



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## AGENDA

### WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING

February 4, 2019, 7:00 PM

WASHINGTON COUNTY ADMINISTRATIVE COMPLEX  
100 WEST WASHINGTON STREET  
2<sup>ND</sup> FLOOR, PUBLIC MEETING ROOM #2000

#### CALL TO ORDER AND ROLL CALL

#### NEW BUSINESS

#### MINUTES

1. January 7, 2019 Planning Commission regular meeting minutes \*

#### MODIFICATIONS

1. **Cascade Community Center – Lot 1 [OM-19-001]** Property located at 14421 Lake Royer Drive, Cascade; Zoning: SED (Special Economic Development); Planner: Cody Shaw \*
2. **Sara Rall – Lot 1 [OM-18-012]** Applicant is requesting the creation of a lot for an immediate family member without public road frontage; Property located along the west side of Powell Road; Zoning: P (Preservation); Planner: Lisa Kelly \*

#### SUBDIVISIONS

1. **Ganesh III LLC – Lot 3 [S-18-013]** Preliminary/Final plat for a proposed single commercial lot along the south side of Mason Dixon Road; Zoning: HI (Highway Interchange); Planner: Lisa Kelly \*

#### SITE PLANS

1. **Drosdak Farm Banquet & Reception Facility [SP-18-034]** Proposed event center in an existing barn located along the east side of Mount Carmel Church Road; Zoning: P (Preservation); Planner: Lisa Kelly \*
2. **Evan Blumfield [SP-18-042]** Proposed construction of a 2400 square foot building for a landscape contractor's business located along Rock Bottom Lane; Zoning: EC (Environmental Conservation); Planner: Lisa Kelly \*
3. **Vinny's Towing & Recovery [SP-18-037]** Proposed construction of a towing and recovery business with office on property located along the north side of Beaver Creek Road; Zoning: HI (Highway Interchange); Planner: Lisa Kelly \*

#### FOREST CONSERVATION

1. **Blooming Meadows [S-12-003]** Proposed forest mitigation using natural regeneration for Blooming Meadows subdivision; Property located along Blooming Meadows Court; Zoning: A(R) – (Agricultural Rural); Planner: Travis Allen \*

#### OTHER BUSINESS

1. **Demolition Permit [2018-05724]** Applicant is proposing to demolish a two story single-family dwelling and two storage barns on property located at 18461 Manor Church Road; Planner: Steve Goodrich \*
2. **Update of Staff Approvals** – Ashley Holloway

#### ADJOURNMENT

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

## **UPCOMING MEETINGS**

1. Wednesday, February 13, 2018, 3:00 p.m., Washington County Planning Commission Workshop meeting, Washington County Administrative Complex, 100 W. Washington Street, 2<sup>nd</sup> Floor, Public Meeting Room #2000, Hagerstown, Maryland
2. Monday, March 4, 2019, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administrative Complex, 100 W. Washington Street, 2<sup>nd</sup> Floor, Public Meeting Room #2000, Hagerstown, Maryland

## ***\*a t t a c h m e n t s***

***The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.***



Washington County

M A R Y L A N D

DIVISION OF  
PLAN REVIEW & PERMITTING

# MEMORANDUM

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TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: January 23, 2019

SUBJECT: Ordinance Modification for Cascade Community Center – Lot 1 (OM-19-001)

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Attached you will find for your review a modification request to allow the creation of a lot without public road frontage. Section 405.11.B of the Washington County Subdivision Ordinance states that every lot shall abut a minimum of 25 feet and have access to a public road. The applicant is requesting that the Planning Commission approve the creation of this lot without public road frontage. The community center is currently existing and the purpose of this modification and forthcoming plat is to create a standalone lot for the property.

Attached you will find a statement of justification from the applicant listing the reasoning behind the modification request.

The proposed modification request was reviewed by Plan Review (Land Use & Engineering), Emergency Services, and the Smithsburg Fire Department. All of the reviewing agencies had no comment or objection to the approval of this modification request.

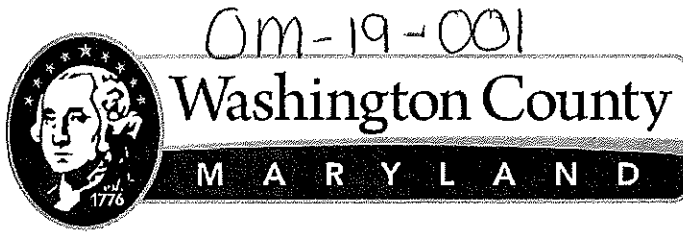
If you have comments regarding the proposed modification and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or [cshaw@washco-md.net](mailto:cshaw@washco-md.net).

Cody L. Shaw  
Chief of Plan Review

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

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WWW.WASHCO-MD.NET



DIVISION OF  
PLAN REVIEW & PERMITTING

WASHINGTON COUNTY PLANNING COMMISSION  
APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Alex Shifler for Board of County Commissioners  
MAILING ADDRESS 80 West Baltimore Street; Hagerstown, Maryland 21740  
TELEPHONE 240-313-2403  
(home) (work) (cell)

PROPERTY OWNER

NAME Washington County Board of County Commissioners  
MAILING ADDRESS 100 West Washington Street; Hagerstown, Maryland 21740  
TELEPHONE 240-313-2412  
(home) (work) (cell)

CONSULTANT

NAME Alex Shifler for the Board of County Commissioners  
ADDRESS 80 West Baltimore Street; Hagerstown, Maryland 21740  
TELEPHONE 240-313-2403

DESCRIPTION OF PROPERTY

TAX ACCOUNT ID # (Required) 14-065204  
PARCEL REFERENCE: MAP 28 GRID 0001 PARCEL 162  
PROPOSED LOT ACREAGE 3.77 TOTAL SITE ACREAGE 120.57  
ZONING DISTRICT SED ROAD FRONTAGE (FT) 0

LOCATION / ADDRESS

14421 Lake Royer Dr. ; CASCADE, MARYLAND 21719

EXISTING AND PROPOSED USE OF PROPERTY The site is mostly mixed use residential and non-residential buildings. The proposed use is not to change per this plan.

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER NO

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 502

MODIFICATION IS TO ALLOW THE CREATION OF A LOT WITHOUT ROAD FRONTAGE BUT WITH AN INGRESS EGRESS EASEMENT OVER THE PARENT PARCEL

STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

The reason for this request is to create a parcel of land to put a building that is currently being used as a community center on it's own parcel. The parent parcel has an existing private road network that has a signalized intersection with a state road. This plan proposes placing an easement on the parent tract to give the right to current and future the occupants to use travel over and across the existing road network.

(Attach additional sheets if necessary)

In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

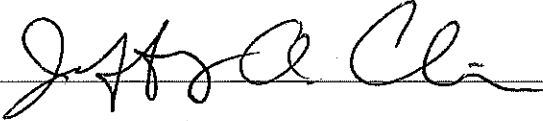
To the best of my knowledge, the information provided in this application and other material submitted is correct.



Applicant's Signature

1-7-19

Date



Property Owner's Signature

Date

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**STAFF USE ONLY:**

STAFF PLANNER: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_

NUMBER: \_\_\_\_\_

MEETING DATE: \_\_\_\_\_

**PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE  
STANDARDS OF THE SUBDIVISION ORDINANCE**

1. Modification request applications shall be filed with the Washington County Division of Plan Review & Permitting, Washington County Administrative Annex, 80 West Baltimore Street, Hagerstown, Maryland 21740, Phone: 240-313-2460, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed off of the <https://www.washco-md.net/index.php/2017/04/25/plan-review-forms-checklists/>. A Filing fee of \$115.00 dollars should be submitted when no engineering / outside agency review is required. A filing fee of \$265.00 is required when multiple agency review is necessary, and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.

2. The Planning Commission meets on a monthly basis (schedule attached) on the second floor of the County Administration Building, 100 West Washington Street, Room 2000, Hagerstown, Maryland. Attendees must use the entrance on West Washington Street and the elevator to the 2<sup>nd</sup> floor. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.

3. Upon receipt of the modification application, the Plan Review Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.

4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):

(a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.

(b) The hardship is not the result of the applicant's own actions – that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.

(c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.

(d) That the modification is to correct inequities resulting from a physical hardship such as topography.

(e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.

5. The Director of the Division of Plan Review & Permitting shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:

(a) Where it is impractical to dedicate the full right-of-way required by Washington County Plan Review or State Highway Administration are satisfied with the acquired right-of-way.

(b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.

(c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Plan Review and/or State Highway; and have no negative impact on neighboring properties.

(d) Panhandle Length – based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.

(e) Public Road Frontage – Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by County Plan Review and/or State Highway Administration. There is no negative impact on neighboring properties.

(f) The Director of the Division of Plan Review & Permitting shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.

6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.

7. Appeal by any person aggrieved from any action of the Planning Commission or the Director of the Division of Plan Review & Permitting shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 – Subdivision Ordinance). The BZA is located on the second floor of the County Administration Building, 100 West Washington Street, Room 2000 Hagerstown, Maryland 21740 Phone: 240-313-2460  
<https://www.washco-md.net/index.php/2017/04/28/planreview-bza/>



SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
_____	_____	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. <b>Please include this checklist.</b>
_____	_____	A filing fee of \$115.00 when no Engineering or outside agency review is required. A fee of \$265.00 is required when multiple agency reviews are required. Make check payable to: <b>Washington County Treasurer.</b> Include fee worksheet.
_____	_____	Twelve (12) sketch plans, drawn to scale, showing:
_____	_____	a. dimensions & shape of proposed lot with acreage;
_____	_____	b. size & location of existing and/or future structures;
_____	_____	c. existing/proposed roadways and associated access right of way or easements;
_____	_____	d. existing/proposed entrance/exit to property;
_____	_____	e. natural or topographic peculiarities of the lot in question.
_____	_____	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

**OWNER**  
 BOARD OF COUNTY COMMISSIONERS  
 OF WASHINGTON COUNTY, MARYLAND  
 100 WEST WASHINGTON STREET  
 HAGERSTOWN, MD 21740

PROPOSED EASEMENT BOUNDARY		
LINE	BEARING/CHORD	LENGTH
A	N 56°03'43" E	25.00'
B	S 33°56'17" E	339.68'
C	S 74°41'53" E	169.47'
D	S 29°39'34" E	73.11'
E	N 60°20'26" E	60.61'
F	S 29°18'02" E	50.00'
G	S 60°20'26" W	110.29'
H	N 29°39'34" W	102.38'
I	N 74°41'53" W	70.32'
J	S 59°34'03" W	421.21'
K	N 30°25'57" W	25.00'

LANDS REMAINING  
 P/O  
 BOARD OF COUNTY COMMISSIONERS  
 OF WASHINGTON COUNTY, MARYLAND  
 LIBER 5329 FOLIO 232  
 MAP 28 PARCEL 162  
 PHASE II PARCEL NO. 1

N: 743708.8042  
 E: 1173848.8771

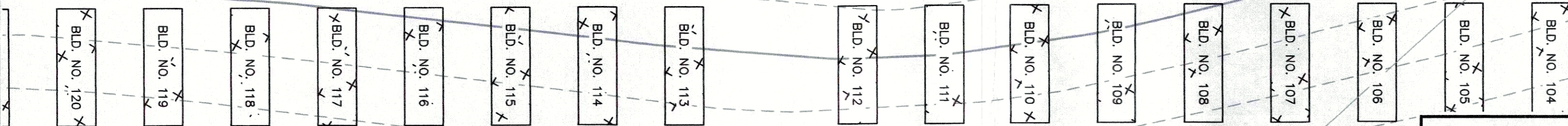
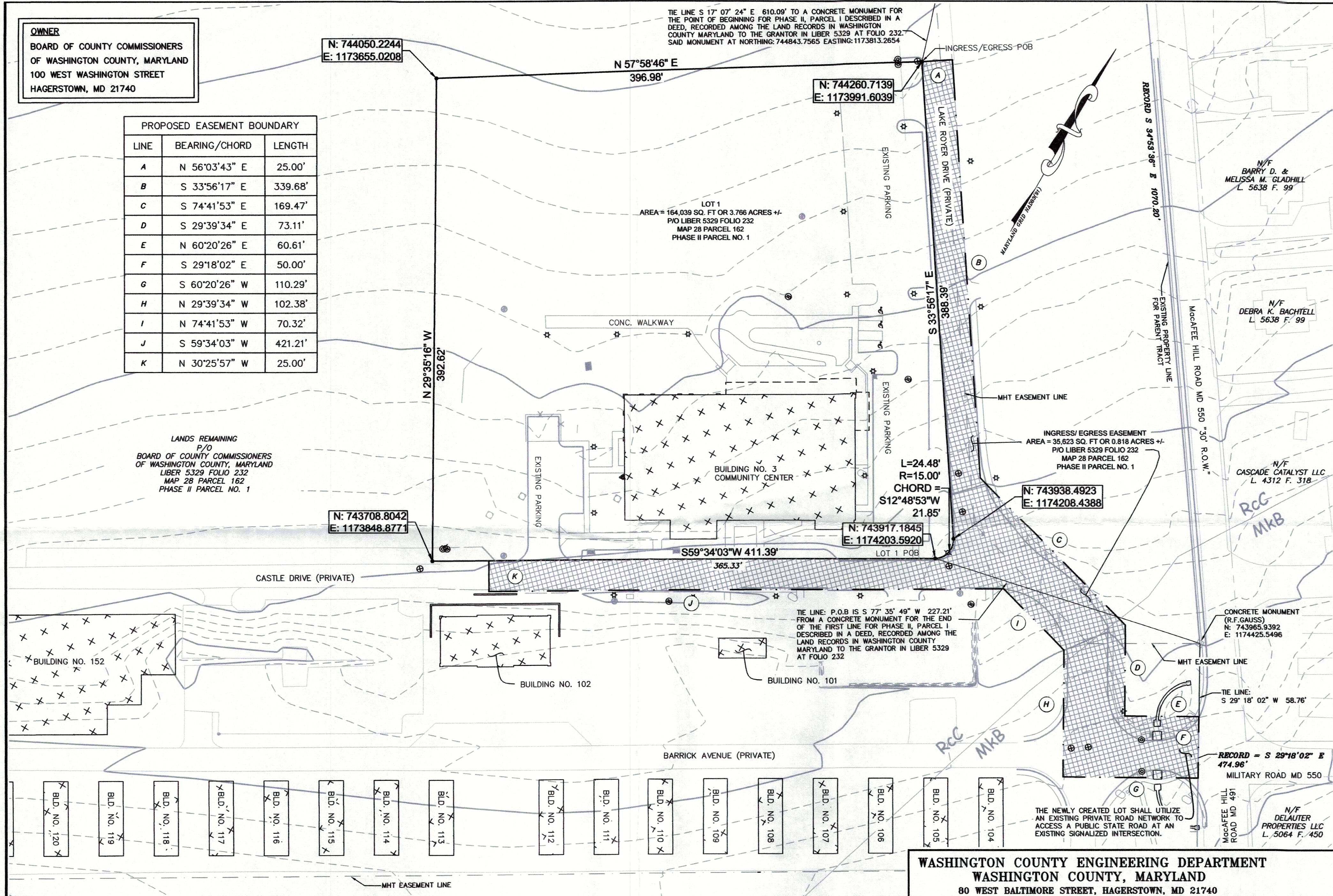
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 E: 1173991.6039

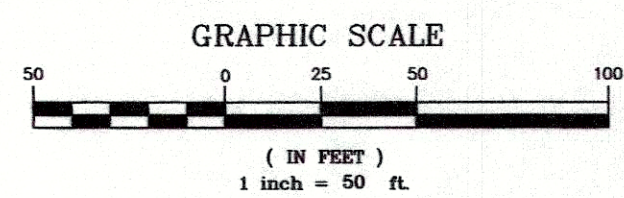
N: 743917.1845  
 E: 1174203.5920

N: 743938.4923  
 E: 1174208.4388

TIE LINE S 17° 07' 24" E 610.09' TO A CONCRETE MONUMENT FOR THE POINT OF BEGINNING FOR PHASE II, PARCEL I DESCRIBED IN A DEED, RECORDED AMONG THE LAND RECORDS IN WASHINGTON COUNTY MARYLAND TO THE GRANTOR IN LIBER 5329 AT FOLIO 232. SAID MONUMENT AT NORTHING: 744843.7565 EASTING: 1173813.2654



BEARINGS AND DISTANCES ARE REFERENCED TO MARYLAND STATE PLANE NAD 83(91) AND BASED ON G.P.S. STATION "VISTA" ESTABLISHED MAY 2003 AS PART OF THE WASHINGTON COUNTY SURVEY CONTROL NETWORK.  
 NORTHING: 745505.7894  
 EASTING: 1173269.2764  
 ELEVATION: 1299.87  
 SCALE FACTOR: 0.99999960



- SEWER MANHOLE
- STORM DRAIN MANHOLE
- ◆ FIRE HYDRANT
- ◇ WATER VALVE
- ☆ LIGHT POLE
- SEWER CLEANOUT
- PROPOSED PROPERTY CORNER
- EXISTING PROPERTY LINE
- FUTURE M.H.T. EASEMENT (IN PROGRESS)
- PROPOSED PROPERTY LINE
- ▨ INGRESS/EGRESS EASEMENT

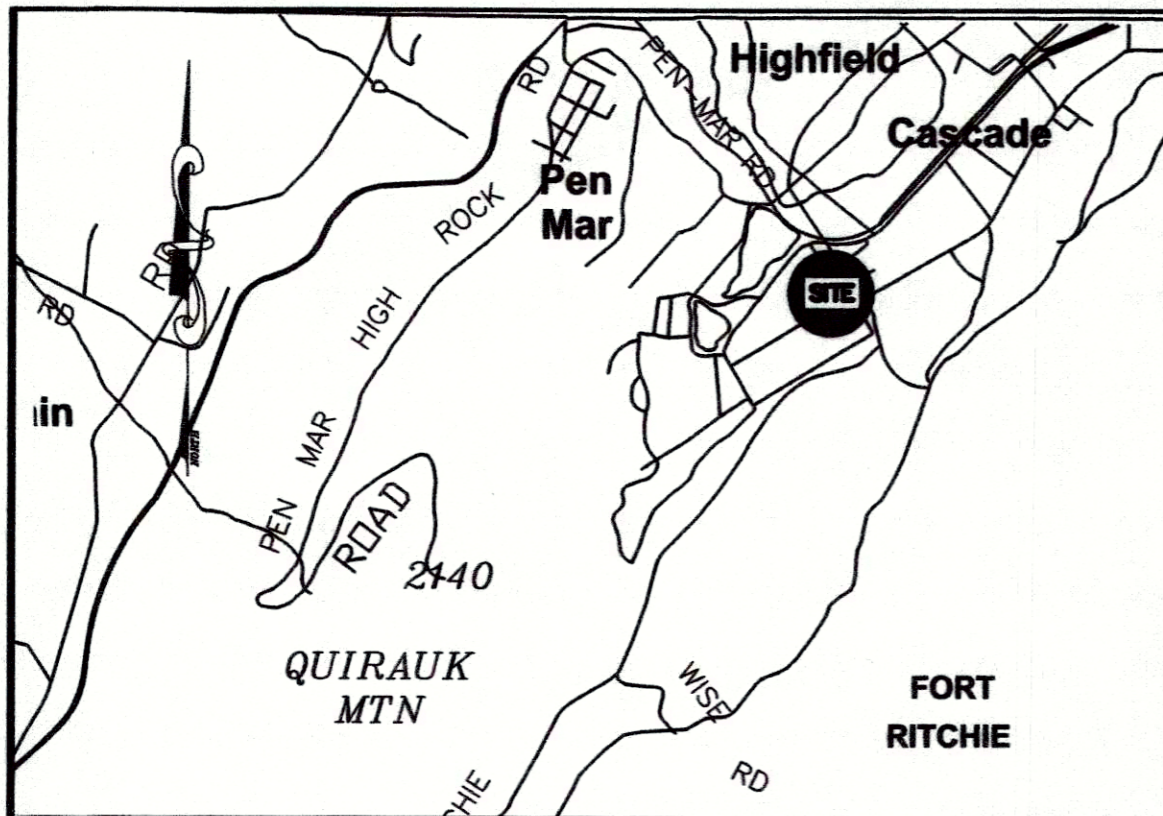
WASHINGTON COUNTY ENGINEERING DEPARTMENT  
 WASHINGTON COUNTY, MARYLAND  
 80 WEST BALTIMORE STREET, HAGERSTOWN, MD 21740

**FINAL PLAT TO SUBDIVIDE "LOT 1"**  
**CASCADE COMMUNITY CENTER**

"LOT 1" IS BEING SUBDIVIDED TO BE CONVEYED TO THE WASHINGTON COUNTY B.O.C.C. THEREFORE IS EXEMPT FROM THE SUBDIVISION ORDINANCE



OM-19-001



SCALE 1" = 3000' +/-

**SOIL TYPES:**  
 R<sub>cc</sub> 100% OF SITE RAVENTROCK-ROHRERSVILLE COMPLEX,  
 3 TO 15 PERCENT SLOPES, EXTREMELY STONY

AREA TABULATION	
WASHINGTON COUNTY BOARD OF COUNTY COMMISSIONERS	120.57 ACRES
"LOT 1"	3.77 ACRES
NET AREA LANDS REMAINING	=116.80 ACRES

**GENERAL NOTES:**

1. BEARINGS ARE BASED ON THE MD STATE PLATE COORDINATE SYSTEM (NAD83/91)
2. CONTOURS ARE FROM THE WASHINGTON COUNTY TOPO
3. ZONING = SED (SPECIAL ECONOMIC DISTRICT) MINIMUM BUILDING SETBACKS "NON RESIDENTIAL" NONE
4. BY INSPECTION OF FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL MAP 240070 0080 A, NO PORTION OF THESE PROPERTIES LIE WITHIN THE 100 YEAR FLOOD PLAIN. THE FLOOD INSURANCE DESIGNATION IS ZONE "C."
5. THERE ARE NO NATURAL STEEP SLOPES AND RELATED BUFFERS AS INDICATED HEREON.
6. THERE IS NO HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE US FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307, 307 AND 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE. THIS SUBDIVISION IS NOT WITHIN 1000' OF THE APPALACHIAN TRAIL, WITHIN THE UPPER BEAVER CREEK BASIN OR WITHIN THE WATERSHEDS OF THE EDMONTON AND SMITHSBURG RESERVOIRS.
7. THIS PLAT IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE BY SECTION 3.2 B
8. THESE LOTS ARE SERVED BY A LOCAL WATER SYSTEM UNDER THE AUTHORITY OF WASHINGTON COUNTY PUBLIC WORKS
9. THESE LOTS ARE SERVED BY A LOCAL SEWAGE SYSTEM UNDER THE AUTHORITY OF WASHINGTON COUNTY PUBLIC WORKS
10. IN ADDITION TO THE EASEMENTS SHOWN, 10' ALONG THE FRONT AND 8' ALONG THE SIDE AND REAR OF EACH LOT IS RESERVED FOR UTILITY AND/OR DRAINAGE EASEMENTS
11. BY INSPECTION OF THE "NATIONAL WETLANDS INVENTORY MAP" FOR HAGERSTOWN, MD./W.VA., THIS SITE DOES NOT CONTAIN ANY WETLAND AREAS
12. THE TOTAL EXTENT OF THE WATERSHED WHICH DIRECTLY AFFECTS THIS SUBDIVISION IS LESS THAN 400 ACRES.
13. NOT FOR DEVELOPMENT SHALL MEAN THAT BUILDING OR ZONING PERMITS, INCLUDING RESIDENTIAL, WILL NOT BE ISSUED UNTIL SUCH TIME AS A DEVELOPMENT PLAT IS SUBMITTED IN ACCORDANCE WITH THE PROVISIONS OF ALL APPLICABLE ORDINANCES AND APPROVED BY THE WASHINGTON COUNTY PLANNING DEPARTMENT
14. "LOT 1" WILL NOT HAVE ROAD FRONTAGE AS REQUIRED BY SECTION 318.2.B BUT SHALL HAVE ACCESS TO PUBLIC ROAD VIA AN INGRESS/EGRESS EASEMENT OVER AN EXISTING PRIVATE ROAD NETWORK
15. THE LOCATION OF THE HATCHED BUILDINGS HAVE BEEN VERIFIED BY SURVEY

**CERTIFICATION OF ENTITIES OF OWNERSHIP AND DEDICATION**

THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY, MARYLAND, HEREINAFTER CALLED "COUNTY," BY JEFFREY A. CLINE IT'S DULY AUTHORIZED PRESIDENT, DOES HEREBY CERTIFY THAT THE ENTITY IS THE LEGAL AND TRUE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAT AND THAT IT HEREBY ADOPTS THE PLAN OF SUBDIVISION SHOWN HEREON, HEREBY ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES SHOWN HEREON, HEREBY DEDICATES TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALLEY RIGHTS OF WAY, HEREBY AGREES TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN HEREON AND HEREBY AGREES THAT THE SAID DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE CITY OF HAGERSTOWN REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY THE CITY.

THIS ENTITY HEREBY RESERVES THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS OF WAY, OPEN SPACES AND RECREATIONAL AREAS. THIS ENTITY HEREBY AGREES TO CONVEY THE FEE SIMPLE TITLE FOR ALL PUBLIC RIGHTS OF WAY TO THE CITY, WITHOUT CONSIDERATION, UPON REQUEST.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUST, EASEMENTS OR RIGHTS OF WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:

AND ALL PARTIES HAVING AN INTEREST THEREIN HAVE HEREUNTO AFFIXED THEIR SIGNATURES, INCLUDING THEIR ASSENT TO THE PLAN OF SUBDIVISION.

THIS CERTIFICATION OF OWNERSHIP AND DEDICATION SHALL BE BINDING UPON THE ENTITY'S GRANTEEES, ASSIGNS, SUCCESSORS, HEIRS AND PERSONAL REPRESENTATIVES AND ALL PARTIES AND INTERESTS THEREUNTO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATED THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

WITNESS: \_\_\_\_\_ OWNER \_\_\_\_\_ (SEAL)

**OWNER**  
 BOARD OF COUNTY COMMISSIONERS  
 OF WASHINGTON COUNTY, MARYLAND  
 100 WEST WASHINGTON STREET  
 HAGERSTOWN, MD 21740

**CERTIFICATE OF APPROVAL**

FINAL APPROVAL GRANTED

(DATE)

WASHINGTON COUNTY PLANNING COMMISSION

BY: \_\_\_\_\_

WASHINGTON COUNTY PLANNING COMMISSION (CHAIRMAN)

APPROVED AS A DIVISION OF LAND NOT FOR DEVELOPMENT EXCEPT AS INDICATED HEREON WITH THE STIPULATION THAT THE FOREGOING OWNER'S STATEMENT BE A PART OF THE DEED OF CONVEYANCE.

**CERTIFICATION OF APPROVAL OF WATER AND SEWERAGE SYSTEM**

I HEREBY CERTIFY THAT THE WATER SUPPLY AND SEWAGE DISPOSAL UTILITY SYSTEMS INSTALLED, OR PROPOSED FOR INSTALLATION, IN THE SUBDIVISION PLAT ENTITLED

FULLY MEET THE REQUIREMENTS OF THE MARYLAND HEALTH DEPARTMENT, AND ARE HEREBY APPROVED AS SHOWN.

DATE \_\_\_\_\_, 2019

COUNTY HEALTH OFFICER OR AUTHORIZED REPRESENTATIVE



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT THE PROPERTY LINES SHOWN HAVE BEEN ESTABLISHED BASED UPON THE LOCAL MONUMENTATION FOUND IN ACCORDANCE WITH A BOUNDARY SURVEY PERFORMED BY R.F. GAUSS & ASSOCIATES SHOWN ON WASHINGTON COUNTY MISCELLANEOUS PLATS 187&188. THE POSITION OF THE RECOVERED MONUMENTS SHOWN HEREON ARE BASED ON THE RESULTS OF A SURVEY PERFORMED ON APRIL 27, 2017 BY WASHINGTON COUNTY ENGINEERING STAFF.

*Alex Michael Shifler*

12-27-18

FOR THE WASHINGTON COUNTY DIVISION OF ENGINEERING DATE  
 ALEX MICHAEL SHIFLER - PROFESSIONAL LAND SURVEYOR, MD REG. NO. 21737

WASHINGTON COUNTY ENGINEERING DEPARTMENT  
 WASHINGTON COUNTY, MARYLAND  
 80 WEST BALTIMORE STREET, HAGERSTOWN, MD 21740

FINAL PLAT TO SUBDIVIDE "LOT 1"  
 CASCADE COMMUNITY CENTER



DATE: JULY 25, 2018

DRAWN BY: A.M.S.

SCALE: 1" = 50'

PROPERTY MAP 28

P/O PARCEL 162

ELECTION DISTRICT NO. 14

DRAWING NO. 24-076-02

SHEET 2 OF 2

ROUTING NO: S-18-XXX



**ORDINANCE MODIFICATION STAFF REPORT**

**BASE INFORMATION**

SITE NAME.....: Sara Rall - Lot 1  
 NUMBER.....: OM-18-012

OWNER.....: ANTIETAM MEADOWS FARM LLC 16715 POWELL RD.  
 LOCATION.....: West of Powell Road  
 DESCRIPTION.....: Create a lot without public road frontage for an immediate family member

ZONING.....: Preservation  
 COMP PLAN LU.....: Preservation  
 PARCEL.....: 01000853  
 PLANNING SECTOR.....: 2  
 ELECTION DISTRICT.....: 01

TYPE.....:  
 GROSS ACRES.....: 2.0  
 DWELLING UNITS.....:  
 TOTAL LOTS.....: 1  
 DENSITY.....: N/L Units Per Acre

PLANNER.....: Lisa A Kelly  
 ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES  
 RECEIVED.....: December 13, 2018

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No  
 WETLANDS.....: Yes  
 WATERSHED.....: Potomac River WA Cnty  
 ENDANGERED SPECIES.....: State Listed  
 HISTORIC INVENTORY.....: II0399  
 EASEMENTS PRESENT.....: AD-84-002 33-104

*SCHOOL INFORMATION*

	<b>ELEMENTARY</b>	<b>MIDDLE</b>	<b>HIGH</b>
Staff Comments:			
SCHOOL DISTRICT	Sharpsburg	Boonsboro	Boonsboro
<i>Not Applicable</i> PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

*PUBLIC FACILITIES INFORMATION*

FIRE DISTRICT.....: SHARPSBURG  
 AMBULANCE DISTRICT.....: SHARPSBURG

*WATER & SEWER INFORMATION*

	<b>WATER</b>	<b>SEWER</b>
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic



Washington County  
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

OM-18-012

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Sara Rall, Lot 1

MAILING ADDRESS 16715 Powell Road, Sharpsburg, MD 21782

TELEPHONE 301-432-1989 301-665-1165 240-291-6486  
(home) (work) (cell)

PROPERTY OWNER

NAME Sara Rall

MAILING ADDRESS Same as above

TELEPHONE \_\_\_\_\_  
(home) (work) (cell)

CONSULTANT

NAME Frederick, Seibert & Associates

ADDRESS 128 S Potomac St, Hagerstown, MD 21740

TELEPHONE 301-791-3650

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 75 GRID 5 PARCEL 3

PROPOSED LOT ACREAGE 2.00 TOTAL SITE ACREAGE 268.03. Ac

ZONING DISTRICT P-Preservation ROAD FRONTAGE(FT) 1,000 ft

**LOCATION / ADDRESS**

16715 Powell Road or the western terminus of Powell Road in the Sharpsburg area

**EXISTING AND PROPOSED USE OF PROPERTY**

Existing pasture; proposed single family dwelling.

**LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER** YES

**SUBDIVISION MODIFICATION INFORMATION**

**MODIFICATION TO SUBDIVISION ORDINANCE SECTION** 405.11.b(1)(a)

**MODIFICATION IS TO ALLOW** Create a lot without public road frontage for an immediate family member.

The existing lane that serves the existing farm house crosses onto other property before it connects to the public ROW.

The applicant who is an immediate family member desires to utilize this same lane as there access onto the public ROW.

**STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other**

The applicant had selected this portion of the farm to create the lot for the aesthetics and seclusion that this portion of the farm brings. Perc tests have already been performed and approved as well as the State Ag Preservation board has approved the location of the 2 acres. The State Ag Preservation Board will not allow more than 2 acres be released from the district or an attempt to utilize a panhandle acquiring road frontage would have been made.

The applicants misconception that the public portion of Powell Road continued past the intersection with Potomac Drive may have contributed to the need for the variance.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.

Applicant's Signature

Date



*Dana Rall*

*12-4-18*

Property Owner's Signature

Date

---

**STAFF USE ONLY:**

STAFF PLANNER: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_

NUMBER: \_\_\_\_\_

MEETING DATE: \_\_\_\_\_



Frederick Seibert & Associates, Inc.



12/4/2018, 12:19:08 PM

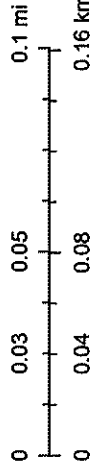
FSA\_Quote ★ Other

● HL Database

★ FSA ● FSA Database

Parcels

1:3,866



Esri, HERE, iFC, MD IMAP, DoIT

## SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. <b>Please include this checklist.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00. Make check payable to: <b>Washington County Treasurer</b> . Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. dimensions & shape of proposed lot with acreage;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. size & location of existing and/or future structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. existing/proposed roadways and associated access right of way or easements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. existing/proposed entrance/exit to property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. natural or topographic peculiarities of the lot in question.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

## PRELIMINARY/FINAL PLAT FOR GANESH III

PRESENTED FOR APPROVAL IN A PRELIMINARY AND FINAL PLAT FOR GANESH LLC.

THE SUBJECT SITE IS LOCATED ALONG THE SOUTHSIDE OF MASON DIXON ROAD, EAST OF CITICORP. ZONING IS HIGHWAY INTERCHANGE.

THE DEVELOPER IS PROPOSING TO CREATE A 5.0 ACRE COMMERCIAL PARCEL FOR FUTURE DEVELOPMENT. 13 ACRES ARE REMAINING.

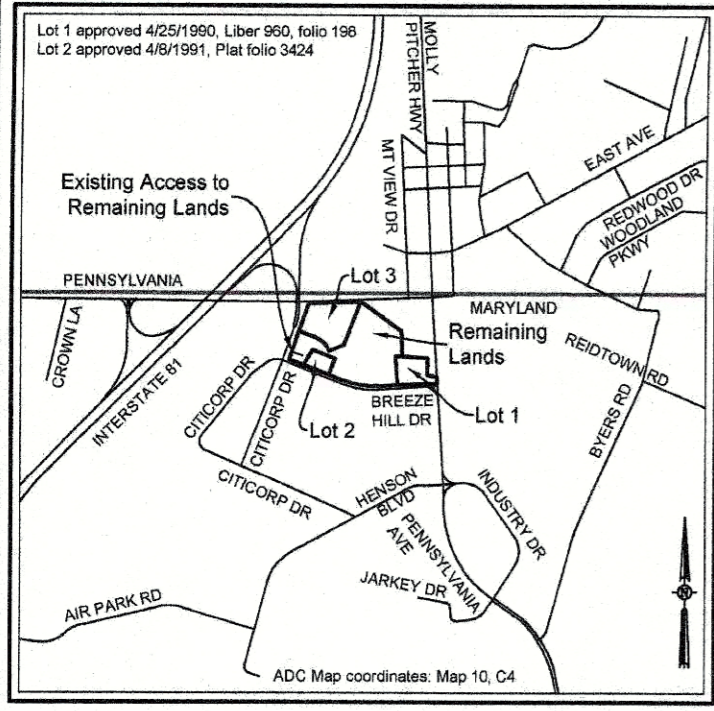
THE PROPERTY HAS FRONTAGE ON MASON DIXON ROAD AND IS BORDERED BY CITICORP DRIVE TO THE WEST.

THE SITE WILL BE SERVICED BY PUBLIC WATER IN THE FUTURE – CITY OF HAGERSTOWN WATER AND COUNTY SEWER.

A SITE PLAN WILL BE REQUIRED FOR ANY DEVELOPMENT THAT OCCURS IN THE FUTURE OF THIS SITE.

ALL APPROVALS HAVE BEEN RECEIVED.

FOREST CONSERVATION FOR THIS SITE WAS ADDRESSED UNDER THE FOREST CONSERVATION MASTER PLAN FOR THE LANDS OF HAGERS-WASHCO INDUSTRIAL FOUNDATION, PREVIOUS OWNER OF THE PROPERTY. SAID PLAN WAS APPROVED AND RECORDED.



VICINITY MAP  
SCALE 1"=1000'

**WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY**  
 This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



**Dedication for Individuals**  
 I/we do hereby certify, for ourselves and our personal representatives, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby adopt the plan of subdivision shown hereon, hereby establish the minimum building restriction lines shown hereon, hereby dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, hereby agree to keep open all spaces and recreation areas shown hereon and hereby agree that said dedication shall not impose and responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and I/we hereby reserve the fee simple title to the land underlying said easements, rights of way, open spaces and recreation areas and with regard to said easements and rights of way, hereby agree to convey the same to said Board for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board. This deed and agreement of dedication shall be binding upon my/our grantees, assigns, successors, heirs, and personal representatives. There are no suits, actions at law, leases, liens, mortgages, trusts, easements, or rights of way affecting the property included on this plan of subdivision except the following:  
 and all parties having an interest therein have here unto affixed their signatures, indicating their assent to this plan of subdivision.  
 I/we do hereby assent to this plan of subdivision.

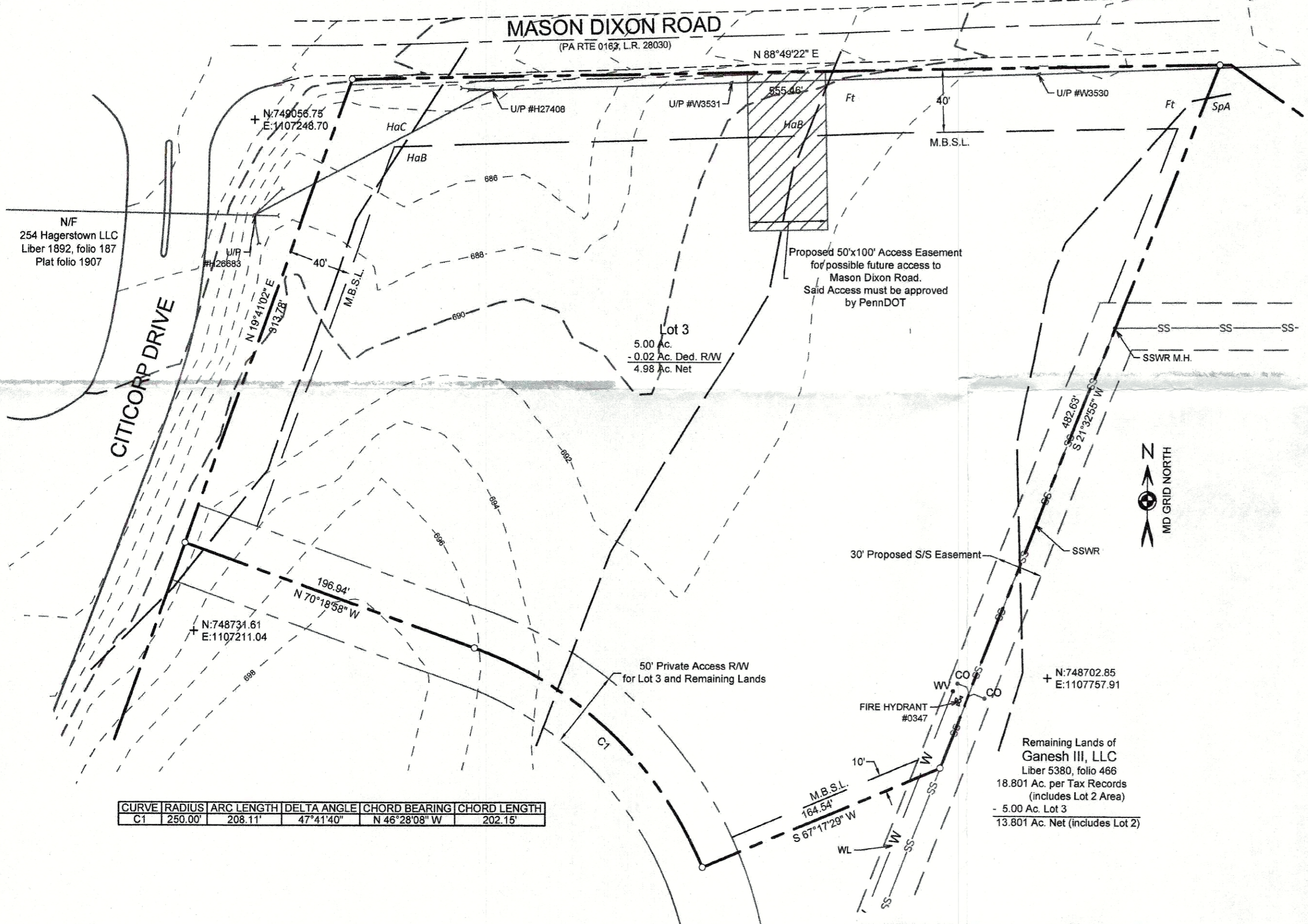
I/we also certify that the community water and/or community sewerage system proposed for this subdivision will be available to all lots offered for sale. I/we also certify that plans for the community water supply and/or community sewerage systems facilities including any necessary point of discharge, having been approved by the Department of Health and Mental Hygiene.

Witness my hands and seals this 1st day of MAY, 2018.  
 Owner: Ganesh III, LLC (Seal)  
 J. B. Patel (Witness)

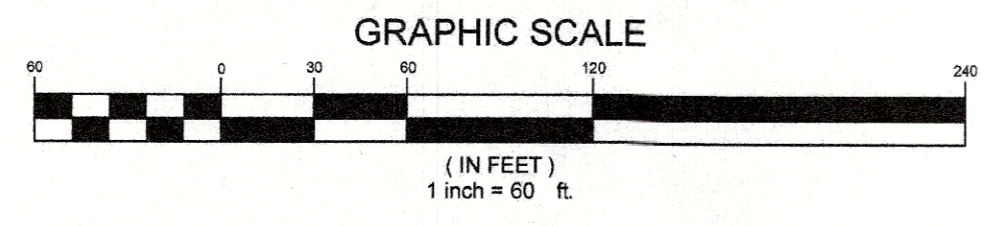
**Certificate of Approval of Community Water System and Sewerage**  
 I hereby certify that the use of the community water and/or community sewerage system for this subdivision is in conformance with the County Water and Sewerage Plan.  
 Date: \_\_\_\_\_ County Health Officer: \_\_\_\_\_

**Land Surveyor's Certification**  
 I hereby certify that the plan shown hereon is correct; that it is a subdivision of the land conveyed by Hagerstown Washington County Industrial Foundation, Inc., to Ganesh III, LLC, by deed dated November 16, 2016, and recorded in the Land Records of Washington County, Maryland in Liber No. 5380, folio 466, and that stones marked □ and/or bars marked ◻ have been placed as indicated.  
 I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the Laws of the State of Maryland, License No. LS-10731 Expiration Date 01/16/2020.  
 Date: 5/4/2018  
 Frederick Mark Frederick  
 Professional Land Surveyor

- General Notes**
- There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and utilities easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
  - Bearings, distances and coordinates are based on MD Grid NAD83.
  - Soil types as shown hereon.
  - Minimum Building Setbacks: front yard-40'; side yard-10'; rear yard-10'. Minimum Building Setback Lines are based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory Structures are not permitted without the placement of the principal permitted structure. Zoned HI - Highway Interchange.
  - Total upstream watershed affecting this subdivision: Is less than 400 Acres.
  - Parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24043C01300 dated August 15, 2017, Flood Zone X.
  - Contours are based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc.
  - There are no floodplains, streams, steep slopes, or habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 CFR 17 as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (c&d) of the Washington County Zoning Ordinance. This subdivision is within 1000' of the Appalachian Trail. The entire site is steep slopes.
  - No other wells or septic systems are shown within 100 feet of the proposed Lot Lines.
  - All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
  - No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement, either shown or described, on the Final Plat of Subdivision.
  - This plat has been reviewed and approved per the HI Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
  - This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on this property.
  - Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
  - An additional right of way 25 feet in width as measured from the centerline of Mason Dixon Road is hereby dedicated for the purpose of future road widening of said road.
  - Sewer collection provided by the Washington County Department of Environment Management and Water Quality.
  - Forest Conservation for this site was addressed under the Forest Conservation Master Plan for the lands of Hagerstown-Washington County Industrial Foundation, Inc., a previous owner of this parcel. Said plan is recorded in Liber 1537, folio 466 among the Land Records of Washington County, Maryland.
  - Citicorp Drive currently exists under private ownership and is to be dedicated to Washington County as a public street and right of way.
  - The address for Lot 3 will be addressed at the permitting stage.
  - This tract is located outside the Hagerstown Medium Range Growth Area and therefore public water and sewer service by the City of Hagerstown is not approved for this subdivision per the Growth Management and Land Use element of the Hagerstown Comprehensive Plan and the City Annexation Policy. Exemptions may be granted through the City's Water and Wastewater Policy.
  - The 50' private access right of way shall be utilized to access Lot 3 and the Remaining Lands. Additional access may be requested in the future when site development plans have been prepared.



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	250.00'	208.11'	47°41'40"	N 46°28'08" W	202.15'



**Certificate of Approval**  
**FINAL APPROVAL GRANTED**

DATE: \_\_\_\_\_

By: \_\_\_\_\_  
 Washington County Planning Commission  
 Final Approval good for one hundred eighty (180) days from above date

**PLAT NO \_\_\_\_\_**  
**DATE \_\_\_\_\_**  
**WASHINGTON COUNTY**

**Owner:**  
 Ganesh III, LLC  
 C/O Bharat Patel  
 18221 Mason Dixon Road  
 Hagerstown MD 21740

Revised Per	Date

TAX MAP 10-16-171 DISTRICT 13	
DRAWING NUMBER 01 OF 01	
DRAWN BY: LEJ	DATE: 4.18.18
CHECKED BY: EJS	DATE: 6.6.18
SCALE: 1" = 60'	

**RECEIVED**  
 JAN 17 2019

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 © 2018  
 CIVIL ENGINEERS SURVEYORS LANDS AND CONSTRUCTION MANAGERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 (301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 738-4956

**Preliminary/Final Plat of Subdivision**  
 of  
**Lot 3**  
 for  
**Ganesh III, LLC**  
 Situate along the south side of Mason Dixon Road  
 WASHINGTON COUNTY, MARYLAND

**JOB NUMBER 6519.1**

## Site Plan for Drosdak Farm Banquet/Reception Facility

Presented for review is a site plan for Drosdak Farm Banquet and Reception Facility.

The subject site is located along the east side of Mount Carmel Church Road. Zoning of the site is Preservation. Parcel area is 35 acres.

The owners are proposing to establish an event center in the existing barns basement floor and main floor. Total square footage in the barn is 3,449 square feet. An outdoor tent 30 X 60 feet ( 1800 square feet) is also to be used. The Board of Zoning Appeals approved this proposal on July 11, 2018. Conditions on the appeal include:

1. Proposed use is limited to operation from April 1 to October 31.
2. Proposed use shall operate from Tuesday to Sunday and shall maintain hours of 9:30 a.m. to 10:30 p.m.
3. Proposed use shall not exceed 125 guests for an event.

The Board granted that the front yard setback can be reduced from 50 square feet to 0 feet; parking requirements reduced from 105 spaces to 63 spaces; and parking can be on grass surfaces. These notes and conditions have been listed on the site plan.

There will be no new employees.

Hours of operation will be 9:30 to 10:30 Tues – Sunday from April to October.

Parking will include 63 spaces and three handicapped spaces.

There will be no freight and delivery – caterers will provide everything

Water is provided by a well. Portable restrooms will be provided for events. The Health Department restricts the facility to 14 events per

year for a maximum duration of 14 days each if using temporary restroom facilities.

There will be no new permanent lighting. Temporary lighting will be used outside.

Proposed signage will be building mounted and pole mounted.

The site is exempt from forest conservation requirements due to disturbing less than 20,000 square feet.

All approvals have been received.



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Drosdak Event Center
NUMBER.....: SP-18-034
OWNER.....: DROSDAK KELLY
LOCATION.....: East side of Mt Carmel Church Road
DESCRIPTION.....: Proposed banquet reception facility
ZONING.....: Preservation
COMP PLAN LU.....: Preservation
PARCEL.....: 08002525
PLANNING SECTOR.....: 3
ELECTION DISTRICT.....: 08
TYPE.....: Commercial
GROSS ACRES.....: 35.09
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre
PLANNER.....: Lisa A Kelly
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: October 5, 2018

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: Yes
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: Yes
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



Washington County  
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

*SITE DESIGN*

<b>Impervious Area Plan</b>	<b>Impervious Maximum Allowed</b>	<b>Open Space Area Planned</b>
<b>Open Space Minimum Required</b>	<b>Residential Amenity Plans</b>	<b>Solid Waste Disposal Plans</b>
<b>Materials Stored on Site</b>	<b>Buffer Design Meets Requirements</b>	<b>Trash receptacle inside</b>
No	Yes	Yes
<b>Lighting Plan Meets Requirements</b>	<b>Pedestrian Access is Adequate</b>	<b>Landscaping Meets Requirements</b>
Yes		Yes
<b>Loading Area Meets Requirements</b>		<b>Bus Stop is Within Walking Distance</b>
		<b>Not Fast Track</b>
<b>Parking Spaces - Total Planned</b>	<b>Parking Spaces - Per Dwelling Unit</b>	
63		
<b>Parking Spaces - Minimum Required</b>	<b>Recreational Parking Provided</b>	
105	No	

ACCESS SPACING VARIANCE NEEDED: No

NUMBER OF ACCESS POINTS: 2

*SCHOOL INFORMATION*

	<b>ELEMENTARY</b>	<b>MIDDLE</b>	<b>HIGH</b>
<b>SCHOOL DISTRICT</b>	Boonsboro School for Global Awareness & World Languages	Boonsboro	Boonsboro
<b>PUPIL YIELD</b>			
<b>CURRENT ENROLLMENT</b>			
<b>MAXIMUM CAPACITY</b>			

*PUBLIC FACILITIES INFORMATION*

<b>FIRE DISTRICT.....:</b>	ROHRERSVILLE
<b>AMBULANCE DISTRICT.....:</b>	BOONSBORO

*WATER & SEWER INFORMATION*

	<b>WATER</b>	<b>SEWER</b>
<b>METHOD.....:</b>	Well/Cistern	Septic Tank
<b>SERVICE AREA.....:</b>	Well	Septic
<b>PRIORITY.....:</b>	7-No Planned Service-Well	7-No Planned Service-Septic
<b>NEW HYDRANTS.....:</b>		
<b>GALLONS PER DAY SEWAGE...:</b>		
<b>PLANT INFO.....:</b>		None



**BEFORE THE BOARD OF APPEALS  
FOR WASHINGTON COUNTY, MARYLAND**

**KELLY DROSDAK  
Appellant**

**Appeal No. AP2018-019**

**OPINION**

This appeal is a request for a special exception to establish a banquet/reception facility, and for variances from the minimum 50 foot front yard setback to 0 feet, variance from the paved parking requirement of 3,400 and a variance to reduce the required parking spaces from 105 to 63 spaces. The subject property is located at 5607 Mount Carmel Church Road, Keedysville, Maryland; is owned by the Appellant; and is located in the Preservation District. The Board held a public hearing on the matter on July 11, 2018.

**Findings of Fact**

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. Appellant proposes the establish banquet/reception facility for events at the subject property which is located in the Preservation District. Appellant inherited the property in 2017 and it has been in her family since 1972.

2. Appellant proposes to utilize an existing barn structure and outdoor space for weddings, parties and other planned events. The barn structure was constructed in 1857 and is in need of repair and restoration. Appellant is in the process of undertaking the restoration work, regardless of the outcome of this case.

3. Appellant intends to operate the facility from April 1<sup>st</sup> to October 31<sup>st</sup> each year and will be open Tuesday through Sunday, from 9:30 a.m. to 10:30 p.m. There will be no employees at the facility; all services will be provided by outside vendors. Appellant will utilize portable toilets for events. Vehicle parking would be in grassy areas with the only impervious areas reserved for walkways.

4. Appellant has self-imposed a maximum capacity of 125 guests for an

event.

5. Appellant and her husband plan to move into and reside at the subject property.

**Rationale**  
*The Special Exception*

The Board has authority to grant a special exception pursuant to Section 25.2(b) of the Zoning Ordinance for Washington County, Maryland. A special exception is defined as “a grant of a specific use that would not be appropriate generally or without restriction; and shall be based upon a finding that the use conforms to the plan and is compatible with the existing neighborhood.” Article 28A.

The proposed use is a permitted special exception use in this zone, and one that has been adopted in number of other areas in the county. The specific concerns raised about this proposed use centered on traffic along Mount Carmel Road and noise pollution onto neighboring properties. Appellant presented evidence from a sound study that concluded that projected sound levels from events were within reasonable limits and would not adversely affect or pollute neighboring properties. There was testimony that the traffic counts on Mount Carmel Road average approximately 170 cars per day. The road itself is a low volume country road which typically experiences only destination traffic. While there was concern for increased traffic, it appears to be mitigated by the limitation on hours of operation, seasonal nature of the use and the fact that not all vehicles will be coming and going at one time. Appellant has self-imposed a maximum capacity to control any perceived adverse effects from the intended use. Noise and traffic are common concerns for banquet and reception facilities and Appellant has addressed them such that the facility will not have greater “adverse effects above and beyond those inherently associated with such a special exception use irrespective of its location within the zone.” *Schultz v. Pritts*, 291 Md. 1, 15 (1981).

Accordingly, the special exception request is GRANTED, by a vote of 4-1, with the following conditions:

1. The proposed use is limited to operation from April 1 to October 31 each year;
2. The proposed use shall operate from Tuesday to Sunday and shall maintain hours of 9:30 a.m. until 10:30 p.m.; and

3. The proposed use shall not exceed 125 guests for an event.

### *The Variance*

This Board has authority to grant a variance upon a showing of practical difficulty or undue hardship. §§ 25.2(c) and 25.56. <sup>1</sup> “Practical Difficulty” may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variance would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A). In the instant case, Appellant requests variances from the Ordinance for the front yard setback, paved parking requirements and the number of parking spaces.

Pursuant to Article 5C.6 of the Ordinance, the required front yard setback for the subject property is 50 feet. The barn on the subject property is approximately 22 feet from the center line of Mount Carmel Church Road and approximately 7 feet from the roadbed itself. The barn was constructed in 1857, well before the Ordinance existed and thus before there were any setback requirements. To conform with the setback requirements, Appellant would have to move the barn from its current location. This is unduly burdensome and would impose an extreme hardship on Appellant.

Pursuant to Article 22.12(f)(10)(iv), the proposed use requires 3,400 square feet of paved parking area. If Appellant were to comply with this requirement, there would be a large impervious surface which is only in use for approximately one-half of the year. This surface would have a detrimental effect on stormwater and surface water runoff and disrupt the natural landscape and environment. Maintaining a grass parking area without paved surfaces is more consistent with the intended preservation of the rural characteristics of the property and furthers the intent of the Preservation District. Requiring strict compliance with the paved parking requirements imposes practical difficulty on Appellant.

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<sup>1</sup> “When the terms unnecessary hardship (or one of its synonyms) and practical difficulties are framed in the disjunctive (“or”), Maryland courts generally have applied the more restrictive hardship standard to use variances, while applying the less restrictive practical difficulties standard to area variances because use variances are viewed as more drastic departures from zoning requirements.” *Belvoir Farms Homeowners Ass’n, Inc. v. North*, 355 Md. 259, 276 n.10 (1999) (citations omitted).

Pursuant to Article 22.12(b)(1) of the Ordinance, the proposed use requires one (1) parking space per 50 square feet of the facility. The aggregate square footage of the barn and outdoor space is approximately 5,249 square feet, which would require 105 parking spaces. However, Appellant reasonably figures two (2) guests per vehicle based on the nature of the venue being used mostly for wedding events. This coupled with the self-imposed maximum capacity of 125 guests, reduces the number of spaces needed to 63 parking spaces. Strict imposition of the Ordinance requirements would result in a designated parking area that is almost twice as large for a seasonal operation that is intended to blend in with the rural nature of the surrounding properties. This is the very definition of practical difficulty and to impose such requirements is to assert form over substance and consistency with the intent of the Ordinance.

Accordingly, the variance requests are both GRANTED, by a 5-0 vote. The setback variance is granted for the actual distance the barn is from the roadway which per the testimony was +/- 7 feet.

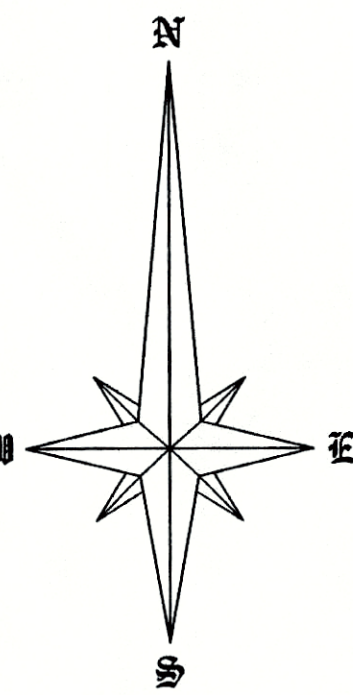
BOARD OF APPEALS

By: Paul Fulk, Chair

Date Issued: August 1, 2018

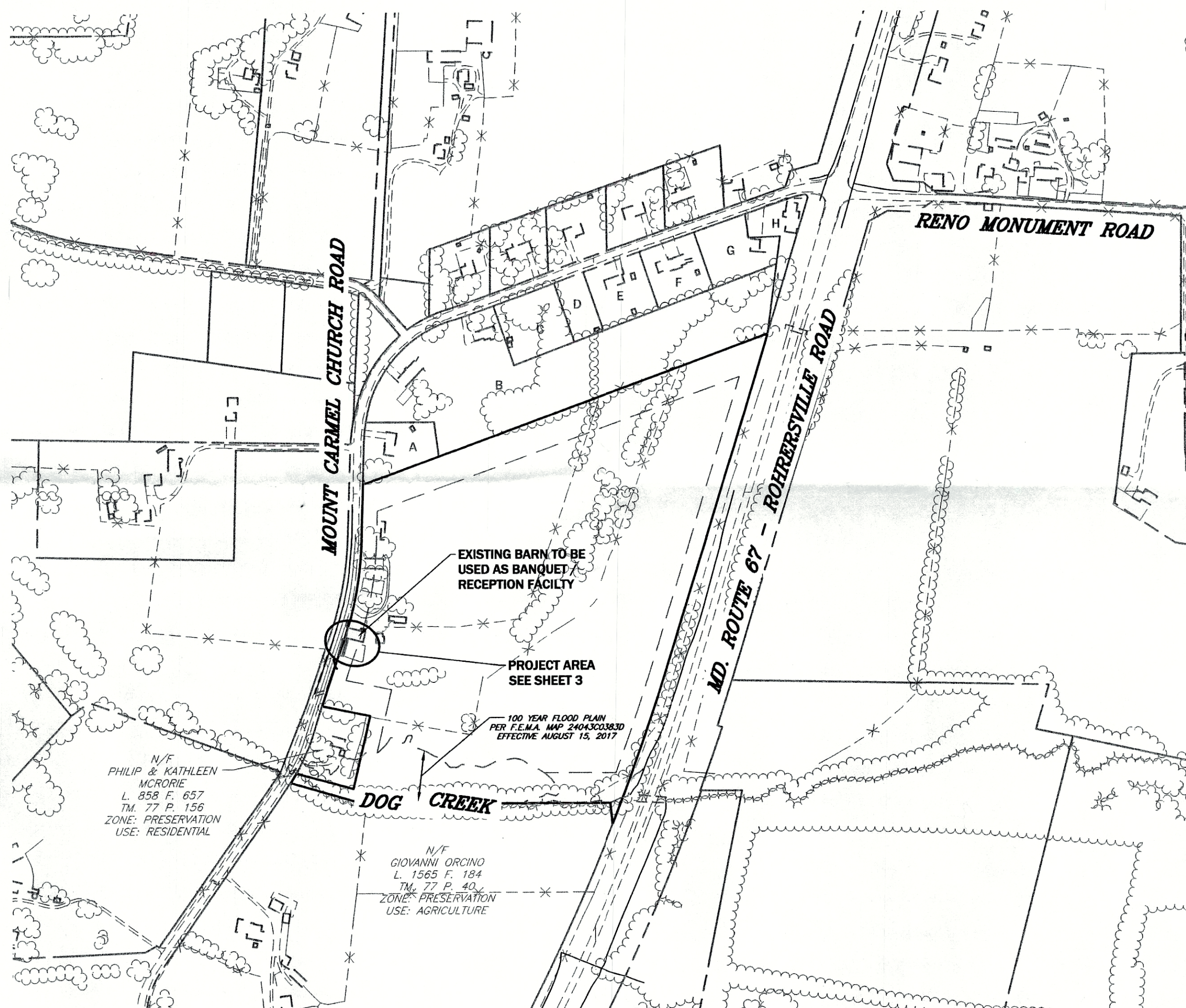
**GENERAL CONSTRUCTION NOTES**

- THIS SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAP & THE AMERICANS WITH DISABILITIES ACT.
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MESS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING. IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT, ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LOCAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.  
A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- TOPOGRAPHY SHOWN ON THESE PLANS IS FROM AERIAL PHOTOGRAMMETRY PROVIDED BY WASHINGTON COUNTY G.I.S. DEPARTMENT SUPPLEMENTED BY A TOPOGRAPHIC SURVEY PERFORMED BY FOX & ASSOCIATES, INC. DATE OF SURVEY IS SEPTEMBER 25, 2018 AND PLURIPLOTS TO BE MD 831 NAVD 88.
- SITE IS AFFECTED 100 YEAR FLOOD PLAIN AS SHOWN ON PLAN PER F.E.M.A. MAP 24043003B3D, EFFECTIVE AUGUST 15, 2017.
- SOILS MAP 49 OF WASHINGTON COUNTY IDENTIFIES 2 STREAM BUFFERS ON THE PROPERTY AS SHOWN ON THE PLAN. THE STREAM BUFFERS SHOWN ON HEREON ARE ESTABLISHED PURSUANT TO THE REQUIREMENTS OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE, ARTICLE IV, SECTION 409. IN AN EFFORT TO PRESERVE OR IMPROVE WATER QUALITY, THE PROPERTY OWNER IS REQUIRED TO ESTABLISH AND THEREAFTER MAINTAIN IN PERPETUITY VEGETATIVE GROUND COVER IN ACCORDANCE WITH URBAN BEST MANAGEMENT PRACTICES RECOMMENDED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. NO PERMANENT STRUCTURES OR CONSTRUCTION ARE PERMITTED WITHIN THE STREAM BUFFER EXCEPT THOSE DESIGNATED TO IMPROVE WATER QUALITY OR FLOW AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, LAWS AND POLICIES. NO SEPTIC SYSTEMS SHALL BE CONSTRUCTED WITHIN THE BUFFER NOR SHALL ANY RESERVE AREA BE ESTABLISHED WITHIN THE BUFFER. STREAM BUFFER OF DOG CREEK TO BE EXPANDED TO THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON PLAN.
- THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
- THERE ARE NO AREAS OF STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 ON THE LOTS SHOWN HEREON. THERE ARE NO WETLANDS ON THE SITE PER MAPPING BY THE U.S. DEPARTMENT OF INTERIOR, FISH & WILDLIFE SERVICE.
- SITE SIGNAGE SHALL BE BUILDING MOUNTED AND POLE MOUNTED AND COMPLY WITH ZONING ORDINANCE SECTION 22.23.
- THERE IS NO NEW LANDSCAPING SHOWN ON THESE PLANS.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT.
- PARKING AND DRIVE AISLES SHALL BE MAINTAINED BY PROPERTY OWNER.
- THIS SITE IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS DUE TO PROPOSED DISTURBED AREA OF LESS THAN 20,000 sq. ft.
- PER HEALTH DEPARTMENT REGULATIONS, THE BANQUET/RECEPTION FACILITY IS LIMITED TO 14 EVENTS PER YEAR FOR A MAX. DURATION OF 14 DAYS EACH IF USING TEMPORARY RESTROOM FACILITIES.

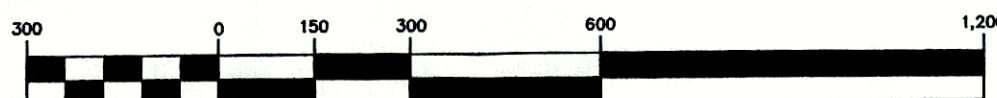


**SITE PLAN**

**PROPOSED BANQUET / RECEPTION FACILITY  
EXISTING DROSDAK FARM BARN  
SITUATE AT 5601 MOUNT CARMEL CHURCH ROAD  
WASHINGTON COUNTY, MARYLAND**



**GRAPHIC SCALE**



**INDEX OF SHEETS**

COVER SHEET	1
SITE PLAN	2
GRADING AND SEDIMENT CONTROL PLAN, SITE AND SEDIMENT CONTROL NOTES & DETAILS.	3

**OWNER/DEVELOPER**

LEE & KELLY DROSDAK  
6233 BRANDY COURT  
FREDERICK, MARYLAND 21702  
PHONE: 301-748-4851

**ADJOINING PROPERTY OWNERS**

SYMBOL	OWNER'S NAME	LIBER/FOLIIO	TAX MAP /PARCEL	ZONING	USE
A	ROBERT STOOPS	522/160	77/184	PRESERVATION	RESIDENTIAL
B	MIDDLETOWN VALLEY BANK	5510/360	77/3	PRESERVATION	RESIDENTIAL
C	DAVID HAHN	522/165	77/209	PRESERVATION	RESIDENTIAL
D	DONALD & ANNA NICODEMUS	410/453	77/192	PRESERVATION	RESIDENTIAL
E	DONALD & ANNA NICODEMUS	377/622	77/122	PRESERVATION	RESIDENTIAL
F	DANIEL BEACHLEY	381/21	77/123	PRESERVATION	RESIDENTIAL
G	MT. CARMEL EVANGELICAL UNITED BRETHREN CHURCH	383/484	77/124	PRESERVATION	CHURCH
H	MT. CARMEL EVANGELICAL UNITED BRETHREN CHURCH	13/600	77/169	PRESERVATION	CHURCH

**Stormwater Management Narrative**

THE PROJECT PROPOSES THE USE OF PERMEABLE PAVERS FOR THE HANDICAP PARKING AREA. A BZA VARIANCE WAS OBTAINED TO MINIMIZE THE NUMBER OF REQUIRED PARKING SPACES. EXISTING VEGETATIVE COVER WILL BE MAINTAINED BY PLACING EVENT PARKING ON THE EXISTING GRASSED SURFACES.

Project Name: DROSDAK BANQUET / RECEPTION FACILITY  
County Project No. (SP, PP, GP): SP-18

**ESD Practices (Chapter 5 - Structural & Non-Structural)**

TYPE	No.	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	ESD <sub>1</sub> (ac-ft)	WQ <sub>2</sub> (ac-ft)

**ESD Practices (Chapter 3 - Structural Practices)**

TYPE	No.	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	STORAGE @0.1W (ac-ft)	PRINCIPLE SPILLWAY TYPE

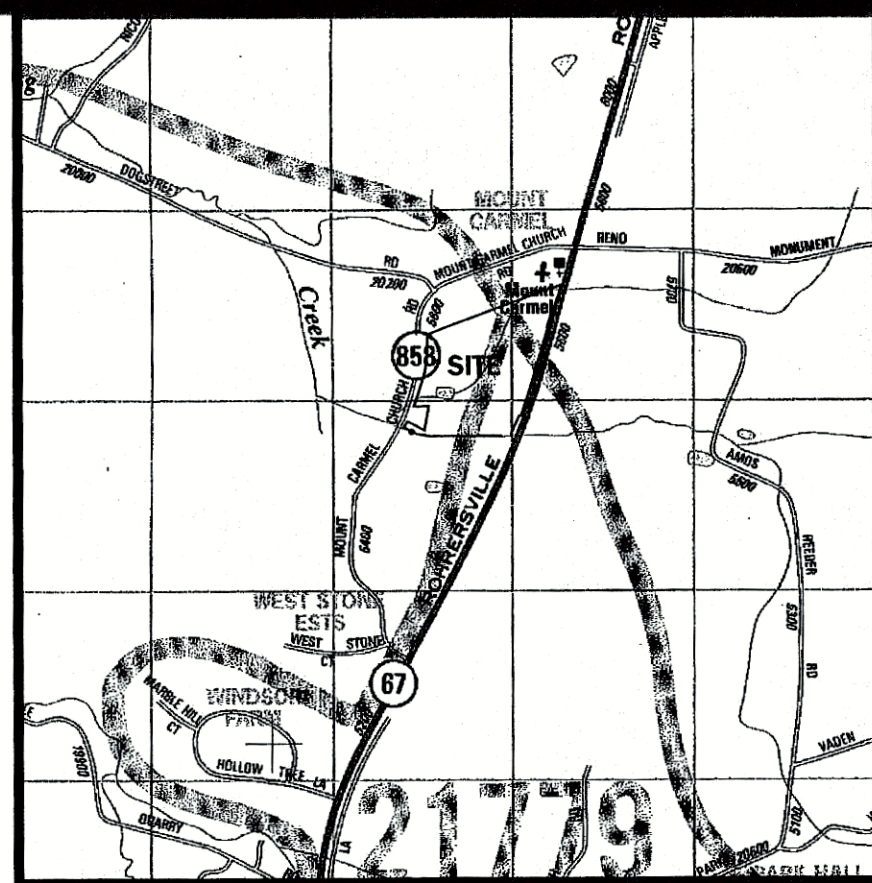
Total DA (Site)	
Construction Type (circle one)	New [ ] Redevelopment [ ] Restoration [ ]

RECEIVED

JAN 17 2019

WASHINGTON COUNTY  
PLAN REVIEW DEPARTMENT

ADC MAP 32  
GRIDS C 10 & 11



VICINITY MAP  
SCALE: 1" = 2000'  
TAX MAP 77 PARCEL 189  
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 2100221

**AGENCY & UTILITY CONTACTS**

COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION	ED NORMAN (240) 313-2400
CITY UTILITIES DEPT. WATER & SEWER DIV.	FRANK USARY (301) 739-8577 X 653
POTOMAC Edison	DENISE PRICE (301) 582-9271
WASH. CO. SCD	KEN BUCKLER (301) 797-6821 X 3
ANTIEMAM CABLE	JULIE LUOWIG (301) 797-1835
VERIZON	VONDA GRIFFIN (301) 790-7135
COLUMBIA GAS	(800) 440-6111

**DISTURBED AREA QUANTITIES**

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 9,470 sq. ft. (0.22 ACRES) AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 67 cu. yd. OF EXCAVATION AND 20 cu. yd. OF FILL.

\* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

**UTILITY NOTIFICATION**

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

**ENGINEER PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

*[Signature]*  
NAME: \_\_\_\_\_ LICENSE NO. 27053 EXPIRATION DATE 1/05/20

**ENGINEER/ARCHITECT DESIGN CERTIFICATION**

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

1/17/19 27053  
DATE REG. NO. SIGNATURE

**OWNER/DEVELOPER CERTIFICATION - DPW**

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE PRINTED NAME SIGNATURE

**OWNER/DEVELOPER CERTIFICATION - SCD**

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE PRINTED NAME SIGNATURE

**WASHINGTON COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL**

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

APPROVED  
WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING  
SIGNATURE DATE

**FOX & ASSOCIATES, INC.**  
ENGINEERS • SURVEYORS • PLANNERS



981 MT. AETNA ROAD HAGERSTOWN, MD. 21740  
PHONE: (301)733-8503  
or (301)416-7250  
FAX: (301)733-1853

82 WORMANS MILL COURT SUITE 'G' FREDERICK, MD. 21701  
PHONE: (301)695-0880  
FAX: (301)293-6009

www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com

**FOX & ASSOCIATES, INC.**  
ENGINEERS • SURVEYORS • PLANNERS

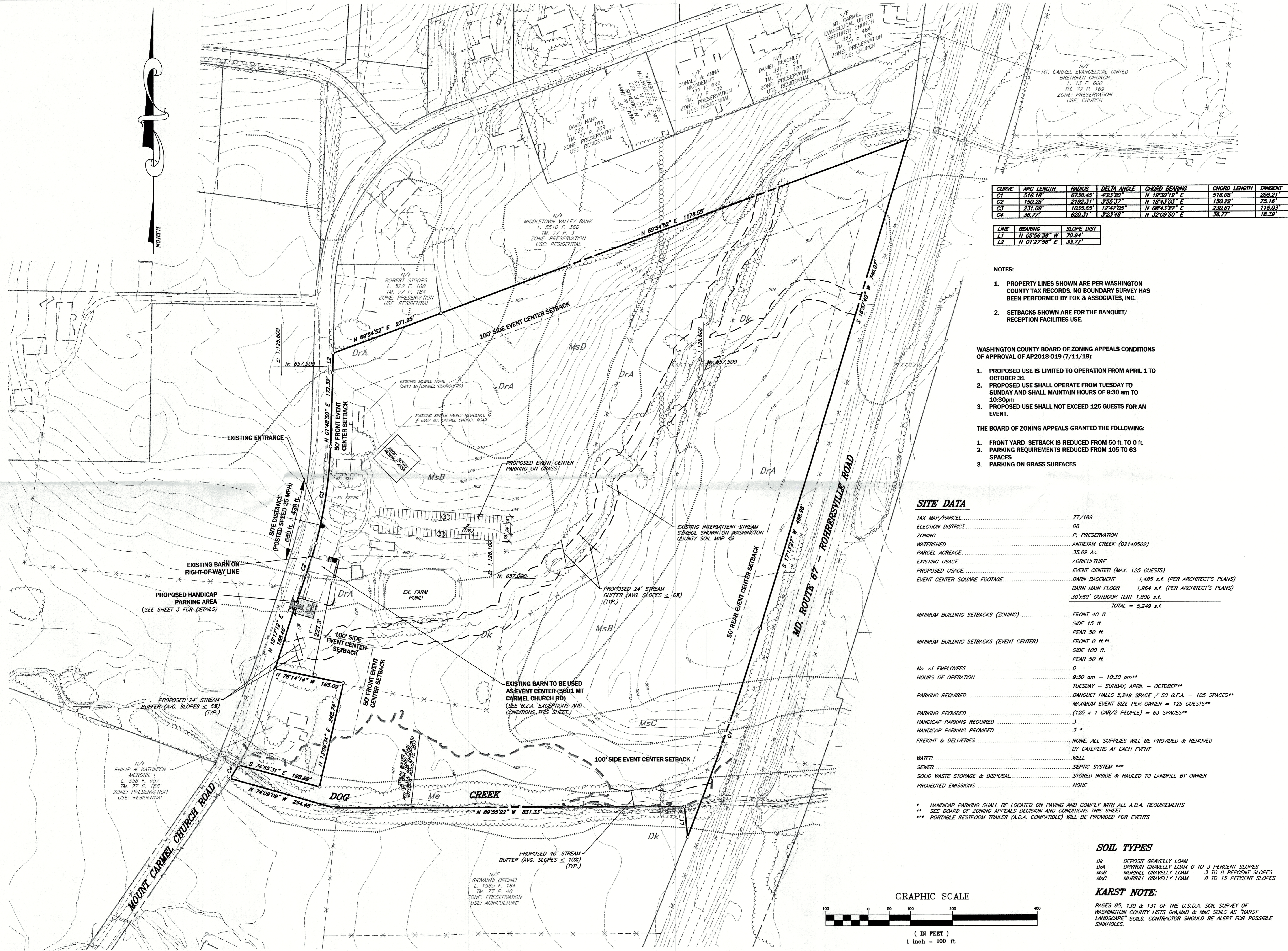
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FAX: (301)955-0880  
or  
PHONE: (301)418-7250  
FAX: (301)733-1853

Email: foxassoc@foxassoc.com  
www.foxassoc.com

DATE

REVISION

DRAWN BY



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	516.18'	6738.45'	4°23'20"	N 19°30'12" E	516.05'	258.21'
C2	150.25'	2182.31'	3°55'37"	N 18°43'03" E	150.22'	75.16'
C3	231.08'	1035.65'	12°47'05"	N 08°43'27" E	230.61'	116.03'
C4	620.31'	323.48'	N 32°08'50" E		38.77'	18.39'

LINE	BEARING	SLOPE	DIST.
L1	N 05°56'38" W		70.84'
L2	N 07°27'56" E		33.77'

- NOTES:
- PROPERTY LINES SHOWN ARE PER WASHINGTON COUNTY TAX RECORDS. NO BOUNDARY SURVEY HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC.
  - SETBACKS SHOWN ARE FOR THE BANQUET/RECEPTION FACILITIES USE.

**WASHINGTON COUNTY BOARD OF ZONING APPEALS CONDITIONS OF APPROVAL OF AP2018-019 (7/11/18):**

- PROPOSED USE IS LIMITED TO OPERATION FROM APRIL 1 TO OCTOBER 31.
- PROPOSED USE SHALL OPERATE FROM TUESDAY TO SUNDAY AND SHALL MAINTAIN HOURS OF 9:30 am TO 10:30pm.
- PROPOSED USE SHALL NOT EXCEED 125 GUESTS FOR AN EVENT.

**THE BOARD OF ZONING APPEALS GRANTED THE FOLLOWING:**

- FRONT YARD SETBACK IS REDUCED FROM 50 FT. TO 0 FT.
- PARKING REQUIREMENTS REDUCED FROM 105 TO 63 SPACES
- PARKING ON GRASS SURFACES

**SITE DATA**

TAX MAP/PARCEL	77/189
ELECTION DISTRICT	08
ZONING	P, PRESERVATION
WATERSHED	ANTIETAM CREEK (02140502)
PARCEL ACREAGE	35.09 Ac.
EXISTING USAGE	AGRICULTURE
PROPOSED USAGE	EVENT CENTER (MAX. 125 GUESTS)
EVENT CENTER SQUARE FOOTAGE	BARN BASEMENT 1,485 s.f. (PER ARCHITECT'S PLANS) BARN MAIN FLOOR 1,984 s.f. (PER ARCHITECT'S PLANS) 30'x60' OUTDOOR TENT 1,800 s.f. TOTAL = 5,249 s.f.
MINIMUM BUILDING SETBACKS (ZONING)	FRONT 40 ft. SIDE 15 ft. REAR 50 ft.
MINIMUM BUILDING SETBACKS (EVENT CENTER)	FRONT 0 ft.** SIDE 100 ft. REAR 50 ft.
No. of EMPLOYEES	0
HOURS OF OPERATION	9:30 am - 10:30 pm** TUESDAY - SUNDAY, APRIL - OCTOBER**
PARKING REQUIRED	BANQUET HALLS 5,249 SPACE / 50 G.F.A. = 105 SPACES** MAXIMUM EVENT SIZE PER OWNER = 125 GUESTS**
PARKING PROVIDED	(125 x 1 CAR/2 PEOPLE) = 63 SPACES**
HANDICAP PARKING REQUIRED	3
HANDICAP PARKING PROVIDED	3 *
FREIGHT & DELIVERIES	NONE. ALL SUPPLIES WILL BE PROVIDED & REMOVED BY CATERERS AT EACH EVENT
WATER	WELL
SEWER	SEPTIC SYSTEM ***
SOLID WASTE STORAGE & DISPOSAL	STORED INSIDE & HAULED TO LANDFILL BY OWNER
PROJECTED EMISSIONS	NONE

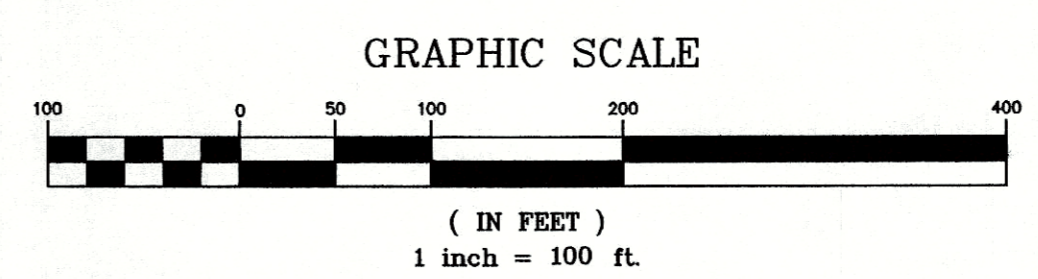
\* HANDICAP PARKING SHALL BE LOCATED ON PAVING AND COMPLY WITH ALL A.D.A. REQUIREMENTS  
\*\* SEE BOARD OF ZONING APPEALS' DECISION AND CONDITIONS THIS SHEET.  
\*\*\* PORTABLE RESTROOM TRAILER (A.D.A. COMPATIBLE) WILL BE PROVIDED FOR EVENTS

**SOIL TYPES**

- Dk DEPOSIT GRAVELLY LOAM 0 TO 3 PERCENT SLOPES
- Dra DRYRUN GRAVELLY LOAM 0 TO 3 PERCENT SLOPES
- Msb MURRILL GRAVELLY LOAM 3 TO 8 PERCENT SLOPES
- Msc MURRILL GRAVELLY LOAM 8 TO 15 PERCENT SLOPES

**KARST NOTE:**

PAGES 85, 130 & 131 OF THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY LISTS DRAMA8 & Msc SOILS AS "KARST LANDSCAPE" SOILS. CONTRACTOR SHOULD BE ALERT FOR POSSIBLE SINKHOLES.



**SITE PLAN**

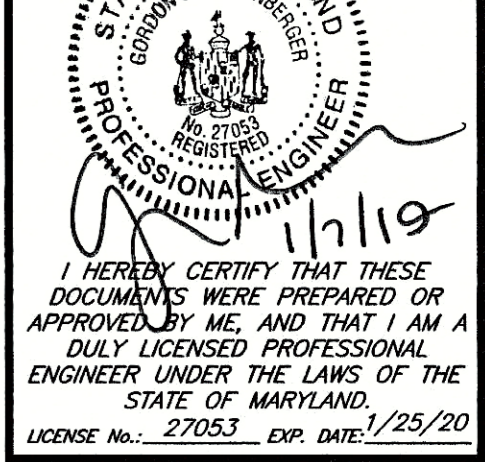
**PROPOSED BANQUET/RECEPTION FACILITY**

**DROSDAK FARM**

SITUATE ON THE EAST SIDE OF MOUNT CARMEL CHURCH ROAD WASHINGTON COUNTY, MARYLAND

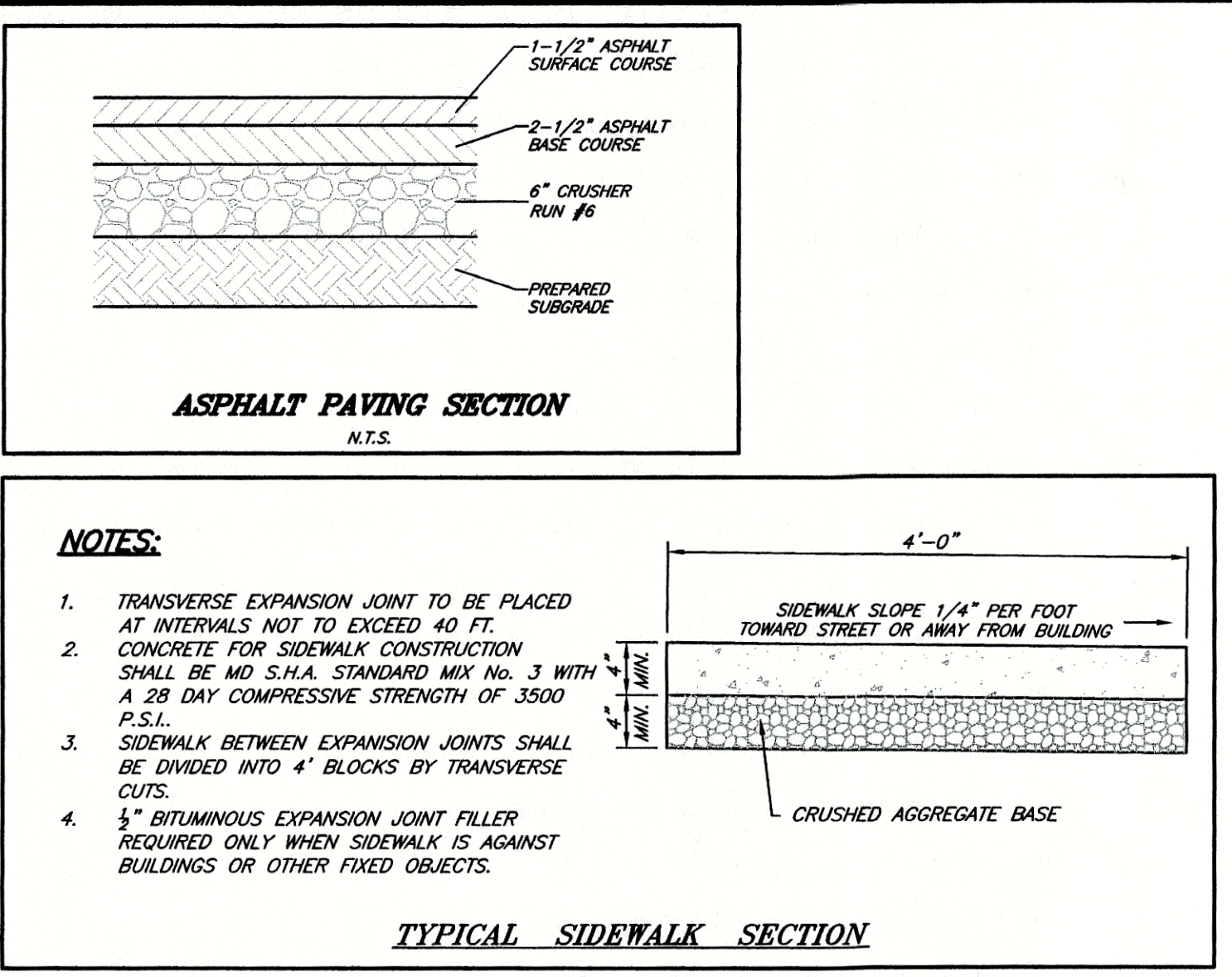
SCALE: 1" = 100'

PROFESSIONAL CERTIFICATION



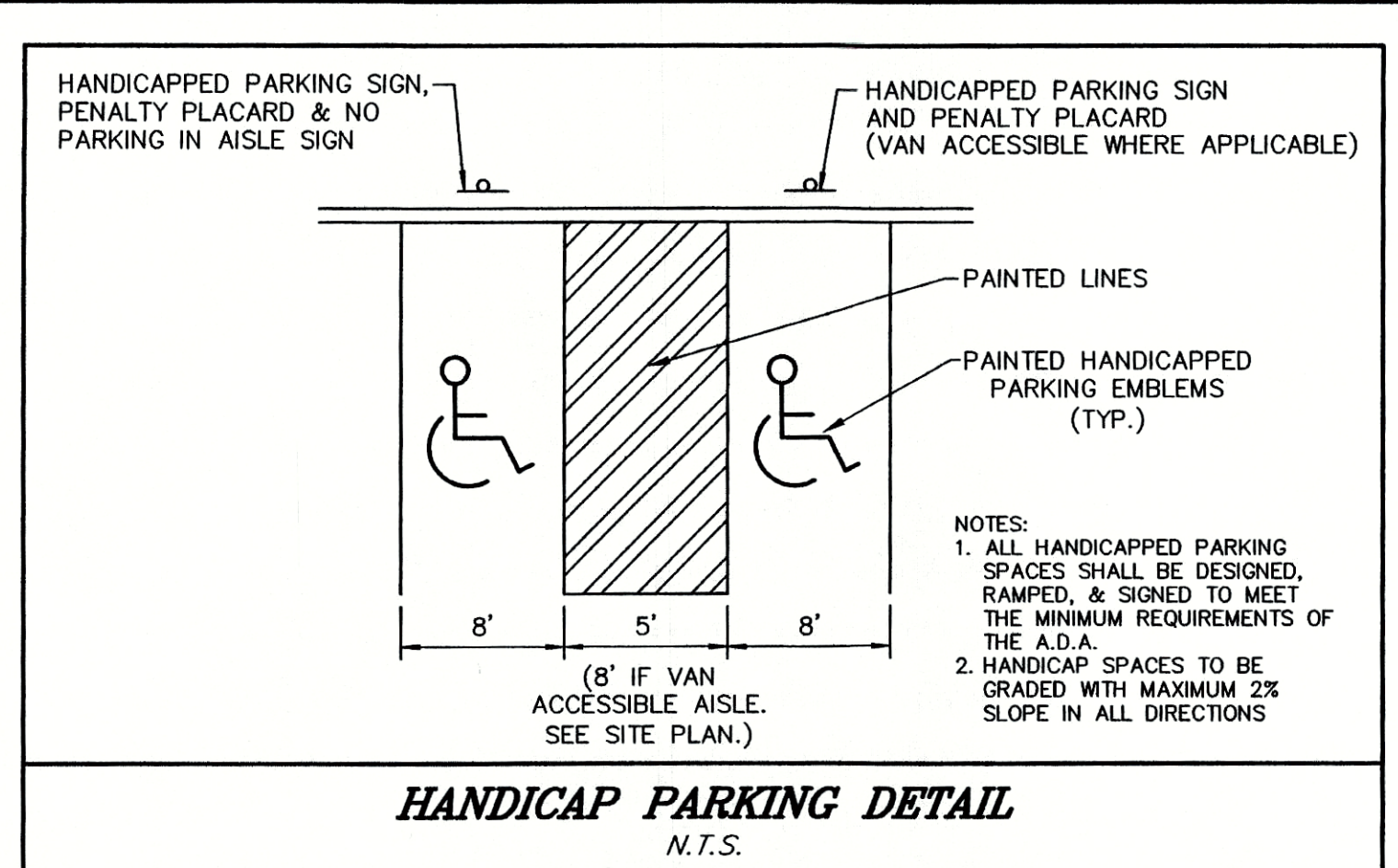
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE No. 27053. EXP. DATE: 1/25/20

PROJECT NO. 18-31403  
DRAWING NO. D-6189  
DATE: SEPT. 2018  
DRAWN BY: RLB  
CHECKED BY: GSP



**NOTES:**

- TRANSVERSE EXPANSION JOINT TO BE PLACED AT INTERVALS NOT TO EXCEED 40 FT.
- CONCRETE FOR SIDEWALK CONSTRUCTION SHALL BE MD S.H.A. STANDARD MIX NO. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.
- SIDEWALK EXPANSION JOINTS SHALL BE DIVIDED INTO 4' BLOCKS BY TRANSVERSE CUTS.
- 1/2" BITUMINOUS EXPANSION JOINT FILLER REQUIRED ONLY WHEN SIDEWALK IS AGAINST BUILDINGS OR OTHER FIXED OBJECTS.

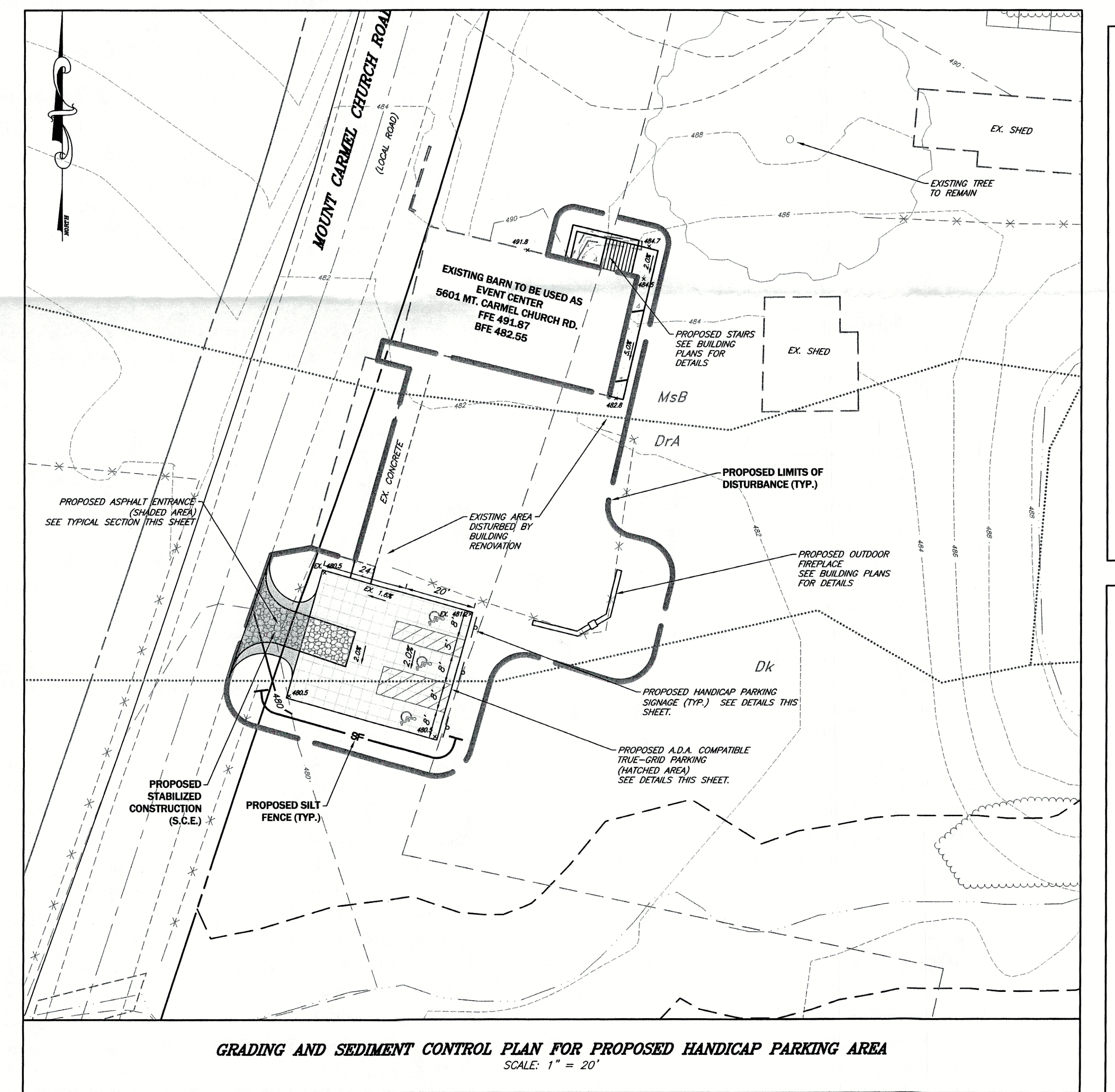
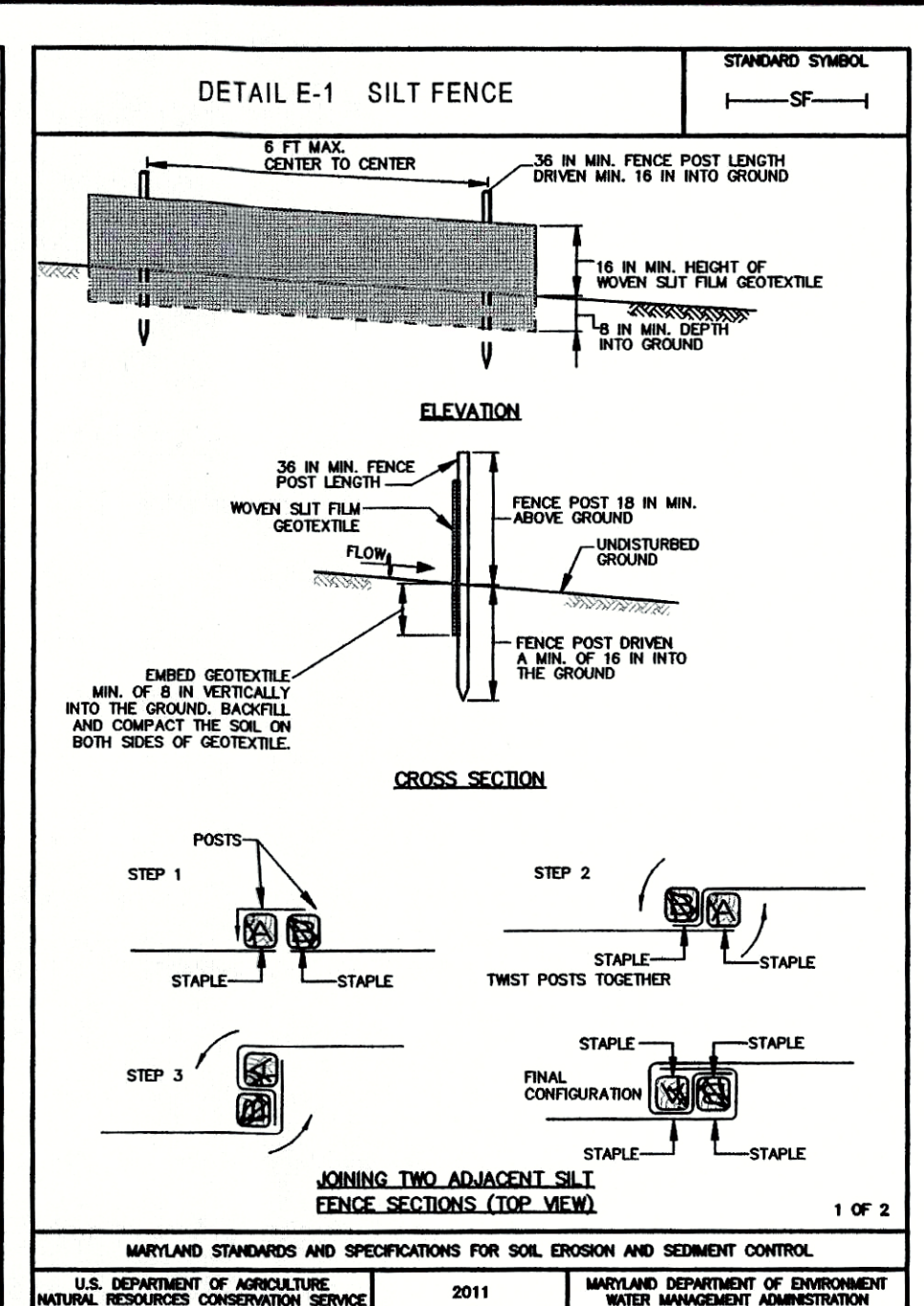
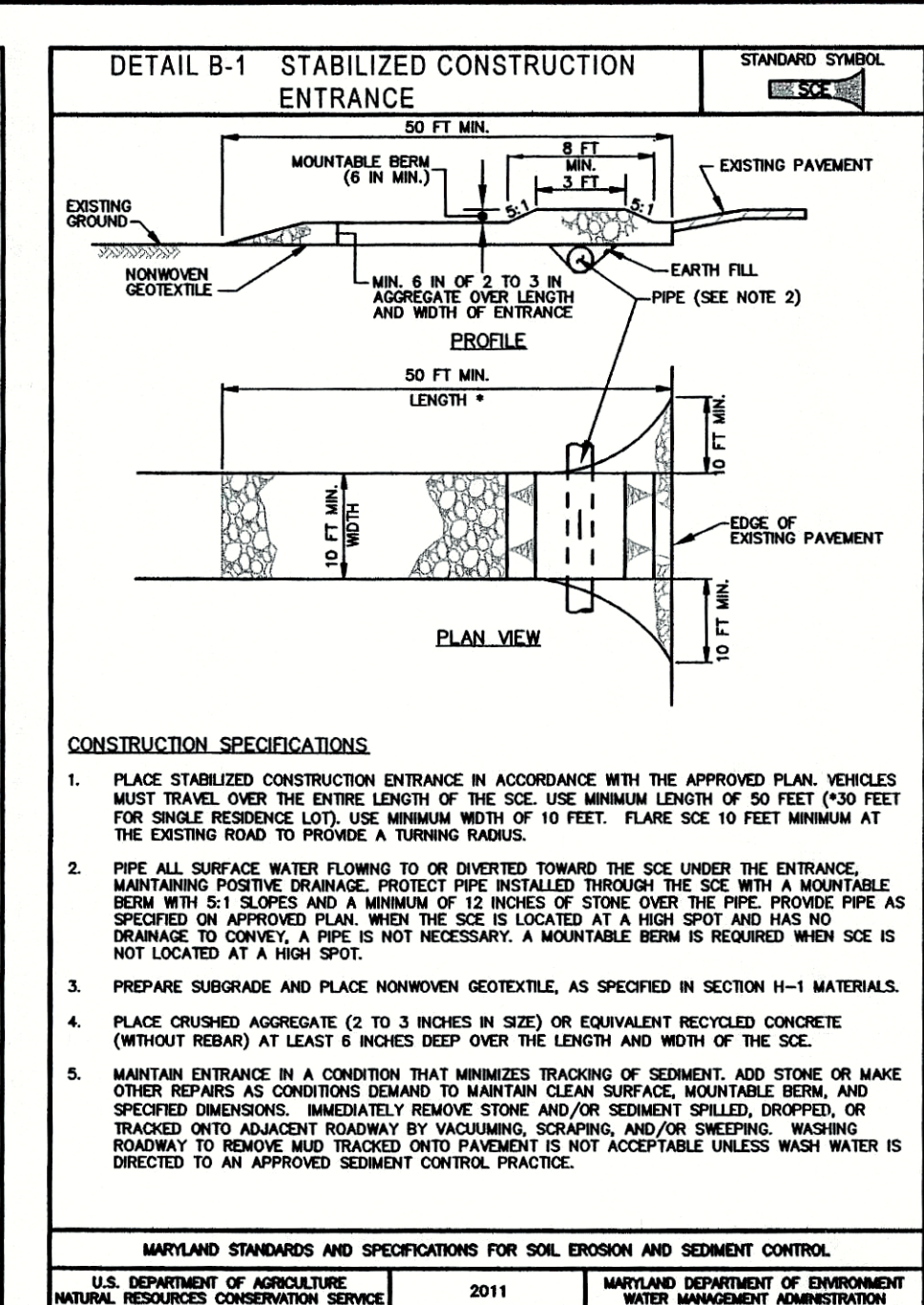
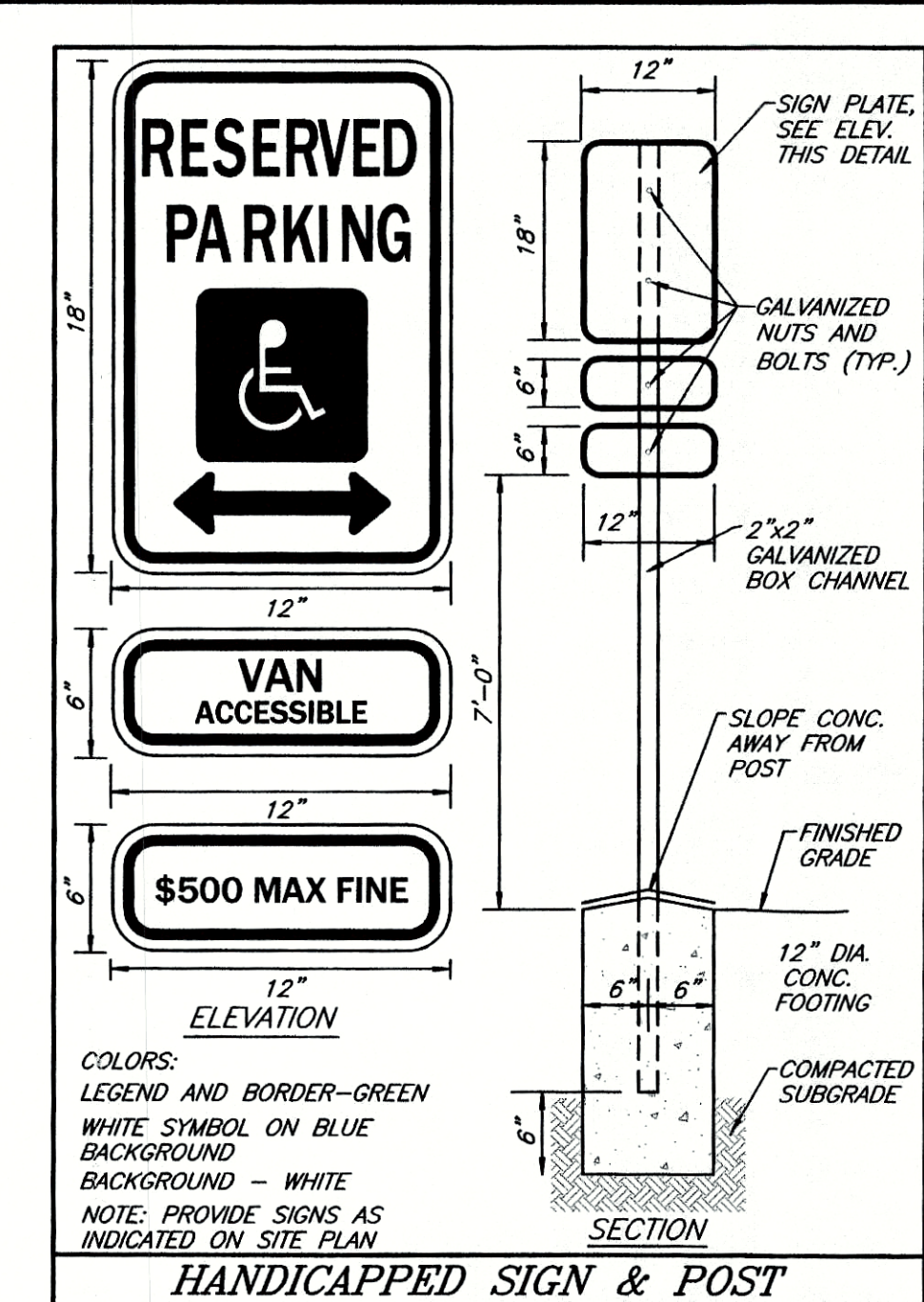


**SOIL TYPES**

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**KARST NOTE:**

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**TRUEGRID**  
1-855-355-GRID (4743)

Ground Preparation: Depends upon site condition and local conditions.  
Suggested Sub-base: 1/2" - 1-1/2" diameter clean/washed, angular gravel. Depth of this layer should be a minimum of 2" - 8". Deeper for heavier loads. For additional drainage, increase depth of sub-base. Class 2 road base (crushed concrete) is also a typical sub-base material. Gravel/sandy soil mix (60/40) is also common for grass fill applications. Level sub-base before laying TrueGrid.

Installation: Layout and snap together pre-assembled sheets. (4 pcs per layer = 16 sq ft) If body weight does not level the grids, use plate vibrator or heavy cylinder to level.

Backfill: N/A

Delivery: Handicap Blue, Charcoal Grey

Pallet content: 192 sq ft = 12 layers / pallet = 48 pcs 320 sq ft = 20 layers / pallet = 80 pcs  
Pallet dimensions: 48" x 48" x 32" 48" x 48" x 49"  
Approximate pallet weight: 476 lbs 760 lbs

TRUEGRID Pavers: 2500 Summer St., # 3225, Houston, TX 77007

**TRUEGRID**  
1-855-355-GRID (4743)

**TRUEGRID® DECK®**  
Manufacturer's Product Specification Sheet

Dimensions: 24" x 24" x 2.2" (4 sf)  
Pre-Assembled: 16 sf per layer (4' x 4' sheet) (4 grids per layer)  
Weight: 8.88 lbs each (35.52 lbs per layer)  
Permeability: 100% w/clean, uniform stone  
Load Rating: H-20 / HS-20  
Material: Blue: High Density Polyethylene  
Grey: Recycled High Density Polyethylene (100% post-consumer)  
Handicap Blue or Charcoal Grey  
Temperature Range: Dimensionally Stable for -58F to 194F  
Moisture Absorption: .01%  
Environmental Compatibility: Nontoxic, harmless to plants, animals, and microorganisms. Inert material, groundwater neutral  
Installation Speed: 1000 sq-ft per man hour

**Other features of TRUEGRID**

- Highly resistant to oils, gasoline, acids, salt, ammonia, and alcohol
- Compatible with TRUEGRID PRO PLUS
- May be saw cut
- Patented design yields ultimate hoop strength
- Circular elements provide multi-directional crush and shear strength
- Flexible links allow expansion and contraction depending on environmental conditions
- Interlocking male/female connectors

Page 1 TRUEGRID Pavers: 2500 Summer St., # 3225, Houston, TX 77007

**SEQUENCE OF CONSTRUCTION**

**PHASE 1 - INITIAL DISTURBANCE**

- CONTACT THE WASHINGTON COUNTY DPW - ENGINEERING & CONSTRUCTION AT (240) 313-2400 AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- CLEAR & GRUB AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL SILT FENCE.
- CONTRACTOR TO MAINTAIN EXISTING STABILIZED CONSTRUCTION ENTRANCE.

**PHASE 2 - HANDICAP PARKING AREA**

- ROUGH GRADE THE HANDICAP PARKING AREA AND AREA OF PROPOSED SIDEWALKS.
- ANY BORROW OR FILL MATERIAL MUST COME FROM, OR GO TO A SITE THAT HAS A CURRENT AND APPROVED SOIL EROSION & SEDIMENT CONTROL PLAN.
- INSTALL PAVING, GRAD AND CONCRETE.
- STABILIZE ALL GRASS AREAS.

**PHASE 3 - PROJECT CLOSE-OUT**

- OBTAIN PERMISSION FROM SCD TO REMOVE PERIMETER CONTROLS. STABILIZE AREAS LEFT DISTURBED BY PERIMETER CONTROL REMOVAL.

**SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES**

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL"; "SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHICH AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL EROSION OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
  - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DICES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B. OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION" IS DEFINED AS 85 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOR SITES 1.0 ACRE OR MORE THE FOLLOWING ARE REQUIRED:
  - MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDR, STATE DISCHARGE PERMIT NUMBER 146F, OR AN INDIVIDUAL PERMIT.
  - THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
  - DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'S) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM"; "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).
  - FOLLOWING CONSTRUCTION AND RELEASE OF THE SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

**PERMANENT SEEDING SUMMARY**

No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
6	TALL FESCUE WHITE CLOVER PERENNIAL RYE GRASS	40 8 25	3/15 - 4/1 8/1 - 10/15	1/2 - 3/4	45 LB/AC (10 LB/1000 S.F.)	90 LB/AC (2 LB/1000 S.F.)	90 LB/AC (2 LB/1000 S.F.)	2 TONS/AC (90 LBS/1000 S.F.)

PERMANENT SEEDING SHALL COMPLY WITH SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

**TEMPORARY SEEDING SUMMARY**

No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
2	BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 8/1 - 9/30	1.0"	436 LBS/AC (10 LBS/1000 S.F.)			2 TONS/AC (90 LBS/1000 S.F.)

TEMPORARY SEEDING SHALL COMPLY WITH SECTION B-4-4 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

**FOX & ASSOCIATES INC.**  
Est. 1966

ENGINEERS • SURVEYORS • PLANNERS

82 NORMANS MILL COURT  
SUITE 'G'  
FREDERICK, MD. 21701  
PHONE: (301)733-8503  
FAX: (301)733-1853

981 MT. AETNA ROAD  
HAGERSTOWN, MD. 21740  
PHONE: (301)416-7250  
FAX: (301)733-1853

www.foxandassociatesinc.com

DRAWN BY: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_

**GRADING, SEDIMENT CONTROL PLAN, NOTES & DETAILS**

**PROPOSED BANQUET/RECEPTION FACILITY**

**DROSDAK FARM**

SITUATE ON THE EAST SIDE OF MOUNT CARMEL CHURCH ROAD WASHINGTON COUNTY, MARYLAND

**SCALE: AS SHOWN**

**PROFESSIONAL CERTIFICATION**

STATE OF MARYLAND  
BOARD OF PROFESSIONAL ENGINEERS  
PROFESSIONAL ENGINEER  
No. 17119

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE No.: 27052 Exp. Date: 7/25/20

PROJECT NO. 18-31403  
DRAWING NO. D-6189  
DATE: SEPT. 2018  
DRAWN BY: RLB  
CHECKED BY: GSP

**SHEET 3 OF 3**

18116137.dwg: 03/20/2018 10:28:00 AM: 18116137.dwg: 03/20/2018 10:28:00 AM: 18116137.dwg: 03/20/2018 10:28:00 AM

## Site Plan for Evan Blumfield

Presented for approval is a site plan for Evan Blumfield.

The Property is located along Rock Bottom Lane south of Mt Aetna Road. Zoning of the property is Environmental Conservation.

The property owner is proposing to construct a 2400 square foot building on his residential parcel for a landscape contractors business. An existing 2,600 square foot building is on site and will be demolished. Total parcel area is 1.80 acres.

There will be 4 total employees.

Hours of operation will be 7 to 4 weekdays.

Eight parking spaces will be provided. Four are required.

The site is served by existing well and septic.

There is no proposed signage.

Building mounted lights will be provided.

The developer wishes to pay the fee in lieu to meet forest conservation requirements.

All approvals have been received.





**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

SITE NAME.....: Evan Blumfield  
NUMBER.....: SP-18-042

OWNER.....: BRUMFIELD EVAN T  
LOCATION.....: West side of Rock Bottom Lane near Mt Aetna Road  
DESCRIPTION.....: Site Plan for proposed Landscape construction business

ZONING.....: Environmental Conservation  
COMP PLAN LU.....: Environmental Conservation  
PARCEL.....: 16006815  
PLANNING SECTOR.....: 2  
ELECTION DISTRICT.....: 16

TYPE.....: Commercial  
GROSS ACRES.....: 1.80  
DWELLING UNITS.....: 1  
TOTAL LOTS.....: 1  
DENSITY.....: 0.5556 Units Per Acre

PLANNER.....: Lisa A Kelly  
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES  
RECEIVED.....: December 13, 2018

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No  
WETLANDS.....: None  
WATERSHED.....: Antietam Creek  
ENDANGERED SPECIES.....: State Listed  
STEEP SLOPES.....: No  
STREAM BUFFER.....: No  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: None

Staff Comments:

*Not Applicable*



Washington County  
MARYLAND

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Inside trash can
Yes	Yes	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Yes
Yes		Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
8		
Parking Spaces - Minimum Required	Recreational Parking Provided	
4	No	

ACCESS SPACING VARIANCE NEEDED: No

NUMBER OF ACCESS POINTS: 1

	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Old Forge	Smithsburg	Smithsburg

PUPIL YIELD  
CURRENT ENROLLMENT  
MAXIMUM CAPACITY

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	MT AETNA
AMBULANCE DISTRICT.....:	HAGERSTOWN

	<i>WATER &amp; SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

Mr. Travis Allen  
Comprehensive Planner  
100 West Washington Street, Suite 2600  
Hagerstown, MD 21740

RE: Payment in Lieu for the Site Plan for Evan Blumfield  
SP-18-042, FSA Job #7476

Dear Mr. Allen,

To meet the necessary requirements of forestation for the Site Plan for Evan Blumfield, the owner is requesting the option for payment in lieu. The site is adjacent to agricultural fields on all sides with a few trees scattered along the property lines. The acreage required (5,227 S.F.) to address forestation is less than that of a qualified forest stand (10,000). With this being such a small site, and the proposed development encompassing most of the remaining property, I feel payment in lieu would be the best option for this site.

Respectfully submitted,



Shannon Stotler

**GENERAL NOTES**

G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.  
 G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.  
 G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.  
 G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.  
 G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.  
 G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or turned off if required.  
 G.7 The contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:  
 Miss Utility 1-800-257-7777  
 Maryland Department of the Environment (301) 665-2850  
 Washington County Division of Public Works - Engineering & Construction (240) 313-2400  
 Washington County Soil Conservation District (301) 797-6821 Ext. 3  
 Potomac Edison 1-800-255-3443

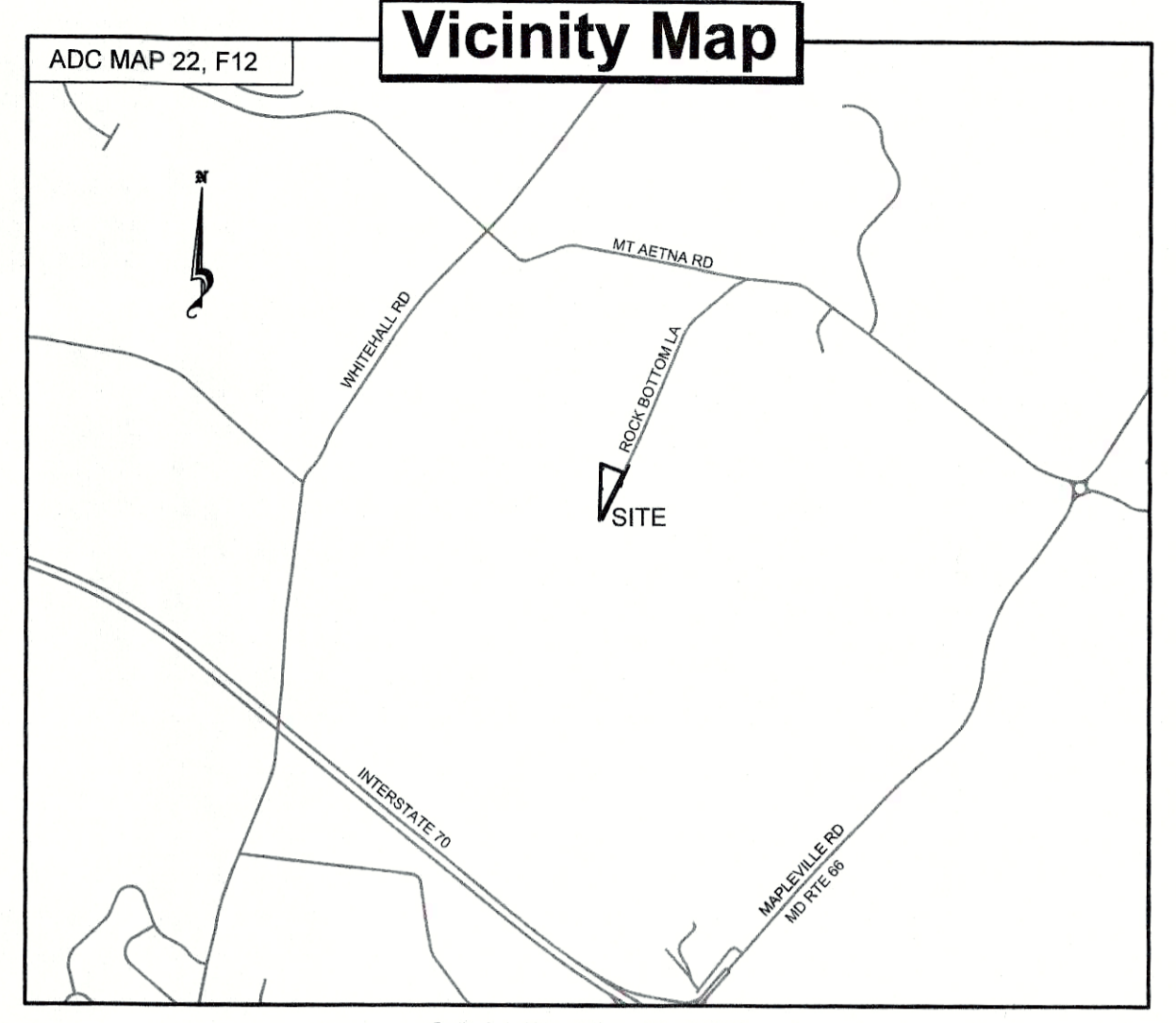
G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.  
 G.9 Benchmarks as shown on plans. Elevations based on NAVD 88.  
 G.10 The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.  
 G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.  
 G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.  
 G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.  
 G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.  
 G.15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.  
 G.16 Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.  
 G.17 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.  
 G.18 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.  
 G.19 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.  
 G.20 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.  
 G.21 All handcarried parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.  
 G.22 The existing site contours shown hereon were obtained from an aerial survey completed and field verified by FSA (Contour accuracy is to plus or minus one half the contour interval).  
 G.23 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.  
 G.24 The contractor shall provide MOSH safety assistance for W.P.C. inspector.  
 G.25 Applicant to provide as built mylars at the completion of the project.  
 G.26 This project has a projected start date of March 2019 and a completion date of May 2019.  
 G.27 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.  
 G.28 The purpose of this site plan is for the demolition of the existing building and add a new building along with some paved parking and gravel area for construction equipment.

# SITE PLAN for **EVAN BLUMFIELD** Situat at 10460 Rock Bottom Lane WASHINGTON COUNTY, MARYLAND

OWNER/DEVELOPER:  
**EVAN BLUMFIELD**  
10460 ROCK BOTTOM LANE  
HAGERSTOWN MD 21742  
717-977-7373  
EVAN@CVTSLANDSCAPE.COM

**FREDERICK SEIBERT & ASSOCIATES, INC.** ©2018

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS  
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013  
(301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956



SCALE: 1" = 2,000'

**Sheet Index**

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
C-101	SHEET 2	SITE PLAN

**Site Data**

TAX MAP	58-12-370
ELECTION DISTRICT	16
ZONING	EC (Environmental Conservation District)
SETBACKS	FRONT - 40' SIDE - 15' REAR - 50'
FUNCTIONAL DESCRIPTION	LANDSCAPE CONSTRUCTOR
DELIVERIES	UPS DAILY
PARCEL AREA	1.80 Ac +/-
EXISTING BUILDING AREA	4,600 S.F.
PROPOSED BUILDING AREA	2,400 S.F.
TOTAL BUILDING AREA	4,367 S.F.
PROPOSED IMPERVIOUS AREA	0.44 Ac +/- (24%)
NUMBER OF EMPLOYEES	4
PROPOSED LIGHTING	NONE
HOURS OF OPERATION	7AM - 4PM (DAY LIGHT HOURS)
TOTAL PARKING REQUIRED	4 SPACES, 1 SPACE PER MAIN SHIFT EMPLOYEE
TOTAL PARKING PROVIDED	8 SPACES
WATER & SEWER USAGE	EXISTING WELL AND SEPTIC
SOLID WASTE	TRASHCAN & PRIVATE HAULER
PROPOSED SIGNAGE	NONE
FORESTATION	PAY IN LIEU: \$1,905.31
ADDRESS ASSIGNMENT	10460 ROCK BOTTOM LANE

MD-ENG-6A  
1/89

USDA  
SCS

**UTILITY NOTIFICATION**  
The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazards exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:  
Phone No. 1-800-257-7777

**DISTURBED AREA QUANTITY**  
THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0.26 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 26 CU. YDS. OF FILL AND APPROXIMATELY 10 CU. YDS. OF FILL.

**OWNER / DEVELOPERS CERTIFICATION**  
"We certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

DATE: \_\_\_\_\_ PRINTED NAME: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**OWNER / DEVELOPERS CERTIFICATION**  
"We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

DATE: \_\_\_\_\_ PRINTED NAME: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

APPROVED:  
WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

By: \_\_\_\_\_  
Date: \_\_\_\_\_  
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

**ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION**  
"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

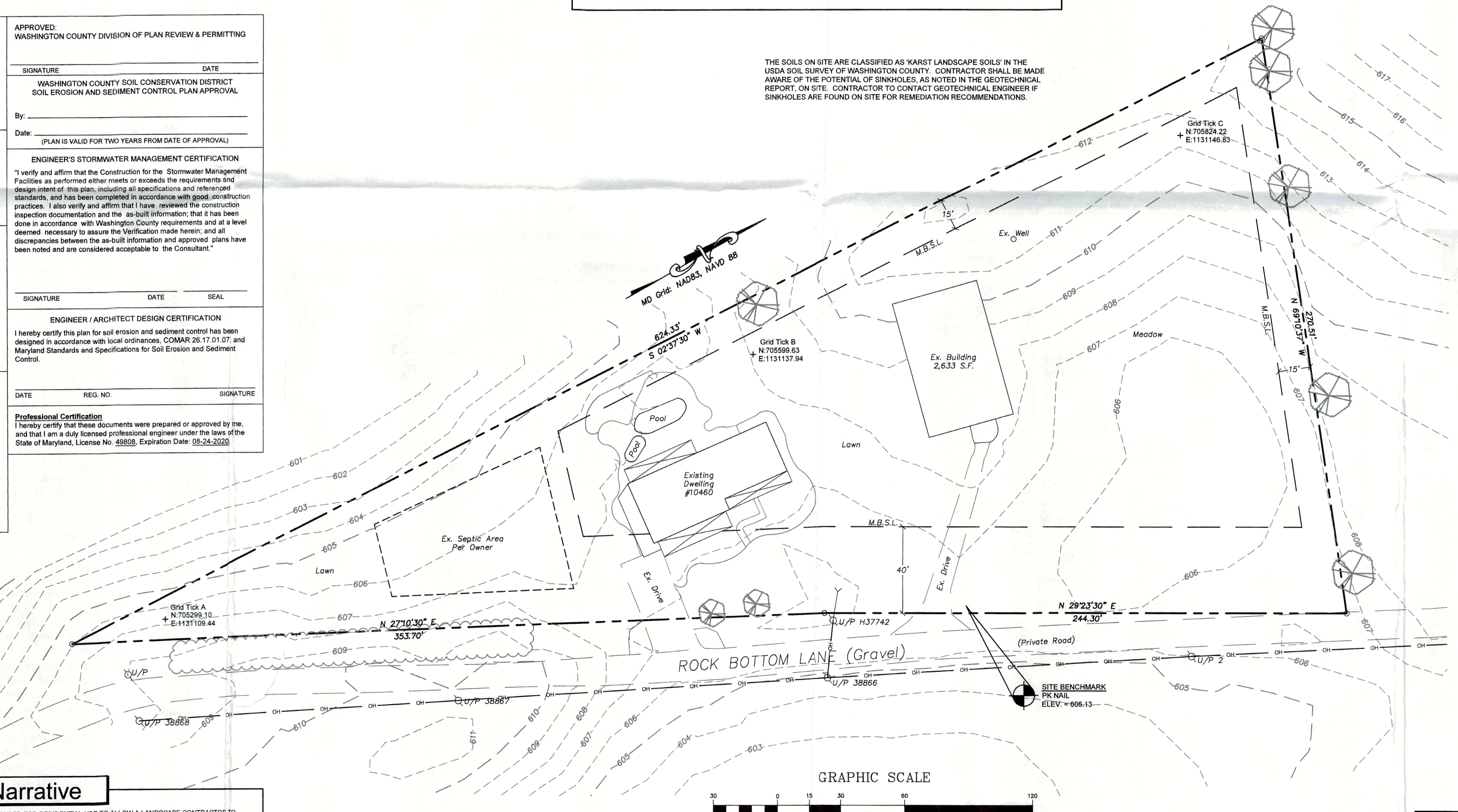
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ SEAL: \_\_\_\_\_

**ENGINEER / ARCHITECT DESIGN CERTIFICATION**  
I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07 and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

DATE: \_\_\_\_\_ REG. NO.: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

**Professional Certification**  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 48808, Expiration Date: 08-24-2020

THE SOILS ON SITE ARE CLASSIFIED AS 'KARST LANDSCAPE SOILS' IN THE USDA SOIL SURVEY OF WASHINGTON COUNTY. CONTRACTOR SHALL BE MADE AWARE OF THE POTENTIAL OF SINKHOLES, AS NOTED IN THE GEOTECHNICAL REPORT, ON SITE. CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER IF SINKHOLES ARE FOUND ON SITE FOR REMEDIATION RECOMMENDATIONS.

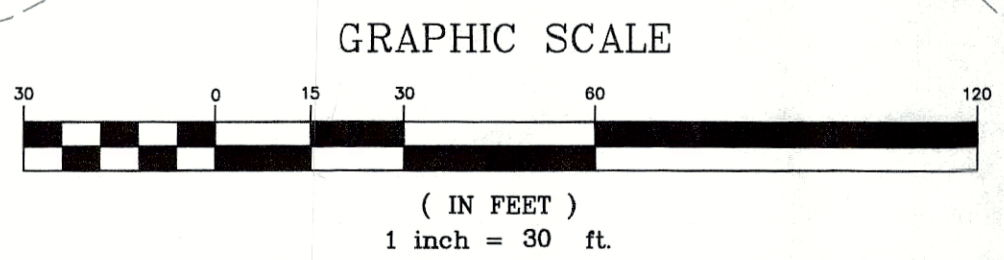
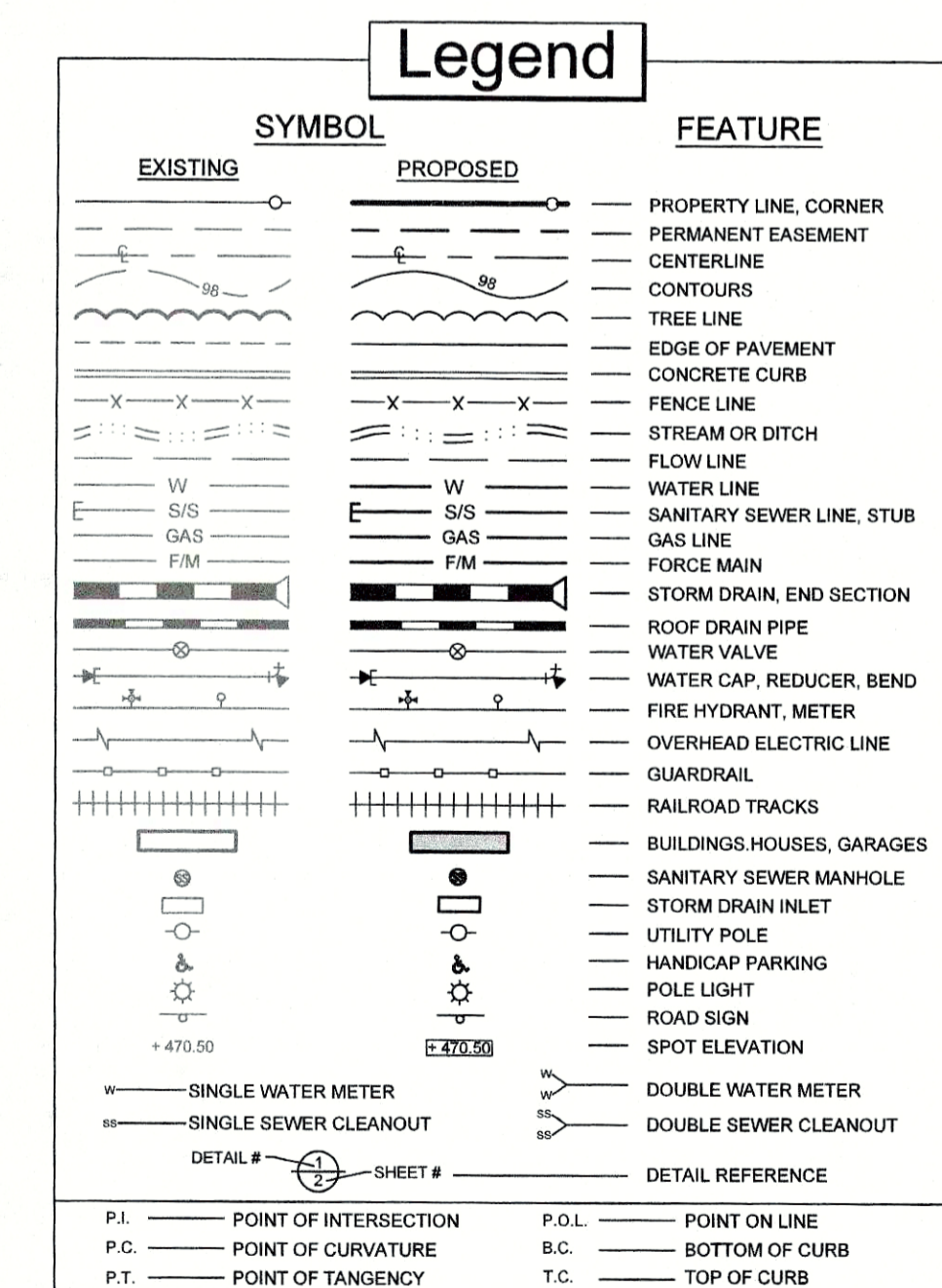


**SWM Narrative**

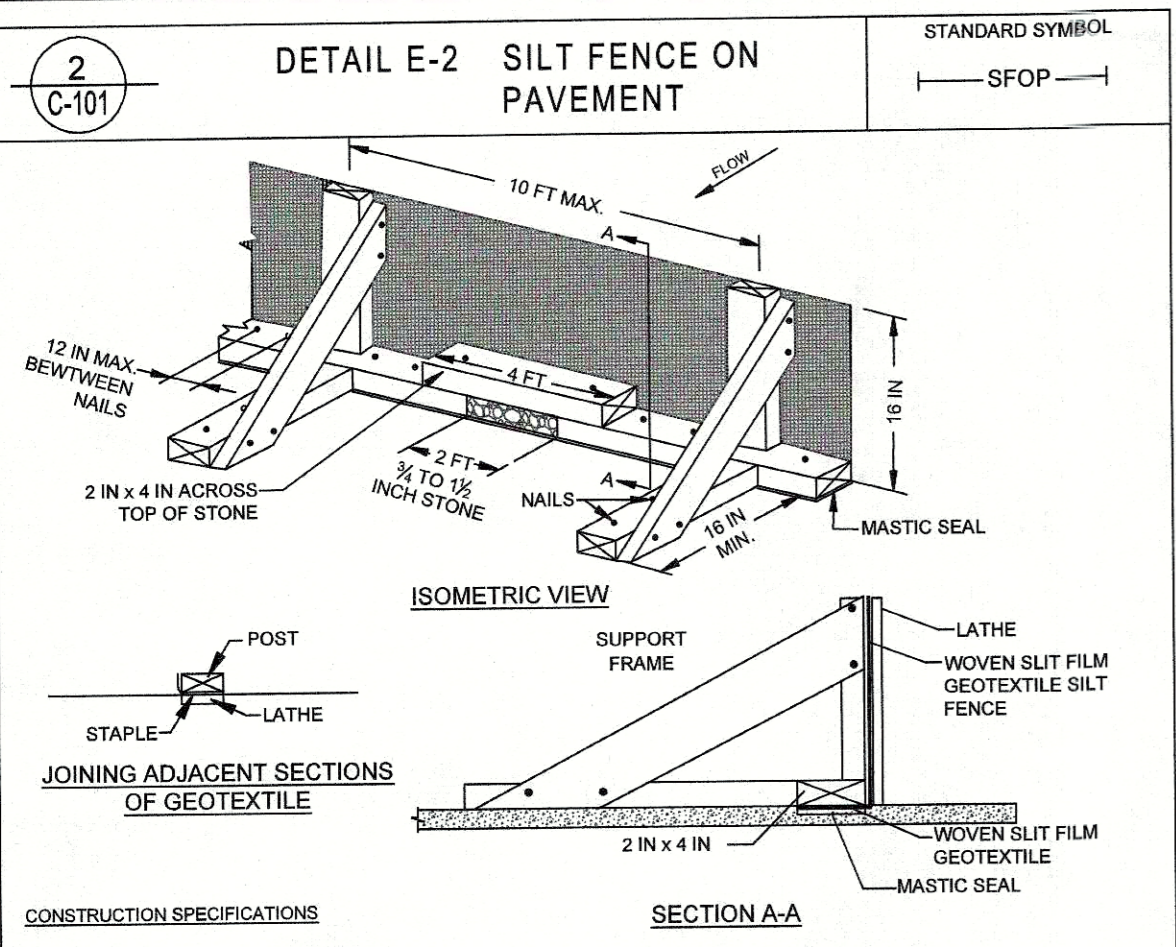
THE PURPOSE OF THIS PLAN IS TO CONVERT A 1.8 AC PARCEL CURRENTLY USED FOR RESIDENTIAL USE TO ALLOW A LANDSCAPE CONTRACTOR TO STORE PARK HIS TRUCKS OF EXCISE MATERIALS ON THE SITE. THE SITE CONSIST OF AN EXISTING DWELLING OCCUPIED BY THE OWNER/OPERATOR OF THE BUSINESS. AN EXISTING OUT BUILDING THAT WILL BE RENOVATED AND USED AS A SHOP OF THE BUSINESS AND AN UNIMPROVED 0.45AC THAT WILL BE USED OF PARKING/STORAGE.

CURRENTLY THE SITE DRAINS FROM BACK TO THE FRONT AND CROSSES THE EXISTING ROCK BOTTOM LANE. THIS PLAN PROPOSES A GRAVEL AREA BE ADDED TO THE SITE THAT DRAINS TO A BIO-RETENTION GARDEN THEN TO ROCK BOTTOM LANE. THE ADDED IMPERVIOUS AREA IS TREATED IN THE BIO-RETENTION GARDEN WHILE THE EXISTING BUILDING IS TREATED BY ROOFTOP DISCONNECTION. THESE TWO PRACTICES MEET THE ESDV REQUIREMENT. THE REQUIRED ESDV IS 3,888CF THE PROVIDED ESDV IS 4577CF.

THE OUTFLOW FROM THIS STRUCTURE WILL FLOW OVER ROCK BOTTOM LANE USING AN EXISTING DRAINAGE PATH. THE IMPACT ON THE OFF-SITE PROPERTY WILL BE NEGLIGIBLE.



DESCRIPTION	DATE	PROJECT NUMBER: 7476
GRADING CHK BY: TMF	DATE: 12-2018	<b>COVER SHEET</b> G-001 SHEET 1 OF 2 SP-18-042
SEC CHK BY: TMF	DATE: 12-2018	
SWM CHK BY: TMF	DATE: 12-2018	
PLAN CHK BY: TMF	DATE: 12-2018	



- CONSTRUCTION SPECIFICATIONS**
- USE NOMINAL 2 INCH X 4 INCH LUMBER.
  - USE WOVEN SILT FILM GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
  - PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
  - SPACE UPRIGHT SUPPORTS NO MORE THAN 10 FEET APART.
  - PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE.
  - KEEP SILT FENCE TAUT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER 2x4.
  - WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL ATTACH LATHES.
  - PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION.
  - SECURE BOARDS TO PAVEMENT WITH 4x4 8 INCH MINIMUM LENGTH NAILES.
  - REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN HILGUES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 2/3 OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SEAL ALONG BOTTOM. REPLACE STONE IF DISPLACED.

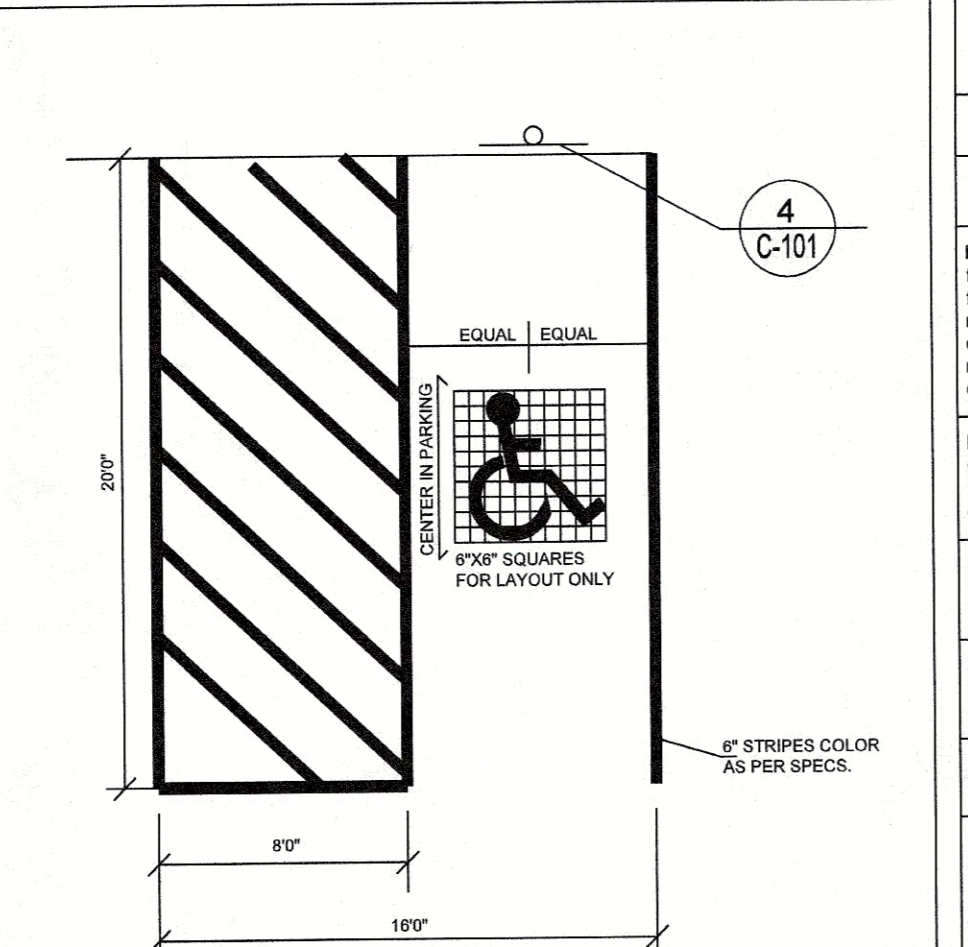
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



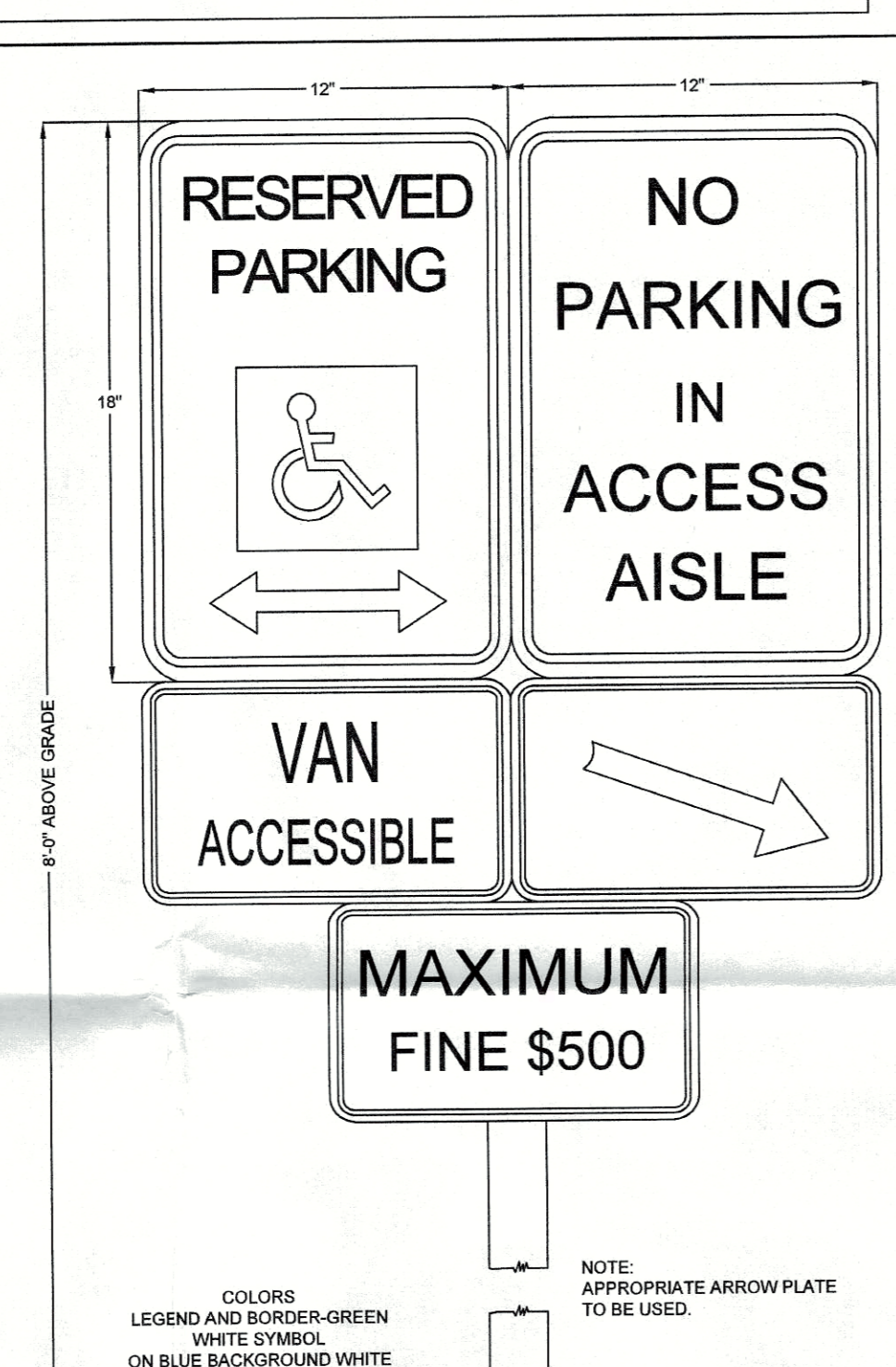
- CONSTRUCTION SPECIFICATIONS**
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  - PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
  - PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
  - PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
  - MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MAINTAIN BERM AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

- SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES**
- All soil erosion/sediment control measures shall comply with the '2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control' and the provisions of the approved plan.
  - All grading and stabilization shall comply with the '2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control', 'Section B - Grading and Stabilization' and the provisions of the approved plan.
  - All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with '2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control', and the approved plan.
  - A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
  - For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
    - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 horizontal to 1 vertical (3:1); and
    - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
  - Stockpiles must be stabilized in accordance with the 7 day stabilization requirement, as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
  - All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
  - All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
  - Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
  - No slope shall be greater than 2:1.
  - As required by Section B. of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, 'Adequate Vegetative Stabilization', is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.



3 HANDICAPPED PARKING NOT TO SCALE



4 HANDICAP SIGN NOT TO SCALE

STATE OF MARYLAND STD. HIGHWAY SIGN BOOKLET MTD. DEPARTMENT OF TRANSPORTATION P.O. BOX 717-707 NORTH CALVERT STREET BALTIMORE, MARYLAND 21203

**TEMPORARY SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
1	Barley	96	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 15-May 31/Aug 1-Sept 30	1"	436 lb/ac. (10 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)

**PERMANENT SEEDING SUMMARY**

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	LIME RATE
6	Perennial Ryegrass	25	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 15-May 31/Aug 1-Sept 30	1/4" - 1/2"	45 lb/ac. (1 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)

**NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES**

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

Inspection Item	Certifying Engineer	Date	County Inspector	Date
EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls is sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.				
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure fabric filter is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent bearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.				
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover.				
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.				
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand filter and/or diaphragm layer. Verify fill material.				
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded, and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.				

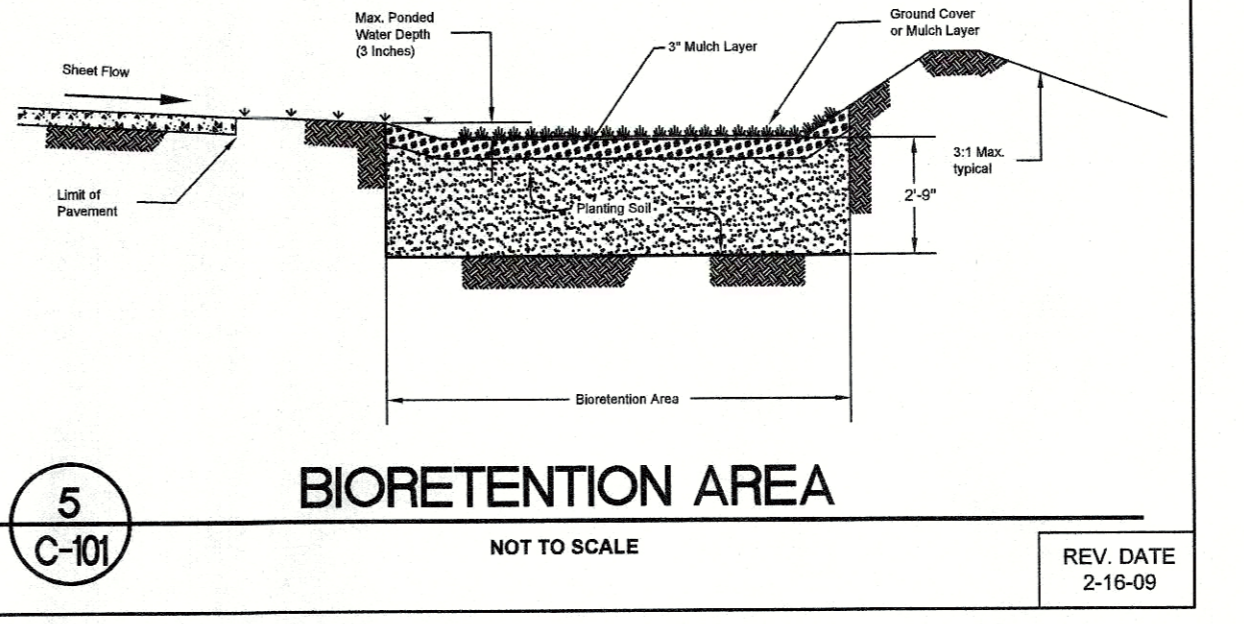
The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.

**OPERATION AND MAINTENANCE PLAN BIORETENTION**

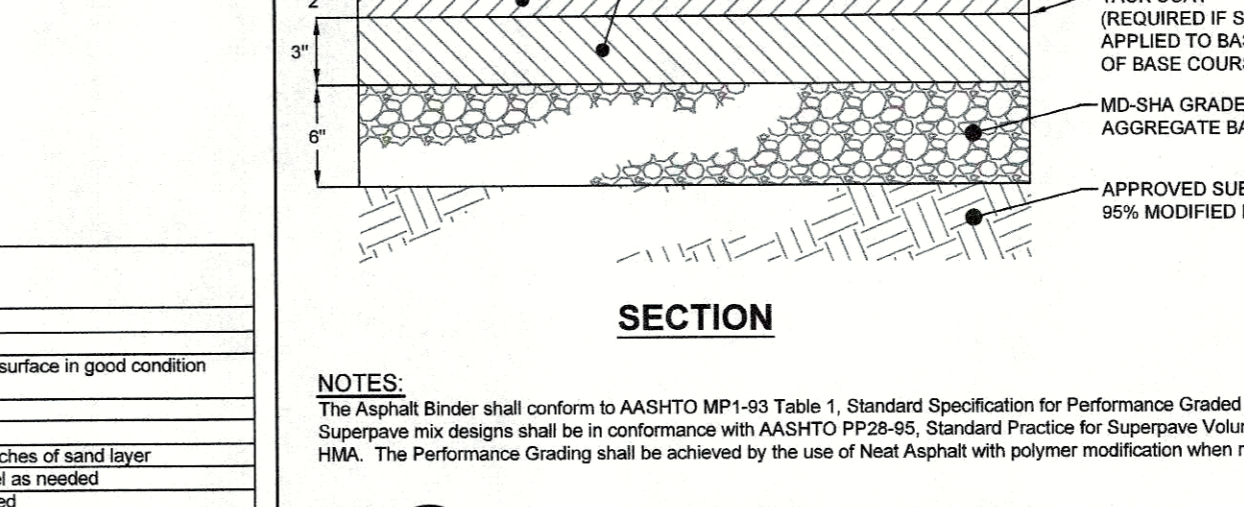
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION	
<b>Maintenance Access</b>	General	Check for accessibility to facility, excessive vegetation, surface stability	Repair erosion and maintain access surface in good condition
<b>Pre-treatment</b>	Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
	Optional sand layer	Check sand for settling and sediment accumulation	Remove sediment as needed
	Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
<b>Filter Bed</b>	Mulch layer	Check for a 2-3 inch mulch layer	Remove mulch and replace as needed
	De-watering	Check for de-watering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top 3-8 inches of soil/sediment and replace with suitable materials per plan specifications; follow up inspections shall confirm adequate de-watering; contact the plan approval authority if the facility does not function as intended
<b>Sediment</b>	Sediment	Check for sediment accumulation	Remove sediment as needed
	Mulch layer	Check for adequate cover, sediment accumulation, discoloration	Remove and replace mulch and excess sediment as needed
<b>Vegetation</b>	Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds, and dead or dying vegetation	Remove and replace plants as necessary
	Vegetative cover/erosion	Check for erosion, runoff channeling, or bare spots	Regrade and stabilize as needed
<b>Outlet</b>	Underdrain system	Check outlet and to ensure that discharge is not obstructed; check for erosion	Remove any flow obstructions; grade and stabilize any eroded areas to provide stable conveyance
	Overflow spillway	Check for displacement of rip-rap, stable conveyance, and erosion below the outlet	Repair and replace as needed
	Conveyance Systems	General	Check for erosion, flow blockages or bypass, and stable conveyance
<b>Flow diversion</b>	Flow diversion	Check flow splitter for proper functioning	Repair as necessary
	Trash and Debris	Check for trash and debris accumulation	Trash and debris shall be disposed of in an acceptable manner
<b>Structural Components</b>	General	Check for structural deterioration, spalling or cracking	Repair according to specifications on the approved plans
	Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after the major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).		

**Table B-3.2 Material Specifications for Bioretention**

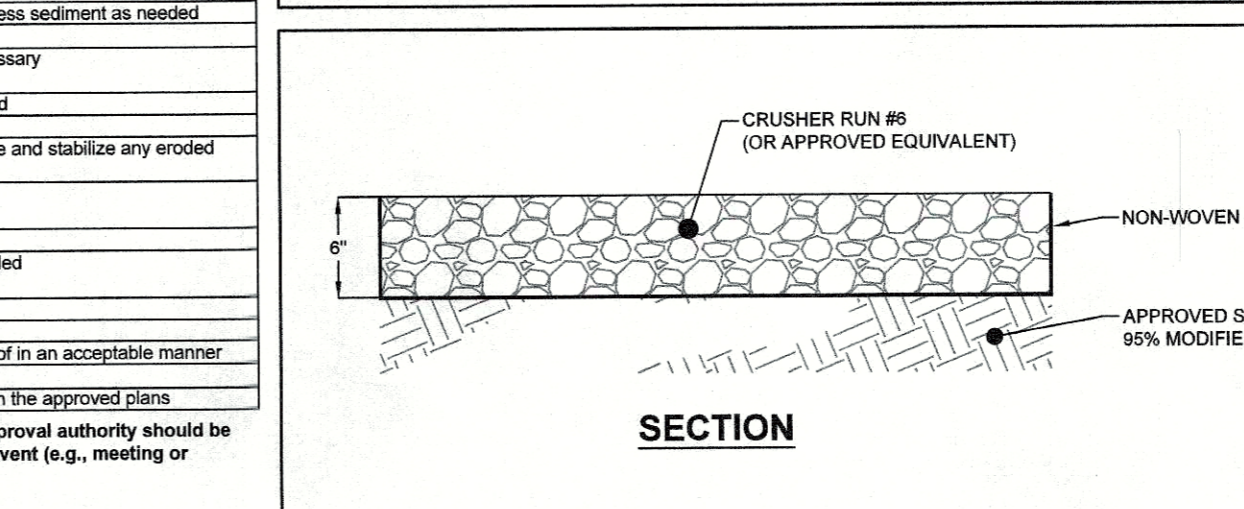
Material	Specification	Size	Notes
Plantings	see planting list	n/a	plantings are site-specific
	sand	35 - 60%	USDA soil types loamy sand, sandy loam or loam
	silt	30 - 55%	
Mulch	shredded hardwood	n/a	aged 6 months, minimum
	pea gravel diaphragm and curtain drain	pea gravel: ASTM-D-448 ornamental stone, washed cobbles	pea gravel: No. 8 stone: 2" to 5"
geotextile	Class "C" apparent opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4632), puncture resistance (ASTM-D-4833)	n/a	for use as necessary beneath underdrains only
underdrain gravel	AASHTO M-43	0.375" to 0.75"	
underdrain piping	F 758, Type PS 28 or AASHTO M-278	4-6" rigid sch. 40 PVC or SDR35	3/8" perft. @ 6' o/c, 4 holes/row; min. 3" of gravel over pipes; not necessary underneath pipes
pour in place concrete (if required)	MSHA Mix No. 3; Fc = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional engineer licensed in the State of Maryland - design to include meeting ACI Code 350 R/89; vertical loading (H-10 or H-20); allowable horizontal loading (based on soil pressure); and analysis of potential cracking
sand	AASHTO M-6 or ASTM C-33	0.02" to 0.04"	Sand substitution such as Diabase and Graystone #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



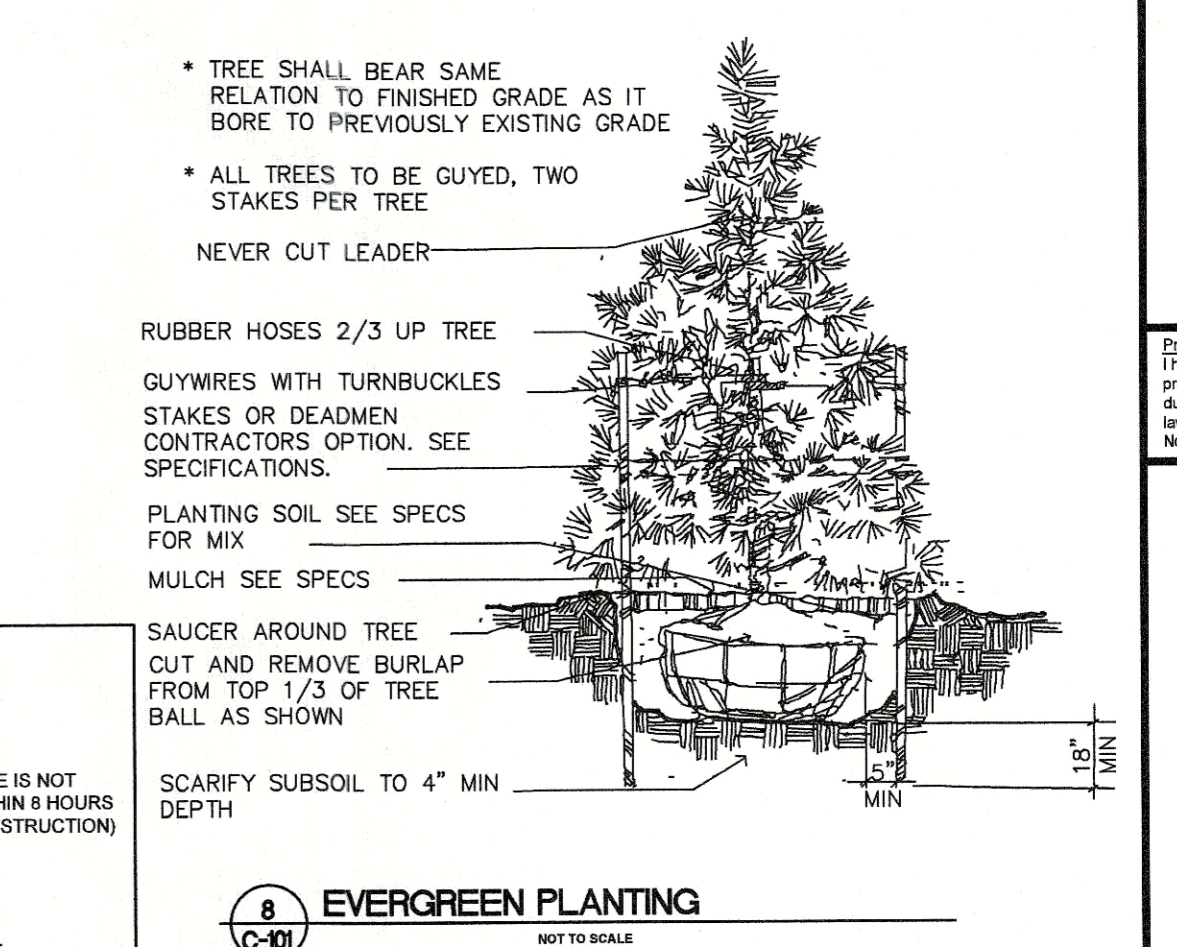
5 BIORETENTION AREA NOT TO SCALE REV. DATE 2-16-09



6 PAVEMENT - SITE NOT TO SCALE



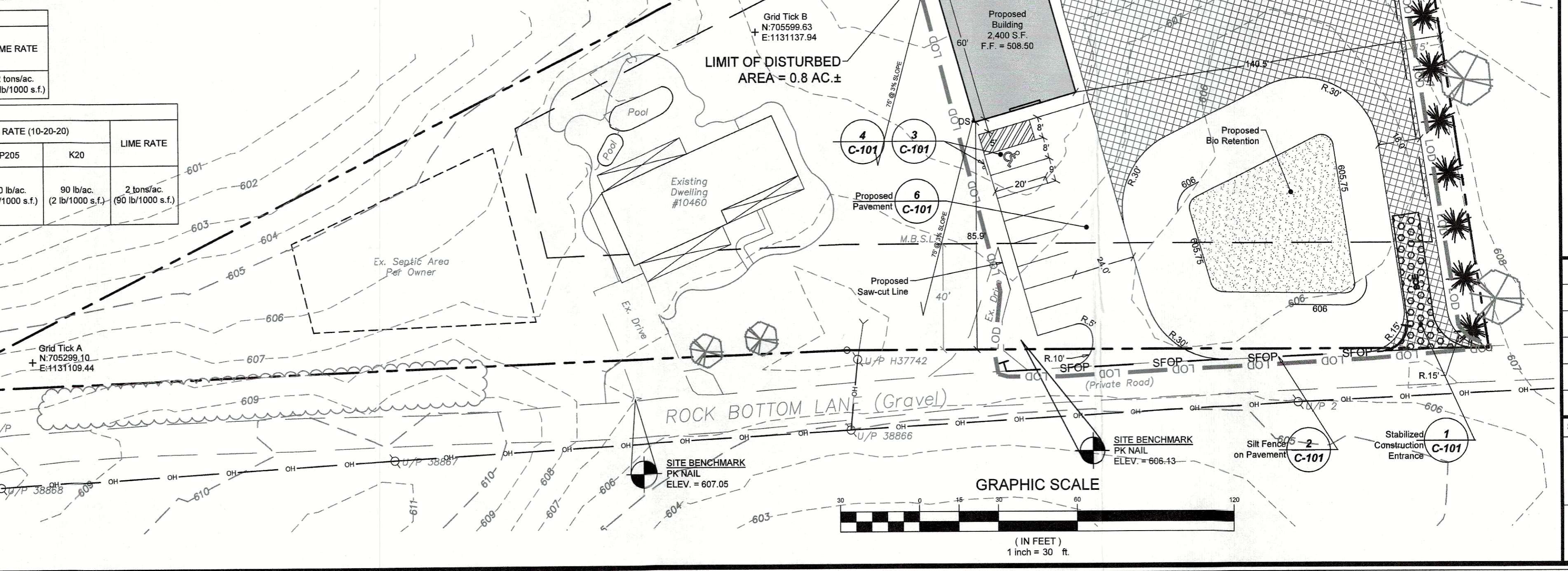
7 PAVEMENT - GRAVEL NOT TO SCALE



8 EVERGREEN PLANTING NOT TO SCALE

- SEQUENCE OF CONSTRUCTION**
- Contractor to contact FSA, Inc. (301) 791-3650, WSCSD (301) 797-6821 ext.3, and the WCDPW Engineering & Construction (240) 313-2400 at least five (5) days prior to the start of any earthwork to schedule a pre construction meeting.
  - Contractor shall install the stabilizing construction entrance, silt fence and silt fence on pavement.
  - Contractor shall demo the existing building then start construction of the proposed building and parking areas. Any spoil and or borrow must come from or go to a site that has a current and approved Soil Erosion and Sediment Control Plan.
  - Stabilize all disturbed areas with seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
  - Before excavating the bioretention pond, contractor to have the parking area stabilize and contact WSCSD (301) 797-6821 ext.3 and Washington County Division of Public Works - Engineering & Construction (240) 313-2400. After bioretention pond is stabilized, contact Washington County Division of Public Works - Engineering & Construction (240) 313-2400 for an interim inspection and approval to install the amended soil materials. Contact Frederick Selbert, and Assoc. (301)791-3650, 2 days prior to bioretention pond construction.
  - Construct bioretention pond. Stabilize with seed, mulch and plantings upon completion.
  - Contractor shall finalize grading then seed and mulch.
  - Contractor to contact WSCSD (301) 797-6821, ext. 3 and the WCDPW Engineering & Construction at (240) 313-2400 at least 5 days prior to the removal of any sediment control features to schedule a final site close out review and meeting. Contractor to gain final approval from WSCSD prior to removal of erosion and sediment controls.
  - Remove sediment and erosion control measures, and stabilize accordingly.

The Asphalt Binder shall conform to AASHTO MP1-93 Table 1, Standard Specification for Performance Graded Asphalt Binder. Superpave mix designs shall be in conformance with AASHTO PP28-85, Standard Practice for Superpave Volumetric Design for HMA. The Performance Grading shall be achieved by the use of Best Asphalt with polymer modification when needed.



**EVAN BLUMFIELD**  
 Situated at 10460 Rock Bottom Lane  
 South of the intersection of White Hall Road and  
 West of the intersection of Maryland Road  
 WASHINGTON COUNTY, MARYLAND  
 CLIENT: EVAN BLUMFIELD  
 10460 ROCK BOTTOM LANE, HAGERSTOWN, MD 21742  
 771-877-2325

**CONCEALED, NOT APPROVED FOR**

Professional Certification  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 49808 Expiration Date: 08-26-2020

**FREDERICK & SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 717-877-2325  
 www.fredseibert.com

PROJECT NO: 7476  
 CAD DWG FILE: 7476-02 Site Plan.Dwg  
 DWN BY: DWH DATE: 10-3-2018  
 CHK BY: DATE:  
 TAX MAP: 58-12-370 ELECTION DIST: 16  
 SCALE: 1" = 30'  
 SHEET TITLE: **SITE PLAN**  
 C-101  
 SHEET 2 OF 2  
 SP-18-042

## Site Plan for Vinny's Towing and Recovery

Presented for review is a site plan for Vinny's Towing and Recovery.

The subject site is located along the north side of Beaver Creek Road, just south of the interchange of I-70 and National Pike. Zoning is Highway Interchange.

The developers are proposing to construct a towing and recovery business with office on their 18.72 acre parcel. There will be one access off of Beaver Creek Road. Phase one will include a 9,000 square foot building with office and four service bays to be constructed at this time. A phase two shows an addition of 9,000 square feet for future construction. Building height will be 32 feet. A gravel parking lot will provide areas for parked and towed vehicles and will be surrounded by an 8 foot high chain link fence with gate.

Hours of operation will be 24 hours 7 days a week.

The site will be served by individual well and septic.

A total of 13 parking spaces will be provided.

Lighting will be building mounted. No signage is proposed.

The site is surrounded by trees/woods and no additional trees will be planted.

Forest Conservation Ordinance requirements will be addressed by retaining existing forest on site in the amount of 1.97 acres.

All approvals have been received.



**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

SITE NAME.....: Vinny's Towing & Recovery  
NUMBER.....: SP-18-037

OWNER.....: BEAVER CREEK INVESTMENTS LLC  
LOCATION.....: North side of Beaver Creek Road and south of I - 70  
DESCRIPTION.....: Site Plan for truck towing business

ZONING.....: Highway Interchange  
COMP PLAN LU.....: Commercial  
PARCEL.....: 10018366  
PLANNING SECTOR.....: 1  
ELECTION DISTRICT.....: 10

TYPE.....: Commercial  
GROSS ACRES.....: 18.72  
DWELLING UNITS.....:  
TOTAL LOTS.....: 1  
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly  
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES  
RECEIVED.....: October 22, 2018

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No  
WETLANDS.....: No  
WATERSHED.....: Antietam Creek  
ENDANGERED SPECIES.....: None  
STEEP SLOPES.....: Yes  
STREAM BUFFER.....: No  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: None

Staff Comments:

*Not Applicable*

**Approvals**

MD-ENG-6A 1/69  UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:  Phone No. 1-800-257-7777	USDA SCS  OWNER / DEVELOPERS CERTIFICATION "I/we certify all parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."  DATE _____ PRINTED NAME _____  SIGNATURE _____
DISTURBED AREA QUANTITY  THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>3.9</u> ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>1,036</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>10,969</u> CU. YDS. OF FILL.	OWNER / DEVELOPERS CERTIFICATION "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."  DATE _____ PRINTED NAME _____  SIGNATURE _____
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL  By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)	ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."  DATE _____ PRINTED NAME _____  SIGNATURE _____
APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING  SIGNATURE _____ DATE _____  ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control and pond construction has been designed in accordance with local ordinances, COMAR 26.17.01.07, Maryland Standards and Specifications for Soil Erosion and Sediment Control, and meets the Maryland Pond Standard 378.  DATE _____ REG. NO. _____ SIGNATURE _____	ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."  SIGNATURE _____ DATE _____ SEAL _____

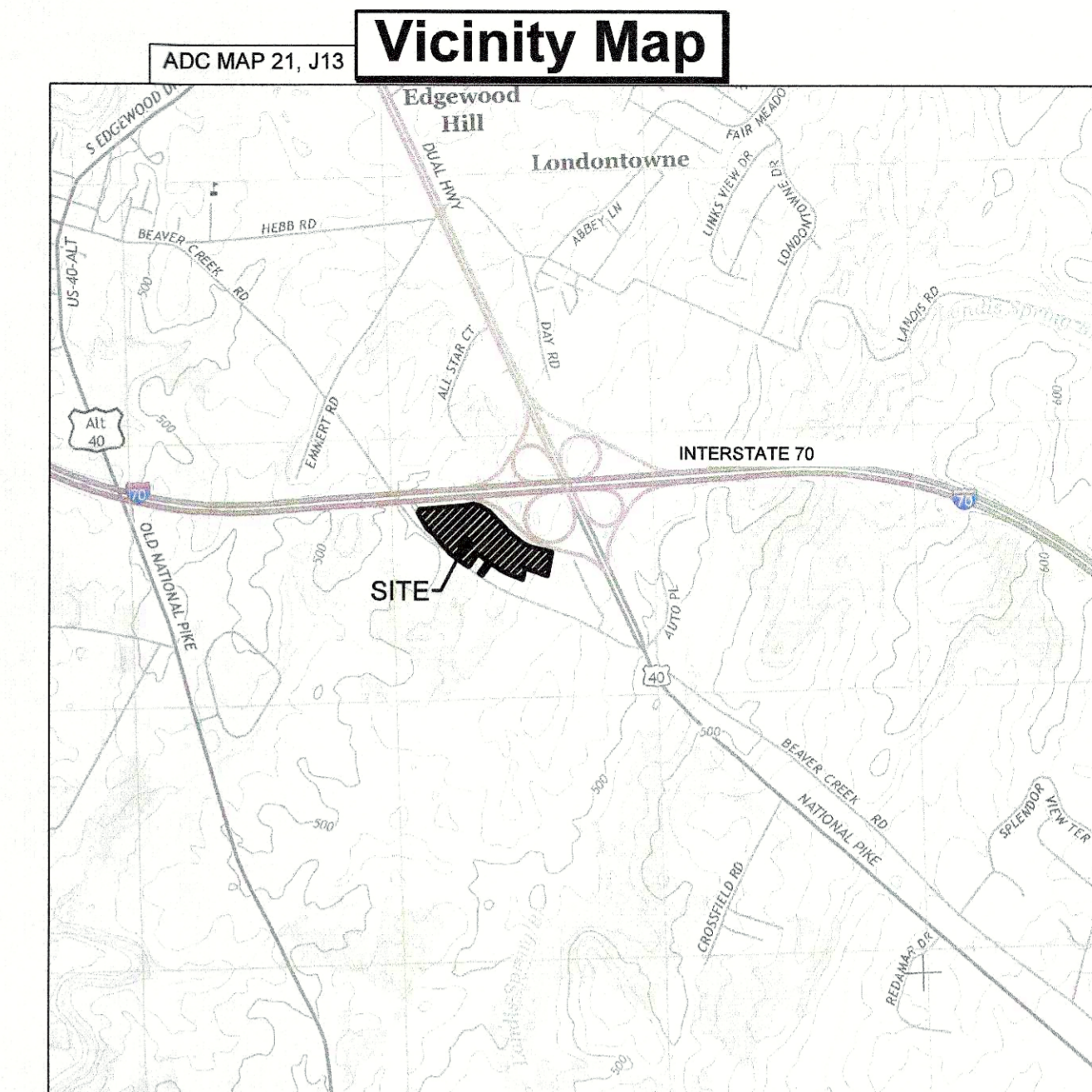
**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 20945  
 Expiration Date: 8-23-19

# SITE PLAN for VINNY'S TOWING & RECOVERY

Situated at the Southeast corner of the intersection  
of Beaver Creek Road and Interstate 70  
Washington County, MD

OWNER/DEVELOPER:  
Beaver Creek Investments LLC  
801 Highland St.  
Frederick, MD 21701

ATTN: Vince Flook II  
PHONE: 301.663.7777



SCALE: 1" = 2000'

**Sheet Index**

TYPE	NUMBER	TITLE
C-001	SHEET 1	COVER SHEET
C-002	SHEET 2	GENERAL NOTES
V-101	SHEET 3	EXISTING CONDITIONS PLAN
C-101	SHEET 4	SITE & DIMENSIONING PLAN
C-102	SHEET 5	GRADING & SEDIMENT EROSION CONTROL PLAN
C-103	SHEET 6	STORMWATER MANAGEMENT PLAN
C-501	SHEET 7	SITE DETAILS & NOTES
C-502	SHEET 8	SEDIMENT EROSION CONTROL DETAILS & NOTES
C-503	SHEET 9	STORMWATER MANAGEMENT DETAILS & NOTES
C-104	SHEET 10	FORESTATION/LANDSCAPE PLAN

**FREDERICK SEIBERT & ASSOCIATES, INC.** © 2018

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013

(301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

**Division of Plan Review & Permitting Notes**

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- A utility permit will be required for any proposed utility work located within the County right-of-way.
- A public works agreement and performance security will be required for all improvements within the County right-of-way that are not otherwise regulated under a utility permit or entrance permit.
- This development plat must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.

**SWM Narrative**

THE SITE CURRENTLY CONSISTS FOR 18.72 AC OF VACANT WOODED PROPERTY LOCATED ON THE SOUTHEAST INTERSECTION OF INTERSTATE 70 AND BEAVER CREEK ROAD. BY THIS PLAN IS PROPOSED A 3.9 AC TOWING COMPANY CONSISTING OF PAVED DRIVE AND PARKING SPACES, GRAVEL IMPOUND YARD, AND 18,000 SF OF BUILDING. CURRENTLY THE SITE DRAINS FROM THE REAR OF THE SITE BORDERING THE INTERSTATE TO THE FRONT OF THE SITE BORDERING BEAVER CREEK RD. THERE IS A ROAD-SIDE SWALE ALONG BEAVER CREEK RD. THAT CONVEYS THE WATER TO THE EXISTING STORM DRAIN SYSTEM OF INTERSTATE 70.

THIS SITE IS DESIGNED TO BYPASS THE WATER AROUND THE PROPOSED SITE BY USING A SWALE TO CONVEY THE OFFSITE RUNOFF AROUND THE PROPOSED SITE INTO THE EXISTING SWALE ALONG BEAVER CREEK RD. ALL THE RUN OFF FROM THE PROPOSED IMPROVEMENTS WILL DRAIN INTO A BIO-RETENTION GARDEN. THIS BIO-GARDEN WILL TREAT THE REQUIRED ESD VOLUME AND STORE THE 100YR/100YR STORMS. THERE WILL BE NO INCREASE FROM THE PRE TO THE POST DEVELOPMENT DISCHARGE FROM THE SITE.

THE OUTFLOW FROM THIS STRUCTURE WILL FLOW INTO AN ESTABLISHED DRAINAGE CHANNEL. THE IMPACT ON THE OFF-SITE SWALE WILL BE NEGLIGIBLE.

**ESD SUMMARY TABLE**

TYPE	NO.	DA (acres)	IMPERVIOUS DA (acres)	R/CN	ESDv (ac-ft)	WQv (ac-ft)	CPv (ac-ft)	CPv (cfs) (Discharge)	Rev (ac-ft)
BIORETENTION GARDEN	1	4.25 Ac.	2.35 Ac.	60	15,208 c.f.	7,604 c.f.			

**Functional Excise Classification:**  
 Truck Sales & Service Shops are classified as Nonresidential nonretail per the Building Excise Tax Ordinance for Washington County, MD. Building excise tax for nonresidential nonretail construction is \$1 per square foot of the gross square footage.

**SWM NOTE:**  
 In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.

**RECEIVED**

JAN 16 2019

WASHINGTON COUNTY  
PLAN REVIEW DEPARTMENT

GRADING CHK BY: SGZ	DATE: 07-2018	PROJECT NUMBER: 4373.VR1
SEC CHK BY:	DATE:	<b>COVER SHEET</b>
SWM CHK BY: RDH	DATE: 08-2018	
REVISOR PER ENGINEERING COMMENTS	11/30/2018	C-001
Submission	08-2018	SHEET 1 OF 10
DESCRIPTION:	DATE:	SP-18-037



**GENERAL NOTES**

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. Refer to the Geotechnical Report for this site prepared by Hillis-Carnes & Associates.
- G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- G.4 The contractor shall verify the existence and location of all the utilities, shown hereon or otherwise, and verify existing conditions before beginning construction. It is the responsibility of the contractors to assure themselves that no hazard exists or damage will occur to the utilities. It is required that "miss utility" (1-800-257-7777) and all applicable utility companies be contacted at least one week prior to commencement of work.
- G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
 

<b>Miss Utility</b>	<b>(800) 257-7777</b>
<b>Potomac Edison</b>	<b>(800) 255-3443</b>
<b>Columbia Gas</b>	<b>(888) 460-4332</b>
<b>Maryland Department of the Environment</b>	<b>(301) 665-2850</b>
<b>Washington County Department of Water Quality</b>	<b>(240) 313-2600</b>
<b>Washington County Division of Public Works</b>	<b>(240) 313-2400</b>
<b>Washington County Soil Conservation District</b>	<b>(301)-797-6821 Ext. 3</b>
- G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- G.9 Benchmark as shown. See Sheets C-101.
- G.10 The contractor shall be responsible for notifying the Architect/Engineer, before construction, of any discrepancies in the plans, actual field conditions and/or in the relationship of finished grades to existing prior to beginning work.
- G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- G.15 Erosion & Sediment control measures shall be installed per erosion and sediment control plans, details and specifications.
- G.16 Fills shall be placed in accordance with the geotechnical engineers specifications.
- G.17 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials. Unless otherwise directed by the geotechnical engineer.
- G.18 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- G.19 Stormwater management is being provided by existing bioretention area.
- G.20 Fill brought to this site and/or excavation/sediment exported from this site shall be imported/exported from a site with an approved and up-to-date erosion and sediment control plan and N.P.D.E.S. Permit, where applicable.
- G.21 The site shall comply with the Maryland Accessibility Code and the Americans with Disabilities Act.
- G.22 This project has a projected start date of March 2019 and a completion date of June 2019.
- G.23 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.

**FIRE DEPARTMENT NOTES:**

- 1. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1, UNIFORMED FIRE CODE.
- 2. NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (NFPA 1-10.13.1).
- 3. A FIRE DEPARTMENT ACCESS BOX (KNOX BOX) SHALL BE INSTALLED. THIS BOX WILL BE REQUIRED TO CONTAIN KEYS TO THE BUILDING, GATES, FIRE PROTECTION SYSTEM KEYS AND OTHER AREAS AS REQUESTED BY THE FIRE DEPARTMENT. PLANS SHOULD REFLECT THE LOCATION OF BOX NEAR THE MAIN ENTRANCE. APPLICATION INFORMATION MAY BE OBTAINED FROM THIS OFFICE BY THE GENERAL CONTRACTOR OR ONLINE AT [WWW.KNOXBOX.COM](http://WWW.KNOXBOX.COM).

**SITE DATA**

Tax map	0058-0008-0119
Election district	10
Zoning	HI (Highway Interchange)
<b>Setback:</b>	
Front	40'
Side	10'
Rear	10'
<b>Area Summary:</b>	
Parcel	18.72 Ac±
Existing Impervious	0%
Proposed Impervious	12%
<b>Building area:</b>	
Phase I office	9,000 SF
Phase II office	9,000 SF
Building height	32 FT
Function description	Office/Truck Service/Towing & Repair
Function excise classification	The building excise tax for nonresidential nonretail construction is \$1 per square foot of the gross square footage
Hours of Operation	24 hours a day / 7 days a week
Freight / Delivery	No
<b>Parking Summary:</b>	
△ Area	7,010 S.F.
<b>Parking required</b>	
Service Bays	4
Employees	5
Total Spaces	14 Spaces
<b>Parking proposed</b>	
Regular	12 Spaces
Handicaped	1 Space
Total	13 Spaces
<b>Water &amp; Sewer Usage:</b>	
Water provided	On-Lot Well
Sewer provided	On-Lot Septic
<b>Waste &amp; Recyclables:</b>	
Solid Waste Removal	Trash can & Private hauler
Recycle Removal	Internal Collection & Storage with Private Hauler
<b>Site Lighting:</b>	
Existing	None
Proposed	Building Mounted
<b>Site Signage:</b>	
Existing	None
△ Proposed	None
<b>△ Address assignment:</b>	
Office	19530 Beaver Creek Rd, Hagerstown, MD 21740
Variance	None
Forest Stand Delineation	FS-19-012
Forest Conservation Plan	Address by locking up forest on site
<b>Watershed:</b>	
Name	Antietam Creek
Number	02-14-05-02
FEMA Panel #	24043C0302D & 24043C0306D
Sensitive Area	There are no floodplains, streams & other related buffers, or habitat of threatened or endangered species identified by the U.S. Fish & Wildlife Service per 50 CFR 17 as required to be shown by sections 306, 307 & 314 of the Washington County Subdivision Ordinance & section 4.21 (C&D) of the Washington County Zoning Ordinance. See sheet V-101 for location.

**ABBREVIATION LEGEND**

- AASHTO = AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
- ADS = ADVANCED DRAINAGE SYSTEM
- ASTM = AMERICAN SOCIETY FOR TESTING & MATERIAL
- AWWA = AMERICAN WATER WORKS ASSOCIATION
- BLDG = BUILDING
- BOT = BOTTOM
- CIP = CAST IRON PIPE
- CL = CENTERLINE
- CMP = CORRUGATED METAL PIPE
- CO = SANITARY SEWER CLEAN-OUT
- CONC = CONCRETE
- DA = DRAINAGE AREA
- DIA = DIAMETER
- EGL = EXISTING GRADE LINE
- EX = EXISTING
- FH = FIRE HYDRANT
- GV = GATE VALVE
- HGL = HYDRAULIC GRADE LINE
- HDPE = HIGH DENSITY POLYETHYLENE
- INV = INVERT
- LF = LINEAR FEET
- MAX = MAXIMUM
- MB = MAIL BOX
- MIN = MINIMUM
- MJ = MECHANICAL JOINT
- NO = NUMBER
- N.T.C. = NOT THIS CONTRACT
- N.T.S. = NOT TO SCALE
- O.A.E. = OR APPROVED EQUAL
- O.C. = ON CENTER
- PC = POINT OF CURVE
- PCC = POINT OF COMPOUND CURVE
- PGL = PROPOSED GRADE LINE
- PRC = POINT OF REVERSE CURVE
- PT = POINT OF TANGENT
- PVC = POINT OF VERTICAL CURVE
- PVI = POINT OF VERTICAL INTERSECTION
- PVT = POINT OF VERTICAL TANGENT
- R/W = RIGHT-OF-WAY
- SAN = SANITARY
- SCE = STABILIZED CONSTRUCTION ENTRANCE
- SDR = STANDARD DIMENSION RATIO
- SDMH = STORM DRAIN MANHOLE
- SF = SQUARE FEET
- SSMH = SANITARY SEWER MANHOLE
- STA = STATION
- STND = STANDARD
- SY = SQUARE YARDS
- T.A.N. = TYPE AS NOTED
- TEMP = TEMPORARY
- TG = TOP OF GRATE
- TYP = TYPICAL
- VIF = VERIFY IN FIELD
- WM = WATER VALVE

**LEGEND**

EXISTING FEATURES	LEGEND	PROPOSED FEATURES
	FIRE HYDRANT	
	WATER GATE VALVE	
	WATER METER	
	SINGLE / DOUBLE	
	WATER METER VAULT	
	CAP / PLUG, REDUCER, BEND	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER STUB	
	SANITARY SEWER CLEAN-OUT	
	STORM DRAIN INLET	
	STORM DRAIN MANHOLE	
	STORM DRAIN END SECTION	
	STORM DRAIN HEADWALL	
	UTILITY POLE	
	LIGHTING	
	GAS VALVE	
	CONCRETE BOLLARD	
	HANDICAP PARKING SYMBOL	
	ROAD SIGN	
	SITE SIGN	
	CONCRETE WHEEL STOP	
	PARKING SPACE COUNT	
	SPOT ELEVATION	
	BUILDING / HOUSE	
	CONTROL POINT	
	DETAIL REFERENCE	

**LEGEND**

EXISTING FEATURES	LEGEND	PROPOSED FEATURES
	SUBJECT BOUNDARY	
	ADJOINING BOUNDARY	
	CONTOUR (INDEX)	
	CONTOUR (INTERMEDIATE)	
	TREELINE	
	EDGE OF WATER	
	FLOW LINE	
	CENTERLINE	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL	
	EDGE OF CONCRETE	
	CONCRETE CURB	
	GUARD RAIL	
	FENCE LINE	
	ELECTRIC LINE (UNDERGROUND)	
	ELECTRIC LINE (OVERHEAD)	
	GAS LINE	
	SANITARY SEWER	
	SANITARY SEWER FORCE MAIN	
	STORM DRAIN	
	TELEPHONE LINE	
	WATER LINE	

Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20861. Expiration Date: 03-29-2023

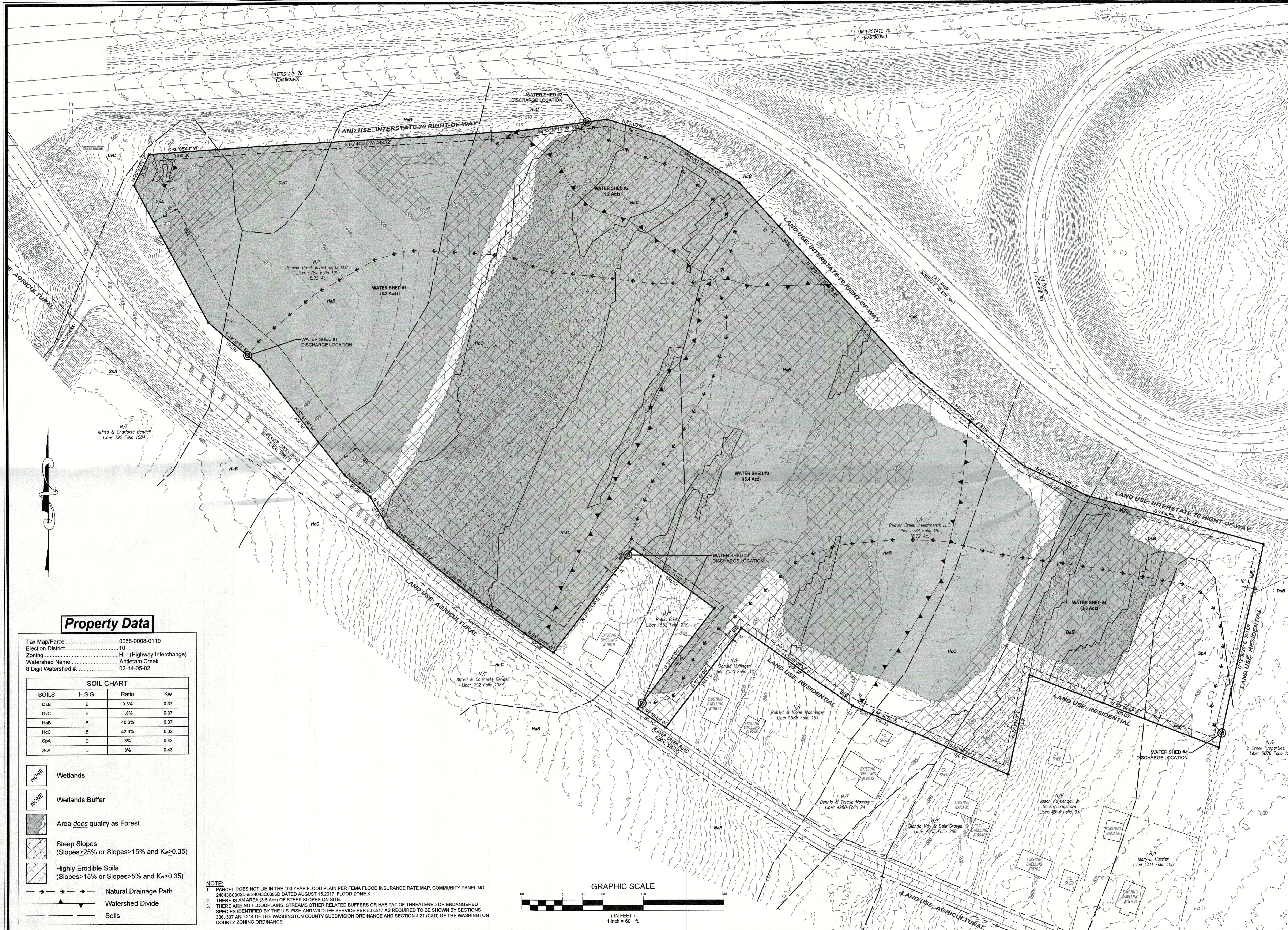
**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 101 NORTH HANOVER STREET, CARLE, PENNSYLVANIA 17033  
 (410) 796-3600 (P) 796-1111

DATE	DESCRIPTION
11/20/18	REVISED PER PLANNING AND ADDRESS COMMENTS
1/12/2019	REVISED PER WCCCD COMMENTS

**VINNY'S TOWNING & RECOVERY**  
 Situated at the Southeast corner of the intersection of Beaver Creek Road and Interstate 70  
**WASHINGTON COUNTY, MARYLAND**  
 CLIENT: Beaver Creek Investments LLC  
 801 Highland St, Frederick, MD 21701  
 Phone: 301.683.7777

PROJECT NO:	4373.VR1
CAD DWG FILE:	
DWN BY:	DATE
JG	06-2018
CHK BY:	DATE
TAX MAP:	ELECTION DIST.
58	10
SCALE:	N/A

SHEET TITLE  
**GENERAL NOTES**  
 C-002  
 SHEET 02 OF 10  
 SP-18-037



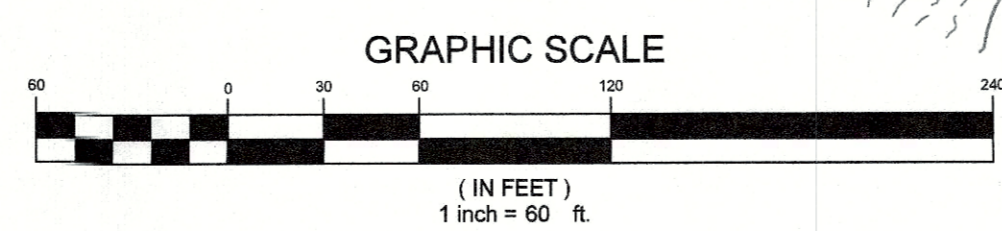
**Property Data**

Tax Map/Parcel.....0058-0008-0119  
 Election District.....10  
 Zoning.....HI - (Highway Interchange)  
 Watershed Name.....Antietam Creek  
 8 Digit Watershed #.....02-14-05-02

SOILS	H.S.G.	Ratio	Kw
DsB	B	9.3%	0.37
DvC	B	1.8%	0.37
HaB	B	40.3%	0.37
HcC	B	42.6%	0.32
SpA	D	3%	0.43
SsA	D	3%	0.43

- Wetlands
- Wetlands Buffer
- Area does qualify as Forest
- Steep Slopes  
(Slopes>25% or Slopes>15% and Kw>0.35)
- Highly Erodible Soils  
(Slopes>15% or Slopes>5% and Kw>0.35)
- Natural Drainage Path
- Watershed Divide
- Soils

**NOTE:**  
 1. PARCEL DOES NOT LIE IN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 24043C0302D & 24043C0306D DATED AUGUST 15, 2017 FLOOD ZONE X.  
 2. THERE IS AN AREA (3.6 AC) OF STEEP SLOPES ON SITE.  
 3. THERE ARE NO FLOODPLAINS, STREAMS OTHER RELATED BUFFERS OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CH17 AS REQUIRED TO BE SHOWN BY SECTIONS 306, 307 AND 314 OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE AND SECTION 4.21 (C&D) OF THE WASHINGTON COUNTY ZONING ORDINANCE.



Professional Certification  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

**FREDERICK S EIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 801 HIGHLAND ST. FREDERICK, MD 21701  
 301.796.8855  
 www.fredrickseibert.com

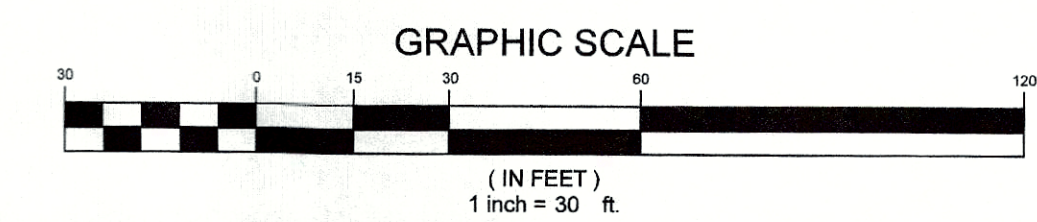
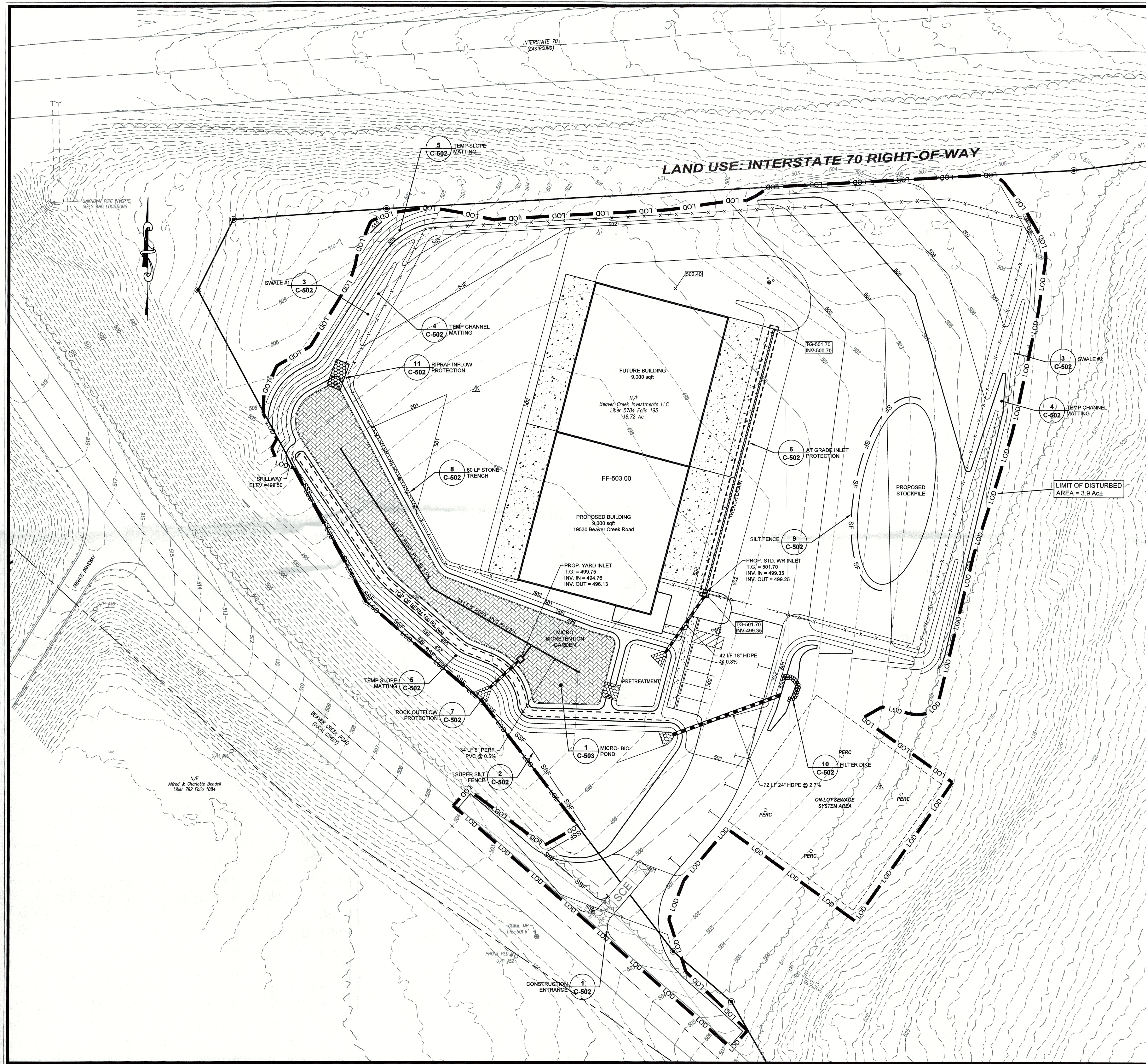
DATE	DESCRIPTION

**VINNY'S TOWING & RECOVERY**  
 Situated at the Southeast corner of the intersection of Beaver Creek Road and Interstate 70  
 WASHINGTON COUNTY, MARYLAND  
 CLIENT: Beaver Creek Investments LLC  
 801 Highland St. Frederick, MD 21701  
 Phone: 301.853.7777

PROJECT NO:	4373.VR1
CAD DWG FILE:	
DWN BY:	JG
DATE:	06-2018
CHK BY:	JAN
DATE:	07-27-18
TAX MAP:	58
ELECTION DIST.:	10
SCALE:	1" = 60'

**EXISTING CONDITIONS**  
 V-101  
 SHEET 03 OF 10  
 SP-18-037





Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20845. Expiration Date: 3/25/2018

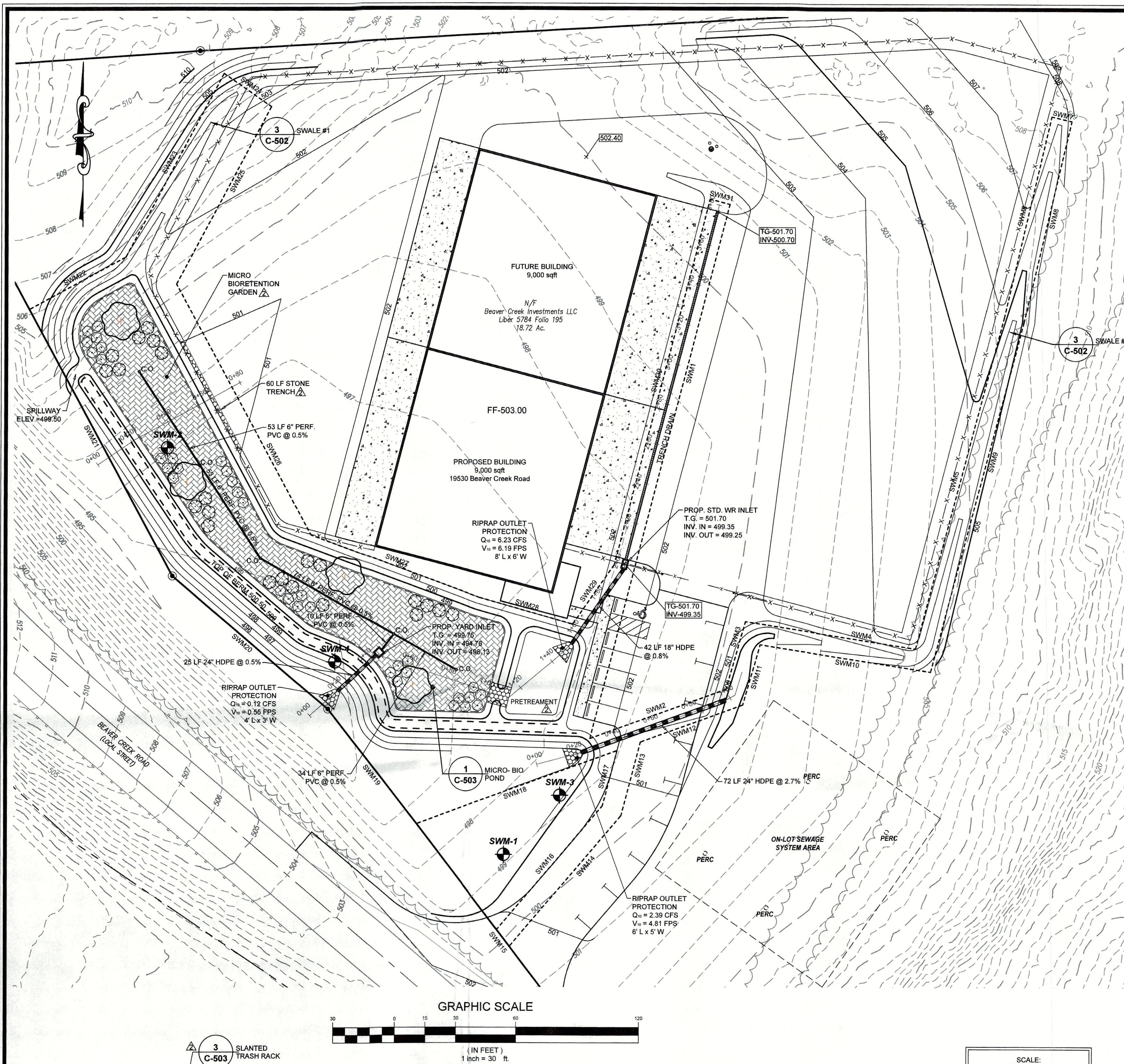
**F FREDERICK  
S SEIBERT &  
A ASSOCIATES, INC.**  
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CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
128 SOUTH POTOMAC STREET HAGERSTOWN, MARYLAND 21740  
201 WEST BALTIMORE STREET GREENBELT, MARYLAND 21740  
1000 WEST BROADWAY BALTIMORE, MARYLAND 21201  
(410) 791-3600 FAX (410) 791-3607 (410) 791-9927

DATE	DESCRIPTION
11/29/2018	REVISED PER WCCO COMMENTS

**VINNY'S TOWNING & RECOVERY**  
Sited at the Southeast corner of the intersection of Beaver Creek Road and Interstate 70  
in  
**WASHINGTON COUNTY, MARYLAND**  
Beaver Creek Investments LLC  
801 Highland St. Frederick, MD 21701  
Phone: 301.683.7777

PROJECT NO:	4373.VR1
CAD DWG FILE:	
DWN BY:	JG
DATE:	06-2018
CHK BY:	
DATE:	
TAX MAP:	58
ELECTION DIST.:	10
SCALE:	1" = 30'
SHEET TITLE:	

**GRADING &  
SEC PLAN**  
C-102  
SHEET 05 OF 10  
SP-18-037



BMP PRACTICE	SIZE	SEEDING RATE	REMARKS
BIO-RETENTION #1	0 SF	20 POUNDS / ACRE OR 1/2 POUND / 1,000 SF	SEE NOTES FOR SWM SEED PREPARATION AND ESTABLISHMENT.

SEED MIX DETAILS	
<b>ERNX-127 RETENTION BASIN WILDLIFE MIX</b>	
30%	Fox Sedge, PA Ecotype ( <i>Carex vulpocarpa</i> , PA Ecotype)
22%	Deertongue, 'Tiger' ( <i>Parianum clandestinum</i> )
20%	Virginia Wildrye, PA Ecotype ( <i>Elymus virginicus</i> )
10.3%	Lurid (Shallow) Sedge, PA Ecotype ( <i>Carex lurida</i> )
4%	Autumn Bittersweet, PA Ecotype ( <i>Agralis perennans</i> )
4%	Blue Vervain, PA Ecotype ( <i>Verbena hastata</i> )
3%	Soft Rush ( <i>Juncus effusus</i> )
3%	Green Bunchgrass, PA Ecotype ( <i>Scirpus atrovirens</i> )
2%	Hop Sedge, PA Ecotype ( <i>Carex lupulina</i> )
1%	Woodgrass, PA Ecotype ( <i>Scirpus cyperinus</i> )
0.3%	First Topset White Aster, PA Ecotype ( <i>Aster limbalatus</i> )
0.3%	Square Stemmed Monkeyflower, PA Ecotype ( <i>Mimulus ringens</i> )
0.1%	Swamp Milkweed, PA Ecotype ( <i>Asclepias incarnata</i> )

**STORMWATER MANAGEMENT SEED MIX NOTES**

**SITE PREPARATION**  
Invasive species, particularly those that will adapt to wet conditions, should be removed or sprayed before they become incorporated into the site. Spot spray or hand pull problem weeds. Perennial weeds not addressed before establishment will be difficult to remove later.

**SEEDING AND PLANTING METHODS**  
Seeding and planting should begin immediately upon completion of the structure while the soil is still friable and before invasive weeds emerge. Plan seeding and planting before the basin is flooded or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. The use of native species can provide temporary vegetation to protect the soil in SWM facilities until permanent vegetation can become established. Straw mulch, or straw coconut mats are frequently used to control erosion and protect emerging seedlings from extreme temperatures and drying out. Mulch should be sparse in order to allow sunlight to reach the ground. Irrigating seeded areas is beneficial until seedlings become established.

**FIRST GROWING SEASON MAINTENANCE**  
Whenever canopy (overall vegetation) reaches a height of 18"-24", use a string trimmer to trim the meadow to a height of 8". This will reduce competition by fast-growing weeds for sunlight, water and nutrients needed by slower growing, perennial natives. Mowing should not be done with a lawn mower as the mower height will be too low and native seedlings will be killed. Mowing should cease by mid-September.

**SECOND AND SUBSEQUENT GROWING SEASON MAINTENANCE**  
Prior to new spring growth reaching a height of 2" trim any material standing from the previous year close to the ground (approximately 2"). This will allow the soil to warm more quickly which will stimulate emergence and growth of native seedlings.

**SPECIAL CIRCUMSTANCES SECOND GROWING SEASON**  
If you notice a heavy infestation of ragweed or foxtail in the second growing season, trim the meadow to a height of 8". Trimming should cease after mid-September.

- GENERAL LANDSCAPE NOTES:**
- Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
  - Landscape Contractor shall install all plant material in a timely fashion.
  - Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
  - NO Substitutions of plant material without written permission of ISA. Planting plans have been prepared with plant sizes, types, and locations as important design elements.
  - Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
  - All plants shall be watered thoroughly during installation and prior to final acceptance.
  - All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
  - All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
  - Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
  - Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
  - All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be a 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner. The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
  - Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
  - Landscape is recommended to be installed during the two growing seasons: Spring: April 15-June 15, Fall: September 1-November 1.

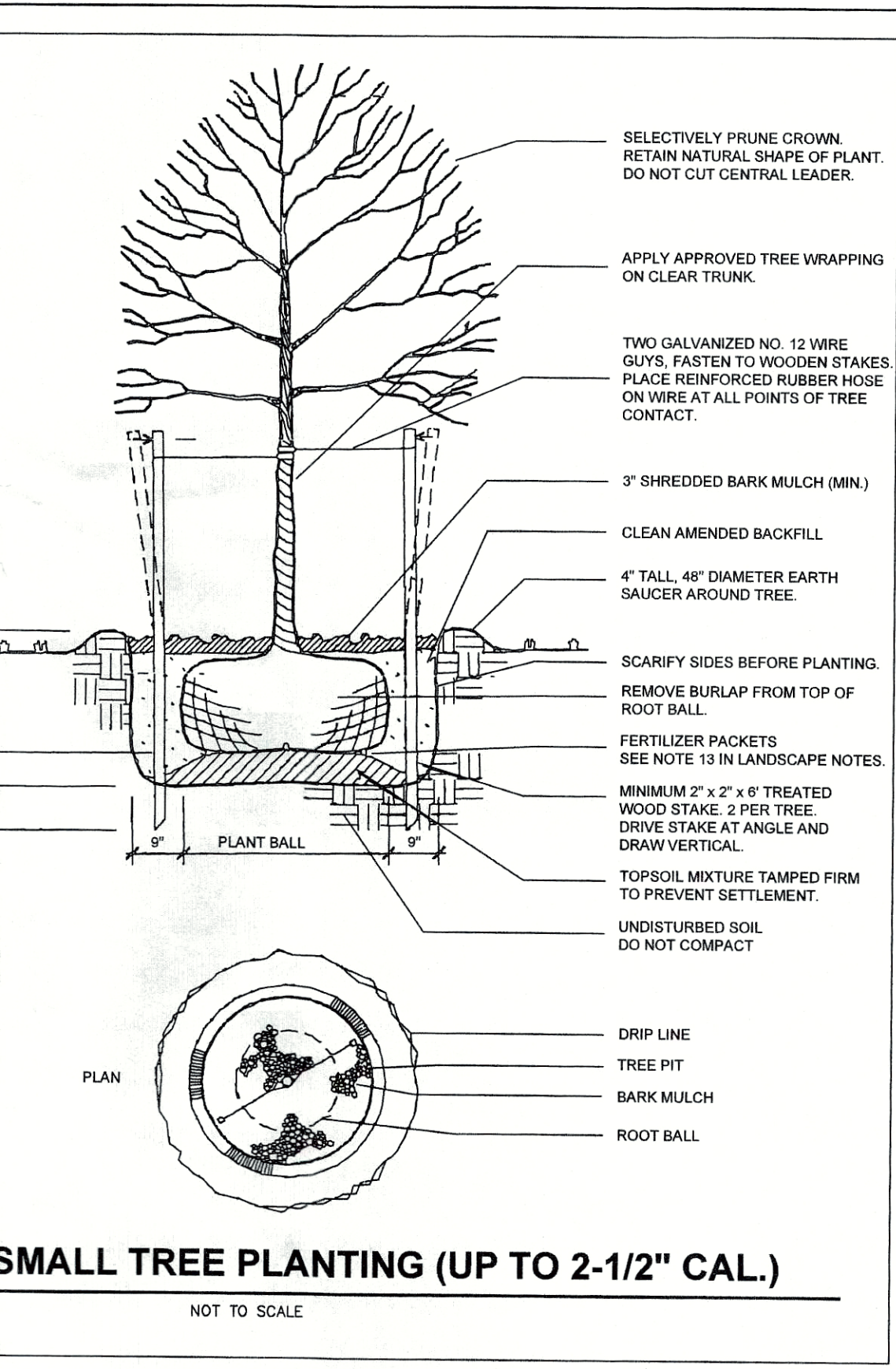
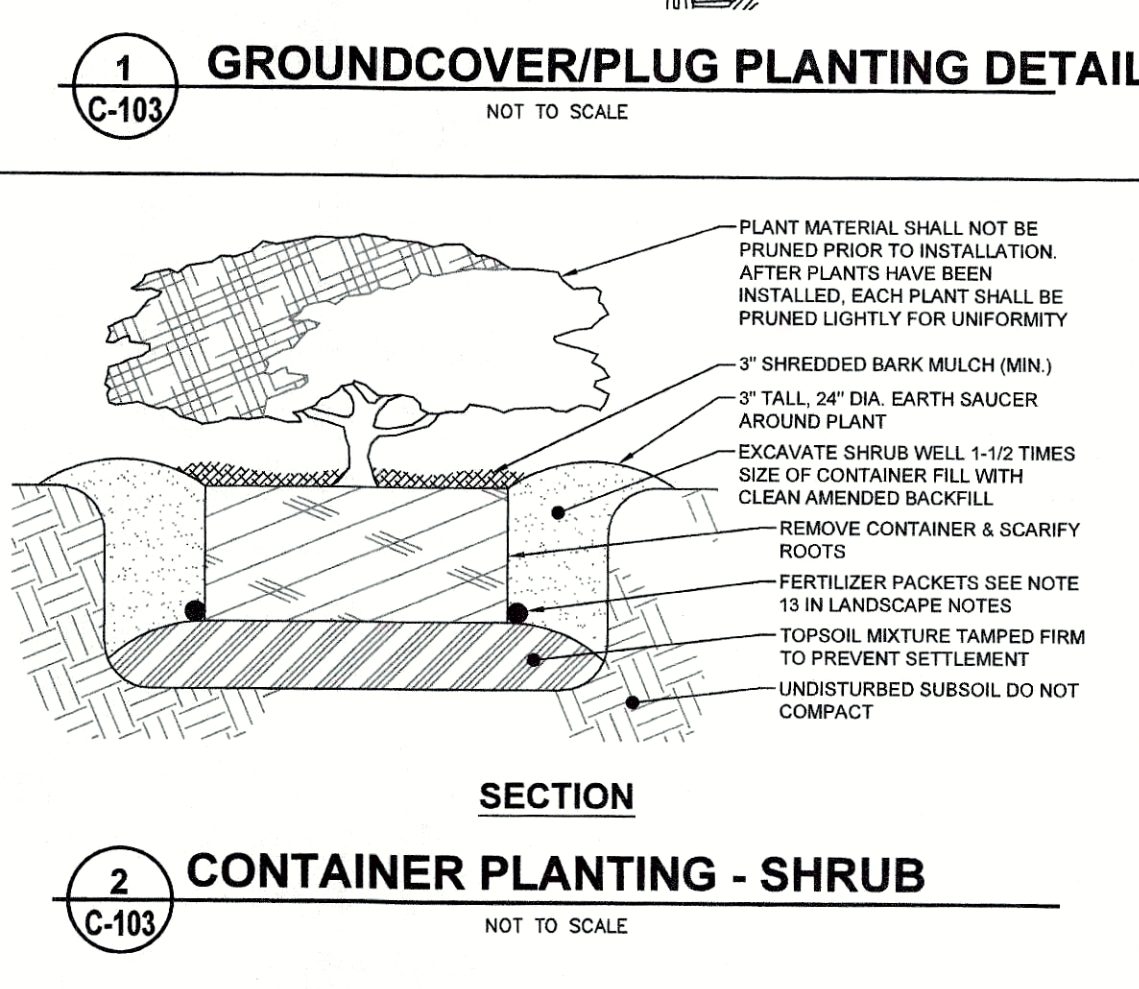
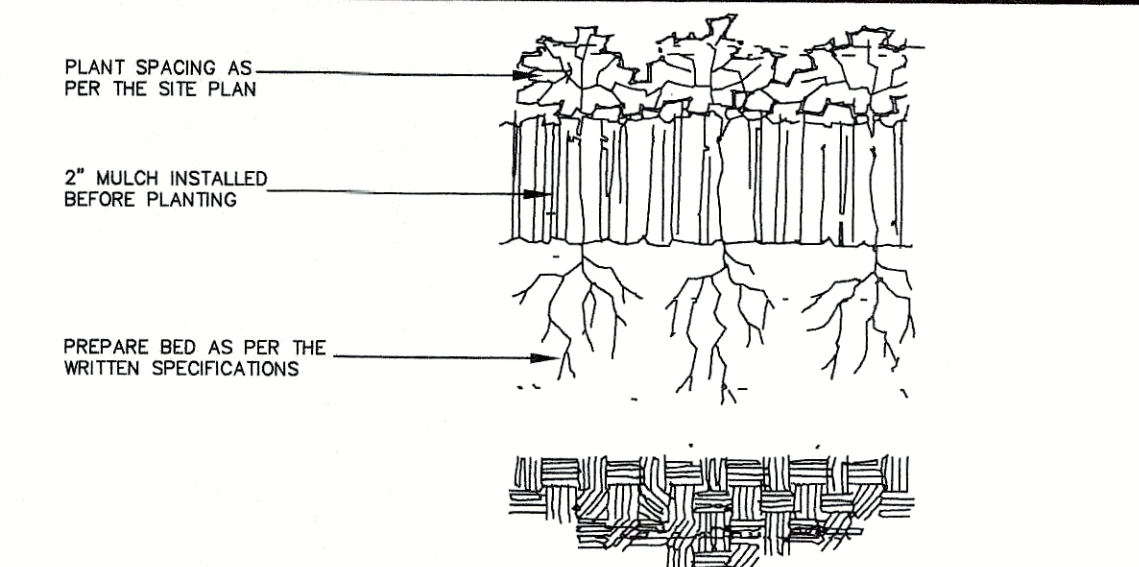
**MAINTENANCE:**

- Owner to remove silt/debris if the accumulation of sediment exceeds one inch over the bio-retention area.
- All trash and debris should be removed from the top of the bio-retention area as necessary.
- Areas devoid of mulch shall be re-mulched on an annual basis.

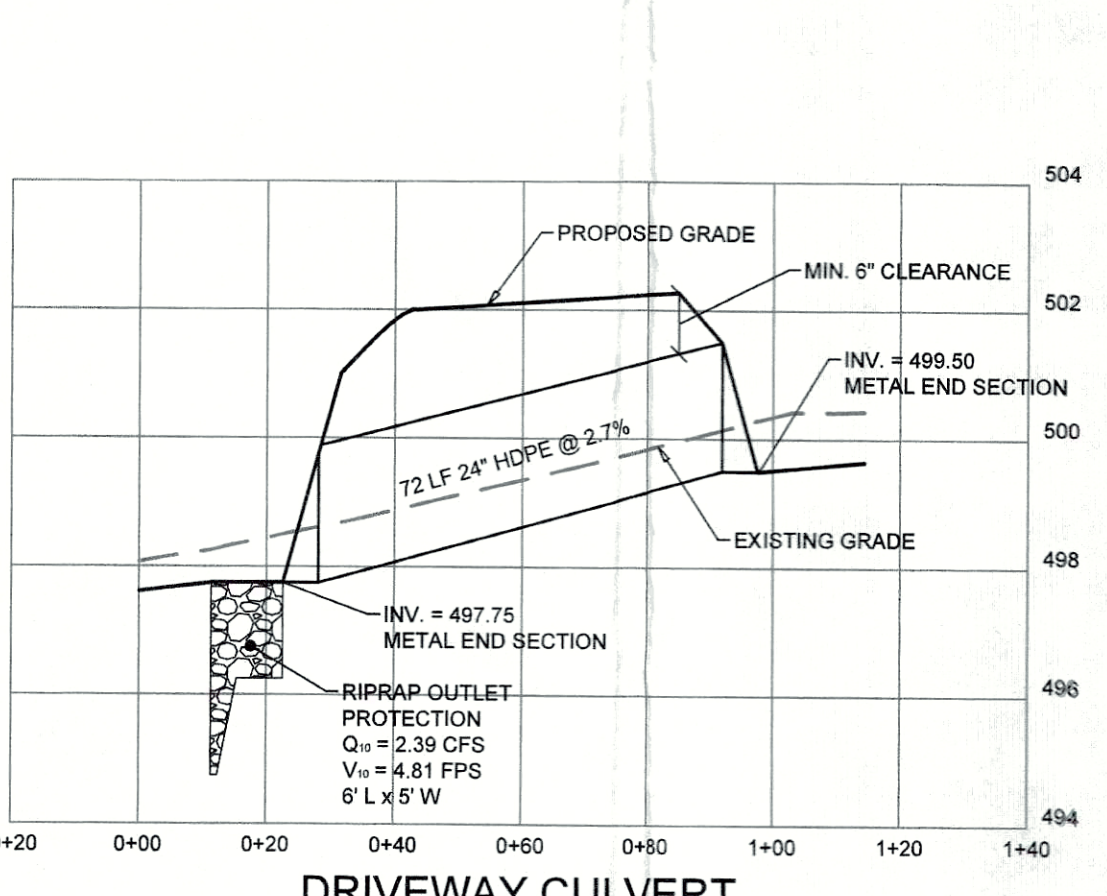
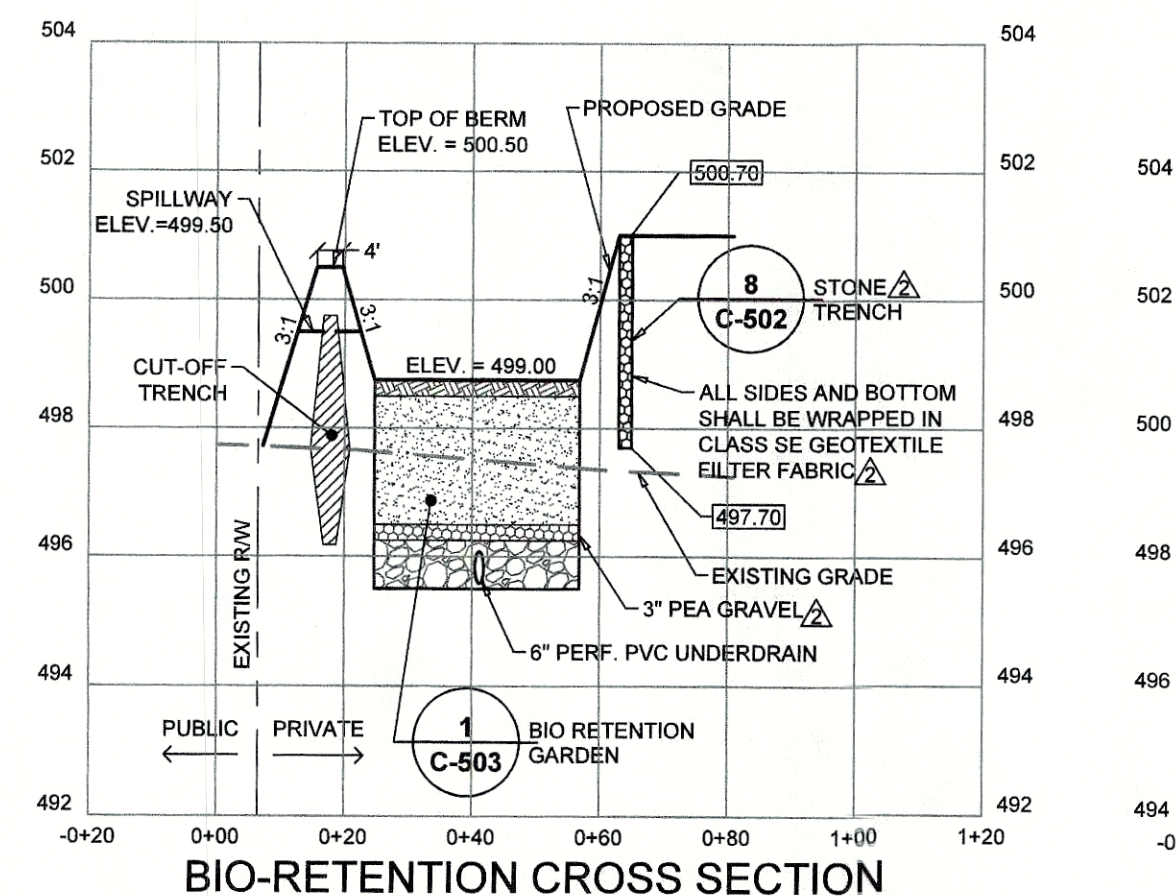
**BIO-RETENTION LANDSCAPE TABLE**

SHRUB SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	CONT	
	34	Inkberry / Ilex glabra 'Shamrock'	3 GAL	
	22	Virginia Sweetpire / Itea virginica 'Virginia'	5 GAL	
TREE SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	CAL.
	4	River Birch / Betula nigra	B&B	2.5"

LINE	BEARING	DISTANCE
SWM1	S 14°32'41" W	268.57'
SWM2	N 69°57'12" E	70.70'
SWM3	N 15°51'04" E	34.17'
SWM4	S 81°06'10" E	84.22'
SWM5	N 14°50'34" E	166.84'
SWM6	N 13°10'27" E	100.21'
SWM7	S 75°40'33" E	10.00'
SWM8	S 13°10'27" W	100.36'
SWM9	S 14°50'34" W	176.00'
SWM10	N 81°06'10" W	84.40'
SWM11	S 15°57'04" W	30.42'
SWM12	S 69°57'12" W	53.21'
SWM13	S 14°35'42" W	37.16'
SWM14	S 40°33'47" W	83.56'
SWM15	N 37°41'58" W	10.21'
SWM16	N 40°33'47" E	79.18'
SWM17	N 14°35'42" E	27.84'
SWM18	S 69°57'12" W	104.56'
SWM19	N 37°41'58" W	70.94'
SWM20	N 49°33'33" W	100.00'
SWM21	N 28°27'11" W	147.18'
SWM22	N 61°32'49" E	53.58'
SWM23	N 28°06'13" E	101.18'
SWM24	S 55°10'01" E	28.20'
SWM25	S 28°07'30" W	97.88'
SWM26	S 28°27'11" E	138.68'
SWM27	S 69°43'16" E	87.39'
SWM28	S 74°10'23" E	47.97'
SWM29	N 04°58'27" E	35.35'
SWM30	N 14°32'41" E	183.62'
SWM31	S 75°24'18" E	10.00'

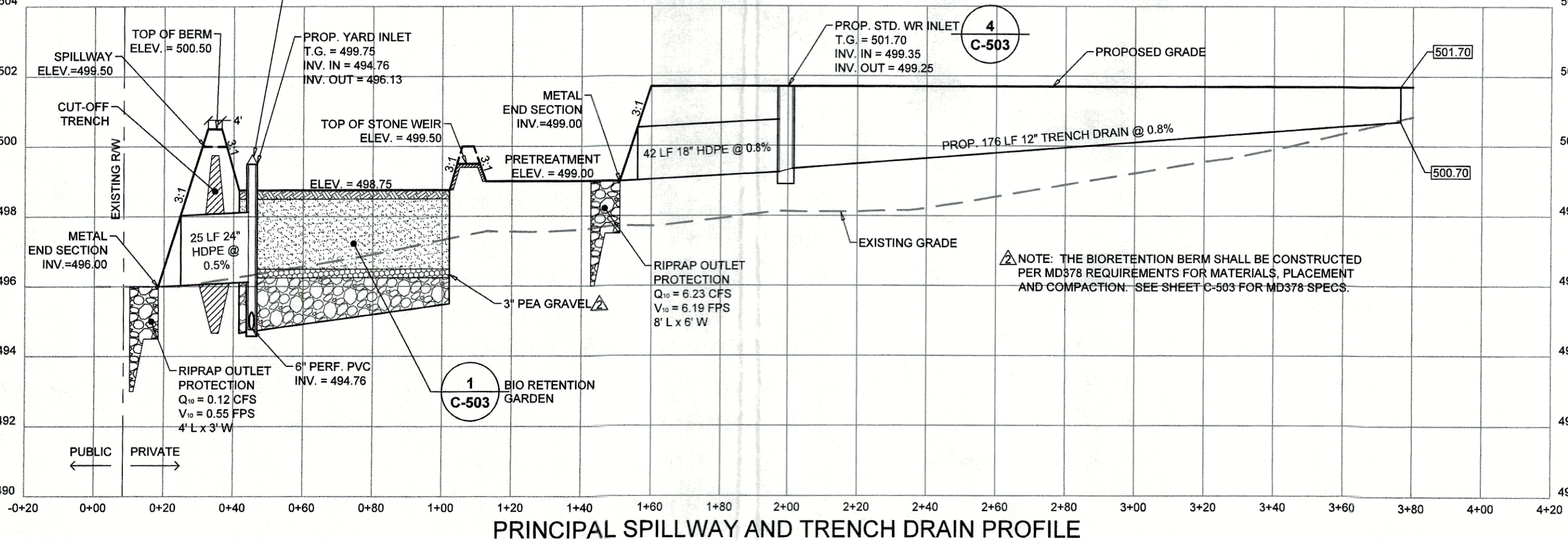


**SCALE:**  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 3'



**BIO-RETENTION CROSS SECTION**

**DRIVEWAY CULVERT**



**PRINCIPAL SPILLWAY AND TRENCH DRAIN PROFILE**

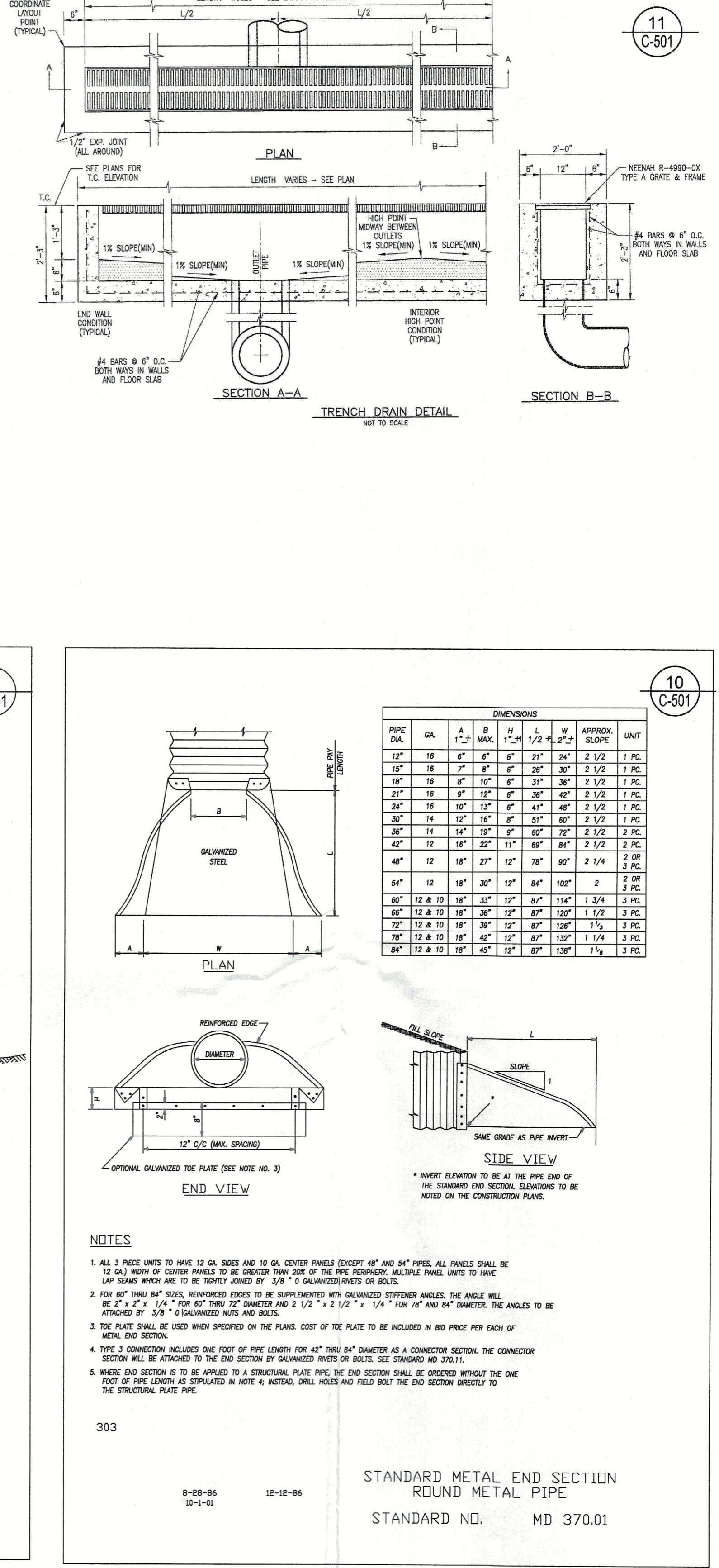
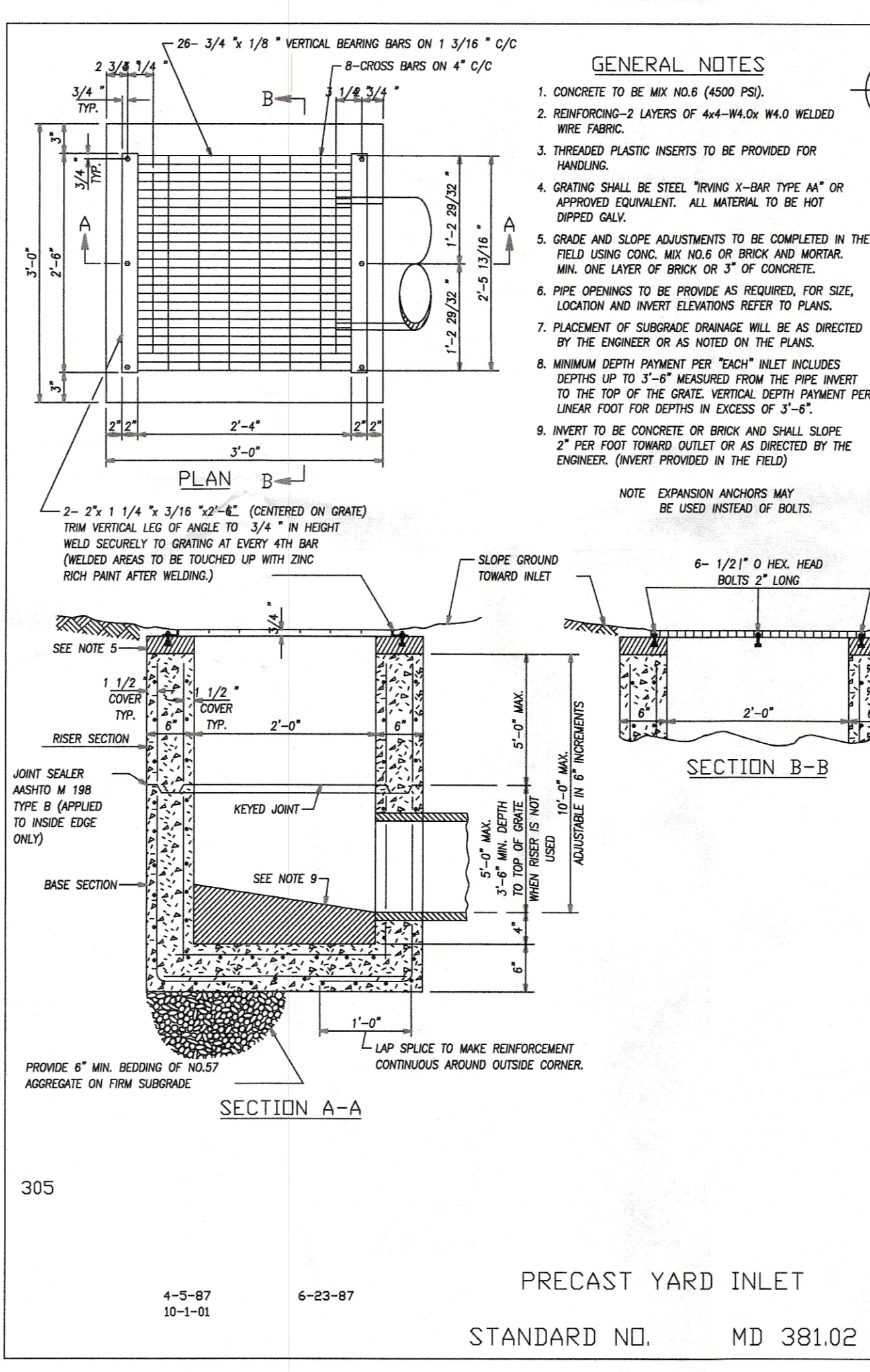
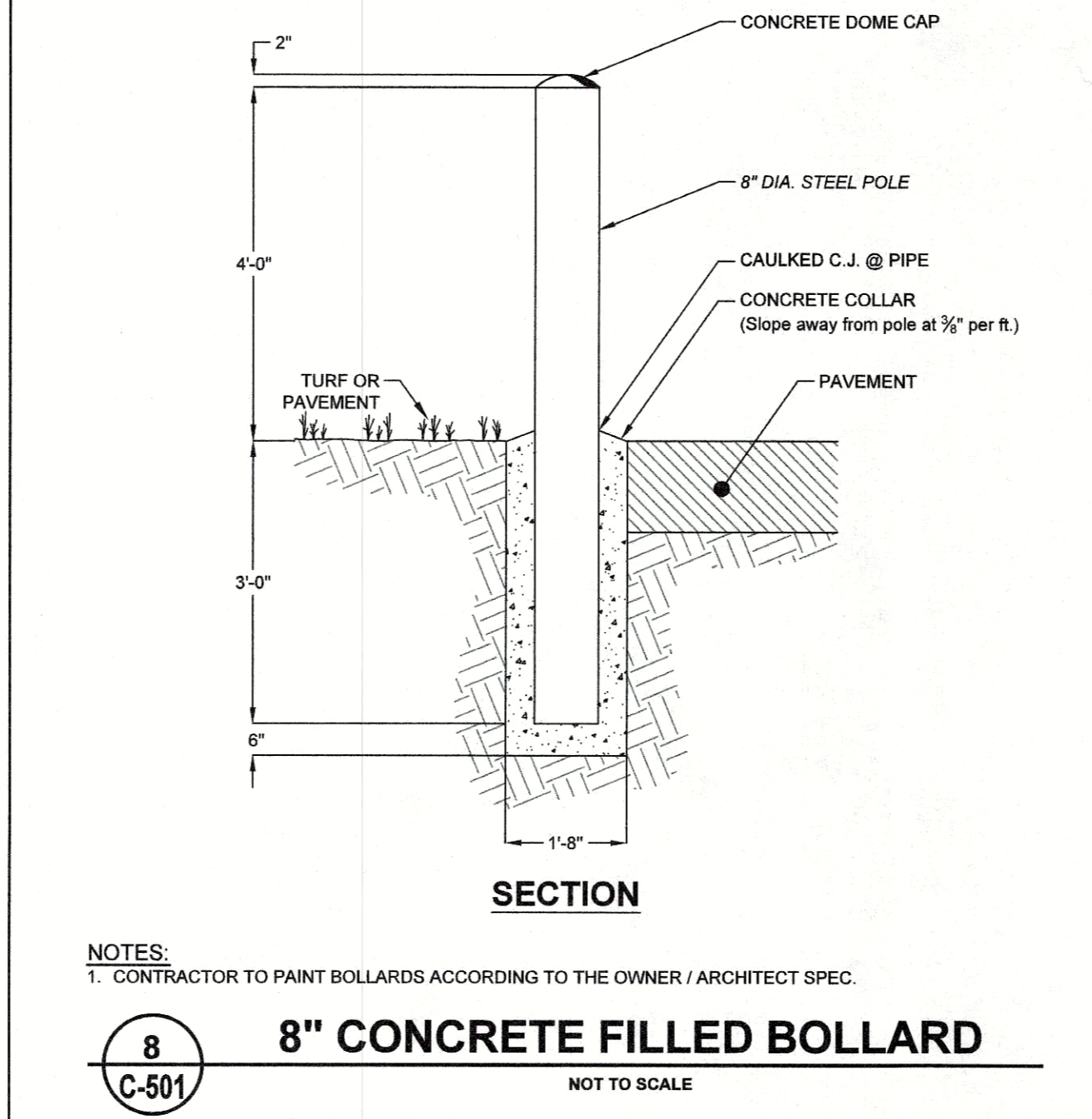
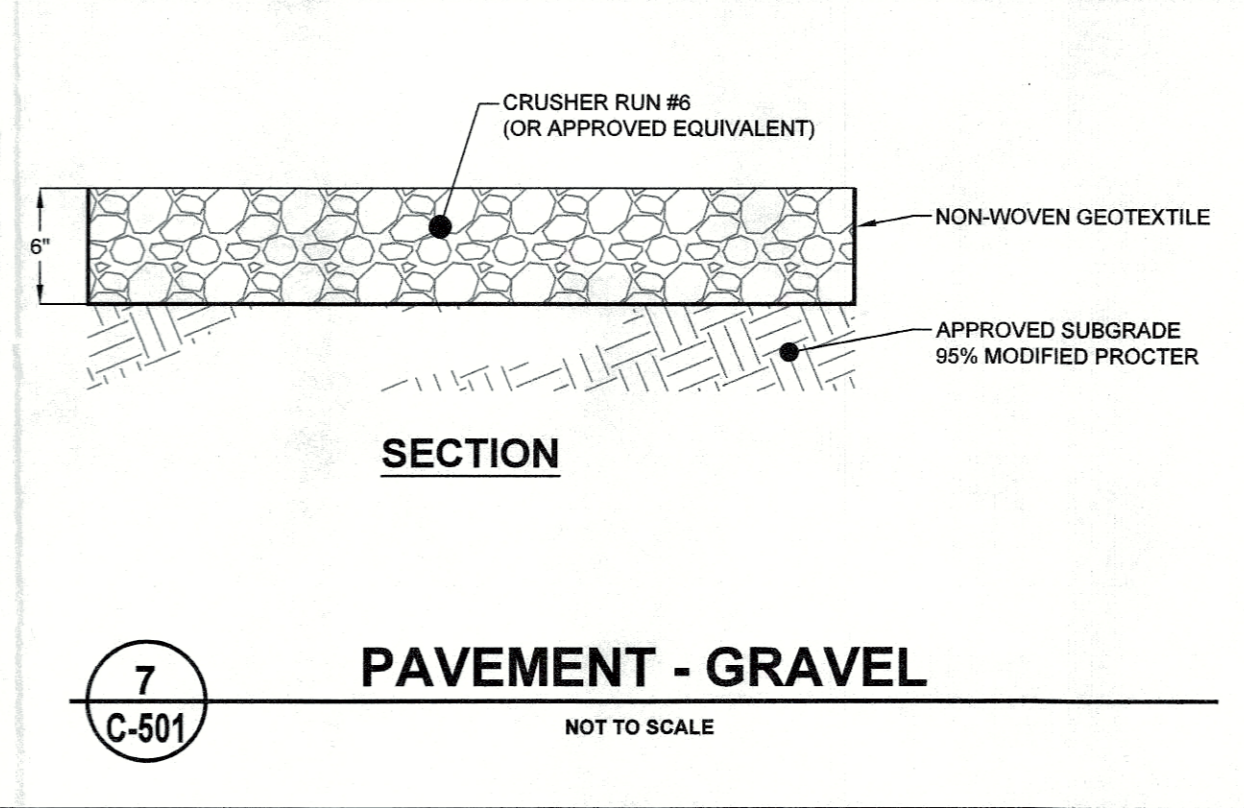
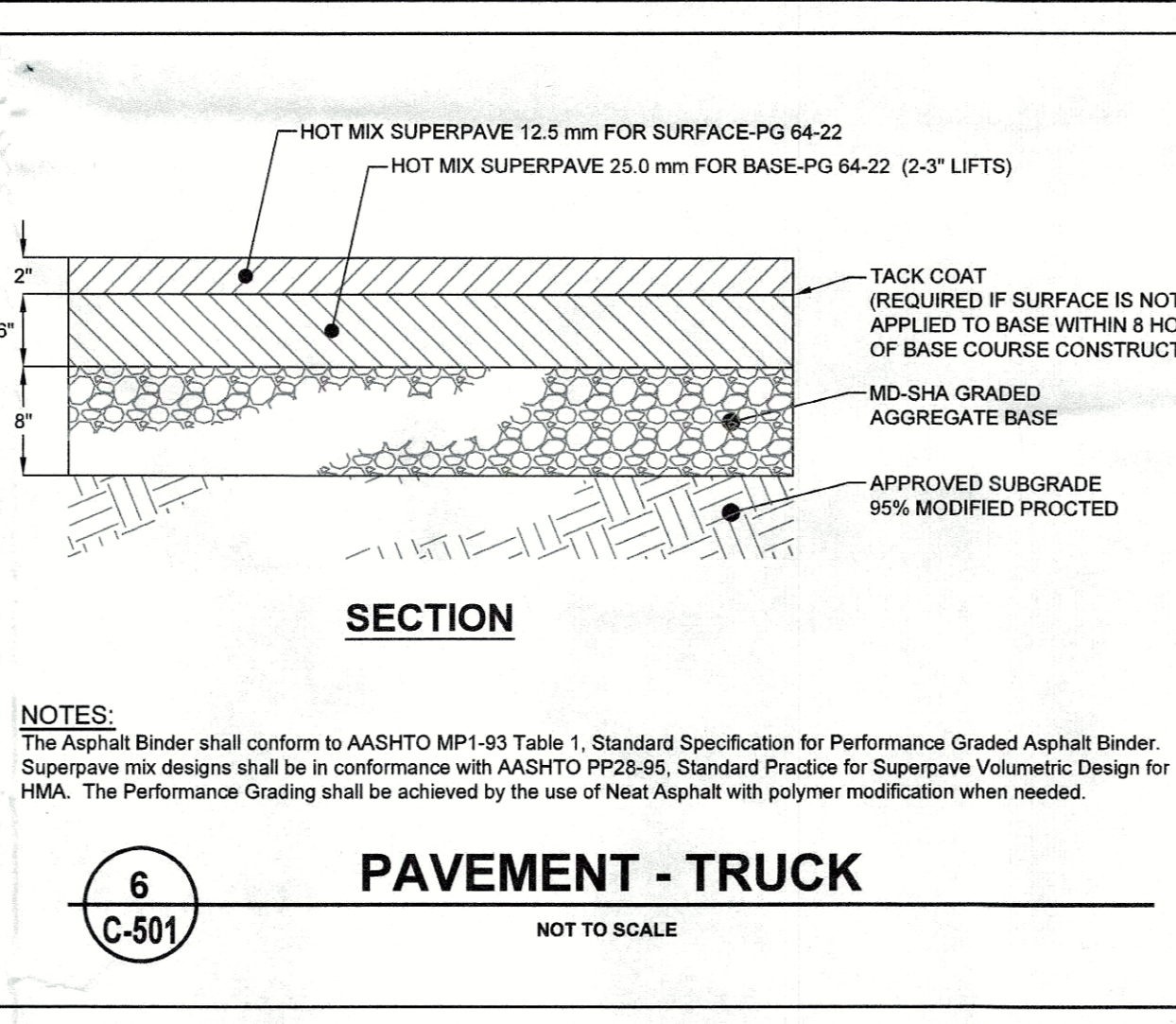
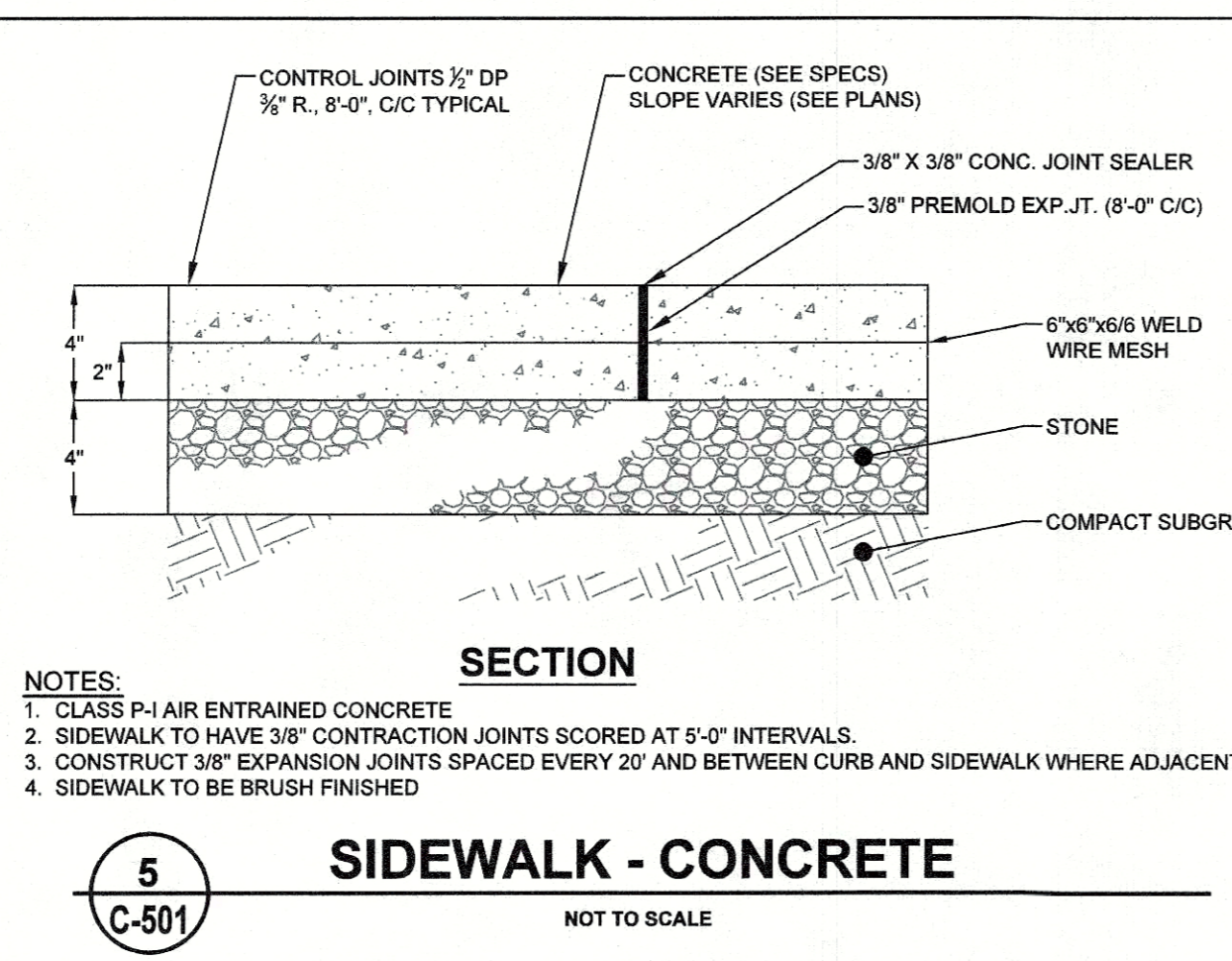
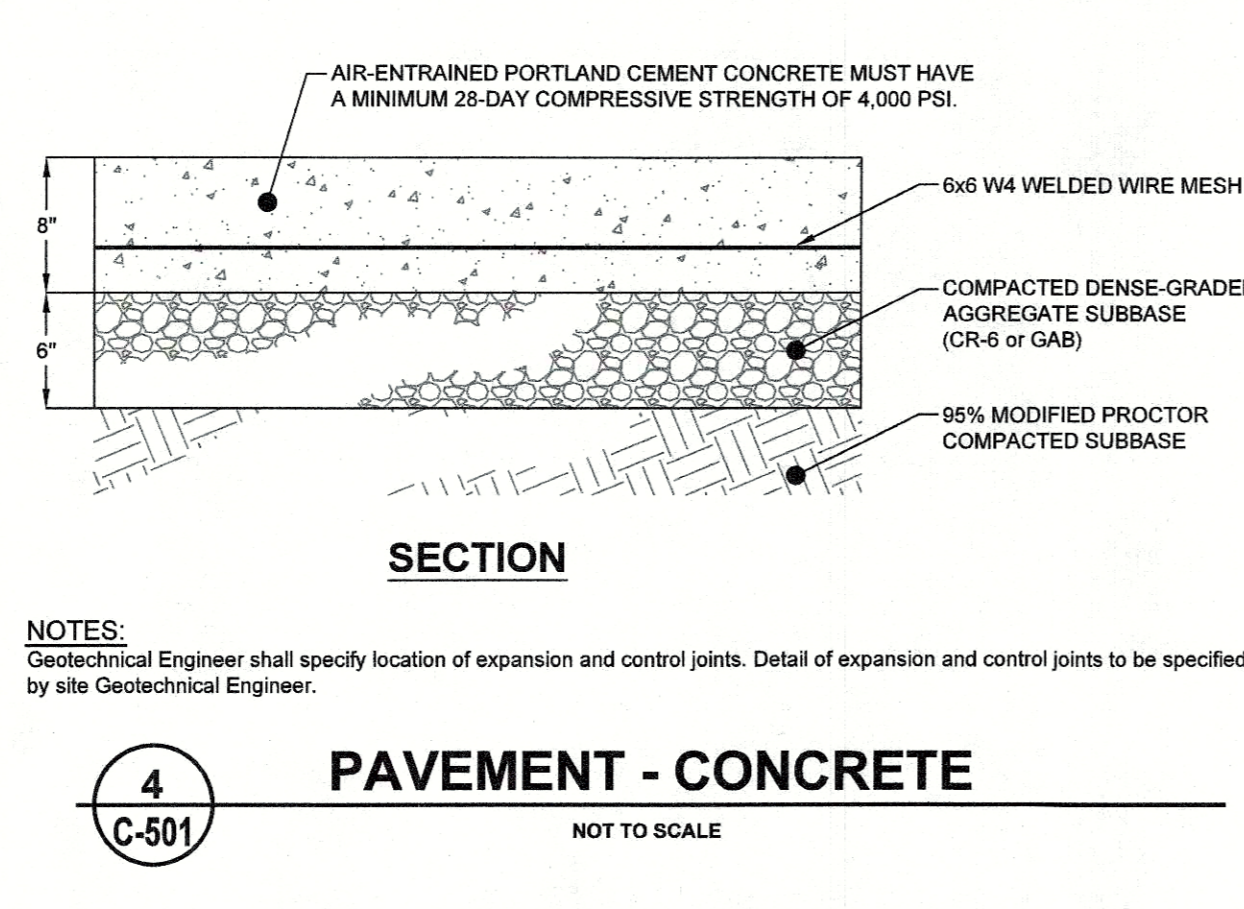
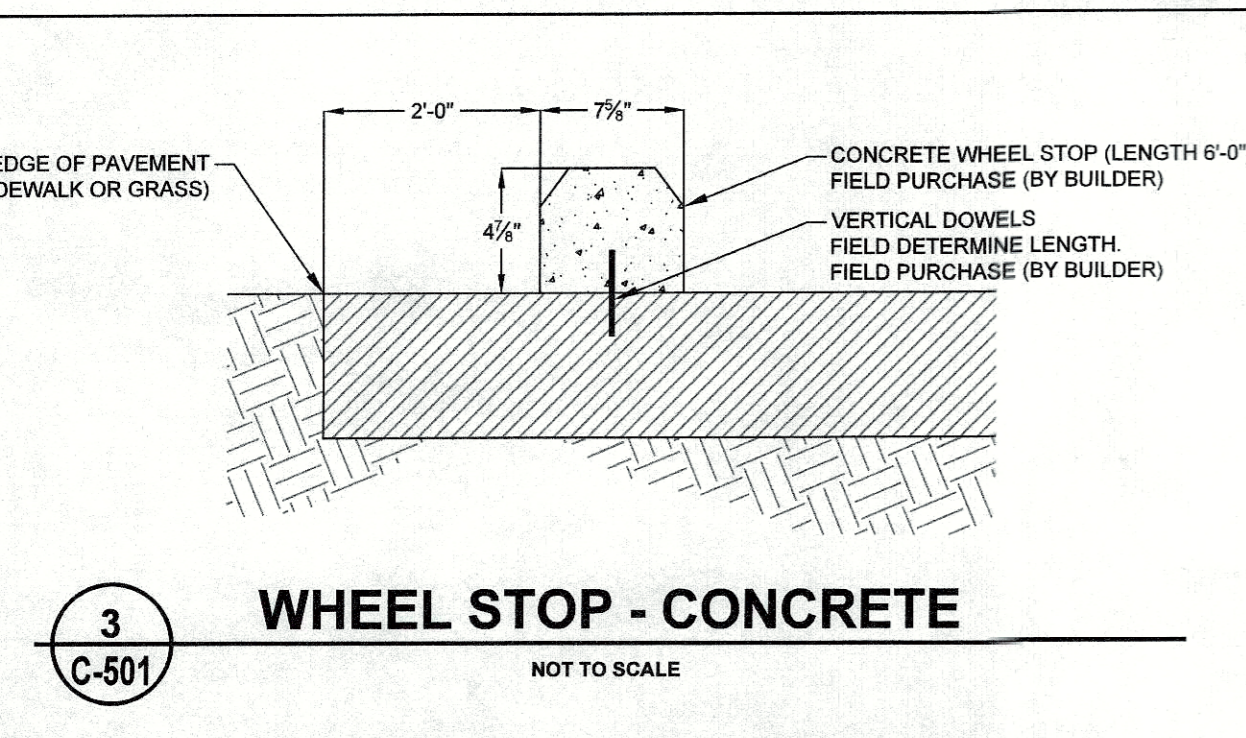
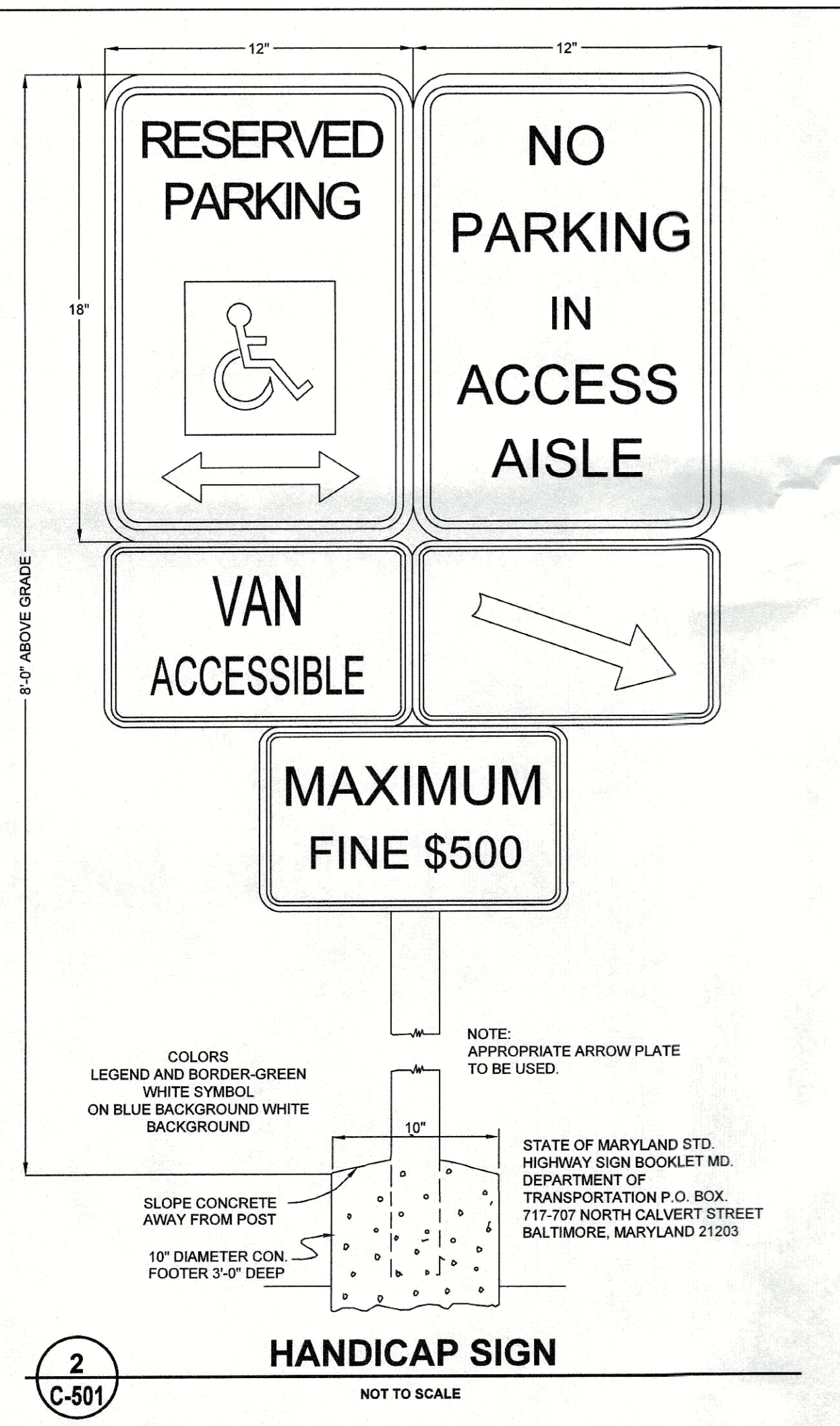
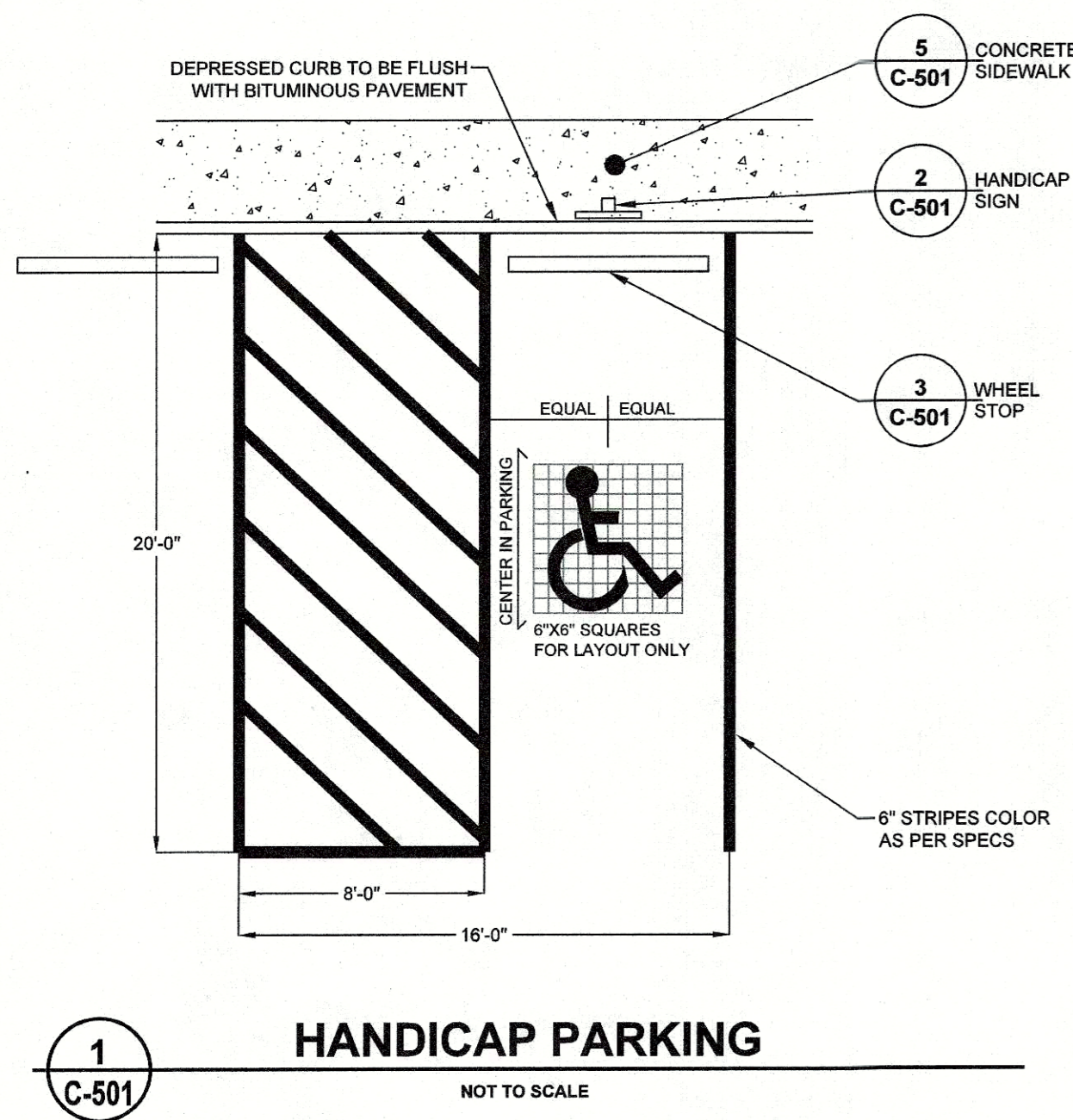
Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20245. Expiration Date: 8-23-2025

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CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
1000 PHOENIX ROAD, WEST CHESTER, OHIO 45386  
301.645.4321  
www.fsa-inc.com

DATE	DESCRIPTION	REVISIONS PER ENGINEERING COMMENTS
11/02/2018		

**VINNY'S TOWNING & RECOVERY**  
Sited at the Southeast corner of the intersection of Beaver Creek Road and Interstate 70  
WASHINGTON COUNTY, MARYLAND  
Beaver Creek Investments, LLC  
CLIENT  
801 Highland St., Frederick, MD 21701  
Phone: 301.683.7777

PROJECT NO:	4373.VR1
CAD DWG FILE:	
DWN BY:	JG
DATE:	06-2018
CHK BY:	
DATE:	
TAX MAP NO:	10
ELECTION DIST.:	
SCALE:	1" = 30'
SHEET TITLE:	<b>SWM PLAN</b>
	C-103
	06 OF 10
	SP-18-037



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 30845. Expiration Date 8-23-2019.

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128 SOUTH POTOMAC STREET, GREENBELT, MARYLAND 20740  
10 WEST BALTIMORE STREET, GREENBELT, PENNSYLVANIA 17228  
101 NORTH HANCOCK STREET, CARLSVILLE, PENNSYLVANIA 17013  
9876 543210 070 3644611 070 897 9007 070 264 070

**VINNY'S TOWNING & RECOVERY**  
Situated at the Southeast corner of the intersection of Beaver Creek Road and Interstate 70  
WASHINGTON COUNTY, MARYLAND  
CLIENT:  
Beaver Creek Townships, LLC  
801 Highland St., Frederick, MD 21701  
Phone: 301.683.7777

PROJECT NO.	4373.VR1
CAD DWG FILE:	
DWN BY	DATE
JG	08-2018
CHK BY	DATE
TAX MAP	ELECTION DIST.
58	10
SCALE	AS SHOWN
SHEET TITLE	SITE DETAILS
C-501	
SHEET 7 OF 10	
SP-18-037	

**SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES**

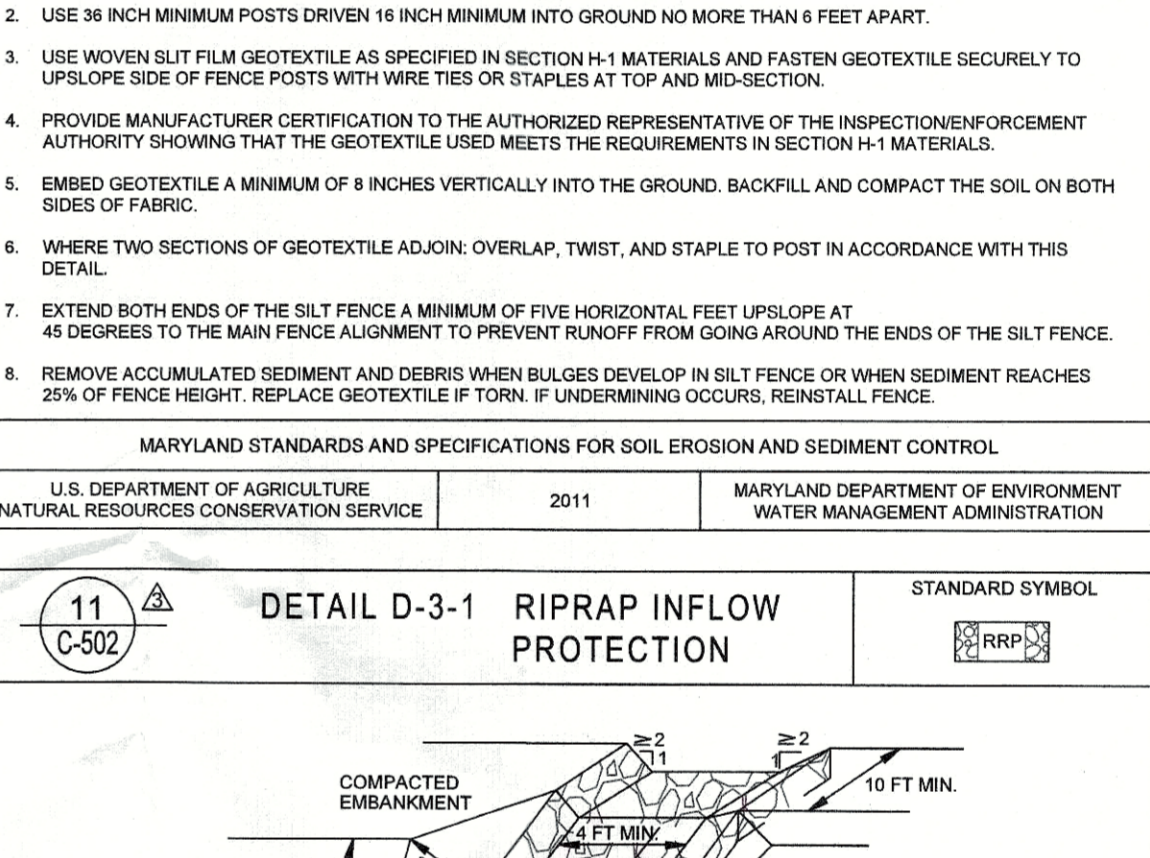
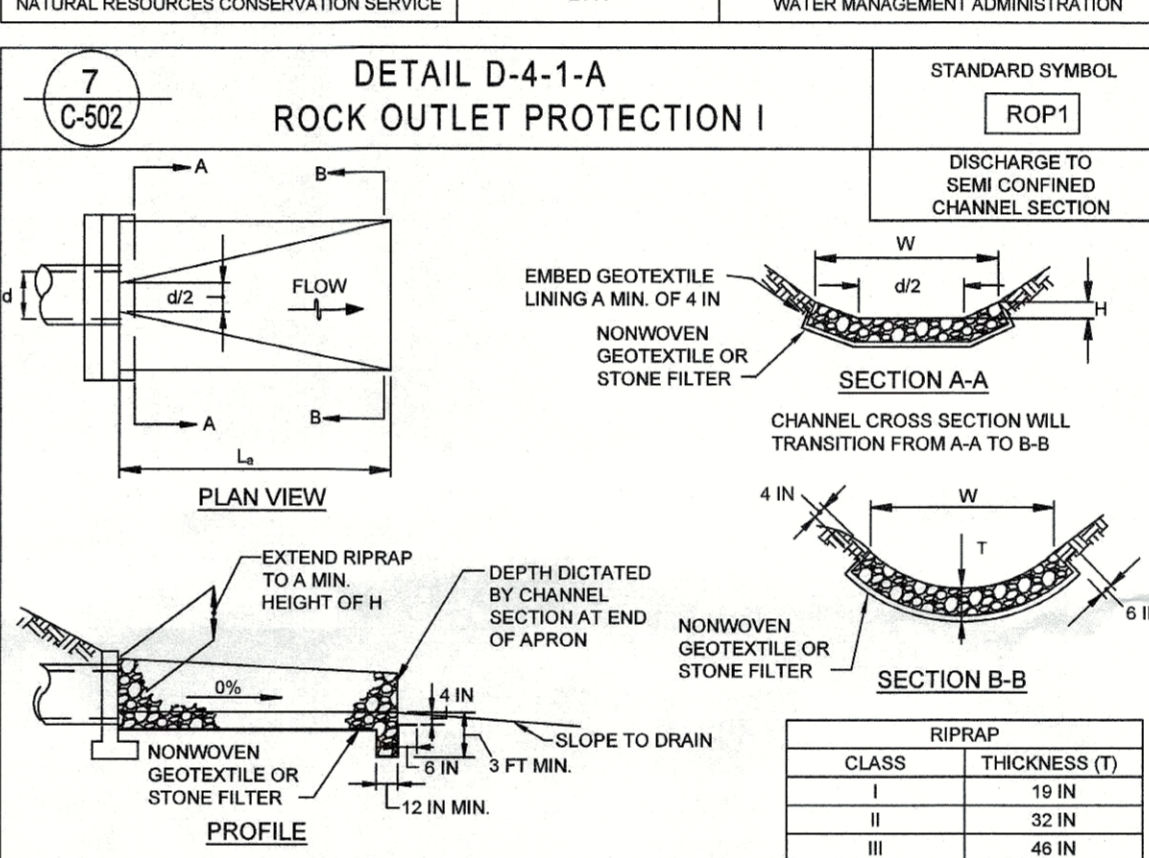
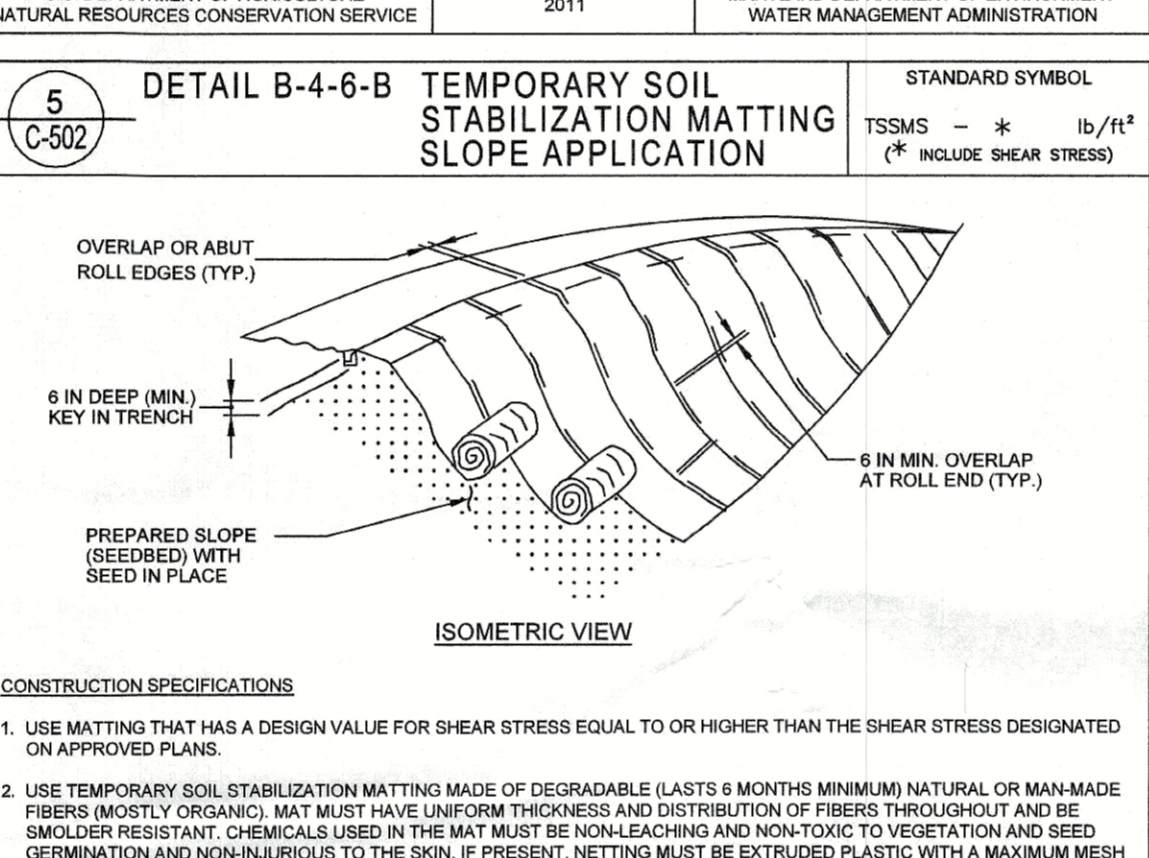
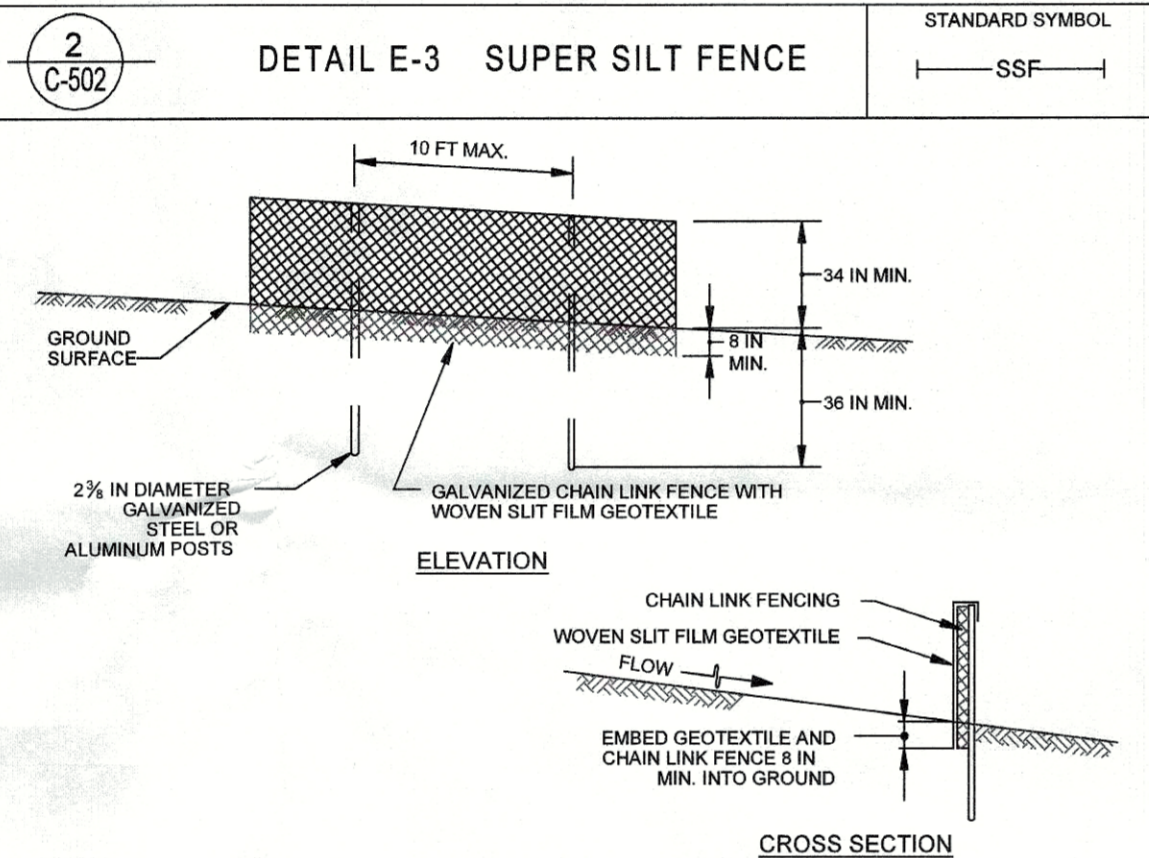
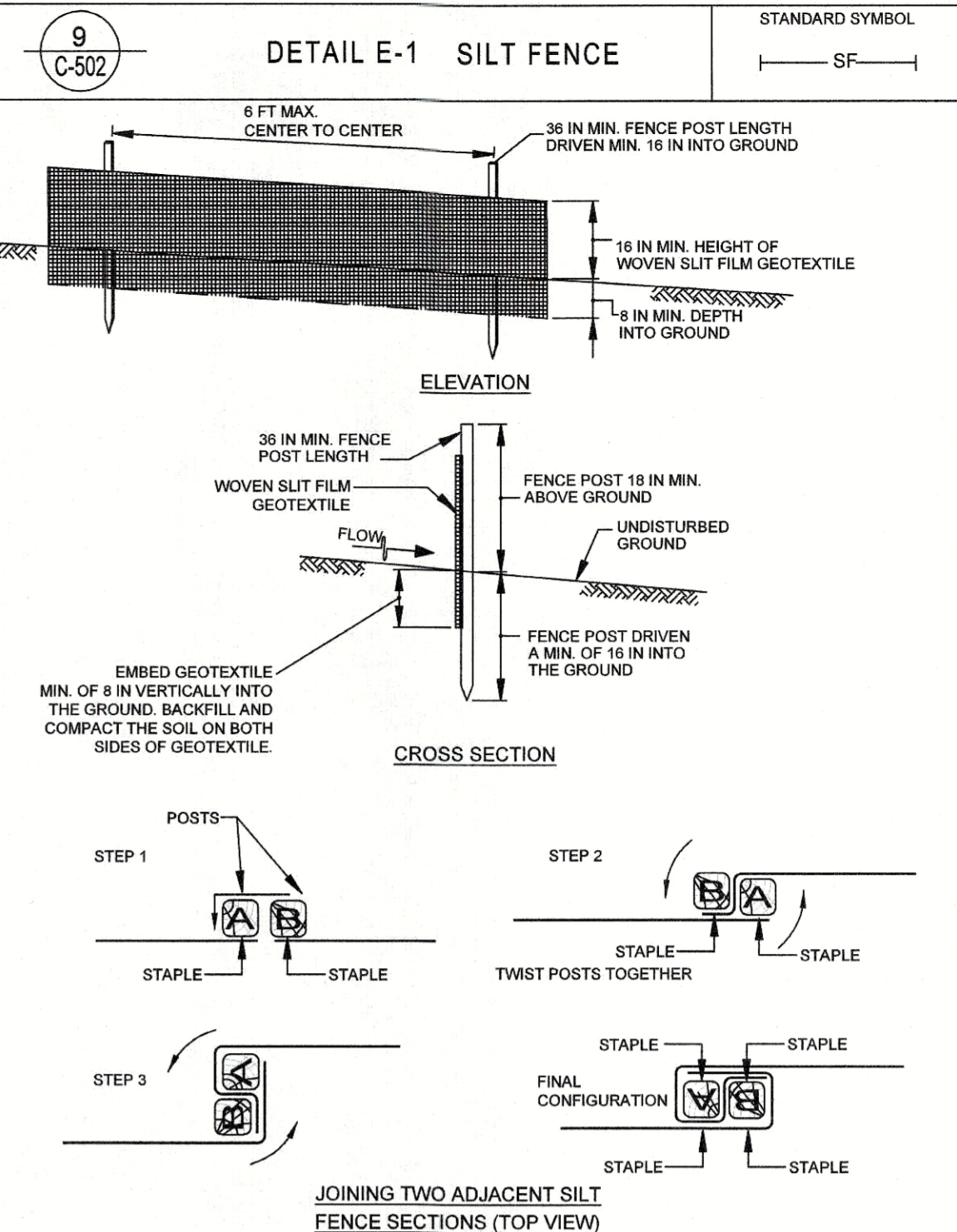
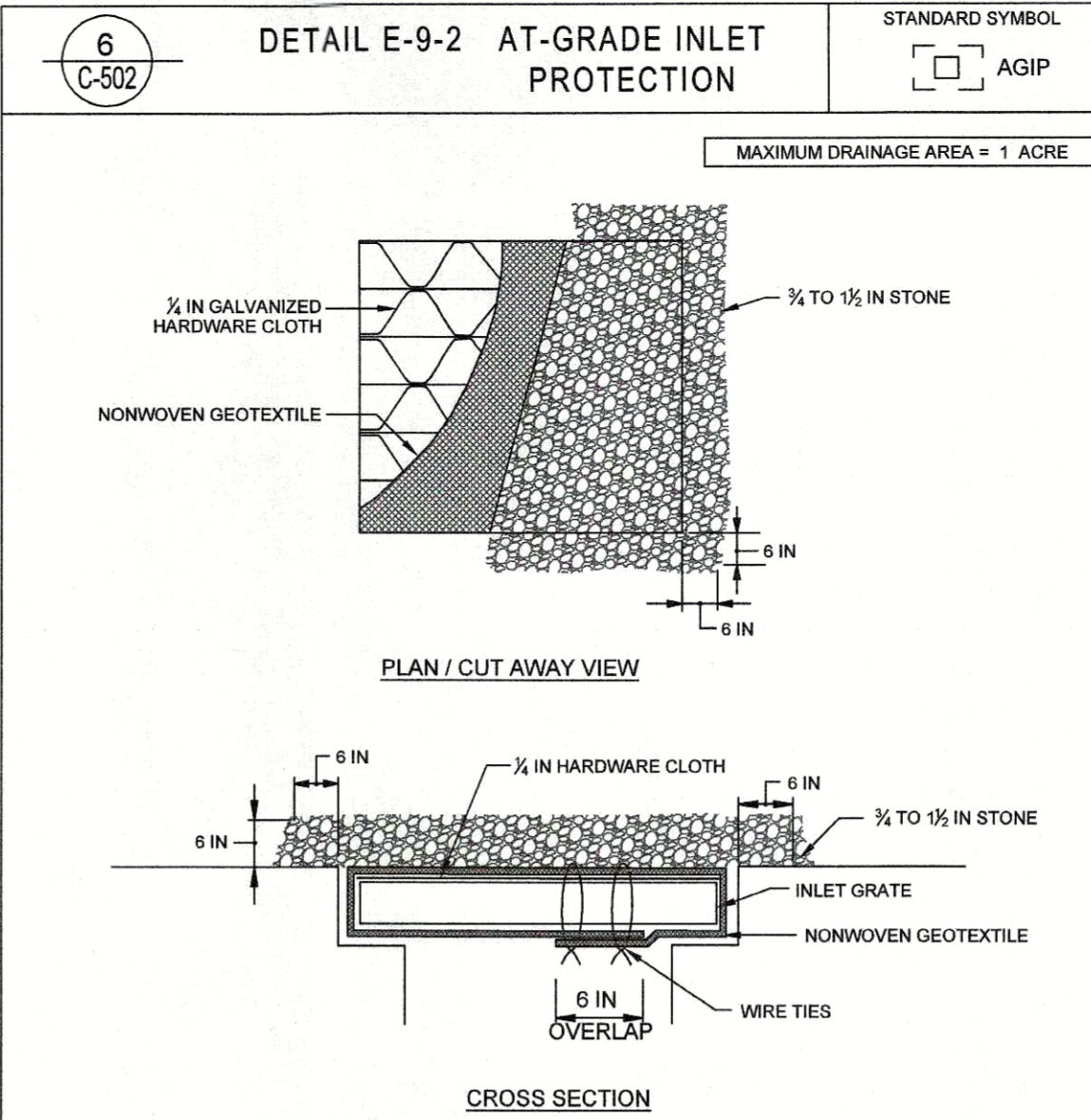
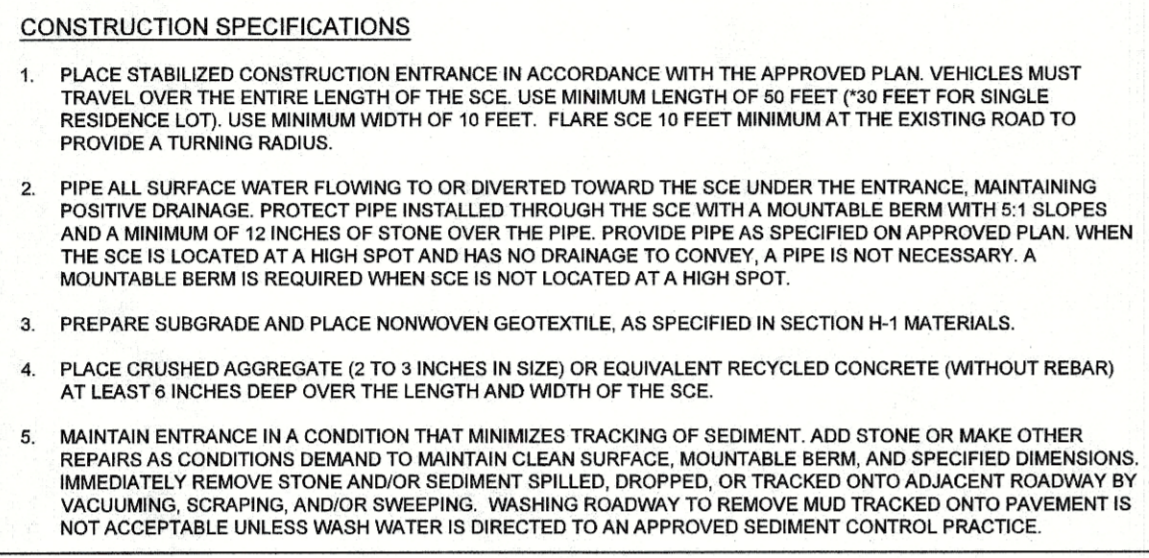
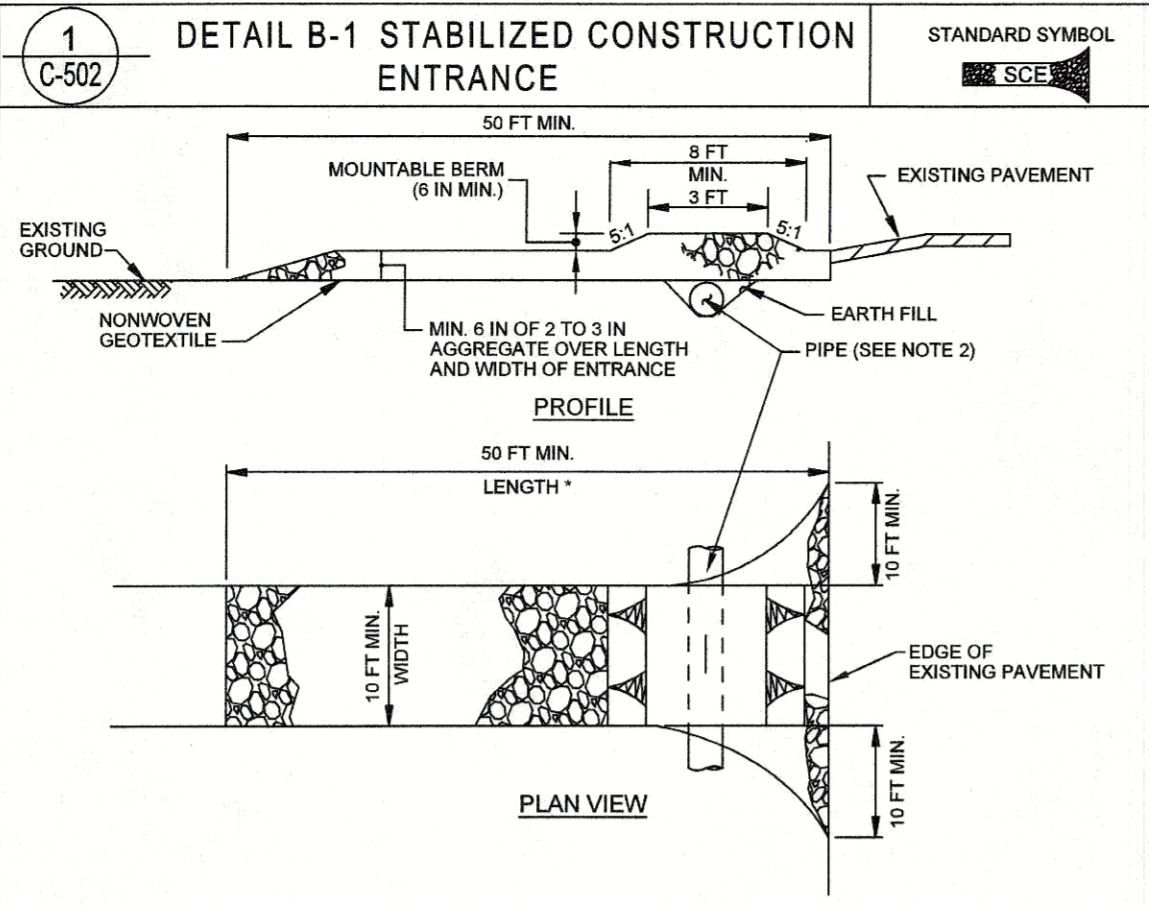
- 1. All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
2. All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control," Section B - Grading and Stabilization" and the provisions of the approved plan.
3. All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control," and the approved plan.
4. A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
5. For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
a. Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
b. Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
6. Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
7. All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
8. All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
9. Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
10. No slope shall be greater than 2:1.
11. As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

**For sites 1.0 acre or more, the following are required:**

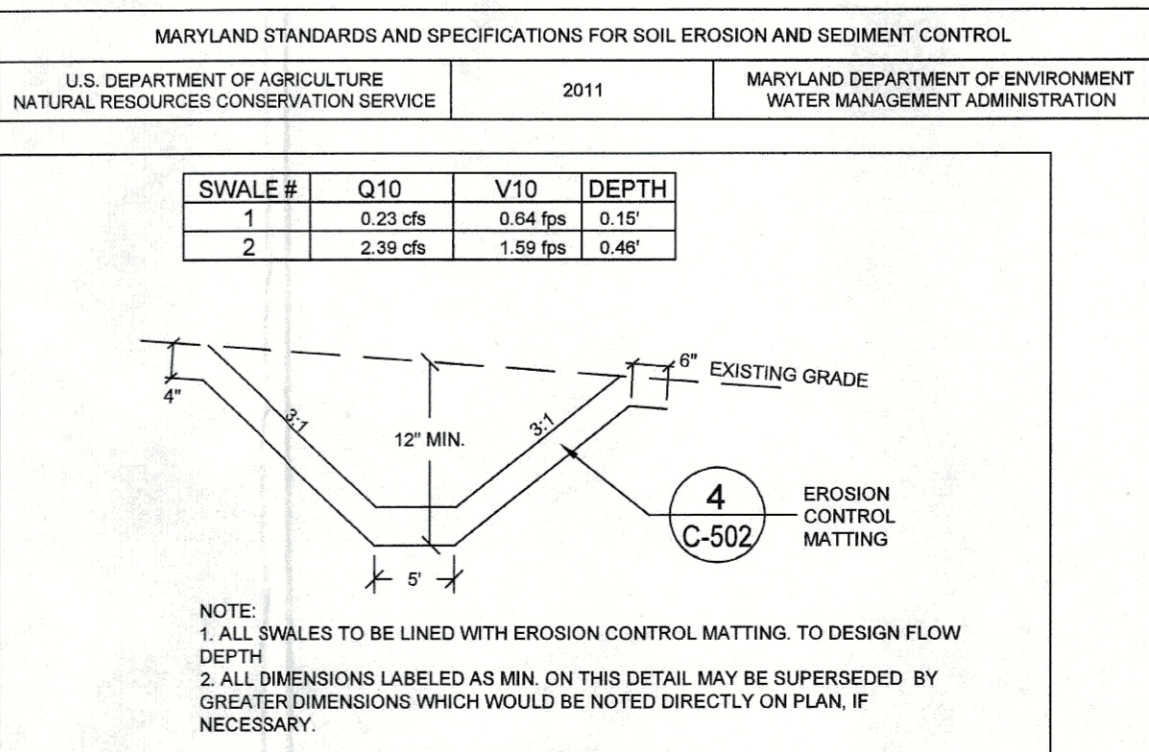
- A. Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDCR, State Discharge Permit Number 14GP, or an Individual Permit.
B. The Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI) application and permit shall be posted and/or available on-site at all times.
C. During construction, all soil erosion and sediment control practices (BMP's) shall be inspected and recorded on the "Standard Inspection Form," "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI).
D. Following construction and release of the sight for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

**SEQUENCE OF CONSTRUCTION**

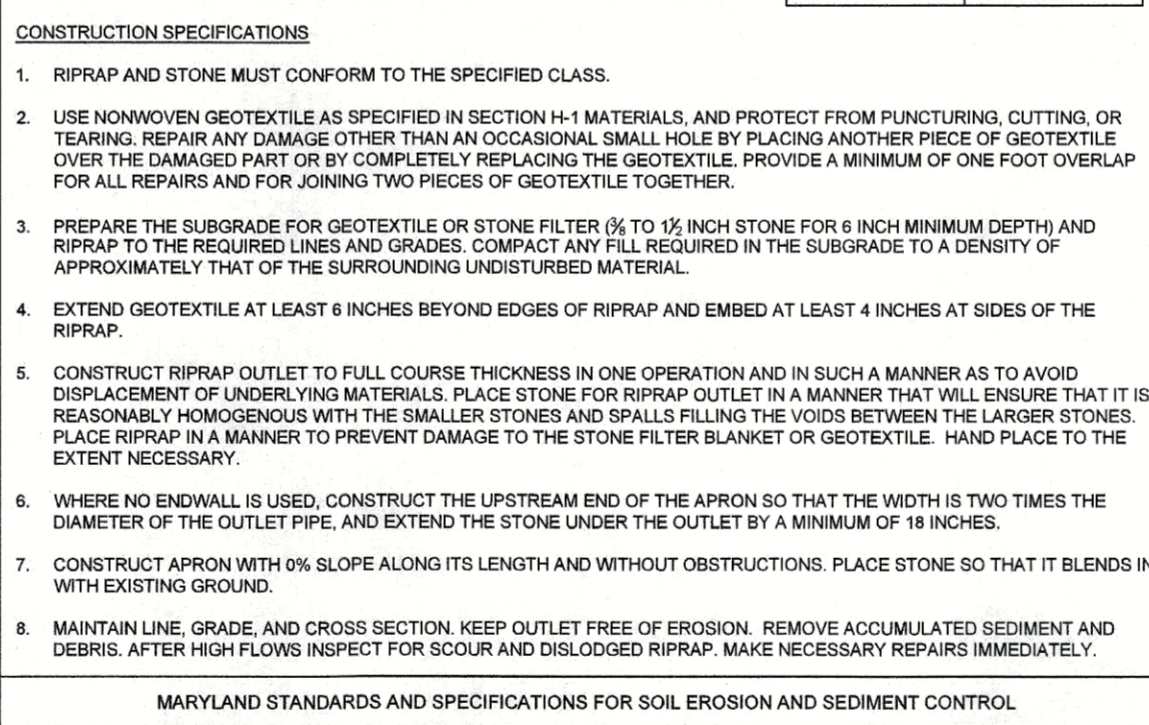
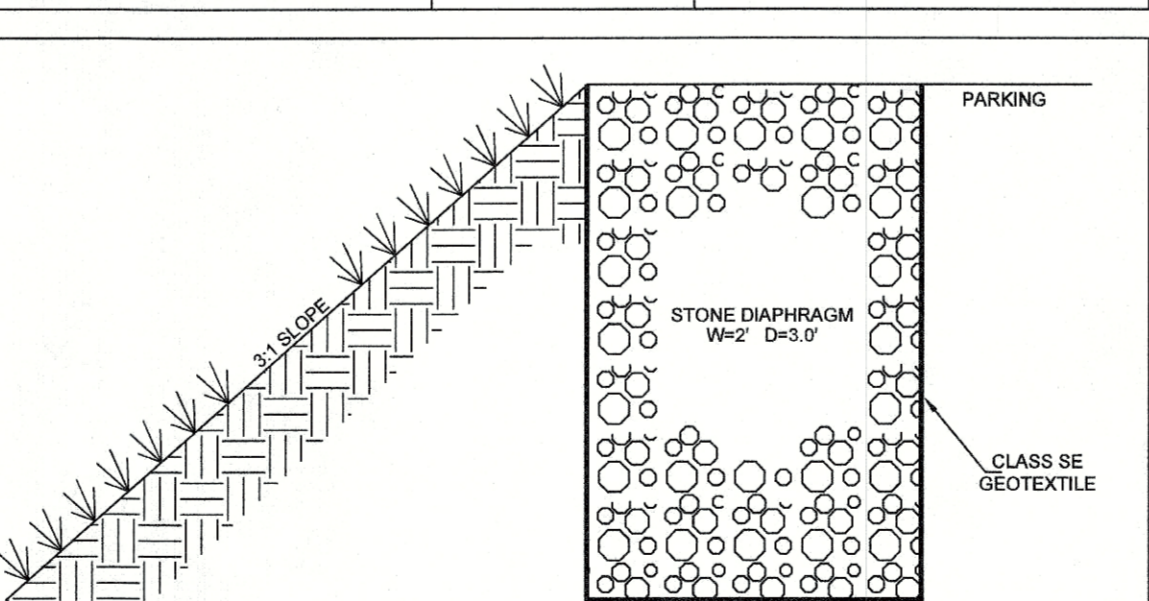
- 1. CONTRACTOR TO CONTACT FSA, INC. (301) 791-3550, WSCSD (301) 797-5211 EXT. 3, THE WCDPW ENGINEERING & CONSTRUCTION (240) 313-2400, AND TRAVIS ALLEN WITH THE WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING (240) 313-2432 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF ANY EARTHWORK TO SCHEDULE A PRE CONSTRUCTION MEETING.
2. CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE.
3. CONTRACTOR SHALL INSTALL ALL SUPER SILT FENCE AND SILT FENCE.
4. CONTRACTOR SHALL INSTALL TEMPORARY FENCINGS AROUND LIMIT OF DISTURBED AREA ON THE EAST SIDE OF SITE TO PREVENT ACCIDENTAL TREE REMOVAL OR DAMAGE FROM EASEMENT.
5. CONTRACTOR TO STRIP TOPSOIL AND PLACE ON STOCKPILE WITH SILT FENCE BEING INSTALLED ON THE DOWN HILL SIDE AND SEED AND MULCH. ANY SPILL AND OR BORROW MUST COME FROM OR GO TO A SITE THAT HAS A CURRENT AND APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
6. CONTRACTOR SHALL START ROUGH GRADING STARTING AT THE DOWNHILL SIDE AND WORKING UPHILL. INSTALL THE DRIVEWAY CULVERT, THEN FILTER DIKE, AND THEN GRADE IN SWALE #2.
7. STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH AFTER EXCAVATING OPERATIONS ARE COMPLETE. USE TEMPORARY SEEDING FOR AREAS LEFT EXPOSED FOR MORE THAN SEVEN (7) CONSECUTIVE DAYS.
8. ROUGH GRADE THE BIO RETENTION AREA, INSTALL RIPRAP INFLOW PROTECTION AND THEN GRADE IN SWALE #1.
9. CONTRACTOR TO START THE CONSTRUCTION OF THE PAVEMENT, GRAVEL AND BUILDING AREAS.
10. INSTALL STORMDRAIN PIPES AND INLETS STARTING AT THE DOWNHILL SIDE AND WORK UPHILL. ADD INLET PROTECTION TO TRENCH DRAIN OPEN BROUGH TO GRADE.
11. CONTRACTOR TO HAVE THE PARKING AREA STABILIZE AND CONTACT WSCSD (301) 797-5211 EXT. 3 AND THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION (240) 313-2400 BEFORE EXCAVATING THE BIO-RETENTION AREA. AFTER BIO-RETENTION AREA IS STABILIZED, CONTACT WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION (240) 313-2400 FOR AN INTERIM INSPECTION AND APPROVAL TO INSTALL THE BIO-MATERIALS. CONTACT FREDERICK SEIBERT, AND ASSOC. (301)791-3550, 2 DAYS PRIOR TO BIO-RETENTION GARDEN CONSTRUCTION.
12. CONSTRUCT BIO RETENTION AREA. STABILIZE WITH SEED, MULCH AND PLANTINGS UPON COMPLETION. NOTE THAT CONSTRUCTION VEHICLES ARE PROHIBITED FROM TRAVELING OVER BIO RETENTION AREA. INSTALL TEMPORARY ORANGE FENCING TO RESTRICT TRAFFIC AND THEREBY COMPACTION TO AREA.
13. CONTRACTOR SHALL FINALIZE GRADING THEN SEED AND MULCH.
14. INSTALL FOREST RETENTION SIGNAGE AND FENCING TO ALL EASEMENT AREAS.
15. CONTRACTOR TO CONTACT WSCSD (301) 797-5211, EXT. 3 AND THE WCDPW-ENGINEERING & CONSTRUCTION AT (240) 313-2400 AT LEAST 5 DAYS PRIOR TO THE REMOVAL OF ANY SEDIMENT CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSE OUT REVIEW AND MEETING. CONTRACTOR TO GAIN FINAL APPROVAL FROM WSCSD PRIOR TO REMOVAL OF EROSION AND SEDIMENT CONTROLS.
16. REMOVE SEDIMENT AND EROSION CONTROL MEASURES, AND STABILIZE ACCORDINGLY.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. TABLE 1: SWALE #, Q10, V10, DEPTH. TABLE 2: SWALE #, Q10, V10, DEPTH.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. TABLE 3: RIPPAP CLASS, THICKNESS (T).



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. TABLE 4: RIPPAP CLASS, THICKNESS (T).

PERMANENT SEEDING SUMMARY. TABLE 1: HARDNESS ZONE (FIGURE B.3): 6a & 6b, SEED MIXTURE (TABLE B.1), SEEDING DATES, SEEDING DEPTH, FERTILIZER RATE (10-20-20), LIME RATE.

TEMPORARY SEEDING SUMMARY. TABLE 1: HARDNESS ZONE (FIGURE B.3): 6a & 6b, SEED MIXTURE (TABLE B.1), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 00551 Expiration Date: 8-23-2019. CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS. FREDERICK SEIBERT & ASSOCIATES, INC. © 2018.

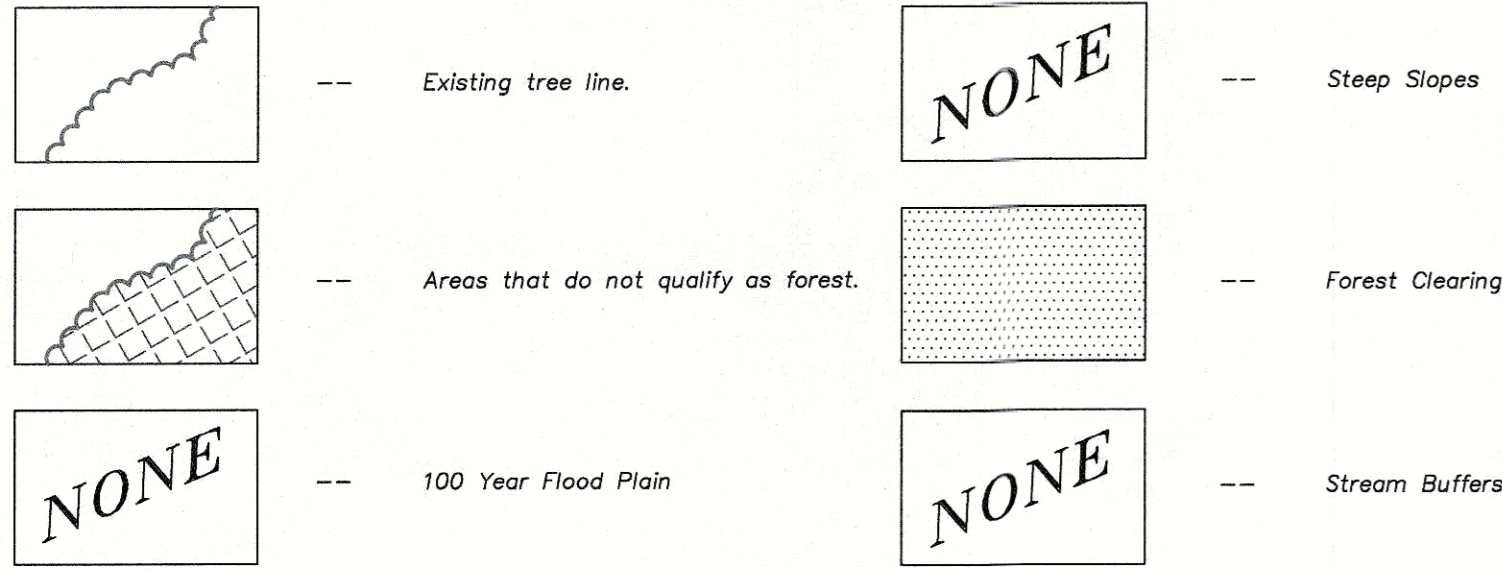
DATE: 11/02/2018, 1/15/2019. DESCRIPTION: REVISED PER WSCSD COMMENTS, REVISED PER WSCSD COMMENTS.

VINNY'S TOWNING & RECOVERY. Situated along the Northern side of Beaver Creek Rd and the Southern side of Interstate 70. WASHINGTON COUNTY, MARYLAND. CLIENT: Beaver Creek Investments LLC, 801 Highland St., Frederick, MD 21701. Phone: XXXX.

PROJECT NO: 4373.VR1. DWG FILE: CAD DWG FILE. DWG BY: JG, DATE: 06-2018. CHK BY: JG, DATE: DATE. TAX MAP: 58, ELECTION DIST.: 10. SCALE: N.T.S. SHEET TITLE: SEC DETAILS AND NOTES. SHEET 08 OF 10. SP-18-037.







**FOREST CONSERVATION WORKSHEET 2.2**

**NET TRACT AREA**

A. TOTAL TRACT AREA..... = 3.90 AC.  
 B. DEDUCTIONS..... = 0.00 AC.  
 C. NET TRACT AREA..... = 3.90 AC.

**LAND USE CATEGORY COM**

D. AFForestation THRESHOLD (NET TRACT AREA X 15%)..... = 0.59 AC.  
 E. CONSERVATION THRESHOLD (NET TRACT AREA X 15%)..... = 10.59 AC.

**EXISTING FOREST COVER**

F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA..... = 3.73 AC.  
 G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD..... = 3.15 AC.

**BREAK EVEN POINT**

H. BREAK EVEN POINT..... = 1.31 AC.  
 I. FOREST CLEARING PERMITTED WITHOUT MITIGATION..... = 2.52 AC.

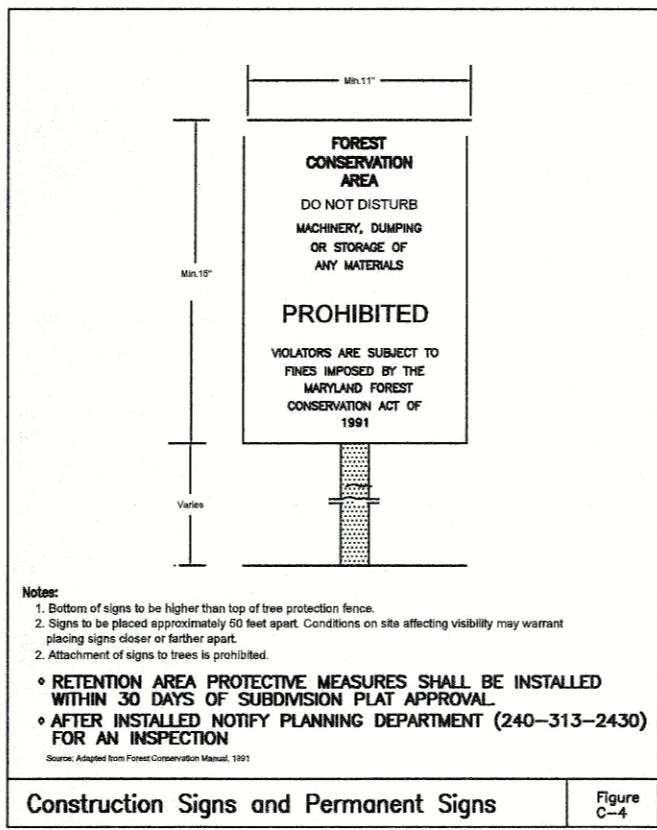
**PROPOSED FOREST CLEARING**

J. TOTAL AREA OF FOREST TO BE CLEARED..... = 3.73 AC.  
 K. TOTAL AREA OF FOREST TO BE RETAINED..... = 0.00 AC.

**PLANTING REQUIREMENTS**

L. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD..... = 0.79 AC.  
 M. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD..... = 1.17 AC.  
 N. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD..... = 0.00 AC.  
 O. TOTAL REFORESTATION REQUIRED..... = 1.96 AC.  
 P. TOTAL AFForestation REQUIRED..... = 0.00 AC.  
 Q. TOTAL PLANTING REQUIREMENT..... = 1.96 AC.

OR 85,214.25 S.F.



**General Notes:**

Forest areas shown herein have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity, and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.

Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.

This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.

The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention Area shall be limited to forest conservation practices and recreational activities which are consistent with the preservation of the Retention Area as a natural forest land, as stipulated by the same Ordinance.

**GENERAL NOTES:**

Clearing of forested areas shown on this plat have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of other forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity, and its associated forest disturbance, is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.

Property owners are advised that there are penalties and fines associated with the violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes, are permitted in these forested areas.

This note, or reference to its existence on this plat, shall be included in each and every deed of conveyance for any lot shown on this plat.

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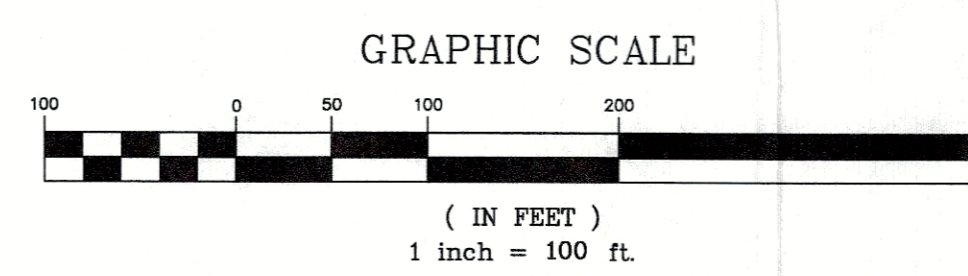
**FOREST CONSERVATION SEQUENCE OF CONSTRUCTION**

- All temporary protection devices and/or permanent devices shall be put in place.
  - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
  - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
  - All temporary fencing shall be in place prior to any grading or land clearing.
  - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
  - Attachment of signs or any other objects to trees is prohibited.
  - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

NOTE: THERE IS 3.73 ACRES OF EXISTING FOREST TO BE CLEARED BY THIS SITE PLAN

LINE	BEARING	DISTANCE
FL1	S 12°11'53" W	75.07'
FL2	S 55°55'44" W	31.86'
FL3	S 22°46'27" W	140.59'
FL4	S 67°02'00" E	157.35'
FL5	N 42°46'14" E	48.67'
FL6	N 20°44'02" E	80.48'
FL7	N 62°20'11" E	39.95'
FL8	N 31°09'30" E	58.17'
FL9	N 72°30'45" W	90.69'
FL10	N 19°29'55" E	44.71'
FL11	N 74°42'30" W	79.88'
FL12	N 65°09'17" W	29.37'
FL13	S 73°00'59" E	86.13'
FL14	S 21°58'10" W	321.73'
FL15	N 61°52'30" W	159.16'
FL16	N 30°10'35" E	129.57'
FL17	N 05°12'36" E	67.57'
FL18	N 29°54'46" E	38.18'
FL19	N 65°14'02" E	43.44'
FL20	N 00°03'31" W	12.39'
FL21	N 82°33'11" E	47.11'

LINE	BEARING	DISTANCE
L1	N 56°16'40" W	50.10'
L2	N 56°16'40" W	51.38'
L3	N 33°45'52" W	52.81'
L4	N 49°33'33" W	50.00'
L5	N 26°37'01" E	51.15'



**Professional Certification**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 2052. Expiration Date: 12-31-2017.

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013  
 (717) 798-1000  
 www.fredseibert.com

**VINNY'S TOWNING & RECOVERY**  
 Situated along the northern side of Beaver Creek Rd and the southern side of Interstate 70  
 in  
 WASHINGTON COUNTY, MARYLAND  
 CLIENT:  
 Beaver Creek Investments LLC  
 801 Highland St., Frederick, MD 21701  
 Phone: XXXX

PROJECT NO: 4373.VR1  
 CAD DWG FILE:  
 DWN BY: DWH DATE: 10-10-2018  
 CHK BY: DATE:  
 TAX MAP: 58 ELECTION DIST: 10  
 SCALE: 1" = 100'  
 SHEET TITLE:  
**FORESTATION/ LANDSCAPE PLAN**  
 C-104  
 SHEET 10 OF 10  
 SP-18-037



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## MEMORANDUM

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TO: Washington County Planning Commission  
FROM: Travis Allen, Comprehensive Planner  
DATE: January 22, 2019  
RE: Forest Conservation Plan Approval for Blooming Meadows (S-12-003)

---

Attached you will find supporting documentation for a request to utilize onsite natural regeneration to satisfy the remaining 1.27 acre planting requirement for this development. The documents include a letter from Qualified Forestry Professional Shannon Stotler of Frederick, Seibert and Associates evaluating the feasibility of natural regeneration for the site. In addition, a vicinity map and an aerial image provide context for the site location. Finally, two pages from the recently submitted subdivision plat locate both the forest areas planned for onsite retention and onsite natural regeneration.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve as much forest onsite as is feasible within the constraints of each development project.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Comprehensive Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

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WWW.WASHCO-MD.NET



January 17, 2019

Lisa Kelly  
Wash Co Dept of Plan Review & Permitting  
80 W Baltimore St  
Hagerstown, MD 21740

RE: Blooming Meadows, S-12-003

Dear Lisa,

At the request of Travis Allen, Washington County Environmental Planner, please accept this letter as justification to provide Natural Regeneration as our means forest mitigation.

Through natural regeneration, existing trees reproduce themselves and develop into a natural community based on the site conditions. Rural property owners can create conditions to promote the natural regeneration of desired species. Often, creating such conditions is a more practical option than developing an artificial plantation of hardwoods. Natural regeneration is usually less expensive to initiate, uses trees that are proven to grow in the native soils, and can be established in high densities that produce straight, high quality stem.

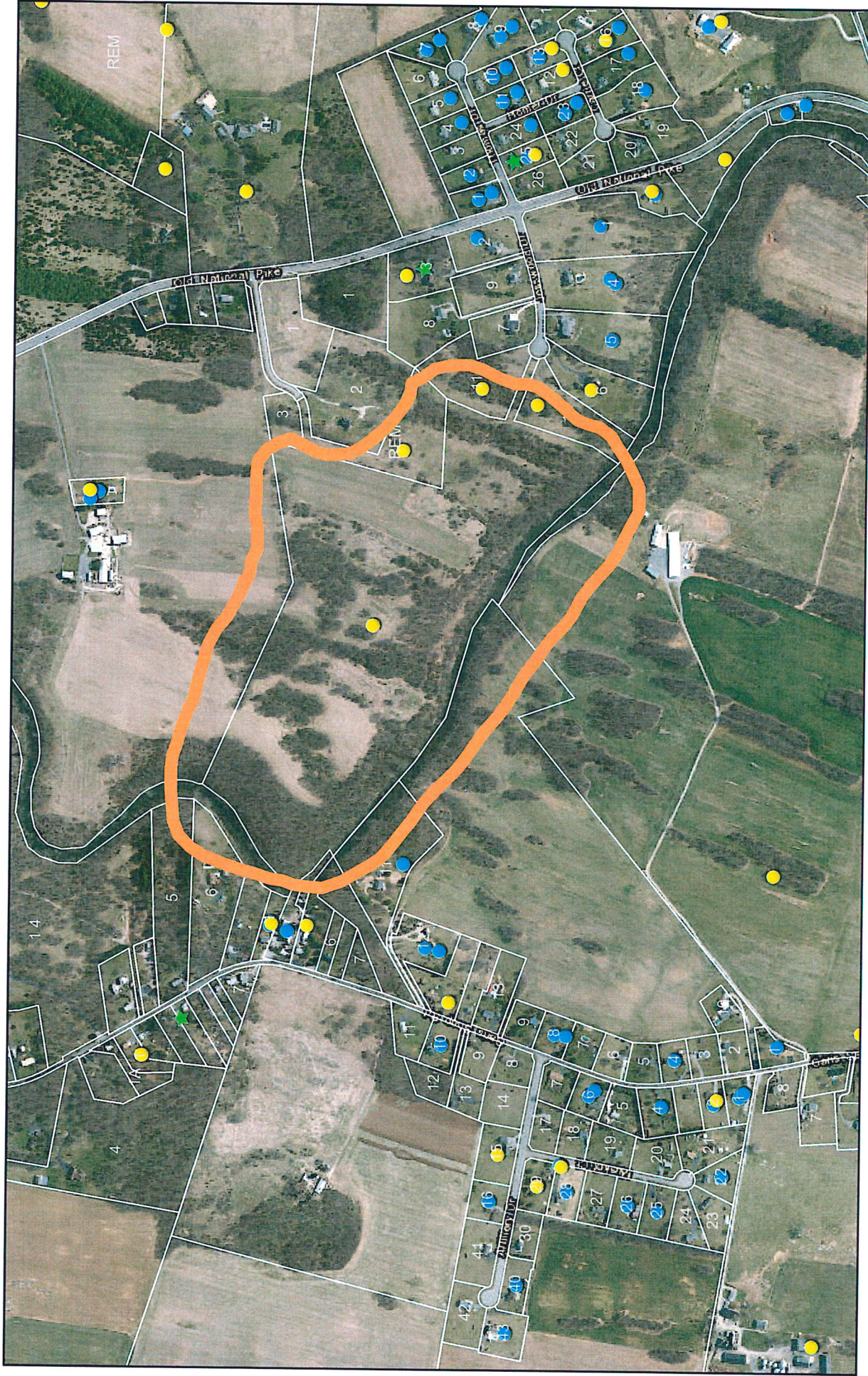
The Blooming Meadows site is specifically conducive to this method of mitigation due to the pockets of farm field interspersed throughout the pockets of existing forest. Once farming operations cease on these fields and they are left to grow naturally they will quickly fill in with indigenous trees and shrubs to create a healthy forest.

Please feel free to contact me with any questions.

Respectfully,

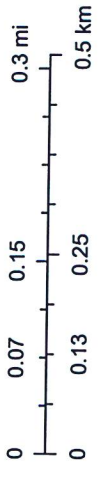
Shannon Stotler  
Qualified Forestry Professional  
Frederick, Seibert & Associates

# Frederick Seibert & Associates, Inc.



1/17/2019, 8:51:09 AM

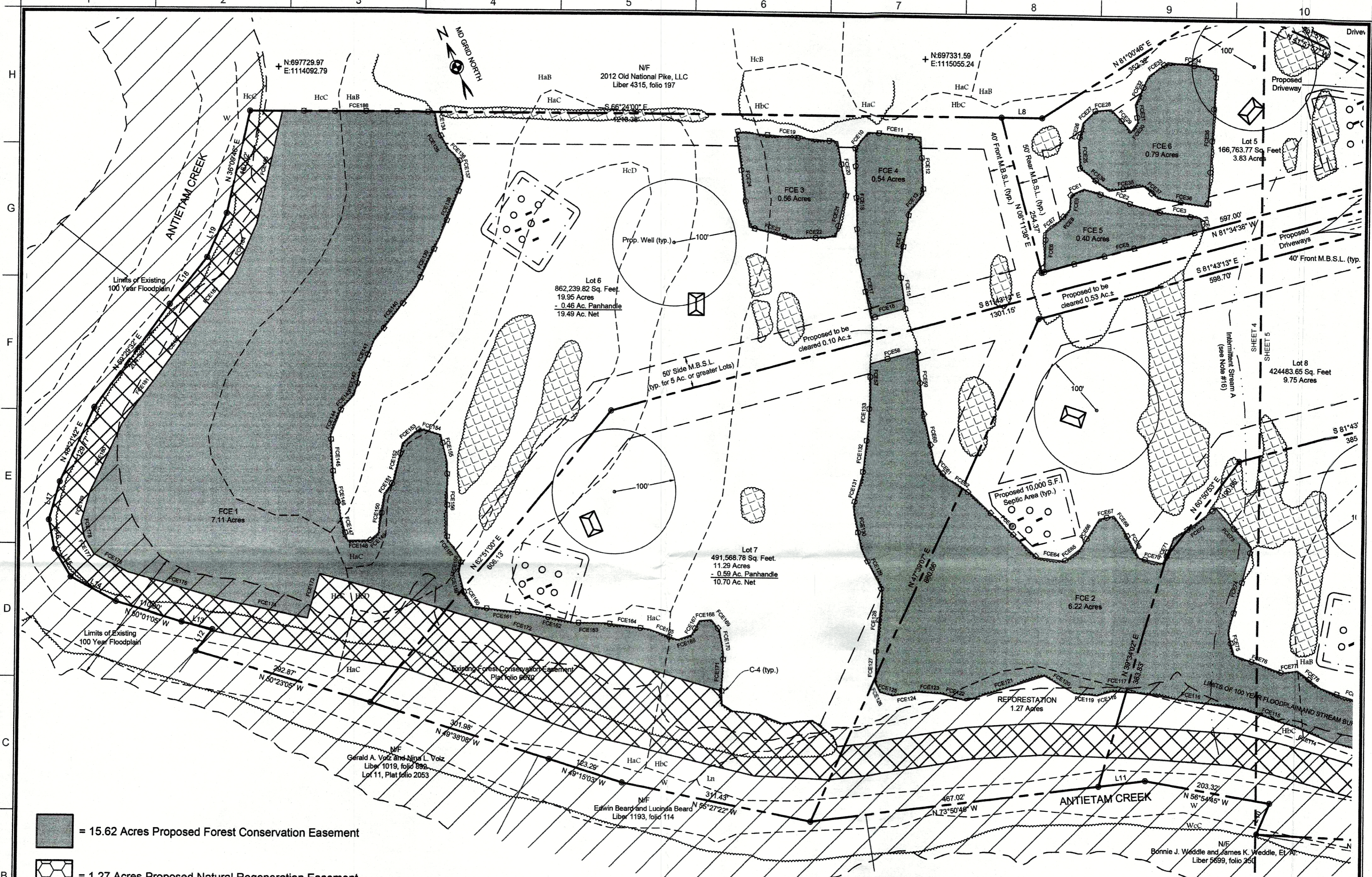
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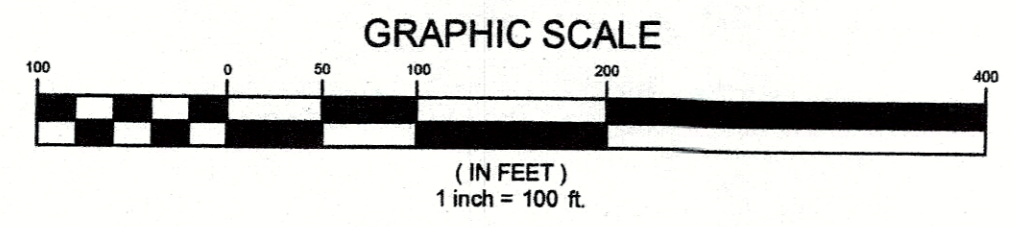
- FSA Database
- HL Database
- County Boundary
- Municipal Boundaries
- Parcels

# Vicinity Map





- = 15.62 Acres Proposed Forest Conservation Easement
- = 1.27 Acres Proposed Natural Regeneration Easement
- = 0.63 Acres Forest to be Cleared
- = Areas that do not qualify as forest



Owner:  
**Brad and Jill, LLC**  
 11535 Hopewell Road  
 Hagerstown MD 21740-2109

Revised Per	Date

<b>TAX MAP 63-1-263/315 DISTRICT 10</b>	
<b>DRAWING NUMBER 04 OF 05</b>	
<b>DRAWN BY:</b> LEJ	<b>DATE:</b> 3.27.18
<b>CHECKED BY:</b>	<b>DATE:</b>
<b>SCALE:</b> 1" = 100'	

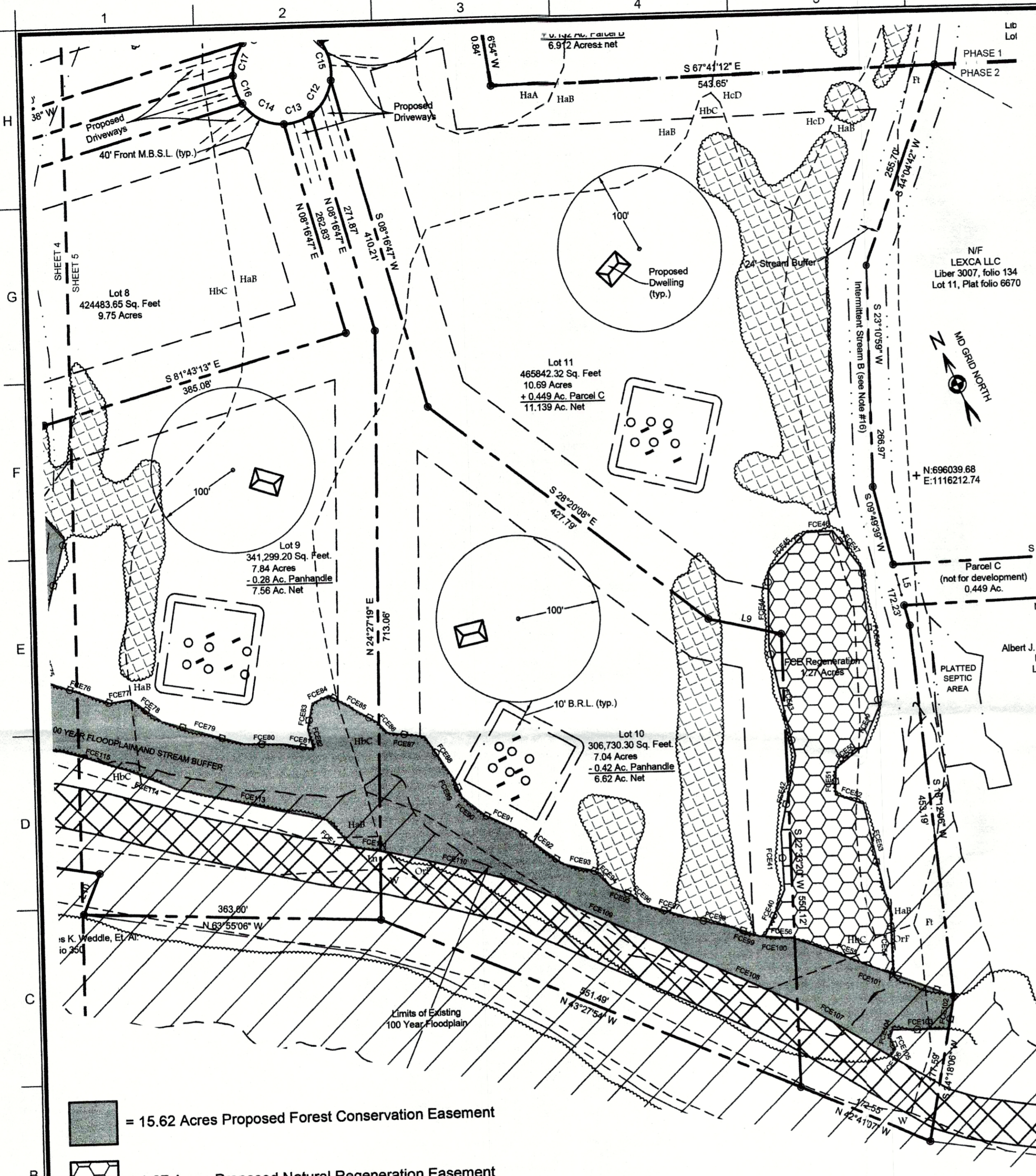
**FREDERICK SEIBERT & ASSOCIATES, INC.** ©2018

CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 (301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4896

JOB NUMBER 1823.2

**PLAT NO \_\_\_\_\_**  
**DATE \_\_\_\_\_**  
**WASHINGTON COUNTY**

Forest Conservation Plat  
 Phase II  
 Lots 4-12  
**BLOOMING MEADOWS**  
 Situate along the west side of Old National Pike  
 WASHINGTON COUNTY, MARYLAND



LINE	BEARING	DISTANCE
FCE1	N 88°36'4" E	22.87
FCE2	S 49°53'3" E	123.84
FCE3	S 59°29'4" E	68.12
FCE4	S 09°12'3" W	17.78
FCE5	N 81°03'3" W	263.84
FCE6	N 28°07'59" E	62.47
FCE7	N 74°34'58" E	28.99
FCE8	N 64°00'25" E	23.92
FCE9	N 28°19'02" E	23.16
FCE10	N 62°15'05" E	31.93
FCE11	S 61°5'14" E	85.38
FCE12	S 20°14'10" W	91.11
FCE13	S 61°59'24" W	36.84
FCE14	S 32°41'29" W	64.19
FCE15	N 14°3'14" W	56.93
FCE16	N 10°48'27" E	101.35
FCE17	N 21°32'56" E	170.83
FCE18	S 61°45'47" E	163.41
FCE19	S 13°08'22" W	83.74
FCE20	S 37°01'37" W	70.41
FCE21	N 70°10'53" W	69.74
FCE22	N 51°34'28" W	71.78
FCE23	N 14°59'19" E	151.98
FCE24	N 19°43'59" E	42.51
FCE25	N 38°46'22" E	30.43
FCE26	N 68°24'31" E	27.01
FCE27	N 73°14'08" E	25.42
FCE28	S 19°26'51" E	48.08
FCE29	N 58°52'18" E	18.70
FCE30	N 14°22'13" E	28.22
FCE31	N 48°18'50" E	49.12
FCE32	N 77°59'13" E	37.87
FCE33	N 68°24'31" E	78.38
FCE34	S 60°34'18" E	219.45
FCE35	S 26°20'28" W	81.68
FCE36	N 27°26'19" W	29.67
FCE37	N 74°34'22" W	56.39
FCE38	N 29°21'01" W	58.51
FCE39	N 48°11'40" W	61.97
FCE40	N 21°32'58" E	68.91
FCE41	N 35°49'19" E	94.72
FCE42	N 11°21'03" E	137.42
FCE43	N 24°24'28" E	81.86
FCE44	N 69°47'13" E	32.26
FCE45	S 61°19'32" E	53.31
FCE46	S 13°37'24" E	53.31
FCE47	S 16°43'30" W	172.58
FCE48	S 48°15'19" W	52.87
FCE49	S 76°21'28" W	43.42
FCE50	S 25°37'26" W	32.56
FCE51	S 47°16'32" E	35.96
FCE52	S 10°14'14" W	136.14
FCE53	S 22°13'38" W	74.38
FCE54	N 45°30'19" W	130.85
FCE55	N 61°04'14" E	43.80
FCE56	N 27°00'15" E	43.80
FCE57	S 82°17'11" E	77.91
FCE58	S 17°28'52" W	90.71
FCE59	S 10°41'09" W	90.38
FCE60	S 18°34'02" E	31.67
FCE61	S 34°32'32" E	44.32
FCE62	S 23°21'08" E	147.11
FCE63	S 58°54'07" E	45.39
FCE64	N 74°57'23" E	74.38
FCE65	N 74°57'23" E	56.58
FCE66	S 77°54'37" E	23.99
FCE67	S 13°30'04" E	25.83
FCE68	S 05°31'42" E	53.34
FCE69	S 53°28'08" E	38.55
FCE70	S 53°28'08" E	42.92
FCE71	N 47°48'13" E	84.74
FCE72	S 18°20'25" E	85.77
FCE73	S 38°19'38" W	39.93
FCE74	S 08°02'40" W	37.40
FCE75	S 46°56'49" E	81.77
FCE76	S 73°57'27" E	25.45
FCE77	S 29°54'34" E	46.37
FCE78	S 49°11'26" E	104.03
FCE79	S 64°28'47" E	49.75
FCE80	S 55°43'28" E	35.68
FCE81	N 09°17'29" E	25.98
FCE82	N 35°12'01" E	31.97
FCE83	S 38°02'20" E	22.45
FCE84	S 17°45'06" E	17.58
FCE85	S 58°32'29" E	45.57
FCE86	S 09°07'48" E	63.64
FCE87	S 00°00'00" E	23.78
FCE88	S 26°49'14" E	34.90
FCE89	S 39°52'32" E	42.33
FCE90	S 28°45'00" E	40.00
FCE91	S 53°31'32" E	29.35
FCE92	S 45°31'42" E	26.30
FCE93	S 22°27'05" E	16.67
FCE94	S 48°07'37" E	62.73
FCE95	S 52°10'02" E	55.15
FCE96	S 45°29'08" E	28.66
FCE97	S 61°40'47" E	43.77
FCE98	S 45°30'19" E	208.82
FCE99	S 34°18'08" W	39.96
FCE100	S 65°58'32" W	68.35
FCE101	S 41°11'52" W	9.96
FCE102	S 00°00'00" E	15.00
FCE103	S 69°34'07" W	10.25
FCE104	N 38°30'54" W	120.87
FCE105	N 41°44'26" W	162.15
FCE106	N 42°02'13" W	227.93
FCE107	N 52°01'17" W	148.25
FCE108	N 58°36'45" W	49.93
FCE109	N 19°35'59" W	48.90
FCE110	N 53°32'30" W	186.83
FCE111	N 48°47'53" W	61.79
FCE112	N 58°28'44" W	85.48
FCE113	N 64°28'27" W	176.38
FCE114	N 81°48'29" W	39.01
FCE115	N 81°48'29" W	24.42

**PROFESSIONAL CERTIFICATION**

I certify that I am a qualified professional per requirements of COMAR 06.16.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

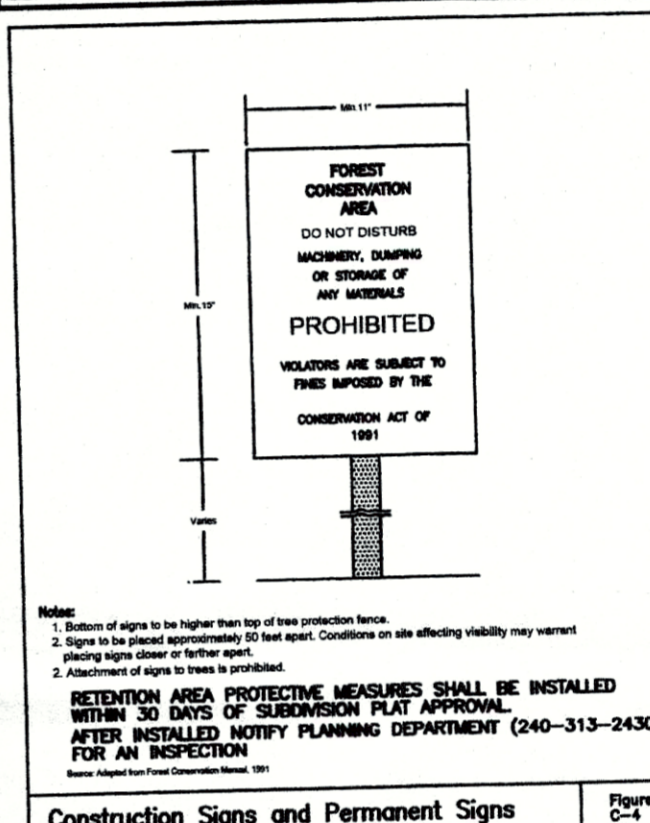
*Shannon Stotler*

**GENERAL NOTES**

- Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. These areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.
- This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.
- The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

**FOREST CONSERVATION SEQUENCE OF CONSTRUCTION**

- All temporary protection devices and/or permanent devices shall be put into place.
  - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
  - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
  - All temporary fencing shall be in place prior to any grading or land clearing.
  - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
  - Attachment of signs or any other objects to trees is prohibited.
  - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.



**FOREST CONSERVATION WORKSHEET 2.2**

NET TRACT AREA	= 73.55 Ac.
A. Total Tract Area	= 73.55 Ac.
B. Deductions	= 7.27 Ac.
C. Net Tract Area	= 66.28 Ac.
LAND USE CATEGORY AREA	= 13.28 Ac.
D. Afforestation Threshold ( Net Tract Area x 20% )	= 13.28 Ac.
E. Conservation Threshold ( Net Tract Area x 50% )	= 33.14 Ac.
EXISTING FOREST COVER	= 16.26 Ac.
F. Existing Forest Cover within the Net Tract Area	= 16.26 Ac.
G. Area of Forest Above Conservation Threshold	= 0.00 Ac.
BREAK EVEN POINT	= 13.53 Ac.
H. Break Even Point	= 13.53 Ac.
I. Forest Clearing Permitted Without Mitigation	= 0.00 Ac.
PROPOSED FOREST CLEARING	= 0.63 Ac.
J. Total Area of Forest to be Cleared	= 0.63 Ac.
K. Total Area of Forest to be Retained	= 15.62 Ac.
PLANTING REQUIREMENTS	= 1.27 Ac.
L. Reforestation for Clearing Above the Conservation Threshold	= 0.00 Ac.
M. Reforestation for Clearing Below the Conservation Threshold	= 1.27 Ac.
N. Credit for Retention above the Conservation Threshold	= 0.00 Ac.
P. Total Reforestation Required	= 0.00 Ac.
Q. Total Afforestation Required	= 0.00 Ac.
R. Total Planting Requirement	= 1.27 Ac.
Total Natural Regeneration (in lieu of planting)	= 1.27 Ac.

**Construction Signs and Permanent Signs**

LINE	BEARING	DISTANCE
FCE116	N 61°34'06" W	26.94
FCE117	N 37°07'27" W	54.79
FCE118	N 84°20'58" W	132.05
FCE119	N 51°58'01" W	40.90
FCE120	N 62°56'30" W	39.52
FCE121	N 75°46'08" W	40.10
FCE122	N 51°45'58" W	20.92
FCE123	N 02°38'05" W	16.84
FCE124	N 24°54'55" E	60.50
FCE125	N 03°07'01" W	56.59
FCE126	N 11°46'23" E	68.24
FCE127	N 39°19'21" E	55.17
FCE128	N 29°55'44" E	62.13
FCE129	N 27°30'45" E	67.70
FCE130	N 11°42'44" W	32.13
FCE131	S 07°02'58" E	32.09
FCE132	S 21°48'23" E	26.05
FCE133	S 13°14'45" W	31.24
FCE134	S 45°22'24" W	38.67
FCE135	S 49°20'03" W	87.30
FCE136	S 61°28'33" W	107.15
FCE137	S 47°25'53" W	53.19
FCE138	S 38°28'36" W	42.03
FCE139	S 66°15'36" W	29.33
FCE140	S 45°00'46" W	45.04
FCE141	S 19°22'05" W	69.27
FCE142	S 11°57'43" W	57.23
FCE143	S 07°04'06" W	43.01
FCE144	S 67°29'28" E	38.43
FCE145	N 17°11'22" E	17.77
FCE146	N 32°55'13" E	60.63
FCE147	N 54°54'11" E	29.62
FCE148	N 36°04'31" E	58.50
FCE149	N 73°11'44" E	35.90
FCE150	S 53°01'15" E	34.50
FCE151	S 09°36'47" W	45.00
FCE152	S 23°08'32" W	122.96
FCE153	S 12°32'39" E	39.74

**PLAT NO** \_\_\_\_\_  
**DATE** \_\_\_\_\_  
**WASHINGTON COUNTY**

Forest Conservation Plat  
 Phase II  
 Lots 4-12  
**BLOOMING MEADOWS**

Situate along the west side of Old National Pike  
 WASHINGTON COUNTY, MARYLAND

**Owner:**  
 Brad and Jill, LLC  
 11535 Hopewell Road  
 Hagerstown MD 21740-2109

**LEGEND**

- [Hatched Pattern] = 15.62 Acres Proposed Forest Conservation Easement
- [Hexagonal Pattern] = 1.27 Acres Proposed Natural Regeneration Easement
- [Solid Black] = 0.63 Acres Forest to be Cleared
- [Dotted Pattern] = Areas that do not qualify as forest

**GRAPHIC SCALE**

(IN FEET)  
 1 inch = 100 ft.

Scale: 1" = 100'

Revised Per \_\_\_\_\_ Date \_\_\_\_\_

**TAX MAP 63-1-263/315 DISTRICT 10**

**DRAWING NUMBER 05 OF 05**

**DRAWN BY:** LEJ **DATE:** 3.27.18

**CHECKED BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

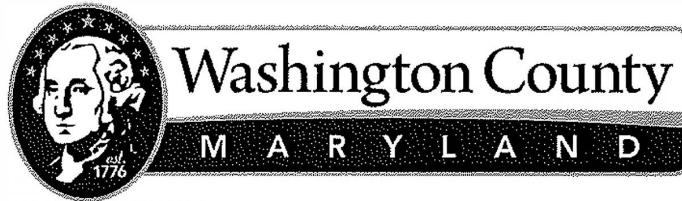
**SCALE:** 1" = 100'

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CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS  
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225

(301) 791-3600 (301) 416-7478 (717) 591-1007 FAX (301) 739-4956

**JOB NUMBER 1823.2**



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM TO : Washington County Planning Commission  
FROM : Stephen T. Goodrich, Director *SG*  
Department of Planning and Zoning  
DATE : January 23, 2019  
SUBJECT : Demolition Permit #2018-05724  
Robert Householder  
18461 Manor Church Road (WA-II-183)

County policy requires that when a demolition permit is requested for buildings that are listed in the County historic sites survey the permit must be reviewed by the Historic District Commission and the Planning Commission. The policy, permit application, historic survey information and a location map are all provided for your information in order to conduct the review dictated by the policy.

The permit was reviewed by the Historic District Commission on January 16, 2019. The applicant and several other interested parties were in attendance during that meeting. Mr. Householder said he felt the building was in disrepair and beyond restoration. He also indicated that it was his intention when he purchased the property to remove the house because it was in the viewshed of a new house he intended to build in a different location. Seven other people were in attendance and were provided the opportunity to speak on the subject. All expressed concern about the loss of County heritage and encouraged the Commission not to vote in favor of the demolition permit. Paula Reed prepared the historic inventory form and confirmed its accuracy. Douglass Reed offered the expert opinion that the building was not beyond repair and it would not necessarily be more expensive than new construction. During the meeting Mr. Householder was advised that are several alternatives that could preserve the building including subdivision, historic zoning and tax credits and land preservation programs. After consideration of all of the information provided the Historic District Commission voted unanimously to express its opposition to the demolition. That action triggers this similar review by the planning Commission.



Historia  
Review



Washington County  
M A R Y L A N D

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

**BUILDING & ZONING PERMIT**

IVR/Record No: 2018-05724

Applied: 12/28/2018

Project No:

Approved:

Record Type: Residential Demolition Permit

Status: Review

Inspector Area: B5

Job Address: 18461 MANOR CHURCH RD

Location: LOR 18461 Manor Church Road

Tax Acct ID: 12008244

RECEIVED

JAN 02 2019

WASHINGTON COUNTY  
PLANNING DEPARTMENT

Zoning District: A(R)

Floodplain: No

Owner: HOUSEHOLDER ROBERT

Applicant: Robert Householder  
22025 LEITERSRG SMITHSBRG  
SMITHSBURG MD 21783

Phone Number: (240)527-7406

Contractor:

Phone No:

Description: Demolish a two story single family dwelling and two storage barns

Foundation Size:

Construction Type:

Type of Heat:

Exterior Finish:

Public Sewer: No

Air Conditioning:

Public Water: No

Septic: Existing

Gas:

Time Existed: unknown

Electric:

Well: Existing

Time Existed: unknown

Valuation: \$0.00

No. of Bathrooms:

Code Enforced:

No. of Half Bathrooms:

Decorative

No. of Bedrooms

Heating Appl:

	Setbacks	Proposed	Minimum Required
Lot Tract Area			
Front Yard Setback			
Rear Yard Setback			
Left Side Setback			
Right Side Setback			
Lot Width			

\* All final State Fire Marshal inspections (850), if required, must be scheduled directly through the State Fire Marshal's office at 301-766-3888.

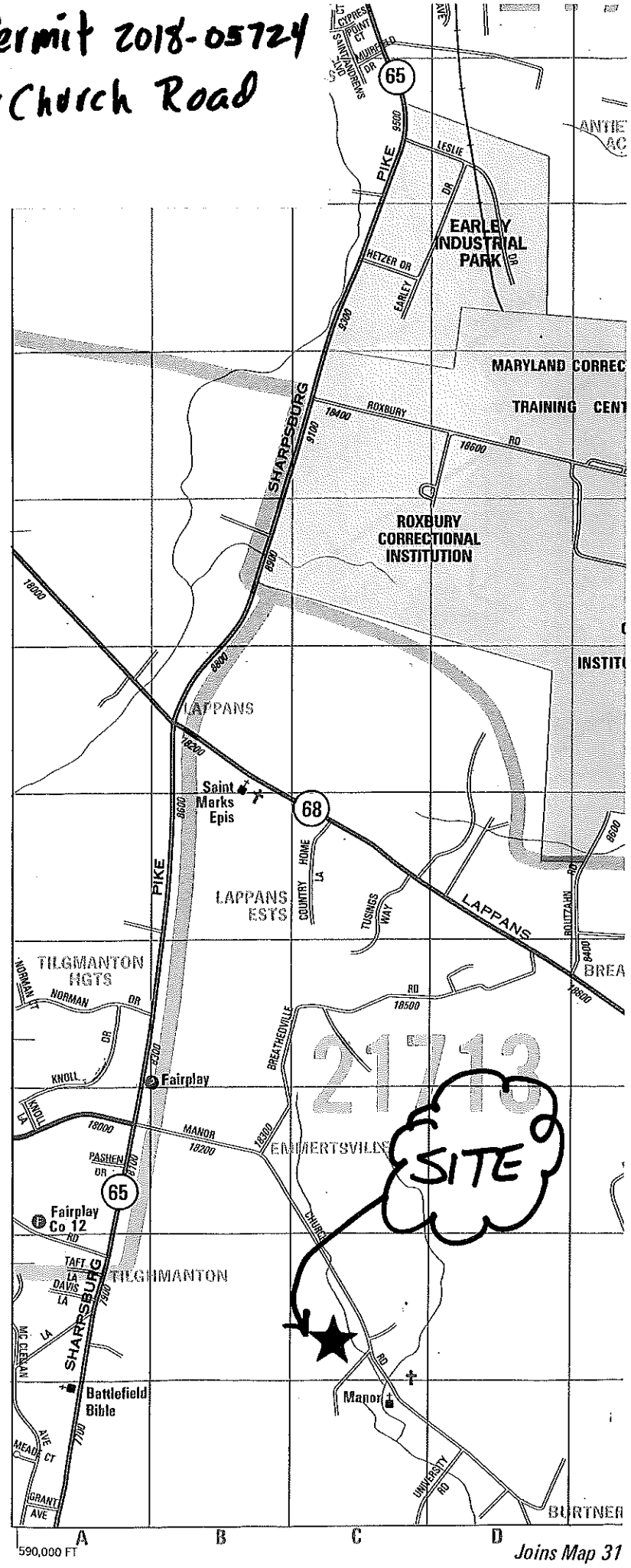
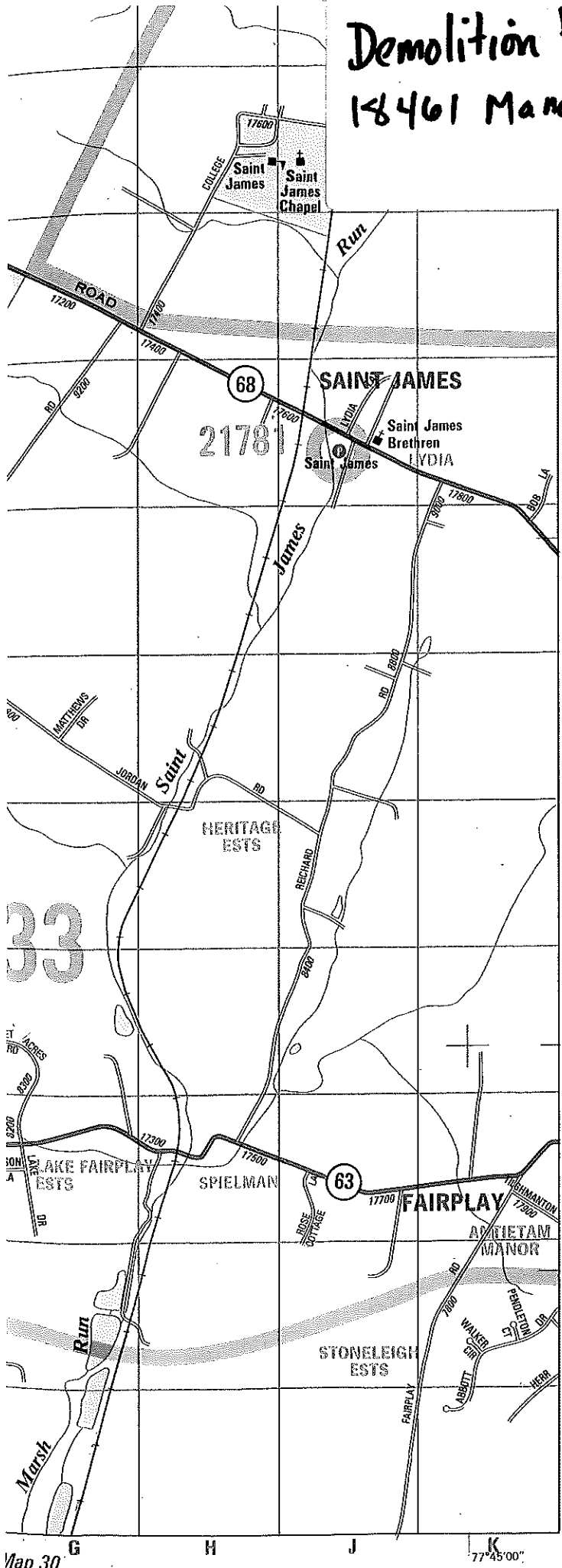
This permit has been reviewed by the Washington County Permitting Department and meets all applicable local and state codes and ordinances. Should you have any questions, please contact our department at 240-313-2460 between the hours of 7:30 a.m. through 4:30 p.m., Monday through Friday.

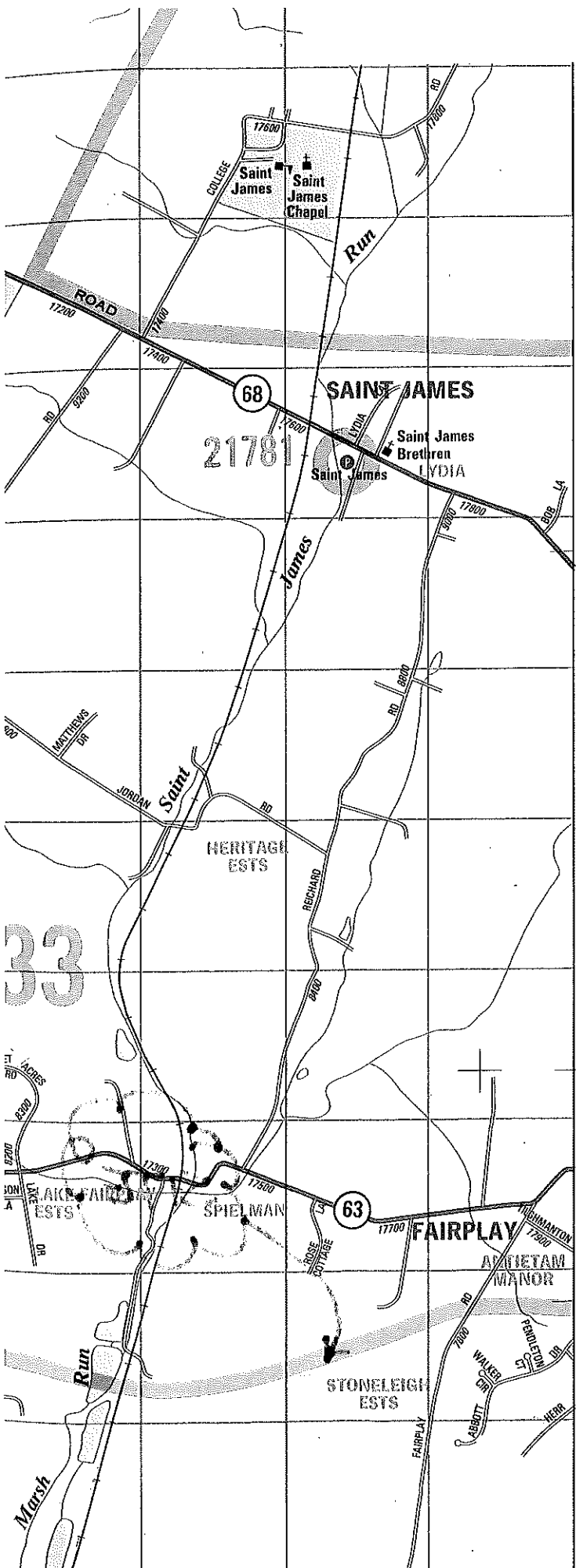


18461 Manor  
Church Road

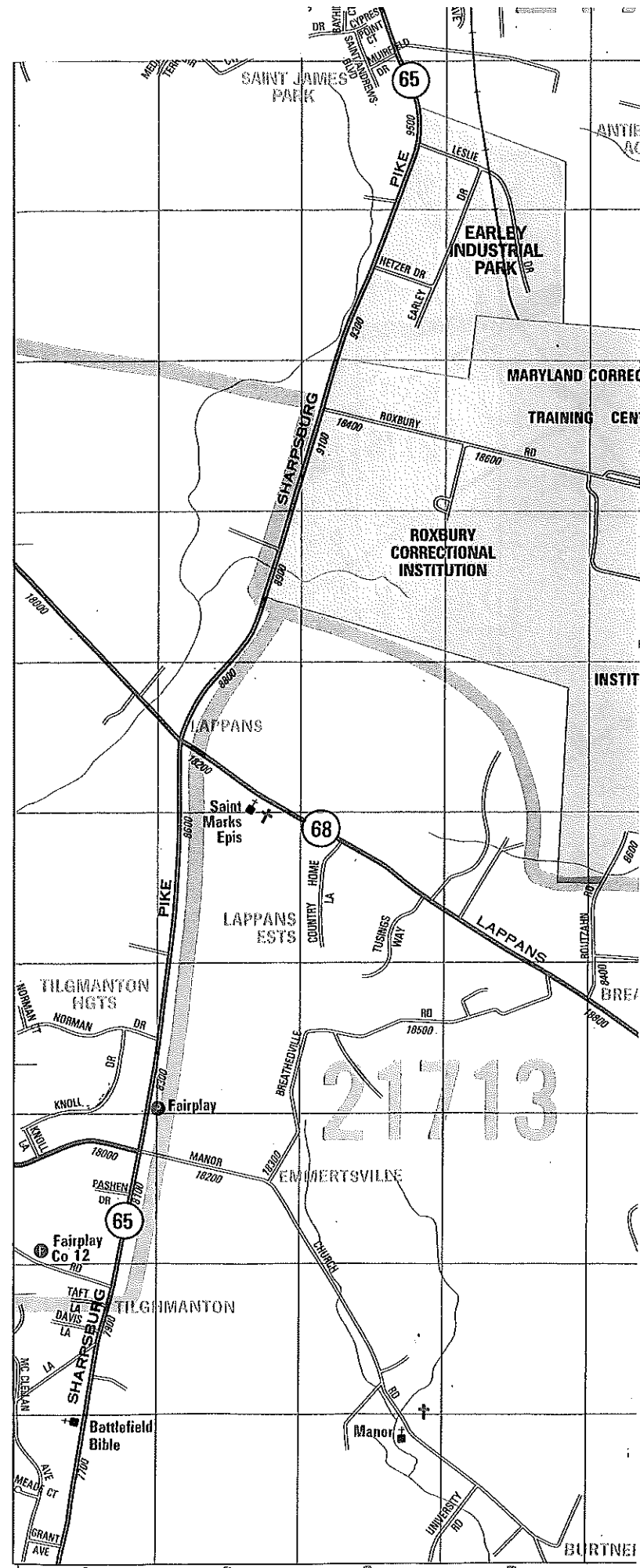
# Demolition Permit 2018-05724

## 18461 Manor Church Road





Map 30 77°45'00"



590,000 FT Joins Map 31

## REVIEW PROCEDURES - DEMOLITION PERMITS

Adopted by Board of County Commissioners - January 3, 1989  
Amended - July 17, 1990

At the regular meeting on January 3, the Board of County Commissioners adopted a policy to provide that applications for a demolition permit for any structure which is identified in the Washington County Historical Sites Inventory be transmitted to the Planning Commission for review and comment.

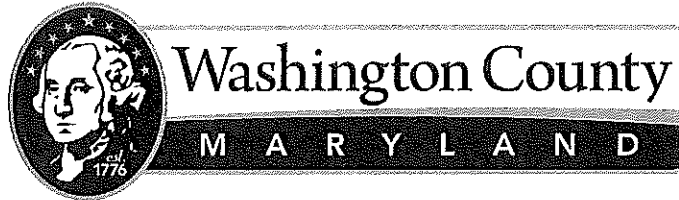
It is the Commissioners' intention that both the Planning Commission and the Historic District Commission (via transmittal from Planning) would have the opportunity to review these applications and provide any comments within a maximum of 60 days from the date of application. This policy does not provide for approval or disapproval of the demolition permit by either the Planning Commission or the Historic District Commission. Demolition permits will still be issued solely on the basis of meeting the technical requirements of applicable codes. The Board does feel, however, that proposed demolition of a structure with historical significance should be brought to the attention of all affected or interested parties so that appropriate measures through other existing programs or actions may be taken as necessary.

It is the Board's desire that the review be completed promptly and, as previously stated, within no more than a 60-day period. The demolition permit is not to be issued until the Planning Commission review is complete within the prescribed time frame.

AMENDMENT - July 17, 1990

It is not the intent of this policy to negate or in any way change the existing authority granted to the Historic District Commission by Article 20 of the Zoning Ordinance regarding review, approval or disapproval of demolition permits in the Historic Preservation (HP) Zone.

DEMOPOLICY



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

January 22, 2019


Mr. Robert Householder  
22025 Leitersburg-Smithsburg Road  
Smithsburg, MD 21783

Dear Mr. Householder:

As you know, the Washington County Historic District Commission recommended denial of your demolition permit application to demolish the two-story stone dwelling and two storage barns located at 18461 Manor Church Road. According to County policy, this action requires that the permit also be reviewed by the Planning Commission. The Planning Commission will meet on February 4, 2019 at 7:00 pm in Room 2000 of the Washington County Administration building located at 100 West Washington Street in Hagerstown. You are welcome and invited to attend the meeting and provide any information to support your intention to demolish the buildings.

For your information and use I am enclosing the historic sites inventory form that describes the building and its significance in Washington County history (site # WA-II-183). I am also providing the inventory forms for the stone house on the adjacent property to the east (WA-II-182) and the Manor Church of the Bretheren (WA-II-170) because they are closely related to your house. There are also other properties in the area of the same vintage that have historical relationships with yours that may be identified by using the County's Historic resources web map located on the Washington County website at:  
<https://washcomd.maps.arcgis.com/apps/webappviewer/index.html?id=a14568394b0b4ae29694ae2afe57bf2>

Also, please contact me if you would like to explore further any of the alternatives to demolition that were mentioned during the Historic District Commission meeting. These include subdivision of the house on a parcel to sell, Historic Preservation zoning and related tax credits for restoration or any of several land preservation programs. If you have questions prior to the Planning Commission, meeting please contact me.

Sincerely,  
  
Stephen T. Goodrich, Director  
Department of Planning and Zoning  
240-313-2438

ABSTRACT

WA-II-183

Emmert-Wingert House

1811

Boonsboro Vicinity

Private

Built in 1811, this two story, four bay stone dwelling is particularly important as a significant type of Washington County's Vernacular architecture. The Emmert family who built the house played an important role in the organization of the nearby Manor Bretheren Congregation.

MARYLAND HISTORICAL TRUST WORKSHEET

NOMINATION FORM  
 for the  
 NATIONAL REGISTER OF HISTORIC PLACES, NATIONAL PARKS SERVICE

SEE INSTRUCTIONS

1. NAME				
COMMON: <b>Emmert-Wingert House</b>				
AND/OR HISTORIC:				
2. LOCATION				
STREET AND NUMBER: <b>Manor Church Road</b>				
CITY OR TOWN: <b>Tilghmanton-Boonsboro Vicinity</b>				
STATE: <b>Maryland</b>		COUNTY: <b>Washington</b>		
3. CLASSIFICATION				
CATEGORY (Check One)		OWNERSHIP		STATUS
<input type="checkbox"/> District <input checked="" type="checkbox"/> Building <input type="checkbox"/> Site <input type="checkbox"/> Structure <input type="checkbox"/> Object		<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Both		<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress
PRESENT USE (Check One or More as Appropriate)		Public Acquisition:		ACCESSIBLE TO THE PUBLIC
<input checked="" type="checkbox"/> Agricultural <input type="checkbox"/> Government <input type="checkbox"/> Park <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Private Residence <input type="checkbox"/> Educational <input type="checkbox"/> Military <input type="checkbox"/> Religious <input type="checkbox"/> Entertainment <input type="checkbox"/> Museum <input type="checkbox"/> Scientific		<input type="checkbox"/> In Process <input type="checkbox"/> Being Considered		<input type="checkbox"/> Transportation <input type="checkbox"/> Comments <input type="checkbox"/> Other (Specify) _____ _____ _____
<input type="checkbox"/> Yes: <input type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> No				
4. OWNER OF PROPERTY				
OWNER'S NAME: <b>Lewis E. Wingert</b>				
STREET AND NUMBER: <b>323 North Potomac Street</b>				
CITY OR TOWN: <b>Hagerstown</b>		STATE: <b>Maryland</b>		<b>21740</b>
5. LOCATION OF LEGAL DESCRIPTION				
COURTHOUSE, REGISTRY OF DEEDS, ETC: <b>Washington County Court House</b>				
STREET AND NUMBER: <b>West Washington Street</b>				
CITY OR TOWN: <b>Hagerstown</b>		STATE: <b>Maryland</b>		<b>21740</b>
Title Reference of Current Deed (Book & Pg. #): <b>517/201</b>				
6. REPRESENTATION IN EXISTING SURVEYS				
TITLE OF SURVEY: <b>Maryland Historical Trust Survey # 2048</b>				
DATE OF SURVEY: <b>Summer 1967</b> <input type="checkbox"/> Federal <input checked="" type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> Local				
DEPOSITORY FOR SURVEY RECORDS: <b>Maryland Historical Trust</b>				
STREET AND NUMBER: <b>21 State Circle</b>				
CITY OR TOWN: <b>Annapolis</b>		STATE: <b>Maryland</b>		<b>21404</b>



DESCRIPTION	
CONDITION	(Check One)
	<input type="checkbox"/> Excellent <input checked="" type="checkbox"/> Good <input type="checkbox"/> Fair <input type="checkbox"/> Deteriorated <input type="checkbox"/> Ruins <input type="checkbox"/> Unexposed
	(Check One)
	<input checked="" type="checkbox"/> Altered < 50% <input type="checkbox"/> Uncluttered <input type="checkbox"/> Moved <input checked="" type="checkbox"/> Original Site
DESCRIBE THE PRESENT AND ORIGINAL (If known) PHYSICAL APPEARANCE	
<p>This house is located south of Manor Church Road, just west of the Manor Church between Boonsboro and Tilghmanton in Washington County, Maryland. It is situated on relatively level ground and faces east.</p> <p>The structure is a two story, four bay dwelling constructed of roughly coursed local fieldstone. A one story, three bay ell also of stone construction extends to the rear or west. To the north elevation of this ell is attached a one story, two bay stone structure and a one story wooden structure.</p> <p>Stones employed in the front elevation are rather carefully coursed while those at other elevations are more roughly dressed. Set in the south gable wall at the base of the chimney is an arch-topped date stone inscribed with the year 1811.</p> <p>Openings in the front elevation are grouped toward the north end of the house while the southernmost windows are set slightly apart. Windows of the main section are relatively small in relation to wall area. Flat arches of stone showing careful cutting at the front elevation are present over all openings at the two main stories. They display moderately wide frames joined with pegs. Two over two Victorian period sashes are present at all windows of the main section. Windows in the attached sections display narrow frames. A window in the north elevation of the addition appears to have its original nine over six pane sash.</p> <p>The main entrance is located in the second bay from the south end of the front elevation. It is framed similarly to the windows with a four light transom over the door. An entrance porch with a low hipped roof shelters the door.</p> <p>The roof is covered with sheet metal and terminates at all gables with tapered barge boards set directly against the walls. Beneath the eaves boxing at the front elevation is a course of finely worked dentil molding. Stone chimneys with decorative corbels at their tops rise from inside each gable end of the main structure. Smaller brick chimneys are located inside the gables of the stone additions. The adjoining wooden structure has a large exterior stone fireplace topped with a brick flue.</p> <p>The house appears to be in good condition and is located on a tract containing 152 acres. Just south of the house is a large frame bank barn and other buildings related to agricultural use. On an adjoining property just southeast of this house is another stone dwelling built Ca. 1798 and described in form WA-II-182.</p>	

SEE INSTRUCTIONS

SIGNIFICANCE							
<b>PERIOD (Check One or More as Appropriate)</b> <input type="checkbox"/> Pre-Columbian <input type="checkbox"/> 16th Century <input type="checkbox"/> 18th Century <input type="checkbox"/> 20th Century <input type="checkbox"/> 15th Century <input type="checkbox"/> 17th Century <input checked="" type="checkbox"/> 19th Century							
<b>SPECIFIC DATE(S) (If Applicable and Known) 1811 - Emmert</b>							
<b>AREAS OF SIGNIFICANCE (Check One or More as Appropriate)</b> <table style="width: 100%; border: none;"> <tr> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Aboriginal  <input type="checkbox"/> Prehistoric  <input type="checkbox"/> Historic  <input type="checkbox"/> Agriculture  <input checked="" type="checkbox"/> Architecture  <input type="checkbox"/> Art  <input type="checkbox"/> Commerce  <input type="checkbox"/> Communications  <input type="checkbox"/> Conservation                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Education  <input type="checkbox"/> Engineering  <input type="checkbox"/> Industry  <input type="checkbox"/> Invention  <input type="checkbox"/> Landscape  <input type="checkbox"/> Architecture  <input type="checkbox"/> Literature  <input type="checkbox"/> Military  <input type="checkbox"/> Music                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Political  <input type="checkbox"/> Religion/Philosophy  <input type="checkbox"/> Science  <input type="checkbox"/> Sculpture  <input type="checkbox"/> Social/Humanitarian  <input type="checkbox"/> Theater  <input type="checkbox"/> Transportation                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Urban Planning  <input type="checkbox"/> Other (Specify)                  _____                  _____                  _____                  _____                  _____                 </td> </tr> </table>				<input type="checkbox"/> Aboriginal <input type="checkbox"/> Prehistoric <input type="checkbox"/> Historic <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Architecture <input type="checkbox"/> Art <input type="checkbox"/> Commerce <input type="checkbox"/> Communications <input type="checkbox"/> Conservation	<input type="checkbox"/> Education <input type="checkbox"/> Engineering <input type="checkbox"/> Industry <input type="checkbox"/> Invention <input type="checkbox"/> Landscape <input type="checkbox"/> Architecture <input type="checkbox"/> Literature <input type="checkbox"/> Military <input type="checkbox"/> Music	<input type="checkbox"/> Political <input type="checkbox"/> Religion/Philosophy <input type="checkbox"/> Science <input type="checkbox"/> Sculpture <input type="checkbox"/> Social/Humanitarian <input type="checkbox"/> Theater <input type="checkbox"/> Transportation	<input type="checkbox"/> Urban Planning <input type="checkbox"/> Other (Specify) _____ _____ _____ _____ _____
<input type="checkbox"/> Aboriginal <input type="checkbox"/> Prehistoric <input type="checkbox"/> Historic <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Architecture <input type="checkbox"/> Art <input type="checkbox"/> Commerce <input type="checkbox"/> Communications <input type="checkbox"/> Conservation	<input type="checkbox"/> Education <input type="checkbox"/> Engineering <input type="checkbox"/> Industry <input type="checkbox"/> Invention <input type="checkbox"/> Landscape <input type="checkbox"/> Architecture <input type="checkbox"/> Literature <input type="checkbox"/> Military <input type="checkbox"/> Music	<input type="checkbox"/> Political <input type="checkbox"/> Religion/Philosophy <input type="checkbox"/> Science <input type="checkbox"/> Sculpture <input type="checkbox"/> Social/Humanitarian <input type="checkbox"/> Theater <input type="checkbox"/> Transportation	<input type="checkbox"/> Urban Planning <input type="checkbox"/> Other (Specify) _____ _____ _____ _____ _____				
<b>STATEMENT OF SIGNIFICANCE</b>  <p>This house is primarily significant for its architecture. It is also important for its association with the Emmert and Wingert families who have occupied the house since it was built.</p> <p>Constructed of stone in the four bay off center front door plan, this house is an example of a major architectural group in Western Maryland and Southern Pennsylvania. Several examples of stone dwellings of this plan are present in the Manor Church vicinity, dating from the late 18th and early 19th centuries. Houses of wood, stone and brick following the four bay, off center door plan seem to be prominent in areas where Pennsylvania German influence is strong. Built in 1811, this house is particularly important as a dated example of a significant type of Washington County's Vernacular architecture. Several features such as the dentil cornice work and the fine stonework over the windows is worthy of particular note.</p> <p>The Emmert family with whom this house is associated were prominent early residents in the Manor Church vicinity, playing an important role in the organization of the Church. Arriving in the area later than the Smith and Hershey families, other land holders in the vicinity, Leonard Emmert purchased 410 acres of "Delemere" from John Booth in 1798 (Liber L, Folio 256). He is said to have built the stone house described in form WA-II-182. It is not known which member of his family built this house in 1811.</p>							

SEE INSTRUCTIONS

**9 MAJOR BIBLIOGRAPHICAL REFERENCES**

Henry, J. Maurice, History Of The Church Of The Brethren In Maryland,  
Elgin, III: Bretheren Publishing House, 1936.

Washington County Land Records.

Washington County Probate Records.

**10 GEOGRAPHICAL DATA**

LATITUDE AND LONGITUDE COORDINATES DEFINING A RECTANGLE LOCATING THE PROPERTY				O R	LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES				
CORNER	LATITUDE		LONGITUDE		LATITUDE		LONGITUDE		
	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds
NW	0	'	"	0	'	"	0	'	"
NE	0	'	"	0	'	"	0	'	"
SE	0	'	"	0	'	"	0	'	"
SW	0	'	"	0	'	"	0	'	"

APPROXIMATE ACREAGE OF NOMINATED PROPERTY: **152 acres.**

Acreege Justification:

SEE INSTRUCTIONS

**11 FORM PREPARED BY**

NAME AND TITLE:  
**Paula Stoner Dickey, Consultant**

ORGANIZATION: **Washington County Historical Sites Survey**      DATE: **December 1975**

STREET AND NUMBER:  
**Court House Annex**

CITY OR TOWN: **Hagerstown**      STATE: **Maryland**

**12 State Liaison Officer Review: (Office Use Only)**

Significance of this property is:  
National     State     Local

\_\_\_\_\_  
Signature

Liber Folio  
517/201

January 15, 1971

Grantor: Lewis E. Wingert, Personal Representative of Bessie E. Wingert, deceased.

Grantee: Lewis E. Wingert  
"Delemere" 152 acres, 1 rood and 9 perches.

Liber Folio  
191/638

August 29, 1932

Grantors: Leonard D. Emmert & Annie R. Emmert

Grantees: Bessie Emmert Wingert, wife of Lewis P. Wingert

An undivided  $\frac{1}{2}$  int. of Leonard D. Emmert  
152 acres, 1 rood and 9 perches.

Liber Folio  
131/447

April 14, 1909

Grantor: Isaac Emmert

Grantees: Leonard D. Emmert & Bessie R. Emmert

Liber Folio  
74/596

March 25, 1876

Grantors: Leonard Emmert & Sarah A. Emmert

Grantee: Isaac Emmert

Liber Folio  
L/256

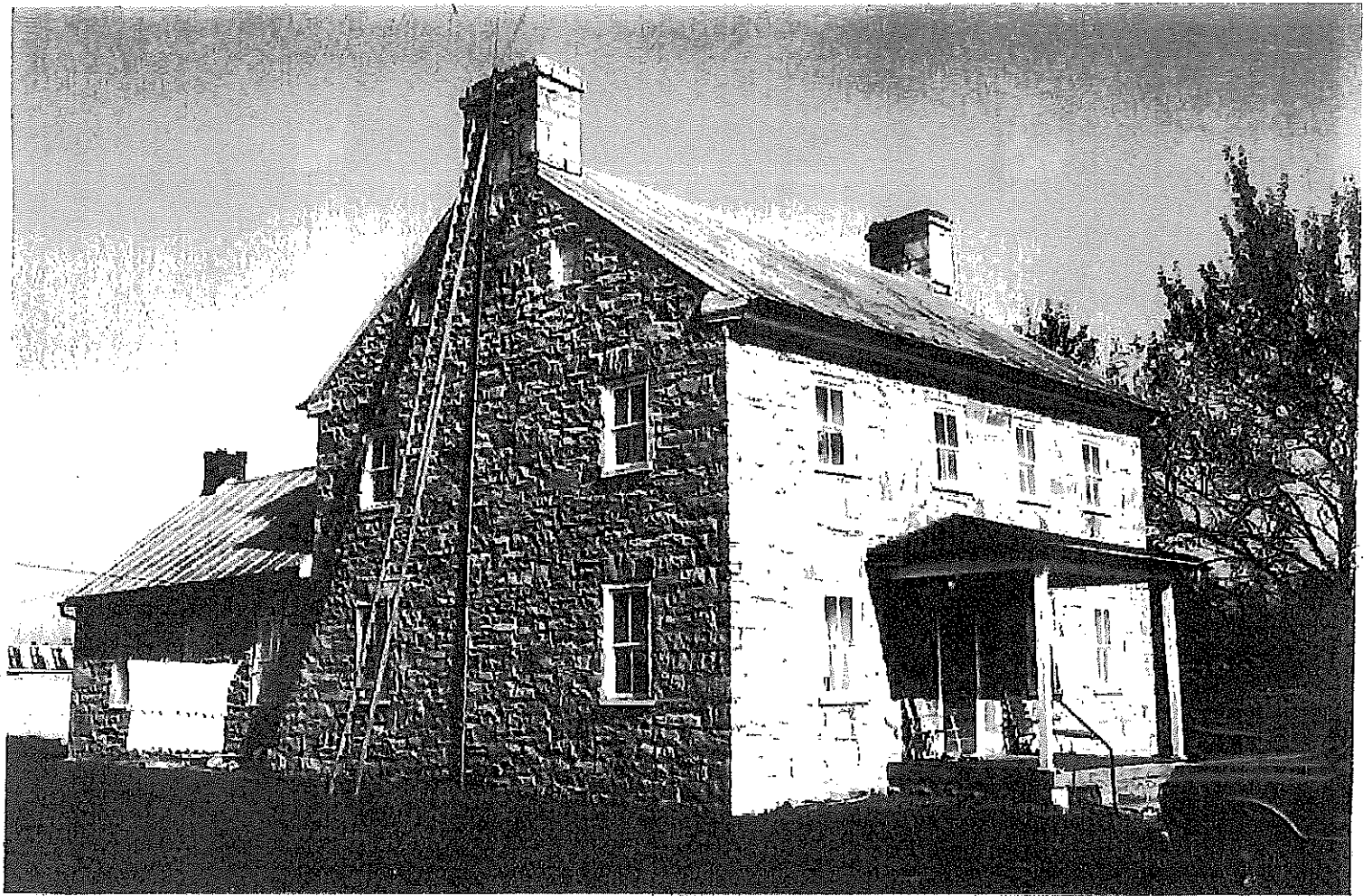
June 30, 1798

Grantor: John Booth

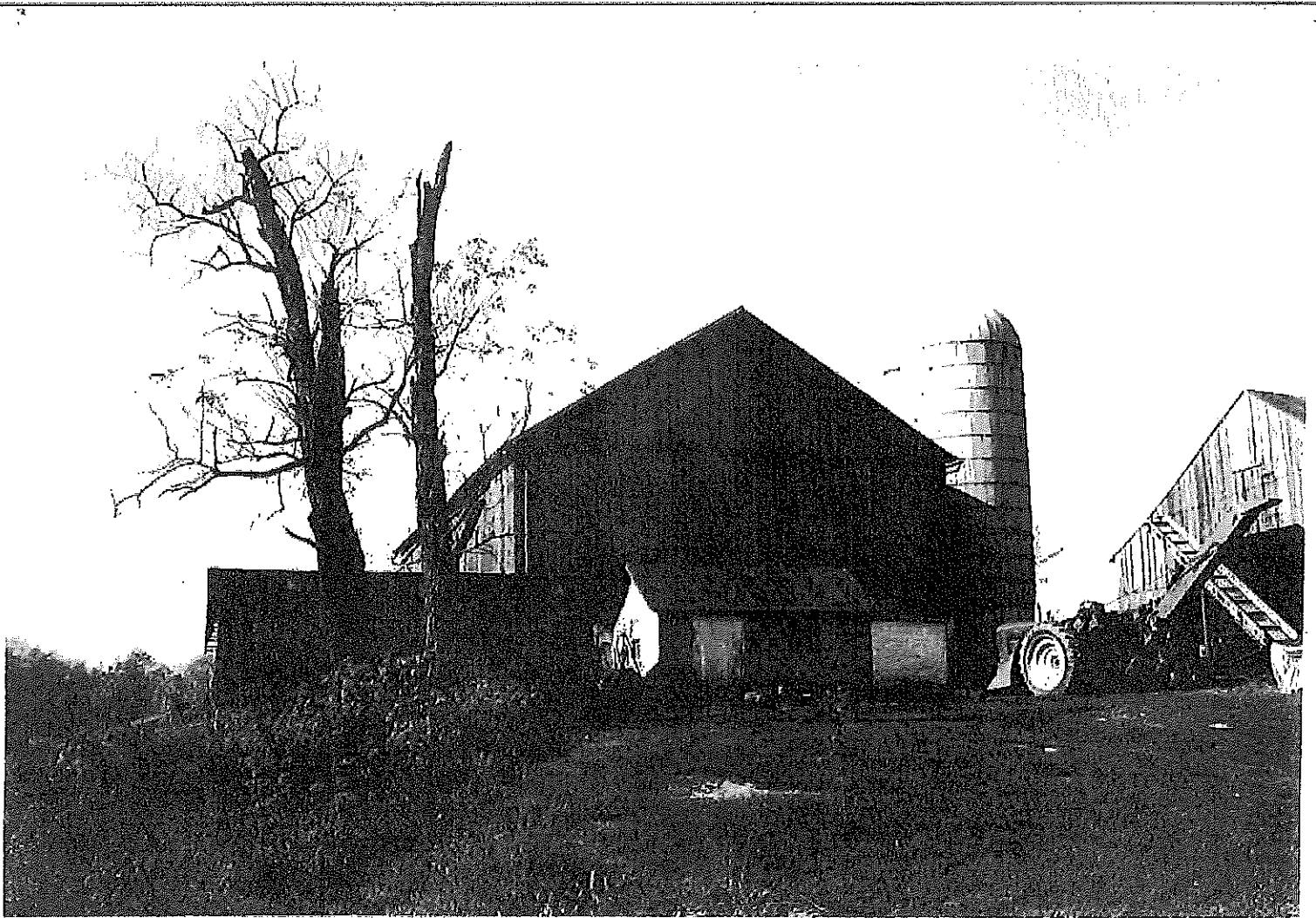
Grantee: Leonard Emmert

L2256.7 "Delemere" 410 acres.











ABSTRACT

WA-II-182

Emmert-Wolfinger Farm

1798-99

Tilghmanton-Boonsboro Vicinity

private

The central chimney limestone house on this farm was most probably built by John Leonard Emmert in 1798-99. Constructed directly over a spring this house is primarily significant for the early Germanic building traditions it displays.

2205615204

MARYLAND HISTORICAL TRUST WORKSHEET

NOMINATION FORM  
 for the  
 NATIONAL REGISTER OF HISTORIC PLACES, NATIONAL PARKS SERVICE

SEE INSTRUCTIONS

1. NAME				
COMMON: <b>Emmert-Wolfinger Farm</b>				
AND/OR HISTORIC:				
2. LOCATION				
STREET AND NUMBER: <b>Manor Church Road</b>				
CITY OR TOWN: <b>Boonsboro-Tilghmanton Vicinity</b>				
STATE: <b>Maryland</b>			COUNTY: <b>Washington</b>	
3. CLASSIFICATION				
CATEGORY (Check One)	OWNERSHIP		STATUS	ACCESSIBLE TO THE PUBLIC
<input type="checkbox"/> District <input type="checkbox"/> Site <input type="checkbox"/> Object <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Both	Public Acquisition: <input type="checkbox"/> In Process <input type="checkbox"/> Being Considered	<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress	Yes: <input type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> No
PRESENT USE (Check One or More as Appropriate)				
<input checked="" type="checkbox"/> Agricultural <input type="checkbox"/> Commercial <input type="checkbox"/> Educational <input type="checkbox"/> Entertainment	<input type="checkbox"/> Government <input type="checkbox"/> Industrial <input type="checkbox"/> Military <input type="checkbox"/> Museum	<input type="checkbox"/> Park <input checked="" type="checkbox"/> Private Residence <input type="checkbox"/> Religious <input type="checkbox"/> Scientific	<input type="checkbox"/> Transportation <input type="checkbox"/> Other (Specify) _____ _____ _____	<input type="checkbox"/> Comments _____ _____
4. OWNER OF PROPERTY				
OWNER'S NAME: <b>Earl Wolfinger</b>				
STREET AND NUMBER: <b>Route # 1</b>				
CITY OR TOWN: <b>Boonsboro</b>			STATE: <b>Maryland</b>	
			<b>21713</b>	
5. LOCATION OF LEGAL DESCRIPTION				
COURTHOUSE, REGISTRY OF DEEDS, ETC.: <b>Washington County Court House</b>				
STREET AND NUMBER: <b>West Washington Street</b>				
CITY OR TOWN: <b>Hagerstown</b>			STATE: <b>Maryland</b>	
			<b>21740</b>	
Title Reference of Current Deed (Book & Pg. #): <b>234/626</b>				
6. REPRESENTATION IN EXISTING SURVEYS				
TITLE OF SURVEY: <b>Maryland Historical Trust Survey # 2047</b>				
DATE OF SURVEY: <b>Summer 1967</b> <input type="checkbox"/> Federal <input checked="" type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> Local				
DEPOSITORY FOR SURVEY RECORDS: <b>Maryland Historical Trust</b>				
STREET AND NUMBER: <b>21 State Circle</b>				
CITY OR TOWN: <b>Annapolis</b>			STATE: <b>Maryland</b>	
			<b>21404</b>	

DESCRIPTION	
CONDITION	(Check One) <input type="checkbox"/> Excellent <input type="checkbox"/> Good <input type="checkbox"/> Fair <input checked="" type="checkbox"/> Deteriorated <input type="checkbox"/> Ruins <input type="checkbox"/> Unexposed
	(Check One) <input checked="" type="checkbox"/> Altered < 50% <input type="checkbox"/> Unaltered <input type="checkbox"/> Moved <input checked="" type="checkbox"/> Original Site
DESCRIBE THE PRESENT AND ORIGINAL (If known) PHYSICAL APPEARANCE	
<p>This house is located west of Manor Church Road and several hundred feet west of the Manor Church east of Tilghmanton in Washington County, Maryland. It is situated near the base of a hill directly over a spring and faces south.</p> <p>The structure is a one and a half story stone dwelling constructed of coursed local limestone. A three bay one and a half story addition with a shed roof extends to the rear or north. The house is constructed into a steep bank so that the ground story is exposed on the east, south and north elevations. The addition extends from the roof peak of the main section giving the dwelling the appearance of having two full stories at its west elevation. Careful masonry work employing relatively small stones is evident at the main section. Decorative work includes flat arches over all openings at the main and ground story levels. Somewhat less coursing is evident in the stonework of the addition. Openings are, however, topped with flat arches of carefully cut stone. The spring emerges from the east wall of the main section.</p> <p>Openings are placed at random in all walls except for the east elevation of the main section where some symmetry is evident. All windows have massive frames joined with wooden pegs and trimmed with quarter round molding. Those at the main story have nine over six pane sashes while windows at the ground and upper story levels employ six over six light sashes. Window treatment at both sections of the house is consistent.</p> <p>The main entrance is located in the east bay of the front elevation. The door and door frame appear to have been replaced. It has a broad transom. A porch included under the main roof span extends along the entire front elevation. At the west elevation are three entrances all with narrow frames which appear to have been replaced. Entrances at the ground level in the south and north elevations of the main section appear to retain their original frames.</p> <p>The roof is covered with sheet metal and terminates with plain barge boards set directly against the end walls. The eaves are finished with simple boxing. A large central flue of stone capped with brick extends from the interior of the main section. A second large chimney of stone is located inside the north end wall of the addition.</p> <p>Southwest of the house at the top of the bluff are the ruins of a large stone end bank barn. The house is in deteriorated condition on a property containing 90 acres.</p>	

SEE INSTRUCTIONS

SIGNIFICANCE							
<b>PERIOD (Check One or More as Appropriate)</b> <input type="checkbox"/> Pre-Columbian <input type="checkbox"/> 16th Century <input checked="" type="checkbox"/> 18th Century <input type="checkbox"/> 20th Century <input type="checkbox"/> 15th Century <input type="checkbox"/> 17th Century <input type="checkbox"/> 19th Century							
<b>SPECIFIC DATE(S) (If Applicable and Known)</b> <b>Ca. 1798</b>							
<b>AREAS OF SIGNIFICANCE (Check One or More as Appropriate)</b> <table style="width: 100%; border: none;"> <tr> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Aboriginal  <input type="checkbox"/> Prehistoric  <input type="checkbox"/> Historic  <input type="checkbox"/> Agriculture  <input checked="" type="checkbox"/> Architecture  <input type="checkbox"/> Art  <input type="checkbox"/> Commerce  <input type="checkbox"/> Communications  <input type="checkbox"/> Conservation                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Education  <input type="checkbox"/> Engineering  <input type="checkbox"/> Industry  <input type="checkbox"/> Invention  <input type="checkbox"/> Landscape  <input type="checkbox"/> Architecture  <input type="checkbox"/> Literature  <input type="checkbox"/> Military  <input type="checkbox"/> Music                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Political  <input checked="" type="checkbox"/> Religion/Philosophy  <input type="checkbox"/> Science  <input type="checkbox"/> Sculpture  <input type="checkbox"/> Social/Humanitarian  <input type="checkbox"/> Theater  <input type="checkbox"/> Transportation                 </td> <td style="width: 25%; vertical-align: top;"> <input type="checkbox"/> Urban Planning  <input type="checkbox"/> Other (Specify)  <hr/>  <hr/>  <hr/>  <hr/>  <hr/>  <hr/> </td> </tr> </table>				<input type="checkbox"/> Aboriginal <input type="checkbox"/> Prehistoric <input type="checkbox"/> Historic <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Architecture <input type="checkbox"/> Art <input type="checkbox"/> Commerce <input type="checkbox"/> Communications <input type="checkbox"/> Conservation	<input type="checkbox"/> Education <input type="checkbox"/> Engineering <input type="checkbox"/> Industry <input type="checkbox"/> Invention <input type="checkbox"/> Landscape <input type="checkbox"/> Architecture <input type="checkbox"/> Literature <input type="checkbox"/> Military <input type="checkbox"/> Music	<input type="checkbox"/> Political <input checked="" type="checkbox"/> Religion/Philosophy <input type="checkbox"/> Science <input type="checkbox"/> Sculpture <input type="checkbox"/> Social/Humanitarian <input type="checkbox"/> Theater <input type="checkbox"/> Transportation	<input type="checkbox"/> Urban Planning <input type="checkbox"/> Other (Specify) <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<input type="checkbox"/> Aboriginal <input type="checkbox"/> Prehistoric <input type="checkbox"/> Historic <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Architecture <input type="checkbox"/> Art <input type="checkbox"/> Commerce <input type="checkbox"/> Communications <input type="checkbox"/> Conservation	<input type="checkbox"/> Education <input type="checkbox"/> Engineering <input type="checkbox"/> Industry <input type="checkbox"/> Invention <input type="checkbox"/> Landscape <input type="checkbox"/> Architecture <input type="checkbox"/> Literature <input type="checkbox"/> Military <input type="checkbox"/> Music	<input type="checkbox"/> Political <input checked="" type="checkbox"/> Religion/Philosophy <input type="checkbox"/> Science <input type="checkbox"/> Sculpture <input type="checkbox"/> Social/Humanitarian <input type="checkbox"/> Theater <input type="checkbox"/> Transportation	<input type="checkbox"/> Urban Planning <input type="checkbox"/> Other (Specify) <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>				
<b>STATEMENT OF SIGNIFICANCE</b>  <p>This house is significant for its architecture and for its association with the Emmert family, important early residents of the area who were instrumental in organizing the Manor Church.</p> <p>The property on which this house stands is part of a land grant called "Delemere" which was purchased by Leonard Emmert from John Booth on June 30, 1798 for L2256:7:6. Emmert's purchase included 410 acres. According to J. Maurice Henry in his <u>History of the Church of the Bretheren in Maryland</u>, John Leonard Emmert was the builder of this house on which he began construction in 1798 or 99.<sup>1</sup> The house certainly appears to have been built as early as 1798. It reflects early Germanic building traditions in the use of the central chimney and possibly the practice of building directly over a spring. This house is outstanding as one of a small number of 18th century dwellings in Washington County which employ central chimney construction. All of these houses have been linked to people of Germanic descent who migrated to Washington County from Southern Pennsylvania.</p> <p>John Leonard Emmert was born in Berks County, Pennsylvania in 1744. He served in the Revolutionary Army from 1775-1777. He moved to Washington County in 1798 and died in 1804. He is said to have been interred in the family cemetery overlooking the homestead.<sup>2</sup></p> <p>The Emmert family were active in the history of the Manor Church. John Emmert, son of John Leonard, was a minister of the Manor Congregation. According to Henry, services were held in the vicinity in private houses as early as 1790. The church was built in 1839 on one acre of land which was donated by Michael and Anna Emmert, apparently from this farm.<sup>3</sup> The property remained in the Emmert family until 1866.</p> <p><sup>1</sup> J. Maurice Henry, <u>History of the Church of the Bretheren in Maryland</u>. Elgin III: Bretheren Publishing House (1936) p. 48.</p> <p><sup>2</sup> <u>Ibid.</u> 48,225</p> <p><sup>3</sup> <u>Ibid.</u> 191</p>							

SEE INSTRUCTIONS

WA-II-182

**9 MAJOR BIBLIOGRAPHICAL REFERENCES**

Henry J. Maurice, History of the Church of the Bretheren in Maryland.  
Elgin, III: Bretheren Publishing House, 1936.

Washington County Land Records.

**10 GEOGRAPHICAL DATA**

LATITUDE AND LONGITUDE COORDINATES DEFINING A RECTANGLE LOCATING THE PROPERTY				O R	LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES				
CORNER	LATITUDE		LONGITUDE		LATITUDE		LONGITUDE		
	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds
NW	°	'	"	°	'	"	°	'	"
NE	°	'	"	°	'	"	°	'	"
SE	°	'	"	°	'	"	°	'	"
SW	°	'	"	°	'	"	°	'	"

APPROXIMATE ACREAGE OF NOMINATED PROPERTY: **90 acres.**

Acreage Justification:

[Empty space for Acreage Justification]

**11 FORM PREPARED BY**

NAME AND TITLE:  
**Paula Stoner Dickey, Consultant**

ORGANIZATION: **Washington County Historical Sites Survey**      DATE: **December 1975**

STREET AND NUMBER:  
**Court House Annex**

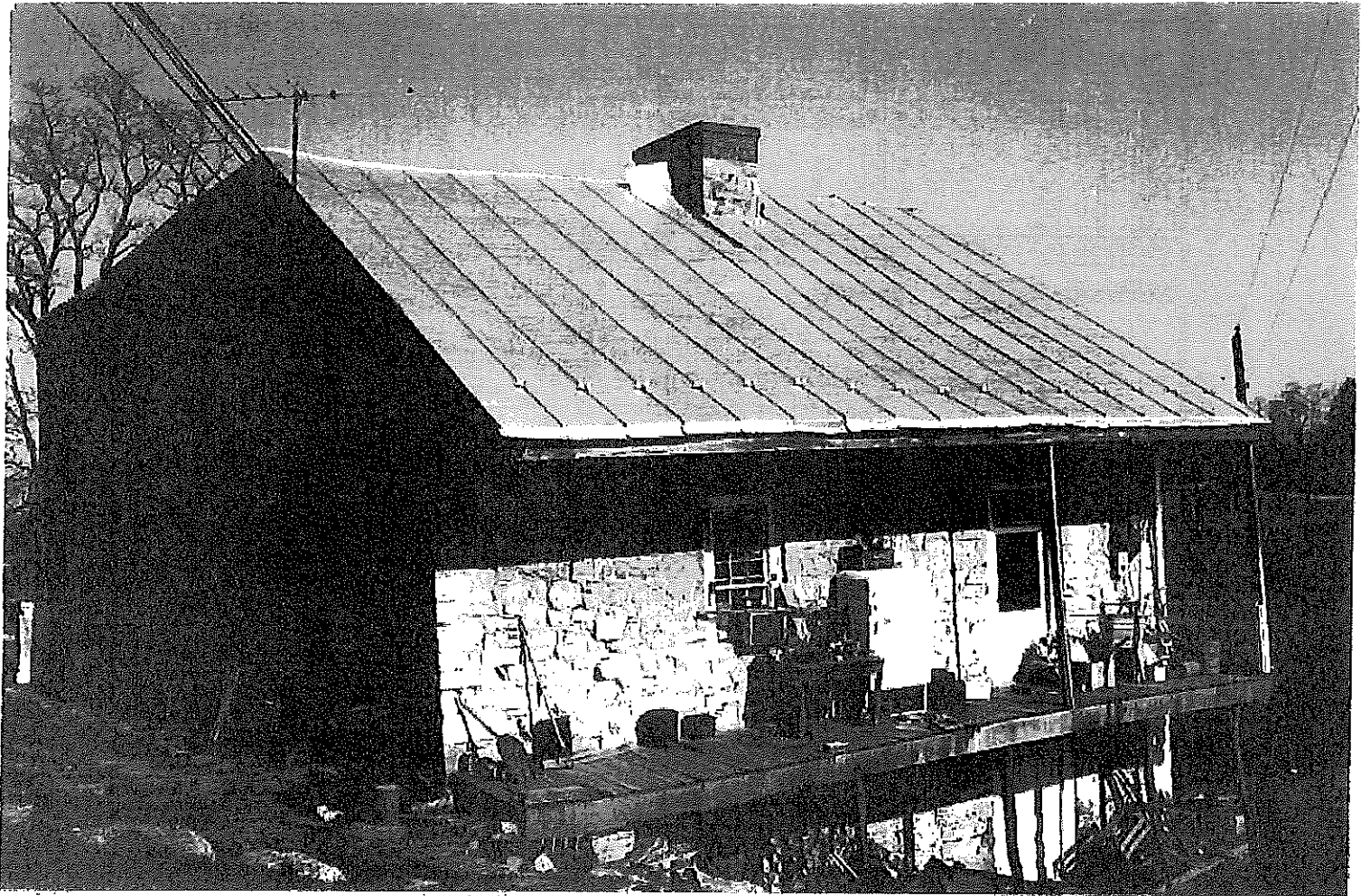
CITY OR TOWN: **Hagerstown**      STATE: **Maryland**

**12 State Liaison Officer Review: (Office Use Only)**

Significance of this property is:  
 National     State     Local

\_\_\_\_\_  
Signature

SEE INSTRUCTIONS





ABSTRACT

WA-II-170

1830

Manor Church of the Bretheran  
Tilghmanton Vicinity  
private

According to J. Maurice Henry's History of the Church of the Brethren in Maryland, the Manor Congregation met as early as the 1790's, led by Elder David Long at a large house at what was later called Oak Ridge. Williams' History of Washington County states that the Manor Congregation was formerly part of that which was the Antietam Congregation, first known as the Conococheague Church. It is said to have been one of the first organizations of Dunker Brethren, a German sect, to locate west of the Susquehanna River. The Church was established about 1750 near Waynesboro, Pennsylvania.

The Church edifice which utilizes the native limestone as a building material is one of an important group of structures along the Manor Road. Displaying characteristics used in vernacular stone structures during the second quarter of the 19th century, the Manor Church reflects the environment and the aesthetic values of its builders.



INVENTORY FORM FOR STATE HISTORIC SITES SURVEY

**1 NAME**

HISTORIC

Manor Church of the Bretheran

AND/OR COMMON

Manor Church

**2 LOCATION**

STREET & NUMBER

Manor Church Road

CITY, TOWN

CONGRESSIONAL DISTRICT

\_\_\_ VICINITY OF Tilghmanton

STATE

Maryland

COUNTY

Washington

**3 CLASSIFICATION**

CATEGORY

OWNERSHIP

STATUS

PRESENT USE

\_\_\_DISTRICT

\_\_\_PUBLIC

OCCUPIED

\_\_\_AGRICULTURE

\_\_\_MUSEUM

BUILDING(S)

PRIVATE

\_\_\_UNOCCUPIED

\_\_\_COMMERCIAL

\_\_\_PARK

\_\_\_STRUCTURE

\_\_\_BOTH

\_\_\_WORK IN PROGRESS

\_\_\_EDUCATIONAL

\_\_\_PRIVATE RESIDENCE

\_\_\_SITE

**PUBLIC ACQUISITION**

**ACCESSIBLE**

\_\_\_ENTERTAINMENT

RELIGIOUS

\_\_\_OBJECT

\_\_\_IN PROCESS

YES: RESTRICTED

\_\_\_GOVERNMENT

\_\_\_SCIENTIFIC

\_\_\_BEING CONSIDERED

\_\_\_YES: UNRESTRICTED

\_\_\_INDUSTRIAL

\_\_\_TRANSPORTATION

\_\_\_NO

\_\_\_MILITARY

\_\_\_OTHER:

**4 OWNER OF PROPERTY**

NAME

Church of the Brethren Manor Congregation of  
Washington County.

Telephone #:

STREET & NUMBER

Manor Church Road, Route # 1

CITY, TOWN

Boonsboro

\_\_\_ VICINITY OF

STATE, zip code

Maryland 21713

**5 LOCATION OF LEGAL DESCRIPTION**

COURTHOUSE,  
REGISTRY OF DEEDS, ETC.

Washington County Court House

Liber #: UU

Folio #: 147

STREET & NUMBER

West Washington Street

CITY, TOWN

Hagerstown

STATE

Maryland 21740

**6 REPRESENTATION IN EXISTING SURVEYS**

TITLE

DATE

\_\_\_ FEDERAL \_\_\_ STATE \_\_\_ COUNTY \_\_\_ LOCAL

DEPOSITORY FOR  
SURVEY RECORDS

CITY, TOWN

STATE

**7 DESCRIPTION**

WA-II-170

CONDITION		CHECK ONE	CHECK ONE
<input checked="" type="checkbox"/> EXCELLENT	<input type="checkbox"/> DETERIORATED	<input type="checkbox"/> UNALTERED	<input checked="" type="checkbox"/> ORIGINAL SITE
<input type="checkbox"/> GOOD	<input type="checkbox"/> RUINS	<input checked="" type="checkbox"/> ALTERED < 50%	<input type="checkbox"/> MOVED DATE _____
<input type="checkbox"/> FAIR	<input type="checkbox"/> UNEXPOSED		

## DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Manor Church is located on the west side of Manor Church Road near Emmertsville southeast of Tilghmanton in Washington County, Maryland. It is situated on sloping ground near a spring run and has principal facades facing east and north.

The Church is a one and a half story structure, eight bays in length and three bays wide, built of roughly coursed local limestones. A modern brick two story, six bay addition extends to the east. This addition obscures the three southern bays of the front elevation. Large stone lintels are present above most window and door openings. An entrance in the center bay of the north gable end is topped with a flat arch of cut stones. There is no decorative masonry associated with the exterior of the building.

Windows have narrow wooden frames finished with a bead at the inside edge. Main story windows have nine over six pane double hung sashes while lower story windows located at the rear of the building have six over six light sashes. Small windows with board shutters are set in the gables. Most main story windows are flanked with louvered shutters.

An old photograph of the Church published in the 1906 History of Washington County by T.J.C. Williams' indicates that entrances were located in the third and fifth bays from the south end of the east elevation. The more elaborate of these two entrances is that which is now used, set in the northerly position. It has double paneled doors topped with a five light transom. Another principal entrance is centered in the north gable end. Although it is similar in appearance to the other door, it does display more elaborate masonry above its transom.

The roof of the building is covered with sheet metal. It extends slightly beyond the north end wall but terminates flush with the south gable wall. Small brick chimneys are located inside each gable end.

The Manor Church appears to be in excellent condition. It stands on a lot containing slightly more than one acre, part of "The Resurvey on Three Springs" which was purchased by the Church deacons from Michael and Ann Emmert for \$50 in 1839. The Manor Cemetery is located across Manor Church Road from the Church.

CONTINUE ON SEPARATE SHEET IF NECESSARY

# 8 SIGNIFICANCE

WA-II-170

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input checked="" type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input checked="" type="checkbox"/> SOCIAL/HUMANITARIAN
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES      1830

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

According to J. Maurice Henry's History of the Church of the Brethren in Maryland, the Manor Congregation met as early as the 1790's, led by Elder David Long at a large house at what was later called Oak Ridge. Williams' History of Washington County states that the Manor Congregation was formerly part of that which was the Antietam Congregation, first known as the Conococheague Church. It is said to have been one of the first organizations of Dunker Brethren, a German sect, to locate west of the Susquehanna River. The Church was established about 1750 near Waynesboro, Pennsylvania.

The Williams' account further states that the Manor Dunker Congregation was the first formed from the Antietam Church and that their Church building was constructed in 1830. According to the Washington County Land Records, June UU, page 147, Michael and Ann Emmert sold one acre and 14 perches of land, part of the "Resurvey on Three Springs" to John S. Rowland, David Wolf, Emanuel Long and Joseph Wolf, Church Deacons for \$50. The deed notes that the land was the same on which the aforesaid Brethren have heretofore erected a house for public Divine Worship.

The Church edifice which utilizes the native limestone as a building material is one of an important group of structures along the Manor Church Road. Displaying characteristics used in vernacular stone structures during the second quarter of the 19th century, the Manor Church reflects the environment and the aesthetic values of its builders.

The adjoining cemetery includes members of the Emmert, Reichard, Long, Groff and other families.

CONTINUE ON SEPARATE SHEET IF NECESSARY

**9 MAJOR BIBLIOGRAPHICAL REFERENCES**

Henry, J. Maurice, History of the Church of the Brethren in Maryland.  
 Elgin, Illinois: Brethren Publishing House, 1936.  
 Washington County Land Records.  
 Williams', T.J.C., History of Washington County. Hagerstown, Md:  
 Mail Publishing Co., 1906.

CONTINUE ON SEPARATE SHEET IF NECESSARY

**10 GEOGRAPHICAL DATA**

ACREAGE OF NOMINATED PROPERTY \_\_\_\_\_

VERBAL BOUNDARY DESCRIPTION

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	COUNTY
STATE	COUNTY

**11 FORM PREPARED BY**

NAME / TITLE

Paula Stoner Dickey, Consultant

ORGANIZATION

Washington County Historical Sites Survey

DATE

August 1976

STREET & NUMBER

County Office Building, 33 West Washington Street

TELEPHONE

791-3065

CITY OR TOWN

Hagerstown

STATE

Maryland 21740

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature, to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 Supplement.

The Survey and Inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

RETURN TO: Maryland Historical Trust  
 The Shaw House, 21 State Circle  
 Annapolis, Maryland 21401  
 (301) 267-1438

