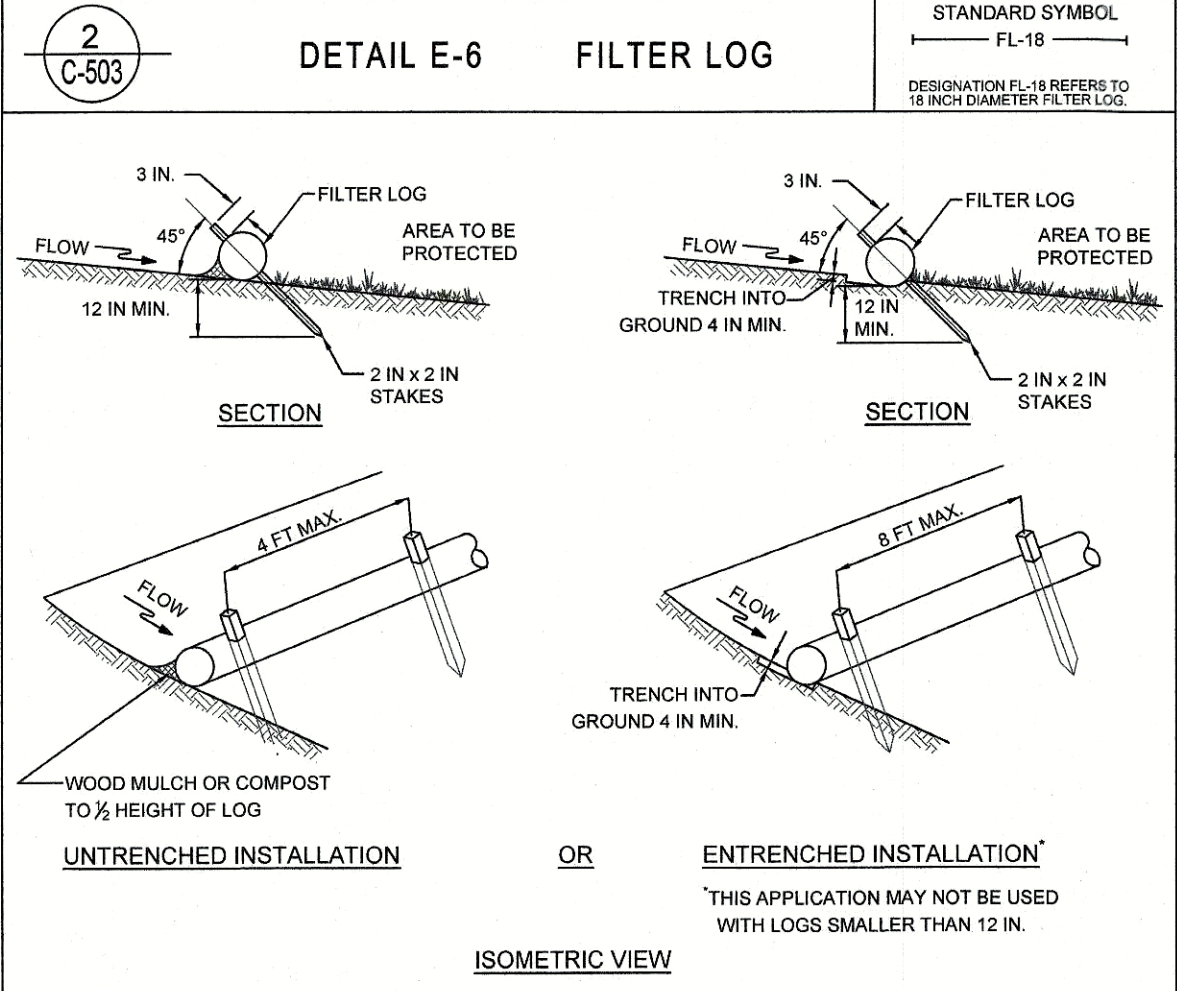


**SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES**

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMPs) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
  - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
  - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4.1 Incremental Stabilization and Standard B-4.4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

**For sites 1.0 acre or more, the following are required:**

- Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDRC, State Discharge Permit Number 14GP, or an Individual Permit.
- The Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI) application and permit shall be posted and/or available on-site at all times.
- During construction, all soil erosion and sediment control practices (BMPs) shall be inspected and recorded on the "Standard Inspection Form", "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI).
- Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.



**CONSTRUCTION SPECIFICATIONS**

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES DEEP OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE TO 2 TO 3 INCHES IN SIZE, OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 8 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS DEMAND TO MAINTAIN CLEAR SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

**CONSTRUCTION SPECIFICATIONS**

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 202 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1/2 INCHES WIDE AND BE A MINIMUM OF 8 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/2 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY ON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- KEY-IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END.
- OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON A 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

**CONSTRUCTION SPECIFICATIONS**

- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF THE RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLOGGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**TEMPORARY SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					N	P205	
1	Barley	96	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 15-May 31/Aug 1-Sept 30	1"	436 lb/ac (10 lb/1000 s.f.)	2 tons/ac (90 lb/1000 s.f.)	

**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**PERMANENT SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTH	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
6	Perennial Ryegrass	25	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 15-May 31/Aug 1-Sept 30	1/4"-1/2"	45 lb/ac (1 lb/1000 s.f.)	90 lb/ac (2 lb/1000 s.f.)	90 lb/ac (2 lb/1000 s.f.)	2 tons/ac (90 lb/1000 s.f.)
	White Clover	5						

**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**Sequence of Construction**

- Contractor to contact FSA, Inc. (301) 791-3650, WSCSD (301) 797-6821 ext.3, the Washington County Division of Construction (240) 313-2400 at least five (5) days prior to the start of any earthwork to schedule a pre construction meeting.
- Contractor shall install the stabilized construction entrance.
- Contractor shall install all filter logs.
- Contractor to strip topsoil and place on stockpile with 8" filter log being installed on the down hill side and seed and mulch. Any spoil and or borrow must come from or go to a site that has a current and approved soil erosion and sediment control plan.
- Start the demolition of the existing sidewalks, pavement, playground equipment, and buildings.
- Contractor shall start rough grading starting with the proposed driveway culvert and roadside swale, then the proposed parking areas. After rough grading is complete, the proposed building addition shall begin along with the stone trench.
- Stabilize all disturbed areas with seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
- Install the proposed stormdrain pipe and inlet starting by the roadside swale and work uphill. Install at grade inlet protection once inlet has been installed.
- Once parking areas have been brought to grade, contractor shall begin the pavement overlay and install the proposed pavement.
- Contact Frederick Seibert, and Assoc. (301)791-3650, 2 days prior to bio-retention areas construction. Contractor shall have the parking area stabilize and contact WSCSD (301) 797-6821 ext.3 and the Washington County Division of Construction (240) 313-2400 before excavating the bio-retention areas. After bio-retention areas have been stabilized, contact Washington County Division of Construction (240) 313-2400 for an interim inspection and approval to install the bio-materials.
- Construct bio-retention areas, stabilize with seed, mulch and plantings upon completion. Note that construction vehicles are prohibited from traveling over bio-retention areas.
- Contractor shall finalize grading then seed and mulch.
- Contractor to contact WSCSD (301) 797-6821, ext. 3 and the Washington County Division of Construction at (240) 313-2400 at least 5 days prior to the removal of any sediment control features to schedule a final site close out review and meeting. Contractor to gain final approval from WSCSD prior to removal of erosion and sediment controls.
- Remove sediment and erosion control measures, and stabilize accordingly.

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 505 SOUTH HANOVER STREET, CHARLESTON, PENNSYLVANIA 17022  
 (301) 791-3650 (717) 961-0700  
 (301) 791-3650

**HUB CITY VINEYARD**  
 11000 Bower Ave #12 Hagerstown, MD 21740  
 (301) 582-3344

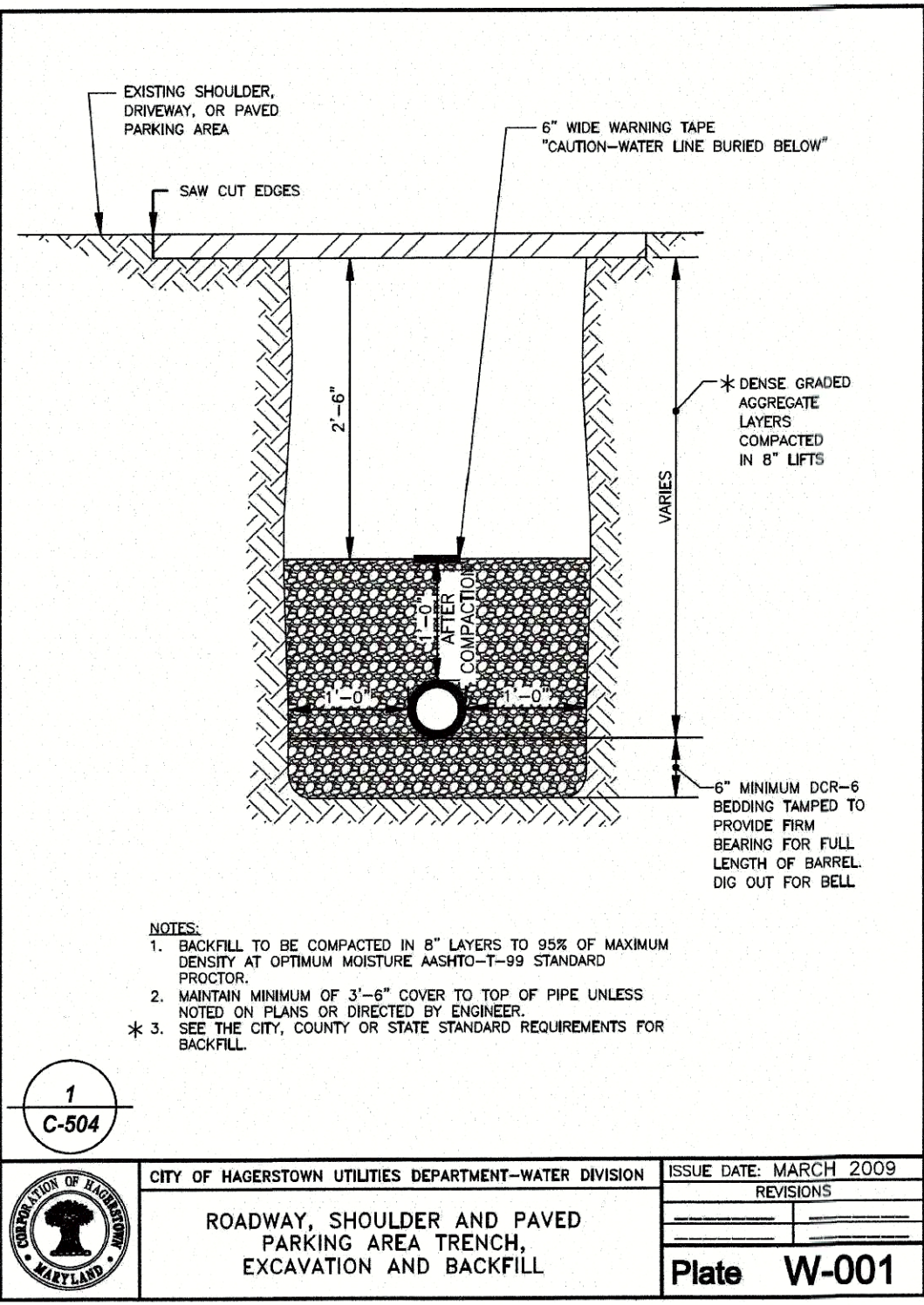
**UNDER REVIEW - NOT APPROVED FOR CONSTRUCTION**

DATE: 3/25/2019  
 DESCRIPTION: Revised per WSCSD comments

PROJECT NO: 5230.1  
 CAD DWG FILE: SEC Details & Notes.dwg  
 DWN BY: DWH DATE: 01-24-2019  
 CHK BY: TMF DATE: 01-24-2019  
 TAX MAP: 49-20-1003 ELECTION DIST: 26  
 SCALE: 20' = 1" NTS

SHEET TITLE: SEC DETAILS & NOTES  
 C-503  
 SHEET 10 OF 12  
 SP-19-009





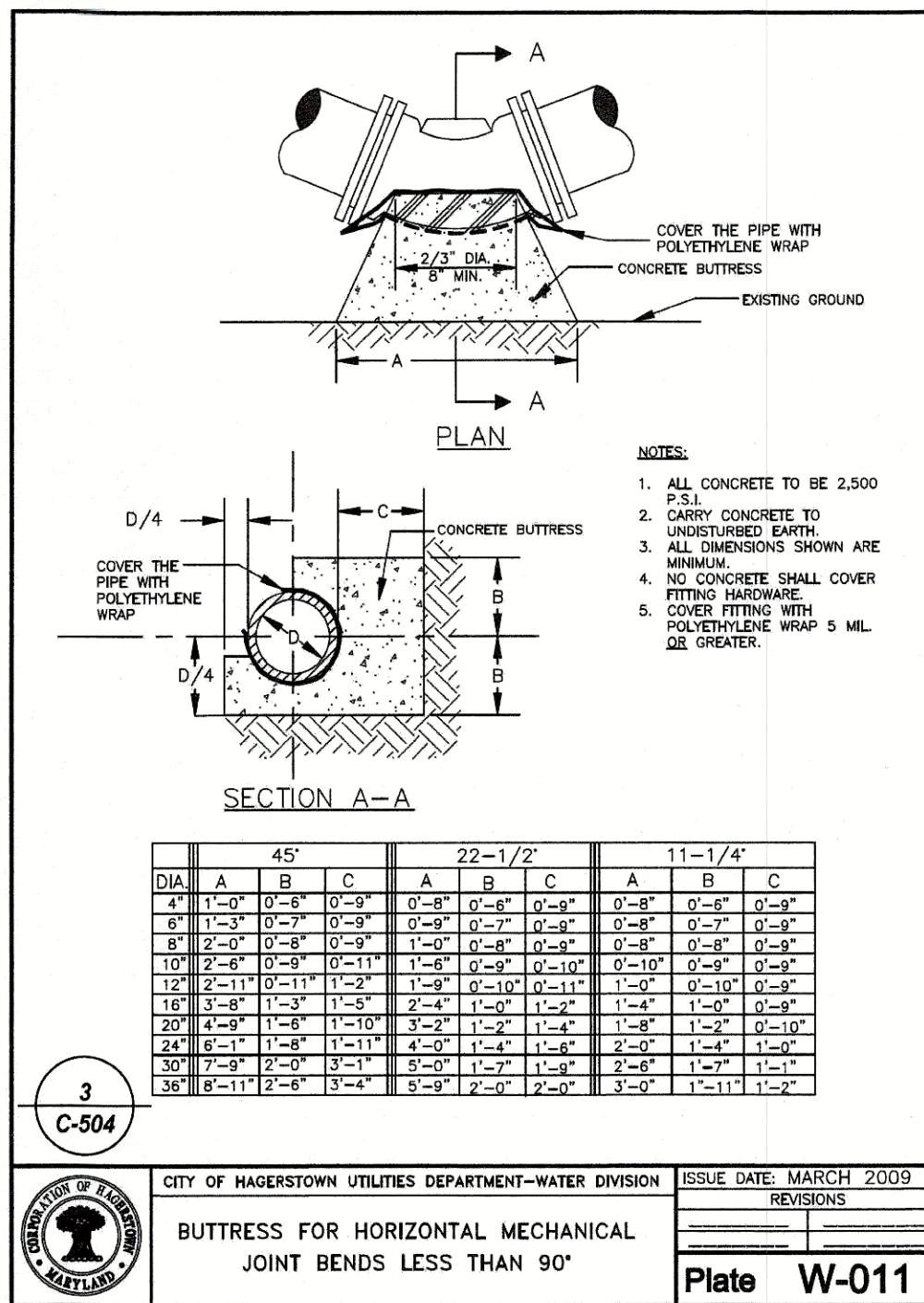
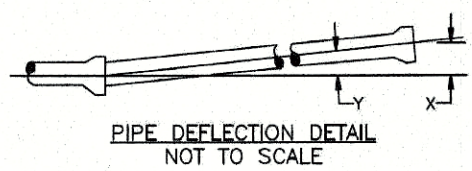
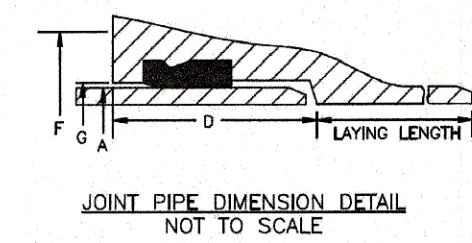
DUCTILE IRON TYTON PUSH-ON JOINT PIPE STANDARD DIMENSIONS

SIZE IN INCHES	LAYING LENGTH	1/2\"/>			
4	20'-1"	4.80	3.31	7.00	4.91
6	20'-1"	6.90	3.38	9.13	7.01
8	20'-1"	9.05	3.75	11.50	9.16
10	20'-1"	11.10	3.75	13.63	11.21
12	20'-1"	13.20	3.75	15.75	13.31
14	20'-0 1/2"	15.30	4.50	18.00	15.44
16	20'-0 1/2"	17.40	4.50	20.00	17.54
18	20'-0 1/2"	19.50	4.50	23.34	19.64
20	20'-0"	21.60	4.75	25.88	21.74
24	20'-0"	25.80	4.75	29.94	25.94
30	20'-0"	32.00	6.00	35.75	32.17
36	20'-0"	38.50	6.50	42.53	38.67
42	20'-0 1/2"	44.50	5.25	48.00	44.67
48	20'-0 1/2"	50.80	5.25	54.66	50.97
54	20'-0 1/2"	57.10	5.25	61.44	57.27

DUCTILE IRON TYTON PUSH-ON JOINT PIPE ALLOWABLE JOINT DEFLECTION

MAXIMUM RECOMMENDED DEFLECTION

SIZE IN INCHES	NORMAL LAYING LENGTH FEET	1/2\"/>
4	20	0'-5"
6	20	0'-5"
8	20	0'-5"
10	20	0'-5"
12	20	0'-5"
14	20	0'-4"
16	20	0'-4"
18	20	0'-3"
20	20	0'-3"
24	20	0'-3"
30	20	0'-3"
36	20	0'-3"
42	20	0'-2"
48	20	0'-2"
54	20	0'-1 1/2"



3  
C-504

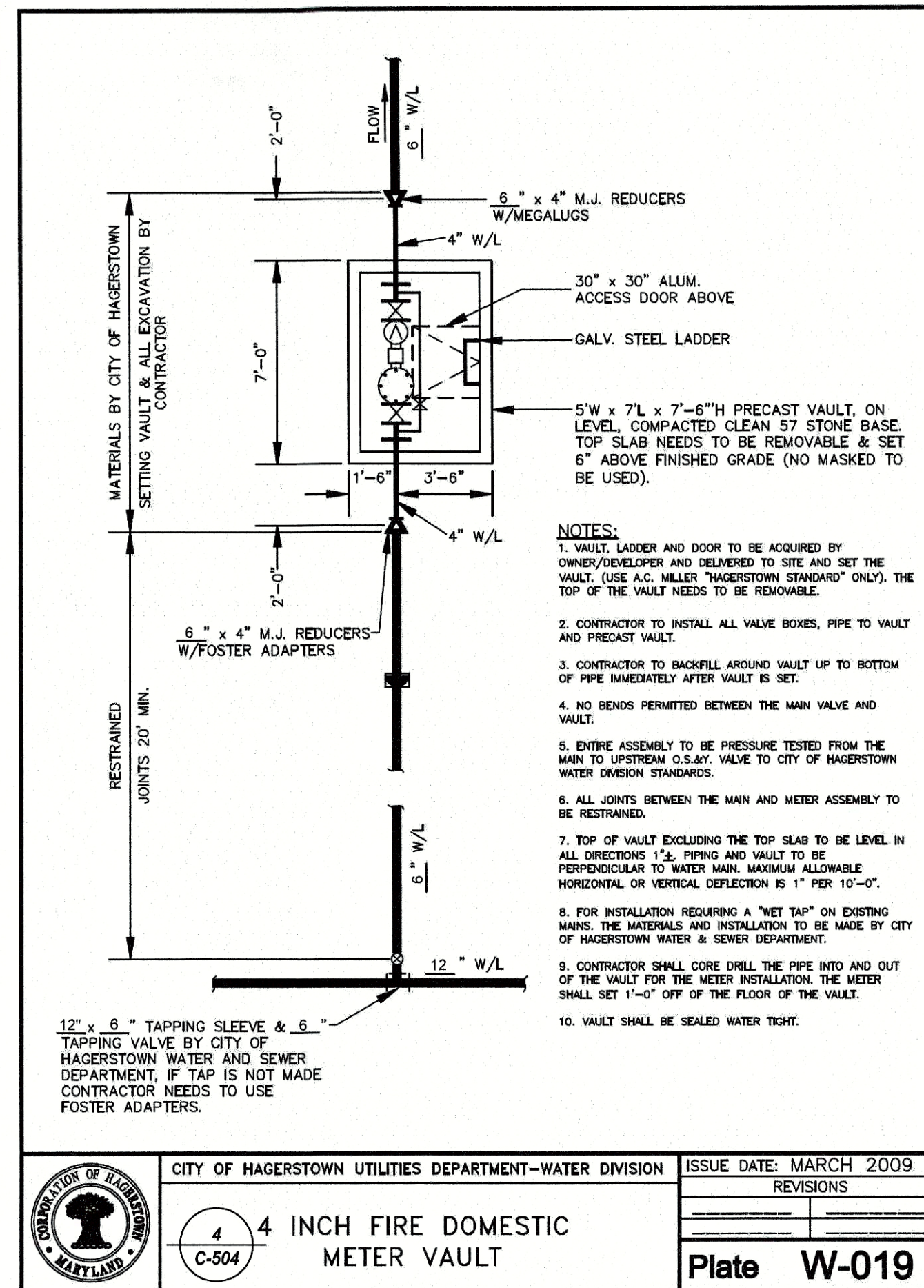
CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

BUTTRESS FOR HORIZONTAL MECHANICAL JOINT BENDS LESS THAN 90°

ISSUE DATE: MARCH 2009

REVISIONS

Plate W-011



4  
C-504

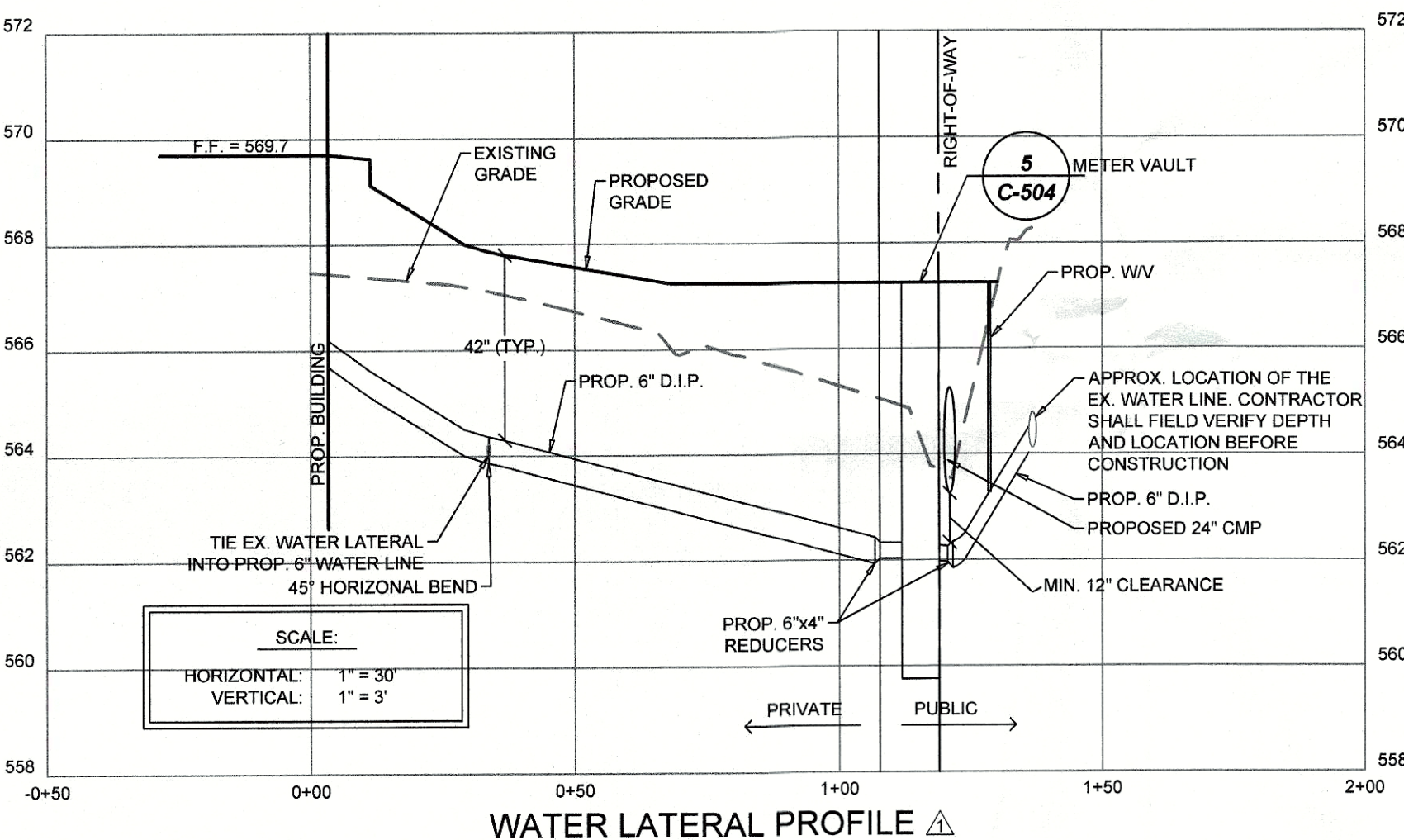
CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

4 INCH FIRE DOMESTIC METER VAULT

ISSUE DATE: MARCH 2009

REVISIONS

Plate W-019



CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION

This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

Professional Certification  
I hereby certify that the documents were prepared or approved by me or that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4206

FREDERICK & SEIBERT & ASSOCIATES, INC. ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
505 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
(301) 794-5600 (301) 992-0007

DATE: 3/27/2019  
DESCRIPTION: Revised per City of Hagerstown Water Department comments

MARK:

HUB CITY VINEYARD  
Sillate at 17605 Oak Ridge Drive  
Esplanade/Boulevard  
South of Outside Avenue  
WASHINGTON COUNTY, MARYLAND  
CLIENT:  
Hub City Vineyard  
11000 Bower Ave. #12 Hagerstown, MD 21740  
(301) 582-3344

PROJECT NO: 5230.1  
CAD DWG FILE: Util. Profiles Details & Notes.dwg  
DWN BY: DWH DATE: 01-24-2019  
CHK BY: TMF DATE: \_\_\_\_\_  
TAX MAP: 49-20-1003 ELECTION DIST: 26  
SCALE: NTS

SHEET TITLE: UTILITY PROFILES, DETAILS & NOTES

C-504  
SHEET 11 OF 12  
SP-19-009









Washington County

M A R Y L A N D

DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## MEMORANDUM

---

TO: Washington County Planning Commission  
FROM: Travis Allen, Comprehensive Planner  
DATE: April 23, 2019  
RE: Forest Conservation Mitigation Approval for Bowman Truck Terminal (GP-18-008, FP-19-007)

---

Attached you will find supporting documentation for a request to utilize offsite retention to satisfy the .87 acre planting requirement for the grading of three lots adjacent to the existing truck terminal at 10038 Governor Lane Blvd. Enclosed for your review are three documents in support of the applicant's request. These include copies of the onsite grading plan (GP-18-008); the offsite forest easement plat (FP-19-007) where the developer is requesting to meet their mitigation requirements for the project on property he owns near Porters Lane and Exline Road; and a justification letter from Qualified Professional Shannon Stotler.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Comprehensive Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

---

WWW.WASHCO-MD.NET



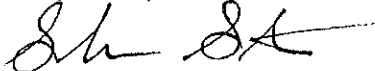
Mr. Travis Allen  
Comprehensive Planner  
100 West Washington Street, Suite 2600  
Hagerstown, MD 21740

RE: Off-Site Mitigation for the Grading Plan for Bowman Truck Terminal  
GP-18-008, FP-19-007, FSA Job #6673

Dear Mr. Allen,

To meet the necessary requirements of forestation for the Grading Plan for Bowman Truck Terminal, the owner is requesting to provide forest mitigation off-site. The only forest on-site is in the middle of the property where that is the only remaining developable area. The existing forest is being removed for the development (stormwater pond and grading) of the site. With this property being in an industrial park, I feel it would be best to provide the forest mitigation for this development off-site at a 2:1 ratio rather than planting whips/trees onsite

Respectfully submitted,



Shannon Stotler

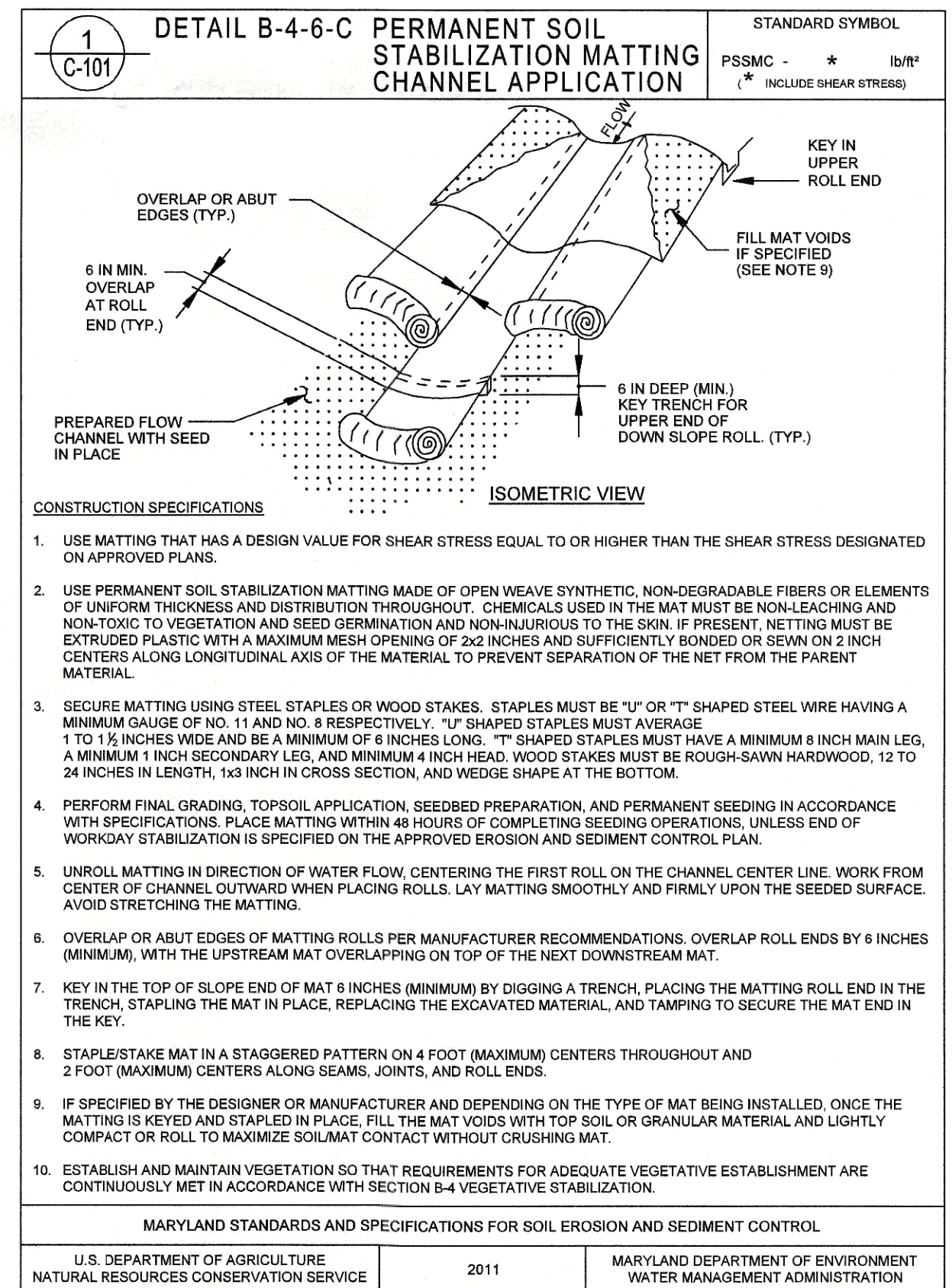
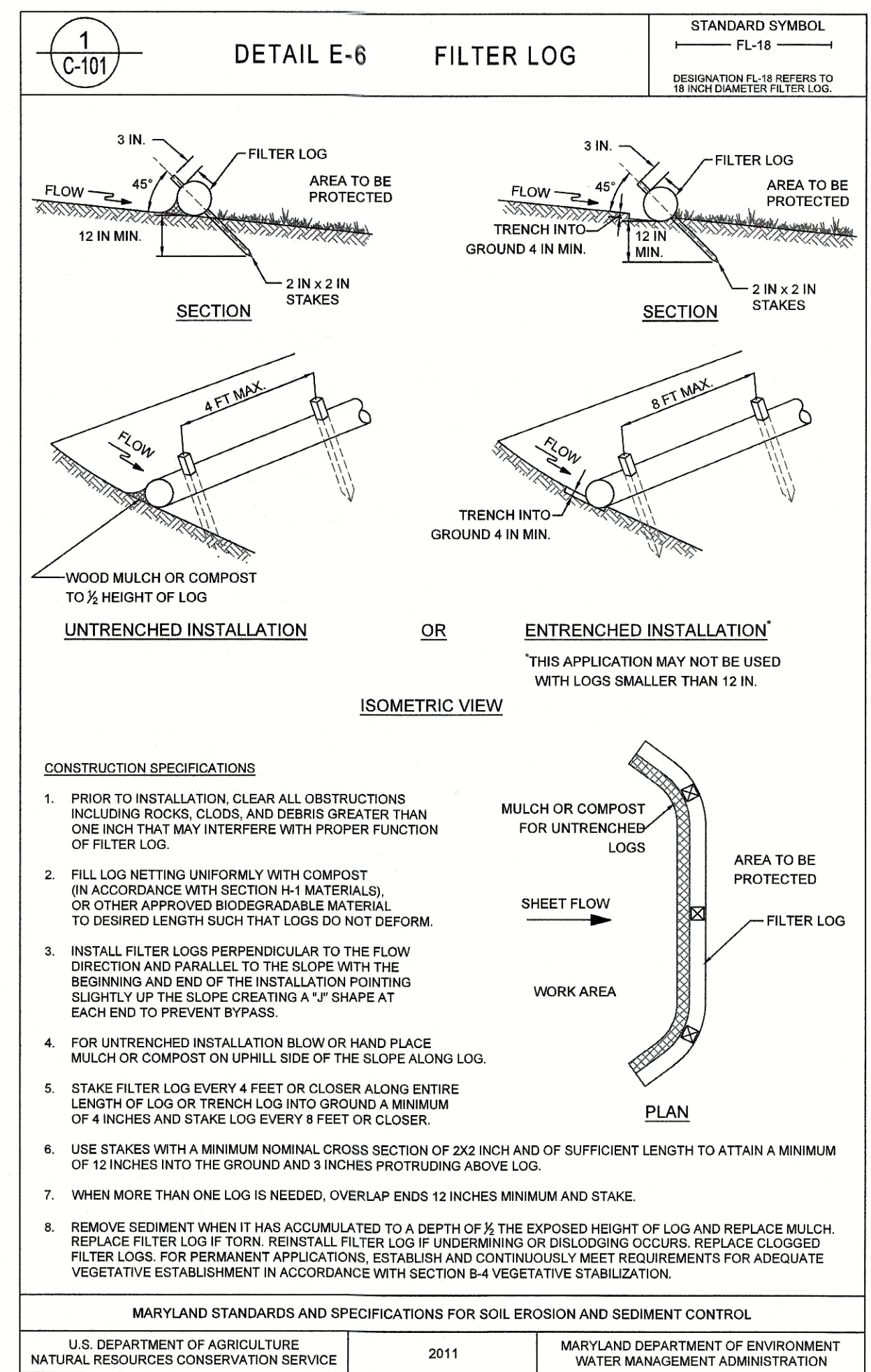


- SEQUENCE OF CONSTRUCTION**
- Contractor to contact FSA, Inc. (301) 791-3650, WCSCD (301) 797-6821 ext.3, and the Washington Co. DPW - Engineering and Construction (240) 313-2400 at least five (5) days prior to the start of any earthwork to schedule a pre-construction meeting.
  - Contractor to access the construction site via the existing asphalt parking lot off of Governor Lane Blvd. Contractor to install perimeter controls (i.e. Fiterlog). If any tracking of mud or debris occurs on Governor Lane Boulevard the contractor is to immediately stop work and clean the roadway.
  - Grading of site to begin with all topsoil removed and placed on stockpiles located offsite. All material to be taken offsite; any spoil and or borrow must come from or go to a site that has a current and approved soil erosion and sediment control plan. Stabilize all disturbed areas with permanent seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
  - Contractor is to contact FSA, Inc. (301) 791-3650, WCSCD (301) 797-6821 ext.3, and the Washington Co. DPW - Engineering and Construction (240) 313-2400 prior to excavate a bioretention area. Contractor can begin to excavate bioretention area. All material to be taken offsite; any spoil and or borrow must come from or go to a site that has a current and approved soil erosion and sediment control plan.
  - Bioretention ponds to be completed, landscaped, and planted with "Ernst Rain Garden Grass Mix". No heavy equipment is allowed within the bioretention area to prevent compaction of the soil.
  - Final grade site. Once all graded has been completed, stabilize all remaining disturbed areas. All excess material shall be immediately removed from the site to an area with an approved erosion and sediment control plan.
  - Stabilize all disturbed areas with permanent seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
  - Notify the WCSCD (301) 797-6821 ext.3 and the WCDPW-Engineering and Construction at (240) 313-2400 at least (5) five days prior to the removal of any sediment control features to schedule a final closeout review meeting.
  - Approval from the WCSCD (301) 797-6821 ext.3 is needed before the removal of Sediment and Erosion Control Measures.
  - Once approval is granted and temporary sediment and erosion controls are removed, complete further stabilization in those areas.

**PLANT SCHEDULE**

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	ILE W13	Ilex verticillata	Winterberry	5 gal.	14	5-C-501
	ITE V13	Itea virginica 'Virginia'	Virginia Sweetspire	5 gal.	12	5-C-501
	LIN BEN	Lindera benzoin	Spicebush	5 gal.	13	5-C-501

- SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES**
- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
  - All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
  - All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
  - A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
  - For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
    - Three (3) calendar days to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
    - Seven (7) calendar days to all other disturbed or graded areas on the project site not under active grading.
  - Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
  - All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
  - All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
  - Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
  - No slope shall be greater than 2:1.
  - As required by Section B. of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

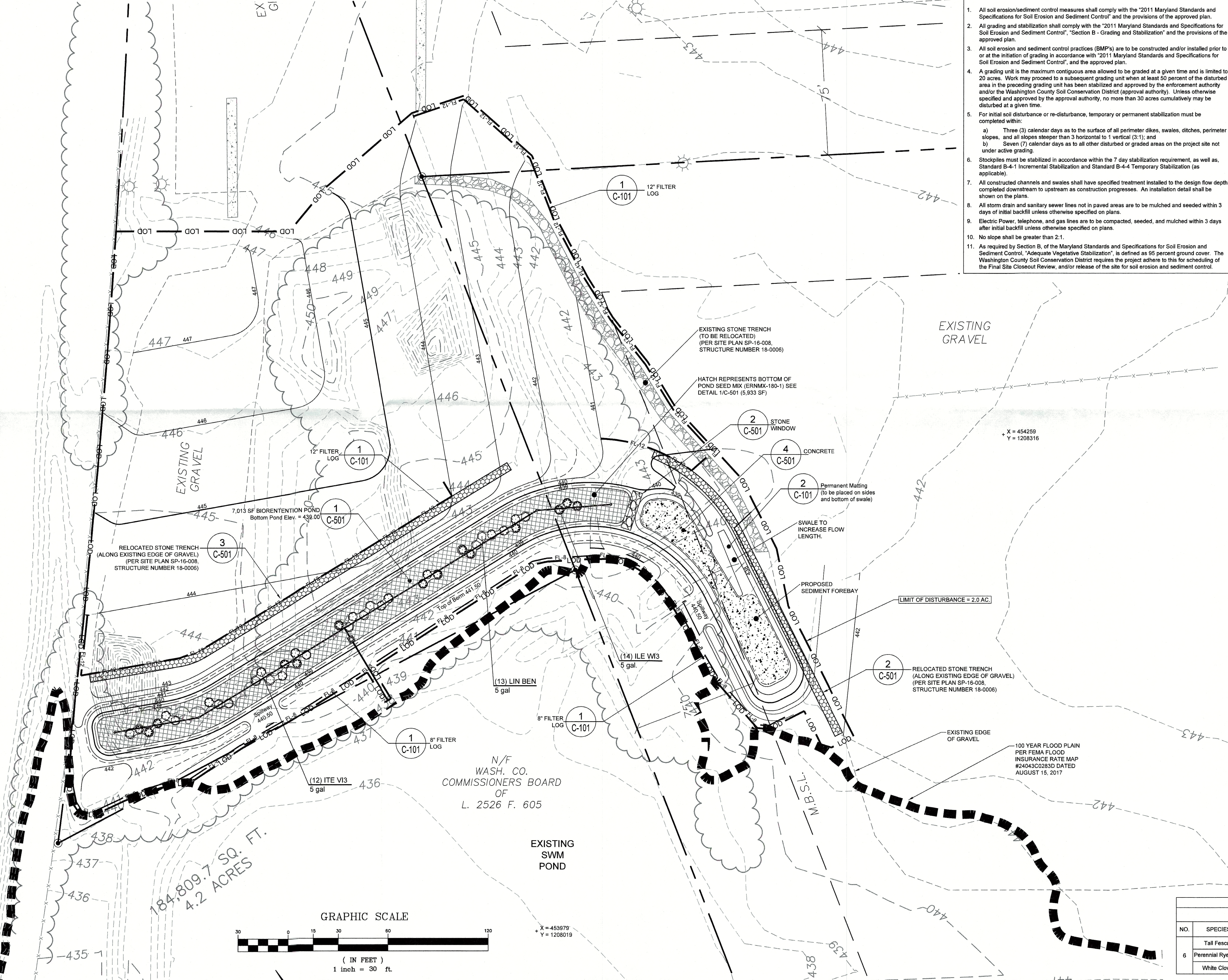


**TEMPORARY SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					N	P205	
1	Barley	96	Zone 6b: Mar 15-May 31/Aug 1-Sept 30	1"	436 lb/ac (10 lb/1000 s.f.)	2 tons/ac (90 lb/1000 s.f.)	

**PERMANENT SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
6	Perennial Ryegrass	25	Zone 6b: Mar 1-May 15/May 16-Jun 15	1 1/4" - 1 1/2"	45 lb/ac (1 lb/1000 s.f.)	90 lb/ac (2 lb/1000 s.f.)	90 lb/ac (2 lb/1000 s.f.)	2 tons/ac (90 lb/1000 s.f.)
	White Clover	5						



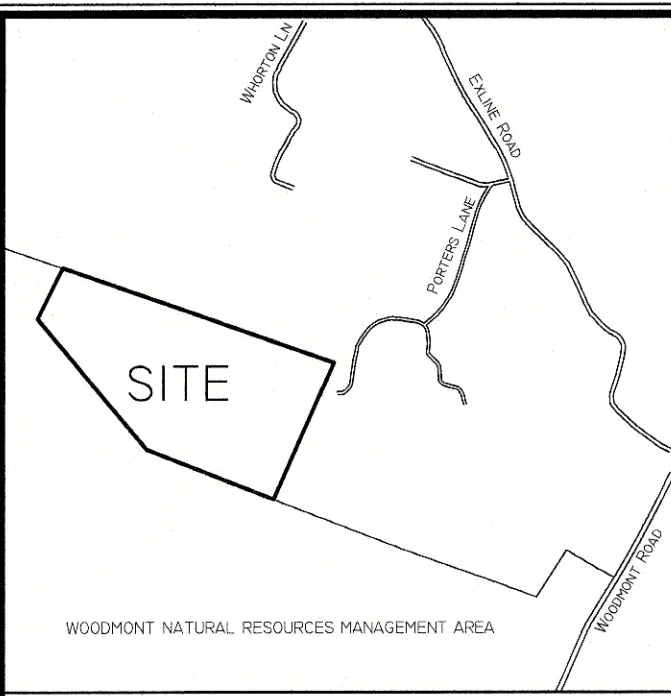
**FREDERICK & SEIBERT ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS - LAND PLANNERS  
200 SOUTH POTOMAC STREET, GREENCASTLE, PENNSYLVANIA 17234  
101 NORTH HANOVER STREET, LORCAIE, PENNSYLVANIA 17013

**BOWMAN TRUCK TERMINAL**  
SITUATE ALONG THE WEST SIDE OF GOVERNOR LANE BLVD BETWEEN WASHINGTON STREET AND SUNSHINE AVE  
WASHINGTON COUNTY

**UNDER REVIEW - NOT APPROVED**

PROJECT NO: 8873  
CAD DWG FILE: 02-GRADING PLAN DWG  
DWN BY: BAB DATE: 11-30-18  
CHK BY: DST DATE: 2019  
TAX MAP: 58-14-906 ELECTION DIST: 02  
SCALE: 1" = 30'  
SHEET TITLE: GRADING & SEC PLAN & DETAILS  
C-101  
SHEET 2 OF 3  
GP-18-009





MISC PLAT NO \_\_\_\_\_  
DATE \_\_\_\_\_  
WASHINGTON COUNTY

Certificate of Approval  
FINAL APPROVAL GRANTED  
DATE: \_\_\_\_\_  
By: \_\_\_\_\_  
Washington County Planning Commission  
Final Approval good for one hundred  
eighty (180) days from above date

GENERAL NOTES:

FOREST AREAS SHOWN HEREON [Hatched Symbol] HAVE BEEN REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION AND ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. CLEARING OF FORESTED AREAS HAVE NOT BEEN APPROVED. THOSE AREAS NOTED AS "FOREST RETENTION AREAS" ARE NOT TO BE DISTURBED BY A REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED FOREST DISTURBANCE IS REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT THE TIME.

PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATION OF THESE RESTRICTIONS. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE, AS LONG AS THERE IS NO FOREST DISTURBANCE, REMOVAL OF THE EXISTING FOREST, OR INHIBITION OF ITS NATURAL GROWTH PROCESSES ARE PERMITTED IN THESE FOREST AREAS.

THIS NOTE OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN EACH AND EVERY DEED OF CONVEYANCE FOR ANY LOT SHOWN ON THIS PLAT.

THE RETENTION AREA SHOWN [Cross-hatched Symbol] ON THIS PLAT IS TO BE RETAINED BY THE RESPECTIVE PROPERTY OWNERS IN A NATURAL FORESTED CONDITION, PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE OF 1993. FURTHERMORE, THE USE OF THE RETENTION AND PLANTING AREA SHALL BE LIMITED TO FOREST CONSERVATION PRACTICES ACTIVITIES WHICH ARE CONSISTENT WITH THE PRESERVATION OF THE RETENTION AREA AS NATURAL FOREST LAND, AS STIPULATED BY THE SAME ORDINANCE.

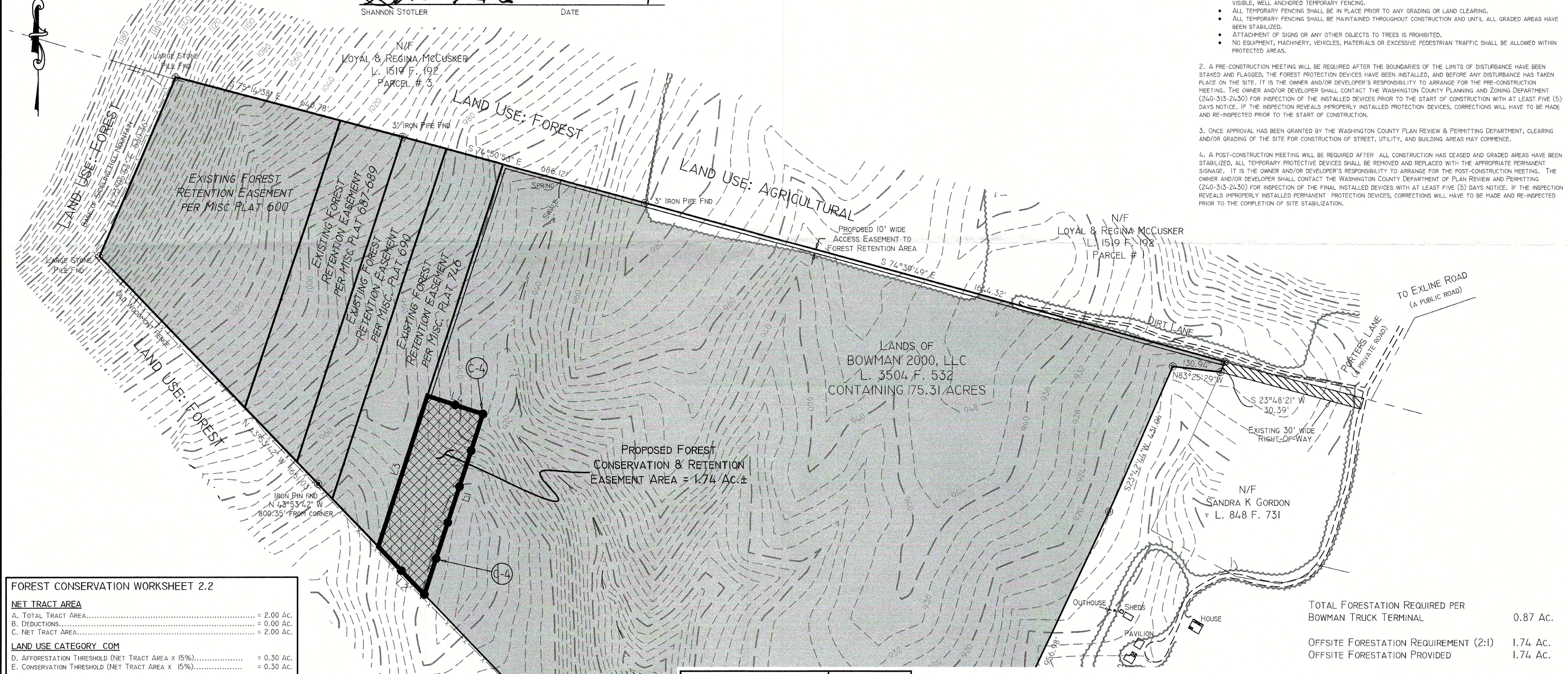
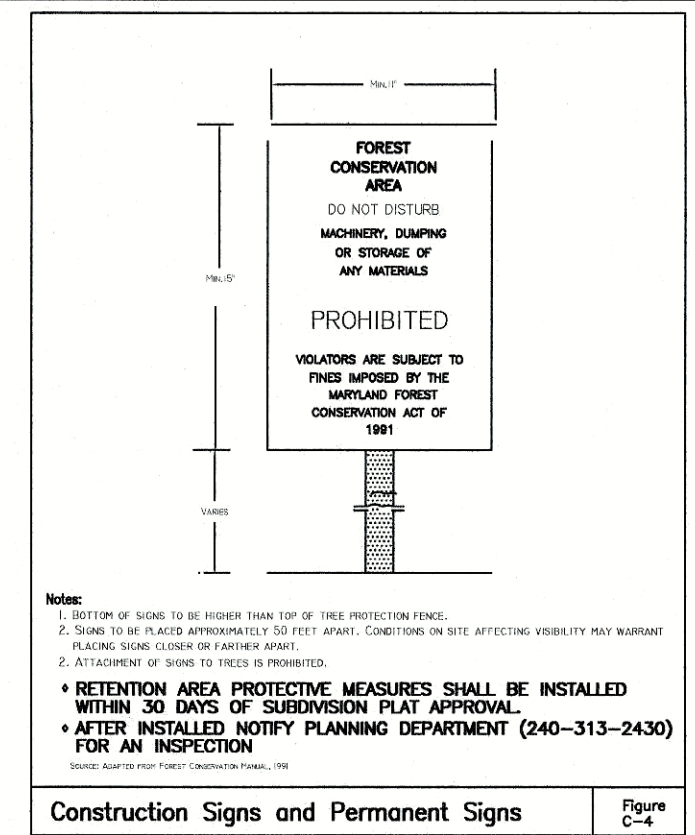
VICINITY MAP SCALE: 1" = 2000'

OWNER:  
Bowman 2000, LLC  
10228 GOVERNOR LANE BLVD., UNIT 3002  
WILIAMSPORT, MD 21795

I CERTIFY THAT I AM A QUALIFIED PROFESSIONAL PER REQUIREMENTS OF COMAR 08.19.06.01 FOR QUALIFIED PROFESSIONAL STATUS AND, THEREFORE, AM QUALIFIED TO PREPARE THE ATTACHED FOREST CONSERVATION PLAN. I FURTHER CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION USING THE METHODS PROVIDED BY THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE AND FOREST CONSERVATION MANUAL. I CERTIFY THAT THIS FOREST CONSERVATION EASEMENT PLAT IS ACCURATE AND COMPLETE.

*Sh St* 3-5-19  
SHANNON STOTLER DATE

LINE	BEARING	DISTANCE
L1	S 18°04'54" W	516.23'
L2	N 43°53'42" W	181.28'
L3	N 18°06'56" E	431.06'
L4	S 71°55'06" E	160.02'



FOREST CONSERVATION WORKSHEET 2.2

**NET TRACT AREA**  
A. TOTAL TRACT AREA..... = 2.00 AC.  
B. DEDUCTIONS..... = 0.00 AC.  
C. NET TRACT AREA..... = 2.00 AC.

**LAND USE CATEGORY COM**  
D. AFFORESTATION THRESHOLD (NET TRACT AREA X 15%)..... = 0.30 AC.  
E. CONSERVATION THRESHOLD (NET TRACT AREA X 15%)..... = 0.30 AC.

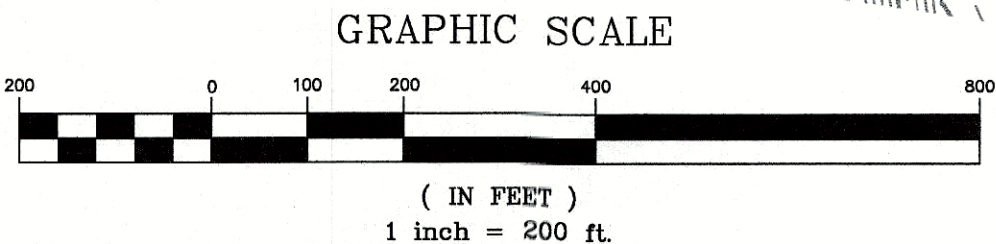
**EXISTING FOREST COVER**  
F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA..... = 1.36 AC.  
G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD..... = 1.06 AC.

**BREAK EVEN POINT**  
H. BREAK EVEN POINT..... = 0.51 AC.  
I. FOREST CLEARING PERMITTED WITHOUT MITIGATION..... = 0.85 AC.

**PROPOSED FOREST CLEARING**  
J. TOTAL AREA OF FOREST TO BE CLEARED..... = 1.36 AC.  
K. TOTAL AREA OF FOREST TO BE RETAINED..... = 0.00 AC.

**PLANTING REQUIREMENTS**  
L. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD..... = 0.27 AC.  
M. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD..... = 0.60 AC.  
N. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD..... = 0.00 AC.  
P. TOTAL REFORESTATION REQUIRED..... = 0.87 AC.  
Q. TOTAL AFFORESTATION REQUIRED..... = 0.00 AC.  
R. TOTAL PLANTING REQUIREMENT..... = 0.87 AC.

OR 37,879.20 S.F.



- FOREST CONSERVATION SEQUENCE OF CONSTRUCTION
- ALL TEMPORARY PROTECTION DEVICES AND/OR PERMANENT DEVICES SHALL BE PUT INTO PLACE.
    - PERMANENT SIGNAGE WILL BE PLACED AS SHOWN ON THE PLAN AROUND THE PERIMETER OF THE ENTIRE FOREST AREA WITHIN 30 DAYS OF SUBDIVISION PLAT APPROVAL AND/OR COMPLETION OF CONSTRUCTION.
    - DURING ANY BUILDING OR SITE CONSTRUCTION, THE FOREST RETENTION AREA(S) SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL ANCHORED TEMPORARY FENCING.
    - ALL TEMPORARY FENCING SHALL BE IN PLACE PRIOR TO ANY GRADING OR LAND CLEARING.
    - ALL TEMPORARY FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL ALL GRADED AREAS HAVE BEEN STABILIZED.
    - ATTACHMENT OF SIGNS OR ANY OTHER OBJECTS TO TREES IS PROHIBITED.
    - NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN PROTECTED AREAS.
  - A PRE-CONSTRUCTION MEETING WILL BE REQUIRED AFTER THE BOUNDARIES OF THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED, THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, AND BEFORE ANY DISTURBANCE HAS TAKEN PLACE ON THE SITE. IT IS THE OWNER AND/OR DEVELOPER'S RESPONSIBILITY TO ARRANGE FOR THE PRE-CONSTRUCTION MEETING. THE OWNER AND/OR DEVELOPER SHALL CONTACT THE WASHINGTON COUNTY PLANNING AND ZONING DEPARTMENT (240-313-2430) FOR INSPECTION OF THE INSTALLED DEVICES PRIOR TO THE START OF CONSTRUCTION WITH AT LEAST FIVE (5) DAYS NOTICE. IF THE INSPECTION REVEALS IMPROPERLY INSTALLED PROTECTION DEVICES, CORRECTIONS WILL HAVE TO BE MADE AND RE-INSPECTED PRIOR TO THE START OF CONSTRUCTION.
  - ONCE APPROVAL HAS BEEN GRANTED BY THE WASHINGTON COUNTY PLAN REVIEW & PERMITTING DEPARTMENT, CLEARING AND/OR GRADING OF THE SITE FOR CONSTRUCTION OF STREET, UTILITY, AND BUILDING AREAS MAY COMMENCE.
  - A POST-CONSTRUCTION MEETING WILL BE REQUIRED AFTER ALL CONSTRUCTION HAS CEASED AND GRADED AREAS HAVE BEEN STABILIZED, ALL TEMPORARY PROTECTIVE DEVICES SHALL BE REMOVED AND REPLACED WITH THE APPROPRIATE PERMANENT SIGNAGE. IT IS THE OWNER AND/OR DEVELOPER'S RESPONSIBILITY TO ARRANGE FOR THE POST-CONSTRUCTION MEETING. THE OWNER AND/OR DEVELOPER SHALL CONTACT THE WASHINGTON COUNTY DEPARTMENT OF PLAN REVIEW AND PERMITTING (240-313-2430) FOR INSPECTION OF THE FINAL INSTALLED DEVICES WITH AT LEAST FIVE (5) DAYS NOTICE. IF THE INSPECTION REVEALS IMPROPERLY INSTALLED PERMANENT PROTECTION DEVICES, CORRECTIONS WILL HAVE TO BE MADE AND RE-INSPECTED PRIOR TO THE COMPLETION OF SITE STABILIZATION.

REVISED PER	DATE

TAX MAP 15-23-32 DISTRICT 5	
DRAWING NUMBER 1 OF 1	
DRAWN BY: DWH	DATE: 3/4/2019
CHECKED BY:	DATE:
SCALE: 1" = 200'	

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128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013

(301) 791-3650 (717) 597-1007 (717) 871-8111 (301) 416-7478 FAX (301) 739-4956

PRELIMINARY/FINAL FOREST RETENTION EASEMENT PLAT FOR THE GRADING / MDE SWPP PLAN FOR **Bowman Truck Terminal**

SITUATE WEST OF EXLINE ROAD AT THE END OF PORTERS LANE  
WASHINGTON COUNTY, MARYLAND

JOB NUMBER: 5598



# GRADING/ MDE SWPPP PLAN

for

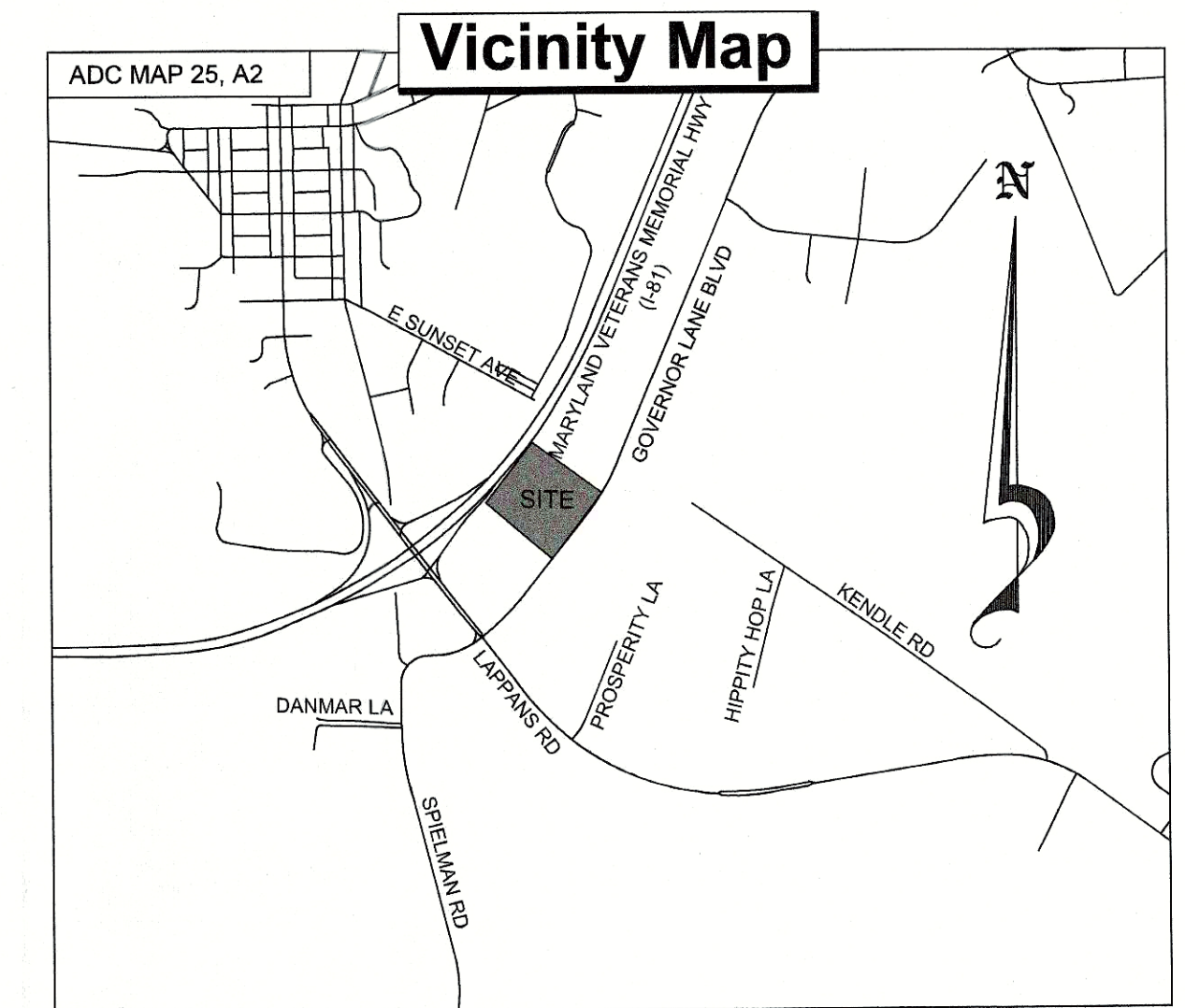
# BOWMAN TRUCK TERMINAL

Situate along the west side of Governor Lane Blvd  
between Lappans Rd (MD 68) and E. Sunset Ave  
Williamsport, Maryland

## OWNER/DEVELOPER:

The Bowman Group  
10228 Governor Lane Blvd, Suite 3002  
Williamsport, Maryland 21795

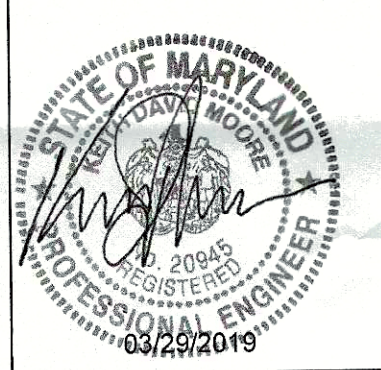
ATTN: Dan Hockman  
PHONE: 301-582-1555  
FAX: 301-582-0049



SCALE: 1" = 2000'

## Approvals

<p>MD-ENG-6A 1/89</p> <p>UTILITY NOTIFICATION</p> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:</p> <p>Phone No. 1-800-257-7777</p>	<p>USDA SCS</p> <p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/We certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>6/20/18 DATE Donald Bowman PRINTED NAME <i>[Signature]</i> SIGNATURE</p>
<p>DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 7,310 CU. YDS. OF EXCAVATION AND APPROXIMATELY 147 CU. YDS. OF FILL.</p> <p>WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p>	<p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>6/20/18 DATE Donald Bowman PRINTED NAME <i>[Signature]</i> SIGNATURE</p>
<p>*APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING</p> <p>SIGNATURE _____ DATE _____</p> <p>"Washington County stormwater management review is limited to the authority under the Washington County Stormwater Management, Grading, and Erosion and Sediment Control Ordinance, as well as County's policies and standards related thereto. Approval of this plan does not imply compliance with any requirements under Maryland General Permit No. 12-SW or other requirements outside of the authority of the Division."</p>	<p>ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</p> <p>"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."</p> <p>SIGNATURE _____ DATE _____ SEAL _____</p>
	<p>ENGINEER / ARCHITECT DESIGN CERTIFICATION</p> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 21.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p> <p>03/29/2019 DATE 20945 REG. NO. <i>[Signature]</i> SIGNATURE</p> <p>Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20945, Expiration Date: 2019-08-23.</p>



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CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS  
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
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(301) 791-3650 (301) 416-7478 (717) 567-1007 FAX (301) 739-4956

## Sheet Index

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
C-101	SHEET 2	GRADING & SEC PLAN & DETAILS
C-501	SHEET 3	STORMWATER MANAGEMENT DETAILS & NOTES

## Site Data

TAX MAP	56-14-906
ELECTION DISTRICT	02
ZONING	P1-PLANNED INDUSTRIAL DISTRICT (INDUSTRIAL PARK)
SETBACKS	FRONT: 50' SIDE: 75' REAR: 75'
MAX. BUILDING HEIGHT	75'
FUNCTIONAL DESCRIPTION	TRUCK TERMINAL
PARCEL AREA	8.44 Ac+/- (P. 906) 12.431 Ac+/- (P. 007) 2.70 Ac+/- (P. 205)
EXISTING BUILDING AREA	17,314 SF
EXISTING BUILDING HEIGHT	20'
EXISTING PARKING AREA	696,960 SF
EXISTING IMPERVIOUS AREA	696,960 SF (68%)
SENSITIVE AREAS	THERE ARE NO KNOWN STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 4.21 OF THE ZONING ORDINANCE. 100 YEAR FLOODPLAIN PER FEMA PANEL #24043C0283D DATED AUGUST 15, 2017.
FLOODPLAINS	FORESTATION HAS BEEN ADDRESSED FOR THIS PROJECT PER FOREST CONSERVATION PLAT FP-19-007.
FORESTATION	

## General Notes

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:  
Miss Utility 1-800-257-7777  
Washington County Plan Review Department 240-313-2460  
Washington County Soil Conservation District 301-797-6821, ext. 3
- G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- G.9 Benchmarks as shown on plans. Elevations based on NAD83. Contractor must contact Frederick Seibert and Associates to verify benchmarks before any construction activity can begin.
- G.10 The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- G.15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- G.16 Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
- G.17 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
- G.18 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
- G.19 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- G.20 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- G.21 All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- G.22 The existing site contours shown hereon were obtained from an aerial survey completed and field verified by FSA (Contour accuracy is to plus or minus one half the contour interval).
- G.23 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- G.24 Exterior lighting will consist of building mounted lights as shown on the architectural plans and pole mounted lights directed on site as shown on the site plan and electrical plan.
- G.25 The contractor shall provide MOSH safety assistance for W.P.C. Inspector.
- G.26 Applicant to provide as built mylars at the completion of the project.
- G.27 This project has a projected start date of June 2019 and a completion date of September 2019.
- G.28 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.

## Legend

SYMBOL	PROPOSED	FEATURE
		PROPERTY LINE, CORNER
		PERMANENT EASEMENT
		CENTERLINE
		CONTOURS
		TREE LINE
		EDGE OF PAVEMENT
		CONCRETE CURB
		FENCE LINE
		STREAM OR DITCH
		FLOW LINE
		WATER LINE
		SANITARY SEWER LINE, STUB
		GAS LINE
		FORCE MAIN
		STORM DRAIN, END SECTION
		ROOF DRAIN PIPE
		WATER VALVE
		WATER CAP, REDUCER, BEND
		FIRE HYDRANT, METER
		OVERHEAD ELECTRIC LINE
		GUARDRAIL
		RAILROAD TRACKS
		BUILDINGS, HOUSES, GARAGES
		SANITARY SEWER MANHOLE
		STORM DRAIN INLET
		UTILITY POLE
		HANDICAP PARKING
		POLE LIGHT
		ROAD SIGN
		SPOT ELEVATION
		SINGLE WATER METER
		SINGLE SEWER CLEANOUT
		DETAIL REFERENCE
		POINT OF INTERSECTION POINT ON LINE
		POINT OF CURVATURE BOTTOM OF CURB
		POINT OF TANGENCY TOP OF CURB

**KARST LANDSCAPE NOTES:**  
1. The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils, please be alert to the possibility of sinkhole formation.  
2. All sinkholes that are present or develop during construction must be remediated and certified by the site geotechnical engineer. Contractor to contact geotechnical engineer immediately after the discovery of any sinkhole.

**SWM NOTE:**  
In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.

**GRADING NOTE:**  
1. Grading for this project shall be the full responsibility of the property owner.  
2. If rock is encountered, undercut pond 18" and backfill with CL type soil.

## SWM Narrative

Stormwater from this site must be managed for ESDs per the Manual and Ordinance. Per the Manual and Ordinance, the site meets the requirements for redevelopment. WQv must be provided for 50% of the existing impervious area within the LOD and ESDv must be provided for 100% of the new impervious area with the LOD.

Runoff in the post development condition will decrease from the predevelopment condition due to treatment of the WQ volume for both 20% of the existing site impervious area, 50% of the existing impervious within the LOD and 100% of all new impervious. There are no negative impacts downstream since the improvements discharge directly into the pond.

Existing impervious area within LOD	0.77 acres x 50%	0.385 acres
Proposed impervious area within LOD	0.88 acres x 100%	0.88 acres
Existing overall site impervious area	16.0 acres x 20%	3.20 acres
Total impervious area to be treated		4.47 acres

Total WQv to be provided	12,380 cubic feet
Total ESDv to be provided (includes WQv)	13,327 cubic feet
Treatment within Bioretention	9,212 cubic feet
Treatment within Forebay	5,376 cubic feet
Total ESDv (includes WQv) treated	14,588 cubic feet

Stormwater management for the site's disturbed area and 20% of the existing site impervious area has been provided.

Total DA (Site)	15.20
Construction Type (circle one)	New
Restoration	

DESCRIPTION	DATE	GRADING CHK BY:	DATE	PROJECT NUMBER:
Resubmittal Set	03-27-19	DST	2019	6673
Resubmittal Set	01-29-19	DST	2019	
SUBMITTAL	06-13-18	KDM	2019	
DESCRIPTION:		KDM	2019	

COVER SHEET

G-001  
SHEET 1 OF 3  
GP-18-008





Washington County

M A R Y L A N D

DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## MEMORANDUM

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TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: April 23, 2019

RE: Forest Conservation Plan Revision for Fountainhead Properties Management (FP-19-009)

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Attached you will find supporting documentation for a request to move a disturbed portion of an existing forest conservation easement at 13716 Crayton Blvd offsite into the Andrew Michael forest mitigation bank recently established near Cearfoss. Enclosed for your review are three documents in support of the applicant's request. These include copies of the preliminary forest conservation plan (FP-18-009); the intended offsite forest easement location at the Andrew Michael Forest Mitigation Bank (this will become another page in the revised forest conservation plan); and a justification letter from Qualified Professional Shannon Stotler dated April 16, 2019.

Portions of the existing 7.27 acre forest easement at Crayton Blvd have been affected by both short and long term disturbance from multiple sources. Recent short-term forest disturbance at the site due to an unapproved timber harvest will be addressed through onsite replanting and backed by a forest bond. Long term forest disturbance has also occurred, likely due to actions by adjacent residents who were previously aware that they abutted a permanent forest easement since the easement lacked the required permanent protection signage. Since existing patterns of adjacent land use have been established to a degree that would be very difficult to modify, the property owner has requested to move .78 acres offsite into the Andre Michael Forest Mitigation Bank.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Comprehensive Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)





FREDERICK, SEIBERT & ASSOCIATES, INC.

fsa-md.com

April 16, 2019

Travis Allen, Comprehensive Planner  
Wash Co Planning Department  
100 W Washington St  
Hagerstown, MD 21740

RE: Fountainhead Properties Justification for Offsite Banking

Dear Travis,

Please accept this letter as analysis and justification to utilize an existing forest bank as the proposed means forest mitigation for the Fountainhead Properties project over other means of forest mitigation.

Although the applicant has selected to utilize item 10 on the preferred sequence list, which is to purchase credit from an approved Forest Mitigation Bank, we feel this method of mitigation is just as effective as others higher on the sequence. The applicant has selected to purchase credits from an "existing forest" bank. The area that was mistakenly encroached onto by the adjacent Spring Ridge Mobile Home Park is improved with Mobile Homes, playground equipment and parking for the park. By allowing offsite banking twice as much acreage will be retained due to the 2:1 ratio for any mitigation done offsite.

Higher items listed on the preferred sequence primarily consist of planting which is extremely expensive and consumes a large amount of property. Even at the Payment In Lieu of rate of 30 cents per square foot, planting would be over \$20,000. The actual price to create the afforestation area with planting, bonding and maintenance would be well over \$30,000, monies the applicants do not have to spare.

This site is specifically conducive to this method of mitigation since no additional forest is being removed in order to maintain the existing surroundings of the park and ultimately more forest will be saved.

Please feel free to contact me with any questions.

Respectfully,

Shannon Stotler  
Qualified Forestry Professional  
Frederick, Seibert & Associates

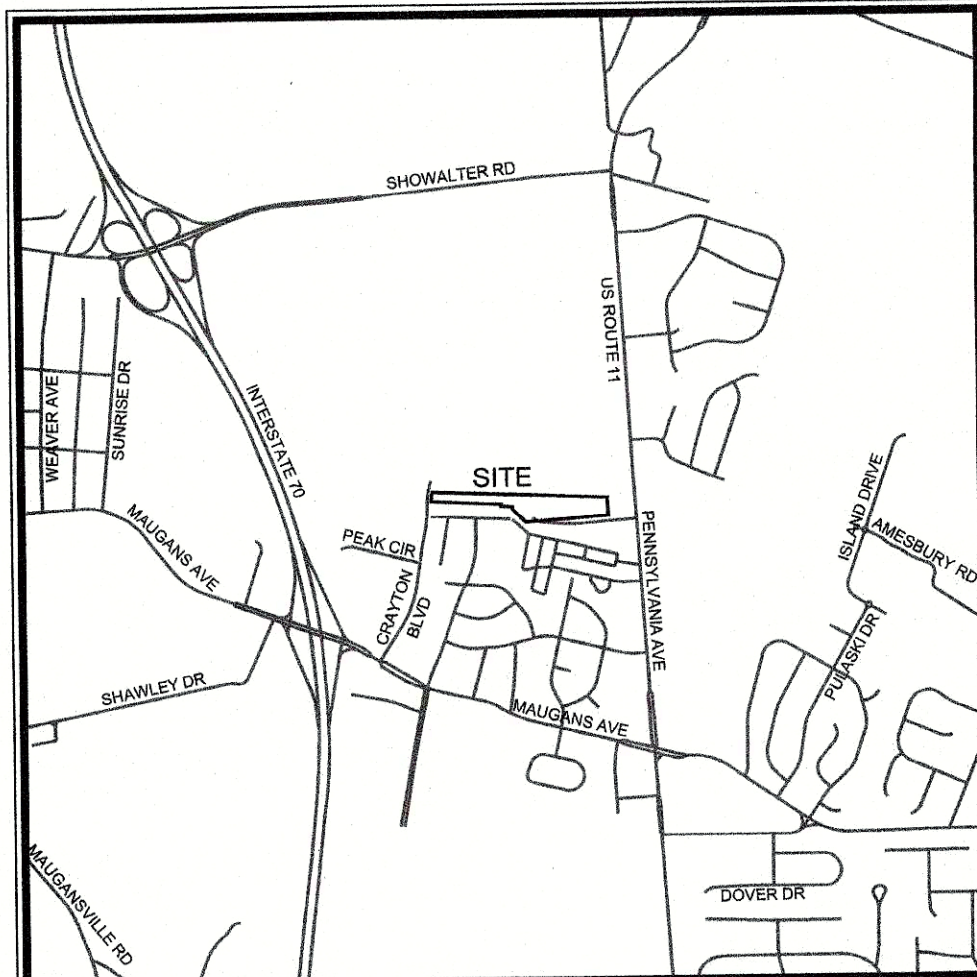
FSA, INC.

GREENCASTLE, PA  
20 W. Baltimore Street  
Greencastle, PA 17225  
717.597.1007

HAGERSTOWN, MD  
128 S. Potomac Street  
Hagerstown, MD 21740  
301.791.3650

CARLISLE, PA  
101 N. Hanover Street  
Carlisle, Pa 17013  
717.701.8111





VICINITY MAP SCALE: 1" = 2,000'

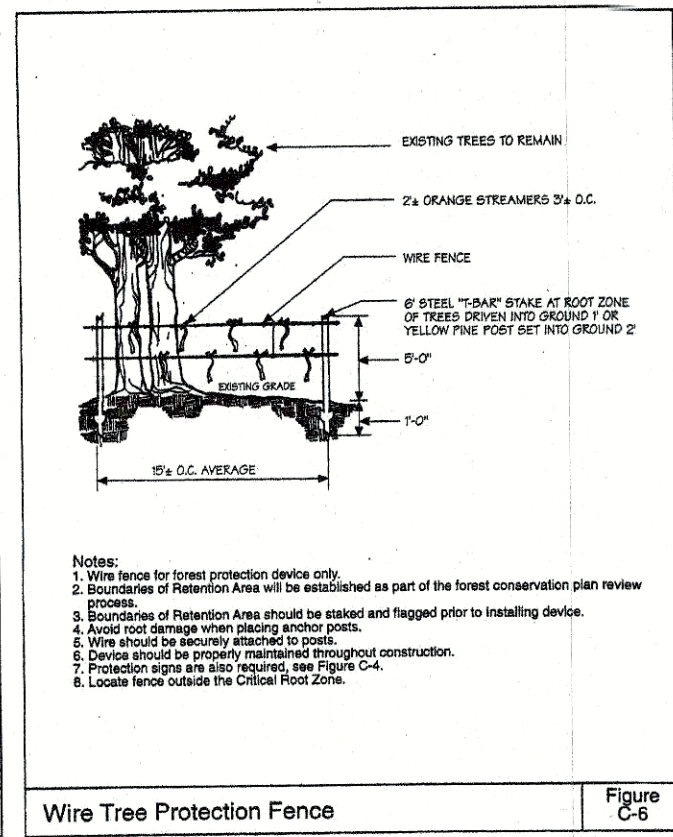
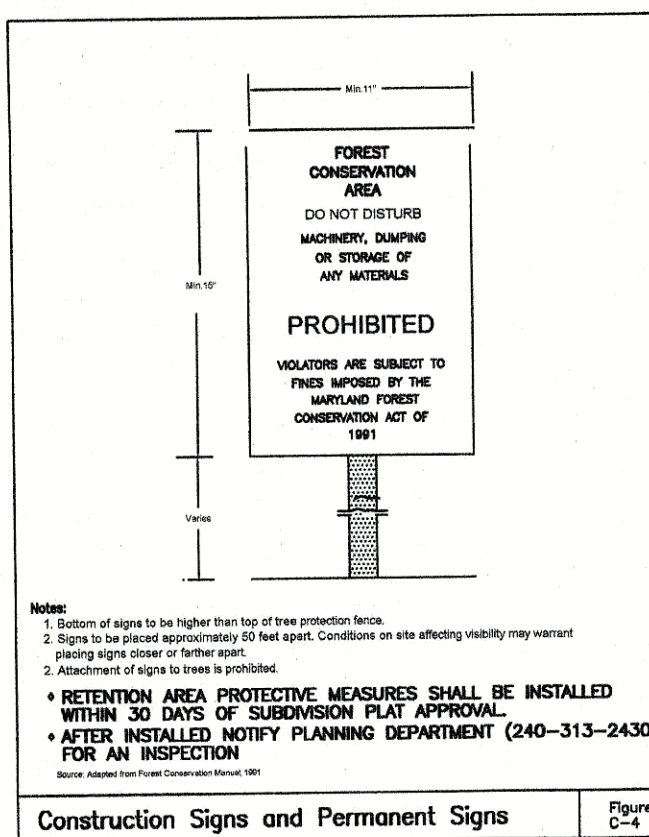
MISC PLAT NO \_\_\_\_\_  
DATE \_\_\_\_\_  
WASHINGTON COUNTY

Certificate of Approval  
FINAL APPROVAL GRANTED  
DATE: \_\_\_\_\_  
By: \_\_\_\_\_  
Washington County Planning Commission  
Final Approval good for one hundred  
eighty (180) days from above date

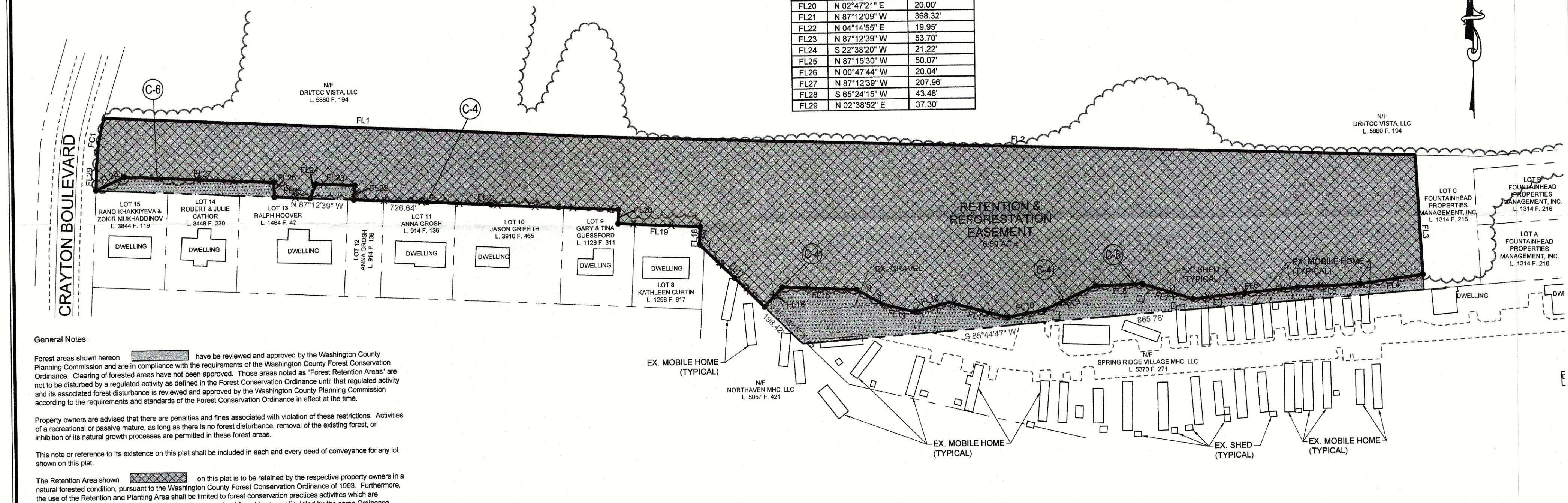
I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

*Sh St* 4-16-19  
Shannon Stotler Date

LINE	BEARING	DISTANCE
FL1	S 87°13'18" E	719.27'
FL2	S 88°02'44" E	1103.00'
FL3	S 03°04'00" E	166.51'
FL4	S 82°02'42" W	87.41'
FL5	S 87°39'54" W	87.59'
FL6	S 84°15'42" W	146.48'
FL7	N 72°52'20" W	72.78'
FL8	S 88°22'08" W	65.55'
FL9	S 65°18'32" W	78.26'
FL10	S 79°33'58" W	50.68'
FL11	N 75°15'15" W	85.78'
FL12	S 75°06'18" W	48.48'
FL13	N 76°31'42" W	45.61'
FL14	N 60°27'04" W	42.06'
FL15	N 87°20'00" W	103.35'
FL16	S 43°25'26" W	36.74'
FL17	N 45°46'16" W	124.65'
FL18	N 02°05'21" E	24.85'
FL19	N 87°02'39" W	113.94'
FL20	N 02°47'21" E	20.00'
FL21	N 87°12'09" W	368.32'
FL22	N 04°14'56" E	19.95'
FL23	N 87°12'39" W	53.70'
FL24	S 22°38'20" W	21.22'
FL25	N 87°15'30" W	50.07'
FL26	N 00°47'44" W	20.04'
FL27	N 87°12'39" W	207.96'
FL28	S 65°24'15" W	43.48'
FL29	N 02°38'52" E	37.30'



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
FC1	63.32'	256.06'	14°10'02"	N 09°43'54" E	63.15'



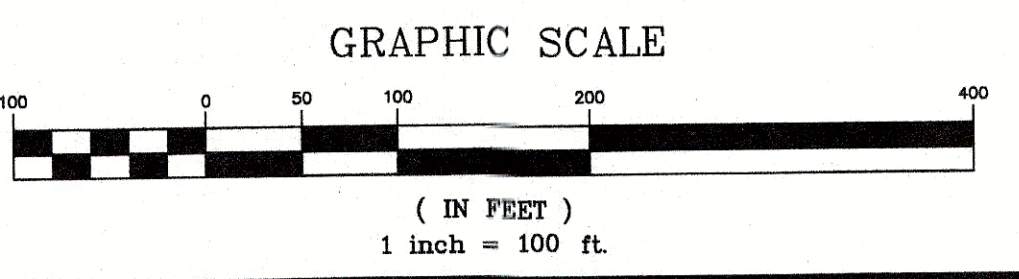
**General Notes:**  
Forest areas shown hereon [hatched] have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.  
Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.  
This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.  
The Retention Area shown [hatched] on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1963. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

- FOREST CONSERVATION SEQUENCE OF CONSTRUCTION**
- All temporary protection devices and/or permanent devices shall be put into place.
    - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
    - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
    - All temporary fencing shall be in place prior to any grading or land clearing.
    - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
    - Attachment of signs or any other objects to trees is prohibited.
    - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
  - A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
  - Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
  - A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

**RETENTION EASEMENT AREA WITH REFORESTATION TABULATION**  
**7.28 AC± EASEMENT AREA (PLAT 6507)**  
**0.78 AC± AREAS CLEARED**  
**6.50 AC± NEW EASEMENT AREA**  
**0.78 AC± REMAINING FOREST REQUIRED**  
**1.56 AC± 2:1 OFF-SITE FOREST OR 68,145.8 S.F.**

EXISTING CLEARED / DISTURBED FOREST TO BE RETAINED OFFSITE IN AN APPROVED OFF-SITE BANKING AREA (ANDREW MICHAEL FOREST BANKING) @ 2:1 RATIO FOR 34,072.9 S.F.

Owner:  
Fountainhead Properties Management, Inc.  
13716 Crayton Blvd.  
PO Box 1916  
Hagerstown, MD 21742



TAX MAP 24-11-1020 DISTRICT 27

DRAWING NUMBER 1 OF 1

DRAWN BY: DWH DATE: 4/15/2019

CHECKED BY: DATE:

SCALE: 1" = 100'

**FREDERICK SEIBERT & ASSOCIATES, INC.** ©2019  
 CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013  
 (301) 791-3650 (717) 597-1007 (717) 701-8111 FAX (301) 739-4956

JOB NUMBER: 1224

Preliminary/Final Forest Retention & Reforestation Easement Plat for  
**Fountainhead Properties Management, Inc.**  
 situate along the eastern side of Crayton Boulevard and west of Pennsylvania Avenue US Route 11  
 WASHINGTON COUNTY, MARYLAND



