



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING

April 1, 2019, 7:00 PM

WASHINGTON COUNTY ADMINISTRATIVE COMPLEX
100 WEST WASHINGTON STREET
2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

PUBLIC REZONING MEETING

1. **RZ-19-001** Alcohol Manufacturing Facilities Text Amendment – Proposed amendment to Articles 3.3, 11.3, 12.1, 14.1 and 28A of the Washington County Zoning Ordinance
2. **RZ-19-002** Text Amendment for Mineral Extraction – Proposed amendment to Articles 3, 4.14, 11, 12, 13, 14, 21A, 21B, and 21C of the Washington County Zoning Ordinance

NEW BUSINESS

MINUTES

1. March 4, 2019 Planning Commission regular meeting minutes *

SUBDIVISIONS

1. **Cascade Community Center, Lot 1 [S-19-006]** – Preliminary/final plat for Lot 1 of the Cascade Community Center located at 14421 Lake Royer Drive; Zoning: SED (Special Economic Development); Planner: Cody Shaw *

SITE PLANS

1. **Taco Bell [SP-18-024]** Site plan for a proposed Taco Bell to be located at 10319 Sharpsburg Pike; Zoning: HI (Highway Interchange); Planner: Lisa Kelly *
2. **Mennonite School [SP-19-006]** Site plan for a proposed private school to be located at 17003 Sakech Lane; Zoning: A(R) – Agricultural Rural; Planner: Lisa Kelly *

FOREST CONSERVATION

1. **Sam & Cassandra Billotti [FP-19-006; S-18-038]** Proposed three lot family subdivision on property located at 14515 Round House Farm Lane with offsite forest conservation plan and forest conservation easement plat; Planner: Travis Allen *

OTHER BUSINESS

1. **Rosewood Commons Shared Parking Request** – Planner: Cody Shaw *
2. **Update of Staff Approvals** – Ashley Holloway

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, May 6, 2019, 7:00 p.m., Washington County Planning Commission public rezoning meeting and regular meeting, Washington County Administrative Complex, 100 W. Washington Street, 2nd Floor, Public Meeting Room #2000, Hagerstown, Maryland

****a t t a c h m e n t s***

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.*



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-19-001

April 1, 2019

**WASHINGTON COUNTY ZONING ORDINANCE
STAFF REPORT AND ANALYSIS**

ARTICLES 3, 11, 12, 14, 28A

Proposal: Application is being made to amend several sections of the Zoning Ordinance to address uses associated with alcohol manufacturing facilities.

Staff Report: Alcohol manufacturing facilities are not a new land use to Washington County. However, the location and marketing of such uses continues to evolve. Historically, these types of uses were characterized as being similar to any other beverage manufacturing and/or bottling facility. But more recently the alcohol manufacturing industry has begun to evolve from just a manufacturing use into an interactive customer experience through educational demonstrations, facility tours, and sampling areas to promote their products. This evolution has created new opportunities for smaller businesses to create niche economies that provide unique experiences for consumers.

In 2012, the County took action to amend the Zoning Ordinance to include wineries and breweries as uses in various districts throughout the County. Since that time, legislation has been passed to provide opportunities for distillery manufacturing licenses. The purpose of these amendments is to update the ordinance to provide opportunities for distilleries in the same manner as other existing alcohol manufacturing facilities such as wineries and breweries.

Analysis: Currently, the County Zoning Ordinance provides direction on farm breweries and wineries as well as limited commercial breweries and wineries. This amendment seeks to build upon these uses and address new regulations approved by the State related to the licensing of these and other alcohol manufacturing facilities.

Several new manufacturing license types have been approved by the State over the last few legislative sessions. First, two new types of breweries, pub-breweries and micro-breweries have been included as types of manufacturing facilities. Both are considered limited commercial manufacturing and are primarily associated with complementing retail uses such as restaurants and retail liquor stores. To accommodate these uses in our Zoning Ordinance, the following amendments are proposed:

- Adding new definitions for limited commercial brewery (aka micro-brewery) and pub brewery;

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- Inclusion of limited commercial brewery (aka micro-brewery) and pub breweries as a special exception use in the Business, Local (BL);
- Inclusion of limited commercial brewery (aka micro-breweries) and pub brewery as permitted uses in the Business, General (BG) (and thereby also permitted in the Planned Business (PB) and Highway Interchange (HI) zoning districts) and Rural Business (RB) districts; and
- Deletion of commercial brewery as a special exception use in the AR, EC, P, and RV districts and replacing it with inclusion of limited commercial brewery (aka micro-breweries) as special exception uses in the rural area districts of Agriculture Rural (AR), Environmental Conservation (EC), Preservation (P), and Rural Village (RV);
- Deletion of commercial breweries as a permitted use in the RB district and replacing it with limited commercial breweries as a permitted use in the RB district;

The State has also added a new manufacturing license for distillery operations. Distillery licenses strictly limit the amount and distribution of the manufactured product. To accommodate these uses in our Zoning Ordinance, the following amendments are proposed:

- Adding a new definition for a limited commercial distillery;
- Adding a new definition of commercial distillery to better clarify the difference between uses;
- Adding a new definition for farm distillery;
- Inclusion of limited commercial distilleries as a special exception use in the BL District;
- Inclusion of limited commercial distilleries as a permitted use in the BG (and thereby also permitted in the PB and HI zoning districts) and RB districts;
- Inclusion of limited commercial distilleries as special exception uses in the rural area districts of AR, EC, P, and RV; and
- Inclusion of Farm Distillery as a permitted use in the rural area districts of AR, EC, P, and RV.

With regard to manufacturing licenses for winery operations, one new type of license has been approved by the State since the County amended its ordinance in 2012. Limited Commercial Wineries have been included into manufacturing license regulations and proposed to be amended into the Zoning Ordinance as follows:

- Adding a new definition for a limited commercial distillery;
- Adding a new definition of commercial distillery to better clarify the difference between uses;
- Deleting Commercial Wineries as a special exception use in the AR, EC, P, and RV districts and replacing it with limited commercial wineries as a special exception use in the AR, EC, P, and RV districts;
- Deleting Commercial Wineries as a permitted use in the RB district and replacing it with limited commercial wineries as a permitted use in the RB district;

- Inclusion of limited commercial wineries as a special exception use in the BL District;
- Inclusion of limited commercial wineries as a permitted use in the BG (and thereby also permitted in the PB and HI zoning districts);

Staff Recommendation: Based upon feedback and comments from other government agencies, developers, property owners, and the general public, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

Jill L. Baker
Deputy Director

RZ-19-001
 PROPOSED TEXT AMENDMENTS FOR PUBLIC HEARING
 BREWERIES, DISTILLERIES, AND WINERIES

(1) **ARTICLE 3 – DISTRICTS ESTABLISHED; ZONING MAPS, DISTRICT BOUNDARIES; LAND USE REGULATIONS (RURAL AREA USES)** is amended as follows:

Section 3.3 (1) Table of Land Use Regulations

A(R)-Agriculture (Rural)
 EC-Environmental Conservation
 P-Preservation
 RV-Rural Village RB-Rural Business IM-Industrial Mineral

Table No. 3.3(1)
 TABLE OF LAND USE REGULATIONS
 (RURAL AREA USES)

LAND USES	A(R)	EC	P	RV	RB	IM
K. Manufacturing						
Brewery, Farm with a valid Class 8 manufacturing license	P	P	P	P	P	N
Brewery, Limited Commercial (micro-brewery) with a valid Class 7 manufacturing license	SE	SE	SE	SE	P	N
Brewery, Pub with a valid Class 6 manufacturing license provided the pub is located within, or immediately adjacent to, the restaurant where the brewed beverage is to be sold to the public.	N	N	N	N	P	N
Distillery, Farm with a valid Class 1 or Class 9 manufacturing license	P	P	P	P	P	N
Distillery, Limited Commercial with a valid Class 1 or Class 9 manufacturing license	SE	SE	SE	SE	P	N
Wineries, Farm with a valid Class 4 manufacturing license	P	P	P	P	P	N
Wineries, Limited Commercial with a Class 4 manufacturing license	SE	SE	SE	SE	P	N

P-Permitted
 SE-Special Exception
 A-Accessory
 N-Not Permitted

(2) **ARTICLE 11 “BL” BUSINESS, LOCAL DISTRICT** is amended as follows:

Section 11.3 Special Exception Uses (Requiring Board Authorization After Public Hearing)

(d) Brewery, Limited Commercial with a valid Class 7 manufacturing license

(e) Brewery, Pub with a valid Class 6 manufacturing license provided the pub is located within, or immediately adjacent to, the restaurant where the brewed beverage is to be sold to the public.

(f) Distillery, Limited Commercial with a valid Class 9 manufacturing license

(g) Winery, Limited Commercial with a valid Class 4 manufacturing license

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(3) ARTICLE 12 "BG" BUSINESS, GENERAL DISTRICT is amended as follows:

Section 12.1 Principal Permitted Uses

(a) Retail trades, businesses and services, including but not limited to the following and any use permitted in the BL District, subject to the use regulations specified in that district.

Brewery, Limited Commercial with a valid Class 7 manufacturing license

Brewery, Pub with a valid Class 6 manufacturing license provided the public is located within, or immediately adjacent to, the restaurant where the brewed beverage is to be sold to the public.

Distillery, Limited Commercial with a valid Class 9 manufacturing license

Winery, Limited Commercial with a valid Class 4 manufacturing license

(4) ARTICLE 14 "IG" INDUSTRIAL, GENERAL DISTRICT is amended as follows:

Section 14.1 Principal Permitted Uses

(a) Uses of a general industrial nature, but not limited to the following:

Manufacture and bottling of alcoholic beverage, including commercial breweries, distilleries, and wineries.

(5) ARTICLE 28A DEFINITIONS is amended as follows:

Brewery:

An establishment with facilities for manufacturing, storage, and bottling of malt beverages for sale on-site or through wholesale or retail outlets. Breweries shall be further differentiated and defined as follows:

A. Commercial Brewery: An establishment authorized by the State of Maryland through a valid Class 5 manufacturing license. Such establishments may conduct tours of the licensed premises and have tasting areas not to exceed 25 percent of the area of the structures located on-site and being used for manufacturing and bottling.

B. Farm Brewery: An establishment authorized by the State of Maryland through a valid Class 8 manufacturing license. Such establishments shall be located on a farm that yields an agricultural product used in the manufacturing process, and which may have facilities for brewing, processing, bottling, packaging, and storage of beer and malt beverages on the premises where the owner or lessee manufactures beer. If the Farm Brewery produces beer on site, at a minimum, Farm Breweries must produce at least 2 acres of the agricultural products used in processing the beer on-site at the Farm Brewery. Accessory uses at the Farm Brewery may include tasting rooms at which beer tasting occurs, accessory food sales related to the beer tasting, sales of novelty and gift items related to the beer

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and processing facility, sales of beers produced on-site, occasional promotional events, and guided tours. The area for beer tasting, accessory food sales related to the beer tasting, and sales of novelty and gift items related to the beer and processing facility shall not exceed 25 percent of the area of the structures located at the farm and being used for the Farm Brewery. A Farm Brewery and its accessory uses shall be considered a bona fide and normal agricultural activity and an agricultural land management activity. A Zoning Permit and Site Plan approval is not required for a Farm Brewery that includes a tasting room, accessory food sales related to the beer tasting, sales of novelty and gift items related to the beer. Notwithstanding the foregoing, a Farm Brewery with a tasting room shall be required to file with the County Division of Plan Review and Permitting, evidence that the vehicular access to the Farm Brewery used by patrons satisfies the County sight distance requirements set forth in the County's "Policy for Determining Adequacy of Existing Highways" if such vehicular access is onto a County public road.

C. Limited Commercial Brewery (aka Micro-brewery) - An establishment authorized by the State of Maryland through a valid Class 7 manufacturing license. Such establishments may conduct tours of the licensed premises and have tasting areas. Other accessory uses may include accessory food sales related to the tasting and the sale of beers produced on site. The area for tasting, accessory food sales related to the tasting, and sales of beer produced on-site shall not exceed 25 percent of the area of the structures located on-site and being used for manufacturing and bottling.

D. Pub Brewery – An establishment authorized by the State of Maryland through a valid Class 6 manufacturing license. Such establishments are permitted with the express intent to service restaurants or other dining establishments. Therefore, the pub brewery must be located within, or immediately adjacent to the restaurant or other dining establishment where the brewed beverage is to be sold to the public.

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Distillery:

An establishment with facilities for distilling, rectifying, storage, and bottling of brandy, rum, whiskey, alcohol, and neutral spirits for sale on-site or through wholesale or retail outlets. Distilleries shall be further differentiated and defined as follows:

A. Commercial Distillery: An establishment authorized by the State of Maryland through a valid Class 1 or Class 2 Manufacturers License. Such establishments may conduct tours of the licensed premises and have tasting areas not to exceed 25 percent of the area of the structures located on-site and being used for manufacturing and bottling.

B. Farm Distillery: An establishment authorized by the State of Maryland through a valid Class 1 or Class 9 manufacturing license. Such establishments shall be located on a farm that yields an agricultural product used in the manufacturing process. These establishments may have facilities for distilling, rectifying, processing, bottling, packaging, and storage of brandy, rum, whiskey alcohol, and neutral spirits on the premises where the owner or lessee manufactures said products. If the Farm Distillery produces brandy, rum, whiskey, alcohol, or neutral

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spirits on the premises, the Farm Distillery must produce at least 2 acres of the agricultural products used in processing of said products on-site at the Farm Distillery. Accessory uses at the Farm Distillery may include tasting rooms at which brandy, rum, whiskey, alcohol, and neutral spirit tasting occurs, accessory food sales related to the product tasting, sales of novelty and gift items related to the products and the distillery, sales of brandy, rum, whiskey, alcohol, and neutral spirits produced on-site, occasional promotional events related to the products and the distillery, and guided tours. The area for product tasting, accessory food sales related to the product tasting, and sales of novelty and gift items related to the products and the distillery shall not exceed 25 percent of the area of the structures located at the farm and being used for the Farm Distillery. A Farm Distillery and its accessory uses shall be considered a bona fide and normal agricultural activity and an agricultural land management activity. A Zoning Permit and Site Plan approval is not required for a Farm Distillery that includes a tasting room, accessory food sales related to the product tasting, sales of novelty and gift items related to the products and the distillery, sales of brandy, rum, whiskey, alcohol, and neutral spirits produced on-site. Notwithstanding the foregoing, a Farm Distillery with a tasting room shall be required to file with the County Division of Plan Review and Permitting evidence that the vehicular access to the Farm Distillery used by patrons satisfies the County sight distance requirements set forth in the County's "Policy for Determining Adequacy of Existing Highways" if such vehicular access is onto a County public road.

C. Limited Commercial Distillery: An establishment authorized by the State of Maryland through a valid Class 1 or Class 9 manufacturing license. Such establishments may conduct tours of the licensed premises and have tasting areas. Other accessory uses may include accessory food sales related to the tasting and the sale of spirits produced on site. The area for tasting, accessory food sales related to the tasting, and sales of spirits produced on-site shall not exceed 25 percent of the area of the structures located on-site and being used for manufacturing and bottling.

Winery:

An establishment with facilities for manufacturing, storage, and bottling wine for sale on-site or through wholesale or retail outlets. Wineries shall be further differentiated and defined as follows:

A. Commercial Winery – An establishment authorized by the State of Maryland through a valid Class 3 manufacturing license. Such establishments may conduct tours of the licensed premises and have tasting areas not to exceed 25 percent of the structures located on-site and being used for manufacturing and bottling.

B. Farm Winery - An establishment authorized by the State of Maryland through a valid Class 4 manufacturing license. Such establishments shall be located on a farm that yields an agricultural product used in the manufacturing process, and which may have facilities for fermenting, processing, bottling, packaging, and storage of wine, sparkling wine and/or juice on the premises where the owner or lessee manufactures wine and/or sparkling wine. If the Farm Winery produces wine, sparkling wine and/or juice on the premises, the Farm Winery must produce at least 2 acres of the agricultural products used in processing the wine, sparkling wine and/or juice on-site at the Farm Winery. Accessory uses at the Farm Winery may include tasting rooms at which wine tasting occurs, accessory food sales

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related to the wine tasting, sales of novelty and gift items related to the wine and the vineyard, sales of wines produced on-site, occasional promotional events related to the wine and the vineyard, and guided tours. The area for wine tasting, accessory food sales related to the wine tasting, and sales of novelty and gift items related to the wine and the vineyard shall not exceed 25 percent of the area of the structures located at the farm and being used for the Farm Winery. A Farm Winery and its accessory uses shall be considered a bona fide and normal agricultural activity and an agricultural land management activity. A Zoning Permit and Site Plan approval is not required for a Farm Winery that includes a tasting room, accessory food sales related to the wine tasting, sales of novelty and gift items related to the wine and the vineyard, sales of wines produced on-site. Notwithstanding the foregoing, a Farm Winery with a tasting room shall be required to file with the County Division of Plan Review and Permitting evidence that the vehicular access to the Farm Winery used by patrons satisfies the County sight distance requirements set forth in the County's "Policy for Determining Adequacy of Existing Highways" if such vehicular access is onto a County public road.

C. Limited Commercial Winery – An establishment authorized by the State of Maryland through a valid Class 4 manufacturing license. Such establishments may conduct tours of the licensed premises and have tasting areas. Other accessory uses may include accessory food sales related to the tasting and the sale of spirits produced on site. The area for tasting, accessory food sales related to the tasting, and sales of spirits produced on-site shall not exceed 25 percent of the area of the structures located on-site and being used for manufacturing and bottling.



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RZ-19-002

March 5, 2019

WASHINGTON COUNTY ZONING ORDINANCE

STAFF REPORT AND ANALYSIS

ARTICLES 3, 4.14, 11, 12, 13, 14, 21A, 21B, 21C

Proposal: Application is being made to amend text in several sections of the Zoning Ordinance pertaining to the regulation of mineral extraction activities.

Staff Report Summary: It is every jurisdictions goal to provide a clearly defined ordinance that limits inconsistencies and interpretation. The purpose of this text amendment is to add language to various sections of the Zoning Ordinance that regulate the treatment of mineral resource extraction as a land use throughout the County. This language already exists in some sections of the Ordinance, but was unintentionally omitted from other corresponding Articles in prior text amendments.

Analysis:

The proposed amendment seeks to resolve an oversight in the regulation of mineral extractive operations throughout the County, particularly in the rural areas. Prior to the Rural Area Rezoning in 2005, mineral extractive operations were categorized in terms of their size and intensity. The classifications were defined as low, moderate, and high volume operations.

Low Volume Operations are defined as those *"in which the land area disturbed by mineral extraction is one acre or less and no temporary or permanent structures are involved."*

Moderate Volume Operations are those *"in which the land area devoted to mineral extraction and mineral processing is five acres or less and greater than one acre."*

High Volume Operations are those *"in which the land area devoted to mineral extractive operations is greater than five acres."*

When the Rural Area rezoning was adopted, the definitions of each classification remained in Article 28A. The zoning districts in which they were permitted also remained in descriptive form in Section 4.14. The uses were not, however, explicitly included in either the Table of Land Use Regulations (Article 3.3), or in the corresponding individual zoning districts where they allowed. Mineral extraction was specifically mentioned in the body of the Zoning Ordinance only as a permitted use the Industrial Mineral (IM) floating zone, and as a special exception in the Industrial General (IG) district after 2005.

Recent changes in Maryland Department of the Environment definition and licensing of smaller extractive operations has prompted the County to review its current handling of these uses in the Zoning Ordinance. **Article 15-807 of the Annotated Code of Maryland exempts surface mining**

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operations from needing a license if the affected land area is one acre or less. By the inclusion of these uses in the Table of Land Use Regulations for the Rural Area and their insertion as principal permitted uses into the individual commercial or industrial zoning districts where they are already allowed by Article 4.14, clarity can be provided for County permitting and State regulation of this type of land use.

Low volume mineral extraction is already allowed in all districts except RT, RS, RU, RM and RV under Section 4.14. Under the proposed amendment, low volume mineral extraction would be added to the A(R), EC, P, RB and IM districts in the Table of Land Uses for the Rural Area. Low volume mineral extraction would also be added as a principal permitted use in the BL, BG, IR, IG, ORT, ORI and ERT zoning districts. A grading plan shall be submitted to the County for approval containing the information required in Section 15.3A-H, showing the existing and proposed surface contours and provide for the property's revegetation.

Moderate volume operations are currently allowed under Article 4.14 as special exception uses in the A(R), EC, P and IG districts. The amendment would notate moderate volume mineral extraction a special exception in Table of Land Uses for these four districts. The text of the IG zoning district already permits moderate volume mineral extraction as a special exception. A grading plan meeting the same requirements as those outlined above for low volume operations shall be submitted to the County for approval. Moderate volume operations are also subject to the requirements of Sections 15.4, 15.5 and 25.6.

High volume operations will continue to be permitted only with the application of an IM overlay district whose standards are outlined in Article 15. New IM districts cannot be established within the adopted urban growth area, town growth areas or rural villages according to existing language in Article 15.

All volume classifications would be subject the performance standards in Section 4.12.

Staff Recommendation:

Based upon feedback from the general public and past regulatory history of this type of land use in the County, Staff recommends approval of these amendments. These changes will provide more consistent implementation of our land use policies and regulations pertaining to mineral extraction throughout the County, particularly in the Rural Area. From a constituent's perspective, owners of small mineral extraction operations will have less concern that they will be subject to State mining regulation in the course of pursuing this permitted land use. These owners will also be reassured that the application of an IM overlay zone; one which is intended only for high volume operations, is not a prerequisite to engage in low to moderate volume mineral extraction on their property.

Respectfully submitted,

Travis Allen
Comprehensive Planner

RZ-19-002
 PROPOSED TEXT AMENDMENTS FOR PUBLIC HEARING
 CLEAN-UP AMENDMENTS

(1) ARTICLE 3 – DISTRICTS ESTABLISHED; ZONING MAPS, DISTRICT BOUNDARIES; LAND USE REGULATIONS (RURAL AREA USES) is amended as follows:

Section 3.3 (1) Table of Land Use Regulations

A(R)-Agriculture (Rural)
 EC-Environmental Conservation
 P-Preservation
 RV-Rural Village RB-Rural Business IM-Industrial Mineral

Table No. 3.3(1)
 TABLE OF LAND USE REGULATIONS
 (RURAL AREA USES)

LAND USES	A(R)	EC	P	RV	RB	IM
L. Mining						
<u>Mineral extractive operations, Low volume; subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>
<u>Mineral extractive operations, Moderate volume; subject to the performance standards in Section 4.12 and the requirements of Sections 15.4, 15.5 and 25.6. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.</u>	<u>SE</u>	<u>SE</u>	<u>SE</u>	<u>N</u>	<u>P</u>	<u>N</u>
<u>Mineral extractive operations, High volume; subject to the performance standards in Section 4.12 and regulations in Article 15.</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>

P-Permitted
 SE-Special Exception
 A-Accessory
 N-Not Permitted

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(2) ARTICLE 4 – GENERAL PROVISIONS is amended as follows:

Section 4.14 Mineral Extraction

Low volume mineral extraction, as defined in Article 28A, shall be permitted in all districts except the RT, RS, RU, RM and RV districts. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

Deleted: Zoning approval for low volume operations shall not require the submission of grading plans and erosion and sediment control plans.

Moderate volume mineral extraction, as defined in Article 28A, shall be permitted in the RB. The use is also provided for in the A(R), EC, P and IG Districts as a special exception. The use is subject to the performance standards in Section 4.12 and the requirements of Sections 15.4, 15.5 and 25.6. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

High volume mineral extraction, as defined in Article 28A, may be permitted only in the "IM" District. The use is subject to the performance standards in Section 4.12 and regulations in Article 15.

Deleted: The expansion of an existing high volume mineral extraction operation in an IG District shall be subject to the requirements of Sections 15.4 and 15.5.

(3) ARTICLE 11 "BL" BUSINESS, LOCAL DISTRICT is amended as follows:

Section 11.1 Principal Permitted Uses

(l) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

(4) ARTICLE 12 "BG" BUSINESS, GENERAL DISTRICT is amended as follows:

Section 12.1 Principle Permitted Uses

(a) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

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(5) ARTICLE 13 "IR" INDUSTRIAL, RESTRICTED DISTRICT is amended as follows:

Section 13.1 Principle Permitted Uses

(i) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

(6) ARTICLE 14 "IG" INDUSTRIAL, GENERAL DISTRICT is amended as follows:

Section 14.1 Principle Permitted Uses

(i) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

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Section 14.2 Special Exception Uses (Requiring Board Authorization After Public Hearing)

(b) Moderate volume mineral extraction as defined in Article 28A. The use is subject to the performance standards in Section 4.12 and the requirements of Sections 15.4, 15.5 and 25.6. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

Deleted: <#>Moderate volume mineral extraction, mineral processing, mineral-related uses and mineral-based manufacturing, as defined in Article 28A, subject to the requirements of Sections 15.4, 15.5 and 25.6. Mineral processing shall be for minerals mined on the site. The Board of Appeals shall consider the effects of these mineral extraction and related uses on the public roadways in the area and may impose additional restrictions according to the guidelines contained at Section 15.3 (f-h)¶¶

(7) ARTICLE 21A “ORT” OFFICE, RESEARCH AND TECHNOLOGY DISTRICT is amended as follows:

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Section 21A.1 Principle Permitted Uses

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(q) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

(8) ARTICLE 21B “ORI” OFFICE, RESEARCH AND INDUSTRY is amended as follows:

Section 21B.1 Principle Permitted Uses

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(b) The following uses are also permitted in the “ORI” District:

4. Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.

(9) ARTICLE 21C “ERT” EDUCATION, RESEARCH AND TECHNOLOGY is amended as follows:

Section 21C.1 Principle Permitted Uses

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(f) Low volume mineral extraction operations as defined in Article 28A. The use is subject to the performance standards in Section 4.12. A grading plan containing the information required in section 15.3(a)-(h) showing the existing and proposed surface contours and providing for the revegetation of the property shall be submitted to the County for approval.



Washington County

M A R Y L A N D

DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: March 19, 2019

SUBJECT: Preliminary/Final Plat for Cascade Community Center – Lot 1 (S-19-006)

Attached you will find for your review a subdivision request to allow the creation of a lot without public road frontage. At the Planning Commission meeting on February 4, 2019, the Washington County Planning Commission approved a modification request to create a lot without public road frontage (OM-19-001). Since this plat is a commercial subdivision, it requires Planning Commission approval. The property is a 3.77 acre proposed parcel that has the existing community center located on it. The purpose of this plat is to create a standalone parcel for this property. The zoning for this site is SED (Special Economic Development).

The proposed subdivision was reviewed by Plan Review (Land Use & Engineering), Addressing, Forest Conservation, Soil Conservation, Maryland SHA, Water Quality, and the Health Department. At the time of this email, approvals have been obtained by Plan Review Engineering, Soil Conservation, and Maryland SHA.

Staff is requesting that the Planning Commission grant Staff the authority to approve this plat once all agency approvals have been obtained.

If you have comments regarding the proposed subdivision and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or cshaw@washco-md.net.

Cody L. Shaw
Chief of Plan Review

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

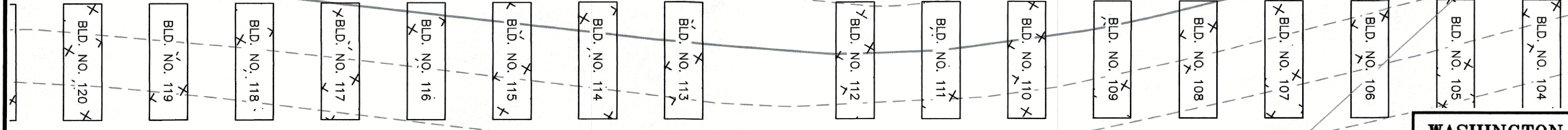
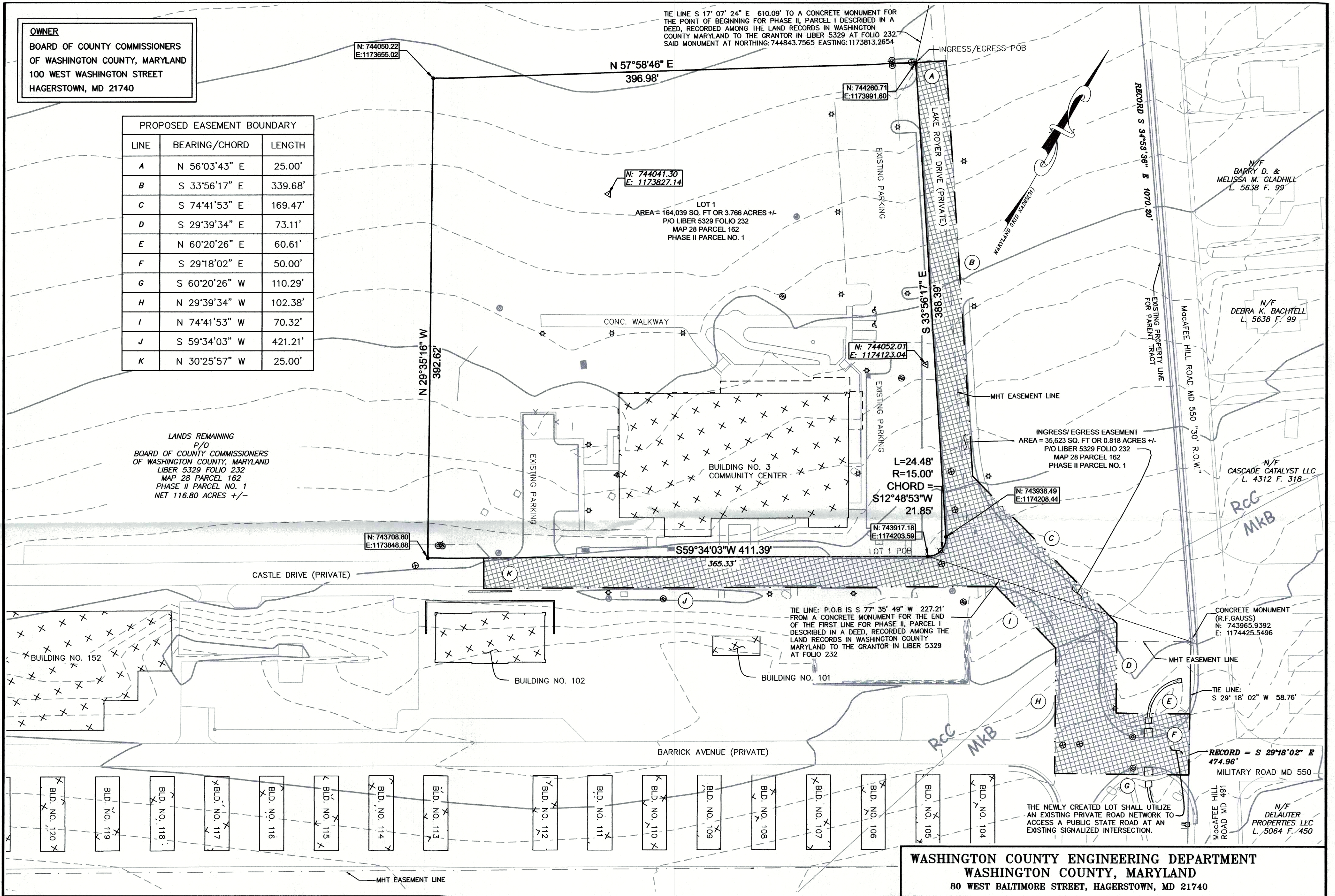
WWW.WASHCO-MD.NET

OWNER
 BOARD OF COUNTY COMMISSIONERS
 OF WASHINGTON COUNTY, MARYLAND
 100 WEST WASHINGTON STREET
 HAGERSTOWN, MD 21740

PROPOSED EASEMENT BOUNDARY		
LINE	BEARING/CHORD	LENGTH
A	N 56°03'43" E	25.00'
B	S 33°56'17" E	339.68'
C	S 74°41'53" E	169.47'
D	S 29°39'34" E	73.11'
E	N 60°20'26" E	60.61'
F	S 29°18'02" E	50.00'
G	S 60°20'26" W	110.29'
H	N 29°39'34" W	102.38'
I	N 74°41'53" W	70.32'
J	S 59°34'03" W	421.21'
K	N 30°25'57" W	25.00'

LANDS REMAINING
 P/O
 BOARD OF COUNTY COMMISSIONERS
 OF WASHINGTON COUNTY, MARYLAND
 LIBER 5329 FOLIO 232
 MAP 28 PARCEL 162
 PHASE II PARCEL NO. 1
 NET 116.80 ACRES +/-

TIE LINE S 17° 07' 24" E 610.09' TO A CONCRETE MONUMENT FOR THE POINT OF BEGINNING FOR PHASE II, PARCEL I DESCRIBED IN A DEED, RECORDED AMONG THE LAND RECORDS IN WASHINGTON COUNTY MARYLAND TO THE GRANTOR IN LIBER 5329 AT FOLIO 232. SAID MONUMENT AT NORTHING: 744843.7565 EASTING: 1173813.2654



WASHINGTON COUNTY ENGINEERING DEPARTMENT
 WASHINGTON COUNTY, MARYLAND
 80 WEST BALTIMORE STREET, HAGERSTOWN, MD 21740

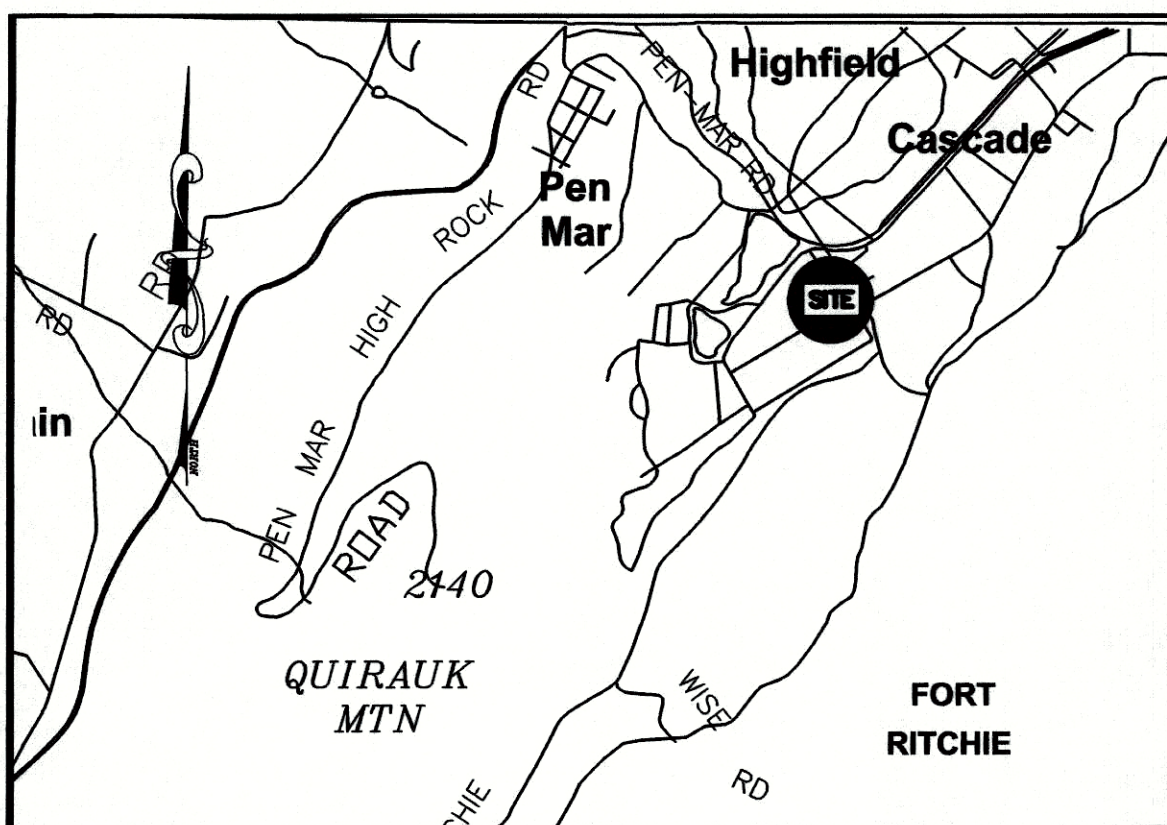
**PRELIMINARY/FINAL PLAT OF
 CASCADE COMMUNITY CENTER**



BEARINGS AND DISTANCES ARE REFERENCED TO MARYLAND STATE PLANE NAD 83(91) AND BASED ON G.P.S. STATION "VISTA" ESTABLISHED MAY 2003 AS PART OF THE WASHINGTON COUNTY SURVEY CONTROL NETWORK.
 NORTHING: 745505.7894
 EASTING: 1173269.2764
 ELEVATION: 1299.87
 SCALE FACTOR: 0.99999960

GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft

- SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊕ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊛ LIGHT POLE
- SEWER CLEANOUT
- PROPOSED PROPERTY CORNER
- EXISTING PROPERTY LINE
- FUTURE M.H.T. EASEMENT (IN PROGRESS)
- PROPOSED PROPERTY LINE
- ▨ INGRESS/EGRESS EASEMENT



SCALE 1" = 3000' +/-

SOIL TYPES:

RcC 100% OF SITE RAVENTROCK-ROHRERSVILLE COMPLEX,
3 TO 15 PERCENT SLOPES, EXTREMELY STONY

AREA TABULATION

WASHINGTON COUNTY BOARD OF COUNTY COMMISSIONERS	120.57 ACRES
"LOT 1"	3.77 ACRES
NET AREA LANDS REMAINING	=116.80 ACRES

GENERAL NOTES:

1. BEARINGS ARE BASED ON THE MD STATE PLATE COORDINATE SYSTEM (NAD83/91)
2. CONTOURS ARE FROM THE WASHINGTON COUNTY TOPO
3. ZONING = SED (SPECIAL ECONOMIC DISTRICT) MINIMUM BUILDING SETBACKS "NON RESIDENTIAL" NONE
4. BY INSPECTION OF FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL MAP 240070 0080 A, NO PORTION OF THESE PROPERTIES LIE WITHIN THE 100 YEAR FLOOD PLAIN. THE FLOOD INSURANCE DESIGNATION IS ZONE "C."
5. THERE ARE NO NATURAL STEEP SLOPES AND RELATED BUFFERS AS INDICATED HEREON.
6. THERE IS NO HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE US FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307, 307 AND 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE. THIS SUBDIVISION IS NOT WITHIN 1000' OF THE APPALACHIAN TRAIL, WITHIN THE UPPER BEAVER CREEK BASIN OR WITHIN THE WATERSHEDS OF THE EDGEMONT AND SMITHSBURG RESERVOIRS.
7. THIS PLAT IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE BY SECTION 3.2 B
8. THESE LOTS ARE SERVED BY A LOCAL WATER SYSTEM UNDER THE AUTHORITY OF WASHINGTON COUNTY PUBLIC WORKS
9. THESE LOTS ARE SERVED BY A LOCAL SEWAGE SYSTEM UNDER THE AUTHORITY OF WASHINGTON COUNTY PUBLIC WORKS
10. IN ADDITION TO THE EASEMENTS SHOWN, 10' ALONG THE FRONT AND 8' ALONG THE SIDE AND REAR OF EACH LOT IS RESERVED FOR UTILITY AND/OR DRAINAGE EASEMENTS
11. BY INSPECTION OF THE "NATIONAL WETLANDS INVENTORY MAP" FOR HAGERSTOWN, MD./VA., THIS SITE DOES NOT CONTAIN ANY WETLAND AREAS
12. THE TOTAL EXTENT OF THE WATERSHED WHICH DIRECTLY AFFECTS THIS SUBDIVISION IS LESS THAN 400 ACRES.
13. "LOT 1" WILL NOT HAVE ROAD FRONTAGE AS REQUIRED BY SECTION 318.2.B BUT SHALL HAVE ACCESS TO PUBLIC ROAD VIA AN INGRESS/EGRESS EASEMENT OVER AN EXISTING PRIVATE ROAD NETWORK
14. THE LOCATION OF THE HATCHED BUILDINGS HAVE BEEN VERIFIED BY SURVEY
14. OM-19-001, AN ORDINANCE MODIFICATION TO CREATE A LOT WITHOUT ROAD FRONTAGE WAS APPROVED AT THE REGULAR PLANNING COMMISSION MEETING ON FEBRUARY 4, 2019

CERTIFICATION OF ENTITIES OF OWNERSHIP AND DEDICATION

THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY, MARYLAND, HEREINAFTER CALLED "COUNTY," BY JEFFREY A. CLINE IT'S DULY AUTHORIZED PRESIDENT, DOES HEREBY CERTIFY THAT THE ENTITY IS THE LEGAL AND TRUE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAT AND THAT IT HEREBY ADOPTS THE PLAN OF SUBDIVISION SHOWN HEREON, HEREBY ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES SHOWN HEREON, HEREBY DEDICATES TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALLEY RIGHTS OF WAY, HEREBY AGREES TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN HEREON AND HEREBY AGREES THAT THE SAID DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE CITY OF HAGERSTOWN REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY THE CITY.

THIS ENTITY HEREBY RESERVES THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS OF WAY, OPEN SPACES AND RECREATIONAL AREAS. THIS ENTITY HEREBY AGREES TO CONVEY THE FEE SIMPLE TITLE FOR ALL PUBLIC RIGHTS OF WAY TO THE CITY, WITHOUT CONSIDERATION, UPON REQUEST.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUST, EASEMENTS OR RIGHTS OF WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:

AND ALL PARTIES HAVING AN INTEREST THEREIN HAVE HEREUNTO AFFIXED THEIR SIGNATURES, INCLUDING THEIR ASSENT TO THE PLAN OF SUBDIVISION.

THIS CERTIFICATION OF OWNERSHIP AND DEDICATION SHALL BE BINDING UPON THE ENTITY'S GRANTEEES, ASSIGNS, SUCCESSORS, HEIRS AND PERSONAL REPRESENTATIVES AND ALL PARTIES AND INTERESTS THEREUNTO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATED THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS _____ DAY OF _____, 2019

WITNESS: _____ OWNER _____ (SEAL)

OWNER
BOARD OF COUNTY COMMISSIONERS
OF WASHINGTON COUNTY, MARYLAND
100 WEST WASHINGTON STREET
HAGERSTOWN, MD 21740

CERTIFICATE OF APPROVAL

FINAL APPROVAL GRANTED

(DATE)

WASHINGTON COUNTY PLANNING COMMISSION

BY: _____

CERTIFICATION OF APPROVAL OF WATER AND SEWERAGE SYSTEM

I HEREBY CERTIFY THAT THE WATER SUPPLY AND SEWAGE DISPOSAL UTILITY SYSTEMS INSTALLED, OR PROPOSED FOR INSTALLATION, IN THE SUBDIVISION PLAT ENTITLED

FULLY MEET THE REQUIREMENTS OF THE MARYLAND HEALTH DEPARTMENT, AND ARE HEREBY APPROVED AS SHOWN.

_____, 2019
DATE

COUNTY HEALTH OFFICER OR
AUTHORIZED REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT THE PROPERTY LINES SHOWN HAVE BEEN ESTABLISHED BASED UPON THE LOCAL MONUMENTATION FOUND IN ACCORDANCE WITH A BOUNDARY SURVEY PERFORMED BY R.F. GAUSS & ASSOCIATES SHOWN ON WASHINGTON COUNTY MISCELLANEOUS PLATS 187&188. THE POSITION OF THE RECOVERED MONUMENTS SHOWN HEREON ARE BASED ON THE RESULTS OF A SURVEY PERFORMED ON APRIL 27, 2017 BY WASHINGTON COUNTY ENGINEERING STAFF.

FOR THE WASHINGTON COUNTY DIVISION OF ENGINEERING DATE
ALEX MICHAEL SHIFLER - PROFESSIONAL LAND SURVEYOR,
MD REG. NO. 21737 (EXPIRATION/RENEWAL, DECEMBER 23, 2019)

WASHINGTON COUNTY ENGINEERING DEPARTMENT
WASHINGTON COUNTY, MARYLAND
80 WEST BALTIMORE STREET, HAGERSTOWN, MD 21740

PRELIMINARY/FINAL PLAT OF
CASCADE COMMUNITY CENTER



SITE PLAN FOR TACO BELL

PRESENTED FOR REVIEW IS A SITE PLAN FOR TACO BELL. THE SITE IS ON LOT 3 OF THE SHOPS OF SHARPSBURG PRELIMINARY PLAT WHICH WAS APPROVED BY THE PLANNING COMMISSION IN MAY 2018. THE FINAL PLAT FOR THIS LOT WAS APPROVED BY STAFF IN 2018 AS WELL.

THE SITE IS LOCATED ALONG THE EAST SIDE OF THE SHARPSBURG PIKE. THE PREVIOUSLY APPROVED DUNKIN DONUTS IS LOCATED ALONG ITS EAST SIDE. ZONING IS HIGHWAY INTERCHANGE.

THE DEVELOPER IS PROPOSING TO CONSTRUCT A 2,430 SQUARE FOOT RESTAURANT WITH DRIVE-THRU.

ONE ACCESS WILL CONNECT THE SITE FROM AN INTERIOR STREET BUILT BY THE LAND DEVELOPERS. A RIGHT IN ONLY FROM THE SHARPSBURG PIKE WILL ALSO AID CUSTOMERS IN ACCESSING THE SITE.

THE SITE IS TO BE SERVED BY PUBLIC WATER AND SEWER.

HOURS OF OPERATION ARE 7:00 AM TO 2 AM SEVEN DAYS A WEEK.

THERE WILL BE AN AVERAGE OF 6-7 EMPLOYEES PER SHIFT.

THERE WILL BE 2 DELIVERIES PER WEEK WHEN THE RESTAURANT IS CLOSED.

PARKING SPACE – 32 SPACES ARE REQUIRED AND 44 SPACES WILL BE PROVIDED.

THERE WILL BE A PROPOSED PYLON SIGN LOCATED ADJACENT TO SHARPSBURG PIKE. THERE WILL ALSO BE BUILDING MOUNTED SIGNS.

LIGHTING WILL BE POLE MOUNTED AND BUILDING MOUNTED.

LANDSCAPING WILL BE IN FRONT AND REAR OF THE BUILDING, THROUGHOUT PARKING LOT, AND AROUND THE PERIMETER OF THE PARKING AND DRIVE-THRU AREA. IT WILL INCLUDE A VARIETY OF TREES, SHRUBS, AND GROUND COVER.

FORESTATION REQUIREMENTS FOR THIS SITE WERE ADDRESSED WHEN THE PRELIMINARY PLAT FOR THE SHOPS AT SHARPSBURG PIKE WAS APPROVED. A PAYMENT IN LIEU FOR ALL THREE LOTS WAS PAID IN THE AMOUNT OF \$94,163.11.



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Sharpsburg Pike Taco Bell
NUMBER.....: SP-18-024
OWNER.....: SHARPSBURG PIKE HOLDING LLC
LOCATION.....: East side of the Sharpsburg Pike
DESCRIPTION.....: Site plan for proposed Taco Bell
ZONING.....: Highway Interchange
COMP PLAN LU.....: High Density Residential
PARCEL.....: 10020174
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10
TYPE.....: Commercial
GROSS ACRES.....: 1.04
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre
PLANNER.....: Lisa A Kelly
ENGINEER.....: BLAKEWAY CORPORATION
RECEIVED.....: June 13, 2018

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: I521
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



Washington County
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
1.04		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	N/A	Dumpster
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
N/A	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
44		
Parking Spaces - Minimum Required	Recreational Parking Provided	
32	No	

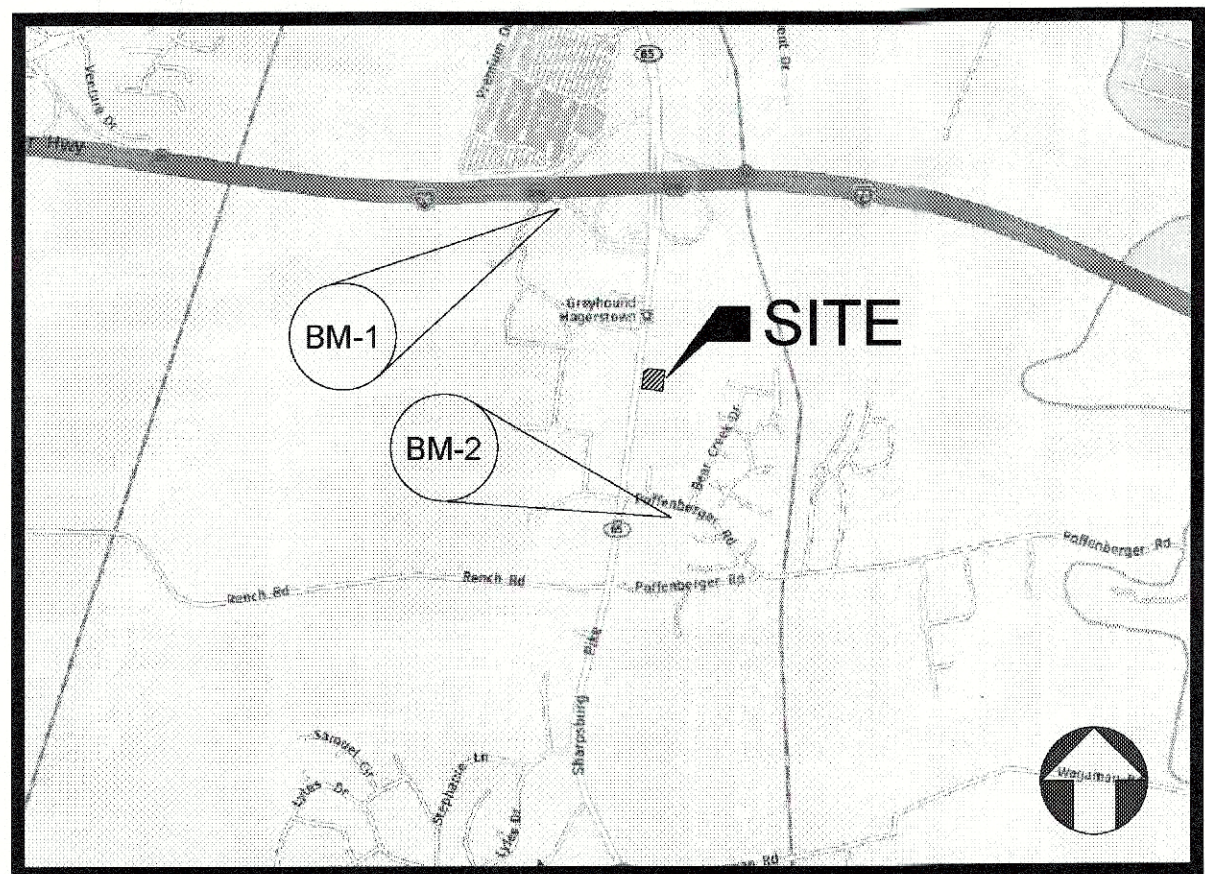
ACCESS SPACING VARIANCE NEEDED: No

	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	FUNKSTOWN
AMBULANCE DISTRICT.....:	HAGERSTOWN

	<i>WATER & SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

SITE PLAN AND SITE SPECIFIC GRADING for Sharpsburg Pike Taco Bell The Shops at Sharpsburg Pike, Lot 3 10425 Sharpsburg Pike Hagerstown, MD



VICINITY MAP
SCALE: 1" = 2,000'
ADC MAP 22 - GRID A8

WASHINGTON COUNTY SURVEY CONTROL

BENCHMARK	NAME	NORTHING	EASTING	ELEVATION
BM-1	MSP 2	706731.06	1105873.08	532.48
BM-2	X 146	703528.57	1107082.64	527.62

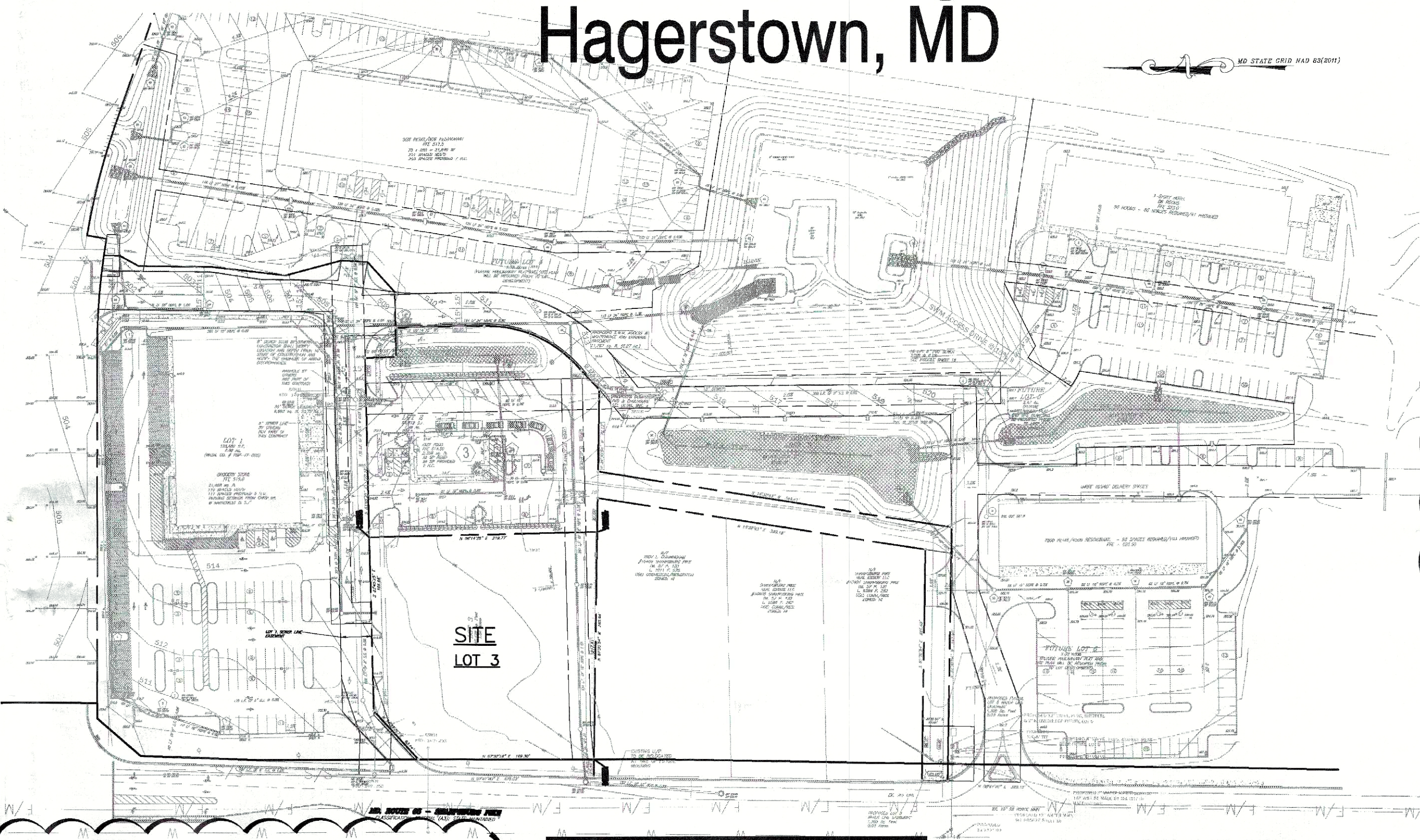
* NAD 83 MD STATE PLANE COORDINATES CONVERTED FROM LATITUDE AND LONGITUDE

AGENCY & UTILITY CONTACTS

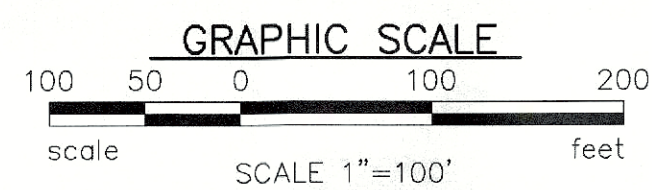
COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION	ED NORMAN	(240) 313-2400
CITY UTILITIES DEPT. WATER & SEWER DIV.	RICK USARY	(301) 739-8577 X 653
POTOMAC EDISON	RICK USARY	(301) 582-5271
WASH. CO. SCD	DENISE PRICE	(301) 797-6821 X 3
ANTIETAM CABLE	KEN BUCKLER	(301) 797-1835
VERIZON	JULIE LUDWIG	(301) 790-7135
COLUMBIA GAS	VONDA GRIFFIN	(800) 440-6111

SHEET INDEX

SHEET	DESCRIPTION
CV-1.0	COVER SHEET AND SHEET INDEX
CX-2.0	EXISTING CONDITIONS
CES-3.0	DEMO AND E&S CONTROL PLAN
CES-3.1	E&S DETAILS & NOTES
CL-4.0	SITE PLAN
CU-5.0	UTILITY PLAN
CG-6.0	GRADING PLAN
CG-6.1	DRAINAGE AREA PLAN
LT-7.0	LIGHTING PLAN
LA-8.0	LANDSCAPE PLAN
LA-8.1	LANDSCAPE DETAILS
CDT-9.0	MISCELLANEOUS DETAILS
CDT-9.1	MISCELLANEOUS DETAILS
CDT-9.2	MISCELLANEOUS DETAILS



SITE PLAN # SP-18-024



SITE INFORMATION

OWNER: RESTAURANT PROPERTY INVESTORS II, L.L.C.
2242 WEST GREAT NECK RD.
VIRGINIA BEACH, VA 23451
CONTACT: MR. WILL ELLIS
PHONE: 757-412-0112

DEVELOPER: RESTAURANT PROPERTY INVESTORS II, L.L.C.
2242 WEST GREAT NECK RD.
VIRGINIA BEACH, VA 23451
CONTACT: MR. WILL ELLIS
PHONE: 757-412-0112

DESIGNER: BLAKEWAY CORPORATION
630 N. WITCHDUCK RD.
VIRGINIA BEACH, VIRGINIA 23462
CONTACT: MR. GARY FRANKS
PHONE: 757.226.0081 FAX: 757.226.8765

LOCATION: PROPOSED LOT 3, THE SHOPS AT SHARPSBURG PIKE AND IS THE LANDS OF SHARPSBURG PIKE HOLDING LLC AS RECORDED IN LIBER 4439 AT FOLIO 12763 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND

CURRENT ZONING: HI, HIGHWAY INTERCHANGE

TAX MAP ID #: 0057 0010 0160

ELECTION DISTRICT: 2A

ZONING CASE #: AP2016-023
AP2016-023

HRS OF OPERATION: 7AM - 2AM

EMPLOYEES/SHIFT: 6-7 (AVG.)

ADJACENT ZONING: NORTH HI, SOUTH HI, EAST HI, WEST RIGHT-OF-WAY (SHARPSBURG PIKE), HI

EXISTING LAND USE: THE AFFECTED PROPERTY CURRENTLY UNDEVELOPED

PROPOSED LAND USE: THE SITE IS PROPOSED AS A TACO BELL RESTAURANT WITH DRIVE-THRU AND ASPHALT PARKING LOT

SOIL TYPE: STRATUM I - FILL MATERIALS
STRATUM II - SOFT TO VERY STIF CLAY AND SILT (CL, CH, CL/CH, CL/ML, ML/CL) WITH LOOSE TO MEDIUM DENSE GRAVEL (GP-GC AND GC), MOIST STRATUM III - DECOMPOSED ROCK MATERIAL THAT EXHIBIT ROCK LIKE QUALITIES. PORTIONS OF THE DECOMPOSED ROCK WILL REQUIRE ROCK EXCAVATION METHODS FOR REMOVAL.

FLOOD INFORMATION: THE PROPERTY IS LOCATED IN ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, WASHINGTON COUNTY, MARYLAND AND (UNINCORPORATED AREAS), PANEL 90 OF 225", MAP NUMBER 240070 0090 B, MAP EFFECTIVE DATE SEPTEMBER 30, 1992.

PARCEL AREA: 45,428 SQ. FT. OR 1.04 ACRES ±
DISTURBED AREA (ON-SITE): 45,428 SQ. FT. OR 1.04 ACRES ±

TYPICAL DELIVERY TIMES: 2 DELIVERIES PER WEEK, WHEN THE STORE IS CLOSED

ESD TABLE: ESDv APPROVED MASTERPLAN = 5,734 CF REQUIRED = 4,363 CF
W3 POLLUTANT REMOVAL APPROVED MASTERPLAN = 1.26 LBS/YR REQUIRED = 1.00 LBS/YR

PARKING LOT IMP. AREA: 17,775 SF
PARKING LOT GREEN AREA: REQUIRED = 889 SF (5% OF IMP. AREA) PROVIDED = 1,167 SF

SITE TABULATIONS

ON-SITE STORMWATER MASTER PLANNED CONDITIONS:			PROPOSED CONDITIONS:		
ITEM:	AREA (SQ. FT.)	% USE	ITEM:	AREA (SQ. FT.)	% USE
IMPERVIOUS BUILDING	2,356	5.2%	IMPERVIOUS BUILDING	2,430	5.4%
PAVEMENT	28,397	62.5%	PAVEMENT	17,775	39.1%
CONCRETE	1,575	3.5%	CONCRETE	6,157	13.5%
SUB-TOTAL	32,328	71.2%	SUB-TOTAL	26,362 SQ.FT.	58.0%
PERVIOUS OPEN SPACE	13,100	28.8%	PERVIOUS OPEN SPACE	19,066	42.0%
TOTAL	45,428 SQ.FT.	100.0%	TOTAL	45,428 SQ.FT.	100.0%

PROPOSED WATER DEMAND:
PER AWWA WATER METER SIZING CALCULATIONS, THE TOTAL FIXTURE VALUE FOR THE PROPOSED BUILDING IS 52.5. THIS EQUATES TO A PEAK FLOW RATE OF 44 GPM.
SANITARY SEWER DEMAND PER MD DESIGN GUIDELINES FOR WASTEWATER FACILITIES:
50 SEATS x 25 GPD/SEAT = 1,250 G.P.D.

SWM NARRATIVE

THE PROPOSED DEVELOPMENT HAS BEEN MASTER-PLANNED AS PART OF THE SHOPS AT SHARPSBURG PIKE DEVELOPMENT. BASED ON THE STORM WATER CALCULATIONS PROVIDED BY FOX & ASSOCIATES AT THE TIME OF THIS SUBMITTAL, LOT 3 WAS ASSUMED TO HAVE A TOTAL OF 32,328SF(71.2%) OF IMPERVIOUS AREA PRODUCING A PEAK FLOW OF 5.56CFS DURING THE 10-YR STORM.

THE PROPOSED DESIGN WILL RESULT IN 26,362SF OF IMPERVIOUS COVERAGE RESULTING IN A PEAK FLOW OF 4.80CFS DURING THE 10-YR STORM. THIS REDUCTION IN IMPERVIOUS AREA WILL ALSO RESULT IN A REDUCTION IN THE TOTAL POLLUTANT REMOVAL REQUIRED FOR THE MASTER-PLANNED DEVELOPMENT. ACCORDING TO THE MARYLAND ESD CALCULATIONS, THE MASTER PLANNED IMPERVIOUS COVERAGE WOULD HAVE RESULTED IN A REQUIRED PHOSPHOROUS REMOVAL OF 1.09LBS/YR WHILE THE PROPOSED DEVELOPMENT WILL ONLY REQUIRE 1.00LBS/YR. DUE TO HIS REDUCTION NO ADDITIONAL ON-SITE WATER QUALITY TREATMENT IS PROPOSED.

WASHINGTON COUNTY GENERAL NOTES:

- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- THERE IS A 10' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL FRONT LOT LINES AND AN 8' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL SIDE AND REAR LOT LINES HEREBY RESERVED UNLESS OTHERWISE SHOWN HEREON.
- A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY PERMIT OR ENTRANCE PERMIT.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A "NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY MDE.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- IN CONFORMANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- THE WASHINGTON COUNTY PLANNING COMMISSION, AT ITS MAY 7, 2018 MEETING, GRANTED A MODIFICATION ALLOWING LOT 3 TO BE CREATED WITHOUT USABLE PUBLIC ROAD FRONTAGE.
- A PRELIMINARY PLAT FOR LOT 3 WAS APPROVED BY THE PLANNING COMMISSION ON MAY 29, 2018 UNDER PSP-17-004 SUBJECT TO CONSTRUCTION REQUIREMENTS FOR THIS SITE AND THE REMAINDER WILL BE MET BY THE PAYMENT OF A FEE TO BE DETERMINED IN THE AMOUNT OF \$94,163.11.

THIS SITE PLAN REQUIRES ACCESS PROVIDED BY THE EXTENSION OF COLONIAL H. K. DOUGLAS DRIVE. THIS PROPOSED ROAD SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE USE AND OCCUPANCY PERMIT

THIS SITE PLAN REQUIRES STORM WATER MANAGEMENT STRUCTURES TO BE CONSTRUCTED AS SHOWN ON PLAN PSP-17-004. THESE IMPROVEMENTS SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE USE & OCCUPANCY PERMIT.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
THIS APPROVAL IS FOR THE GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTION'S FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

By: _____ DATE: _____

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

By: _____ DATE: _____

WASHINGTON CO. SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

By: _____ DATE: _____

DISTURBED AREA QUANTITIES
THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 1.04 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 830 CUBIC YARDS OF EXCAVATION AND 1,660 CUBIC YARDS OF FILL.

ENGINEER CERTIFICATION - EROSION CONTROL
I HEREBY CERTIFY THAT THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

02-15-2019 STEPHEN M. BLEVINS
DATE PRINTED NAME SIGNATURE

ENGINEER PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

02-15-2019 STEPHEN M. BLEVINS
DATE PRINTED NAME SIGNATURE

OWNER/DEVELOPER CERTIFICATION - WDCSD
I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVAL TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

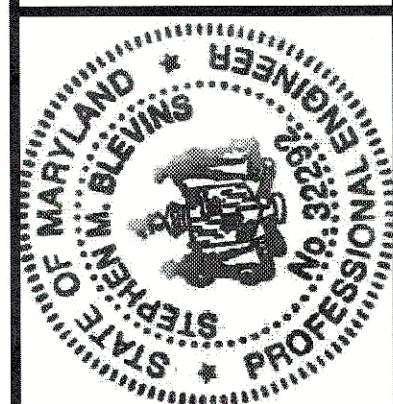
02-15-2019 STEPHEN M. BLEVINS
DATE PRINTED NAME SIGNATURE

OWNER/DEVELOPER CERTIFICATION - WASHINGTON CO.
I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

DATE PRINTED NAME SIGNATURE
PHONE ADDRESS SIGNATURE

APPROVED: WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

SIGNATURE DATE



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MAR 12 2019 WASHINGTON COUNTY

DATE ISSUED	REVISION PER COUNTY COMMENTS	REVISION PER WDCSD COMMENTS	REVISION PER COMMENTS	DATE	DESCRIPTION
06/08/18					

DRAWN BY: GAF
REVIEWED BY: SMB
DESIGNED BY: GAF
SITE PLAN # SP-18-024

SHARPSBURG PIKE TACO BELL

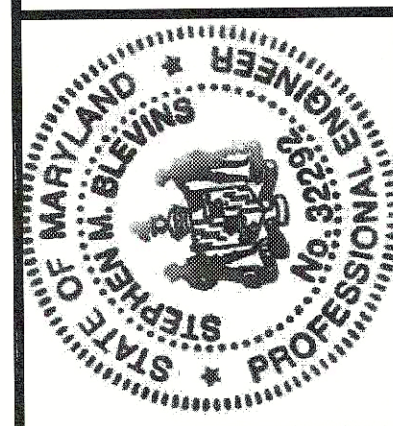
COVER SHEET AND INDEX

10425 Sharpsburg Pike
Washington County, MD

HI

CV-1.0
COVER

FILE NAME: C:\Users\gfranke\appdata\local\temp\AsP\Public\..._2612\1-CV-1.0_Cover.dwg LAYOUT NAME: COVER SHEET PLOTTED: Tuesday, March 05, 2019 - 11:32am



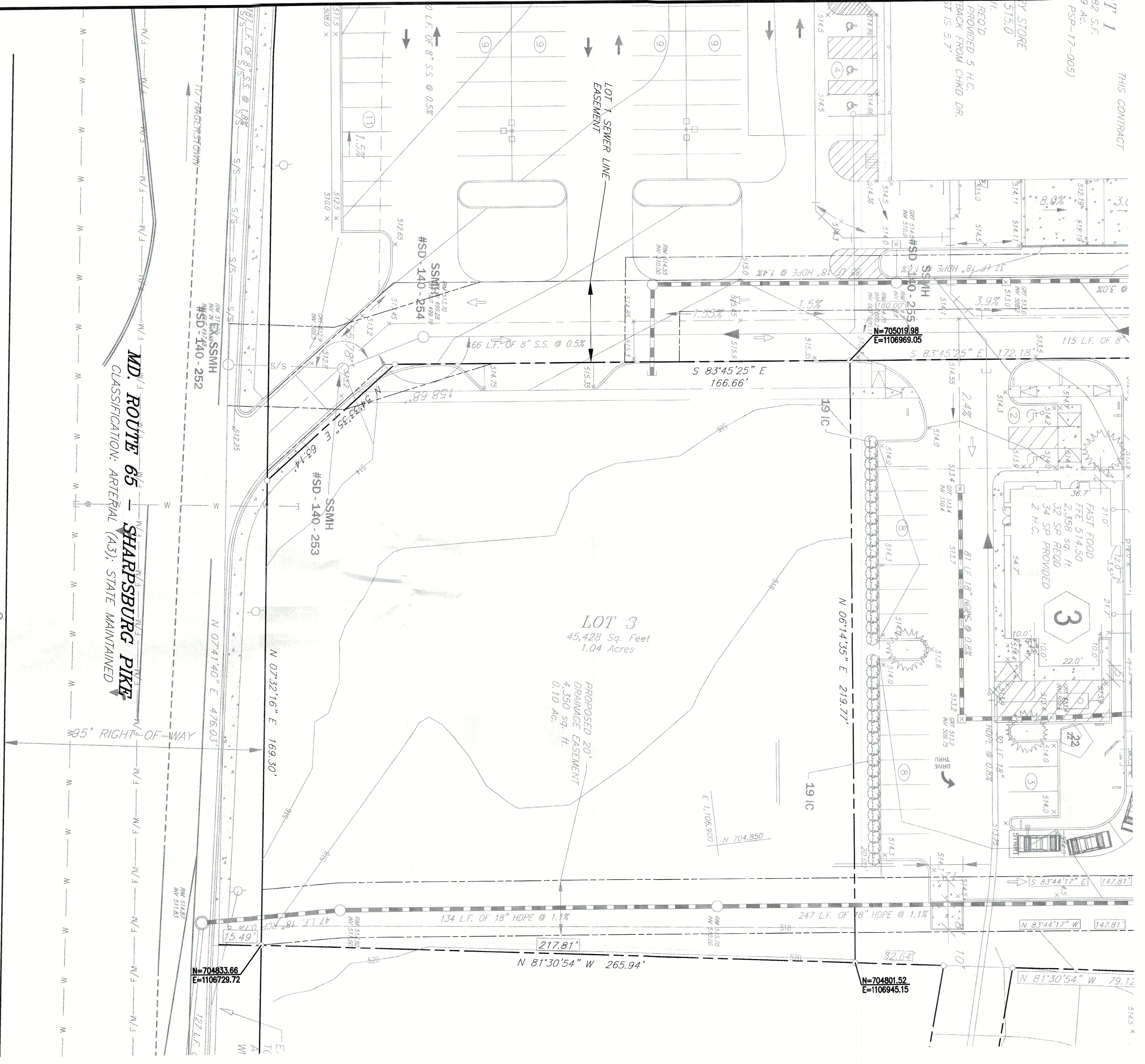
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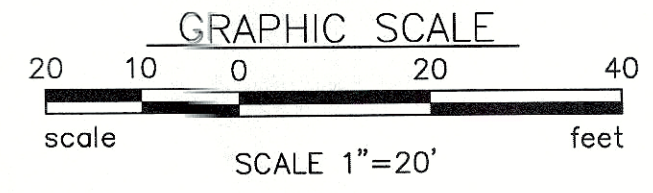
SHARPSBURG PIKE

SHARPSBURG PIKE

FILE NAME: P:\6009-BurgerBusters\6009.01-Hogestrom\Cad\2-CX-2.0 Existing Conditions.dwg LAYOUT NAME: COVER SHEET PLOTTED: Tuesday, March 05, 2019 - 11:32am



NOTE: THE SOILS ON THIS SITE HAVE BEEN IDENTIFIED AS BEING "KARST LANDSCAPE SOILS". CONTRACTOR SHOULD BE ALERT TO THE POTENTIAL FOR SINKHOLES.

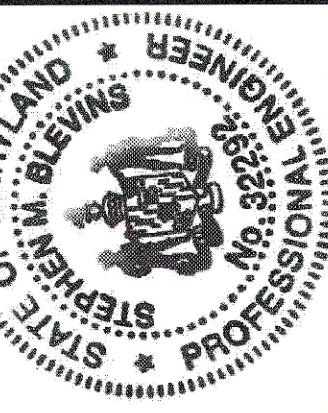


DATE ISSUED	REVISION PER COUNTY COMMENTS	DATE	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WSCD COMMENTS		
02/13/2019	REVISED PER WSCD COMMENTS		

DATE ISSUED	06/08/18
DRAWN BY	GAF
REVIEWED BY	SMB
DESIGNED BY	GAF
SITE PLAN #	SP-18-024

LOCATION	SHARPSBURG PIKE TACO BELL
SHEET TITLE	EXISTING CONDITIONS
ZONING	HI

CX-2.0



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DATE ISSUED	REVISION	REVISION PER COUNTY COMMENTS	REVISION PER WCCSD COMMENTS	REVISION PER WCCSD COMMENTS	DATE	DESCRIPTION
06/08/18	1					
07/13/2018	2					
07/13/2018	3					
07/13/2018	4					
07/13/2018	5					
07/13/2018	6					
07/13/2018	7					
07/13/2018	8					
07/13/2018	9					
07/13/2018	10					
07/13/2018	11					
07/13/2018	12					
07/13/2018	13					

LOCATION: SHARPSBURG PIKE TACO BELL

SHEET TITLE: DEMO & E&S CONTROL PLAN

DESIGNED BY: GAF

DRAWN BY: GAF

REVIEWED BY: SMB

DATE: 06/08/18

SCALE: 1"=20'

GRAPHIC SCALE

20 10 0 20 40
scale SCALE 1"=20' feet

CONSTRUCTION SEQUENCING:

- FOR SPECIFIC EROSION AND SEDIMENT CONTROL MEASURES REFER TO TECHNICAL SPECIFICATIONS.
- CONTRACTOR SHALL ACQUIRE NECESSARY PERMITS FROM THE COUNTY.
 - CONTRACTOR SHALL NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 (EXT. 3) AND THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS AT 240-313-2257 AT LEAST (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) PER E&S PLAN.
 - INSTALL ALL PERIMETER SEDIMENT CONTROLS INCLUDING, SILT FENCE, INLET PROTECTION, AND TREE PROTECTION PER E&S PLAN.
 - TEMPORARILY SEED AND MULCH ALL TOPSOIL STOCKPILES IN ACCORDANCE WITH THE SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES AND SUMMARIES.
 - INSTALL PROPOSED UNDERGROUND UTILITIES AND STORMWATER IMPROVEMENTS.
 - CONSTRUCT PROPOSED BUILDING, CURB, SIDEWALK, AND PAVEMENT. COMPLETE SITE GRADING.
 - PERFORM PERMANENT SEEDING AND MULCHING IN ACCORDANCE WITH THE SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES AND SUMMARIES.
 - CONTRACTOR SHALL NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 (EXT. 3) AND THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS AT 240-313-2257 AT LEAST (5) DAYS PRIOR TO THE REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW MEETING (VEGETATION MUST BE 95% OVERALL STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL PRIOR TO SCHEDULING SAID MEETING.)
 - AFTER AREA IS STABILIZED, REMOVE SEDIMENT FROM INLET PROTECTION DEVICES AND SEDIMENT TRAP.
 - CLEAN STORM DRAINAGE PIPES.
 - REMOVE REMAINING CONSTRUCTION EQUIPMENT, TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AND DEBRIS FROM SITE WITH THE APPROVAL BY THE COUNTY.
 - STABILIZE AREAS OF SOIL EROSION AND SEDIMENT CONTROL REMOVAL.

SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES

- ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSIONS AND SEDIMENT CONTROL", SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSIONS AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITHIN THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION (AS APPLICABLE).
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSIONS AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL CLOSEOUT REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

- FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:
- MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, NPDES PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 146P, OR AN INDIVIDUAL PERMIT.
 - THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/ INDIVIDUAL PERMIT - NOTICE OF INTENT -NOI) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
 - DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) SHALL BE INSPECTED AND RECORDED ON THE "SPECIAL INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - NOI).
 - FOLLOWING CONSTRUCTION AND RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE AUTHORIZED PERMITTEE SHALL SUBMIT THE HE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - NOT).

STANDARD UTILITY NOTES:

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH ON IMPERVIOUS SURFACE THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY.
- CONTRACTOR TO PLACE EXCAVATED MATERIAL IN A DUMP TRUCK AND HAUL TO A SITE WITH AN APPROVED CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.
- IN AREAS WHERE THE CONSTRUCTION TAKES PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE/FILTER LOG PRACTICES ALONG THE DOWNHILL SIDE OF THE TRENCH (AS APPLICABLE) BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
- CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
- CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.

EROSION CONTROL LEGEND:

- (SCE) STABILIZED CONSTRUCTION ENTRANCE
- (CIP) CURB INLET PROTECTION
- (SIP) STANDARD INLET PROTECTION
- SF- SILT FENCE
- (SSMS) TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION
- (SSMS) PERMANENT SOIL STABILIZATION MATTING SLOPE APPLICATION

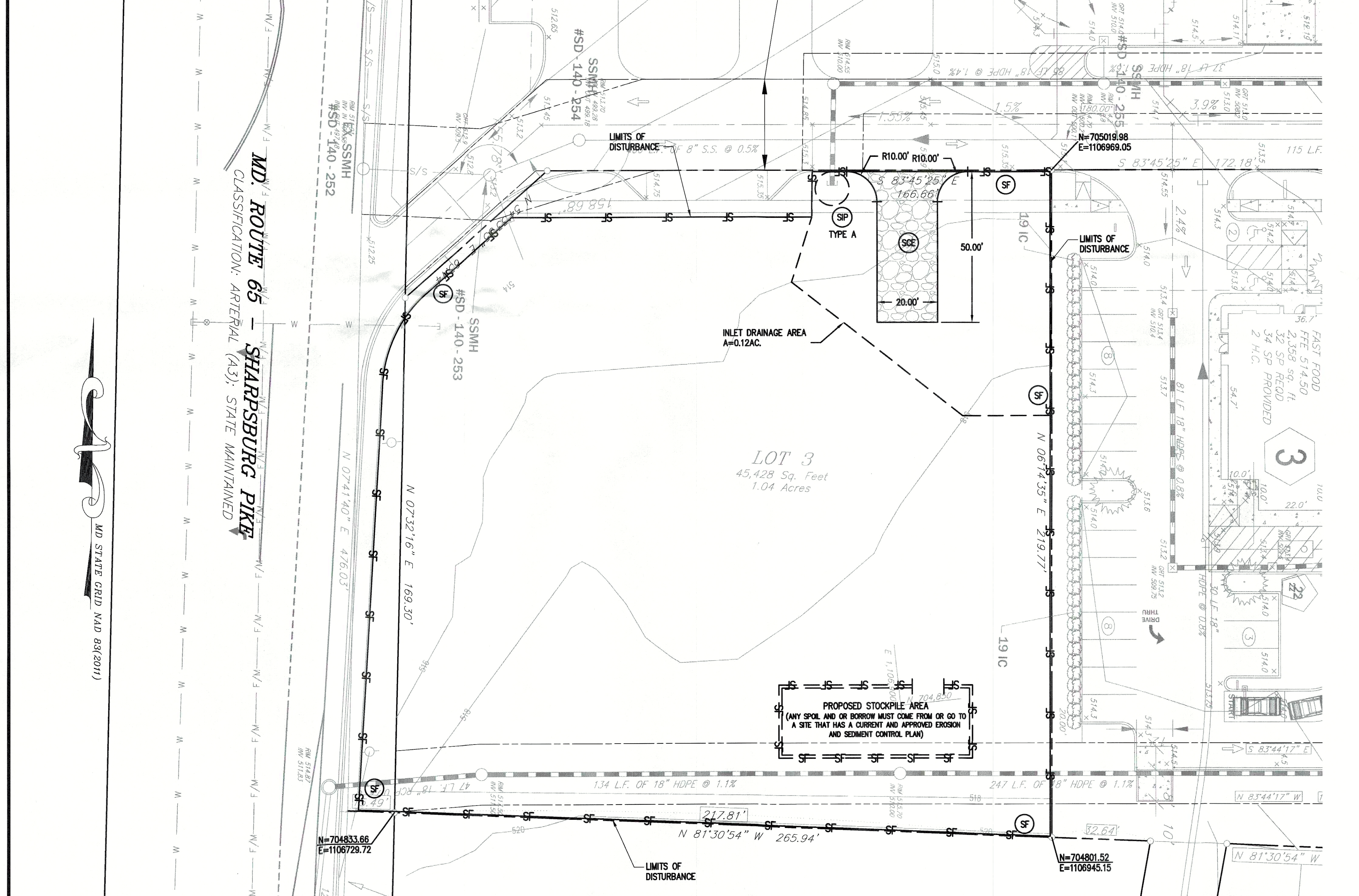
ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. SEE SHEET CES-3.1 FOR DETAILS

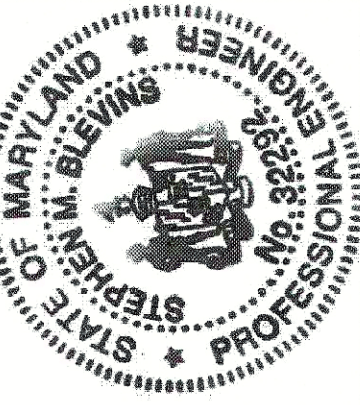
PERMANENT SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
6	TALL FESCUE (LOLIUM ARUNDINACEUM)	40 LB/AC. 0.93 LB/1000 SF	MARCH 15-MAY 31 / AUGUST 1-SEPTEMBER 30	1/4 - 1/2 IN.	45 LB/AC. (1LB/1000SF)	90 LB/AC. (2LB/1000SF)	90 LB/AC. (2LB/1000SF)	2 TONS/AC. (90LB/1000SF)
	PERENNIAL RYEGRASS (LOLIUM PERENNE)	25 LB/AC. 0.18 LB/1000 SF						
	WHITE CLOVER (TRIFOLIUM REPENS)	5 LB/AC. 0.11 LB/1000 SF						

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					N	P205	
1	BARLEY (HORDEUM VULGARE)	96 LB/AC. 2.2 LB/1000 SF	MARCH 15-MAY 31 / AUGUST 1-SEPTEMBER 30	1/4 - 1/2 IN.	436 LB/AC. (10LB/1000SF)	2 TONS/AC. (90LB/1000SF)	





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P757.228.8765
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DATE ISSUED	REVIEWED PER COUNTY COMMENTS	REVISION	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WSDO COMMENTS		
02/13/2019	REVISED PER WSDO COMMENTS		

DATE ISSUED	REVIEWED BY	DESIGNED BY	SHEET NO.
06/08/18	GAF	SMB	SP-18-024
10/23/2018	GAF	GAF	
02/13/2019	SMB	GAF	

SHARPSBURG PIKE TACO BELL
E&S DETAILS & NOTES
10425 Sharpsburg Pike
Washington County, MD

SHARPSBURG PIKE
CES-3.1
E&S DETAILS

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL: SCE

CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO 5 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, AND SPECIFIED DIMENSIONS: IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-4-6-B TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION

STANDARD SYMBOL: TSSMS - * lb/ft² (* INCLUDE SHEAR STRESS)

CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-4-6-D PERMANENT SOIL STABILIZATION MATTING SLOPE APPLICATION

STANDARD SYMBOL: PSSMS - * lb/ft² (* INCLUDE SHEAR STRESS)

CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWN SLOPE. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEVED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-9-3 CURB INLET PROTECTION

STANDARD SYMBOL: CIP

CONSTRUCTION SPECIFICATIONS

- USE NOMINAL 2 INCH X 4 INCH LUMBER.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
- ATTACH A CONTINUOUS PIECE OF 3/8 INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.
- PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
- INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
- FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
- AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-1 SILT FENCE

STANDARD SYMBOL: SF

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 X 1 1/2 X 1/8 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-1 SILT FENCE

STANDARD SYMBOL: SF

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 X 1 1/2 X 1/8 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
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- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-9-1 STANDARD INLET PROTECTION

STANDARD SYMBOL: SIP

CONSTRUCTION SPECIFICATIONS

- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN. STRETCH 3/8 INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
- FOR TYPE B, USE 2 3/8 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.
- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-9-1 STANDARD INLET PROTECTION

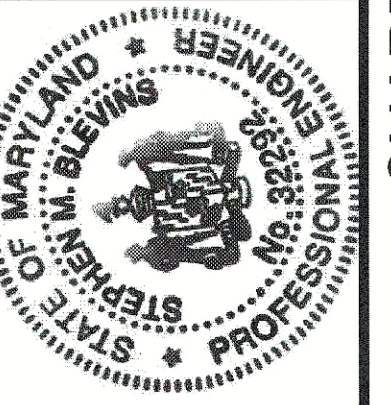
STANDARD SYMBOL: SIP

CONSTRUCTION SPECIFICATIONS

- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

FILE NAME: P:\6209-Burger\Users\6209.01-Hogerstown\Doc\4-CES-3.1 E&S Details.dwg LAYOUT NAME: Layout1 PLOTTED: Tuesday, March 05, 2019 11:32am



BLAKEWAY
surveying + engineering + environmental

630 N. WITCHDULOCK RD., VA. BEACH, VIRGINIA 23462
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LAYOUT GENERAL NOTES:

- BUILDING DIMENSIONS** - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DETAILS AND DIMENSIONS.
- CONSTRUCTION STAKEOUT** - ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A SURVEYOR LICENSED IN THE STATE OF MARYLAND.
- PRIVATE UTILITY COORDINATION** - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REMOVAL/RELOCATING OF ANY PRIVATE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- CONSTRUCTION MATERIALS AND METHODS** - ALL CONSTRUCTION AND MATERIALS SHALL BE AS PER THE MARYLAND STATE HIGHWAY ADMINISTRATION AND WASHINGTON COUNTY CONSTRUCTION STANDARDS UNLESS OTHERWISE SPECIFIED.
- EXCAVATED MATERIAL** SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- LOCATION OF EXISTING UTILITIES** - LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO BLAKEWAY CORPORATION AT 226-0081.
- HVAC** - ALL HVAC AND OTHER MECHANICAL EQUIPMENT WILL BE LOCATED ON THE ROOF OF THE PROPOSED BUILDING AND SCREENED FROM PUBLIC VIEW BY A PARAPET WALL.
- LINE STRIPING** - ALL ON-SITE LINE STRIPING SHALL USE 3M ALL WEATHER PAINT OR APPROVED EQUAL STRIPING WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO COUNTY AND MDOT STANDARDS FOR THERMOPLASTIC ROADWAY STRIPING.
- ANY SPOIL AND OR BORROW MUST COME FROM OR GO TO A SITE THAT HAS A CURRENT AND APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- ADDITIONAL BUILDING MOUNTED LIGHTING AND SIGNAGE WILL BE PROVIDED. SEE ARCHITECTURAL PLANS FOR DETAILS.

CONSTRUCTION GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REMOVAL/RELOCATING OF ANY PRIVATE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- ALL CRACKED CONCRETE WITHIN THE RIGHT OF WAY SHALL BE REMOVED TO THE NEAREST JOINT AND REPLACED. PATCHING IS NOT ACCEPTABLE.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CITY STANDARDS.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- THIS PLAN DOES NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE, SIZE TYPE, LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO BLAKEWAY CORPORATION AT 226-0081.

PAVEMENT LEGEND

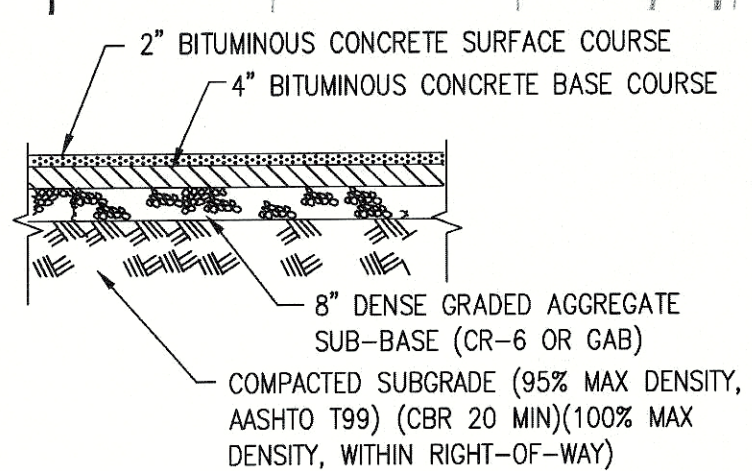
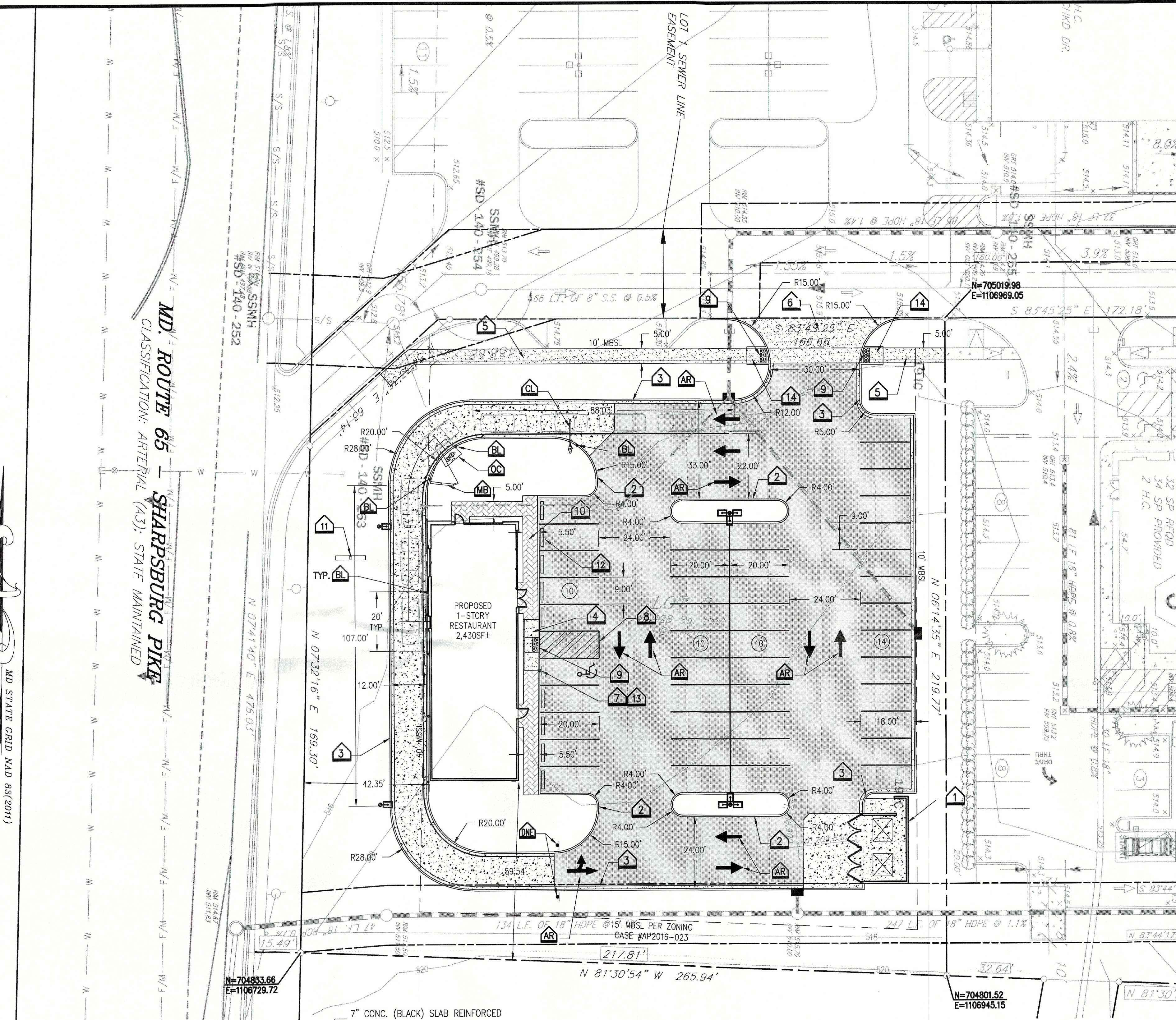
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE (STANDARD)
- PROPOSED CONCRETE (BLACK)

LAYOUT PLAN LEGEND

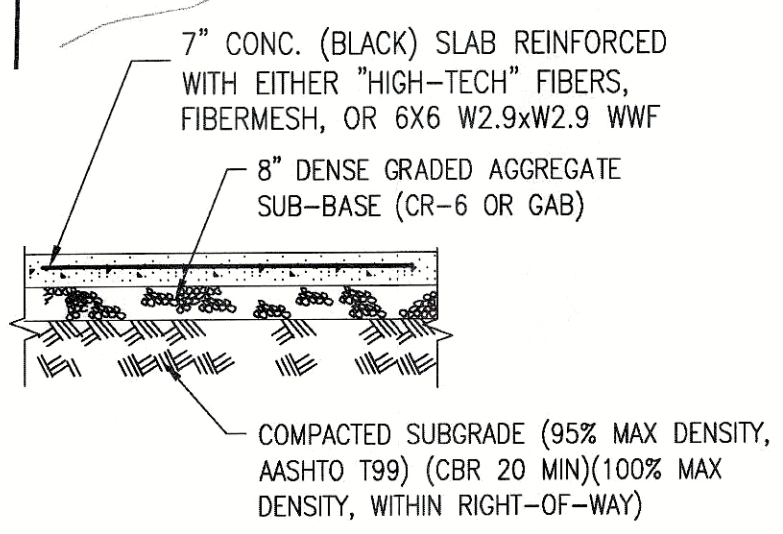
- PROPOSED DUMPSTER ENCLOSURE, SEE SHEET CDT-10.2 FOR DETAILS
- TYPE D CONC. CURB, SEE SHEET CDT-10.0 FOR DETAILS.
- TYPE D CONC. CURB AND GUTTER, SEE SHEET CDT-10.0 FOR DETAILS.
- PARALLEL ADA ACCESSIBLE RAMP. SEE SHEET CDT-10.0 FOR DETAILS.
- CONCRETE SIDEWALK, SEE DETAIL SHEET CDT-10.1
- CONCRETE COMMERCIAL ENTRANCE.
- VAN ACCESSIBLE "ADA" SIGN WITH BOLLARD. SEE SHEET CDT-10.0 FOR DETAILS.
- VAN ACCESSIBLE "ADA" PAVEMENT MARKINGS. SEE DETAIL SHEET CDT-10.0.
- DETECTABLE WARNING SURFACE (TYP.) SEE SHEET CDT-10.0 FOR DETAILS.
- CONCRETE SIDEWALK AT BUILDING, SEE SHEET CDT-10.0 FOR DETAILS.
- PROPOSED 9'-8 3/16" X 15'-5 5/8" PYLON SIGN, SEE SHEET ARCHITECTURAL PLANS FOR DETAILS.
- TYPE I CONC. WHEEL STOP, SEE SHEET CDT-10.0 FOR DETAILS. (TYP. OF 9)
- PROPOSED CONCRETE BOLLARD, SEE SHEET CDT-10.0 FOR DETAIL.
- MODIFIED PERPENDICULAR ADA ACCESSIBLE RAMP. SEE SHEET CDT-10.0 FOR DETAILS.

DRIVE-THRU LEGEND

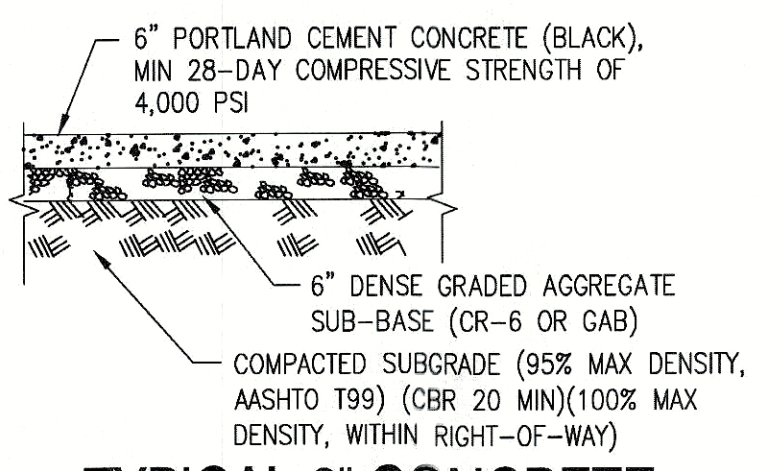
- DRIVE THRU ORDER CANOPY
- DRIVE THRU MENU BOARD
- DRIVE THRU CLEARANCE BAR
- CONCRETE BOLLARD
- "DO NOT ENTER" SIGN
- DIRECTIONAL ARROW



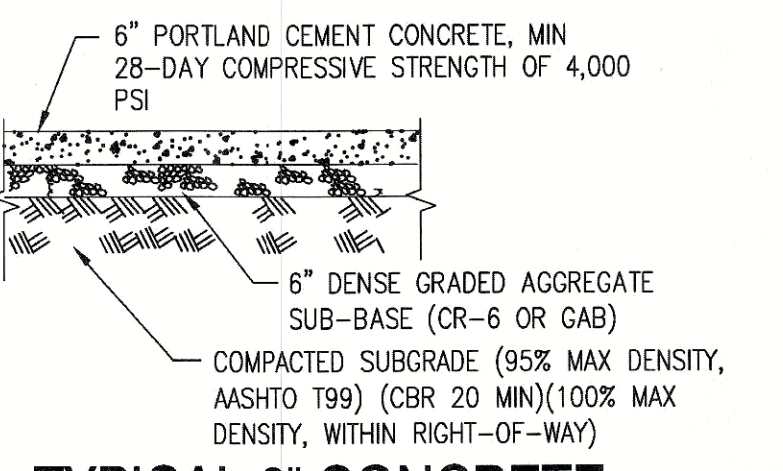
TYPICAL BITUMINOUS PAVEMENT SECTION
ON-SITE



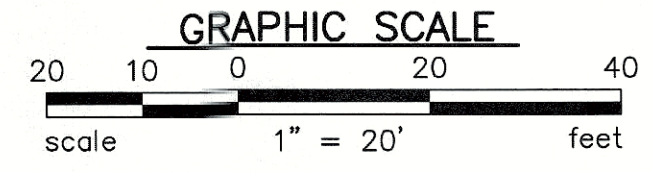
TYPICAL 7\"/>



TYPICAL 6\"/>



TYPICAL 6\"/>

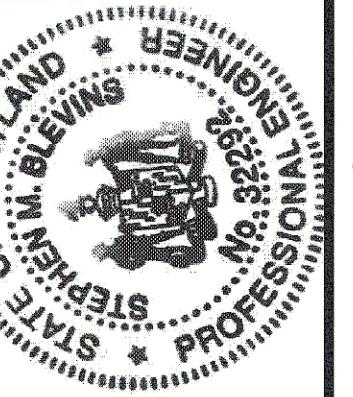


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DATE ISSUED	REVISION	REVISED PER COUNTY COMMENTS	REVISION	REVISED PER WISD COMMENTS	REVISION	REVISED PER WISD COMMENTS	DATE	DESCRIPTION
06/08/18								

DATE ISSUED	06/08/18
DRAWN BY	GAF
REVIEWED BY	SMB
DESIGNED BY	GAF
SHEET NO.	SP-18-024

LOCATION	SHARPSBURG PIKE TACO BELL
SHEET TITLE	SITE PLAN
ZONING	HI
SITE ADDRESS	10425 Sharpsburg Pike Washington County, MD



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DATE ISSUED	REVISION	DESCRIPTION
06/06/16 <td>REVISED PER COUNTY COMMENTS <td></td> </td>	REVISED PER COUNTY COMMENTS <td></td>	
10/23/2018 <td>REVISED PER WISCSD COMMENTS <td></td> </td>	REVISED PER WISCSD COMMENTS <td></td>	
02/13/2019 <td>REVISED PER WISCSD COMMENTS <td></td> </td>	REVISED PER WISCSD COMMENTS <td></td>	

DATE	REV	DESCRIPTION
06/06/16	1	DATE ISSUED
10/23/2018	2	REVISED PER COUNTY COMMENTS
02/13/2019	3	REVISED PER WISCSD COMMENTS

SHARPSBURG PIKE TACO BELL
UTILITY PLAN
SHEET TITLE

LOCATION: SHARPSBURG PIKE TACO BELL
ZONING: HI

SITE ADDRESS: 10425 Sharpsburg Pike
Washington County, MD

SHEET NO. CU-5.0
SITE PLAN # SP-18-024

SHARPSBURG PIKE

SHARPSBURG PIKE

UTILITY NOTES:

- CONTRACTOR MUST NOTIFY THE DEPARTMENT OF UTILITIES - DISRUPTION TO SERVICE CONSTRUCTION REPRESENTATIVE SEVEN (7) CALENDAR DAYS PRIOR TO ANY NIGHT TIME SHUTDOWN OF THE WATER LINE.
- LOCATION OF EXISTING UTILITIES - LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO BLAKEWAY CORPORATION AT 226-0081.
- BRASS FITTINGS - BRASS FITTINGS TO MEET CDA NO. C89520 WITH NO MORE THAN ONE-FORTH OF ONE PERCENT (0.25% OR LESS) TOTAL LEAD CONTENT BY WEIGHT FOR CORPORATION STOPS, METER VALVES AND SERVICES COUPLINGS.
- UTILITY VERIFICATION - CONTRACTOR SHALL VERIFY THE LOCATION AND INVERTS OF ALL UTILITIES BEFORE INSTALLATION. IF THE LOCATION OR INVERT OF ANY UTILITY DIFFERS FROM THE SITE PLAN, THE CONTRACTOR SHALL CONTACT BLAKEWAY CORPORATION (757-226-0081) BEFORE PROCEEDING WITH INSTALLATION.
- PROPOSED WATER ALLOCATION = 1,100 GPD
- FIRE PROTECTION = NO FIRE PROTECTION IS REQUIRED FOR THE PROPOSED DEVELOPMENT.

SANITARY SEWER LEGEND:

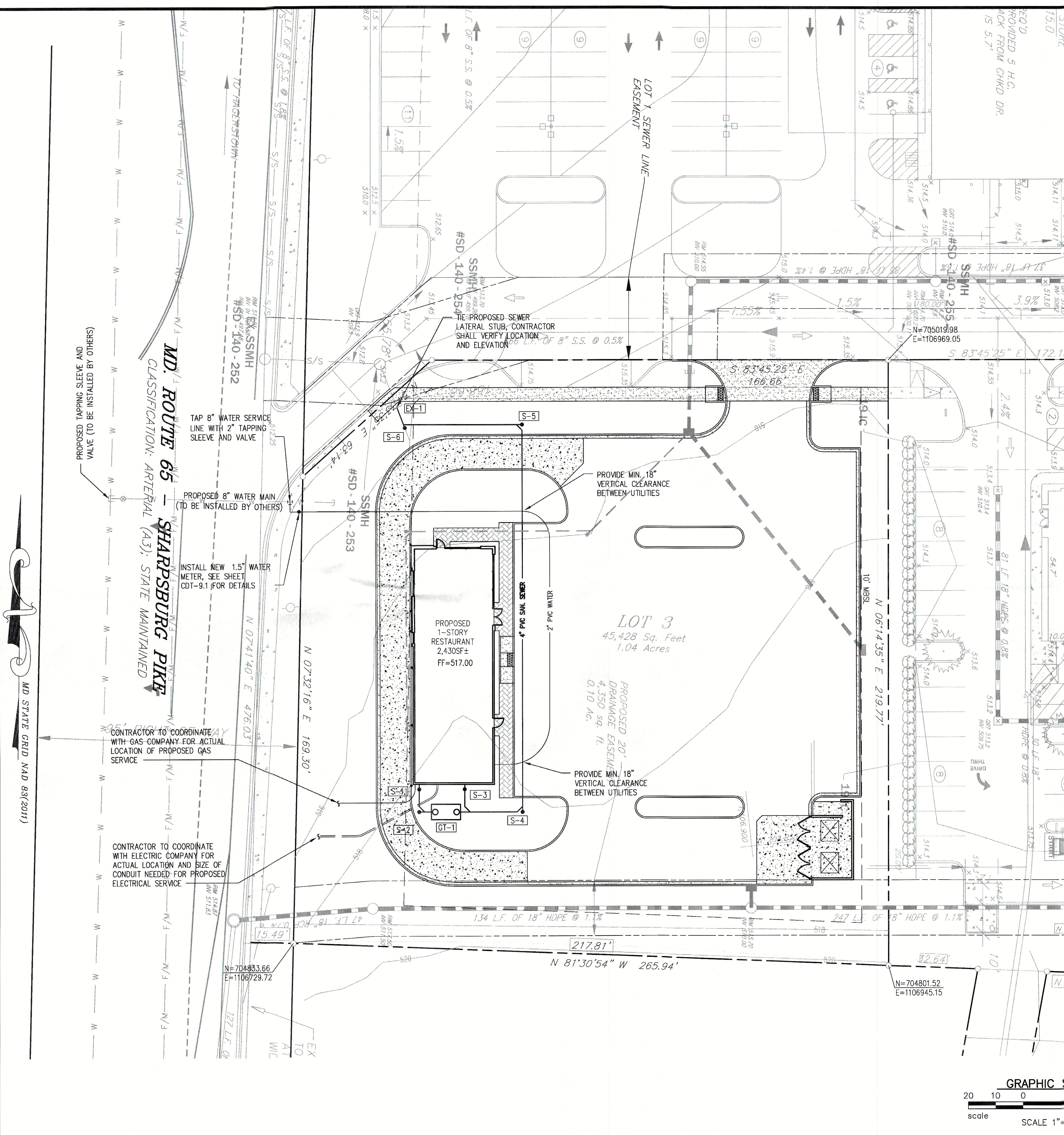
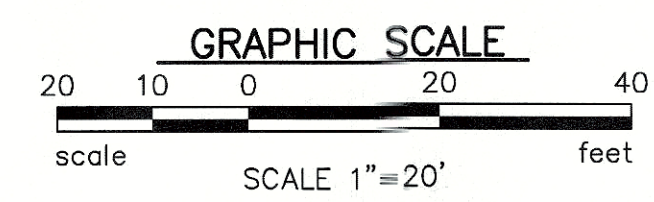
- | | |
|--|--|
| PROPOSED BUILDING
FF=517.00
INV=513.50
BUILDING TO [S-1] 3' OF 4" PVC PIPE @ 1.0% | PROPOSED BUILDING
FF=517.00
INV=513.25
BUILDING TO [S-3] 3' OF 4" PVC PIPE @ 1.0% |
| [S-1] SANITARY SEWER CLEANOUT
RIM=516.95
INV=513.45
[S-1] TO [S-2] 9' OF 4" PVC PIPE @ 1.0% | [S-3] SANITARY SEWER CLEANOUT
RIM=516.95
INV=513.20
[S-3] TO [S-4] 29' OF 4" PVC PIPE @ 1.0% |
| [S-2] SANITARY SEWER CLEANOUT
RIM=516.90
INV=513.35
[S-2] TO [GT-1] 5' OF 4" PVC PIPE @ 1.0% | [S-4] SANITARY SEWER CLEANOUT
RIM=516.20
INV=512.90
[S-4] TO [S-5] 139' OF 4" PVC PIPE @ 1.0% |
| [GT-1] GREASE TRAP
RIM=516.20
INV(IN)=513.30
INV(OUT)=513.15
[GT-1] TO [S-4] 24' OF 4" PVC PIPE @ 1.0% | [S-5] SANITARY SEWER CLEANOUT
RIM=516.00
INV=511.50
[S-5] TO [S-6] 41' OF 4" PVC PIPE @ 1.0% |
| | [S-6] SANITARY SEWER CLEANOUT (DROP CONNECTION)
RIM=513.95
INV(A)=511.10
INV(B)=499.40
[S-6] TO [MH-1] 12' OF 4" PVC PIPE @ 1.0% |
| | [EX-1] EXISTING LATERAL (BY OTHERS)
RIM=513.50
INV=499.28 |

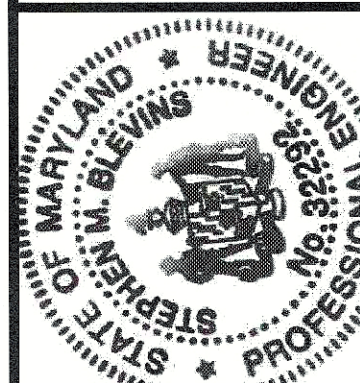
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
THIS APPROVAL IS FOR THE GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTION'S FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____ DATE: _____

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION
THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND PERFORMANCE OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

SIGNATURE _____ DATE _____





BLAKEWAY
 surveying + engineering + environmental

630 N. WITCOMB RD. - VA BEACH, VIRGINIA 23462
 P757.228.0081 F757.228.8765
 www.blakewaycorp.com

LEGEND OF GRADE NOTATIONS: GRADING NOTES:

- TC = TOP OF CURB
- FL = FLOW LINE OF GUTTER
- P = ASPHALT OR CONCRETE PAVEMENT SURFACE
- SW = SIDEWALK SURFACE
- EC = EDGE OF CONCRETE
- G = GROUND SURFACE
- M.G. = MATCH EXISTING GRADE
- H.P. = HIGH POINT OF GRADED SURFACE
- W.D. = WIPE TOP OF CURB DOWN TO MATCH EXISTING

1. ALL CROSS AND LONGITUDINAL SLOPES ALONG ALL ACCESSIBLE ROUTES SHALL BE INSTALLED IN ACCORDANCE WITH ICC/ANSI A117.1, 2003 EDITION
2. ALL STORM STRUCTURES SHALL MEET CITY STANDARDS. ALL STRUCTURES WITHIN THE RIGHT-OF-WAY SHALL MEET VDOT STANDARDS. ALL PIPE LENGTHS ARE FROM CENTER OF STRUCTURE.
3. ALL CONCRETE PIPE WITHIN THE RIGHT-OF-WAY OR SUBJECT TO TRAFFIC MUST BE CLASS III UNLESS OTHERWISE SPECIFIED.
4. THE PIPE CONNECTION ON CITY RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED.
5. ANY MILLING AND OVERLAYING REQUIRED TO OBTAIN A SMOOTH PAVEMENT TRANSITION IN THE PAVEMENT PATCH AREA SHALL BE AT THE DIRECTION AND DISCRETION OF THE PLANNING/CIVIL INSPECTOR.
6. SEE SHEET COT-10.1 FOR STORMWATER PROFILES

PROJECT NARRATIVE:

PROJECT DESCRIPTION
 THE PROPOSED LAND DISTURBANCE FOR THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF A PROPOSED TACO BELL WITH DRIVE-THRU AND ASPHALT PARKING LOT ON THE 1.04 ACRE SITE.

EXISTING SITE CONDITIONS
 THE CURRENT TOPOGRAPHIC SURVEY SHOWS THAT THE SITE IS APPROXIMATELY UNDEVELOPED.

ADJACENT AREAS
 THE PROPERTY IS SURROUNDED BY PROPERTIES ZONED HIGHWAY INTERCHANGE (HI). THE SURROUNDING AREA IS CURRENTLY BEING DESIGNED AS A MASTER PLANNED COMMERCIAL DEVELOPMENT

OFF-SITE AREAS
 NO OFF-SITE IMPROVEMENTS ARE PROPOSED WITH THIS SITE PLAN

SOILS
 STRATUM I - FILL MATERIALS
 STRATUM II - SOFT TO VERY STIFF CLAY AND SILT (CL, CH, CL/CH, CL/ML, ML/CL) WITH LOOSE TO MEDIUM DENSE GRAVEL (GP-GC AND GC), MOIST
 STRATUM III - DECOMPOSED ROCK MATERIAL THAT EXHIBIT ROCK LIKE QUALITIES. PORTIONS OF THE DECOMPOSED ROCK WILL REQUIRE ROCK EXCAVATION METHODS FOR REMOVAL.

CRITICAL AREA
 DUE TO THE EXISTING TOPOGRAPHY OF THE SITE THERE SHALL BE NO POTENTIAL EROSION PROBLEMS, BUT SHALL USE CAUTION INGRESS/EGRESS FROM SITE DUE TO THE SOILS HAVING MEDIUM TO HIGH MOISTURE CONTENT. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING ALL LAND DISTURBANCES.

EROSION AND SEDIMENT CONTROL
 THE EROSION AND SEDIMENT CONTROL MEASURES WILL CONSIST OF UTILIZING SILT FENCE, INLET PROTECTION TO ALL STORMWATER DRAINAGE STRUCTURES IMPACTED BY THIS LAND DISTURBANCE AND A TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THE SITE PLANS. ALL DENUDE AREAS RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE TEMPORARILY AND PERMANENTLY STABILIZED AS NECESSARY. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.

PERMANENT STABILIZATION
 POST CONSTRUCTION STABILIZATION WILL CONSIST OF PERIMETER CURB AND GUTTER TO DIRECT IMPERVIOUS SURFACE RUNOFF AND ALL GREEN AREAS SHALL BE GRASS SOD TO PREVENT SOIL EROSION.

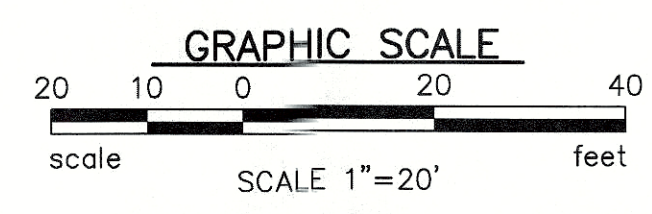
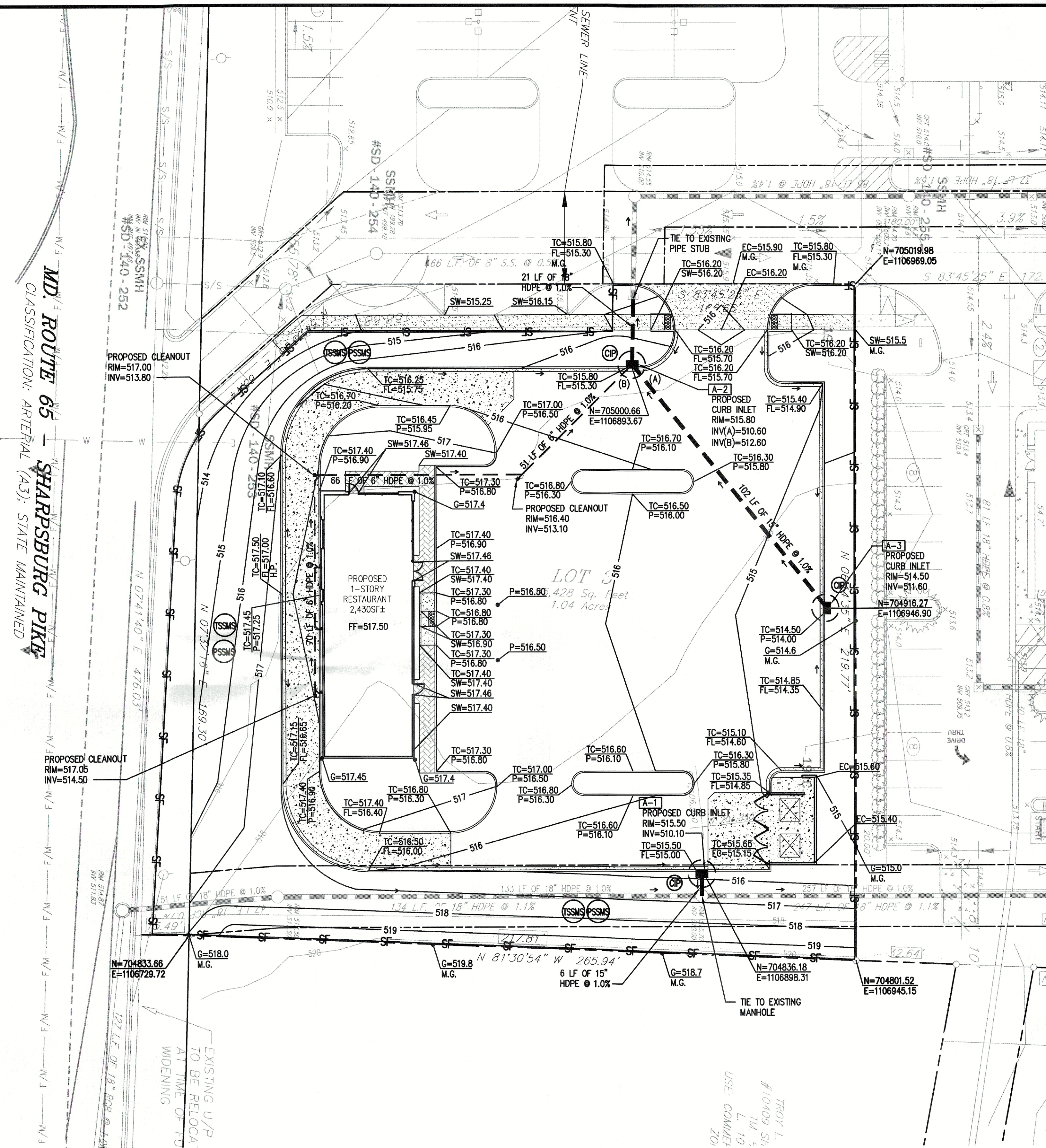
STORMWATER RUNOFF CONSIDERATIONS
 THE STORMWATER MITIGATION FOR THIS SITE WAS INCLUDED IN THE MASTER-PLANNED DEVELOPMENT FOR THE SHOPS AT SHARPSBURG PIKE. THE PROPOSED IMPERVIOUS AREA WILL BE LESS THAN THE MASTER-PLANNED AMOUNT AND WILL THEREFORE PRODUCE LESS RUN-OFF.

CALCULATIONS
 PROPOSED DRAINAGE CALCULATIONS ARE PROVIDED WITH THIS PROJECT. THIS DEVELOPMENT DOES NOT REQUIRE TEMPORARY OR PERMANENT SEDIMENT BASIN.

MAINTENANCE
 CONTRACTOR SHALL MAINTAIN AT ALL TIMES ALL EROSION AND SEDIMENT CONTROL MEASURES PER WASHINGTON COUNTY REQUIREMENTS SET FORTH IN THE EROSION AND SEDIMENT CONTROL NOTES LISTED ON SHEET CES-3.1.

DATE ISSUED	REVISION	PER COUNTY COMMENTS	DESCRIPTION
06/08/18			
10/23/2018			
02/13/2019			

DATE ISSUED	06/08/18
DRAWN BY	GAF
REVIEWED BY	SMB
DESIGNED BY	GAF
SITE PLAN #	SP-18-024
LOCATION	SHARPSBURG PIKE TACO BELL
SHEET TITLE	GRADING PLAN
ZONING	HI
SHEET NO.	CG-6.0

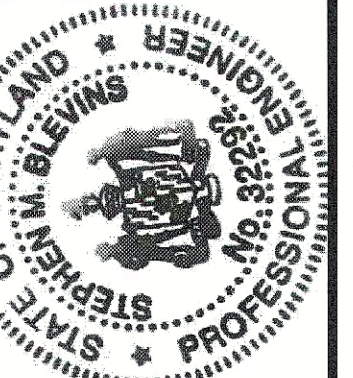


FILE NAME: P:\6209-BurgerBlasters\6209.01-Hogertown\Cad\CG-6.0 Grading.dwg LAYOUT NAME: COVER SHEET PLOTTED: Tuesday, March 05, 2019 - 11:34am

MD STATE GRID NAD 83(2011)

MD ROUTE 65 SHARPSBURG PIKE
 CLASSIFICATION: ARTERIAL (A3); STATE MAINTAINED

TROY L.
 #10409 SH
 TM 5
 L 10
 USE COMMENT ZONING

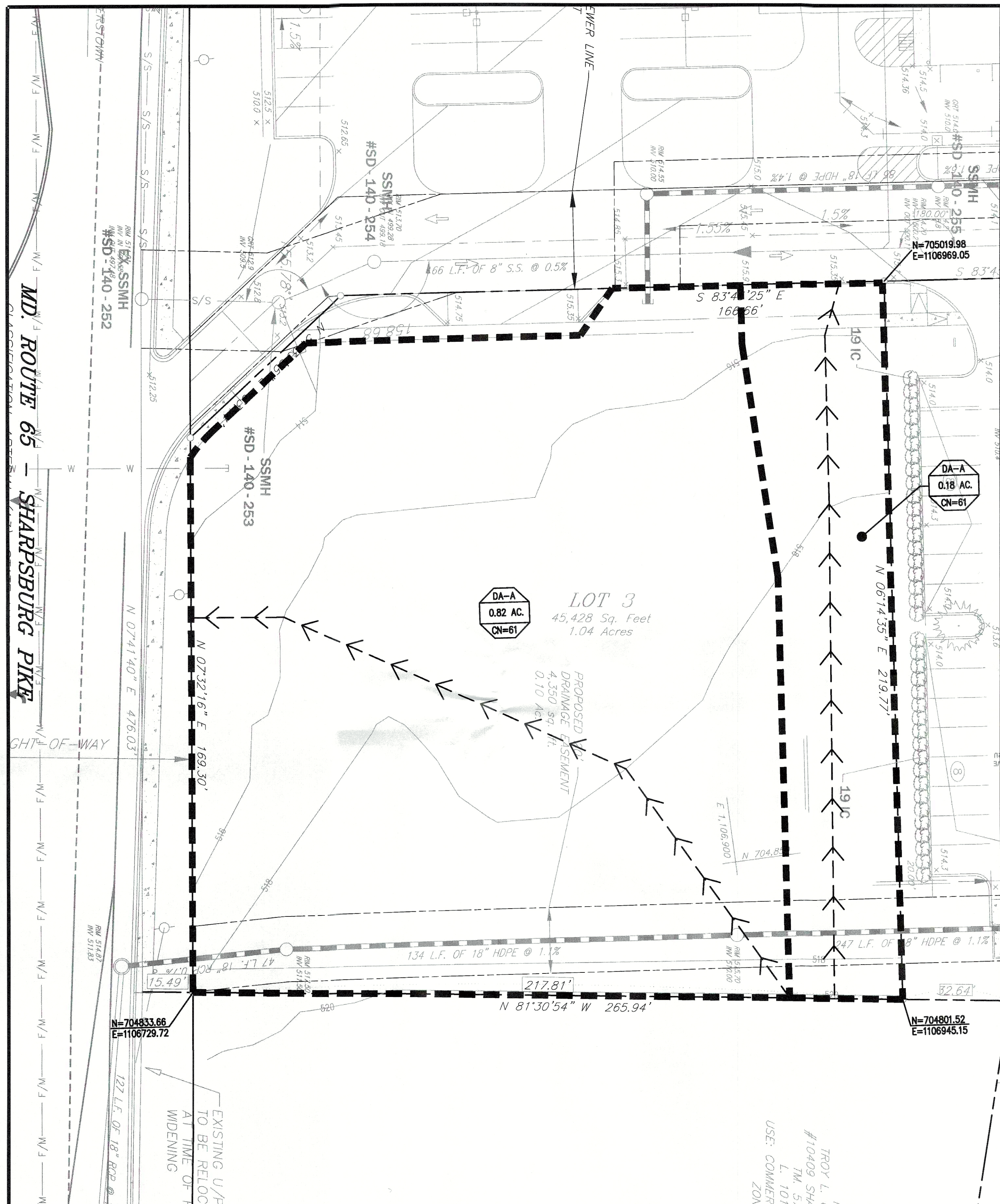


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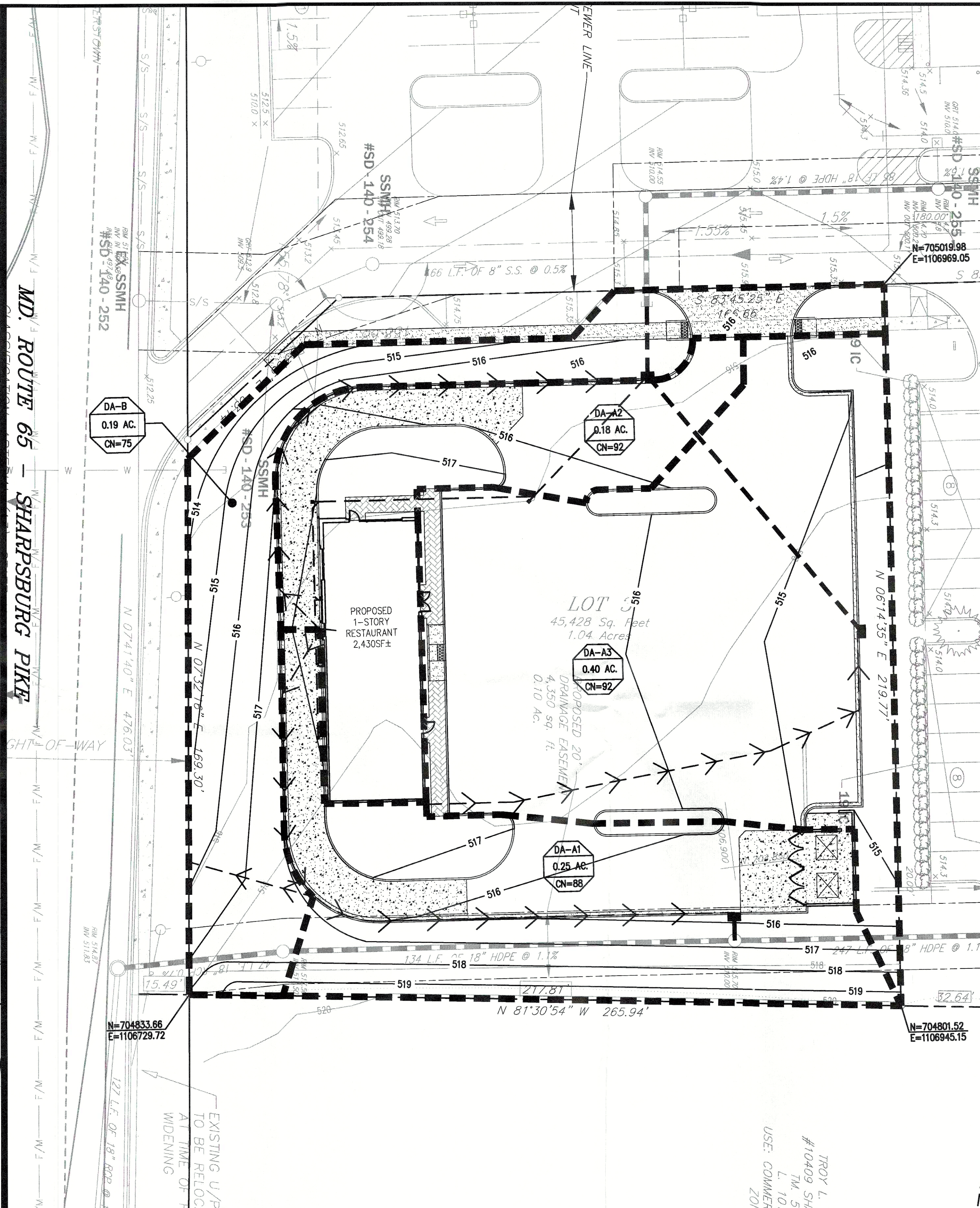
DATE ISSUED	REVISION	DESCRIPTION
06/08/18	REVISED PER COUNTY COMMENTS	
10/23/2018	REVISED PER WSDO COMMENTS	
02/13/2019	REVISED PER WSDO COMMENTS	

DATE	DESCRIPTION
REV	
DESIGNED BY	GAF
REVIEWED BY	SMB
DRAWN BY	GAF

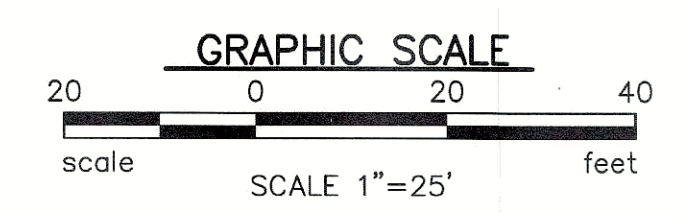
LOCATION	SHARPSBURG PIKE TACO BELL
SHEET TITLE	DRAINAGE AREA PLAN
ZONING	HI
SITE ADDRESS	10425 Sharpsburg Pike Washington County, MD
SHEET NO.	CG-6.1



EXISTING DRAINAGE AREAS



PROPOSED DRAINAGE AREAS



FILE NAME: P:\6209 - BurgerBusters\6209.01 - Hagerstown\Coc\6-06-6.1 - Drainage Areas.dwg LAYOUT NAME: COVER SHEET PLOTTED: Tuesday, March 05, 2019 - 11:35am

USE: COMMERC ZONE
 TROY L. C. #10409 SHAW TM. 57 L. 1011

USE: COMMERC ZONE
 TROY L. C. #10409 SHAW TM. 57 L. 1011



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surveying + engineering + environmental

630 N. WITCHLUCK RD., VA. BEACH, VIRGINIA 23462
P 757 228 0081 F 757 228 8765
www.blakewaycorp.com

DATE ISSUED	LOCATION	REVISION	DESCRIPTION
06/06/18	SHARPSBURG PIKE TACO BELL	REVISED PER COUNTY COMMENTS	
10/23/2018		REVISED PER WISD COMMENTS	
02/13/2019		REVISED PER WISD COMMENTS	

DATE ISSUED	06/06/18
DRAWN BY	GAF
REVIEWED BY	SMB
DESIGNED BY	GAF
SHEET TITLE	SHARPSBURG PIKE TACO BELL
ZONING	HI
SITE ADDRESS	10425 Sharpsburg Pike
SITE PLAN #	SP-18-024
LOCATION	Washington County, MD

SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Specifications

- The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.
- The popularity of the series is due to its ball offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/colors stocked for immediate shipping.

Dimensions

Ordering Information Ordering Example: SES-XX-XX-XX-XX-XX-XX

SES	25	40	60	A, D	B3	DB
SSP	25	40	60	A, D	B3	DB
Color	Black	Black	Black	Black	Black	Black
Finish	Black	Black	Black	Black	Black	Black
Flange	Flange	Flange	Flange	Flange	Flange	Flange
Flange to Pole Distance	Flange to Pole Distance	Flange to Pole Distance	Flange to Pole Distance	Flange to Pole Distance	Flange to Pole Distance	Flange to Pole Distance
Flange to Pole Distance (2x)	Flange to Pole Distance (2x)	Flange to Pole Distance (2x)	Flange to Pole Distance (2x)	Flange to Pole Distance (2x)	Flange to Pole Distance (2x)	Flange to Pole Distance (2x)
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VIPER L STRIKE

LINEAR RECESSED

Model: VPL-96L-395-4K7-A-UNV-A-DB

Location: Exterior

Leadtime: TBD

Specifications

General:

- The Viper Linear Strike is available in two sizes with a wide choice of color and mounting options. It is designed for use in a variety of applications including retail, commercial, industrial and residential projects.

Construction:

- Constructed with die cast aluminum.
- Available in a variety of colors.
- Available in a variety of mounting options.

Options:

- Available in a variety of colors.
- Available in a variety of mounting options.

Mounting Options:

Dimensions:

Mounting Options:

Taco Bell EXTERIOR SPECIFICATION

Decorative Lighting

PROJECT: Taco Bell

Accuserv LIGHTING & EQUIPMENT

3865 Produce Rd
Suite 208
Louisville, KY 40218
Toll Free: 877-707-7378
Phone: 502-961-0096
Fax: 502-961-0357
Web: www.accuserv.com

Type T3

Item # 05247-051 / 05247-052

Classification: Up / Down (2) light Wet location wall mounted cylinder with top cap

Dimensions: Diameter - 6"
Height - 18"
Depth - 8 7/8"

Finish: Bronze

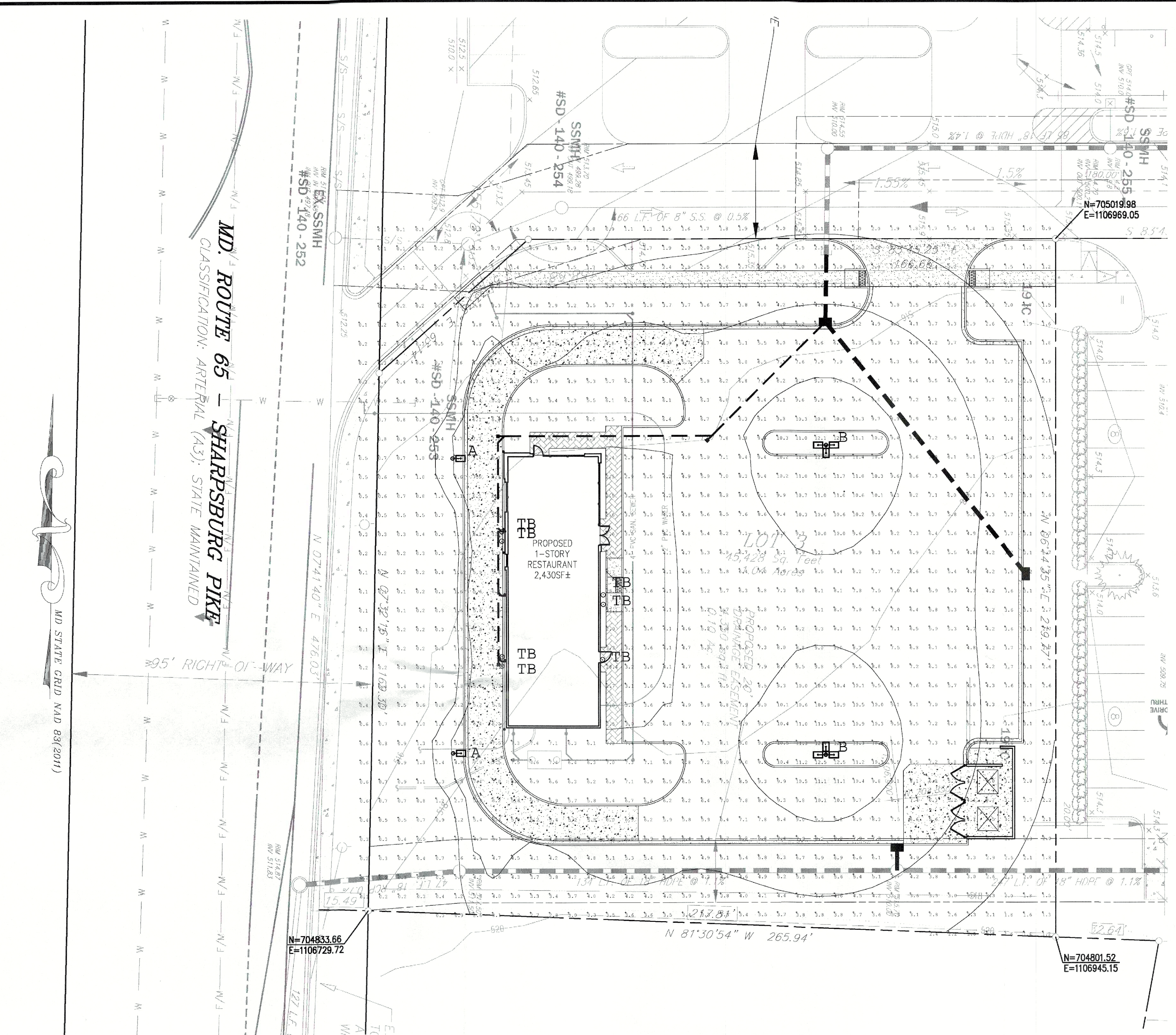
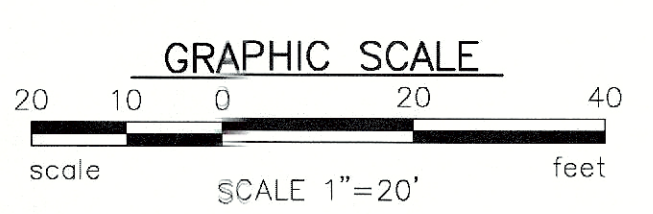
Lamp Type: (2) 18w PAR38 LED

Location: Exterior

Leadtime: TBD

E # E52809190

Lamp Type:



Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	4.03	57.1	0.1	40.30	571.00
PARKING LOT & DRIVE-THRU SURFACE	6.78	12.8	2.7	2.51	4.74

LIGHT LEVELS ARE MAINTAINED FOOT-CANDELES, INITIAL LEVELS ARE SLIGHTLY HIGHER

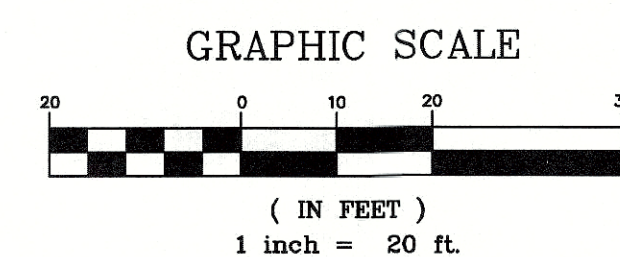
Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
A	2	A	SINGLE	39921	0.900	395	VPL-96L-395-4K7-4-UNV-A-DB / SES-25-40-01-A-B3-DB
B	2	B	3 @ 90 DEGREES	39048	0.900	395	(3) VPL-96L-395-4K7-5W-UNV-A-DB / SES-25-40-01-D-B3-DB
TB	7	TB	SINGLE	1219	0.900	26	ACCU 05247-051-052 @ 9.17' A.F.G.

FIXTURES ARE 395W 4000K LED
POLES ARE 25'-0" FOR AN OVERALL FIXTURE HEIGHT OF 27'-6" A.F.G.



G. I. Joseph Vaughn
480 Cloud View Ct
Prosper, TX 75078
t 972-827-5677



PLANT SCHEDULE

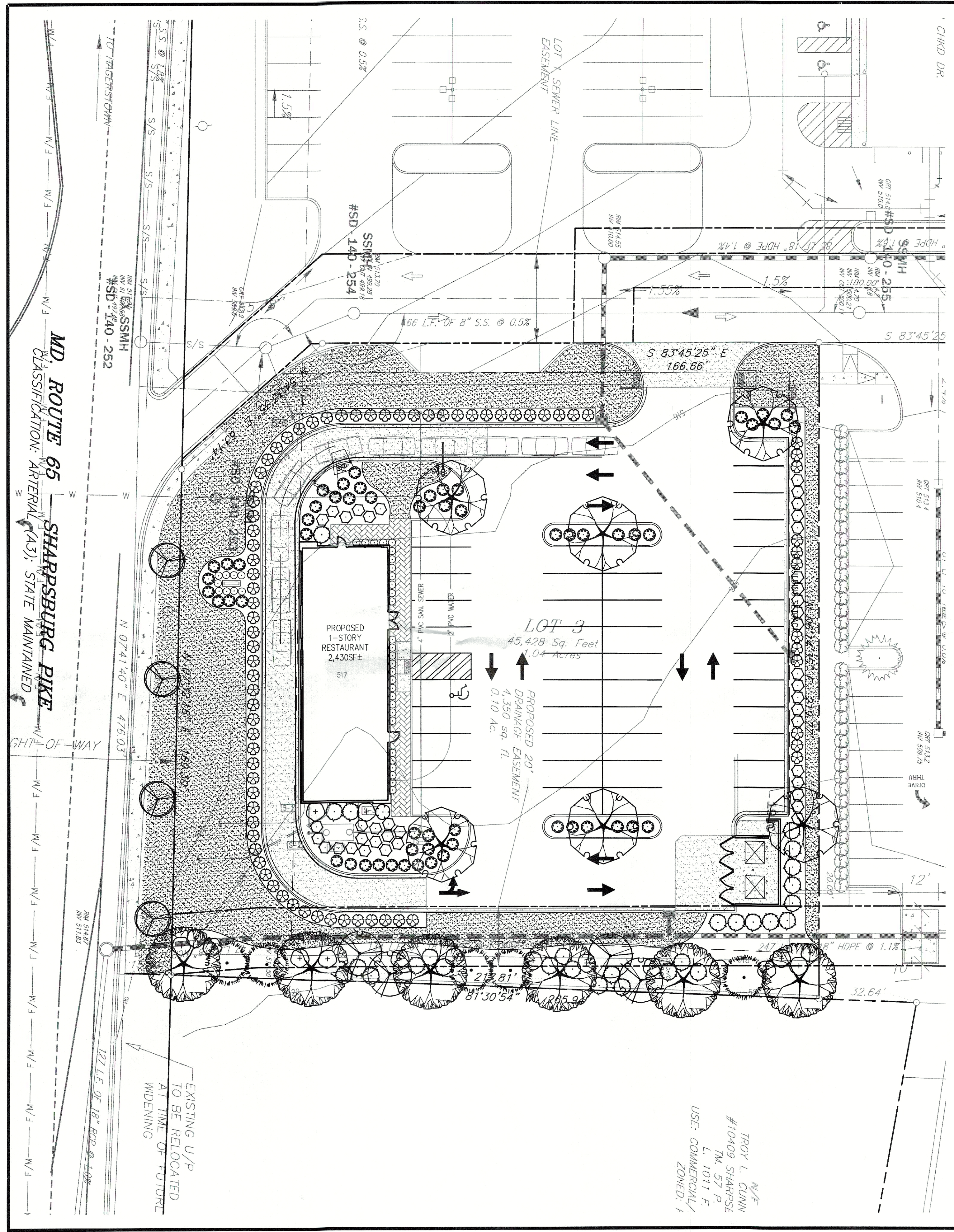
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE
	4	Dynamite Grape Myrtle / Lagerstroemia indica "Dynamite"	24"box	7-8" H
	5	Norway Spruce / Picea abies	24"box	7-8" H
	4	Yoshino Cherry / Prunus x yedoensis	24"box	7-8" H
	6	Scarlet Oak / Quercus coccoinea	24"box	8-10" H
	6	Crimean Linden / Tilia x euchtora	15 gal	8-10" H
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	
	1	Glossy Abelia / Abelia x grandiflora "Edward Goucher"	3 gal	
	36	Glossy Abelia / Abelia x grandiflora "Kaleidoscope"	3 gal	
	41	Lime Glow Barberry / Berberis thunbergii "Lime Glow"	3 gal	
	26	Keteleian Chinese Juniper / Juniperus chinensis "Keteleian"	7 gal	
	77	Sea Green Juniper / Juniperus chinensis "Sea Green"	3 gal	
	57	Bar Harbor Creeping Juniper / Juniperus horizontalis "Bar Harbor"	3 gal	
	17	Leatherleaf Viburnum / Viburnum rhytidophyllum	5 gal	
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT	SPACING
	10,267 sf	Bermuda Grass / Cynodon dactylon "Tf 419"	sod	

GENERAL LANDSCAPE NOTES:

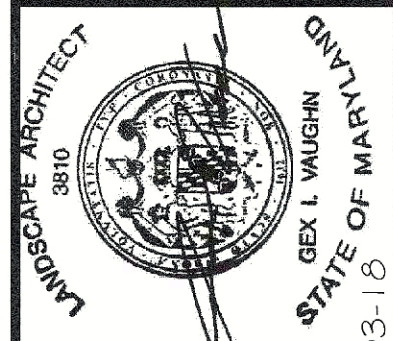
- CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.
- UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED. LARGE CANOPY STREET TREES AND THOSE TREES LOCATED NEAR GROUND SIGNAGE SHALL BE LIMBED UP TO A HEIGHT OF 8' ABOVE GRADE TO ENSURE SAFE SIGHT LINES ARE ACHIEVED FOR VEHICULAR NAVIGATION TO AND FROM THE SITE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.
- THE LANDSCAPE ARCHITECT MUST APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL BEFORE INSTALLATION.
- THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.
- ALL PLANTING AREAS, AND UNPAVED AREAS ON SITE NOT SPECIFIED FOR BED AREAS, MUST BE COMPLETELY SODDED, SEEDED, OR HYDROSEDED. ANY PERMEABLE AREAS (ON SITE, OFF SITE, OR IN RIGHT-OF-WAY, DAMAGED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND SODDED, SEEDED OR HYDROSEDED). ALL SLOPES THAT EXCEED 3:1 SHALL BE TREATED WITH SOD UNLESS SPECIFIED OTHERWISE ON PLAN.
- ALL BEDS AREAS SHALL BE PREPARED FOR PLANTING BY REMOVING GRASS AND WEEDS FROM THE AREA, ROTO TILLING TO A MINIMUM DEPTH OF 6", AND MIXING BED AMENDMENT INTO THE PREPARED BED AREA TO A DEPTH OF 4". AMOUNT AND TYPE OF AMENDMENT TO BE LOCALLY SOURCED BED MIX AND/OR COMPOST FREE OF DEBRIS, ROOTS, AND SEED.
- ALL BED AREAS SHALL RECEIVE A MINIMUM 2" SHREDDED HARDWOOD MULCH OVER WEED BARRIER FABRIC UNLESS SPECIFIED ON PLAN DIFFERENTLY. BED AREAS ADJACENT TO TURF GRASS LAWN AREAS SHALL BE SEPARATED FROM THE LAWN WITH LANDSCAPE EDGING.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUMS QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING ALL LANDSCAPE PARKING ISLANDS. FINISHED GRADE IN ISLANDS IS TO BE CROWNED APPROXIMATELY 12"-18" ABOVE THE TOP OF CURB. SOIL IN ISLANDS IS TO BE FREE OF UNSUITABLE MATERIAL AND DEBRIS I.E. GRAVEL OR ASPHALT.
- IF CONTRACTOR IS UNABLE TO DIG PLANT PITS TO A DEPTH THAT WILL PROVIDE THE AREA OF SOIL AROUND THE ROOT BALL DUE TO ROCK, CONTACT ARCHITECT, CIVIL ENGINEER, AND CITY HORTICULTURIST IMMEDIATELY.
- THE TOP EDGE OF ALL LANDSCAPE EDGING SHALL BE A MINIMUM OF 5" BELOW FINISHED FLOOR ELEVATION.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL SITE IRRIGATION SYSTEM AFTER DESIGN IS SUBMITTED FOR APPROVAL.

CITY REQUIREMENTS:

	REQ.	PROV.
PARKING AREA LANDSCAPE	1 CANOPY OR 2 UNDERSTORY TREES PER 8 PARKING SPACES 44 SPACES / 8 = 6 CANOPY TREES MINIMUM 10' PERIMETER BUFFER YARD BETWEEN R.O.W. AND PARKING LOT W/ 1 CANOPY OR 2 UNDERSTORY TREES PER 40 LF OF ROAD FRONTAGE	6 N/A 6
STREET TREES	1 TREES PER 40 LF OF FRONTAGE STREET: 160LF / 40 = 4	4 4
BUFFER YARD	RESIDENTIAL BUFFERYARD SHALL PROVIDE 2 CANOPY AND 3 EVERGREEN OR UNDERSTORY TREES AND 10 SHRUBS PER 100LF 216 LF / 100 = 2 CANOPY 9 EVERGREEN OR UNDERSTORY 30 SHRUBS	6 9 30 6 9 30



TROY L. CUNN
#10409 SHARPSBURG
TM 57 P.
L 1011 F.
USE: COMMERCIAL/
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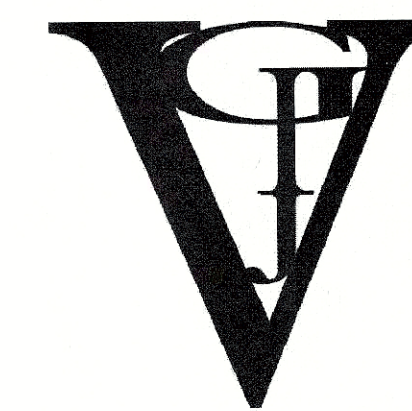
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www.blakewaycorp.com

DATE ISSUED	DATE	DESCRIPTION
06/08/18		

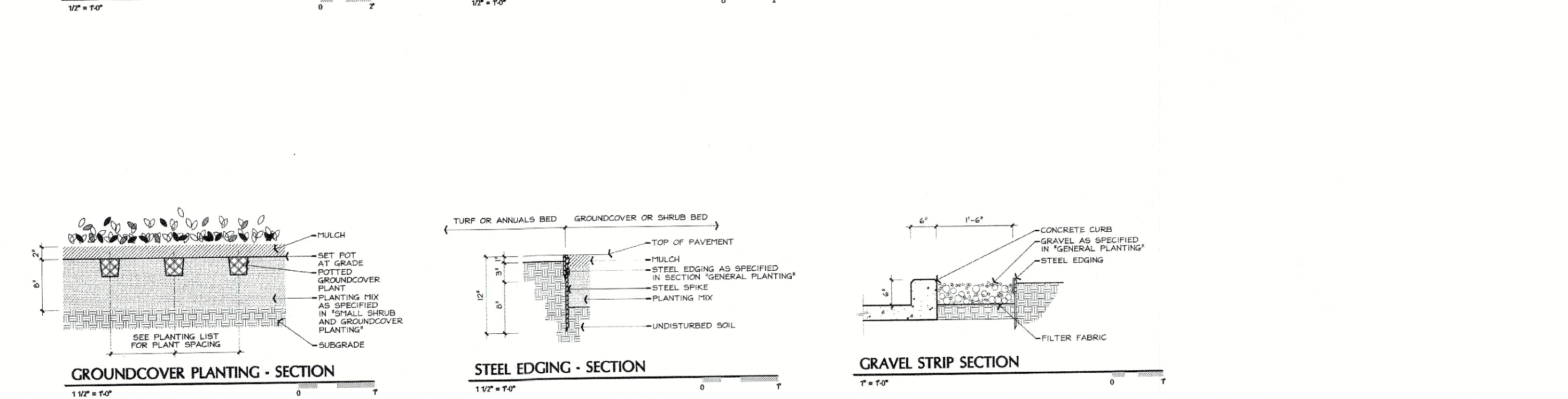
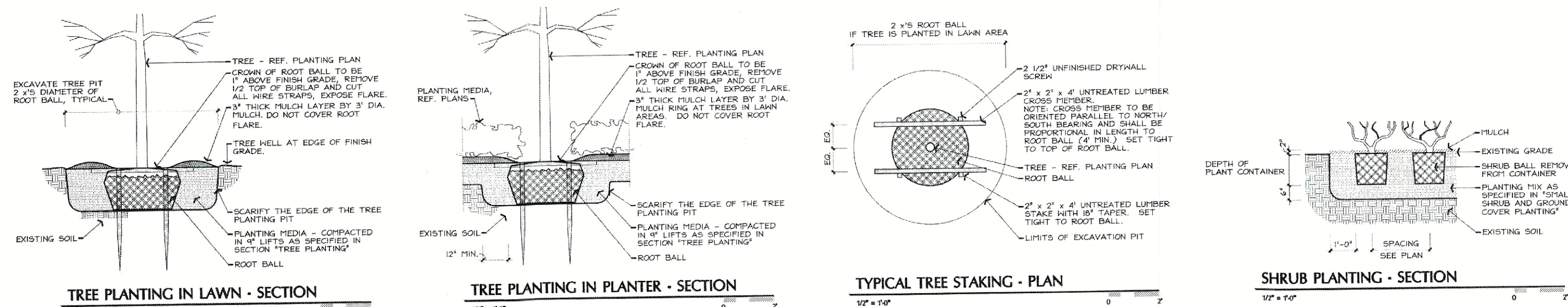
DATE ISSUED: 06/08/18
DRAWN BY: GAF
REVIEWED BY: SMB
DESIGNED BY: GAF

LOCATION: SHARPSBURG PIKE TACO BELL
SHEET TITLE: LANDSCAPE PLAN
SITE ADDRESS: The Shops at Sharpsburg Pike, Lot 3
Washington County, MD
ZONING: HI

SHEET NO. LA-8.0



G. I. Joseph Vaughn
480 Cloud View Ct
Prosper, TX 75078
t 972-827-5677



PART 1 - GENERAL

1.1 SUMMARY

A. The work under this section consists of furnishing all labor materials, equipment and services required to complete fine grading, planting, and necessary appurtenances as shown on drawings and described herein.

1.2 REFERENCES

A. American Nursery Standards Institute Z60.1, Standards for Nursery Stock, May 1986.
B. Hortus Third, 1976 - Cornell University. (Plant nomenclature)
C. National Arborist Association Standards, National Arborist Association, latest edition.
D. Federal Specification FS O-F-41 - Fertilizer, Mixed Commercial.

1.3 SUBMITTALS

A. Guarantee: Submit 3 copies of written guarantee, in the terms specified under guarantee provisions of these specifications, signed by the Contractor.
B. Samples:
1. Submit samples of each plant for Owner's Representative approval. When approved, tag and maintain as representative samples for finally installed plant materials. Samples may be used to complete installation, provided they remain tagged until final acceptance of entire installation. Samples are to be brought to the project for Owner's Representative approval.
2. Plants noted as "Specimen" on the plant schedule must be individually approved by the Owner's Representative.
3. Submit for approval sufficient representative quantities of topsoil, soil amendments, and product information on package materials and fertilizer. Owner's Representative shall approve samples before use on the project.
4. Certification: For information only, submit 2 copies of certificates of inspection as required by governmental authorities to accompany shipments. Submit manufacturer's or vendors certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.

1.4 QUALITY ASSURANCE

When authorized, adjustment of contract amount will be made.

1.5 DELIVERIES, STORAGE AND HANDLING

A. Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at the site.
B. Plant Materials: Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist as follows:
1. Set balled stock on ground and cover ball with soil, peat moss, or other acceptable material.
2. Do not remove container-grown stock from containers until planting time.
C. Damage: Protect plant material in transit and at the site. Material not properly protected and which is damaged will be rejected.

1.7 PROJECT CONDITIONS

A. Proceed with and complete the landscape work as rapidly as portions of the site become available, working within the seasonal limitations for each kind of landscape work required.
B. Cooperate with other Contractor's and trades working in and adjacent to the landscape work areas. Examine drawings, which show the development of the entire site and become familiar with the scope of other work required.
C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Owner's Representative before planting.
D. Site Utilities:
1. Determine locations of underground utilities, especially site lighting, and perform work in a manner, which will avoid possible damage. Do not permit heavy equipment such as trucks to damage utilities. Hand excavate, as required to minimize possibility of damage to underground utilities. Maintain grade stakes set by others until all parties concerned mutually agree upon removal.
2. Coordinate work with the Irrigation Contractor and Electrical Contractor to prevent damage to underground piping or conduit and similar obstruction work located in
son of growth.
B. Replace plants with same kind and sizes as originally planted, at no cost to the Owner. Provide one-year guarantee on replacement plants. At direction of Owner's Representative, plants may be replaced at start of next year's planting or digging season. In such cases, remove dead plants immediately. Protect irrigation system and any other piping, conduit or other work during re-planting. Repair any damage immediately.
C. Plants will be guaranteed to be true to species and variety or cultivar specified.
D. Guarantee excludes replacement of plants destroyed by catastrophic acts of nature.

1.9 MAINTENANCE

A. Until final acceptance, maintain all plantings and trees by watering, cultivating, weeding, controlling pests and diseases, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition. Rake bed areas as required.
1. Watering: As necessary to promote growth. Water will be available on site. Provide necessary hoses and other watering equipment required to complete work.
2. Watering Trees: Tree balls to be kept moistened to the depth of the tree ball.
3. Weeding: Remove weeds and foreign grass over plant areas at least once a week. Herbicides may be used only when approved by Owner's Representative.
4. Cultivating: Cultivate bed areas to a depth of approximately three inches twice a month. Care should be taken not to damage plant roots.
5. Mowing and Edging: Mow and edge newly planted lawns weekly when growth reaches 2 1/2 inches. Maintain at this height weekly.
B.

PART 2 - PRODUCTS

2.1 PLANTS

General: Plants shall be equal to well-formed No. 1 grade or better nursery stock, in accordance with requirements of applicable standards as noted hereafter, subject to Owner's Representative approval. The listed plant heights are from the top of the root ball to the nominal top of the plant, including roots, sunscald injuries, abrasions of the bark, plant diseases, and insect pests, their eggs and larvae.
E. Plants shall be hardy under climatic conditions similar to those in the locality of the project.
F. If the Contractor becomes aware of any condition that will adversely affect the long-term survival of any plant, the Contractor shall notify the Owner's Representative before installation of the plant(s).
G. Size: Provide trees and shrubs of the sizes shown or scheduled.
Trees and shrubs of larger size may be used if acceptable to Owner's Representative, in which case, increase size of roots or balls proportionately.
H. Ornamental and Shade Tree: Healthy, vigorous, full-branched, and well shaped, with trunk diameter and height requirements as specified. Balls shall be firm, neat, slightly tapered and well wrapped. Trees with loose or broken balls at time of planting shall be rejected. Root Balls shall be at least 10" in diameter for each 1" of caliper measured 12" above the tree ball. Containers shall be of heavy gauge plastic and wooden boxes only. Provide trees with full rounded crowns, nesting height and spread standards after pruning. No flat sided trees or trees with open areas on any side will be acceptable. Trees shall be consistently superior in form and branching, and typical of the growth habit of their species unless otherwise specified.
I. Caliper of the trunk shall be taken 6 inches above the ground up to and including 4-inch caliper size, and 12 inches above the ground for larger sizes.
J. Multi-trunk Tree: Measure multi-trunk tree caliper as follows.
Add the caliper of the largest trunk to one-half the calipers of the remaining trunks. (Example: an 8" caliper, multi-trunk could be three trunks of 5 1/4"/2" or 5 1/3"/3").
K. Shrub, Groundcover: Nursery grown, healthy, vigorous, and have normal habit of growth for the species.
L. Turf Grass Sod: Sod shall be green, actively growing, and free of weeds and foreign grasses. Soil, which is dormant, heat or drought stressed, will not be accepted. Cut sod with a minimum of 3/4 inch of soil covering the roots. Deliver to the site in 12-inch squares or 12-inch wide rolls or pallets. Do not stack more than 24 hours between time of cutting and time of delivery.
2.2 SOIL PREPARATION MATERIALS
A. Backfill is Compost.
B. Commercial Fertilizer: Complete fertilizer with an organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original unopened containers, each bearing manufacturer's guaranteed statement of analysis. Fertilizer shall contain 10% nitrogen, 10% phosphoric acid, 5% potash, unless otherwise specified or approved.
2.3 TREE STAKING MATERIALS A. 2" x 2" x 8' pine stakes.

PART 3 - EXECUTION

3.1 INSPECTION

A. Contractor must examine the sub grade upon which work is to be performed, verify sub grade elevations noted on the plans, observe the conditions under which work is to be performed, and notify the Owner's Representative of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in a manner acceptable to the Contractor and Owner's Representative.

3.2 SOIL PREPARATION

A. 1 part is Compost.
4 part select native topsoil
B. Soil is at final grade. Contractor is responsible for removing excess topsoil. Excess topsoil may be distributed on site.

3.3 TREE PLANTING

A. Location: Refer to planting plans for location of trees. Stake position of trees before pits are dug and label each position. Receive approval from Owner's Representative before proceeding.
B. General: Excavate pit. During pit excavation, if pit walls are glazed, roughen sides to allow for good bond with backfill. Center trees, with root flare at or above finish grade and with trunk plumb. Position trees and receives approval from Owner's Representative before removing burlap or backfilling. Remove top 1/3 of ball burlap immediately prior to backfilling pit (2 hour maximum) and gently roughen exposed soil around ball, being careful not to damage feeder roots.
C. Size of tree pits: Plant in tree pits twice the diameter of the root balls and no deeper. Root ball shall rest on undisturbed soil. Carefully settle by watering to prevent air pockets.
D. Do not lift trees by the trunk. Lift trees by the root ball only. If the contractor is observed lifting trees by the trunk, the tree will be rejected.

3.4 STAKING

A. Refer to planting details for placement of stakes.

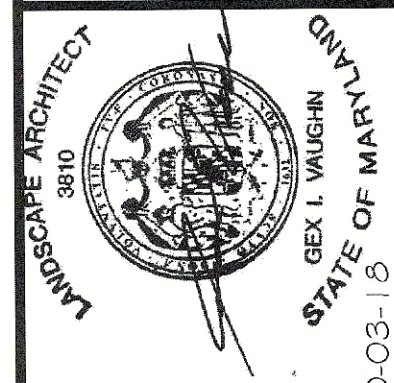
3.5 SPACING AND PLANTING SHRUBS AND GROUNDCOVER

A. Place plants in position on bed areas before containers or burlap have been removed. Obtain approval from Owner's Representative. Remove cans, remove top 1/3 burlap from balled and burlapped plants. Plant where located and approved, setting plants with root flares or surface of soil in container at or slightly above finish grade, and compact soil carefully around each plant ball. Water each plant thoroughly with hoses to eliminate air pockets. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth, even surfaces. Owner's Representative reserves the right to interchange or shift locations of plants prior to planting.

3.6 PREPARING SOIL AND FINE GRADING FOR SOD

A. Note: During hauling operations, keep walkway and roadway surfaces clean. Promptly remove sandy loam or other material.
B. After completion of construction work in the area, prepare surface of subsoil. Finish to lines shown and parallel to proposed finished grade as approved. Remove rocks and other foreign materials 1-1/2 inches or greater in any dimension.
C.

- C. Weed removal:
- If site has been freshly graded, water site for minimum two weeks to encourage weed germination and growth.
 - Area scheduled for wildflowers, native grasses and buffalo grass: Totally remove all grasses and weeds, unless directed otherwise by Owner's Representative. Apply a non-selective herbicide (e.g. Roundup or approved equal) to thoroughly exterminate existing grasses, weeds, or other vegetation (unless noted on the drawing for protection) in area scheduled to receive seeding or hydromulching for grasses or wildflowers.
 - Area scheduled for native grasses: Use a selective herbicide or post-emergent herbicide for spot application to remove dallisgrass, crabgrass, Johnson grass, nutsedge, dandelion and other noxious weeds identified in the field by Owner's Representative. If native grasses exist on the site, verify with Owner's Representative if they are to remain or to be eliminated.
 - Soil shall be loosened and pulverized to prepare an acceptable bed for sod. Pulverize soil with disc, chisel plow, tiller or other method approved by Contracting Officer, making minimum of one pass to break up clods. Do not till if soil is wet. Do not penetrate soil deeper than two inches so as not to encourage weed growth.
 - Fine grade, level and scarify with a weighted spike harrow, spike float drag, or by hand raking. Leave no depressions, ruts, soft spots or humps. Finish to lines or elevations shown and parallel to proposed finished grade, as approved. Maintain positive drainage on site. Remove rocks, clods, weeds, trash or debris from area to be sodded. Legally dispose off site.
 - If weeds should germinate prior to seeding, re-apply herbicide to eradicate weeds.
- 3.7 SOD PLANTING**
- A. Preparing soil: Remove rocks, weeds, and debris from area to be sodded. Work up soil to a depth of 4 inches, and break up all clods. Prepare soil for all areas as noted elsewhere in specifications.
B. Grading and Rolling: Carefully smooth all surfaces to be sodded.
Roll area to expose soil depressions or surface irregularities.
C. Fertilizing: Spread Turf Fertilizer (10-20-10) onto the soil evenly at the rate of ten pounds per 1,000 square feet of lawn area. Rake in lightly. Be sure soil is level and smooth before laying sod. Avoid laying sod on dry soil.
D. Laying Sod: Lay first strip of sod slabs along a straight line (use a string in irregular areas). Butt joints tightly, do not overlap edge-on second strip stagger joints such as in laying bricks. Use a sharp knife to cut sod to fit curves, edges, and sprinkler heads. Lay smooth. Align with adjoining grass areas. Place top elevation of sod 1/2 inch below adjoining edging, paving, and curbs. On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at maximum 2 feet on center. Drive pegs flush with soil portion of sod. Prior to placing sod, on slopes exceeding 8 inches per foot or where indicated, place wire mesh over topsoil. Securely anchor in place with wood pegs sunk firmly into the ground.
E. Watering: Do not lay whole lawn before watering. When a conveniently large area has been sodded, water lightly preventing drying. Continue to lay sod and water until installation is complete.
F. Rolling Sod: After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Avoid a very heavy roller or excessive initial watering which may cause roller marks.
G. Replacement: Replace any areas of grass not showing sufficient growth at the end of three weeks per the original method of application at any additional cost to the Owner.
H. Watering: Continue irrigation regularly to keep soil evenly moist until active growth resumes.
I. The Subcontractor shall be responsible for one top dressing of the entire field using approximately one-quarter (1/4) inch of the same sand used in construction of the sand fill for the field. A light steel mat shall be used to drag the entire field of uniformly distributed top dressing.
J. The Subcontractor and the Owner's representative shall inspect all sod at the end of each workday. Unacceptable sod shall be removed immediately and replaced the next day. The preliminary acceptance does not guarantee final acceptance at completion of the project. Prior to final acceptance, all sod shall be checked for live nematodes. Infested sod shall be removed and replaced immediately.
- 3.8 MULCHING**
- A. After work of planting has been completed and approved by Owner's Representative, mulch soil in and around tree pit with 2" of shredded hardwood mulch, lightly cultivated into area. Do not disturb watering saucer, and do not cover root flare. Delay this operation until near final inspection.
- 3.9 CLEAN UP**
- A. During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds or rocks from planting areas, preparing beds, or planting plants, from site daily as work progresses. Keep walk and driveway areas clean by sweeping or hosing.
- 3.10 ACCEPTANCE**
- A. When the above requirements of the specifications have been fulfilled, the Contractor will request Final Acceptance of the work. Areas that are not acceptable at this time shall continue under the Contractor's maintenance until the Owner's Representative gives Final Acceptance. Following is a listing of items required for the final acceptance of the project:
1. Warranty letter.
2. As-builts.
3. Source of plant material.
B. Refer to individual Sections 02911 - 02940 for specific installation requirements.
- 3.11 PROTECTION**
- A. All items required to complete this contract remain the property and responsibility of the Contractor until final acceptance. Take adequate precautions to protect all work and materials against damage. Cooperate fully with other trades to insure a satisfactory completion.



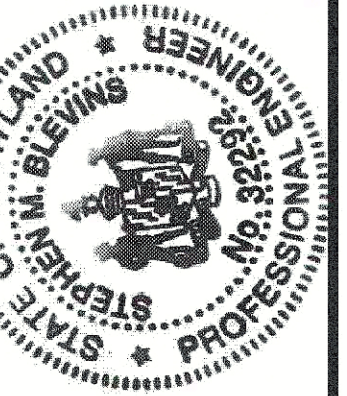
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DATE ISSUED 08/08/16	DRAWN BY GAF	REVIEWED BY SMB	DESIGNED BY GAF
LOCATION SHARPSBURG PIKE TACO BELL			
SHEET TITLE LANDSCAPE DETAILS			
ZONING HI			
SITE ADDRESS The Shops at Sharpsburg Pike, Lot 3 Washington County, MD			

LA-8.1



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DATE ISSUED	REVISION PER COUNTY COMMENTS	DATE	DESCRIPTION
06/08/18	REVISED PER WSCD COMMENTS		
10/23/2018	REVISED PER WSCD COMMENTS		
07/13/2019	REVISED PER WSCD COMMENTS		

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SHARPSBURG PIKE

DETECTABLE WARNING SURFACES

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

STANDARD NO. MD 655.40

NOTES

- THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 TO 8 INCHES FROM THE FACE OF CURB.
- FOR SKEWED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 2'-0" AND NO MORE THAN 3'-0" FROM THE BACK OF CURB. TRANSITION ZONE SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
- DETECTABLE WARNING SURFACES SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
- DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING & STABILIZED INTERSECTIONS.

APPROVED: [Signature]

MD 655.40

SIDEWALK RAMPS PARALLEL

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

STANDARD NO. MD 655.12

NOTES

- TO BE USED WHERE SIDEWALK IS ADJACENT TO THE CURB. THIS STANDARD MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
- WHERE 60" SIDEWALK CAN NOT BE PROVIDED, A DESIGN WAIVER MUST BE REQUESTED.
- NO TRAVERSABLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 1:21 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 40:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL. THE CROSS-SLOPE OF THE LANDING AREA CANNOT EXCEED GRADE OF ROADWAY.
- EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. MD-655.01.
- SIDEWALK RAMPS TO BE SHOWN ON PLANS SYMBOLICALLY AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE. SEPARATE DETAILS SHALL BE SHOWN WHERE PROPOSED RAMP VARIES FROM STANDARD CASES.
- TRANSITION PANELS TO TIE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.

APPROVED: [Signature]

MD 655.12

PRECAST CONCRETE WHEEL STOPS

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

STANDARD NO. MD 634.04

NOTE C

- PRECAST CONCRETE WHEEL STOPS SHALL BE LOCATED AS SHOWN ON THE PLANS, THEN SECURED IN PLACE WITH TWO (2) NO. 7 REINFORCEMENT BARS PER WHEEL STOP.
- COST OF THE REINFORCEMENT BARS WILL BE INCIDENTAL TO THE CONTRACT UNIT PRICE BID PER EACH FOR THE WHEEL STOPS.

APPROVED: [Signature]

MD 634.04

CONCRETE CURB AND COMBINATION CONCRETE CURB & GUTTER

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

STANDARD NO. MD 620.02-01

NOTES

- SLOPE GUTTER PAN 1/4" PER FOOT TOWARD FLOW LINE ON ALL ROADWAYS INCLUDING SUPERELEVATED SECTIONS, EXCEPT INTERCHANGE RAMPS.
- ROADWAY PAVEMENT SLOPE.
- ROADWAY PAVEMENT CONSTRUCTION JOINT.
- PROVIDE LONGITUDINAL TIE DEVICE "J" BAR MODIFIED, REFER TO STANDARD NO MD 572-61.
- FLOW LINE.

APPROVED: [Signature]

MD 620.02-01

ACCESSIBLE PARKING

NOT TO SCALE

NOTES:

PARKING STALL DIMENSIONS TO BE IN ACCORDANCE WITH A.D.A. OR APPROPRIATE GOVERNING AUTHORITY'S STANDARDS, WHICHEVER IS MORE RESTRICTIVE. SEE DETAIL THIS SHEET FOR ADDITIONAL STRIPING INFORMATION.

NATIONAL STANDARD HANDICAP SYMBOL (TYP) PAINTED ON PAVEMENT. SEE DETAIL THIS SHEET.

4" WIDE PAINTED STRIPES 24" O.C. @ 45° TO PARKING STRIPES

APPROVED: [Signature]

VAN ACCESSIBLE HANDICAP SIGN DETAIL

NOT TO SCALE

NOTES:

MAY BE PLACED ON ONE BLANK, ADJUSTING THE REQUIRED HEIGHT TO ACCOMMODATE THE ADDITIONAL LINES

7.0' MAX

4.0' MIN

APPROVED: [Signature]

TYPICAL SIDEWALK AT BUILDING DETAIL

NOT TO SCALE

NOTES:

SEE ARCHITECTURAL PLANS FOR CONNECTION DETAILS AT BUILDING

APPROVED: [Signature]

SIDEWALK RAMPS PERPENDICULAR

STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

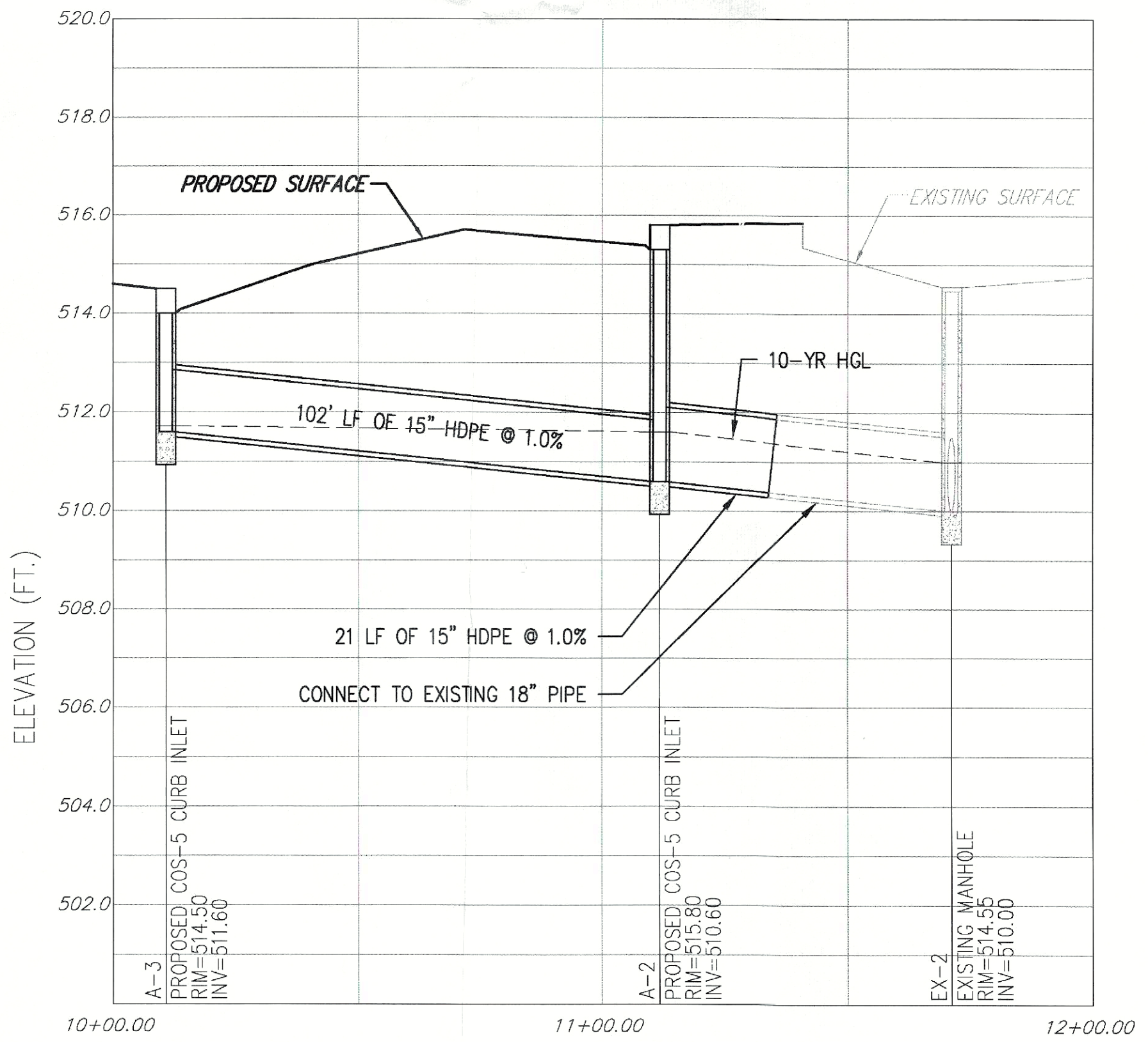
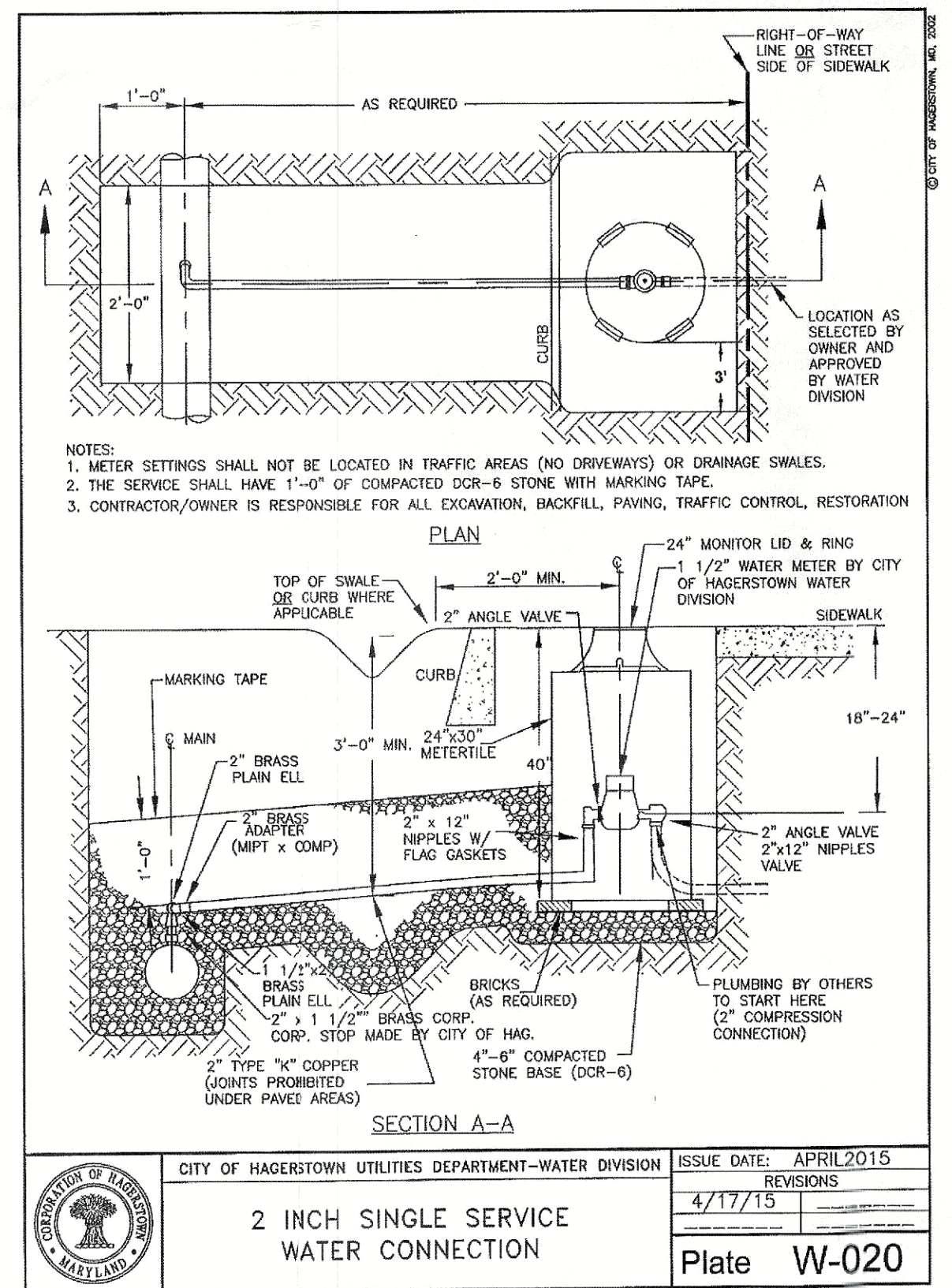
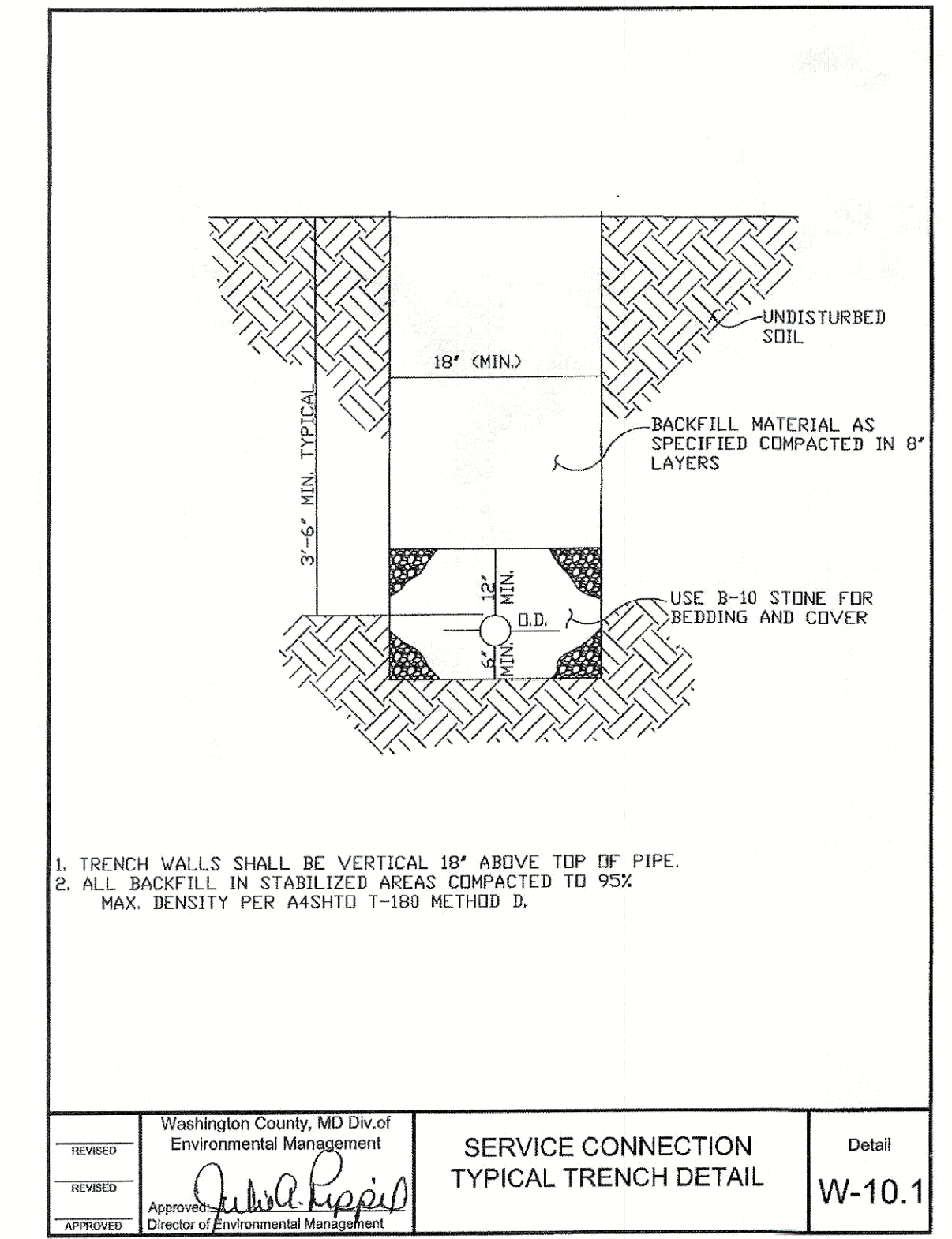
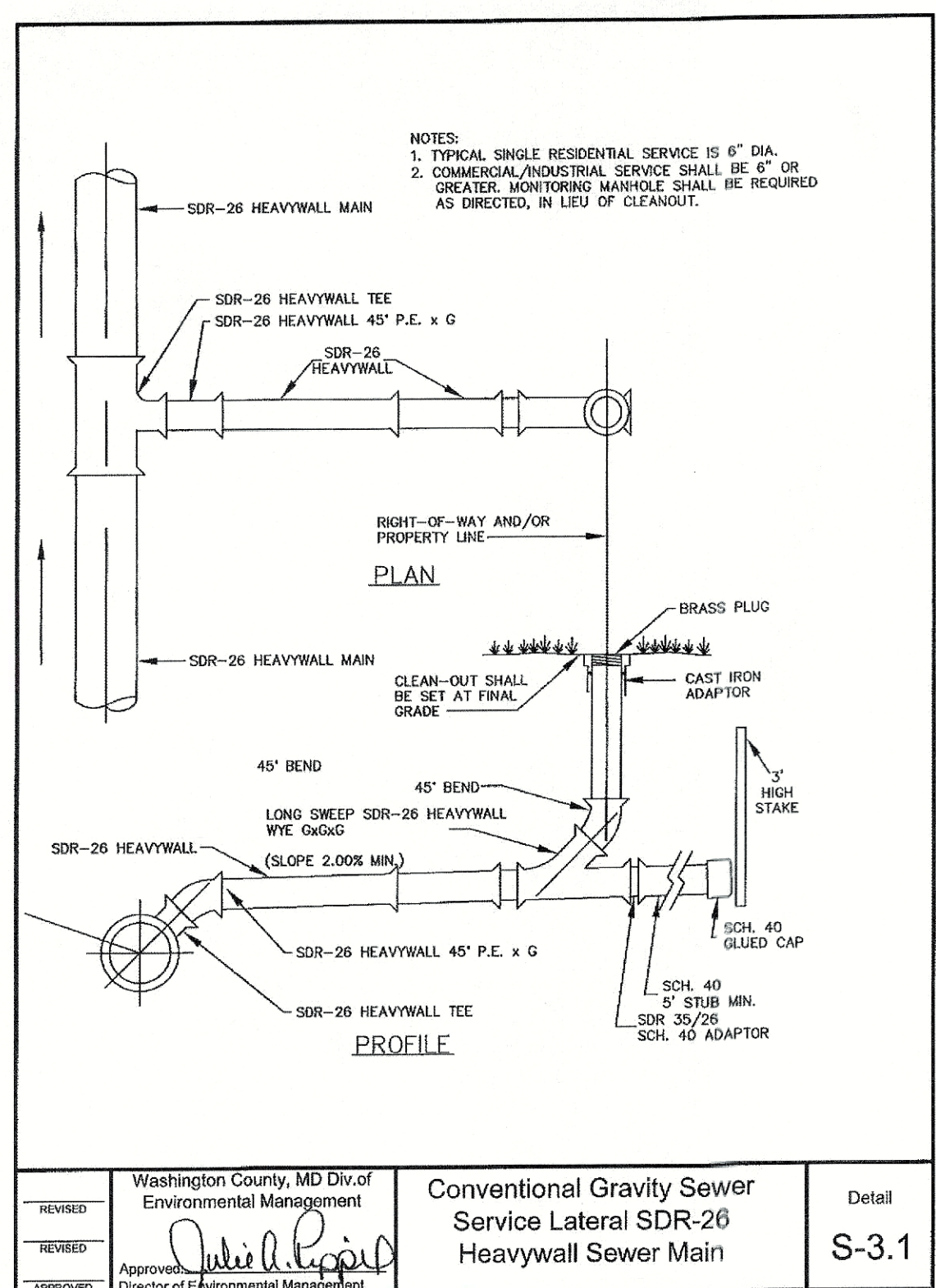
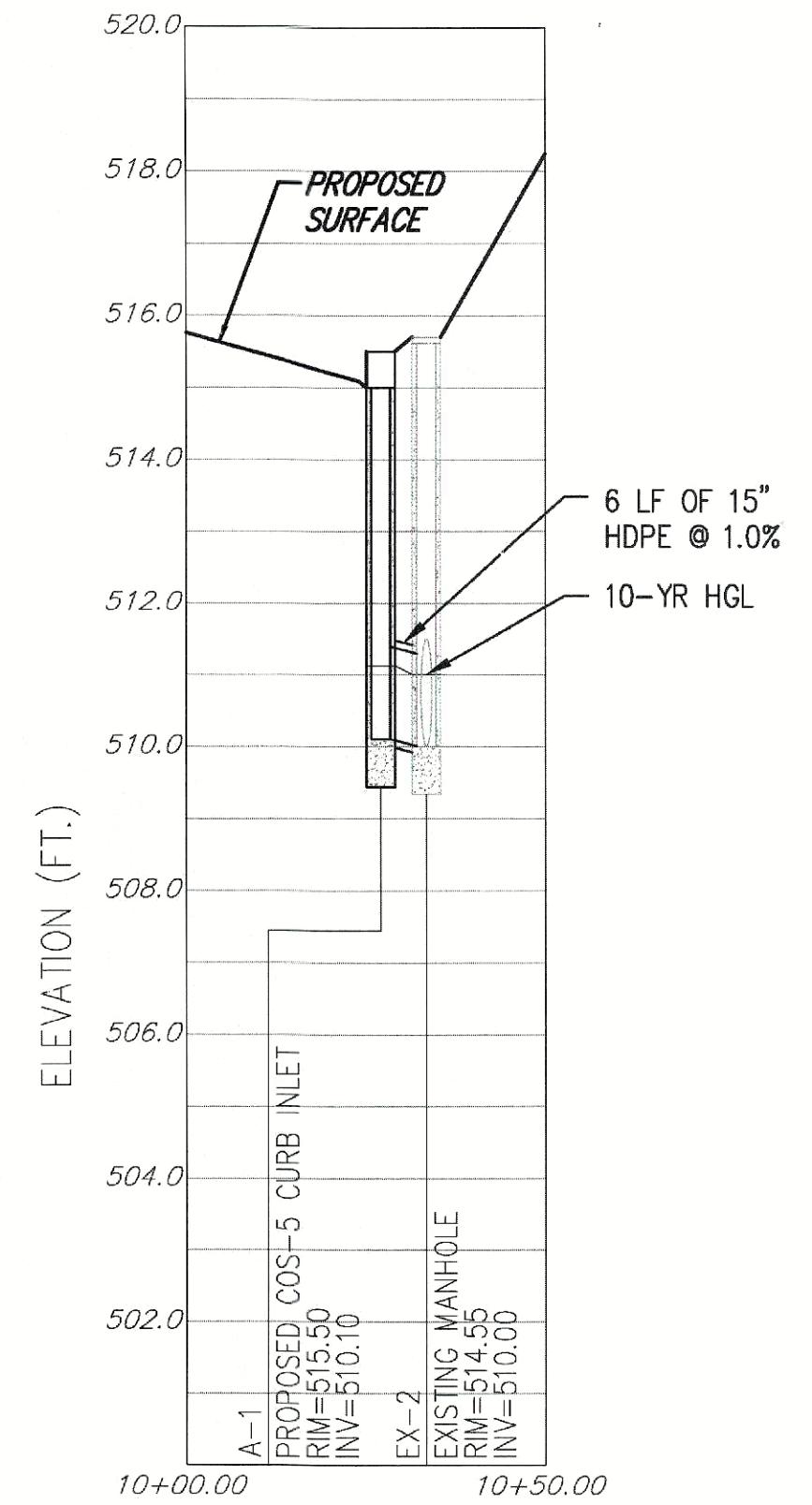
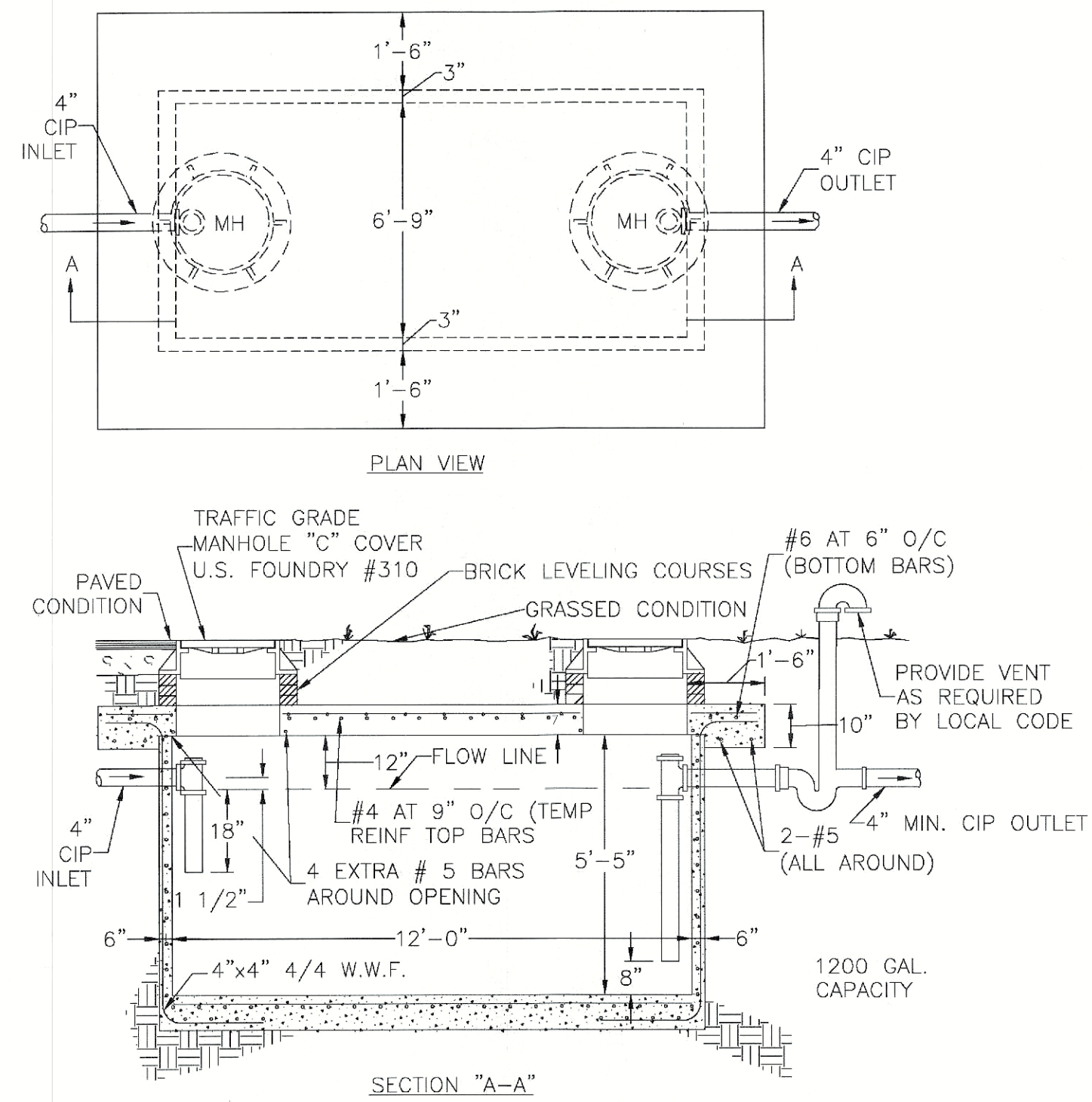
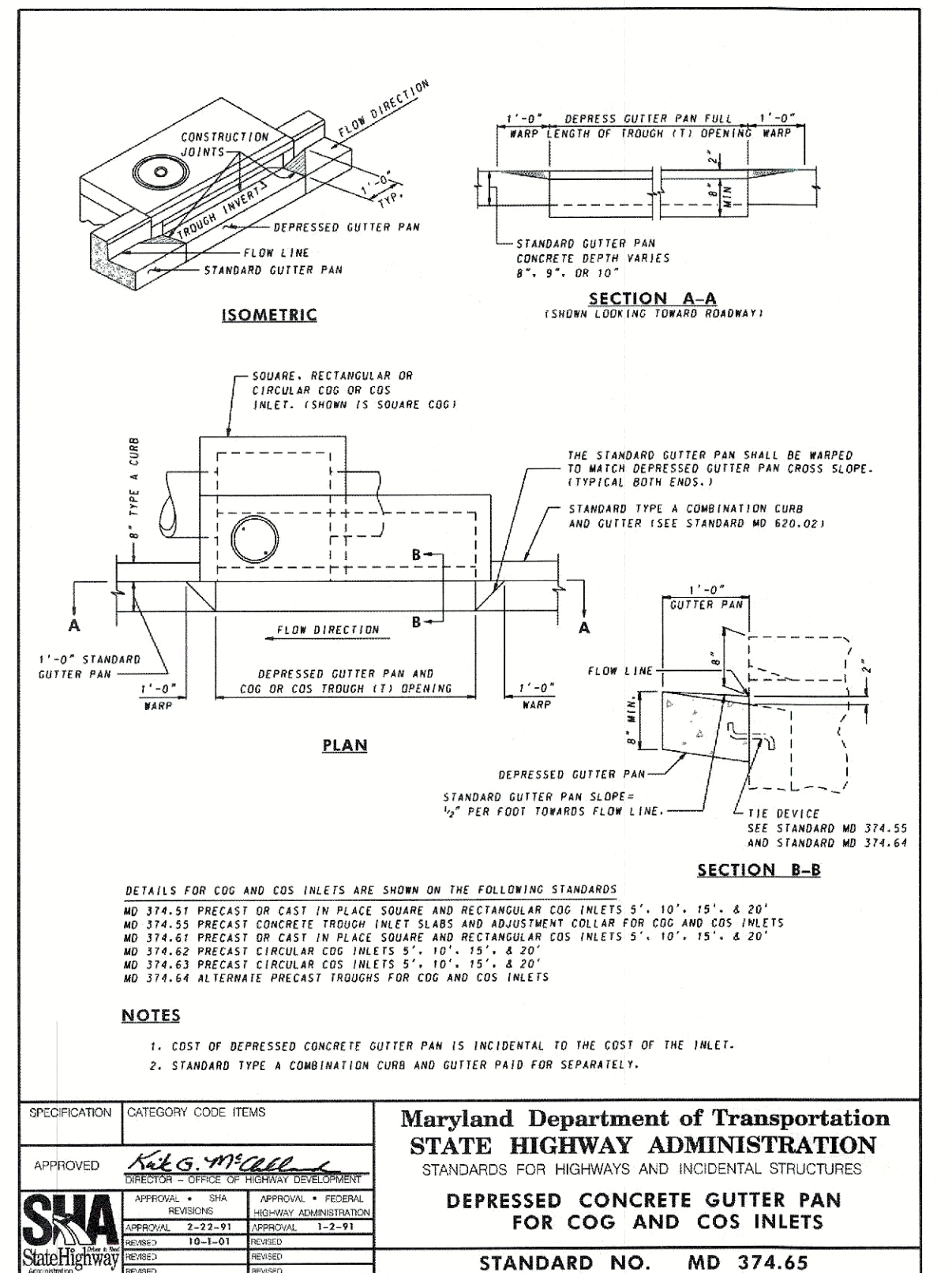
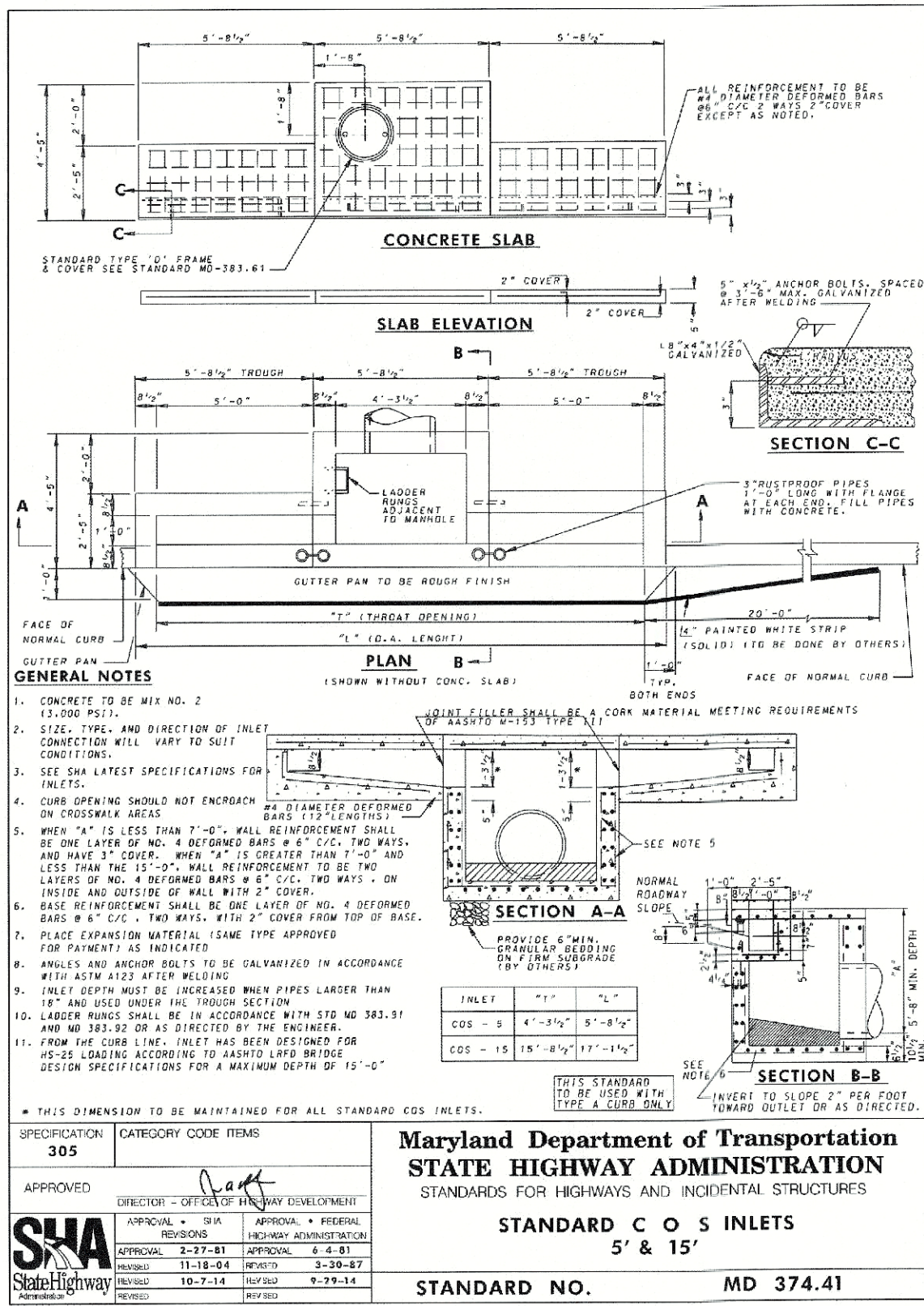
STANDARD NO. MD 655.11

NOTES

- TO BE USED ON WIDE SIDEWALKS OR SIDEWALKS WITH SIGNIFICANT SEPARATION FROM THE ROADWAY WHERE THE GEOMETRY SPECIFIED IN THE DETAILS ABOVE CAN BE SATISFIED. MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
- WHERE 60" SIDEWALK CAN NOT BE PROVIDED, A DESIGN WAIVER MUST BE REQUESTED.
- NO TRAVERSABLE SLOPE ON THE RAMP OR SIDEWALK SHALL EXCEED 1:21 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 40:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
- EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. MD-655.01.
- SIDEWALK RAMPS TO BE SHOWN ON PLANS SYMBOLICALLY AND REFERENCED WITH THE CENTER OF THE RAMP ALIGNED TO A STATION ON THE CONSTRUCTION CENTERLINE. SEPARATE DETAILS SHALL BE SHOWN WHERE PROPOSED RAMP VARIES FROM STANDARD CASES.
- TRANSITION PANELS TO TIE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.

APPROVED: [Signature]

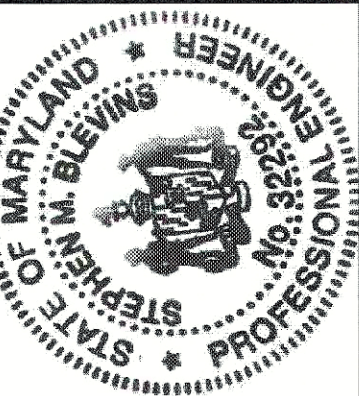
MD 655.11



REVISION	Washington County, MD Div of Environmental Management	Conventional Gravity Sewer Service Lateral SDR-26 Heavywall Sewer Main	Detail
REVISION	Approved: <i>William Pappas</i>		S-3.1
APPROVED	Director of Environmental Management		

REVISION	Washington County, MD Div of Environmental Management	SERVICE CONNECTION TYPICAL TRENCH DETAIL	Detail
REVISION	Approved: <i>William Pappas</i>		W-10.1
APPROVED	Director of Environmental Management		

REVISION	CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION	2 INCH SINGLE SERVICE WATER CONNECTION	Detail
REVISION	ISSUE DATE: APRIL 2015		Plate W-020
REVISION	4/17/15		

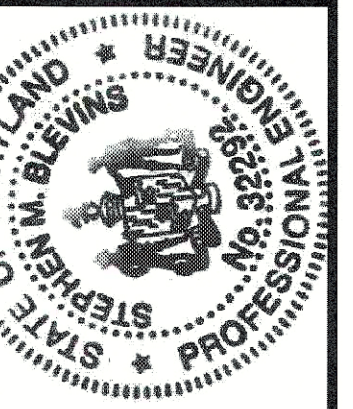


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surveying + engineering + environmental

630 N. WITCHAMUCK RD. - VA. BEACH, VIRGINIA 23462
P757.228.0081 - F757.228.8785
www.blakewaycorp.com

DATE ISSUED	REVISION	REVISION PER COUNTY COMMENTS	REVISION PER WISD COMMENTS	REVISION PER WISD COMMENTS	DATE	DESCRIPTION
06/08/18	1					
09/14/2018	2					
10/23/2018	3					
02/13/2019	4					
02/13/2019	5					
02/13/2019	6					
02/13/2019	7					
02/13/2019	8					
02/13/2019	9					
02/13/2019	10					
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02/13/2019	99					
02/13/2019	100					

CDT-9.1
DETAILS



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 P 757 226 0081 F 757 226 8765
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DATE ISSUED	REVIEWED PER COUNTY COMMENTS	REVISION	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WISD COMMENTS	1	
02/13/2019	REVISED PER WISD COMMENTS	2	

DATE ISSUED	REVIEWED PER COUNTY COMMENTS	REVISION	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WISD COMMENTS	1	
02/13/2019	REVISED PER WISD COMMENTS	2	

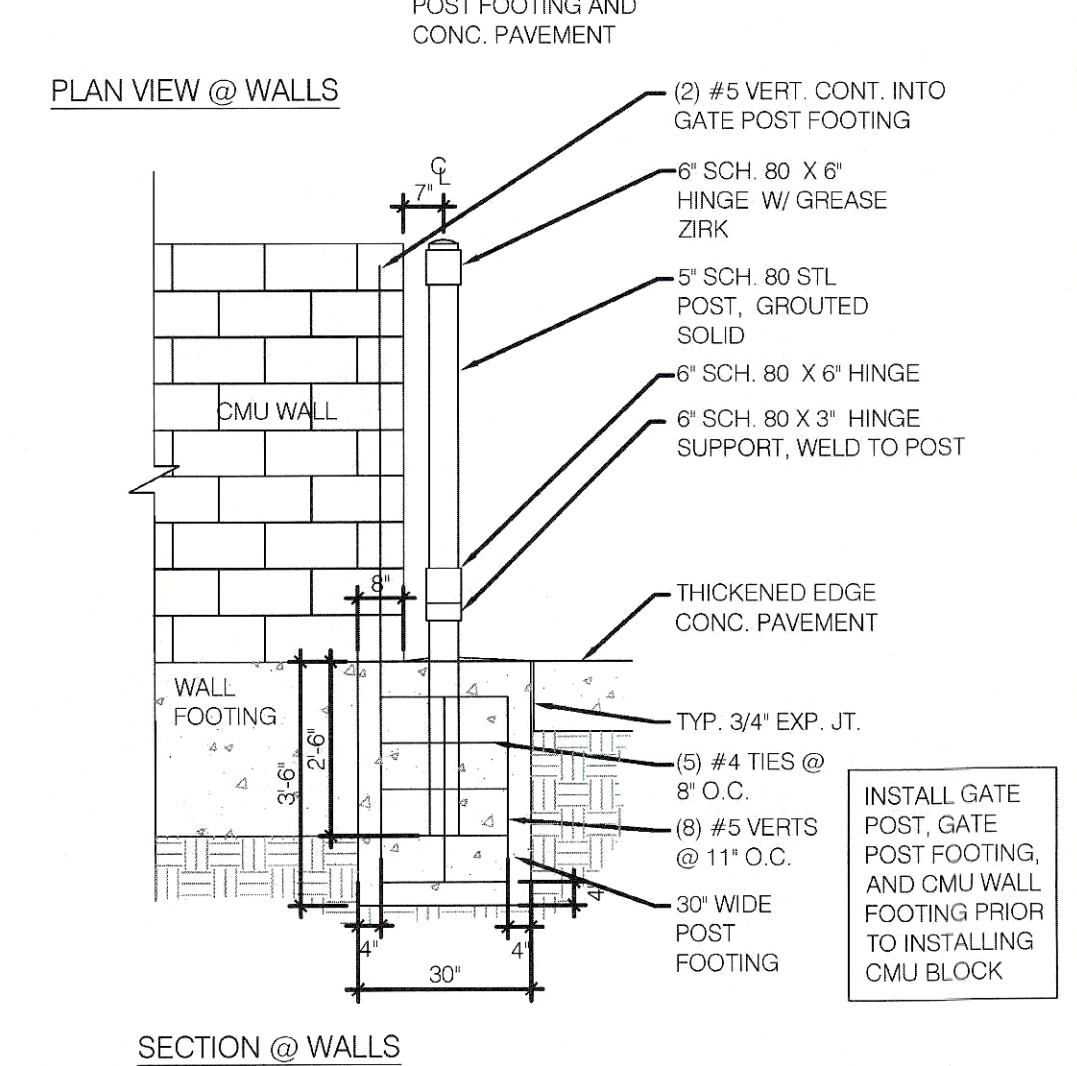
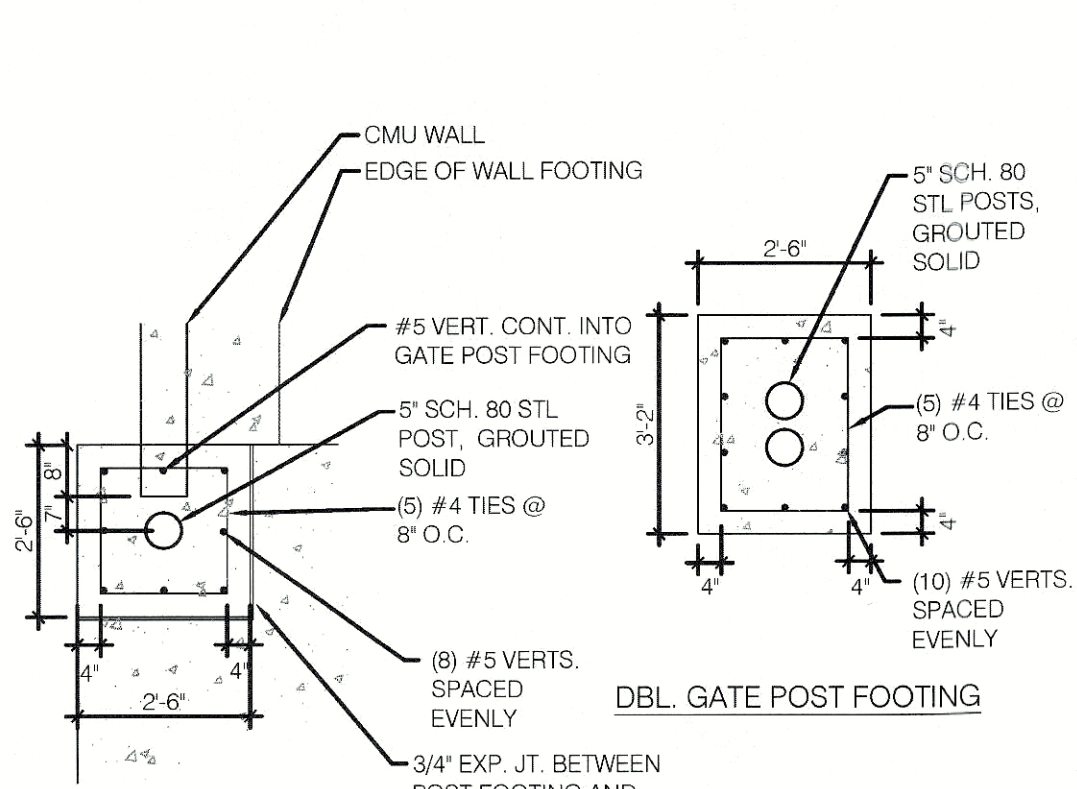
DATE ISSUED	REVIEWED PER COUNTY COMMENTS	REVISION	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WISD COMMENTS	1	
02/13/2019	REVISED PER WISD COMMENTS	2	

DATE ISSUED	REVIEWED PER COUNTY COMMENTS	REVISION	DESCRIPTION
06/08/18			
10/23/2018	REVISED PER WISD COMMENTS	1	
02/13/2019	REVISED PER WISD COMMENTS	2	

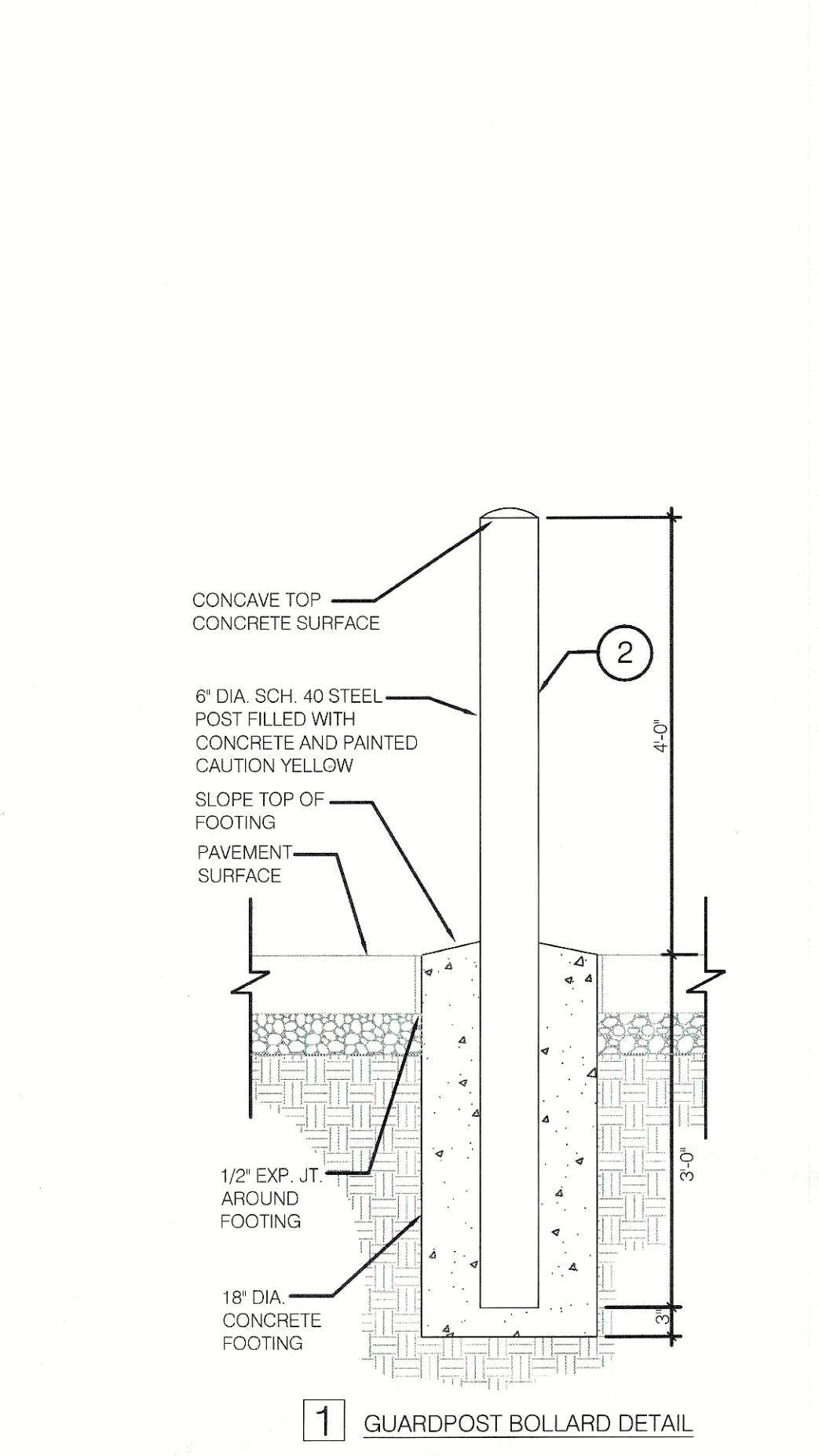
SHARPSBURG PIKE TACO BELL
 MISCELLANEOUS DETAILS
 SITE ADDRESS: 10425 Sharpsburg Pike, Washington County, MD
 ZONING: HI
 SHEET NO. CDT-9.2
 DETAILS

SHARPSBURG PIKE

SHARPSBURG PIKE



GATE POST FOOTINGS N.T.S. F

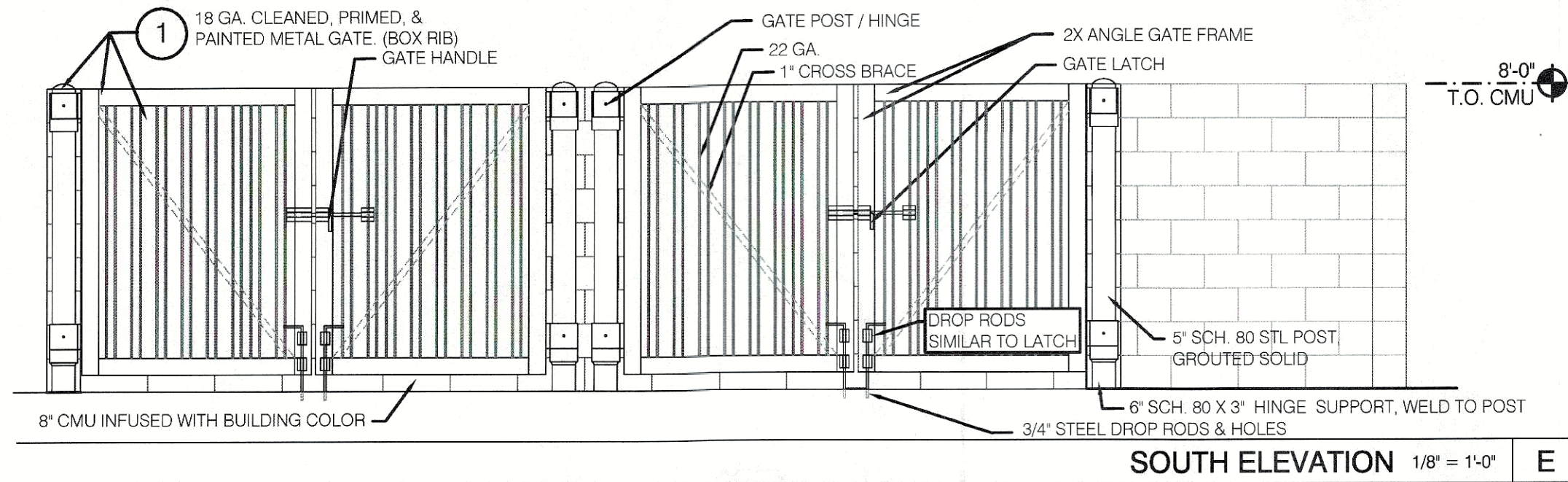


BOLLARD DETAILS 1/4" = 1'-0" B

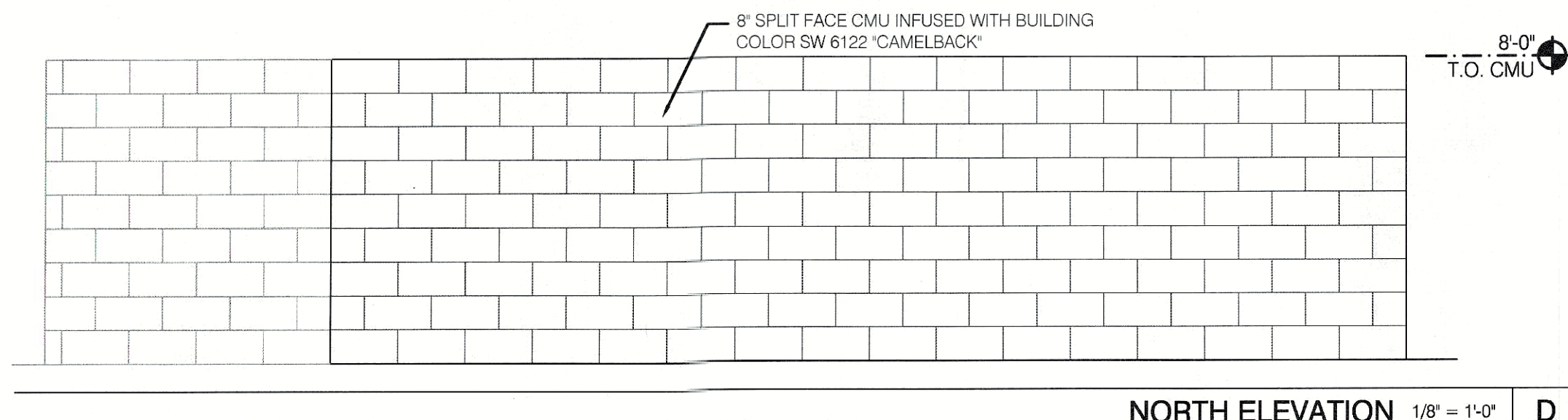
GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
GATE NOTES: (4) EQUAL WIDE X 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH. ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE COLOR	SHERWIN WILLIAMS	SW 6146 "UMBER"
2	ACCENT COLOR	SHERWIN WILLIAMS	SW 6122 "CAMELBACK"
3	PIPE BOLLARDS	SHERWIN WILLIAMS	TB PURPLE DTM

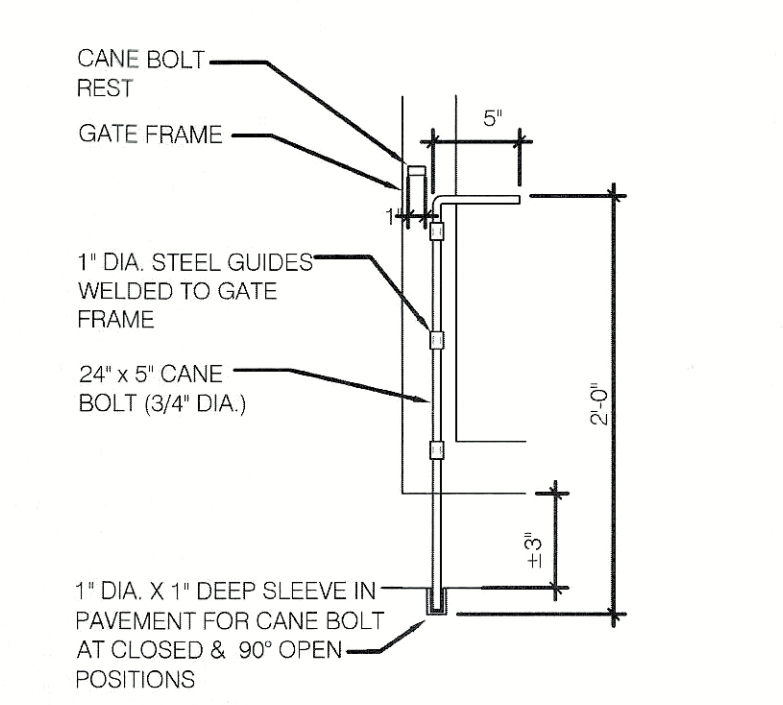
SCHEDULE N.T.S. G



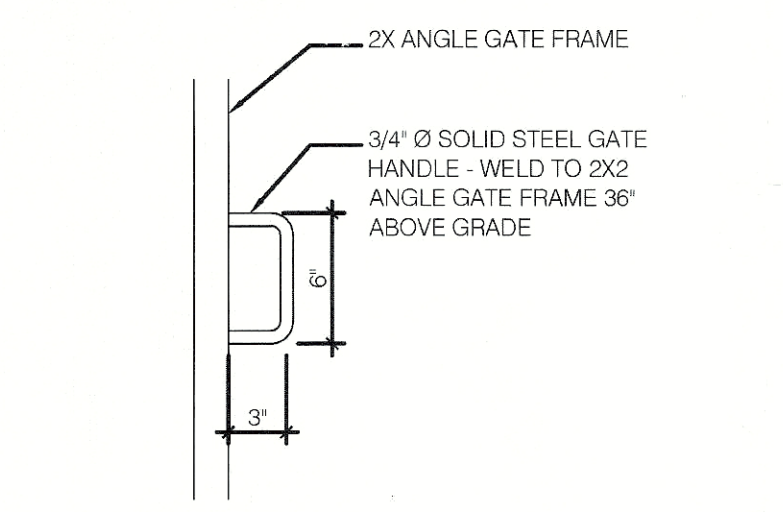
SOUTH ELEVATION 1/8" = 1'-0" E



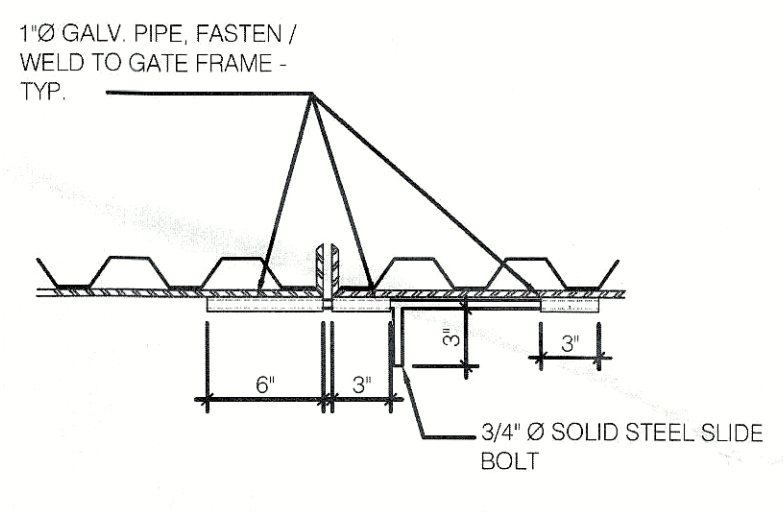
NORTH ELEVATION 1/8" = 1'-0" D



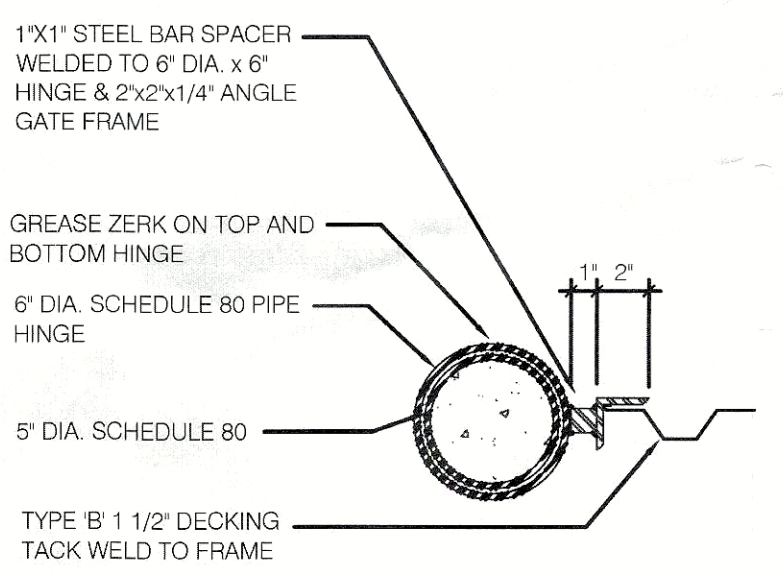
5 CANE BOLT (1 PER GATE)



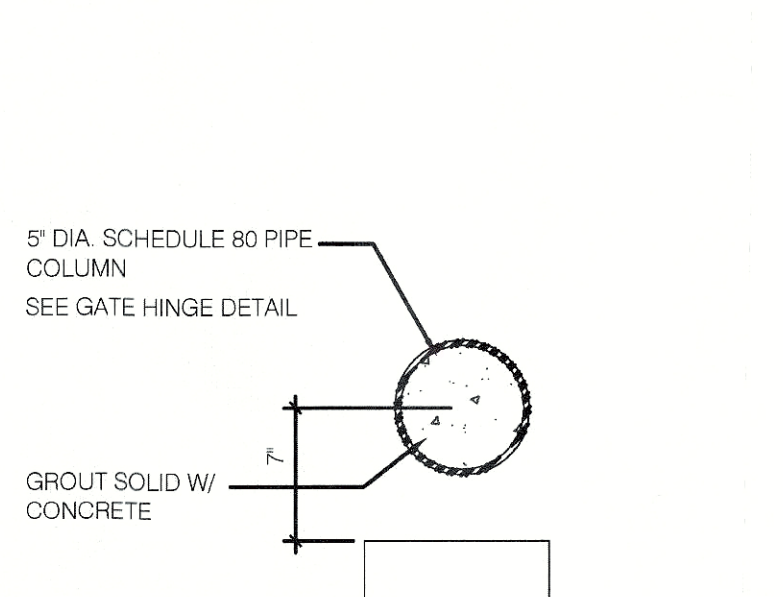
4 GATE HANDLE



3 GATE LATCH

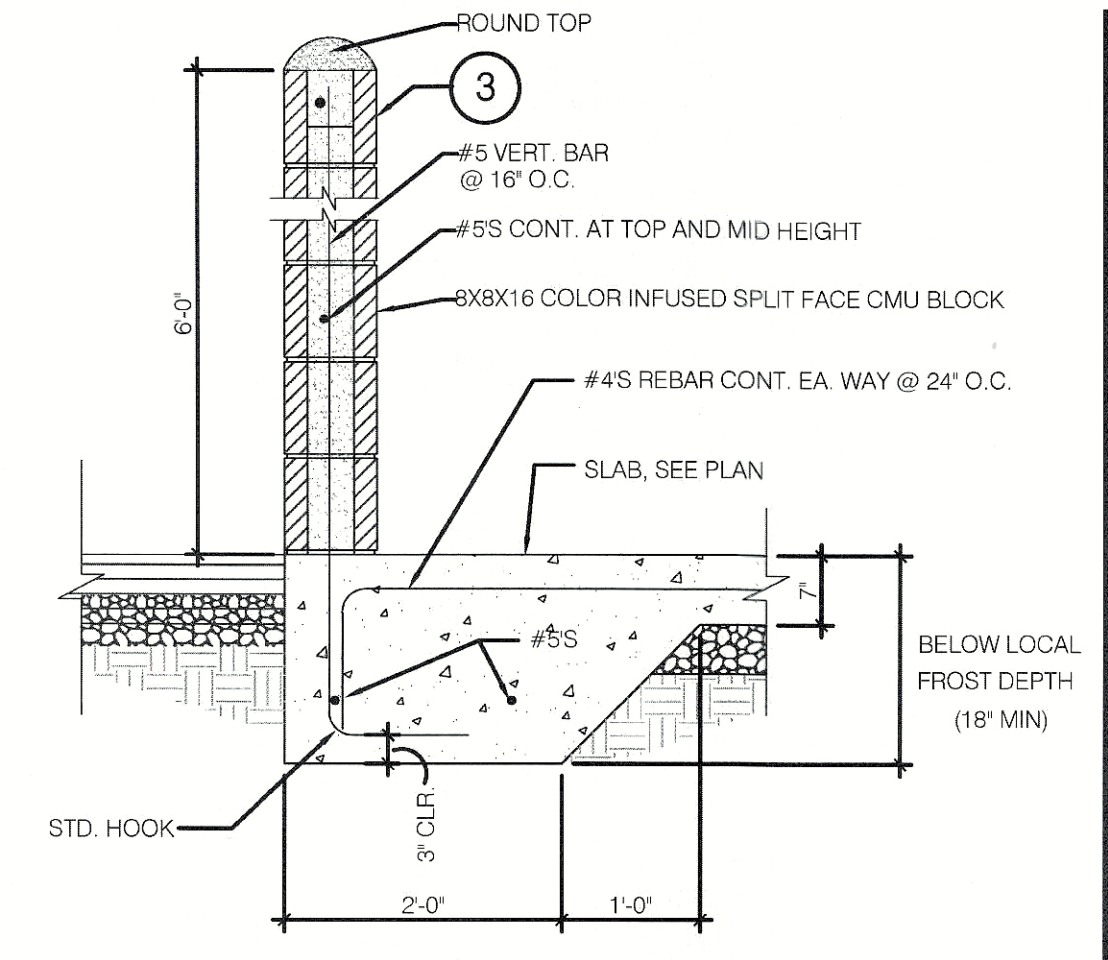


2 GATE HINGE DETAIL

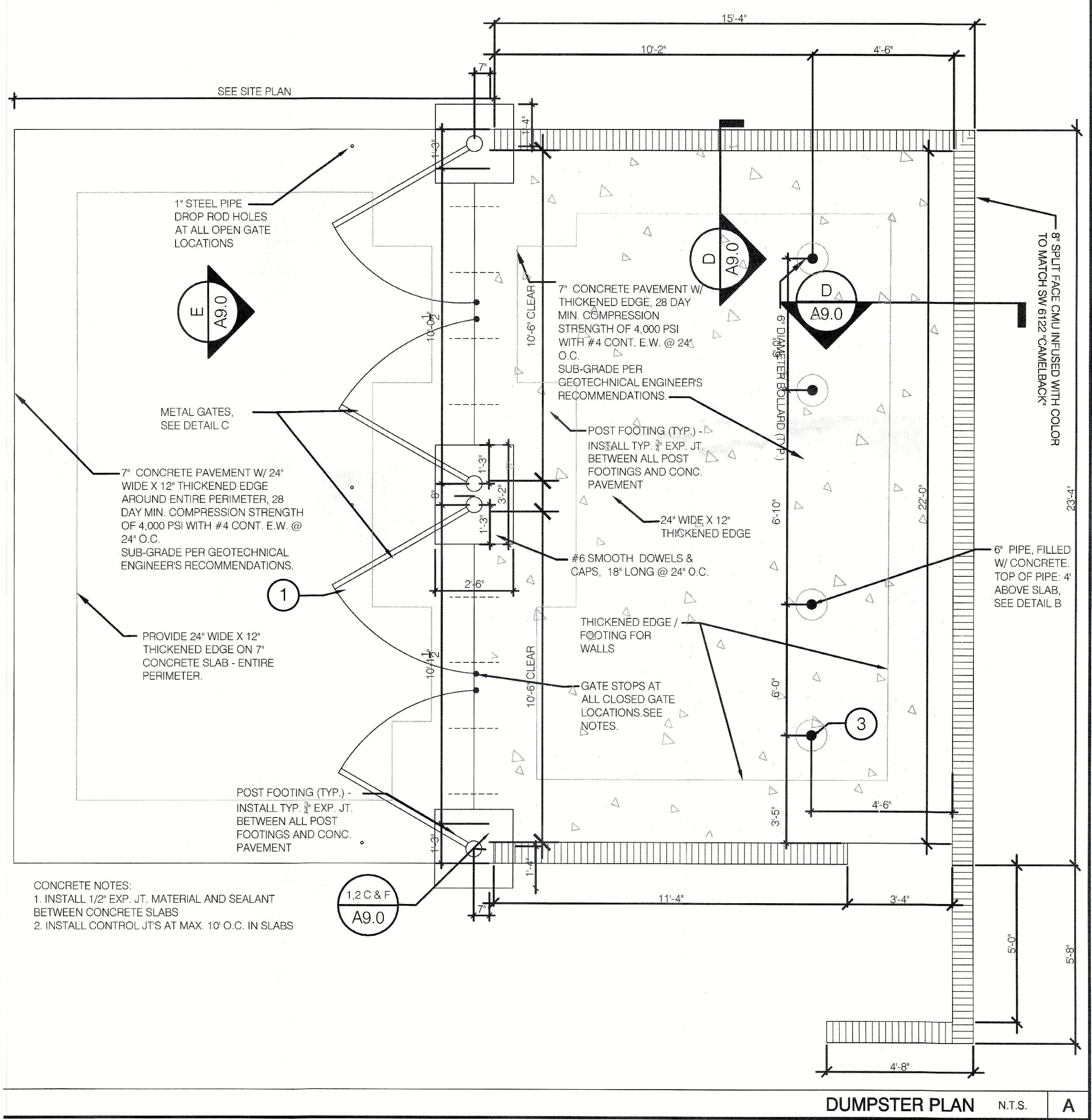


1 JAMB DETAIL

GATE DETAILS VARIES C



CMU WALL SECTION N.T.S. D



DUMPSTER PLAN N.T.S. A

FILE NAME: P:\6209--BurgerBusters\6209.01--Hagerstown\Cad\13-CDT-9.2.dwg LAYOUT NAME: Layout1 PLOTTED: Tuesday, March 05, 2019 - 11:37am

SITE PLAN FOR THE MENNONITE SCHOOL

PRESENTED IS A SITE PLAN FOR THE MENNONITE SCHOOL.

THE SUBJECT IS SITE IS LOCATED ALONG THE SOUTHWEST SIDE OF CEARFOSS PIKE AND NORTH OF FAIRVIEW ROAD. ZONING IS AGRICULTURE RURAL.

THE OWNERS ARE PROPOSING TO CONSTRUCT A 20,428 SQUARE FOOT SCHOOL ON THEIR 15.0 ACRE PARCEL. PROPOSED BUILDING HEIGHT IS 20 FEET. IT WILL BE A PRIVATE SCHOOL WITH KINDERGARTEN THROUGH GRADE 12. THERE WILL BE A 150 STUDENT MAXIMUM CAPACITY. THIS NEW SCHOOL WILL REPLACE THE EXISTING SCHOOL THAT IS NOW LOCATED AT HUYETTS CROSSROADS (NEAR SHEETZ AND WACAHU GRANGE).

ONE ACCESS WILL BE OFF OF THE CEARFOSS PIKE. A DECEL LANE IS PROPOSED FOR THE NORTH SIDE OF THE ACCESS.

PUBLIC WATER AND INDIVIDUAL SEPTIC WILL SERVE THE SCHOOL.

HOURS OF OPERATION WILL BE MONDAY THROUGH FRIDAY 7:00 AM TO 5:00 PM.

THERE WILL BE 10 EMPLOYEES.

PARKING SPACES REQUIRED IS 30. THERE WILL BE 70 SPACES PROVIDED.

THERE WILL BE ONE DELIVERY PER WEEK.

LIGHTING WILL BE BUILDING MOUNTED AND POLE MOUNTED THROUGHOUT THE PARKING LOT. A PROPOSED LOADING ZONE WILL BE LOCATED IN FRONT OF THE SCHOOL. THIS WILL PROVIDE AN AREA FOR BOTH FIRE TRUCKS AND ACCESS FOR CARS IF NEEDED.

SIGNAGE WILL BE BUILDING MOUNTED.

LANDSCAPING WILL BE PROVIDED AROUND THE SCHOOL, IN PARKING LOT AND THE BIORETENTION POND.

FORESTATION REQUIREMENTS WILL BE MET BY RETAINING EXISTING FOREST OFFSITE ON LANDS OF ANDREW MICHAEL. THE PLANNING COMMISSION REVIEWED THIS PLAN AT ITS MARCH MEETING.



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Mennonite School
NUMBER.....: SP-19-006

OWNER.....: MICHAEL ANDREW J IV
LOCATION.....: Suth side of the Cearfoss Pike and north of Fairview Road
DESCRIPTION.....: Proposed private school

ZONING.....: Agricultural, Rural
COMP PLAN LU.....: Agriculture
PARCEL.....: 13034893
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 13

TYPE.....: Institutional
GROSS ACRES.....: 15.00
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: January 25, 2019

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: Yes
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



Washington County
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
1.83		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	n/a	Inside trash can
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
No	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
70		
Parking Spaces - Minimum Required	Recreational Parking Provided	
30	No	

ACCESS SPACING VARIANCE NEEDED: No

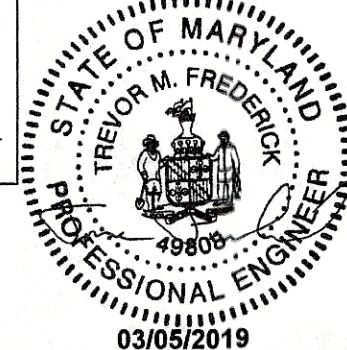
	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Maugansville	Clear Spring	Clear Spring
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	MAUGANSVILLE
AMBULANCE DISTRICT.....:	MAUGANSVILLE

	<i>WATER & SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	Well	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

Approvals

MD-ENG-6A 1189 UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777	USDA SCS OWNER / DEVELOPERS CERTIFICATION "I/we certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." DATE _____ PRINTED NAME _____ SIGNATURE _____
DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY _____ ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY _____ CU. YDS. OF EXCAVATION AND APPROXIMATELY _____ CU. YDS. OF FILL.	OWNER / DEVELOPERS CERTIFICATION "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." DATE _____ PRINTED NAME _____ SIGNATURE _____
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)	ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control. 3-5-2019 49808 <i>Tom Seibert</i> DATE REG. NO. SIGNATURE
APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING SIGNATURE _____ DATE _____ SEAL _____	ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant." SIGNATURE _____ DATE _____ SEAL _____



SITE PLAN

for

Mennonite School

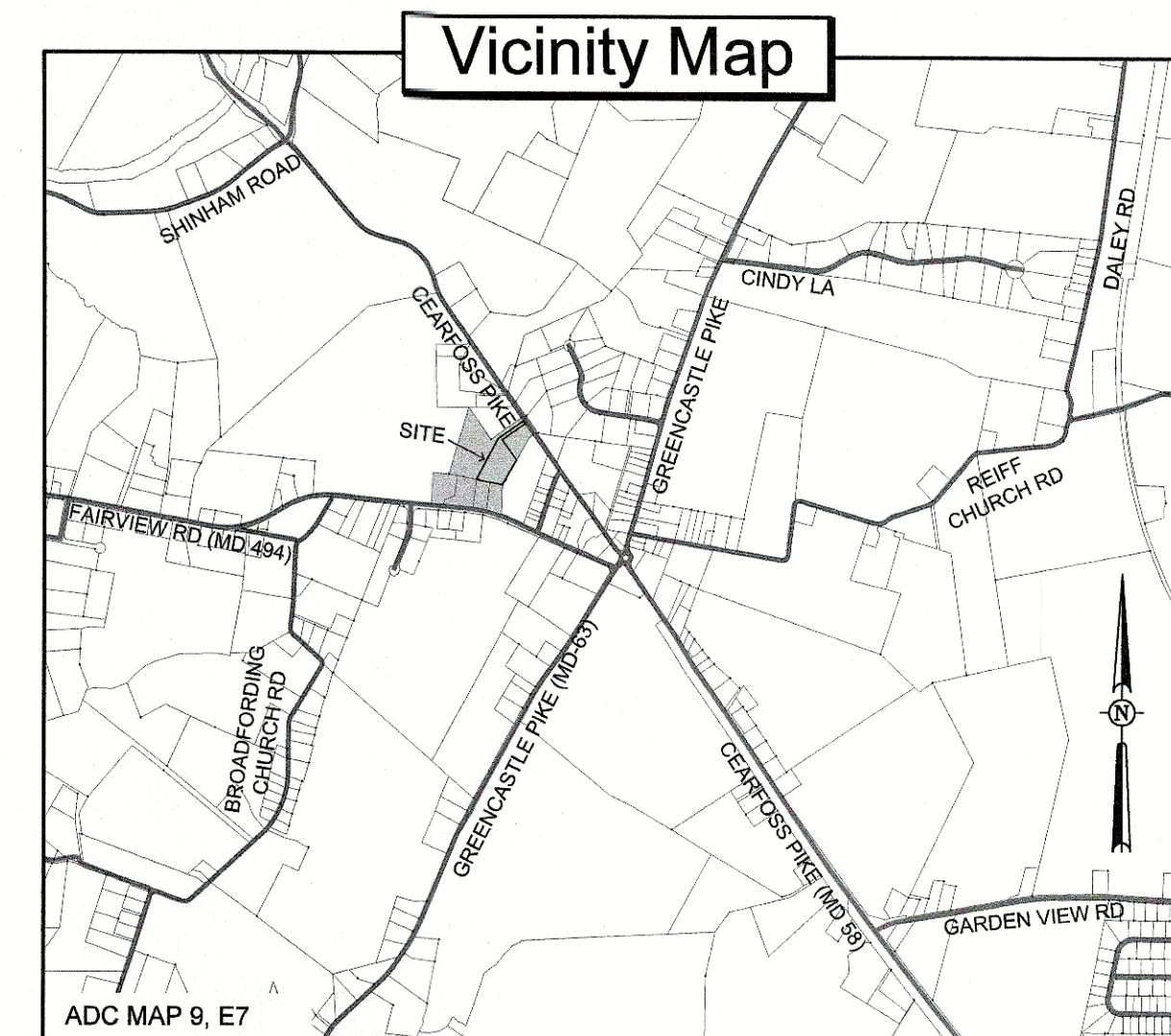
Situated along the southern side of Cearfoss Pike and along the northern side of Fairview Road Washington County, Maryland

OWNER

Michael J. Andrew IV
11018 Big Pool Road
Big Pool, MD 21711
Phone: 301-491-1688

DEVELOPER

Huyetts Mennonite School
C/O: Willie Eby
14624 National Pike
Clear Spring, MD 21722
Phone: 301-491-4516



SCALE: 1" = 2000'

FREDERICK SEIBERT & ASSOCIATES, INC. © 2019

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
(301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

Sheet Index

TYPE	NUMBER	TITLE
G-001	Sheet 1	Cover Sheet
G-002	Sheet 2	General Notes
V-101	Sheet 3	Existing Conditions
C-101	Sheet 4	Sediment Erosion Control Plan
C-102	Sheet 5	Grading, Drainage, & SWM Plan
C-103	Sheet 6	Site & Dimension Plan
C-104	Sheet 7	Utility Plan
C-201	Sheet 8	Storm Drain Profiles & Details
C-501	Sheet 9	Sediment Erosion Control Details & Notes
C-502	Sheet 10	Site Details
C-503	Sheet 11	Stormwater Management Details & Notes
L-101	Sheet 13	Landscape Plan
L-501	Sheet 14	Landscape Details & Notes

Washington County Land Development Notes

- A Utility Permit will be required for any proposed utility work located within the County right-of-way.
- All grading for this project shall be the full responsibility of the property owner.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any storm water or storm drainage easement on this property.
- Developer/Contractor must contact the certifying engineer and the County at least 5 days prior to the start of construction of the storm water management system to schedule and coordinate inspection time tables.
- Any modification of the approved grading plan shall be reviewed and approved by the Division and the District prior to construction.
- Developer/Contractor must contact the Washington County Soil Conservation District and the County Division of Engineering and Construction at least 5 days prior to the start of any grading activities to schedule a pre-construction meeting.
- In conformance with the stormwater management ordinance of Washington County, a performance security and executed maintenance agreement and access easement for the ESD facilities shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- The developer agreement for roads and/or stormwater management shall be executed before the grading permit can be issued for this development. The cost estimates for roads, drainage and stormwater management shall be submitted to this department prior to grading permit application.
- An entrance permit and driveway entrance bond will be required prior to issuance of the grading permit for this development.

SENSITIVE AREA NOTICE
The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

SWM NOTE:
In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.

TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	ESDv (ac-ft)	WQv (ac-ft)	CPv (ac-ft)	CPv (cfs) (Discharge)	Rev (ac-ft)
NON-ROOFTOP DISCONNECTION	1	0.25	0.25	98	0.02	0.02	0.02	N/A	N/A
MICRO BIO-RETENTION	1	225	0.32	68	0.03	0.03	0.03	0.07	NOT RECOMMENDED
MICRO BIO-RETENTION	2	0.50	0.32	85	0.07	0.07	0.07	0.02	NOT RECOMMENDED

TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	ESDv (ac-ft)	WQv (ac-ft)	CPv (ac-ft)	CPv (cfs) (Discharge)	Rev (ac-ft)
ROOFTOP DISCONNECTION	1	0.15	0.15	98	0.01	0.01	0.01	N/A	N/A
MICRO BIO-RETENTION	3	0.73	0.5	86	0.11	0.11	0.11	0.02	NOT RECOMMENDED
MICRO BIO-RETENTION	4	0.56	0.19	74	0.05	0.05	0.05	0.00	NOT RECOMMENDED

SWM Narrative

Stormwater Management Requirements
This project was designed in accordance with Washington County's Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance, which was adopted February 26, 2013 and current MDE SWM regulations. Sections 3.5.1 and 3.6.2 of the Wash. Co. ordinance specifies the minimum SWM control requirements. These requirements are ESD to MEP, Channel Protection volume, CPv, and 2-yr and 10-yr peak flows.

ESDv
The site was split into (2) watersheds for stormwater purposes. Watershed #1 has a site area of 3.4 acres (change in land cover). The impervious coverage within this watershed is 0.75 acres. The ESDv generated from this watershed is 4,809 CF. This site proposes to address the entire ESDv through non-structural and micro-scale practices. The ESDv will be treated through non-rooftop disconnection and micro bio-retentions. Together these BMPs provide 5,431 CF of treatment volume.

Watershed #2 has a site area of 2.4 acres (change in land cover). The impervious coverage within this watershed is 1.05 acres. The ESDv generated from this watershed is 8,958 CF. This site proposes to address the entire ESDv through non-structural practices and micro-scale practices. Rooftop disconnection provides 129 CF of treatment volume for 1632 SF of roof area. The remaining ESDv will be treated within two (2) micro bio-retentions. Together these BMPs provide 6,983 CF of treatment volume.

CPv is provided, since the entire ESDv is met. Quantity management, Qp, for the 2-yr and 10-yr storm events are also provided within the proposed micro-bioretenation facilities. See appendix B for runoff calculations.

GRADING CHK BY: TMF	DATE: 2018	PROJECT NUMBER: 2286 MS
SEC CHK BY: TMF	DATE: 2018	
Revised per agency comments	02-28-2019	Cover Sheet
SUBMITTAL	01-17-2019	
DESCRIPTION:	DATE:	G-001
		SHEET 1 OF 13
		SP-19-006

GENERAL NOTES

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
 G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
 G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
 G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
 G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
 G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
 G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
Miss Utility 1-800-257-7777
Washington County Land Development Engineering Department (240) 313-2400
City of Hagerstown Water Department (301) 739-8577
Washington County Soil Conservation (301) 797-6821 (ext. 3)
- G. 8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
 G. 9 Benchmarks are shown on sheet V-101. Contractor is to have Frederick Seibert & Associates, Inc. verify benchmarks before any construction or grading activity begins.
 G. 10 The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
 G. 11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
 G. 12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
 G. 13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
 G. 14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
 G. 15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
 G. 16 Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
 G. 17 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
 G. 18 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
 G. 19 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
 G. 20 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
 G. 21 All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
 G. 22 The existing site contours shown hereon were obtained from Washington County Lidar topography and field survey, verified by FSA (Contour accuracy is to plus or minus one half the contour interval).
 G. 23 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
 G. 24 Exterior lighting will consist of building mounted lights as shown on the architectural plans and pole mounted lights directed on site as shown on the site plan and electrical plan.
 G. 25 The contractor shall provide MOSH safety assistance for W.P.C. inspector.

Site Data

Tax Map	0021
Parcel	0525
Election District	13
Zoning	A(R) - Agricultural (Rural) District
Setbacks	Front - 150', Rear - 50', Side - 100'
Address Assignment	17000 Sakech Lane, Hagerstown, MD 21740
Max. Building Height	No structure may exceed seventy-five (75) Feet in height, including any sign that may be located on the top of the structure, except as provided in article Z3.
Functional Description	Private School (K-12), 150 students max capacity
Number of Employees	10
Hours of Operation	Monday - Friday 7:00 AM - 5:00 PM
Deliveries	Box Truck (Weekly)
Parcel Area	15.00 Ac +/-
Existing Impervious Area	0.00 Ac +/- (0% of Parcel Area)
Proposed Impervious Area	1.83 Ac +/- (12% of Parcel Area)
Proposed Building Area	20,428 SF
Proposed Building Height	20'
Total Parking Required	30 (10 Teachers, 10 Students, 10 Visitors)
Total Parking Provided	70 Spaces
Water & Sewer Usage	Regular- 67 Spaces Handicap- 3 Spaces
Proposed Water Allocation	200 GPD (City of Hagerstown Water Department)
Proposed Wastewater Discharge	200 GPD (On lot septic)
Proposed Site Lighting	Pole and Building Mounted Lights
Solid Waste	Inside (Private Hauler)
Proposed Signage	Building Mounted
Watershed	Conococheague Creek
8 Digit Watershed #	02-14-05-04
FEMA Panel	24043C0110D Dated August 15, 2017
Flood Plain, Streams, Wetlands or Buffers	1. Parcel does not lie in the 100 year flood plain per preliminary FEMA flood insurance rate map, community panel No. 24043C0110D dated August 15, 2017. 2. There are streams and other related buffers located on this property. This site plan has no impacts on the streams and other related buffers located on the property. 3. There are no wetlands located on the property. 4. There is no habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 cfr17 as required to be shown by sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (c&d) of the Washington County Zoning Ordinance.
Forest Conservation	55,798.8 SF. Addressed via forest banking

Abbreviation Legend

AASHTO = American Association OF State Highway and Transportation Officials	N.T.S. = Not To Scale
ADS = Advanced Drainage System	O.A.E. = Or Approved Equal
ASTM = American Society for Testing & Material	O.C. = On Center
AWWA = American Water Works Association	PC = Point of Curvature
BLDG = Building	PCC = Point of Compound Curve
BOT = Bottom	PGL = Proposed Grade Line
CIP = Cast Iron Pipe	PRC = Point of Reverse Curve
CL = Centerline	PT = Point of Tangent
CMP = Corrugated Metal Pipe	PVC = Point of Vertical Curve
CO = Sanitary Sewer Plan	PVI = Point of Vertical Intersection
CONC = Concrete	PVT = Point of Vertical Tangent
DA = Drainage Area	R/W = Right-of-Way
DIA = Diameter	SAN = Sanitary
EGL = Existing Grade Line	SCE = Stabilized Construction Entrance
EX = Existing	SDR = Standard Dimension Ratio
FH = Fire Hydrant	SDMH = Stormdrain Manhole
GV = Gate Valve	SF = Square Feet
HGL = Hydraulic Grade Line	SSMH = Sanitary Sewer Manhole
HDPE = High Density Polyethylene	STA. = Station
INV = Invert	STD = Standard
LF = Linear Feet	SY = Square Yard
MAX = Maximum	T.A.N. = Type As Noted
MB = Mail Box	TEMP = Temporary
MIN = Minimum	TG = Top of Grate
MJ = Mechanical Joint	TYP = Typical
NO = Number	VIF = Verify in Field
N.T.C. = Not This Contract	WM = Water Valve

Legend

SYMBOL	PROPOSED	FEATURE
		Property Line, Corner
		Permanent Easement
		Centerline
		Contours
		Tree Line
		Edge of Pavement
		Concrete Curb
		Fence Line
		Stream or Ditch
		Flow Line
		Water Line
		Sanitary Sewer Line, Stub
		Gas Line
		Force Main
		Storm Drain, End Section
		Roof Drain Pipe
		Water Valve
		Water Cap, Reducer
		Fire Hydrant, Water Valve
		Overhead Electric Line
		Guardrail
		Railroad Tracks
		Buildings, Houses, Garages
		Sanitary Sewer Manhole
		Storm Drain Inlet
		Utility Pole
		Handicap Parking
		Pole Light
		Road Sign
		Spot Elevation
		Double Water Meter
		Double Sewer Cleanout
		Detail #
		Detail Reference
		P.O.I. Point of Intersection
		P.C. Point of Curvature
		P.T. Point of Tangency
		P.O.L. Point of Line
		B.C. Bottom of Curb
		T.C. Top of Curb



Professional Engineer
 I hereby certify that the documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 03052019, Expiration Date: 03-24-2020

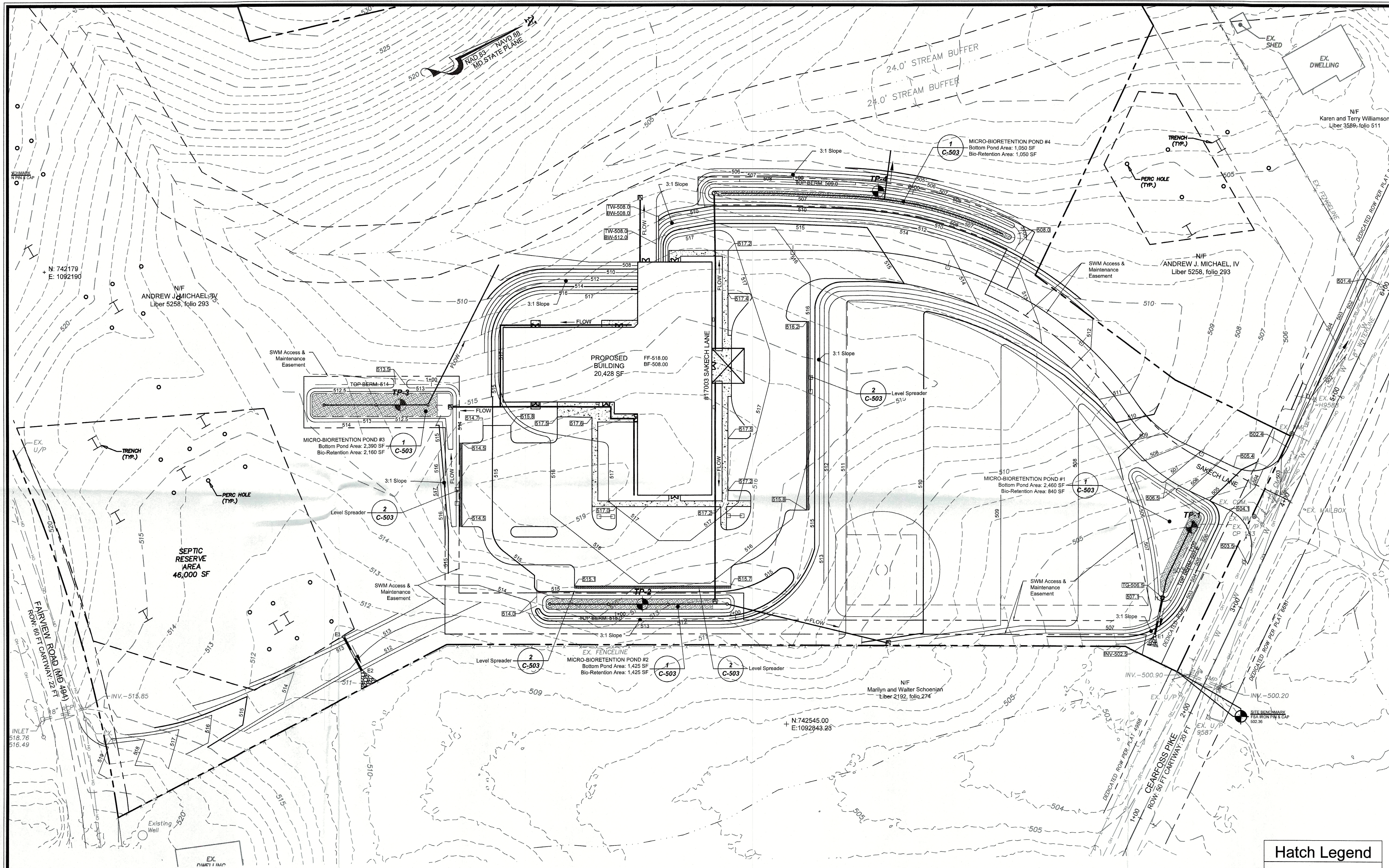
FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENSBLE, PENNSYLVANIA 17228
 111 HANOVER STREET, PENNSYLVANIA 17228
 (301) 793-3888 (301) 793-9707 FAX (301) 793-6668

DATE:	02-28-2019
DESCRIPTION:	Revised per agency comments
MARK:	

MENNONITE SCHOOL
 SITUATE ALONG THE SOUTH SIDE OF CEARFOSS PIKE AND NORTH OF FARVIEW ROAD, HAGERSTOWN, MARYLAND WASHINGTON COUNTY
UNDER AGEN VIEW - NOT APPROVED
 Hugetta Mennonite School
 14824 NATIONAL PIKE CLEAR SPRING, MD 21722
 301-491-4616

PROJECT NO.	2287 MS
CAD DWG FILE	02-G-002 - General Notes
DWN BY	GAB
DATE	03-18-18
CHK BY	TMF
DATE	09-20-18
TAX MAP	23-05-525 ELECTION DIST. 13
SCALE	N.T.S.

SHEET TITLE
General Notes
 G-002
 SHEET 2 OF 13
 SP-19-006

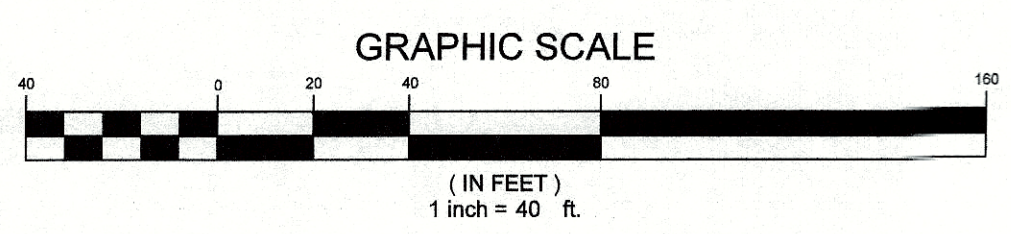


FREDERICK & SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 1111 HANOVER STREET, GREENCASTLE, PENNSYLVANIA 17037
 (301) 781-3838 (301) 445-8272

MARK	DESCRIPTION	DATE
	Revised per agency comments	02-28-2019

MENNONITE SCHOOL
 SITUATE ALONG THE SOUTH SIDE OF CEARCOSS PIKE
 AND NORTH OF FAIRVIEW ROAD
 HAGERSTOWN, MARYLAND
 WASHINGTON COUNTY
 CLIENT: Hagerstown Public Schools
 14624 NATIONAL PIKE CLEAR SPRING, MD 21722
 301-481-4515

PROJECT NO.	2281 MS
CAD DWG FILE	05-C-102 - Grading Plan
DRAWN BY	BAB
CHECKED BY	TMF
DATE	09-18-18
DATE	09-2018
TAX MAP	23-05-525
ELECTION DIST.	13
SCALE	1" = 40'
SHEET TITLE	Grading, Drainage & SWM Plan
C-102	
SHEET 5 OF 13	
SP-19-006	



I.D.	TYPE	DETAIL #	TOP ELEV.	INV. IN	INV. OUT	NOTES
I1	STD. YARD INLET	MD-381.01	506.50	502.75	502.65	2 FT WEIR; ELEV: 505.75
E1	STD. METAL END SECTION	MD-370.01	-	-	502.50	
E2	STD. METAL END SECTION	MD-370.01	-	-	510.50	
E3	STD. METAL END SECTION	MD-370.01	-	511.15	-	

RUN	LENGTH (FT)	SIZE	SLOPE	TYPE
I1 TO E1	31	15"	0.5%	HDPE
E3 TO E2	32	18"	2.0%	HDPE

	Bio-Retention Media Area
	Level Spreader
	Riprap Outlet Protection



Professional Certification
I hereby certify that the documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 29800
Expiration Date 03-25-2025

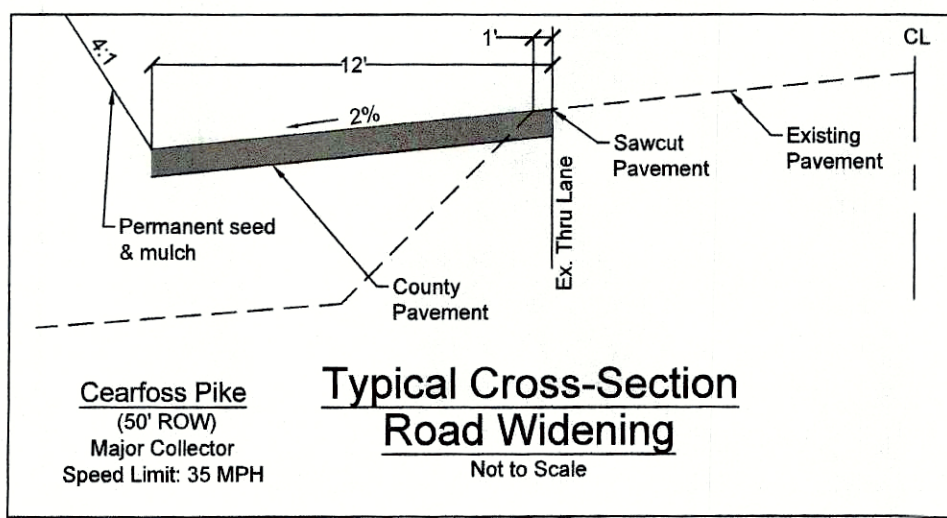
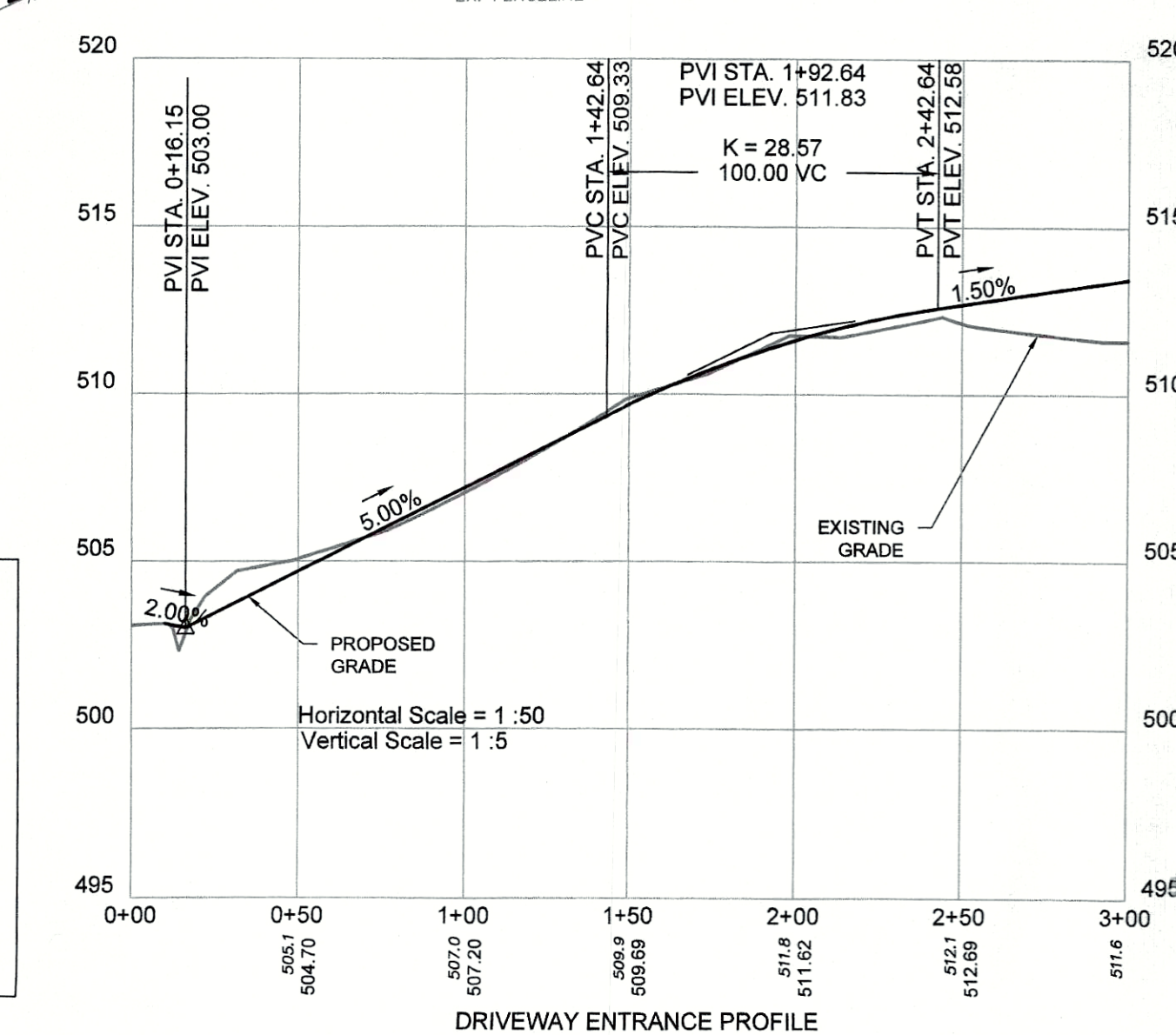
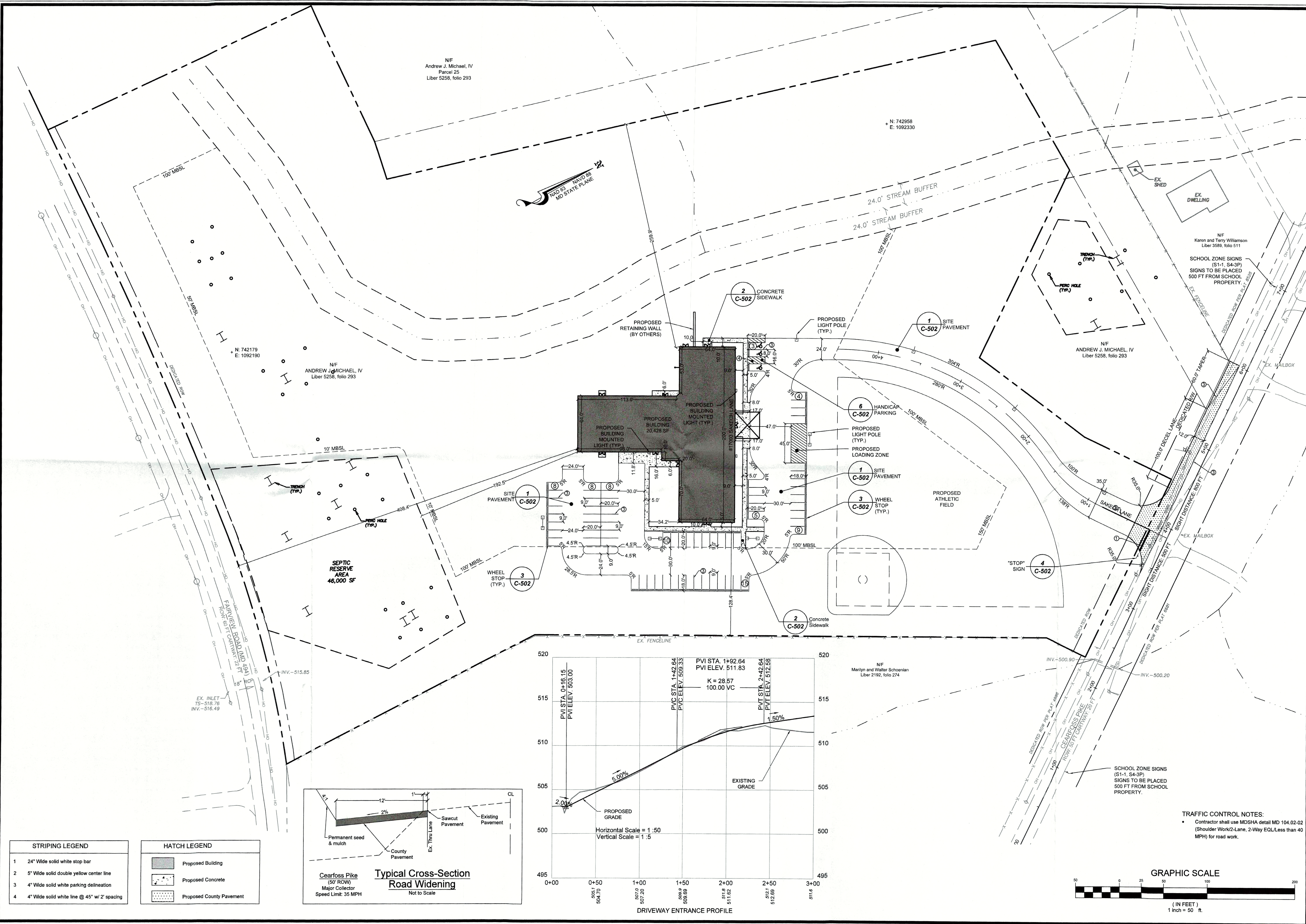
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CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
20 WEST BALDWIN STREET, SUITE 200, FREDERICK, MARYLAND 21702
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
(301) 794-5555
(717) 961-1097
FAX (301) 794-4666

DATE	DESCRIPTION
10-26-2018	Revised per agency comments

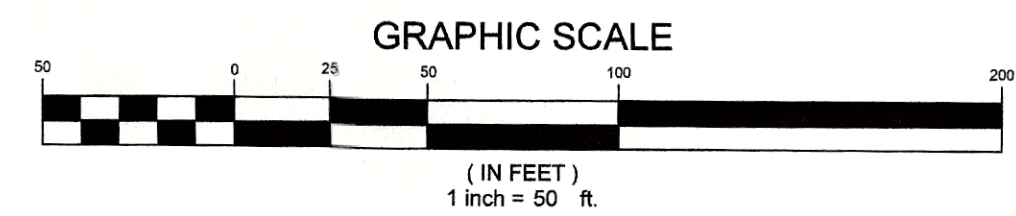
MENNONITE SCHOOL
SITUATE ALONG THE SOUTH SIDE OF CLEARFORS PIKE AND NORTH OF PARKVIEW ROAD IN HAGERSTOWN, MARYLAND
WASHINGTON COUNTY
CLIENT: Huyeite Mennonite School
14624 NATIONAL PIKE CLEAR SPRING, MD 21722
301-481-4515

PROJECT NO.	2288 MS
CAD DWG FILE	06-C-103 - Site & Dimension Plan
DWN BY	DATE
BAB	09-18-18
CHK BY	DATE
TMF	09-2018
TAX MAP	ELECTION DIST.
23-05-525	13
SCALE	1" = 50'

Site & Dimension Plan
C-103
SHEET 6 OF 13
SP-19-006



STRIPING LEGEND	HATCH LEGEND
1 24" Wide solid white stop bar	Proposed Building
2 5" Wide solid double yellow center line	Proposed Concrete
3 4" Wide solid white parking delineation	Proposed County Pavement
4 4" Wide solid white line @ 45" w/ 2' spacing	



TRAFFIC CONTROL NOTES:
Contractor shall use MDSHA detail MD 104.02-02 (Shoulder Work/2-Lane, 2-Way EQL) less than 40 MPH for road work.

N/F
Andrew J. Michael, IV
Parcel 25
Liber 5258, folio 293

N: 742958
E: 1092330

N: 742179
E: 1092190

N/F
Andrew J. Michael, IV
Liber 5258, folio 293

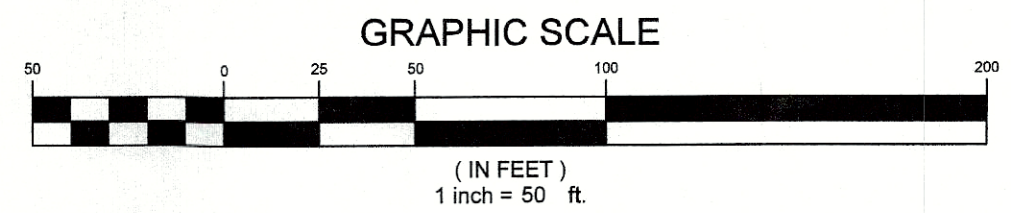
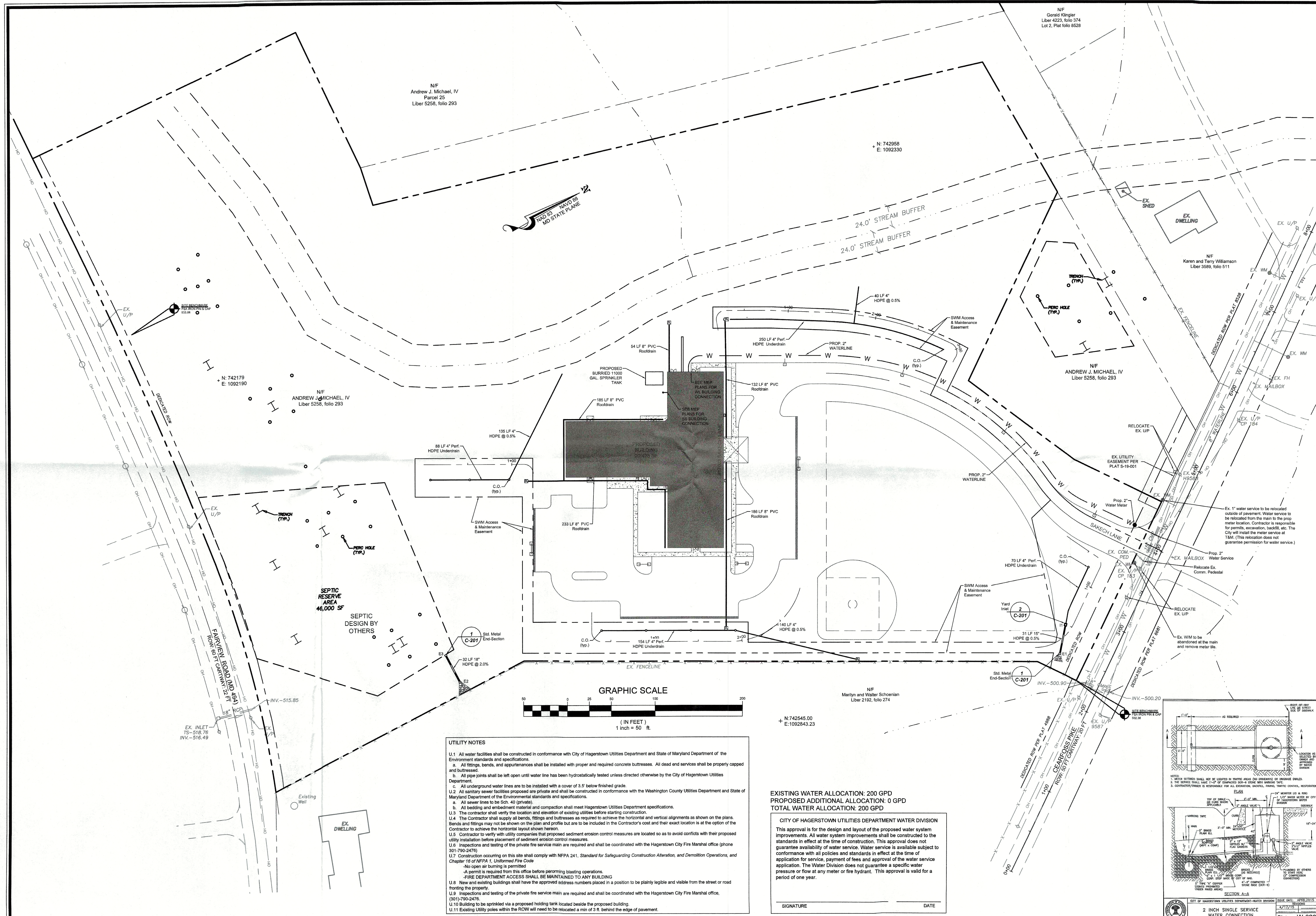
SEPTIC RESERVE AREA
46,000 SF

N/F
Marilyn and Walter Schoenian
Liber 2192, folio 274

N/F
Karen and Terry Williamson
Liber 3588, folio 511

SCHOOL ZONE SIGNS
(S1-1, S4-3P)
SIGNS TO BE PLACED
500 FT FROM SCHOOL
PROPERTY

N/F
Andrew J. Michael, IV
Liber 5258, folio 293



UTILITY NOTES

U.1 All water facilities shall be constructed in conformance with City of Hagerstown Utilities Department and State of Maryland Department of the Environment standards and specifications.

a. All fittings, bends, and appurtenances shall be installed with proper and required concrete buttresses. All dead end services shall be properly capped and buttressed.

b. All pipe joints shall be left open until water line has been hydrostatically tested unless directed otherwise by the City of Hagerstown Utilities Department.

c. All underground water lines are to be installed with a cover of 3.5' below finished grade.

U.2 All sanitary sewer facilities proposed are private and shall be constructed in conformance with the Washington County Utilities Department and State of Maryland Department of the Environment standards and specifications.

a. All sewer lines to be Sch. 40 (gritless).

b. All bedding and embedment material and compaction shall meet Hagerstown Utilities Department specifications.

U.3 The contractor shall verify the location and elevation of existing utilities before starting construction.

U.4 The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.

U.5 Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.

U.6 Inspections and testing of the private fire service main are required and shall be coordinated with the Hagerstown City Fire Marshal office (301-790-2476).

U.7 Construction occurring on this site shall comply with NFPA 241, Standard for Safeguarding Construction, Alteration, and Demolition Operations, and Chapter 16 of NFPA 1, Uniform Fire Code.

-No open air burning is permitted.

-A permit is required from this office before performing blasting operations.

FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ANY BUILDING

U.8 New and existing buildings shall have the approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property.

U.9 Inspections and testing of the private fire service main are required and shall be coordinated with the Hagerstown City Fire Marshal office, (301)-790-2476.

U.10 Building to be sprinkled via a proposed holding tank located beside the proposed building.

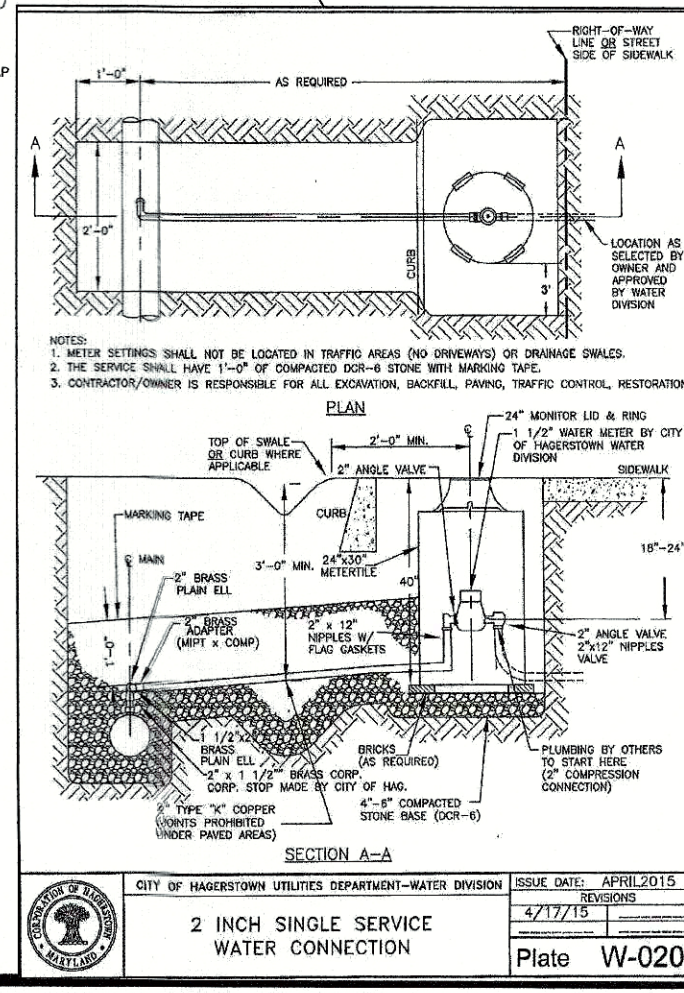
U.11 Existing utility poles within the ROW will need to be relocated a min of 3 ft. behind the edge of pavement.

**EXISTING WATER ALLOCATION: 200 GPD
PROPOSED ADDITIONAL ALLOCATION: 0 GPD
TOTAL WATER ALLOCATION: 200 GPD**

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION

This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

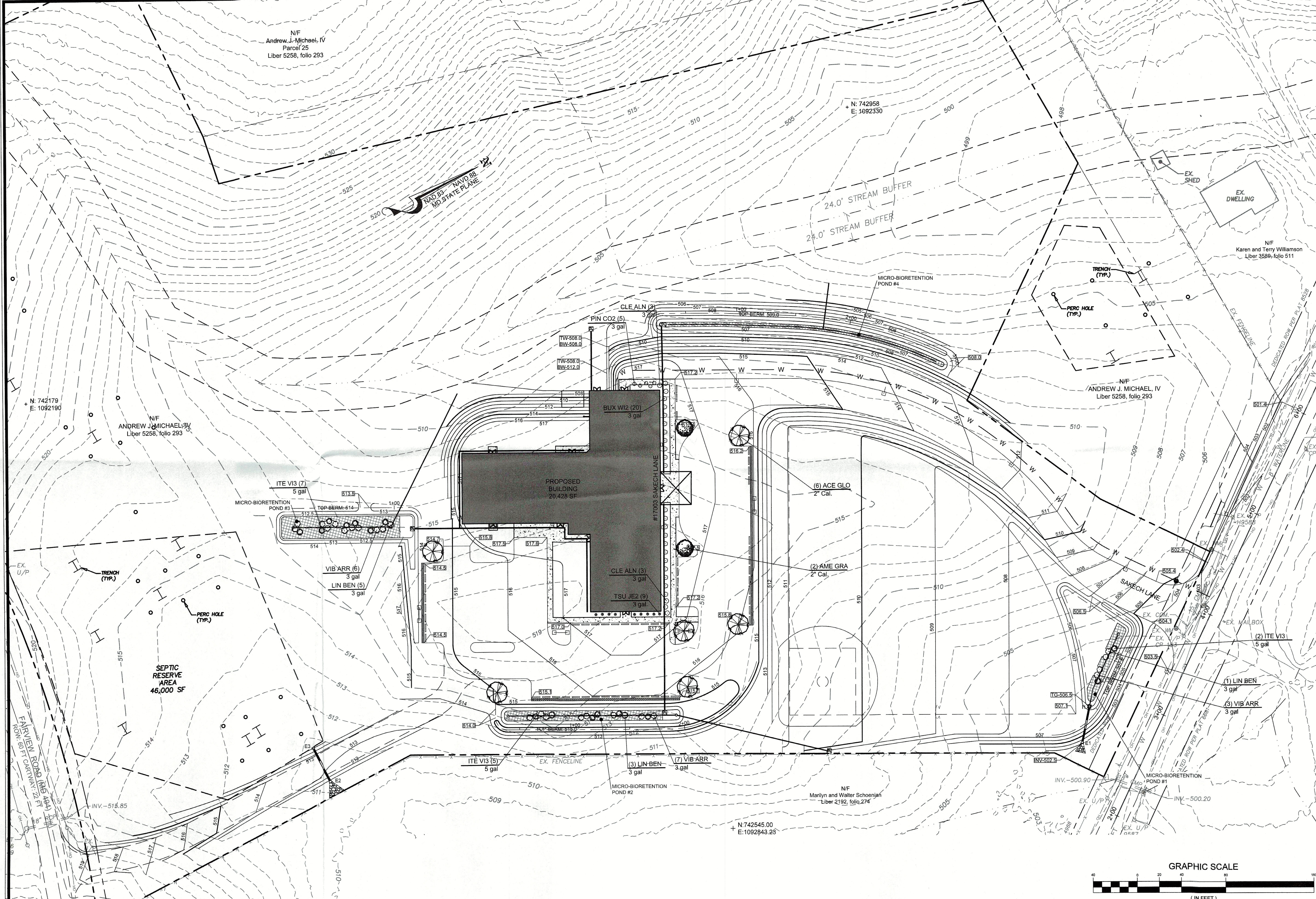
SIGNATURE _____ DATE _____



FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 22 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17228
 1001 7th Street, Harrisburg, PA 17101
 (301) 790-1800

DATE: 02-13-2019
DESCRIPTION: Revised per client request
 Revised per agency review

PROJECT NO: 2281 MS
CAD DWG FILE: 07-C-04 Utility Plan
DWN BY: BAB
CHK BY: TMF
TAX MAP: 23-05-525
SCALE: 1" = 50'
SHEET TITLE: Utility Plan
C-104
SHEET 7 OF 13
SP-19-006



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 48808. Expiration Date: 03-05-2019

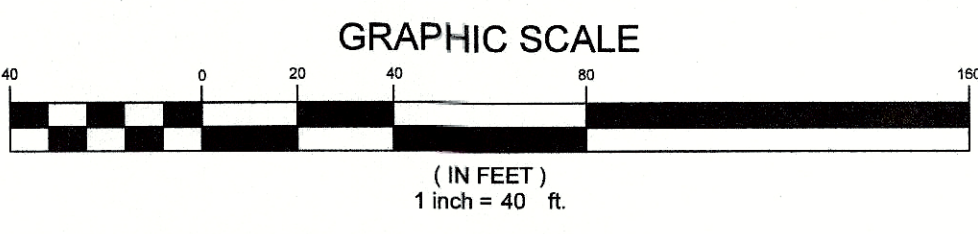
FREDERICK & SEIBERT & ASSOCIATES, INC.
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 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013

DATE	DESCRIPTION
02-28-2019	Revised per agency comments

MENNONITE SCHOOL
 SITUATE ALONG THE SOUTH SIDE OF CEARFOSS PIKE AND NORTH OF FAIRVIEW ROAD, HAGERSTOWN, MARYLAND, WASHINGTON COUNTY
 CLIENT: Hayslett Mennonite School
 14824 NATIONAL PIKE CLEAR SPRING, MD 21722
 301-481-4878

PROJECT NO:	2286.MS
CAD DWG FILE:	13-L-101 - Landscape Plan
DWN BY:	BAB
DATE:	09-18-18
CHK BY:	TMF
DATE:	09-2018
TAX MAP:	23-05-525
ELECTION DIST.:	13
SCALE:	1" = 40'

SHEET TITLE
Landscape Plan
 L-101
 SHEET 12 OF 13
 SP-19-006



N: 742545.00
 E: 1092843.23

N: 742179
 E: 1092190

N/F
 Andrew J. Michael, IV
 Parcel 25
 Liber 5258, folio 293

N/F
 Andrew J. Michael, IV
 Liber 5258, folio 293

N/F
 Karen and Terry Williamson
 Liber 3589, folio 511

N/F
 Andrew J. Michael, IV
 Liber 5258, folio 293

N/F
 Marilyn and Walter Schoenjan
 Liber 2192, folio 274



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: March 19, 2019

RE: Forest Conservation Mitigation Approval for Sam Billotti Lots 1-3 (S-18-038, FP-19-006)

Attached you will find supporting documentation for a request to utilize offsite retention to satisfy the remaining .73 acre planting requirement for the development of three lots located at 23435 Ringgold Pike. Enclosed for your review are three documents in support of the applicant's request. These include copies of the combined subdivision plat and forest conservation plan for Sam Billotti (S-18-038); the offsite forest easement plat (FP-19-006) located at Kirk Woods Park in Hancock where the developer intends to meet their remaining mitigation for the project; and a justification letter from Qualified Professional John Fream dated February 15, 2019.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite. The development's forest conservation plan intends to use both on and offsite forest retention from this list.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Comprehensive Planner
(240) 313-2432
tallen@washco-md.net

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1



ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

February 15, 2019

Lisa Kelly
Washington County Department of Plan Review and Permitting
80 West Baltimore Street
Hagerstown, MD 21740

Re: Preliminary/Final Plat for Sam Billotti Lots 1-3
S-18-038

Dear Lisa,

As you know Sam Billotti is proposing creation of three (3) single family lots along Maryland Route 418-Ringgold Pike. The County assigned activity number for this Preliminary/Final Plat is S-18-038. The purpose of this correspondence is to address the **Preferred Sequence of Techniques and Areas for Mitigation** contained in **Article 10** of the **Washington County, Maryland Forest Conservation Ordinance** and document the preferred mitigation method we're seeking approval of. In an effort to address each technique and our commentary on same as it relates to this request we've inserted the **Article 10** verbiage below and provided a discussion on each numbered technique.

ARTICLE 10 PREFERRED SEQUENCE OF TECHNIQUES AND AREAS FOR MITIGATION

10.1 PREFERRED SEQUENCE OF TECHNIQUES FOR MITIGATION

A. *After all techniques for retaining existing forest on the site have been exhausted, the preferred sequence of techniques for afforestation and reforestation is as follows:*

- (1) *Selective clearing and supplemental planting on site; The subject property contains 38.55 acres and is currently improved with a single-family dwelling. The historic use of the property is agricultural. The two (2) forest stands identified on the subject tract are to remain and are to be encumbered with a Forest Conservation Easement under the Preliminary/Final Plat currently under review. No clearing of qualified forest is proposed by the Preliminary/Final Plat currently under review.*

- (2) *Onsite afforestation or reforestation using transplanted or nursery stock that is greater than 1.5 inches diameter measured at 4.5 feet above the ground;* As stated above, the historic use of the property has been agricultural and that use is proposed to continue on the majority of the remaining lands acreage. The expansion of the on-site forest stands through afforestation would reduce the agricultural lands available for farming as the existing forest stands are located on the remaining lands of the parent tract that are to be used for agricultural purposes. Additionally, the three (3) residential lots proposed do not result in any common open space areas and therefore negate the need for a Home Owner's Association (HOA). Therefore, should on-site planting be considered, the afforestation areas would encumber the individual lots proposed. Citing 10.2 B of the Forest Conservation Ordinance, the retention or planting of forest and protective easements on multiple individual residential lots intended for sale to individual owners in a new residential subdivision is a less preferred mitigation technique. This method of mitigation wasn't considered further due to the aforementioned requirements of 10.2 B.
- (3) *Onsite afforestation or reforestation, using whip and seedling stock;* Please refer to commentary in (2), above.
- (4) *Credit from an approved Forest Mitigation Bank that created new forest cover. The credit applied to the mitigation requirement is equal to 100% of the credit secured from the Forest Mitigation Bank;* The very small area of forest planting required resulting from this subdivision may prove difficult to mitigate in an approved forest bank as typically the Forest Bank holders are seeking larger areas; additionally, the existence of Forest Banks in Washington County is limited to only one or two banks. However, the developer is seeking approval to obtain an easement over existing forested lands within Kirk Woods Park in Hancock. Although not a Forest Mitigation Bank by definition, the Kirk Woods Park forest area has been used by other projects to fulfill their Forest Conservation Ordinance obligations. Examples of the other projects that used the Kirk Woods Park site are discussed in the commentary in (10), below.

- (5) *Offsite afforestation or reforestation, arranged by the applicant on private lands using transplanted or nursery stock that is greater than 1.5 inches diameter measured at 4.5 feet above the ground; Again citing the small area of the forest planting required resulting from this subdivision, the ability and cost-effectiveness to plant such a small area is problematic.*
- (6) *Offsite afforestation or reforestation arranged by the applicant on public lands using transplanted or nursery stock that is greater than 1.5 Inches diameter measured at 4.5 feet above the ground; Please refer to commentary in (5), above.*
- (7) *Offsite afforestation or reforestation, arranged by the applicant on private lands using whip and seedling stock; Please refer to commentary in (5), above.*
- (8) *Offsite afforestation or reforestation, arranged by the applicant on public lands using whip and seedling stock; Please refer to commentary in (5), above.*
- (9) *Landscaping of areas under an approved landscaping plan which establishes a forest that is at least 35 feet wide and covering 2,500 square feet or more of area; The Preliminary/Final Plat as proposed is intended to create three (3) single family lots. This activity being residential, does not warrant a landscaping plan customarily found on commercial development.*
- (10) *Credit from an approved Forest Mitigation Bank that protected existing forest. The credit shall not exceed 50% of the area of existing forest protected; The applicant has pursued obtaining a Forest Conservation Easement over off-site lands that contain qualified forest. While this area being investigated isn't a Forest Mitigation Bank by definition, it is the area within Kirk Woods Park in Hancock that was used previously by other projects to fulfil their respective forest obligations. The other project I refer to include:*

- S-13-046
- S-14-005
- GP-17-015

(11) *Natural regeneration on site.* As stated above, the historic use of the property has been agricultural and that use is proposed to continue on the majority of the remaining lands acreage. No clearing of forest is proposed and given the site is agricultural, allowing existing forest stands to expand into areas being farmed would reduce the acreage of available agricultural use lands.

(12) *Off site protective easements on existing forested areas not currently protected in perpetuity as identified on an approved Forest Stand Delineation that incorporates a long-term binding protective agreement, as applicable and described in C.O.M.A.R. 08.19.05.02 that:*

(a) *Provides protection for areas of forest conservation, including areas of afforestation, reforestation, and retention;* This is the procedure the applicant has investigated and wishes to pursue. Please refer to commentary in (10), above

(b) *Limits uses in areas of forest conservation to those uses that are designated and consistent with forest conservation, including passive recreational activities and forest management practices that are used to preserve forest;* Please refer to commentary in (12) (a), above.

(c) *Is recorded in the Land Records of Washington County with or on the final plat of subdivision or, in cases where no subdivision occurs, as a covenant or other form of deed restriction, and, if applicable includes the signature of both parties to the agreement; and* Please refer to commentary in (12)(a), above.

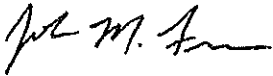
(d) *Is located on a single lot of record.* Please refer to commentary in (12) (a), above.

(e) *Credit for an off site protective easement may not exceed 50% of the area of existing forest cover protected.* Please refer to commentary in (12) (a), above.

- (13) *Payment of fee in lieu instead of afforestation and reforestation according to Article 11.* The use of payment of a fee in lieu of afforestation is an option for this project, however, the use of an off-site protective easement is the developer preferred method to fulfill the Forest Conservation Ordinance requirements related to this project. Additionally, the use of the off-site protective easement technique is listed as a more preferred method compared to payment in lieu of planting.

In closing, please consider this correspondence as our formal request for approval to use portions of the Kirk woods Park qualified forest to fulfill the Forest Conservation Ordinance requirements for this project. We acknowledge that a separate Re-Plat of the Kirk Woods Park site will be required as it was in the other project examples cited in commentary (10), above. We eagerly await your response to this request.

Sincerely,
FOX & ASSOCIATES, INC.



John M. Fream
Qualified Forest Professional

CC: Sam Billotti

CERTIFICATE OF COUNTY APPROVAL

THIS FOREST CONSERVATION PLAN MEETS THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE AND IS HEREBY APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION.

SIGNATURE _____

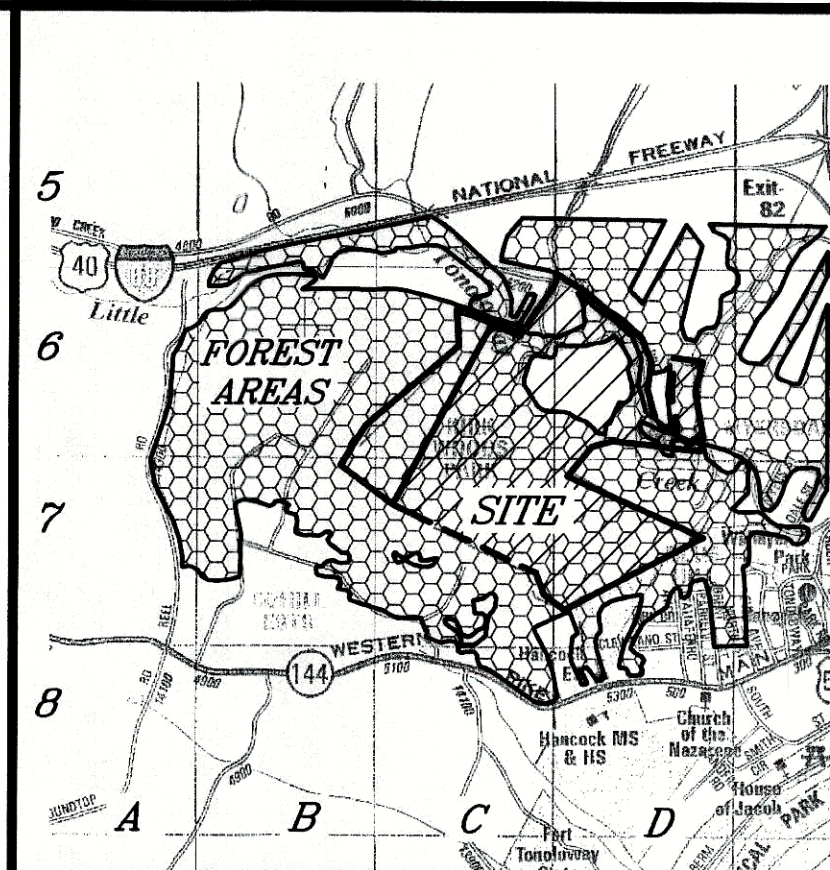
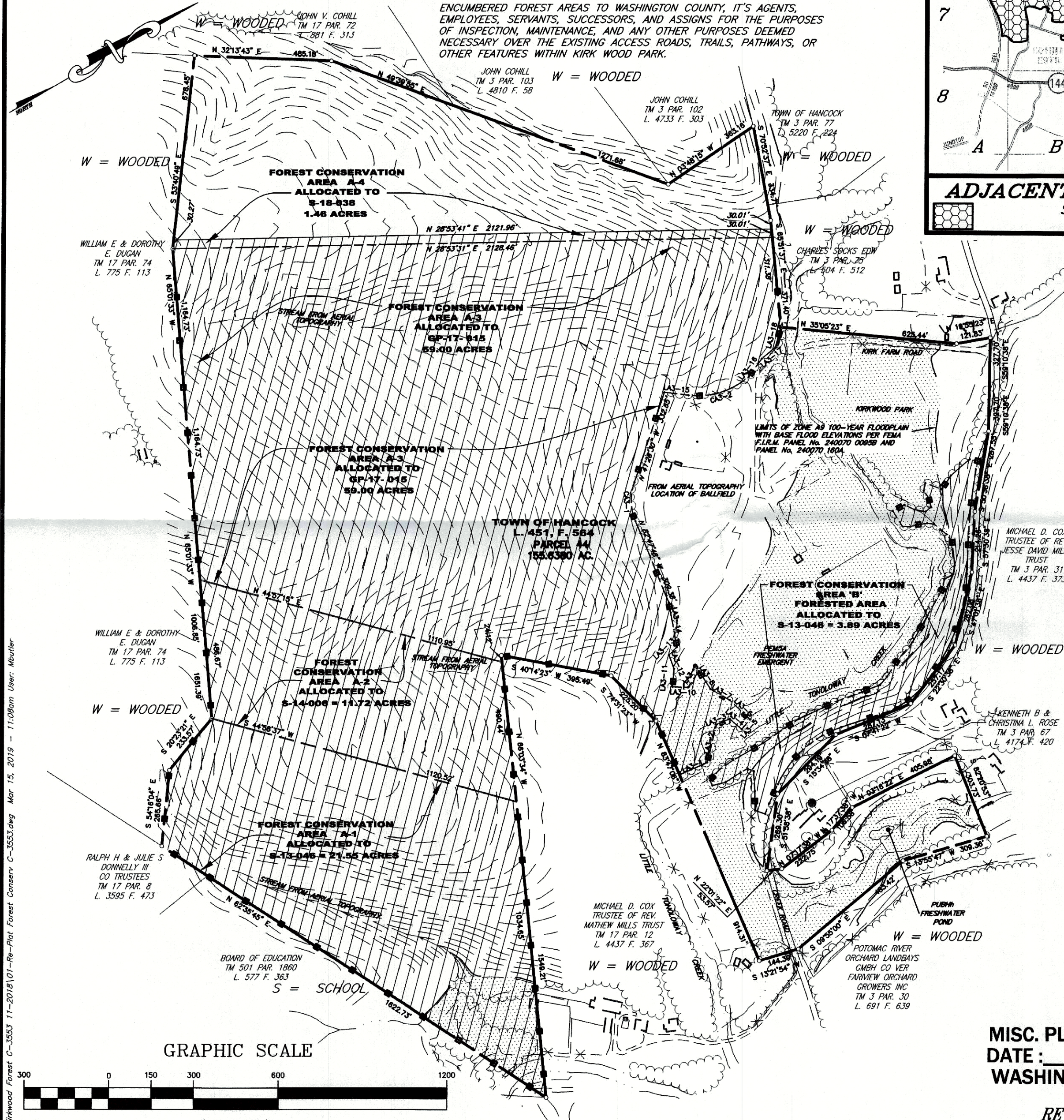
NAME AND TITLE _____

DATE _____

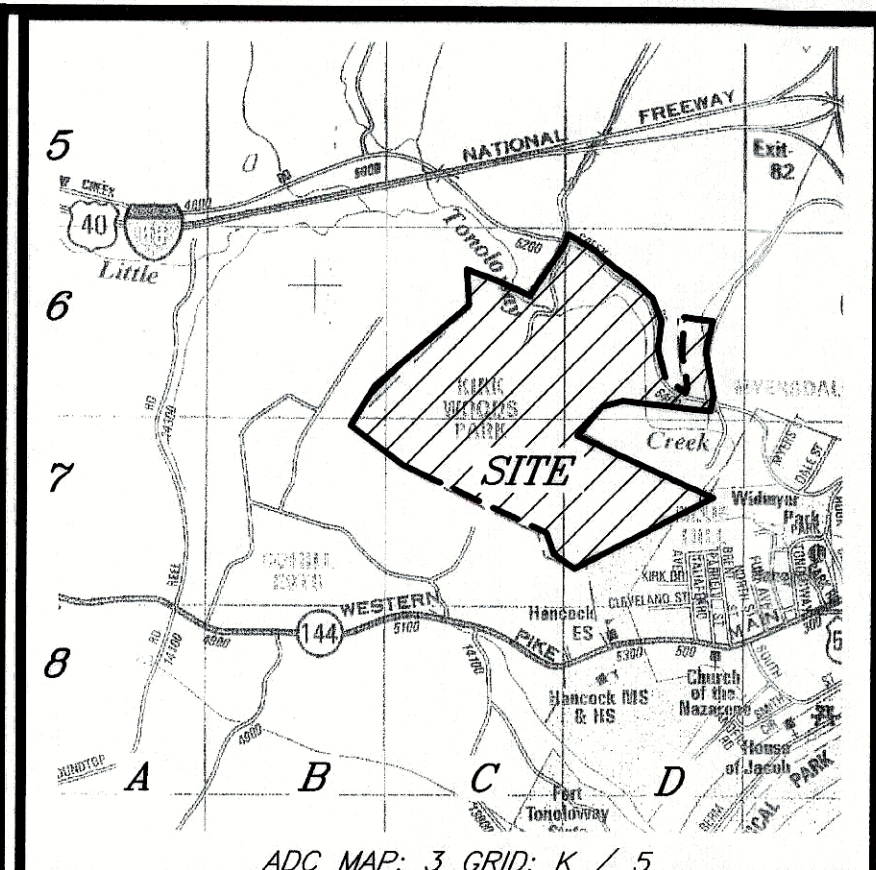
FOREST CONSERVATION ACREAGE SUMMARY

TOTAL PARCEL AREA	155.66 AC
TOTAL RETAINED FOREST ESTABLISHED BY THIS PLAT	97.62 AC
AREA A-1	21.55 AC
AREA A-2	11.72 AC
AREA A-3	59.00 AC
AREA A-4	1.46 AC
AREA B	3.89 AC
TOTAL PLANTED FOREST ESTABLISHED BY THIS PLAT	0.00 AC
TOTAL PARCEL AREA NOT UNDER EASEMENT	58.04 AC

ACCESS NOTE:
THE TOWN OF HANCOCK DOES GRANT THE RIGHT OF ENTRY TO THE ENCUMBERED FOREST AREAS TO WASHINGTON COUNTY, IT'S AGENTS, EMPLOYEES, SERVANTS, SUCCESSORS, AND ASSIGNS FOR THE PURPOSES OF INSPECTION, MAINTENANCE, AND ANY OTHER PURPOSES DEEMED NECESSARY OVER THE EXISTING ACCESS ROADS, TRAILS, PATHWAYS, OR OTHER FEATURES WITHIN KIRK WOOD PARK.



ADJACENT FOREST LANDS
SCALE: 1"=2,000'



VICINITY MAP
SCALE: 1" = 2000'
TAX MAP 37 PARCEL 855 GRID 20
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 20804126

LAND USES

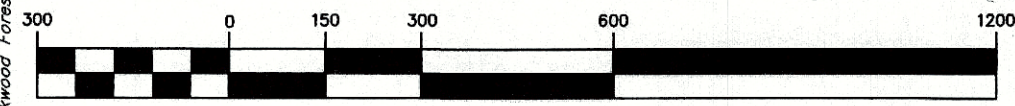
- C = COMMERCIAL
- F = FARMING
- I = INDUSTRIAL
- R = RESIDENTIAL
- S = SCHOOL
- W = WOODED

LEGEND

- FOREST CONSERVATION EASEMENT (RETAINED FOREST)
- PERMANENT FOREST CONSERVATION AREA PROTECTION SIGNAGE
- PROTECTIVE FENCE AND LIMIT OF EASEMENT
- 100 YEAR FLOOD PLAIN
- SOILS BOUNDARY
- EXISTING TREE LINES

H:\15131130 Town of Hancock\Kirkwood Forest C-3553 11-2018\01-18-Plat Forest Conserv C-3553.dwg Mar 15, 2019 - 7:10:06m User: Mburler

GRAPHIC SCALE



(IN FEET)
1 inch = 300 ft.

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01B AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

John M. Fream 3-15-19
JOHN M. FREAM DATE

OWNERS NAME
HANCOCK MAYOR & COUNCIL
126 WEST HIGH STREET
HANCOCK, MARYLAND 21750
301-678-5622

3/13/19 REVISED PER COUNTY COMMENTS

MISC. PLAT No. _____
DATE: _____
WASHINGTON COUNTY

RE-PLAT FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT
UTILIZING OFFSITE PROTECTIVE EASEMENT AREA FOR MITIGATION OF FOREST AREAS WITHIN KIRK WOODS PARK, OWNED BY THE TOWN OF HANCOCK

SUMMARY OF VEGETATION MAPPING UNITS

TOTAL OFF-SITE FOREST REQUIRED PER FOREST REQUIREMENT FROM SUBDIVISION OF LAND ALONG BREEZEHILL DRIVE: (COUNTY FILE NUMBER S-13-046)	25.44 AC±
TOTAL OFF-SITE FOREST REQUIRED PER FOREST REQUIREMENT OF THE FINAL PLAT OF SUBDIVISION FOR THE ARNETT FARM LOTS 2-4, PARCELS 8-9 & OUTPARCEL A (COUNTY FILE NUMBER S-14-006 & PSP-10-001):	11.72 AC±
TOTAL OFF-SITE FOREST REQUIRED PER FOREST REQUIREMENT OF THE GRADING PLAN FOR EASTERN PANHANDLE EXTENSION PROJECT (COUNTY FILE NUMBER GP-17-015)	59.00 AC±
TOTAL OFFSITE FOREST REQUIRED PER FOREST REQUIREMENT OF PRELIMINARY / FINAL PLAT LOTS 1-3 LANDS OF SAM BILLOTTI IV AND CASSANDRA ANN BILLOTTI. (COUNTY FILE NUMBER S-18-038)	1.46 AC±
TOTAL RETAINED FOREST ESTABLISHED BY THIS PLAT:	97.62 AC±

NOTE:
FOREST STAND DELINEATION FOR THIS SITE IS FS-13-016.

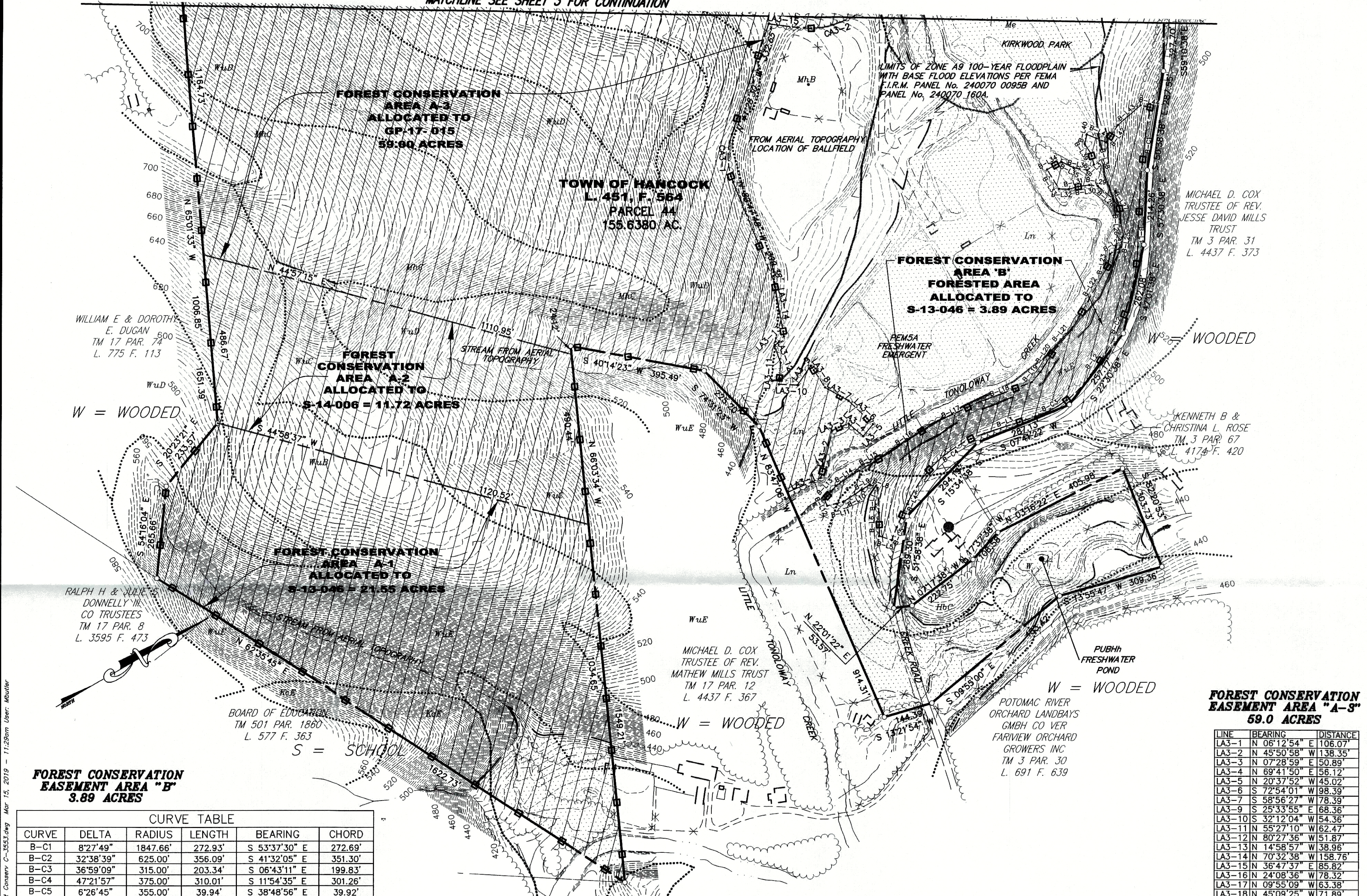
DRAWN BY: MTB	DATE: 11/12/18
CHECKED BY: SCC	DATE: 11/12/18
SCALE: 1"=300'	

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
981 MT. AETNA ROAD HAGERSTOWN, MARYLAND 21740
PHONE: (301)733-8503 FAX: (301)733-1853
82 WOMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701
PHONE: (301)695-0880 FAX: (301)293-6009



DISTRICT	5
TAX MAP No.	17
DWG. No.	C-3553

MATCHLINE SEE SHEET 3 FOR CONTINUATION



FOREST CONSERVATION EASEMENT AREA "B" 3.89 ACRES

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
B-C1	8°27'49"	1847.66'	272.93'	S 53°37'30" E	272.69'
B-C2	32°38'39"	625.00'	356.09'	S 41°32'05" E	351.30'
B-C3	36°59'09"	315.00'	203.34'	S 06°43'11" E	199.83'
B-C4	47°21'57"	375.00'	310.01'	S 11°54'35" E	301.26'
B-C5	6°26'45"	355.00'	39.94'	S 38°48'56" E	39.92'

LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
B-L1	S57°51'24"E	128.33	B-L23	N49°53'37"W	33.41
B-L2	S25°12'45"E	42.82	B-L24	N01°35'26"W	37.83
B-L3	S11°46'23"E	156.62	B-L25	N50°55'48"W	29.29
B-L4	S35°35'33"E	73.14	B-L26	N66°32'00"W	82.04
B-L5	S47°57'41"W	37.76	B-L27	S84°52'00"W	34.31
B-L6	N61°01'15"W	67.58	B-L28	S69°32'21"W	57.87
B-L7	N63°47'46"W	70.27	B-L29	S36°18'26"W	24.24
B-L8	S51°04'10"W	23.47	B-L30	S22°07'58"W	32.41
B-L9	N00°48'08"E	27.14	B-L31	S14°46'05"W	29.81
B-L10	N03°03'11"W	65.15	B-L32	S32°12'56"W	27.16
B-L11	S16°08'01"W	48.11	B-L33	S87°37'00"W	65.35
B-L12	N85°01'28"W	20.18	B-L34	N01°56'59"E	47.26
B-L13	N18°03'35"W	52.16	B-L35	N55°04'07"E	39.43
B-L14	N04°24'47"W	58.48	B-L36	N40°19'07"E	40.20
B-L15	N00°20'48"E	120.71	B-L37	N09°44'19"W	25.24
B-L16	N03°55'24"W	155.36	B-L38	N75°07'31"W	31.83
B-L17	N05°25'31"E	151.57	B-L39	S85°57'36"W	33.21
B-L18	N09°35'05"E	158.67	B-L40	N47°43'38"W	28.23
B-L19	N19°00'33"W	38.50	B-L41	N51°24'33"E	61.26
B-L20	N27°34'44"W	66.72	B-L42	N25°52'16"W	59.08
B-L21	N19°59'41"W	84.81	B-L43	N10°48'06"W	86.87
B-L22	N30°27'55"W	213.29	B-L44	N40°36'42"E	28.82

LEGEND

- FOREST CONSERVATION EASEMENT (RETAINED FOREST)
- PERMANENT FOREST CONSERVATION AREA PROTECTION SIGNAGE
- PROTECTIVE FENCE AND LIMIT OF EASEMENT
- 100 YEAR FLOOD PLAIN
- SOILS BOUNDARY
- EXISTING TREE LINES

3/13/19 REVISED PER COUNTY COMMENTS

OWNERS NAME
 HANCOCK MAYOR & COUNCIL
 126 WEST HIGH STREET
 HANCOCK, MARYLAND 21750
 301-678-5622

FOREST CONSERVATION EASEMENT AREA "A-3" 59.60 ACRES

LINE	BEARING	DISTANCE
LA3-1	N 06°12'54" E	106.07'
LA3-2	N 45°50'58" W	138.35'
LA3-3	N 07°28'59" E	50.89'
LA3-4	N 69°41'50" E	56.12'
LA3-5	N 20°37'52" W	45.02'
LA3-6	S 72°54'01" W	98.39'
LA3-7	S 58°56'27" W	78.39'
LA3-8	S 25°33'55" E	68.36'
LA3-9	S 32°12'04" W	54.36'
LA3-10	N 55°27'10" W	62.47'
LA3-11	N 80°27'36" W	51.87'
LA3-12	N 14°58'57" W	38.96'
LA3-13	N 70°32'38" W	158.76'
LA3-14	N 36°47'37" E	85.82'
LA3-15	N 24°08'36" W	78.32'
LA3-16	N 09°55'09" W	63.38'
LA3-17	N 45°09'25" W	71.89'
LA3-18	S 86°09'28" W	75.14'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	TANGENT
CA3-1	1192.79'	142.47'	42°20'26"	139.25'	S 61°37'34" E	74.66'
CA3-2	277.45'	230.83'	47°40'11"	224.23'	N 12°57'32" E	122.57'

MISC. PLAT No. _____
 DATE: _____
 WASHINGTON COUNTY

NOTES:
 1. SEE SHEET 4 FOR RE-PLAT PURPOSE NOTE
 2. SEE SHEET 4 FOR SOIL DESCRIPTION INFORMATION.

RE-PLAT FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT
 UTILIZING OFFSITE PROTECTIVE EASEMENT AREA FOR MITIGATION OF FOREST AREAS WITHIN KIRK WOODS PARK, OWNED BY THE TOWN OF HANCOCK

FP-19-006
 SHEET 2 OF 4

DRAWN BY: MTB
 CHECKED BY: SCC
 DATE: 11/12/18
 SCALE: 1"=200'

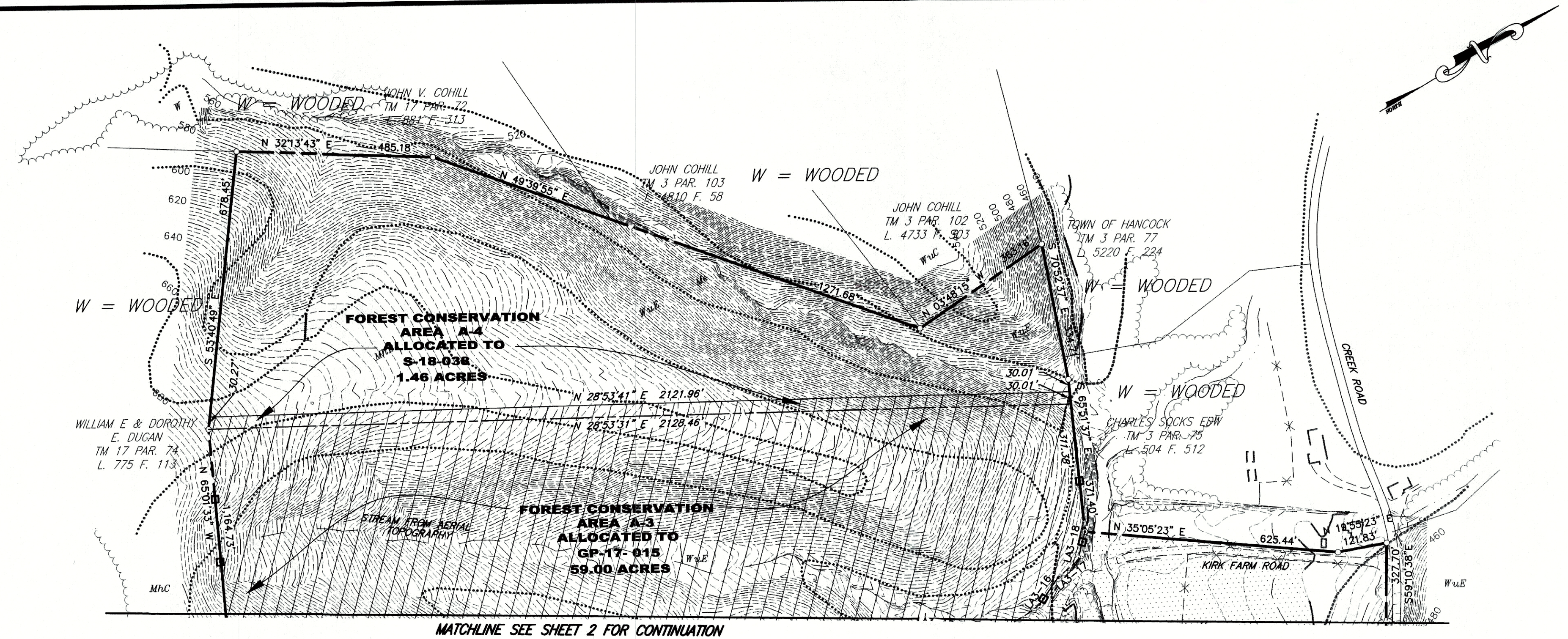
FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 981 MT. AETNA ROAD
 HAGERSTOWN, MARYLAND 21740
 PHONE: (301)733-8503
 FAX: (301)733-1853



DISTRICT 5
 TAX MAP No. 17
 DWG. No. C-3553

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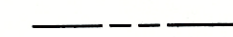
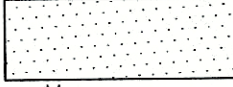


MATCHLINE SEE SHEET 2 FOR CONTINUATION

FOREST CONSERVATION EASEMENT AREA "A-3" 59.0 ACRES

LINE	BEARING	DISTANCE
LA3-1	N 06°12'54" E	106.07
LA3-2	N 45°50'58" W	138.35
LA3-3	N 07°28'59" E	50.89
LA3-4	N 69°41'50" E	56.12
LA3-5	N 20°37'52" W	45.02
LA3-6	S 72°54'01" W	98.39
LA3-7	S 58°56'27" W	78.39
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LA3-17	N 45°09'25" W	71.89
LA3-18	S 86°09'28" W	75.14

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	TANGENT
CA3-1	192.79'	142.47'	42°20'26"	139.25'	S 61°37'34" E	74.66'
CA3-2	277.45'	230.83'	47°40'11"	224.23'	N 12°57'32" E	122.57'

LEGEND

-  FOREST CONSERVATION EASEMENT (RETAINED FOREST)
-  PERMANENT FOREST CONSERVATION AREA PROTECTION SIGNAGE
-  PROTECTIVE FENCE AND LIMIT OF EASEMENT
-  100 YEAR FLOOD PLAIN
-  SOILS BOUNDARY
-  EXISTING TREE LINES

- NOTES:
- SEE SHEET 4 FOR RE-PLAT PURPOSE NOTE.
 - SEE SHEET 4 FOR SOIL DESCRIPTION INFORMATION.

MISC. PLAT No. _____
 DATE : _____
 WASHINGTON COUNTY

RE-PLAT FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT
 UTILIZING OFFSITE PROTECTIVE EASEMENT AREA FOR MITIGATION OF FOREST AREAS WITHIN KIRK WOODS PARK, OWNED BY THE TOWN OF HANCOCK

3/13/19 REVISED PER COUNTY COMMENTS

OWNERS NAME
 HANCOCK MAYOR & COUNCIL
 126 WEST HIGH STREET
 HANCOCK, MARYLAND 21750
 301-678-5622

DRAWN BY: MTB	DATE: 11/12/18	FOX & ASSOCIATES, INC. ENGINEERS • SURVEYORS • PLANNERS 981 MT. AETNA ROAD HAGERSTOWN, MARYLAND 21740 PHONE: (301)733-8503 FAX: (301)733-1853	FOX & ASSOCIATES, INC. 82 WOMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701 PHONE: (301)695-0880 FAX: (301)293-6009	DISTRICT	5
CHECKED BY: SCC	DATE: 11/12/18			TAX MAP No.	17
SCALE: 1"=200'		Copyright © 2016		DWG. No.	C-3553

LONG TERM FOREST PROTECTION PLAN

THE BOUNDARIES OF THE FOREST CONSERVATION AREA SHALL BE MARKED WITH DURABLE SIGNAGE (SEE DETAIL 3.6.9 DETAIL THIS SHEET) WITH WORDING TO THE EFFECT THAT THE AREA IS A FOREST CONSERVATION AREA AND THAT THE TREES ARE NOT TO BE DISTURBED. THE POSTS AND SIGNS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND INDEFINITELY.

THERE SHALL BE NO DISTURBANCES OF THE AREA LABELED "FOREST CONSERVATION AREA" BY ANY REGULATED ACTIVITY AS DEFINED IN WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE, EXCEPTING SUCH ACTIVITIES WHICH HAVE RECEIVED PRIOR APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION.

PROPERTY OWNERS ARE ADVISED THAT PENALTIES AND FINES ARE ASSOCIATED WITH VIOLATION OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE ARE PERMITTED IN THE FOREST CONSERVATION AREAS PROVIDED THERE IS NO FOREST DISTURBANCE OR REMOVAL OF LIVING TREES.

THE LONG-TERM FOREST PROTECTION PLAN OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN EACH AND EVERY DEED OF CONVEYANCE FOR THIS PROPERTY AND SUBDIVISIONS THEREOF.

THE FOREST CONSERVATION PLAN SHOWS THAT NO EXISTING TREES WITHIN THE FOREST CONSERVATION AREAS ARE TO BE DISTURBED. IF FOR ANY REASON IN THE FUTURE FOREST COVER IS PROPOSED TO BE DISTURBED A REVISED FOREST CONSERVATION PLAN MUST BE SUBMITTED TO THE WASHINGTON COUNTY PLANNING COMMISSION AND APPROVED PRIOR TO DISTURBING ANY TREES.

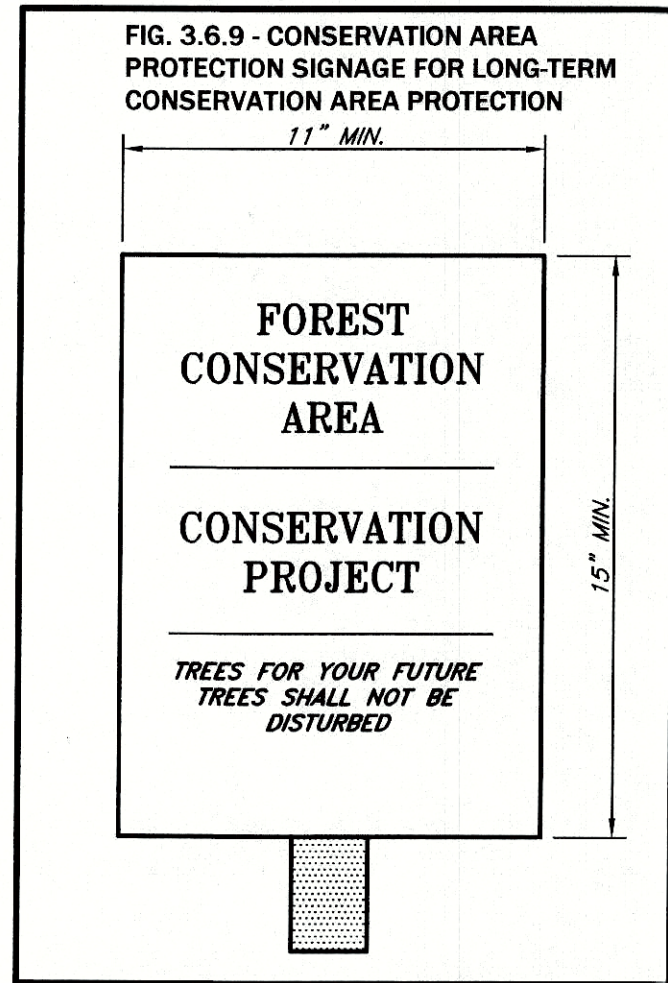
LONG TERM PROTECTION AGREEMENT

THE FOREST CONSERVATION EASEMENT SHOWN HEREON IS DESIGNATED FOR RETAINED FOREST ACCORDING TO MULTIPLE PROJECTS AS SUMMARIZED IN THE RE-PLAT PURPOSE NOTE AND THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACCORDINGLY, THE PRACTICES AND SCHEDULES CONTAINED IN THE MAINTENANCE AGREEMENT SHALL BE FOLLOWED AS OUTLINED IN THE APPROVED FOREST CONSERVATION PLAN.

THE AREAS NOTED AS "FOREST CONSERVATION EASEMENT" ARE NOT TO BE DISTURBED BY ANY REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED FOREST DISTURBANCE IS REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT THAT TIME.

PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATION OF THESE RESTRICTIONS. OWNERS OF LOTS AFFECTED BY THE FOREST CONSERVATION EASEMENT(S) SHALL TAKE PRECAUTIONS TO PROTECT FOREST IN EASEMENT AREAS FROM UNAUTHORIZED DISTURBANCE PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE, AS LONG AS THERE IS NO FOREST DISTURBANCE, REMOVAL OF EXISTING FOREST, OR INHIBITION OF ITS NATURAL GROWTH PROCESSES ARE PERMITTED IN THE FOREST RETENTION AREAS. ACCESS TO EASEMENT AREAS AND OVER ACCESS RIGHTS OF WAY SHOWN ON THIS PLAT ARE NECESSARY AND PERMITTED TO WASHINGTON COUNTY AT REASONABLE TIMES FOR PERIODIC INSPECTION OF THE EASEMENT AREAS.

THIS NOTE OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN ANY FUTURE DEED OF CONVEYANCE OF THIS PARCEL OF LAND.



NOTES:

1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
2. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.
3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

Ralph T. Salvanno MD
SIGNATURE

BY: RALPH T. SALVANNO MD MAYOR
PRINTED NAME TITLE

3/19/19
DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS PLAN IS CORRECT. I FURTHER CERTIFY THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

03/15/2019
DATE
George E. Nagel
GEORGE E. NAGEL
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION No. 21052
EXPIRATION/RENEW DATE: 08/24/2020



OWNERS NAME
HANCOCK MAYOR & COUNCIL
126 WEST HIGH STREET
HANCOCK, MARYLAND 21750
301-678-5622

3/13/19 REVISED PER COUNTY COMMENTS

REPLAT PURPOSE NOTE

THE ORIGINAL FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT FOR KIRK WOODS PARK WAS PREPARED, APPROVED AND RECORDED AS WASHINGTON COUNTY PLAT NUMBERS M-563 AND M-564 (WASHINGTON COUNTY FILE NUMBER FP-13-001). THE PURPOSE OF THAT PLAT WAS TO ENCUMBER 56.95 ACRES OF EXISTING FOREST LANDS WITH A PROTECTIVE EASEMENT AND ALLOCATE A PORTION OF THOSE PROTECTED FOREST LANDS, 25.44 ACRES, TO A PROJECT ON BREEZE HILL DRIVE (WASHINGTON COUNTY FILE NUMBER FS-1-002). A REPLAT OF THIS FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT WAS PREPARED, APPROVED AND RECORDED AS WASHINGTON COUNTY PLAT NUMBERS M-636 AND M-637. THE PURPOSE OF THAT PLAT WAS TO ALLOCATE A PORTION OF THE PREVIOUSLY PROTECTED FOREST LANDS, 11.72 ACRES, TO A PROJECT ASSOCIATED WITH THE ARNETT FARM (WASHINGTON COUNTY FILE NUMBER S-14-009). THE RECORDING OF THIS REPLAT, M-636 AND M-637 (WASHINGTON COUNTY FILE NUMBER FP-14-002), RESULTED IN 37.16 ACRES OF PROTECTED FOREST LANDS BEING ALLOCATED WITH A PROJECT, I.E. COUNTY FILE NUMBERS FS-13-002 AND S-14-009, AND RESULTING IN AN UN-ALLOCATED REMAINDER OF PROTECTED FOREST LANDS OF 19.79 ACRES.

ANOTHER REPLAT WAS PREPARED, APPROVED, AND RECORDED AS WASHINGTON COUNTY PLAT NUMBER M-718 THROUGH M-721 WHICH WAS INTENDED TO EXPAND THE PROTECTED FOREST AREAS QUALIFIED FOREST AND ALSO ALLOCATE 59.00 ACRES OF PROTECTED FOREST LANDS TO THE EASTERN PANHANDLE EXTENSION PROJECT (WASHINGTON COUNTY FILE NUMBER GP-17-015). THIS PLAT RESULTED IN 96.16 ACRES OF QUALIFIED FOREST BEING ENCUMBERED AND ASSOCIATED WITH THE PROJECT. THE AREA OF QUALIFIED FOREST ON THE FOREST STAND DELINEATION PLAN FOR KIRK WOODS PARK WAS 118.83 ACRES AS DETERMINED UNDER WASHINGTON COUNTY FILE NUMBER FC-13-016.

THE PURPOSE OF THIS PROPOSED REPLAT OF THE FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT APPROVED AND RECORDED AS WASHINGTON COUNTY PLAT NUMBERS M-563 AND M-564 AND SUBSEQUENTLY REPLATTED AND RECORDED AS WASHINGTON COUNTY PLAT NUMBERS M-636 AND M-637, AND SUBSEQUENTLY REPLATTED AND RECORDED AS WASHINGTON COUNTY PLAT NUMBERS M-718 THROUGH M-721 IS INTENDED TO ALLOCATE 1.46 ACRES OF PROTECTED FOREST LANDS TO THE PRELIMINARY/FINAL PLAT LOTS 1-3 LANDS OF SAM BILLOTTI IV AND CASSANDRA ANN BILLOTTI (WASHINGTON COUNTY FILE NUMBER S-18-038). THE PREVIOUS ALLOCATIONS OF PROTECTED FOREST LANDS TO SPECIFIC PROJECTS AS DEPICTED ON WASHINGTON COUNTY PLAT NUMBERS M-563 AND M-564 AND WASHINGTON COUNTY PLAT NUMBERS M-636 AND M-637 AND WASHINGTON COUNTY PLAT NUMBERS M-718 THROUGH M-721 ARE UNCHANGED BY THIS PROPOSED REPLAT.

SEQUENCE OF CONSTRUCTION:

1. STAKE/FLAG LIMITS OF FOREST RETENTION AREAS.
2. INSTALL FOREST PROTECTION DEVICES.
3. CONTACT WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT OFFICE FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2430.
4. NOTIFY THE WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT AND HOLD POST CONSTRUCTION MEETING AND INSPECTION.

NOTES:

1. THE PERMANENT SIGNS ARE REQUIRED TO BE POSTED WITHIN 30 DAYS OF SUBDIVISION APPROVAL AND ARE TO BE MAINTAINED FOR PERPETUITY.
2. SIGNS REQUIRED TO BE:
 - A) PLASTIC HDPE 0.05 GAUGE, OR
 - B) METAL
3. SIGNS TO BE PLACED EVERY 150' OR AS SHOWN.
4. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
5. BEARINGS AND DISTANCES ARE IN AGREEMENT WITH A SURVEY PROVIDED BY THE TOWN OF HANCOCK.
6. CONTOURS ARE FROM AERIAL TOPOGRAPHY SURVEYS PROVIDED BY THE TOWN OF HANCOCK.

DETAILED - SOIL MAP UNITS

- Ck.B** - CLEARBROOK CHANNERY SILT LOAM, 0 TO 8% SLOPES
K FACTOR 0.32
- Hb.C** - HAGERSTOWN SILTY CLAY LOAM, 8 TO 15% SLOPES, VERY ROCKY
K FACTOR 0.32
- Kc.F** - KLINEVILLE-CALVIN CHANNERY SILT LOAMS, 25 TO 65% SLOPES
K FACTOR 0.28
- Ln** - LINDSIDE SILT LOAM
K FACTOR 0.32
- Me** - MELVIN SILT LOAM
K FACTOR 0.32
- Mh.B** - MONONGAHELA GRAVELLY LOAM, 3 TO 8% SLOPES
K FACTOR 0.32
- Mh.C** - MONONGAHELA GRAVELLY LOAM, 8 TO 15% SLOPES
- Wu.B** - WURNO-NOLLVILLE CHANNERY SILT LOAMS, 3 TO 8% SLOPES
K FACTOR 0.37-0.32
- Wu.C** - WURNO-NOLLVILLE CHANNERY SILT LOAMS, 8 TO 15% SLOPES
K FACTOR 0.37
- Wu.D** - WURNO-NOLLVILLE CHANNERY SILT LOAMS, 15 TO 25% SLOPES
K FACTOR 0.28-0.32
- Wu.E** - WURNO-NOLLVILLE CHANNERY SILT LOAMS, 25 TO 45% SLOPES
K FACTOR 0.28-0.32
- W** - WATER

SOURCE:
SOIL SURVEY OF WASHINGTON COUNTY MARYLAND,
ISSUED OCT., 2001.

NOTES:

1. K-FACTOR VARIES PER DEPTH STRATUM.
2. NO HYDRIC SOILS EXIST ON THE SITE PER THE SOIL SURVEY OF WASHINGTON COUNTY. FIELD VERIFICATION WAS NOT UNDERTAKEN FOR THIS PLAN.

MISC. PLAT No. _____
DATE: _____
WASHINGTON COUNTY

RE-PLAT FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT
UTILIZING OFFSITE PROTECTIVE EASEMENT AREA FOR MITIGATION OF FOREST AREAS WITHIN KIRK WOODS PARK, OWNED BY THE TOWN OF HANCOCK

FP-19-006
SHEET 4 OF 4

DRAWN BY: MTB	DATE: 11/12/18	FOX & ASSOCIATES, INC. ENGINEERS • SURVEYORS • PLANNERS 981 MT. AETNA ROAD HAGERSTOWN, MARYLAND 21740 PHONE: (301)733-8503 FAX: (301)733-1853	FOX & ASSOCIATES, INC. 82 WORMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701 PHONE: (301)695-0880 FAX: (301)293-6009	DISTRICT	5
CHECKED BY: SCC	DATE: 11/12/18			TAX MAP No.	17
SCALE: AS NOTED				DWG. No.	C-3553

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS PLAN IS CORRECT, THAT IT IS THE LAND DESCRIBED IN A DEED FROM CATHERINE C. COTTER UNTO SAM BILLOTTI, IV & CASSANDRA ANN BILLOTTI, DATED FEBRUARY 15, 2010 AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND IN LIBER 3824 AT FOLIO 28 AND FURTHER THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

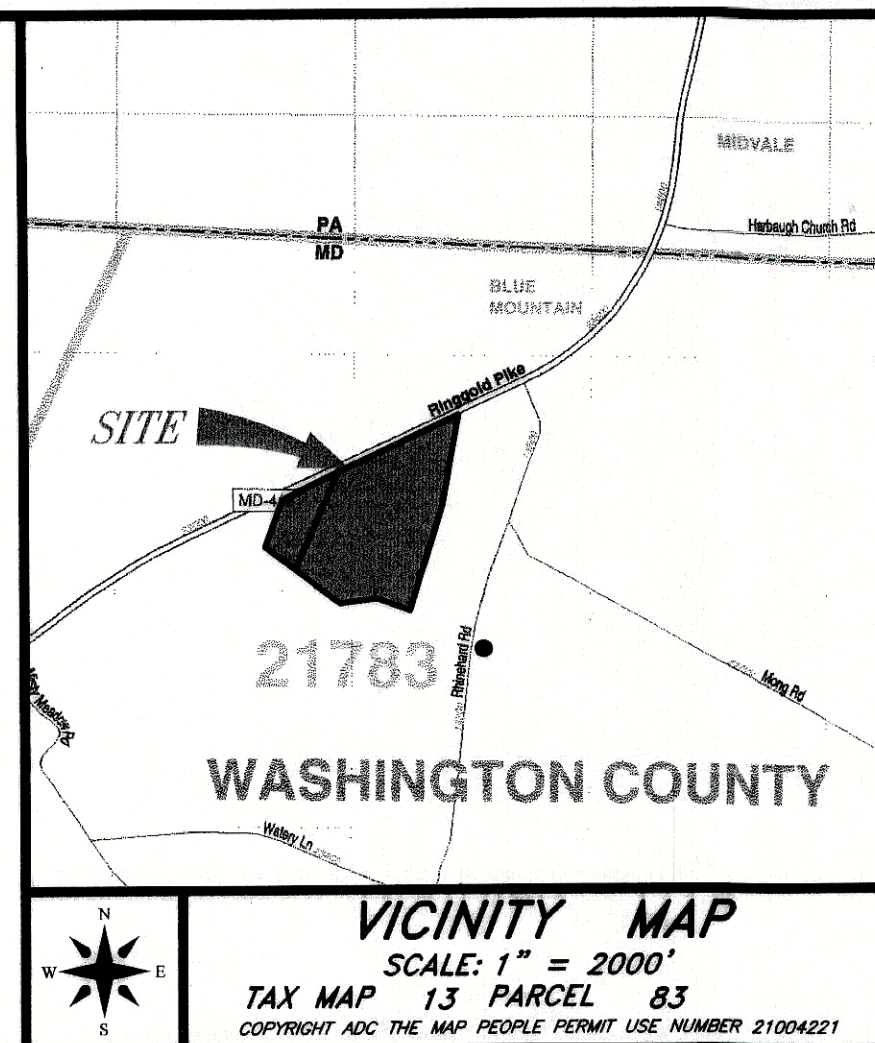
08/10/2020
DATE

George E. Nagel
GEORGE E. NAGEL
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION No. 21052
EXPIRATION/RENEW DATE: 08/24/2020



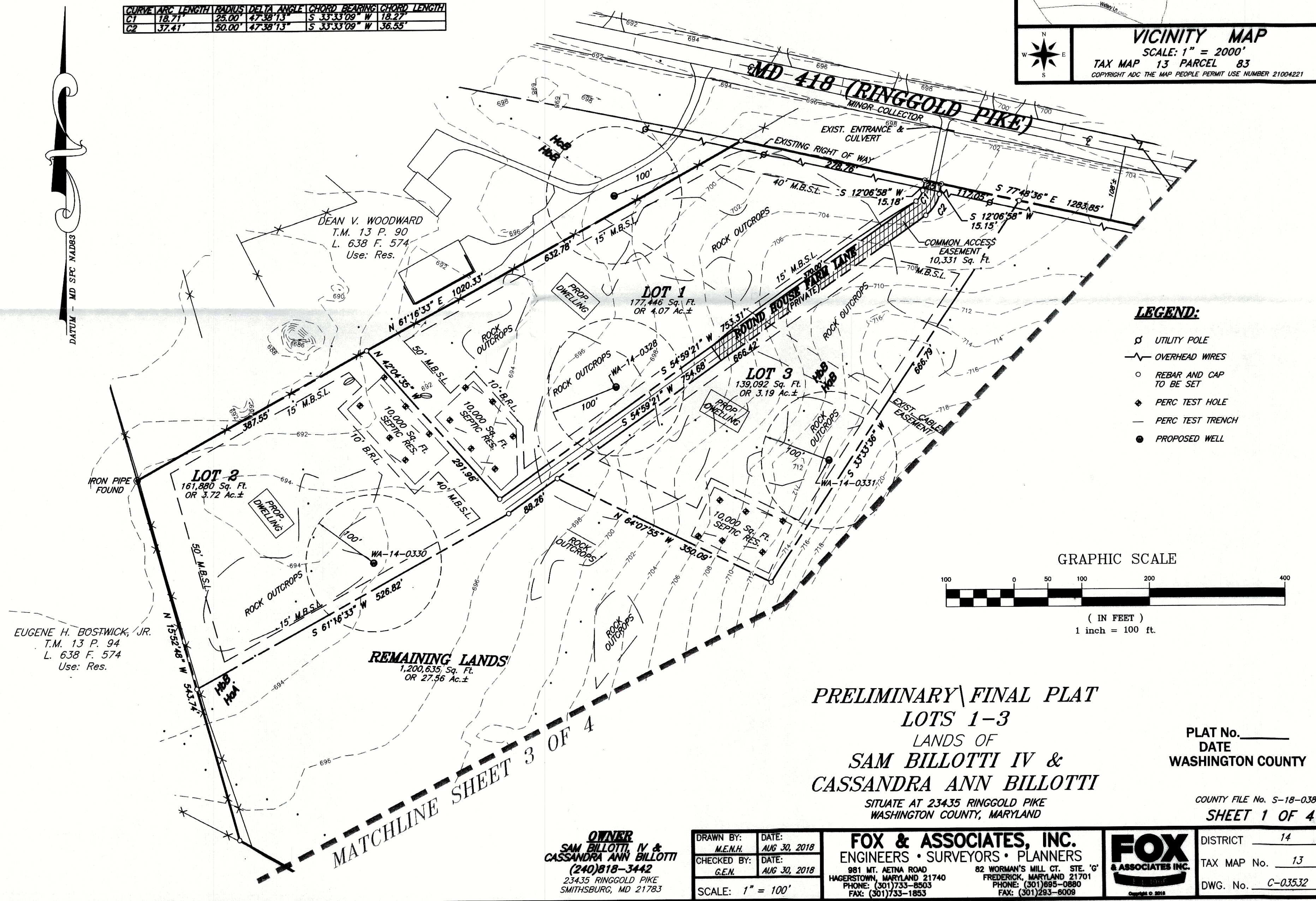
SOILS

HoA	HAGERSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES	22%
HoB	HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES	14%
HbB	HAGERSTOWN SILTY CLAY LOAM, 3 TO 8 PERCENT SLOPES, VERY ROCKY	64%

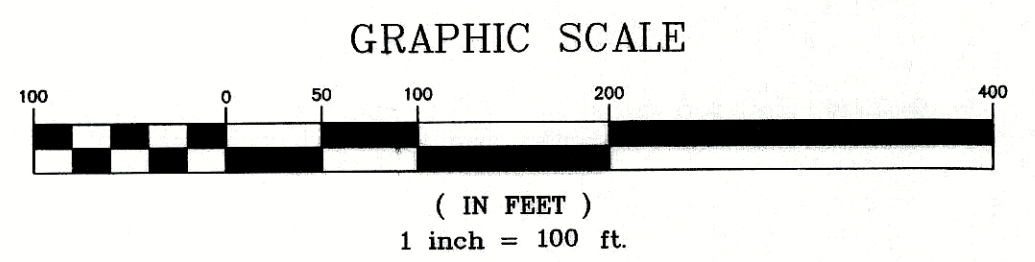


CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	18.71'	25.00'	47°38'13"	S 33°33'09" W	18.27'
C2	37.41'	50.00'	47°38'13"	S 33°33'09" W	36.55'

DATUM - MD SFC NAD83



- LEGEND:**
- ⊗ UTILITY POLE
 - OVERHEAD WIRES
 - REBAR AND CAP TO BE SET
 - ◆ PERC TEST HOLE
 - PERC TEST TRENCH
 - PROPOSED WELL



PRELIMINARY FINAL PLAT
LOTS 1-3
LANDS OF
SAM BILLOTTI IV &
CASSANDRA ANN BILLOTTI
SITUATE AT 23435 RINGGOLD PIKE
WASHINGTON COUNTY, MARYLAND

PLAT No. _____
DATE _____
WASHINGTON COUNTY

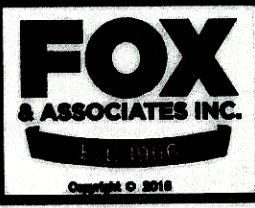
COUNTY FILE No. S-18-038
SHEET 1 OF 4

OWNER
SAM BILLOTTI IV &
CASSANDRA ANN BILLOTTI
(240)818-3442
23435 RINGGOLD PIKE
SMITHSBURG, MD 21783

DRAWN BY: M.E.N.H. DATE: AUG 30, 2018
CHECKED BY: G.E.N. DATE: AUG 30, 2018
SCALE: 1" = 100'

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
981 MT. AETNA ROAD
FREDERICK, MARYLAND 21740
PHONE: (301)733-8503
FAX: (301)733-1853

82 WORMAN'S MILL CT. STE. 'G'
FREDERICK, MARYLAND 21701
PHONE: (301)695-0880
FAX: (301)293-0009



DISTRICT 14
TAX MAP No. 13
DWG. No. C-03532

14:15:150882:blissett\Survey\DWG\18022.dwg Mar 18, 2019 - 4:19pm User: Grogan

GENERAL NOTES

1. INDICATES REBAR AND CAP SET UNLESS OTHERWISE NOTED.
2. CONTOURS FROM WASHINGTON COUNTY GIS DATA AND A FIELD SURVEY PERFORMED BY FOX & ASSOCIATES INC. DATUM IS NAVD88.
3. AN EIGHT (8) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE IS DEDICATED ALONG THE INTERIOR OF ALL SIDES AND REAR LOT LINES. A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES IS DEDICATED ALONG THE INTERIOR OF ALL FRONT LINES.
4. MINIMUM BUILDING SETBACK LINES (MBSL): FRONT=40', SIDES=15', REAR=50'
5. RESERVED 10,000 S.F. WASTE DISPOSAL SYSTEM AREA. NO PHYSICAL STRUCTURES PERMITTED.
6. THE LOTS ARE SERVED BY INDIVIDUAL WELLS AND SEPTIC.
7. ALL PROPOSED WELLS SHALL BE 100 FEET FROM ALL SEPTIC RESERVE AREAS.
8. MARYLAND RTE. 418, RINGGOLD PIKE - MINOR COLLECTOR
9. ADDRESS IS BASED ON THE ENTRANCE LOCATION. IF DRIVEWAY IS CONSTRUCTED IN A DIFFERENT LOCATION, ADDRESS IS VOID AND OWNER MUST REPLY TO THE WASHINGTON COUNTY PLANNING COMMISSION FOR A NEW ADDRESS ASSIGNMENT.
10. ACCESSORY STRUCTURES MAY BE CONSTRUCTED IN ACCORDANCE WITH SEC. 4.10 AND SEC. 23.5B.
11. THE PARCEL SHOWN HEREON IS NOT WITHIN 100 YEAR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP 24043C016CD WITH AN EFFECTIVE DATE OF DATED AUGUST 15, 2017. PARCEL IS IN ZONE 'X'.
12. THERE ARE NO STREAMS AND RELATED BUFFERS. STEEP SLOPES HAVE BEEN IDENTIFIED ON THIS SITE. THERE ARE NO HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
13. THIS RESIDENTIAL SUBDIVISION PLAT IS SUBJECT TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. ANY FURTHER POTENTIAL OF SUBDIVISION OF ANY LOTS OR REMAINING LANDS CREATED BY THIS SUBDIVISION IS SUBJECT TO THE REQUIREMENTS OF THE MARYLAND ANNOTATED CODE, ENVIRONMENT ARTICLE, SECTION 9-206 AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
14. ON LOT STORMWATER MANAGEMENT IS REQUIRED AND WILL BE REVIEWED AND APPROVED BY THE WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING AT THE GRADING PERMIT STAGE. STORMWATER MANAGEMENT MUST MEET THE CURRENT CRITERIA OF THE WASHINGTON COUNTY STORMWATER MANAGEMENT, GRADING, SOIL EROSION AND SEDIMENT CONTROL ORDINANCE AT THE TIME OF GRADING PERMIT APPLICATION. ALL ON LOT FACILITIES WILL BE OWNED AND MAINTAINED BY THE LOT OWNER. A PERFORMANCE BOND WILL BE REQUIRED PRIOR TO THE GRADING PERMIT ISSUANCE AND MAINTENANCE AGREEMENT WILL BE REQUIRED BETWEEN THE LOT OWNER AND THE COUNTY FOR STORMWATER MANAGEMENT FACILITIES.
15. THE AREA OF THE WATERSHED AFFECTING THE PROPERTY IS LESS THAN 40 ACRES.
16. ZONING - "AR" AGRICULTURAL RURAL DISTRICT.
17. THIS PLAT WAS REVIEWED AND APPROVED PER THE "AR" DISTRICT. ANY DEVELOPMENT / CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WASHINGTON COUNTY ZONING ORDINANCE CURRENTLY BEING ENFORCED.
18. THE BOUNDARY AS SHOWN ON THIS PLAT IS BASED ON A FIELD RUN SURVEY PERFORMED BY FOX & ASSOCIATES INC.
19. THE BASIS OF BEARINGS FOR THIS PLAT IS THE MD STATE PLANE COORDINATE SYSTEM - NAD83.
20. THE WASHINGTON COUNTY GIS PROTECTED LANDS MAP SHOWS THAT THE SOUTHERN HALF OF THE PROPERTY MAY CONTAIN HABITAT OF SENSITIVE SPECIES ACCORDING TO MD DNR'S SENSITIVE PROJECT REVIEW AREA. IT IS REPRESENTED AS AN AREA OF STATE CONCERN ON THE MAP. AN ENVIRONMENTAL REVIEW BY THE MD DNR, WILDLIFE AND HERITAGE SERVICE, DATED 11-13-2018, DETERMINED THAT THERE ARE RECORDS FOR THE STATE-LISTED THREATENED PEARL DACE (*Margariscus margarita*) AND THE HIGHLY RARE CHECKERED SCULPIN (*Cottus sp. ?*) DOCUMENTED IN THE NEARBY LITTLE ANTIETAM CREEK. MD DNR WOULD ENCOURAGE THE APPLICANT TO ADHERE STRINGENTLY TO ALL APPROPRIATE BEST MANAGEMENT PRACTICES FOR SEDIMENT AND EROSION CONTROL DURING ALL PHASES OF CONSTRUCTION.
21. A MODIFICATION FOR A PANHANDLE LENGTH IN EXCESS OF THE MAXIMUM 400 FEET WAS APPROVED ON SEPTEMBER 25, 2018, MODIFICATION REQUEST No. OM-18-007.
22. THE TOTAL PLANTING REQUIREMENT FOR THIS PROJECT IS 0.73 ACRES. THIS PLANTING REQUIREMENT SHALL BE MET BY RETAINING EXISTING QUALIFIED FOREST UNDER A PROTECTIVE EASEMENT AT KIRK WOODS PARK LOCATED IN THE TOWN OF HANCOCK. THE RETENTION OF EXISTING OFF-SITE FORESTED LANDS AS THE MEANS TO ADDRESS THE TOTAL PLANTING REQUIREMENT FOR THIS PROJECT REQUIRES A MITIGATION RATIO OF 2 TO 1. THEREFORE, THE TOTAL PLANTING REQUIREMENT OF 0.73 ACRES SHALL BE MET BY RETAINING 1.46 ACRES OF EXISTING QUALIFIED FOREST UNDER A PROTECTIVE EASEMENT AT KIRK WOODS PARK LOCATED IN THE TOWN OF HANCOCK. THE ESTABLISHMENT OF THIS EASEMENT HAS BEEN DEPICTED ON A PLAT TITLED "RE-PLAT FINAL FOREST CONSERVATION PLAN AND FOREST CONSERVATION EASEMENT PLAT UTILIZING OFFSITE PROTECTIVE EASEMENT AREA FOR MITIGATION OF FOREST AREAS WITHIN KIRK WOODS PARK, OWNED BY THE TOWN OF HANCOCK". THIS RE-PLAT HAS BEEN ASSIGNED COUNTY FILE NUMBER FP-19-006 AND HAS BEEN RECORDED AS WASHINGTON COUNTY MISC. PLAT NUMBER. THE WASHINGTON COUNTY PLANNING COMMISSION APPROVED THE USE OF THE AFOREMENTIONED MEANS OF FOREST MITIGATION AT THEIR REGULAR MEETING ON APRIL 1, 2019.

AREA TABULATION

AREA OF ORIGINAL PARCEL 83.....	1,679,053 SF	OR	38.55 AC
LESS LOT 1.....	177,446 SF	OR	4.07 AC
LESS LOT 2.....	161,880 SF	OR	3.72 AC
LESS LOT 3.....	139,092 SF	OR	3.19 AC
TOTAL AREA OF SUB-DIVISION.....478,418 SF OR 10.98 AC			
NUMBER OF LOTS.....3 SINGLE FAMILY			
REMAINING LANDS.....27.55 AC			

ADDRESS ASSIGNMENT:

REMAINING LANDS	23435 RINGGOLD PIKE
LOT 1	14512 ROUND HOUSE FARM LANE
LOT 2	14506 ROUND HOUSE FARM LANE
LOT 3	14515 ROUND HOUSE FARM LANE

CERTIFICATE OF APPROVAL

FINAL APPROVAL GRANTED WASHINGTON COUNTY PLANNING COMMISSION
 DATE _____ FINAL APPROVAL GOOD FOR SIX MONTHS FROM ABOVE DATE

CERTIFICATE OF APPROVAL OF INDIVIDUAL WATER SUPPLY & INDIVIDUAL SEWERAGE SYSTEM

I HEREBY CERTIFY THAT THE MINIMUM OWNERSHIP AREA COMPLIES WITH THE MINIMUM WIDTH AND MINIMUM AREA REQUIREMENTS SPECIFIED IN COMAR 26.04.03.03. SUCH MINIMUM OWNERSHIP SHALL REMAIN EQUAL TO THE MINIMUM WIDTH AND MINIMUM AREA SET FORTH IN COMAR 26.04.03.03A. (2) UNTIL COMMUNITY SEWERAGE AND WATER HAVE BEEN MADE AVAILABLE, NOT MORE THAN ONE PRINCIPAL BUILDING MAY BE ERECTED OR CONSTRUCTED ON A LOT, OR LOTS, CONTAINED IN THE MINIMUM OWNERSHIP AREA AS ESTABLISHED BY COMAR 26.04.03.03A (2) UNTIL COMMUNITY SEWERAGE HAS BEEN MADE AVAILABLE.

DATE _____ COUNTY HEALTH OFFICER _____

INTERIM FACILITIES PROVISION CERTIFICATE

IN COMPLIANCE WITH COMAR 26.03.01.05.B. (1) AND (2) THE INDIVIDUAL WATER SUPPLY AND/OR SEWER SYSTEM IS HEREBY PERMITTED ON A TEMPORARY INTERIM BASIS. FUTURE LOT OWNERS ARE ADVISED THAT THE INDIVIDUAL SYSTEMS SERVING THE LOT INDICATED ON THIS PLAT ARE OF TEMPORARY INTERIM NATURE AND THAT CONNECTION TO A FUTURE COMMUNITY SYSTEM SHALL BE MADE WITHIN ONE (1) YEAR OR LESS AFTER THE SYSTEM BECOMES AVAILABLE.

3/19/19
DATE
3/19/19
DATE

Sam Billotti IV
SAM BILLOTTI, IV
Cassandra Ann Billotti
CASSANDRA ANN BILLOTTI

OWNERS DEDICATION

I HEREBY CERTIFY THAT I AM THE LEGAL AND TRUE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAT AND THAT THE WE ADOPT THIS PLAN OF SUBDIVISION, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALL ALLEY, STREET, AND ROAD RIGHTS OF WAY DESIGNATED ON THIS PLAT, AGREE TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN, AND AGREE THAT THE DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY SAID BOARD, AND WE HEREBY RESERVE THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS OF WAY, OPEN SPACES AND RECREATION AREAS AND, WITH REGARD TO THE SAID EASEMENTS AND RIGHTS OF WAY, HEREBY AGREE TO CONVEY THE SAME TO SAID BOARD, FOR THE USE OF SAID WASHINGTON COUNTY, WITHOUT CONSIDERATION, UPON THE LEGAL ACCEPTANCE OF SAID EASEMENTS AND/OR RIGHTS OF WAY BY SAID BOARD.

THIS DEED AND AGREEMENT OF DEDICATION SHALL BE BINDING UPON OUR GRANTEES, ASSIGNS, AND SUCCESSORS.
 THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS OR RIGHTS OF WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:

AND ALL PARTIES AND INTERESTS THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES, INDICATING THEIR ASSENT TO THIS PLAN OF SUBDIVISION.
 WITNESS OUR HANDS AND SEALS THIS 19th DAY OF March, 2019.

Sam Billotti IV
WITNESS SAM BILLOTTI, IV
Cassandra Ann Billotti
WITNESS CASSANDRA ANN BILLOTTI

PRELIMINARY \ FINAL PLAT,
 LOTS 1-3
 LANDS OF
 SAM BILLOTTI IV &
 CASSANDRA ANN BILLOTTI

PLAT No. _____
 DATE _____
 WASHINGTON COUNTY

SITUATE AT 23435 RINGGOLD PIKE
 WASHINGTON COUNTY, MARYLAND

COUNTY FILE No. S-18-038
 SHEET 2 OF 4

DRAWN BY: M.E.N.H.	DATE: AUG 30, 2018
CHECKED BY: G.E.N.	DATE: AUG 30, 2018
SCALE: AS NOTED	

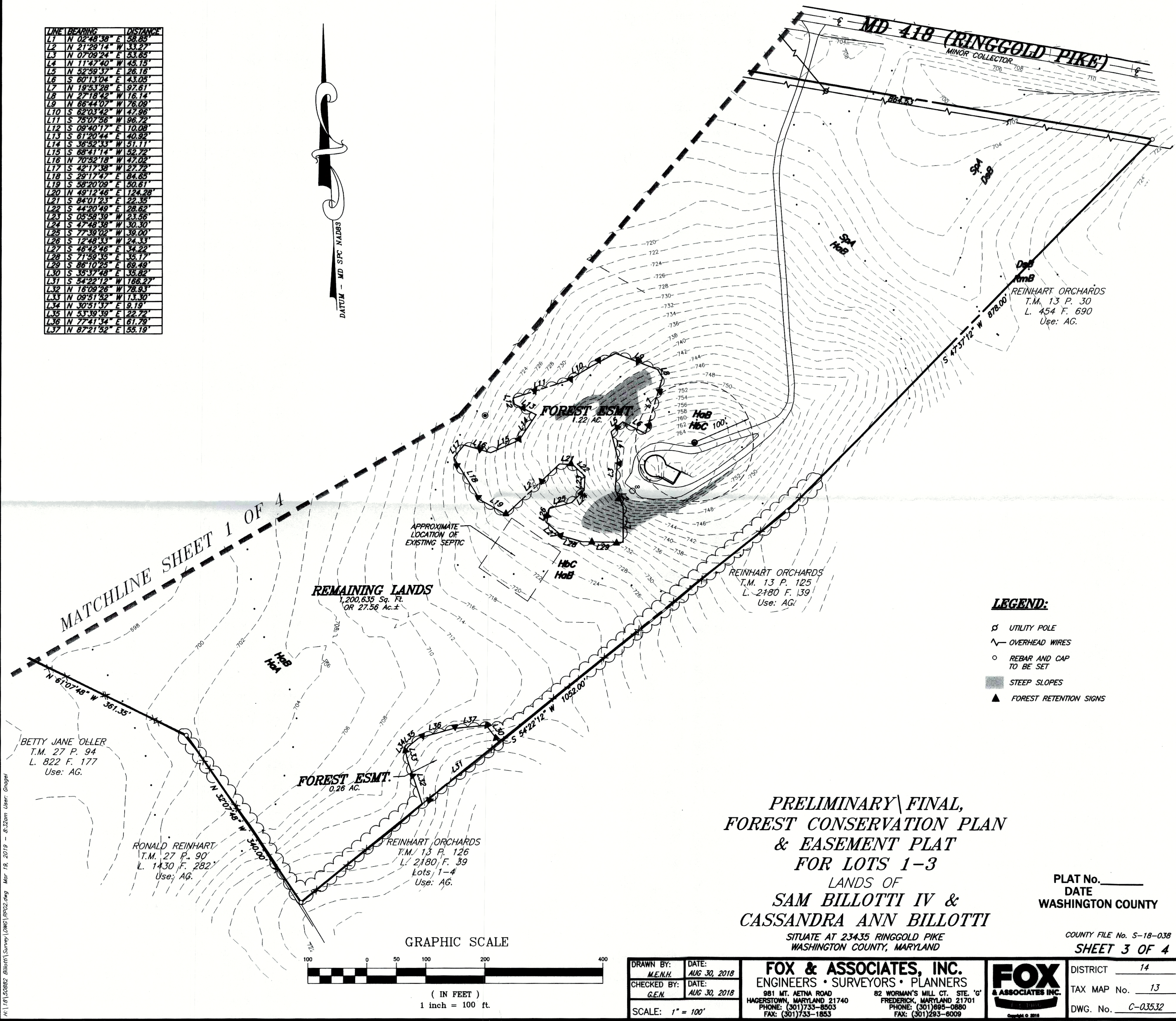
FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 981 MT. AETNA ROAD
 HAGERSTOWN, MARYLAND 21740
 PHONE: (301)733-8503
 FAX: (301)733-1853



DISTRICT	14
TAX MAP No.	13
DWG. No.	C-03532

H:\1\150682_Bilotti\Survey\DWG\FP02.dwg Mar 19, 2019 - 8:32am User: Cingari

LINE	BEARING	DISTANCE
L1	N 02°48'38" E	58.85'
L2	N 21°29'14" W	33.27'
L3	N 07°09'24" E	53.65'
L4	N 11°47'40" W	45.15'
L5	N 52°59'37" E	26.16'
L6	S 60°13'04" E	43.05'
L7	N 19°53'28" E	97.81'
L8	N 27°18'42" W	16.14'
L9	N 66°44'07" W	76.09'
L10	S 62°03'42" W	47.96'
L11	S 75°07'56" W	96.72'
L12	S 09°40'17" E	10.08'
L13	S 61°20'44" E	40.92'
L14	S 36°52'33" W	51.11'
L15	S 68°41'14" W	52.72'
L16	N 70°52'18" W	47.02'
L17	S 42°17'38" W	27.72'
L18	S 29°17'47" E	84.85'
L19	S 58°20'09" E	50.61'
L20	N 49°12'46" E	124.28'
L21	S 84°01'23" E	22.35'
L22	S 44°20'49" E	28.62'
L23	S 05°58'39" W	23.56'
L24	S 47°48'38" W	30.30'
L25	S 77°39'02" W	39.00'
L26	S 12°48'53" W	24.33'
L27	S 46°42'46" E	34.22'
L28	S 71°59'35" E	35.17'
L29	S 86°10'25" E	69.49'
L30	S 35°37'48" E	35.82'
L31	S 54°22'12" W	166.27'
L32	N 16°09'26" W	78.93'
L33	N 09°51'52" W	13.30'
L34	N 30°51'37" E	9.19'
L35	N 53°39'39" E	22.72'
L36	N 77°41'34" E	61.79'
L37	N 87°21'52" E	55.19'



MATCHLINE SHEET 1 OF 4

BETTY JANE OLLER
T.M. 27 P. 94
L. 822 F. 177
Use: AG.

RONALD REINHART
T.M. 27 P. 90
L. 1430 F. 282
Use: AG.

FOREST ESMT.
0.26 AC.

REMAINING LANDS
1,200,635 Sq. Ft.
OR 27.56 Ac.±

FOREST ESMT.
1.22 AC.

REINHART ORCHARDS
T.M. 13 P. 125
L. 2480 F. 139
Use: AG.

REINHART ORCHARDS
T.M. 13 P. 30
L. 454 F. 690
Use: AG.

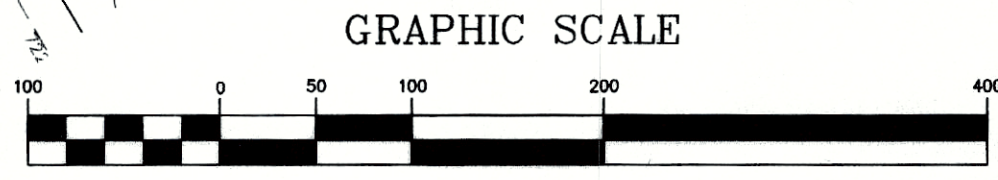
- LEGEND:**
- ⊕ UTILITY POLE
 - OVERHEAD WIRES
 - REBAR AND CAP TO BE SET
 - STEEP SLOPES
 - ▲ FOREST RETENTION SIGNS

**PRELIMINARY \ FINAL,
FOREST CONSERVATION PLAN
& EASEMENT PLAT
FOR LOTS 1-3
LANDS OF
SAM BILLOTTI IV &
CASSANDRA ANN BILLOTTI**

PLAT No. _____
DATE _____
WASHINGTON COUNTY

SITUATE AT 23435 RINGGOLD PIKE
WASHINGTON COUNTY, MARYLAND

COUNTY FILE No. S-18-038
SHEET 3 OF 4



(IN FEET)
1 inch = 100 ft.

DRAWN BY: M.E.M.H.
CHECKED BY: G.E.N.
SCALE: 1" = 100'

DATE: AUG 30, 2018
DATE: AUG 30, 2018
FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
981 MT. AETNA ROAD
HAGERSTOWN, MARYLAND 21740
PHONE: (301)733-8503
FAX: (301)733-1853



DISTRICT 14
TAX MAP No. 13
DWG. No. C-03532

H:\19\50882_Bilotti\Survey\DWG\APP02.dwg Mar 19, 2019 - 8:32am User: Grogel

GENERAL NOTES

- THE FOREST CONSERVATION MEASURES REQUIRED FOR THIS SITE SHALL BE FULLY IMPLEMENTED WITHIN TWO (2) GROWING SEASONS FROM COMPLETION OF THE PROJECT.
- THIS FOREST CONSERVATION PLAN HAS BEEN PREPARED PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ANY DEVIATION FROM THIS APPROVED PLAN MAY MAKE THE OWNER/DEVELOPER SUBJECT TO FINES AND PENALTIES PURSUANT TO ENFORCEMENT ACTION TAKEN BY THE APPROVING AUTHORITY.
- FOX & ASSOCIATES INC. SHALL NOT BE RESPONSIBLE FOR THE SURVIVABILITY OF EITHER THE EXISTING FOREST OR OF THE PROPOSED AFFORESTATION/REFORESTATION AREA DUE TO CIRCUMSTANCES BEYOND OUR CONTROL; (I.E. ACTS OF NATURE, IMPROPER PLANT HANDLING OR INSTALLATION, IMPROPER TREE PROTECTION OR THE LACK OF FOREST MAINTENANCE).
- NO DISTURBANCE TO ANY EXISTING FOREST AREAS SHALL BE PERMITTED EXCEPT AS SHOWN ON THIS PLAN.
- PROTECTION DEVICES:
 - ALL RETENTION AREAS SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL ANCHORED TEMPORARY PROTECTION DEVICES.
 - ALL PROTECTION DEVICES SHALL BE IN PLACE PRIOR TO ANY GRADING OR LAND CLEARING.
 - FENCING SHALL BE AS DETAILED.
 - ALL PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND ALL GRADED AREAS HAVE BEEN STABILIZED.
 - PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS, TO TREES IS PROHIBITED.
 - NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN PROTECTED AREAS.
- AFTER THE BOUNDARIES OF THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED AND THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, AND BEFORE ANY DISTURBANCE HAS TAKEN PLACE ON-SITE, A PRE-CONSTRUCTION MEETING AT THE CONSTRUCTION SITE SHALL TAKE PLACE. THE DEVELOPER, HIS QUALIFIED PROFESSIONAL, CONTRACTOR AND APPROPRIATE LOCAL INSPECTORS SHALL ATTEND.
- ANY CHANGES MADE TO THE FOREST CONSERVATION PLAN DUE TO ON-SITE CONDITIONS SHALL BE MADE IN CONSULTATION WITH A QUALIFIED PROFESSIONAL AND APPROVED BY THE PLAN PREPARER.
- FOLLOWING CONSTRUCTION, THE FOLLOWING MEASURES SHALL BE TAKEN WHEN APPROPRIATE:
 - CORRECTIVE MEASURES IF DAMAGES WERE INCURRED DUE TO NEGLIGENCE:
 - STRESS REDUCTION: FOLLOW PROCEDURE OUTLINED IN SECTION 3.53(A)(1) OF THE FOREST CONSERVATION TECHNICAL MANUAL. POSE AN IMMEDIATE SAFETY HAZARD.
 - REMOVAL OF DEAD OR DYING TREES: THIS MAY BE DONE ONLY IF TREES POSE AN IMMEDIATE SAFETY HAZARD.
 - TEMPORARY STRUCTURES: THE FOLLOWING MINIMUM STANDARDS SHALL BE OBSERVED DURING THE REMOVAL OF TEMPORARY STRUCTURES:
 - NO BURIAL OF DISCARDED MATERIALS WILL OCCUR ON-SITE.
 - NO OPEN BURNING WITHIN 100 FEET OF A WOODED AREA.
 - ALL TEMPORARY FOREST PROTECTION STRUCTURES WILL BE REMOVED AFTER CONSTRUCTION.
- FOLLOWING THE COMPLETION OF CONSTRUCTION, PRIOR TO USE, THE PROJECT INSPECTOR SHALL INSPECT THE ENTIRE SITE.
- THE OWNER/DEVELOPER SHALL RETAIN QUALIFIED NURSERY PERSONNEL TO DETERMINE AND IMPLEMENT, AS NECESSARY, A SCHEDULE FOR WATERING, FERTILIZATION AND GENERAL MAINTENANCE OF THE STOCK PLANTED IN THE AFFORESTATION/REFORESTATION AREA AND TO MONITOR THE PROGRESS OF THE EXISTING FOREST.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH WASHINGTON COUNTY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777, A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE UTILIZATION OF MEN, MATERIALS, EQUIPMENT AND SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- FOX & ASSOCIATES INC. HAS PERFORMED NO SUBSURFACE INVESTIGATION OF ANY KIND. LOCATION AND EXTENT OF OF ROCK, WATERTABLES, UTILITIES, ETC. ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR.

FOREST CONSERVATION WORKSHEET 2.2

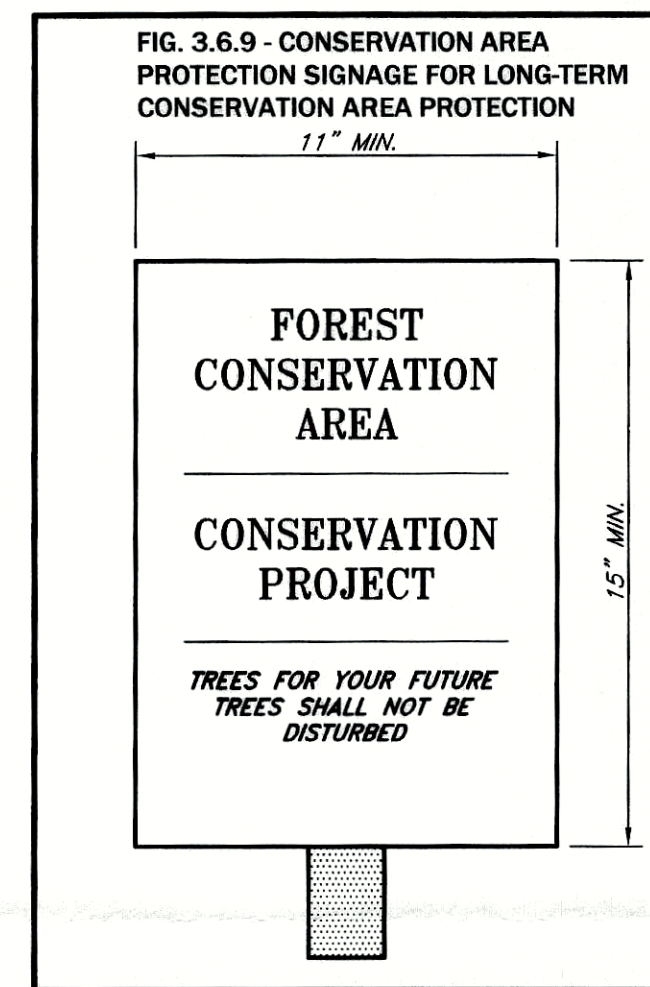
NOTE: USE 0 FOR ALL NEGATIVE NUMBERS THAT RESULT FROM THE CALCULATIONS.

Net Tract Area	
A. TOTAL TRACT AREA	A = 10.98
B. DEDUCTIONS (CRITICAL AREA AREA RESTRICTED BY LOCAL ORDINANCE OR PROGRAM)	B = 0
C. NET TRACT AREA NET TRACT AREA = TOTAL TRACT (A) - DEDUCTIONS (B)	C = 10.98
Land Use Category: AGRICULTURAL AND RESOURCE AREA	
D. AFFORESTATION THRESHOLD (NET TRACT AREA (C) x 20%)	D = 2.20
E. CONSERVATION THRESHOLD (NET TRACT AREA (C) x 50%)	E = 5.49
Existing Forest Cover	
F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA	F = 1.47
G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD IF THE EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN G = F - E, OTHERWISE G = 0	G = 0
Break Even Point	
H. BREAK-EVEN POINT (AMOUNT OF FOREST THAT MUST BE RETAINED SO THAT NO MITIGATION IS REQUIRED)	H = 1.47
(1) IF THE AREA OF FOREST ABOVE THE CONSERVATION THRESHOLD (G) IS GREATER THAN 0, THEN H = (0.2 x THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G)) + THE CONSERVATION THRESHOLD (E); OTHERWISE, CALCULATE THE PLANTING REQUIREMENT(S) AS FOLLOWS:	
(2) IF THE AREA OF FOREST ABOVE THE CONSERVATION THRESHOLD (G) IS EQUAL TO 0, THEN H = EXISTING FOREST COVER (F).	
I. FOREST CLEARING PERMITTED WITHOUT MITIGATION I = EXISTING FOREST COVER (F) - BREAK-EVEN POINT (H)	I = 0
Proposed Forest Clearing	
J. TOTAL AREA OF FOREST TO BE CLEARED	J = 0
K. TOTAL AREA OF FOREST TO BE RETAINED K = EXISTING FOREST COVER (F) - FOREST TO BE CLEARED (J)	K = 1.47
Planting Requirements	
IF THE TOTAL AREA OF FOREST TO BE CLEARED (J) IS AT OR ABOVE THE BREAK-EVEN POINT (H), AND PLANTING IS REQUIRED AND NO FURTHER CALCULATIONS ARE NECESSARY (L=M=0, N=0, P=0).	
OTHERWISE, CALCULATE THE PLANTING REQUIREMENT(S) AS FOLLOWS:	
L. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD (1) IF THE TOTAL AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN L = THE AREA OF FOREST TO BE CLEARED (J) x 0.25;	
(2) IF THE FOREST TO BE RETAINED (K) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN L = AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) x 0.25	
M. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD (1) IF EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E) AND THE FOREST TO BE RETAINED (K) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN M = 2.0 x (CONSERVATION THRESHOLD (E) - FOREST TO BE RETAINED (K));	M = 0
(2) IF EXISTING FOREST COVER (F) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN M = 2.0 x FOREST TO BE CLEARED (J)	
N. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD IF THE AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN N = K - E	N = 0
P. TOTAL REFORESTATION REQUIRED P = L + M - N	P = 0
Q. TOTAL AFFORESTATION REQUIRED IF EXISTING FOREST COVER (F) IS LESS THAN THE AFFORESTATION THRESHOLD (D), THEN Q = AFFORESTATION THRESHOLD (D) - EXISTING FOREST COVER (F)	Q = 0.73
R. TOTAL PLANTING REQUIREMENT R = P + Q	R = 0.73

NOTES:
 - 2.20 ACRES OF FOREST REQUIRED
 - 1.47 ACRES OF EXISTING FOREST WILL BE RETAINED ON SITE
 - 0.73 ACRES OF PLANTING REQUIRED. THE 0.73 ACRES WILL BE MEET THRU AN OFFSITE FOREST AREA. TO MEET OFFSITE REQUIREMENTS THE 0.73 ACRES MUST DOUBLED THENCE 1.46 ACRES MUST BE RETAINED OFFSITE.

LONG TERM PROTECTION

SAM BILLOTTI, IV & CASSANDRA ANN BILLOTTI WILL EXECUTE A FOREST EASEMENT DEED PLACING A PERPETUAL FOREST CONSERVATION EASEMENT ON THE AREAS SHOWN HEREON TO BE REFORESTED, OR RETAINED UNDER THE APPROVED FOREST CONSERVATION PLAN. THIS EASEMENT, RECORDED WITH THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND PLACES RESTRICTIONS TO RUN WITH THE LAND AND BE IN PERPETUITY AND PROHIBITS ANY CLEARING OF EASEMENT AREAS, AND SHALL FURTHER PROHIBIT ANY USE WHICH IS INCONSISTENT WITH RETAINING SUCH AREAS AS NATURAL FOREST. FURTHERMORE, THE USE OF THE FOREST CONSERVATION EASEMENT AREAS ARE LIMITED TO THOSE ACTIVITIES THAT ARE CONSISTENT WITH FOREST CONSERVATION SUCH AS RECREATIONAL ACTIVITIES, FOREST MANAGEMENT, AND WILDLIFE MANAGEMENT AND ARE IN COMPLIANCE WITH WASHINGTON COUNTY'S FOREST RESOURCE INSPECTION AND MAINTENANCE COVENANTS AND AGREEMENTS. PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATIONS OF THESE RESTRICTIONS. FUTURE PROPERTY OWNERS SHALL RECEIVE TITLE TO SUCH AREAS SUBJECT TO SUCH RESTRICTIONS.



NOTE:
 1. SIGNS SHALL BE LOCATED AS SHOWN ON SHEET 1 OR A MAXIMUM OF 50' ON CENTER.
 2. SIGNS SHALL REMAIN INDEFINITELY.

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I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

J. Mark Fream 3-19-19
 J. MARK FREAM

OWNER
 SAM BILLOTTI IV &
 CASSANDRA ANN BILLOTTI
 (240)818-3442
 23435 RINGGOLD PIKE
 SMITHSBURG, MD 21783

DRAWN BY: M.E.N.H. DATE: AUG 30, 2018
 CHECKED BY: G.E.N. DATE: AUG 30, 2018
 SCALE: AS NOTED

FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 981 MT. AETNA ROAD HAGERSTOWN, MARYLAND 21740
 PHONE: (301)733-8503 FAX: (301)733-1853
 82 WORMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701
 PHONE: (301)895-0880 FAX: (301)293-8009



PLAT No. _____
 DATE _____
 WASHINGTON COUNTY
 COUNTY FILE No. S-18-038
SHEET 4 OF 4
 DISTRICT 14
 TAX MAP No. 13
 DWG. No. C-03532

PRELIMINARY \ FINAL
FOREST CONSERVATION PLAN
FOR LOTS 1-3
 LANDS OF
SAM BILLOTTI IV &
CASSANDRA ANN BILLOTTI



Washington County

M A R Y L A N D

DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission
FROM: Cody Shaw, Chief of Plan Review
DATE: March 19, 2019
SUBJECT: Shared Parking Request for Rosewood Village PUD Phase IIA (PSP-07-001)

Attached you will find for your review a request to allow shared parking for Rosewood Commons within the Rosewood Village PUD.

Rosewood Commons (shopping center) was approved as part of PSP-07-001, Rosewood, Phase IIA. The functional description reflected “retail and office” and the minimum requirements for parking was based on retail use at 5.5 spaces per 1,000 sq. ft. of gross floor area which equated to 122 spaces with 125 spaces provided – 5 being designated as handicapped.

The building consists of 16 tenant spaces. Early tenants consisted of mainly retail sales, as approved on the site plan, including a liquor store, a party supply store, a dry cleaning business and a fitness center. There were also two restaurants approved including Schula’s.

Over the years, the occupancy has changed from mainly retail to food service establishments. Currently, there are 7 restaurants, 2 retail businesses, both of which occupy two tenant spaces, and 5 vacant units.

Per the parking matrix provided by the Applicant, there is 11,102 sq. ft. of restaurant space which requires 1 space per 75 sq. ft. of gross floor area or 148 spaces. This well exceeds the number of spaces currently existing at the shopping center.


The parking issue was brought to light with the application for a building permit for Schula’s to expand into a third tenant space. The Applicant was advised of the inadequate parking and spoke with staff and presented a resolution. However, since the property is within a PUD, the Planning Commission is charged with reviewing and approving shared or off-site parking requests.

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

WWW.WASHCO-MD.NET

It is important to note, the Applicant has been advised that no new building permit applications or zoning certifications will be processed until the parking issue has been resolved.

If you have comments regarding the proposed modification and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or cshaw@washco-md.net.

A handwritten signature in black ink, appearing to read 'Cody L. Shaw', with a stylized flourish at the end.

Cody L. Shaw
Chief of Plan Review



72 W Washington St., Hagerstown, MD 21740
Phone (301) 791-4882 Fax (301) 791-4883

May 12, 2019

Mr. Cody Shaw
Chief of Plan Review
Division of Plan Review and Permitting
Washington County

RE Rosewood Commons

To address the parking shortage at Rosewood commons, we are proposing to use the excess parking at Rosewood Village PUD to supplement the parking for Rosewood Commons.

All properties are part of the overall Rosewood Village PUD. The designated spaces in yellow will cover the parking deficit for Rosewood Commons, and still have an excess of 34 spaces. We are requesting to designate the additional 121 spaces as part of Rosewood Commons

The attached exhibits are included:

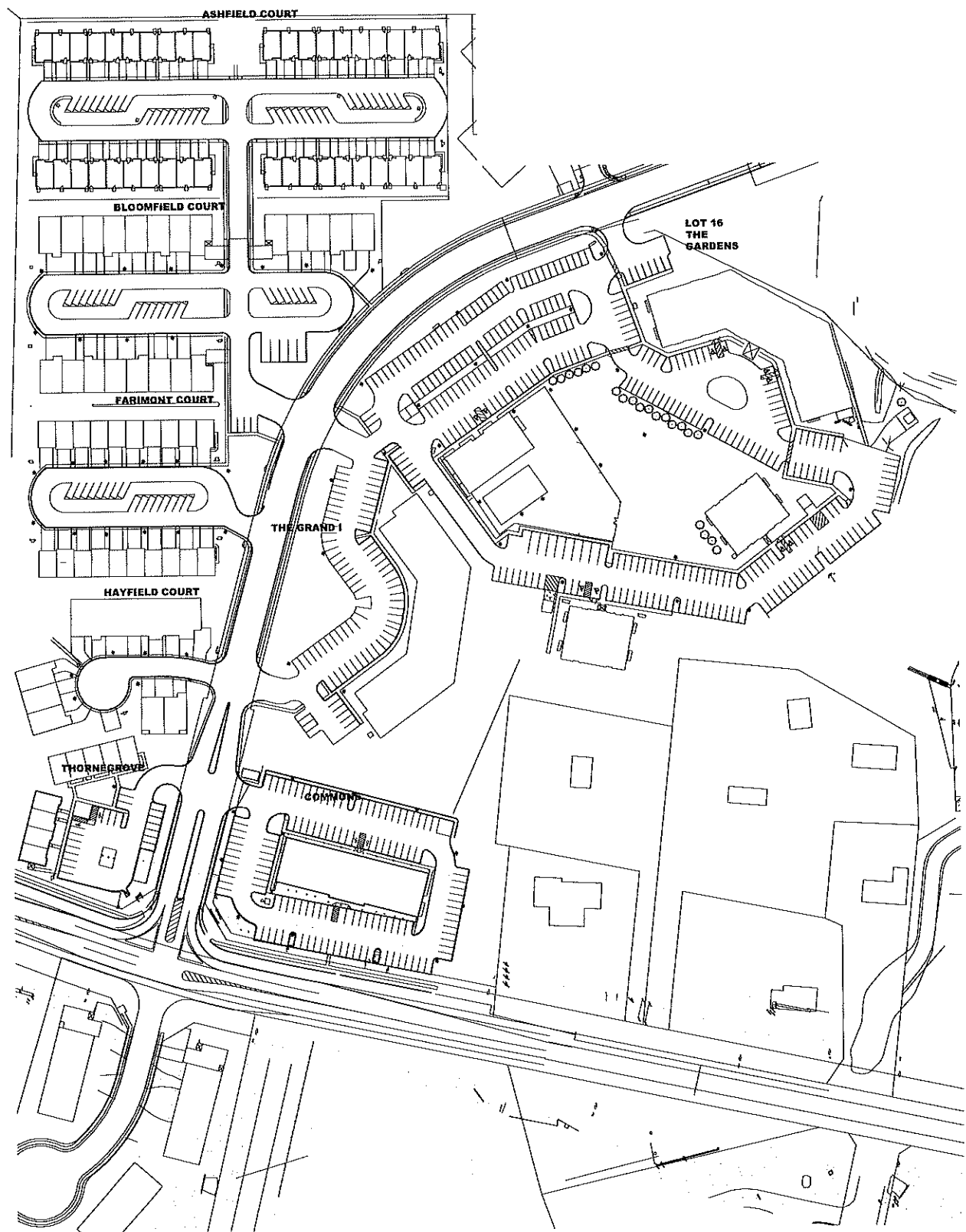
- Rosewood Parking Layout
- Rosewood Parking tabulation

ROSEWOOD PARKING

EXISTING ROSEWOOD	614
EXISTING ROSEWOOD COMMONS	122
TOTAL EXISTING	736
REQUIRED ROSEWOOD	459
REQUIRED ROSEWOOD COMMONS	243
TOTAL REQUIRED	702
TOTAL EXCESS PARKING	34

ROSEWOOD COMMONS PARKING MATRIX

SUITE	CURRENT TENANT	USE	TOTAL SQ FT	PARKING REQUIRED
101	SAFRON BAKERY	RESTAURANT	1,605	21
102	VACANT	RETAIL	1,525	20
103	VACANT	RETAIL	1,525	20
104	ROYAL PAWN	RETAIL	align="right">3,050	align="right">15
105				
106	ROSEWOOD LIQUORS	RETAIL	align="right">3,090	align="right">15
107				
108	HUMMUS GRILL	RESTAURANT	1,640	22
201	MANGO GRILL	RESTAURANT	1,602	21
202	ZHEST DRYCLEANERS	RETAIL	align="right">3,090	align="right">15
203				
204	VACANT	RETAIL	1,563	8
205	FUJI	RESTAURANT	1,545	21
206	SCHULA'S	RESTAURANT	align="right">4,710	align="right">63
207				
208				
TOTAL			24,945	243



ROSEWOOD VILLAGE PARKING