



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION PUBLIC REZONING INFORMATION MEETING AND REGULAR MEETING

July 9, 2018, 7:00 PM

WASHINGTON COUNTY ADMINISTRATION BUILDING

100 WEST WASHINGTON STREET

2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. June 4, 2018 Planning Commission regular meeting minutes *

SUBDIVISIONS

1. **Ganesh LLC [S-18-013]** – Preliminary/Final Plat to create a 5.0 acre commercial parcel for future development on property located along the south side of Mason Dixon Road; Zoning: HI – Highway Interchange; Planner: Lisa Kelly *

SITE PLANS

1. **Sheetz [SP-18-013]** – Proposed rebuild of an existing Sheetz store located at the intersection of National Pike and Mapleville Road at Beaver Creek; Zoning – RV(RB overlay) – Rural Village with a Rural Business overlay; Planner: Lisa Kelly *
2. **Middletown Valley Bank [SP-18-007]** – Proposed site for Middletown Valley Bank along the east side of Pennsylvania Avenue; Zoning: BG (Business General); Planner: Cody Shaw *

FOREST CONSERVATION

1. **Buffington [S-18-020]** – Replat of property located at 20617 Gapland Road (Lot 4, Sweetwater Crossing) to vacate a small portion of the existing forest conservation easement; Planner: Lisa Kelly *
2. **Vista Business Park [FP-18-003]** – Proposed forest conservation plan for a 83.33 acre parcel of land to be developed along the south side of Showalter Road; Zoning: HI (Highway Interchange); Planner: Cody Shaw *

OTHER BUSINESS

1. **Update of Staff Approvals** – Tim Lung
2. **School Capacity Discussion** – Steve Goodrich
3. **Comprehensive Plan Update** – Community Facilities Recommendations- Jill Baker

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, August 6, 2018, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administration Building, 100 W. Washington Street, 2nd Floor, Public Meeting Room #2000, Hagerstown, Maryland

**a t t a c h m e n t s*

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.*

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

**WASHINGTON COUNTY PLANNING COMMISSION
REGULAR MEETING
June 4, 2018**

The Washington County Planning Commission held its regular monthly meeting on Monday, June 4, 2018 at 7:00 p.m. at the Washington County Administration Building, 100 W. Washington Street, Room 2000, Hagerstown, Maryland.

Commission members present were: Chairman Clint Wiley, Andrew Bowen, Robert Goetz, Denny Reeder, David Kline, Jeremiah Weddle and BOCC Ex-officio Leroy Myers. Staff members present were: Washington County Department of Planning & Zoning - Stephen Goodrich, Director; Jill Baker, Chief Planner; and Debra Eckard, Administrative Assistant; Washington County Department of Plan Review & Permitting – Tim Lung, Director; and Cody Shaw, Deputy Director.

CALL TO ORDER

The Chairman called the meeting to order at 7:00 p.m.

MINUTES

Motion and Vote: Mr. Reeder made a motion to approve the minutes of the April 2, 2018 meeting as presented. The motion was seconded by Mr. Weddle and unanimously approved.

Motion and Vote: Mr. Bowen made a motion to approve the minutes of the May 7, 2018 meeting as presented. The motion was seconded by Mr. Goetz and unanimously approved with Commissioner Myers abstaining from the vote.

NEW BUSINESS

SITE PLANS

Bowman Halfway Trailer Parking [SP-17-028]

Mr. Shaw presented for review and approval a site plan for an overnight trailer parking facility on a 29.62 acre parcel located along the south side of Halfway Boulevard. The property is currently zoned HI – Highway Interchange. The hours of operation are 24 hours per day, 7 days per week. There will be 162 parking spaces provided. Water and sewer is not proposed for this site nor is any required. This site is associated with the special exception granted for Pilot Travel Center and will be utilizing the existing storm water management facility created for it; however, it will operate as its own separate business. Forest Conservation requirements were addressed by a previously approved payment-in-lieu (PIL-07-017). Approvals are pending from Land Use Planning and Engineering, which are awaiting a developer's agreement regarding a proposed traffic signal. Currently, a signal is not warranted; however, shortly after opening this facility, it is believed that a signal will be warranted.

Discussion and Comments: Mr. Bowen asked how access to the site would be achieved. Mr. David Trostle of Frederick, Seibert & Associates, the consultant, stated that access will be from Halfway Boulevard. A left turn will not be permitted to exit the site until a traffic light has been installed.

Motion and Vote: Mr. Bowen made a motion to grant staff the authority to approve the site plan pending approval by Land Use Planning and Engineering. The motion was seconded by Mr. Goetz and unanimously approved.

-OTHER BUSINESS

Update of Staff Approvals

Mr. Lung reported the following for the month of May: Land Development/Permit review – 30 entrance permits; 25 grading permits; 2 non-residential addition permits; and 1 non-residential new construction

permit; Land Development Plan Review – 1 preliminary plat for Rosehill Manor (174 age restricted, semi-detached units); 4 preliminary/final subdivision plats; 3 final plats including the Villas at Gateway, Black Rock PUD and Freedom Hills, Section C, Lots 128-142, 147-156 and 67; 2 simplified plats; 3 subdivision replats; 2 site plans – Expansion at Big Cork Winery and a 1.2 million square foot warehouse distribution facility in Vista Business Park; 2 forest plans; 1 forest stand delineation; 1 storm water concept plan; 6 standard grading plans; 3 engineering storm water plan revisions; and 2 traffic impact studies. Approvals issued: 4 forest stand delineations; 1 site specific grading plan, 2 replats; 2 subdivision plats; and 3 site plans including the Still Water Farm Event Center, Hicksville Planing and a fast food restaurant on the Arnett Farms remaining lands.

Comprehensive Plan Update

Ms. Baker presented for review and comments the Community Facilities element of the Comprehensive Plan. She noted that water and sewer facilities would not be discussed in this element as in the past since the State of Maryland passed HB 1141 requiring a Water Resources Element. The Water Resources Element will be a separate section which will include a Development Capacity Analysis to determine if the growth area can handle servicing these areas. Ms. Baker briefly reviewed each section of the Community Facilities element.

Discussion and Comments: There was a brief discussion regarding school capacity issues throughout the county. Discussions included the consolidation of schools and the possible need for a new high school. Mr. Goodrich noted that the School Board monitors and analyzes enrollment each year. The Planning Department monitors enrollment and new development in order to analyze current school enrollment plus expected students from new development to decide if schools will be adequate in the future. A test is performed for each new development to predict if the schools in that specific area will be over capacity and whether the plans for the new development can be approved. In some cases, the developer will be required to pay an adequate public facilities fee. Commission members asked staff to keep them informed of any sudden increase or change in these figures. There was a brief discussion regarding the State's versus the Washington County Public Schools (WCPS) projections, in which the State indicates very minimal changes in the coming years. Commission members agreed that emphasis should be placed on the WCPS projections rather than the State's projections. Mr. Goodrich suggested that during the July meeting, staff should give the Commission an overview of the Adequate Public Facilities Ordinance and how it relates to the issues that are being discussed this evening. There was a brief discussion regarding the trade and private schools being included in the Plan.

Ms. Baker briefly reviewed emergency services available and the importance of these services throughout the County. She also noted that the Plan discusses commercial communications facilities available in the County. Members suggested that Hagerstown Fiber LLC should be included in this section. Members also discussed the Airport facilities and the Ryder Jet services that are provided. This is an important economic asset in the County. It was suggested that additional information should be included in the Plan.

There was a brief discussion regarding Social Service providers and members expressed their opinions that assisted living/nursing homes should be included. Members also suggested that the land owned by the Board of Education on Downsville Pike and its use for additional education facilities should be referenced in the Plan.

Mission/Vision/Values/Strategy (MVVS)

Mr. Goodrich presented the recently adopted County Commissioners' Mission, Vision & Values statement. Each County department has been charged with developing its own statements.

Discussion and Comments: Mr. Wiley expressed his opinion that significant strides in customer service has been made over the past several years and should be codified in the values section. Mr. Goetz concurred with this opinion. Other values that Commission members believe are important are communication and transparency. Members expressed their opinions that the Planning Commission and Planning Department should have one unified statement.

Election of Officers

Motion and Vote: Mr. Goetz made a motion to appoint Clint Wiley as Chairman. The motion was seconded by Mr. Bowen and unanimously approved.

Motion and Vote: Mr. Goetz made a motion to appoint Drew Bowen as Vice-Chairman. The motion was seconded by Mr. Myers and unanimously approved.

UPCOMING MEETINGS

1. Monday, July 2, 2018, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administration Building, 100 W. Washington Street, Room 2000, Hagerstown, Maryland

ADJOURNMENT

Mr. Myers made a motion to adjourn the meeting at 8:30 p.m. The motion was seconded by Mr. Kline and so ordered by the Chairman.

Respectfully submitted,

Clint Wiley, Chairman

PRELIMINARY/FINAL PLAT FOR GANESH III

PRESENTED FOR APPROVAL IN A PRELIMINARY AND FINAL PLAT FOR GANESH LLC.

THE SUBJECT SITE IS LOCATED ALONG THE SOUTHSIDE OF MASON DIXON ROAD, EAST OF CITICORP. ZONING IS HIGHWAY INTERCHANGE.

THE DEVELOPER IS PROPOSING TO CREATE A 5.0 ACRE COMMERCIAL PARCEL FOR FUTURE DEVELOPMENT. 13 ACRES ARE REMAINING.

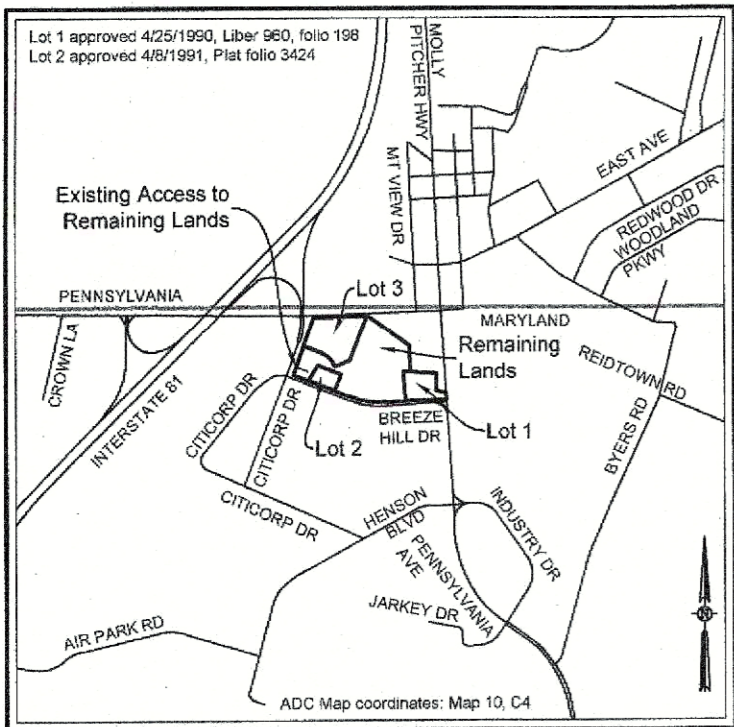
THE PROPERTY HAS FRONTAGE ON MASON DIXON ROAD AND IS BORDERED BY CITICORP DRIVE TO THE WEST.

THE SITE WILL BE SERVICED BY PUBLIC WATER IN THE FUTURE – CITY OF HAGERSTOWN WATER AND COUNTY SEWER.

A SITE PLAN WILL BE REQUIRED FOR ANY DEVELOPMENT THAT OCCURS IN THE FUTURE OF THIS SITE.

ALL APPROVALS HAVE BEEN RECEIVED.

FOREST CONSERVATION FOR THIS SITE WAS ADDRESSED UNDER THE FOREST CONSERVATION MASTER PLAN FOR THE LANDS OF HAGERS-WASHCO INDUSTRIAL FOUNDATION, PREVIOUS OWNER OF THE PROPERTY. SAID PLAN WAS APPROVED AND RECORDED.



VICINITY MAP
SCALE 1"=1000'

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.

SIGNATURE _____ DATE _____



Dedication for Individuals

I/we do hereby certify, for ourselves and our personal representatives, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby adopt the plan of subdivision shown hereon, hereby establish the minimum building restriction lines shown hereon, hereby dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, hereby agree to keep open all spaces and recreation areas shown hereon and hereby agree that said dedication shall not impose and responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and I/we hereby reserve the fee simple title to the land underlying said easements, rights of way, open spaces and recreation areas and with regard to said easements and rights of way, hereby agree to convey the same to said Board for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board. This deed and agreement of dedication shall be binding upon my/our granteees, assigns, successors, heirs, and personal representatives.

There are no sales, actions at law, leases, liens, mortgages, trusts, easements, or rights of way affecting the property included on this plan of subdivision except the following:

and all parties having an interest therein have here unto affixed their signatures, indicating their assent to the plan of subdivision.

I/We do hereby assent to this plan of subdivision.

I/We also certify that the community water and/or community sewerage system proposed for this subdivision will be available to all lots offered for sale. I/We also certify that plans for the community water supply and/or community sewerage system facilities including any necessary point of discharge, having been approved by the Department of Health and Mental Hygiene.

Witness our hands and seals this 1st day of MAY 2018

Owner: Ganesh III, LLC _____ (Seal)
J.B. Patel
Witness _____

Certificate of Approval of Community Water System and Sewerage

I hereby certify that the use of the community water and/or community sewerage system for this subdivision is in conformance with the County Water and Sewerage Plan.

Date: _____ County Health Officer _____

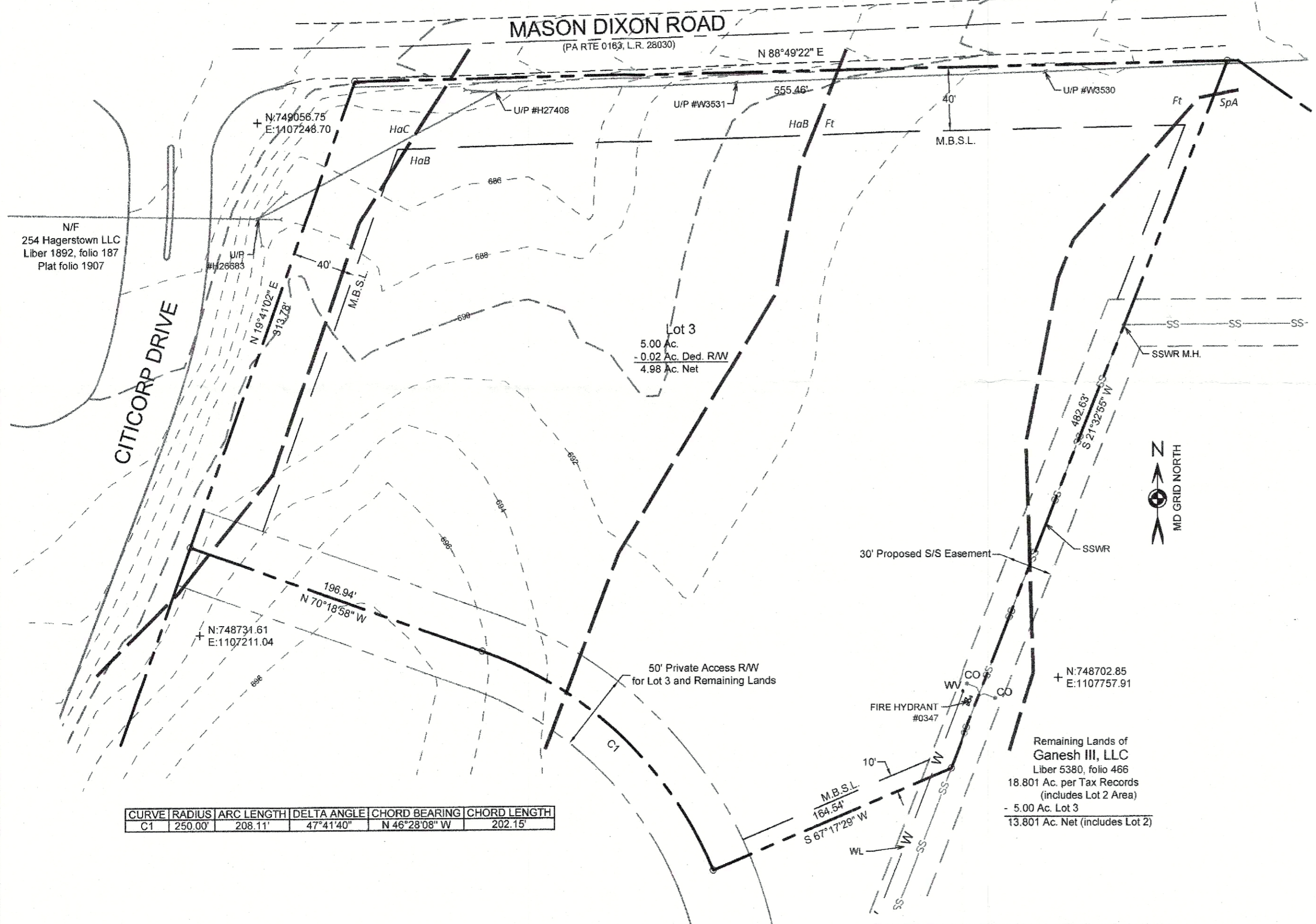
Land Surveyor's Certification

I hereby certify that the plan shown hereon is correct, that it is a subdivision of the land conveyed by Hagerstown Washington County Industrial Foundation, Inc., to Ganesh III, LLC, by deed dated November 18, 2016, and recorded in the Land Records of Washington County, Maryland in Liber No. 5380, folio 466, and that stones marked O and/or bars marked O have been placed as indicated.

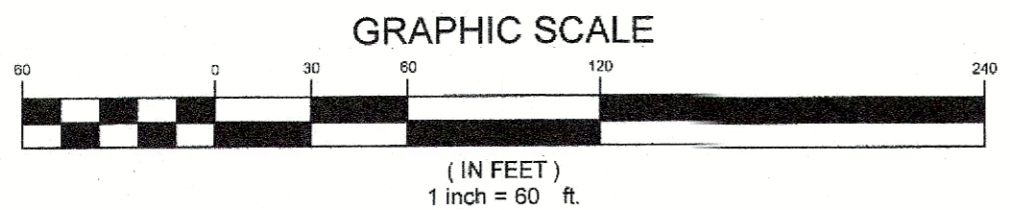
I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the Laws of the State of Maryland, License No. LS-10731 Expiration Date 01/16/2020

Date: 5/4/2018 _____
Professional Land Surveyor

- General Notes**
- There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and utilities easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
 - Bearings, distances and coordinates are based on MD Grid NAD83.
 - Soil types as shown hereon.
 - Minimum Building Setbacks: front yard-40'; side yard-10'; rear yard-10'. Minimum Building Setback Lines are based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory structures are not permitted without the placement of the principal permitted structure. Zoned HI - Highway Interchange.
 - Total upstream watershed affecting this subdivision: is less than 400 Acres.
 - Parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24043C0130D dated August 15, 2017, Flood Zone X.
 - Contours are based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc.
 - There are no floodplains, streams, steep slopes, and other related buffers, or habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 CFR 17 as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (C&D) of the Washington County Zoning Ordinance. This subdivision is within 1000' of the Appalachian Trail. The entire site is steep slopes.
 - No other wells or septic lie within 100 feet of the proposed Lot Lines.
 - All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
 - No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement, either shown or described, on the Final Plat of Subdivision.
 - This plat has been reviewed and approved per the HI Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
 - This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on this property.
 - Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
 - An additional right of way 25 feet in width as measured from the centerline of Mason Dixon Road is hereby dedicated for the purpose of future road widening of said road.
 - Sewer collection provided by the Washington County Department of Environment Management and Water Quality.
 - Forest Conservation for this site was addressed under the Forest Conservation Master Plan for the lands of Hagerstown-Washington County Industrial Foundation, Inc., a previous owner of this parcel. Said plan is recorded in Liber 5337, folio 466 among the Land Records of Washington County, Maryland.
 - Citicorp Drive currently exists under private ownership and is to be dedicated to Washington County as a public street and right of way.
 - The address for Lot 3 will be addressed at the permitting stage.
 - This tract is located outside the Hagerstown Medium Range Growth Area and therefore public water and sewer service by the City of Hagerstown is not approved for this subdivision per the Growth Management and Land Use element of the Hagerstown Comprehensive Plan and the City Annexation Policy. Exemptions may be granted through the City's Water and Wastewater Policy.
 - The 50' private access right of way shall be utilized to access Lot 3 and the Remaining Lands. Additional access may be requested in the future when site development plans have been prepared.



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	250.00'	208.11'	47°41'40"	N 46°28'08" W	202.15'



RECEIVED
JUN 22 2018
WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

Soil Table

Soil	Area (Ac.)	%
Ft	2.5	49.6
HaB	2.1	41.1
HaC	0.2	51.1
SpA	0.2	4.2

Certificate of Approval
FINAL APPROVAL GRANTED

DATE: _____

By: _____
Washington County Planning Commission
Final Approval good for one hundred eighty (180) days from above date

PLAT NO _____
DATE _____
WASHINGTON COUNTY

Owner:
Ganesh III, LLC
C/O Bharat Patel
18221 Mason Dixon Road
Hagerstown MD 21740

Revised Per	Date

TAX MAP	10-16-171 DISTRICT	13
DRAWING NUMBER 01 OF 01		
DRAWN BY:	DATE:	
LEJ	4.18.18	
CHECKED BY:	DATE:	
EJS	6.6.18	
SCALE:	1" = 60'	

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CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
(301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 730-4955

JOB NUMBER: 6519.1

Preliminary/Final Plat of Subdivision
of
Lot 3
for
Ganesh III, LLC
Situate along the south side of Mason Dixon Road
WASHINGTON COUNTY, MARYLAND

Site Plan for Sheetz Rebuild

Presented for approval is a site plan for Sheetz rebuild of an existing store.

The subject site is located at the intersection of National Pike and Mapleville Road at Beaver Creek. The property is zoned Rural Village with a Rural Business Existing Overlay. Total area of the site is 1.76 acres.

The developer is proposing to remove the existing Sheetz Store and construct a new store. Its square footage will be 6,050. There will be a reduction in the canopy area – no canopy in front – just to the side. There will be a total of 6 pumps. There will also be an outside patio area with tables.

Sewer is provide by a private onsite treatment system and water is treated by on site well.

Parking: 29 spaces are required and 40 spaces are provided. This new Sheetz will have an order board and a pickup window at the rear of the building. The order board will allow for a 4 car stacking arrangement and the pickup window will allow for 2 cars stacking. Also, a parking space for waiting will be provided adjacent to the travel lane. Handicapped spaces will be located at all three entrances into the building.

As is currently, there will be two access points into the site. One from National Pike and the other off of Mapleville Road.

A proposed freestanding sign will be located at the northeast corner of the site (closest to the intersection) along with building mounted signs.

Lighting will be building and canopy mounted with pole lights in the parking area.

Solid Waste will be taken care of by a screened dumpster located on the west side of the store.

Storm water management will be provided by a bio retention pond.

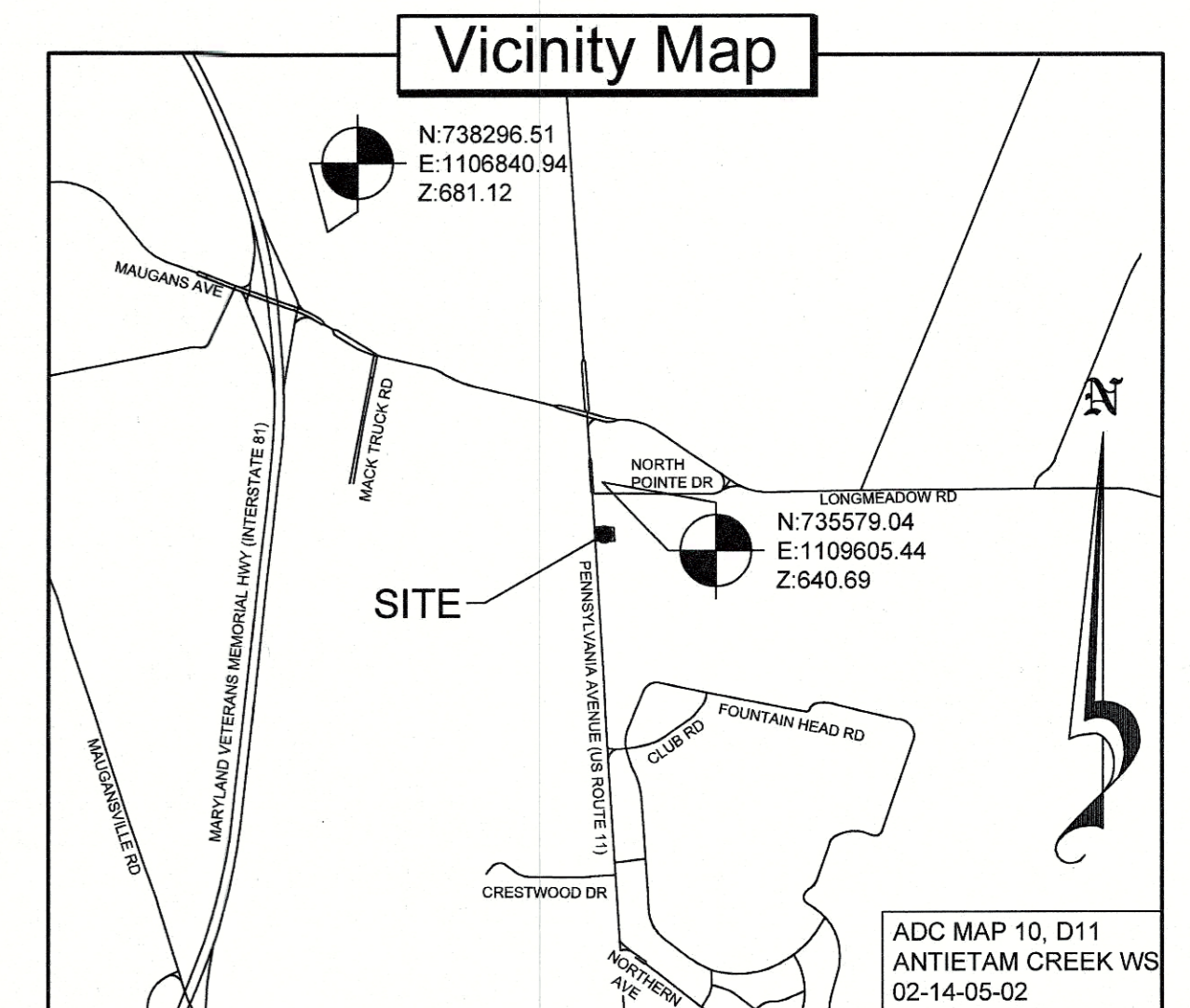
Landscaping: Various trees will be planted around the perimeter of the lot – including Black Gum, Maple and Redbud. Perennials and ornamental grasses will be planted in islands within the parking lot and around the dumpster area.

SITE PLAN for *MIDDLETOWN VALLEY BANK*

Situate at 13415 Pennsylvania Avenue (US Route 11)
Hagerstown, Maryland

OWNER/DEVELOPER:
Middletown Valley Bank
24 West Main Street
Middletown, MD 21769

C/O: Chad Tasker
PH: (301)-371-3048



SCALE: 1" = 2000'

RECEIVED

JUN 26 2018

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

Approvals

<p>MD-ENG-6A 1189</p> <p style="text-align: center;">USDA SCS</p> <p style="text-align: center;">UTILITY NOTIFICATION</p> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:</p> <p>Phone No. 1-800-257-7777</p> <hr/> <p style="text-align: center;">DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>0.7</u> ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>850</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>350</u> CU. YDS. OF FILL.</p> <hr/> <p style="text-align: center;">WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p> <hr/> <p style="text-align: center;">APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING</p> <p>SIGNATURE _____ DATE _____</p> <hr/> <p style="text-align: center;">ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</p> <p>I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant.</p> <p>SIGNATURE _____ DATE _____ SEAL _____</p> <hr/> <p style="text-align: center;">WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</p> <p>This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.</p> <p>SIGNATURE _____ DATE _____</p>	<p style="text-align: center;">OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>4/2/18 <u>CHAD P. TASKER</u> DATE PRINTED NAME</p> <p style="text-align: center;">SIGNATURE _____</p> <hr/> <p style="text-align: center;">OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>4/2/18 <u>CHAD P. TASKER</u> DATE PRINTED NAME</p> <p style="text-align: center;">SIGNATURE _____</p> <hr/> <p style="text-align: center;">ENGINEER / ARCHITECT DESIGN CERTIFICATION</p> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p> <p>DATE _____ REG. NO. _____ SIGNATURE _____</p> <hr/> <p style="text-align: center;">Professional Certification</p> <p>I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49808, Expiration Date: 08-24-2018</p>
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Sheet Index

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
G-002	SHEET 2	GENERAL NOTES
V-101	SHEET 3	EXISTING CONDITIONS & DEMO PLAN
C-101	SHEET 4	SITE PLAN
C-102	SHEET 5	GRADING AND SEDIMENT EROSION CONTROL PLAN
L-101	SHEET 6	LANDSCAPE PLAN

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128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013

(301) 791-3650 (717) 597-1007 (717) 701-8111 (301) 416-7478 FAX (301) 739-4956

The following standards (construction and temporary traffic control) are required for this project:

- a. MD-620.02 - Standard Types A & B concrete curb and combination concrete curb and gutter
- b. MD-104.00-01 - MD-104.00-18 - General Notes
- c. MD-104.01-01 - MD-104.01-81 - Sign Placement and Misc. Standards
- e. MD-104.02-02 - Shoulder work/2-lane, 2-way equal/less than 40 MPH
- f. MD-104.02-04 - Lane Shift Right or Left Side/2-lane, 2-way eq/less than 40 MPH/15 min - 12 Hrs. or Daytime Only

For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:

<http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/ohd/bookstd/index.asp>

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

SWM Narrative

Grading and proposed impervious areas have been limited to the maximum extent practical on this project in order to provide ESD stormwater management facilities on site. This plan proposes 0.42 acres of impervious coverage across 0.7 acres of disturbed land. The existing impervious coverage is 0.40 acres. By the Washington County SWM ordinance this site qualifies for redevelopment as the existing site impervious area is greater than 40%.

Using the 2012 Maryland ESD calculations spreadsheet, this site must treat 690 CF of WQv for the existing impervious coverage and 179 CF of ESDv for the new development. The total volume requirement is 869 CF.

This plan proposes to address the entire volume using non-rooftop disconnections. These BMPs will provide 879 CF of treatment volume.

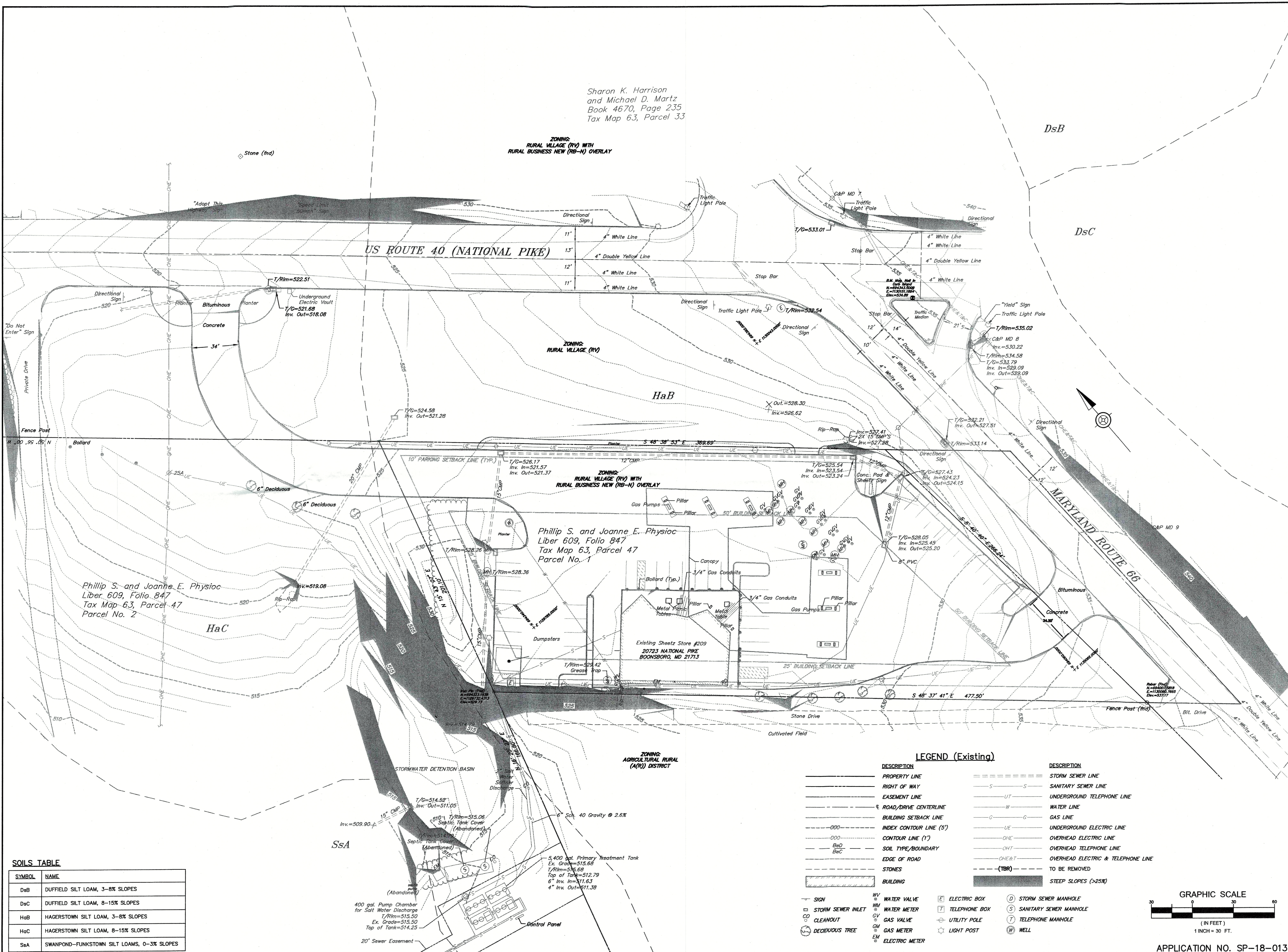
Division of Plan Review & Permitting Notes

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

Total DA (Site)	0.7 Ac.
Construction Type (circle one)	New <input checked="" type="radio"/> Redevelopment <input type="radio"/> Restoration <input type="radio"/>

GRADING CHK BY: TMF	DATE: 02-20-18	COVER SHEET
SEC CHK BY: TMF	DATE: 02-20-18	
Revised per Agency Comments	06-08-2018	G-001
Revised per Agency Comments	03-21-2018	
Submital	02-08-2018	SHEET 1 OF 6
DESCRIPTION:	DATE:	SP-18-007

Sharon K. Harrison
and Michael D. Martz
Book 4670, Page 235
Tax Map 6.3, Parcel 33

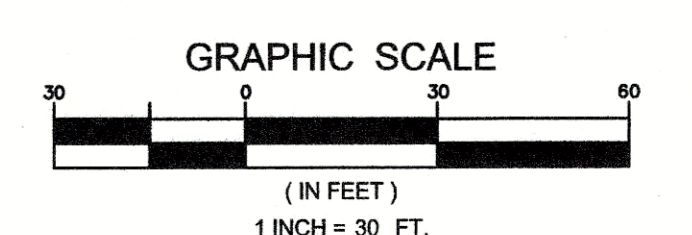


SOILS TABLE

SYMBOL	NAME
DsB	DUFFIELD SILT LOAM, 3-8% SLOPES
DsC	DUFFIELD SILT LOAM, 8-15% SLOPES
HaB	HAGERSTOWN SILT LOAM, 3-8% SLOPES
HaC	HAGERSTOWN SILT LOAM, 8-15% SLOPES
SsA	SWANPOND-FUNKSTOWN SILT LOAMS, 0-3% SLOPES

LEGEND (Existing)

DESCRIPTION	DESCRIPTION	DESCRIPTION	
———	PROPERTY LINE	———	STORM SEWER LINE
———	RIGHT OF WAY	———	SANITARY SEWER LINE
———	EASEMENT LINE	———	UNDERGROUND TELEPHONE LINE
———	ROAD/DRIVE CENTERLINE	———	WATER LINE
———	BUILDING SETBACK LINE	———	GAS LINE
———	INDEX CONTOUR LINE (5')	———	UNDERGROUND ELECTRIC LINE
———	CONTOUR LINE (1')	———	OVERHEAD ELECTRIC LINE
———	SOIL TYPE/BOUNDARY	———	OVERHEAD TELEPHONE LINE
———	EDGE OF ROAD	———	OVERHEAD ELECTRIC & TELEPHONE LINE
———	STONES	———	TO BE REMOVED
———	BUILDING	———	STEEP SLOPES (>25%)
———	SIGN	———	
———	WV WATER VALVE	———	ELECTRIC BOX
———	WM WATER METER	———	TELEPHONE BOX
———	GV GAS VALVE	———	UTILITY POLE
———	GM GAS METER	———	LIGHT POST
———	EM ELECTRIC METER	———	STORM SEWER MANHOLE
———	SS STORM SEWER INLET	———	SANITARY SEWER MANHOLE
———	CO CLEANOUT	———	TELEPHONE MANHOLE
———	DT DECIDUOUS TREE	———	WELL



APPLICATION NO. SP-18-013

SHEETZ, INC.
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
STORE #209 REBUILD
BOONSBORO
WASHINGTON COUNTY, MARYLAND
WWW.CSDAVIDSON.COM

C.S. Davidson, Inc.
Excellence in Civil Engineering
38 NORTH DUKE STREET, YORK, PA • PHONE (717) 848-8605 • FAX (717) 848-8811
50 WEST MIDDLE STREET, GETTYSBURG, PA • PHONE (717) 337-3021 • FAX (717) 337-0782
315 W. JAMES STREET, SUITE 102, LANCASTER, PA • PHONE (717) 481-2991 • FAX (717) 481-8690
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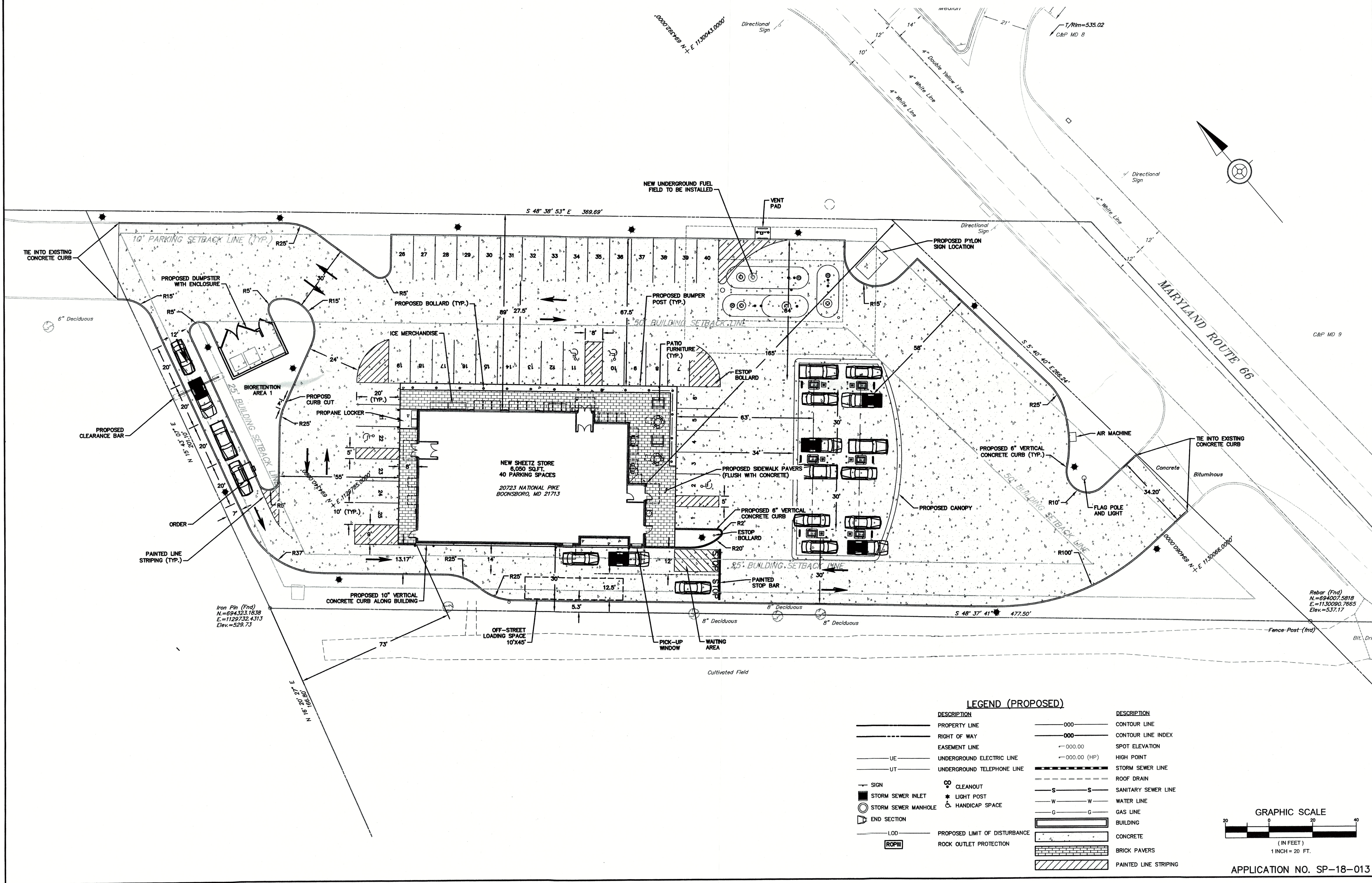
NO.	DATE	DESCRIPTION
1	08/18/2018	REV. PER WASH. CO. & WSCSD COMMENTS

DRAWN BY: HED
CHECKED BY: [Signature]
SCALE: AS NOTED
DATE: MARCH 15, 2018
DWG. NO.: 365830200_A
FILE NO.: 3658.3.02.00
SHEET NO.: 2 OF 16

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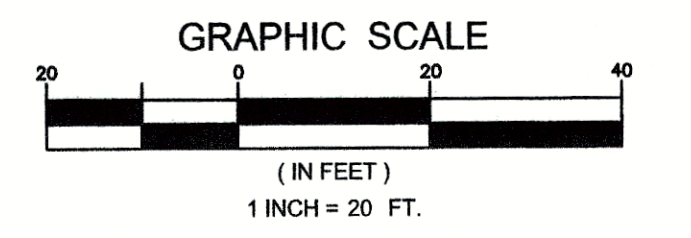
GENERAL NOTES:

1. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE. COLOR AS NOTED.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



LEGEND (PROPOSED)

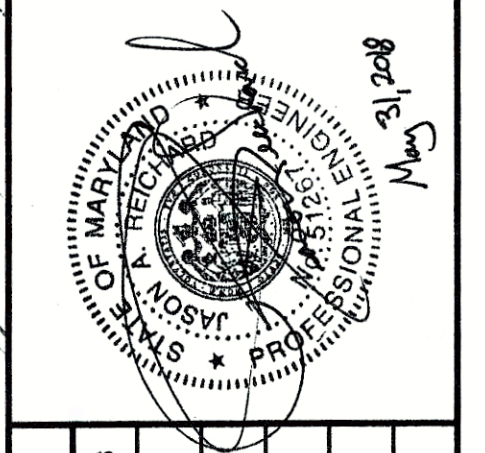
DESCRIPTION	DESCRIPTION	DESCRIPTION
— P — PROPERTY LINE	— 000 — CONTOUR LINE	— S — S — ROOF DRAIN
- - - RIGHT OF WAY	— 000 — CONTOUR LINE INDEX	— S — S — SANITARY SEWER LINE
— UE — EASEMENT LINE	— 000.00 — SPOT ELEVATION	— W — W — WATER LINE
— UT — UNDERGROUND ELECTRIC LINE	— 000.00 (HP) — HIGH POINT	— G — G — GAS LINE
— UT — UNDERGROUND TELEPHONE LINE	— S — S — STORM SEWER LINE	— B — B — BUILDING
— SIGN — SIGN	— S — S — ROOF DRAIN	— C — C — CONCRETE
— S — S — STORM SEWER INLET	— S — S — SANITARY SEWER LINE	— P — P — BRICK PAVERS
— S — S — STORM SEWER MANHOLE	— W — W — WATER LINE	— S — S — PAINTED LINE STRIPING
— S — S — STORM SEWER MANHOLE	— G — G — GAS LINE	
— S — S — STORM SEWER MANHOLE	— B — B — BUILDING	
— S — S — STORM SEWER MANHOLE	— C — C — CONCRETE	
— S — S — STORM SEWER MANHOLE	— P — P — BRICK PAVERS	
— S — S — STORM SEWER MANHOLE	— S — S — PAINTED LINE STRIPING	
— LOD — PROPOSED LIMIT OF DISTURBANCE		
— ROP — ROCK OUTLET PROTECTION		



APPLICATION NO. SP-18-013

SHEETZ, INC.
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
STORE #209 REBUILD
 BOONSBORO WASHINGTON COUNTY, MARYLAND
SITE PLAN

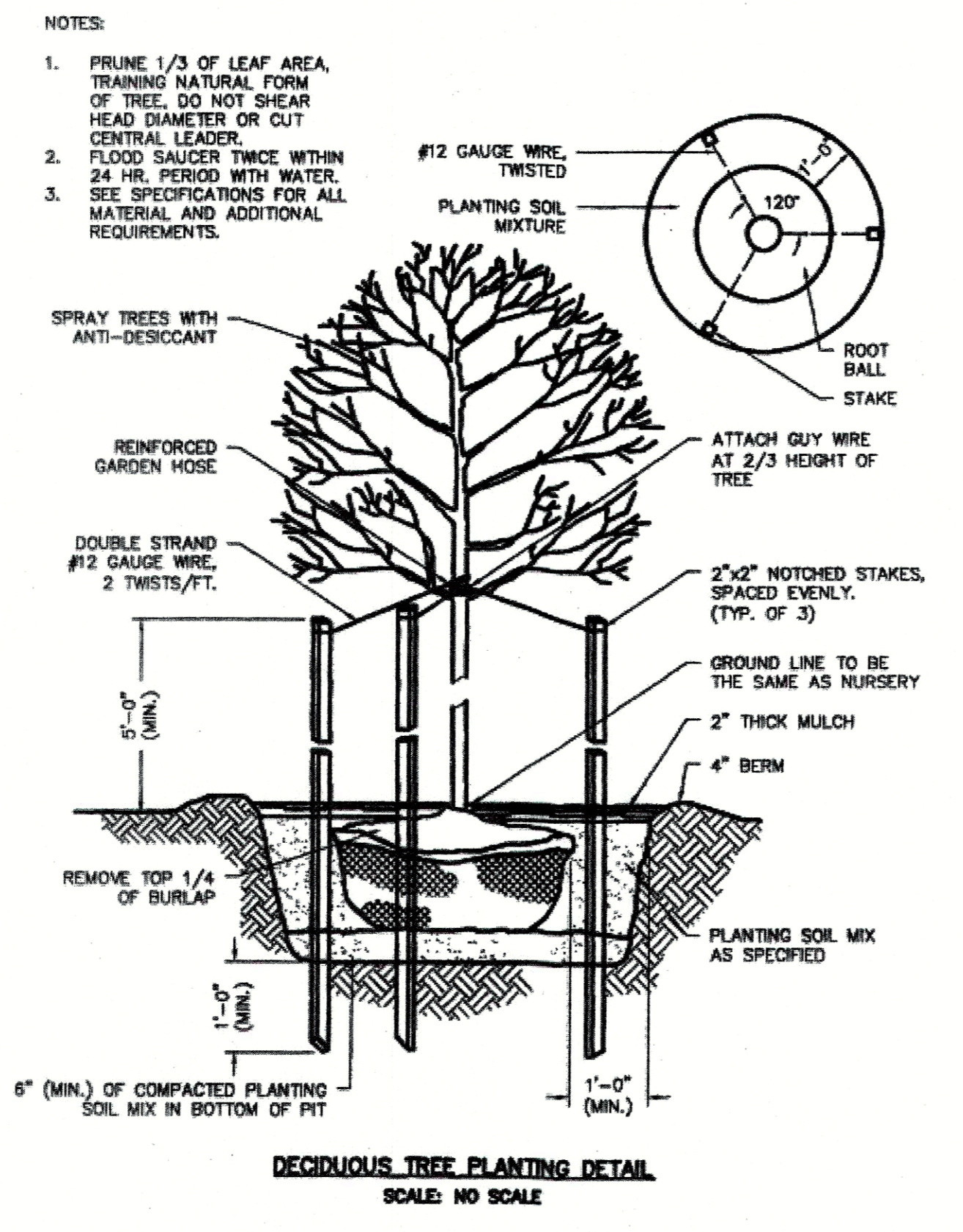
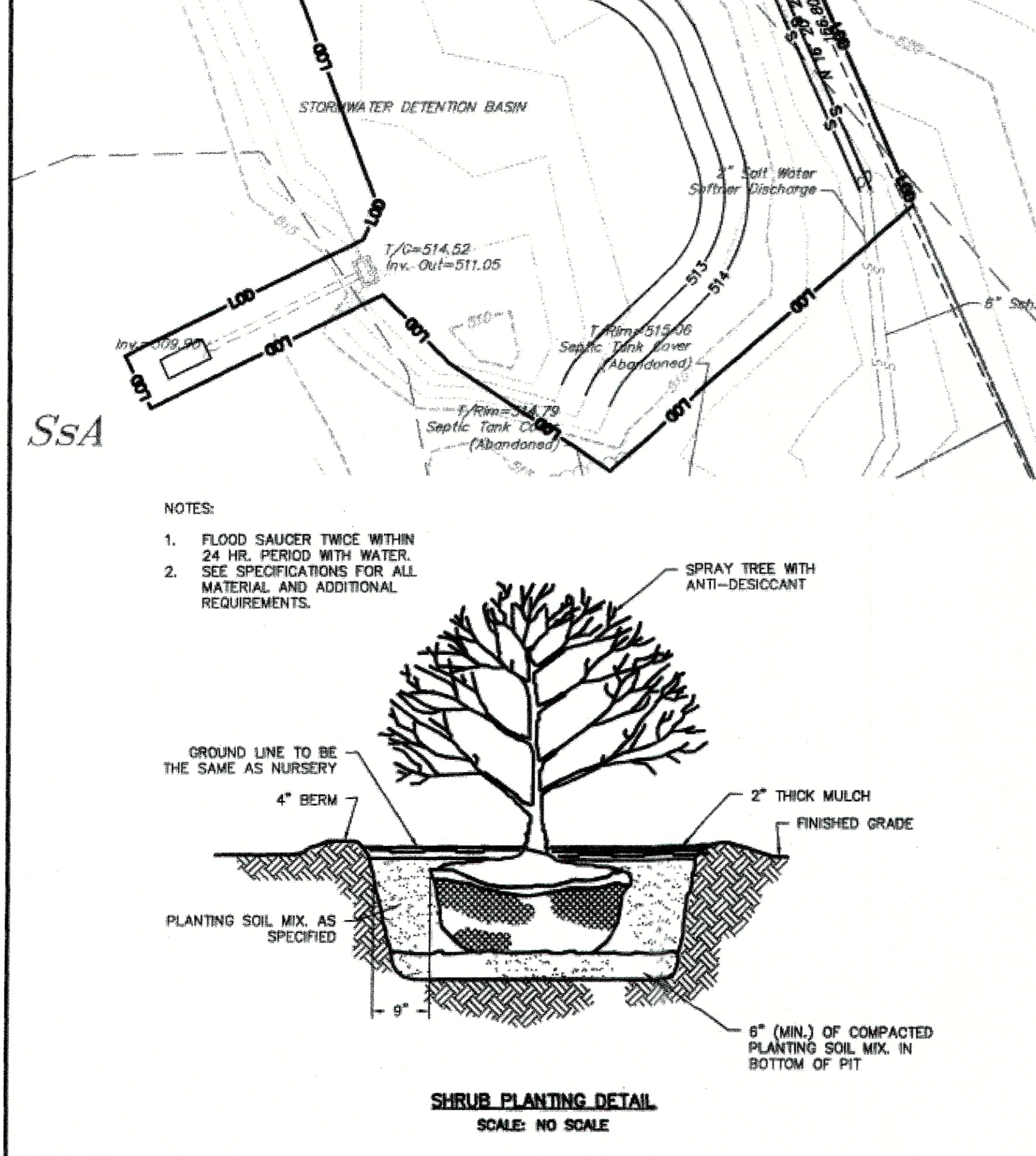
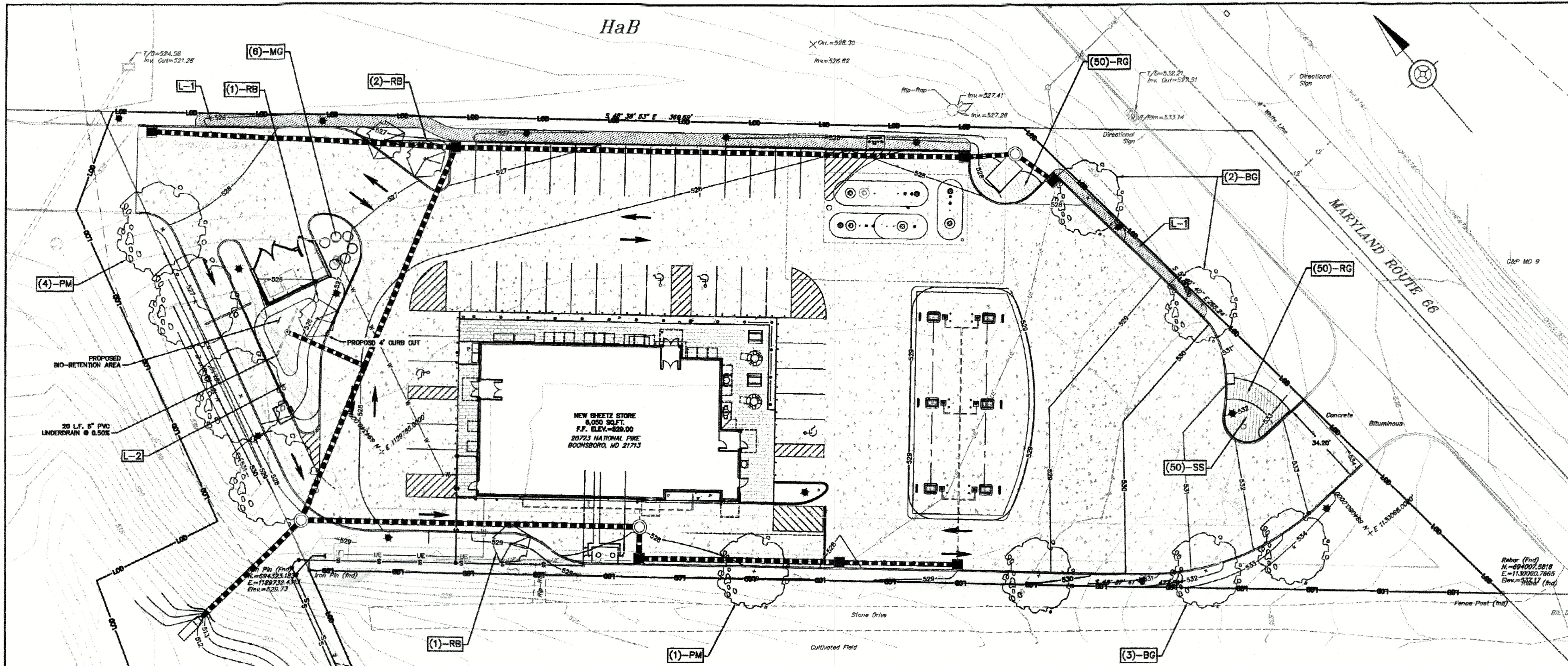
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 50 WEST MIDDLE STREET, GETTYSBURG, PA • PHONE (717) 337-3021 • FAX (717) 337-0762
 315 W. JAMES STREET, SUITE 102, LANCASTER, PA • PHONE (717) 481-2991 • FAX (717) 481-8980
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NO.	DATE	DESCRIPTION
1	06/18/2018	REV. PER WASHCO. & WSCSD COMMENTS

DRAWN BY: HED
 CHECKED BY: HED
 SCALE: AS NOTED
 DATE: MARCH 15, 2018
 DWG. NO.: 365830200_A
 FILE NO.: 3658.3.02.00
 SHEET NO.: 4 OF 16

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- NOTES:
1. PRUNE 1/3 OF LEAF AREA, TRAINING NATURAL FORM OF TREE. DO NOT SHEAR HEAD DIAMETER OR CUT CENTRAL LEADER.
 2. FLOOD SAUCER TWICE WITHIN 24 HR. PERIOD WITH WATER. SEE SPECIFICATIONS FOR ALL MATERIAL AND ADDITIONAL REQUIREMENTS.
 3. SEE SPECIFICATIONS FOR ALL MATERIAL AND ADDITIONAL REQUIREMENTS.

PLANT SCHEDULE						
Trees & Shrubs	Key	Quantity	Botanical Name	Common Name	Size	Comments
	PM	5.00	<i>Acer griseum</i>	Paperbark Maple	8-10' Hgt.	Multi-stem
	RB	4.00	<i>Cercis canadensis</i>	Redbud	8-10' Hgt.	Multi-stem
	BG	5.00	<i>Nyssa sylvatica</i>	Black Gum	2.5" Cal.	
	Perennials					
Key	Quantity	Botanical Name	Common Name	Size	Comments	
SS	50.00	<i>Sedum spectabile "Autumn Joy"</i>	Stonecrop	No.1	2' o.c.	
CF	75.00	<i>Echinacea purpurea</i>	Coneflower	No. 1	2' o.c., bio retention area	
BS	75.00	<i>Rudbeckia fulgida</i>	Black-eyed Susan	No. 1	2' o.c., bio retention area	
	Grasses					
Key	Quantity	Botanical Name	Common Name	Size	Comments	
RG	100.00	<i>Calamagrostis x acutiflora "Karl Forester"</i>	Feather Reed Grass	No.2	2'o.c.	
SG	75.00	<i>Panicum virgatum</i>	Switch Grass	No.1	2' o.c., bio retention area	
MG	6.00	<i>Miscanthus sinensis</i>	Maiden Grass	No.3	4' o.c.	

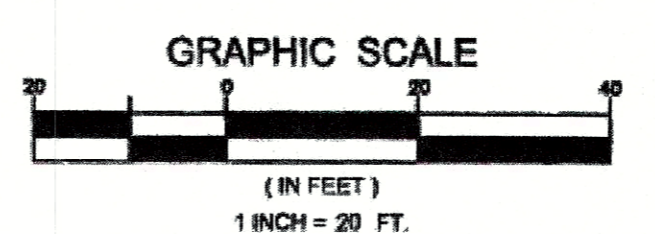
- LANDSCAPING NOTES**
- REMOVE BURNING BUSH AS DIRECTED BY OWNER. REPLACE EACH EXISTING SHRUB WITH (3) RG PLANTINGS - NOT TABULATED IN SCHEDULE.
 - INSTALL NATIVE PERENNIAL AT 24" O.C. WITHIN BIO-RETENTION AREAS. (75) SG, (75) BS, (75) CF.

- LEGEND (LANDSCAPE FEATURES)**
- SHADE TREE (3" CAL.)
 - FLOWERING TREE (8' TALL)
 - EVERGREEN TREE (5'-6' TALL)
 - BASIN SEED MIX

PARKING AREA CALCULATIONS

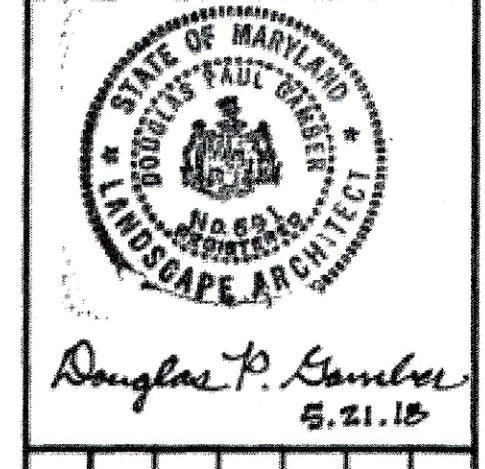
TOTAL IMPERVIOUS AREA OF PARKING = 19,700 SF
 MINIMUM 5% LANDSCAPE AREA REQUIRED = 1,000 SF
 NO. OF TREES REQUIRED = 1,000 SF / 300 SF = 4 TREES

LANDSCAPE AREA PROVIDED = 1,683 SF
 NO. OF TREES PROVIDED = 4 TREES



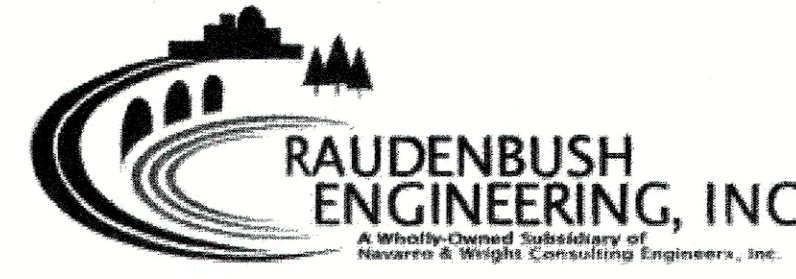
SHEETZ, INC.
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 LANDSCAPE PLAN

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NO.	DATE	DESCRIPTION	REV. PER WASH. CO. & WSCSD COMMENTS
1	05/18/2018		

DRAWN BY: BKK
 CHECKED BY: HTO
 SCALE: AS NOTED
 DATE: MARCH 15, 2018
 DWG. NO.: 365830200_A
 FILE NO.: 3658.3.02.00
 SHEET NO.: 6 OF 16





DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission
FROM: Cody Shaw, Chief of Plan Review
DATE: June 26, 2018
SUBJECT: Middletown Valley Bank Site Plan (SP-18-007)

A site plan has been submitted for review and approval for Middletown Valley Bank on a parcel along the east side of Pennsylvania Avenue. The property is located in the Business General Zoning District.

The functional description for this site is for a bank. The site is located on a 0.69 acre parcel, and the applicant is looking to develop the site.

The proposed improvements are shown on the site plan can be summarized as follows:

- Functional description is for a bank
- Hours of operation are 8am to 5pm Monday-Friday; 9am to 1pm Saturday
- Total required parking spaces is 13; total parking provided is 20 spaces
- Proposed impervious area is 61% (0.42 acres)
- Site is served by Hagerstown City Water and County Sewer
- Site qualifies as redevelopment, and plans on utilizing non rooftop disconnection and an infiltration berm to address Stormwater Management
- Forest Conservation is being proposed to be addressed via Payment in Lieu (\$1352.54)

The site plan was routed to Land Use Planning, Addressing, City Water, City Sewer, Engineering, Health Department, Forest Conservation, Soil Conservation, Maryland SHA, and Water Quality. All approvals have been obtained except Land Use Planning (waiting on PIL), City Water/Sewer, Engineering, and MD SHA.

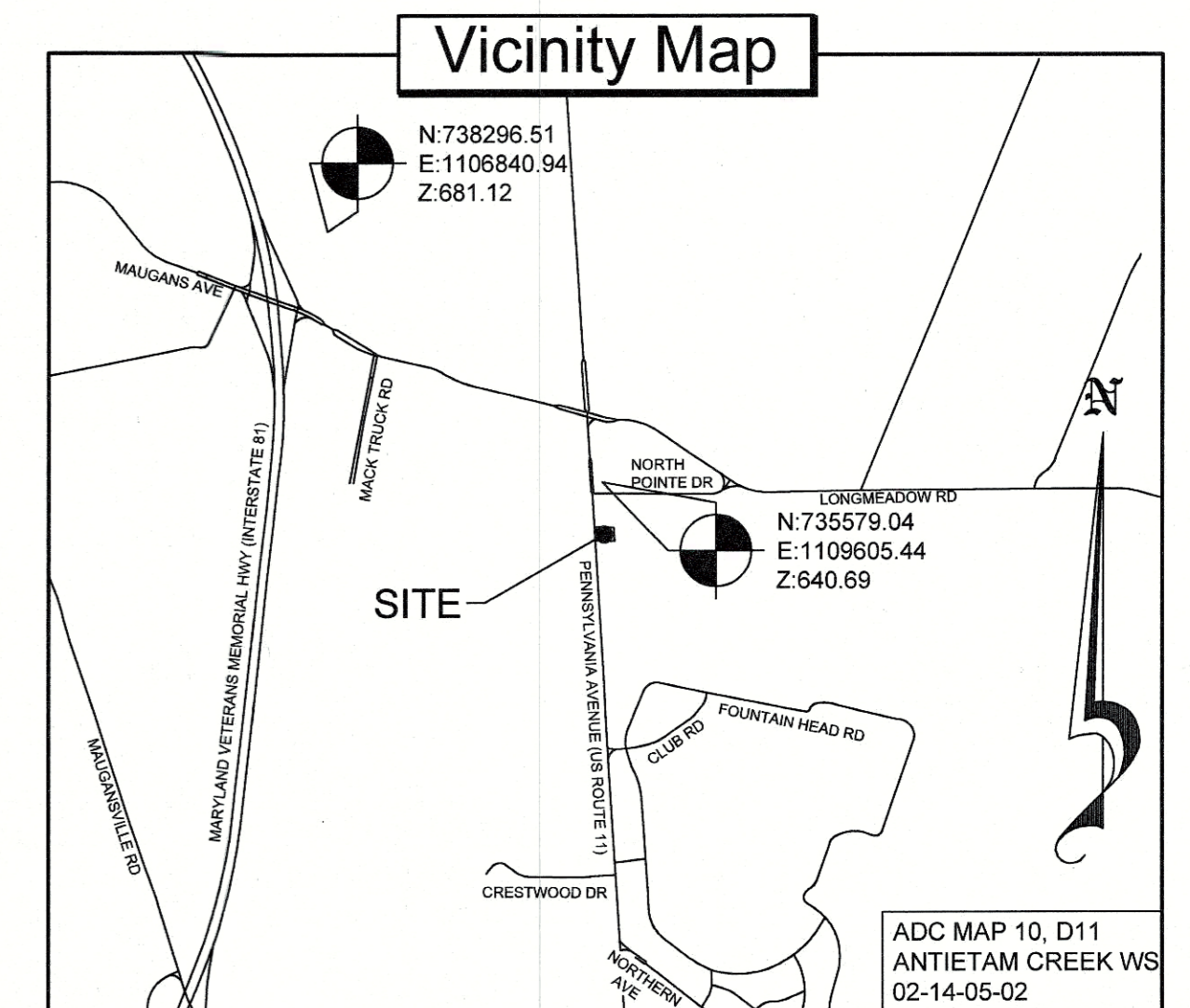
A copy of the site plan is attached.

SITE PLAN for *MIDDLETOWN VALLEY BANK*

Situate at 13415 Pennsylvania Avenue (US Route 11)
Hagerstown, Maryland

OWNER/DEVELOPER:
Middletown Valley Bank
24 West Main Street
Middletown, MD 21769

C/O: Chad Tasker
PH: (301)-371-3048



SCALE: 1" = 2000'

RECEIVED

JUN 26 2018

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

Approvals

<p>MD-ENG-6A 1/89</p> <p style="text-align: center;">USDA SCS</p> <p style="text-align: center;">UTILITY NOTIFICATION</p> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:</p> <p>Phone No. 1-800-257-7777</p> <hr/> <p style="text-align: center;">DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>0.7</u> ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>850</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>350</u> CU. YDS. OF FILL.</p> <hr/> <p style="text-align: center;">WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p> <hr/> <p style="text-align: center;">APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING</p> <p>SIGNATURE _____ DATE _____</p> <hr/> <p style="text-align: center;">ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</p> <p>I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant.</p> <p>SIGNATURE _____ DATE _____ SEAL _____</p> <hr/> <p style="text-align: center;">WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</p> <p>This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.</p> <p>SIGNATURE _____ DATE _____</p>	<p style="text-align: center;">OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>4/2/18 <u>CHAD P. TASKER</u> DATE PRINTED NAME</p> <p style="text-align: center;">SIGNATURE _____</p> <hr/> <p style="text-align: center;">OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>4/2/18 <u>CHAD P. TASKER</u> DATE PRINTED NAME</p> <p style="text-align: center;">SIGNATURE _____</p> <hr/> <p style="text-align: center;">ENGINEER / ARCHITECT DESIGN CERTIFICATION</p> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p> <p>DATE _____ REG. NO. _____ SIGNATURE _____</p> <hr/> <p style="text-align: center;">Professional Certification</p> <p>I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49808, Expiration Date: 08-24-2018</p>
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FREDERICK SEIBERT & ASSOCIATES, INC. © 2018

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013

(301) 791-3650 (717) 597-1007 (717) 701-8111 (301) 416-7478 FAX (301) 739-4956

The following standards (construction and temporary traffic control) are required for this project:

- a. MD-620.02 - Standard Types A & B concrete curb and combination concrete curb and gutter
- b. MD-104.00-01 - MD-104.00-18 - General Notes
- c. MD-104.01-01 - MD-104.01-81 - Sign Placement and Misc. Standards
- e. MD-104.02-02 - Shoulder work/2-lane, 2-way equal/less than 40 MPH
- f. MD-104.02-04 - Lane Shift Right or Left Side/2-lane, 2-way eq/less than 40 MPH/15 min - 12 Hrs. or Daytime Only

For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:

<http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/ohd/bookstd/index.asp>

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

SWM Narrative

Grading and proposed impervious areas have been limited to the maximum extent practical on this project in order to provide ESD stormwater management facilities on site. This plan proposes 0.42 acres of impervious coverage across 0.7 acres of disturbed land. The existing impervious coverage is 0.40 acres. By the Washington County SWM ordinance this site qualifies for redevelopment as the existing site impervious area is greater than 40%.

Using the 2012 Maryland ESD calculations spreadsheet, this site must treat 690 CF of WQv for the existing impervious coverage and 179 CF of ESDv for the new development. The total volume requirement is 869 CF.

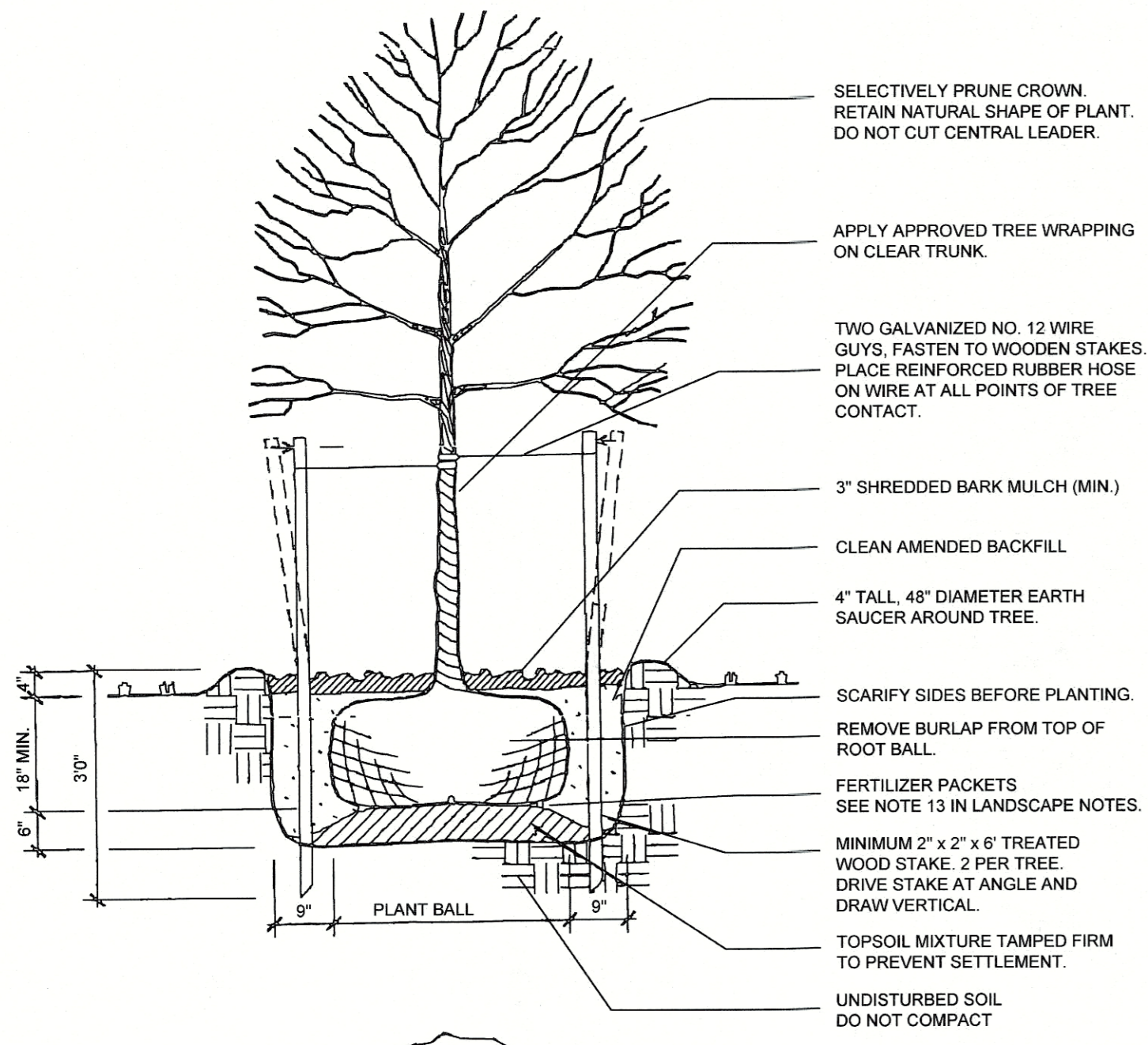
This plan proposes to address the entire volume using non-rooftop disconnections. These BMPs will provide 879 CF of treatment volume.

Division of Plan Review & Permitting Notes

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

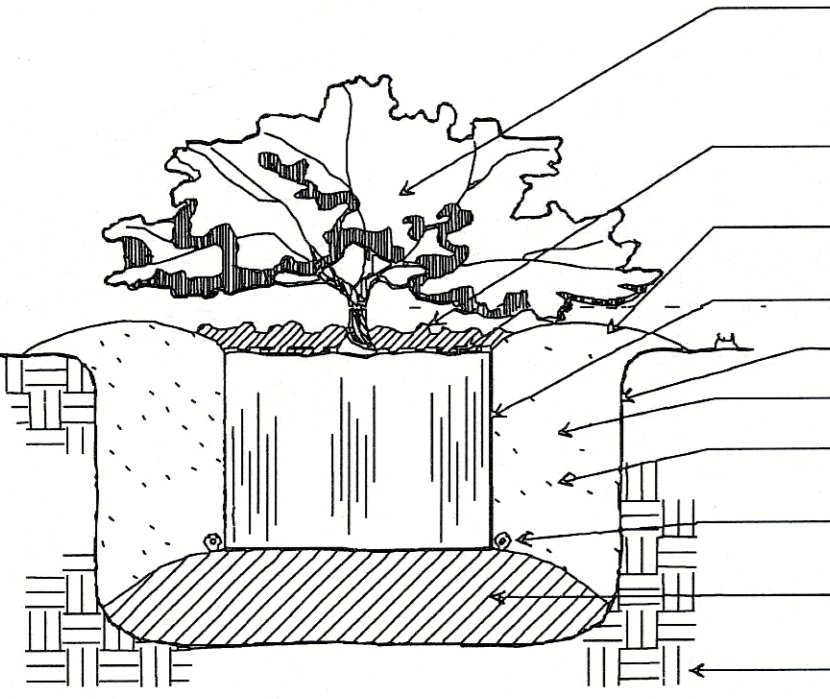
Total DA (Site)	0.7 Ac.
Construction Type (circle one)	New <input checked="" type="radio"/> Redevelopment <input type="radio"/> Restoration <input type="radio"/>

	GRADING CHK BY: TMF	DATE: 02-20-18	PROJECT NUMBER: 6653
	SEC CHK BY: TMF	DATE: 02-20-18	COVER SHEET
	SWM CHK BY: TMF	DATE: 02-20-18	
Revised per Agency Comments	06-08-2018		G-001
Revised per Agency Comments	03-21-2018		SHEET 1 OF 6
Submital	02-08-2018		SP-18-007
DESCRIPTION:	DATE:	PLAN CHK BY: TMF	DATE: 02-20-18



1 SMALL TREE PLANTING (UP TO 2-1/2" CAL.)

NOT TO SCALE



2 CONTAINER SHRUB PLANTING

NOT TO SCALE

GENERAL LANDSCAPE NOTES:

- Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
- Landscape Contractor shall install all plant material in a timely fashion.
- Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
- NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
- Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
- All plants shall be watered thoroughly during installation and prior to final acceptance.
- All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
- Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
- All plant material shall be warranted for one year. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
- The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
- Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.

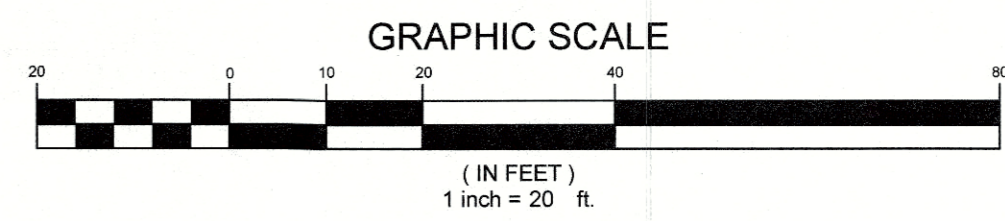
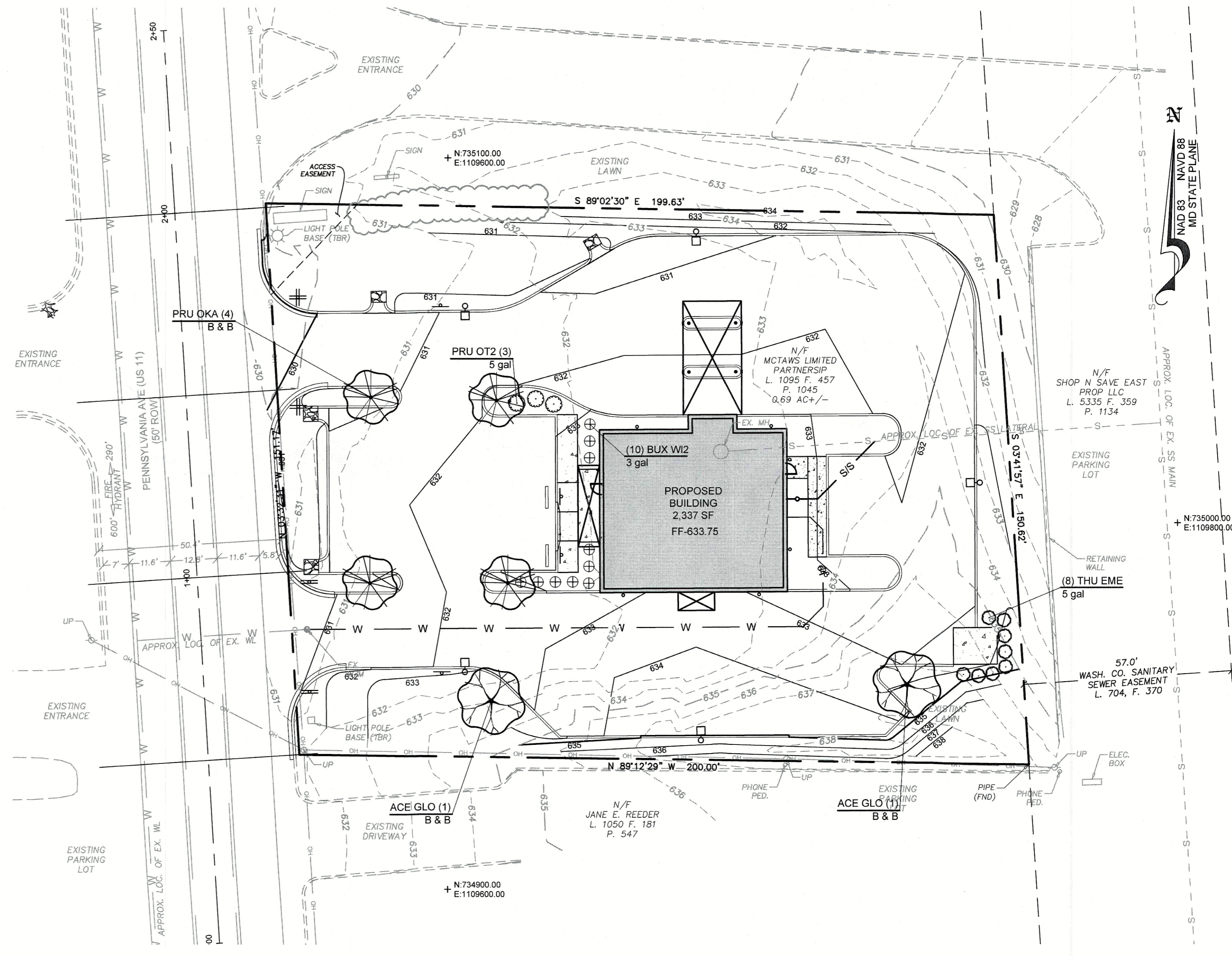
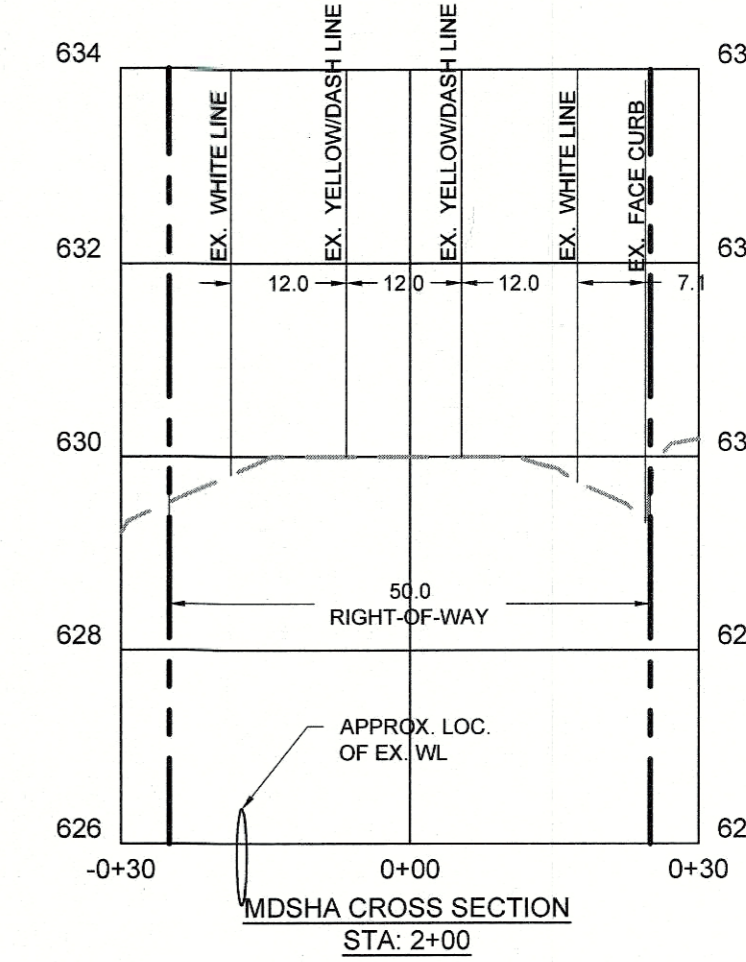
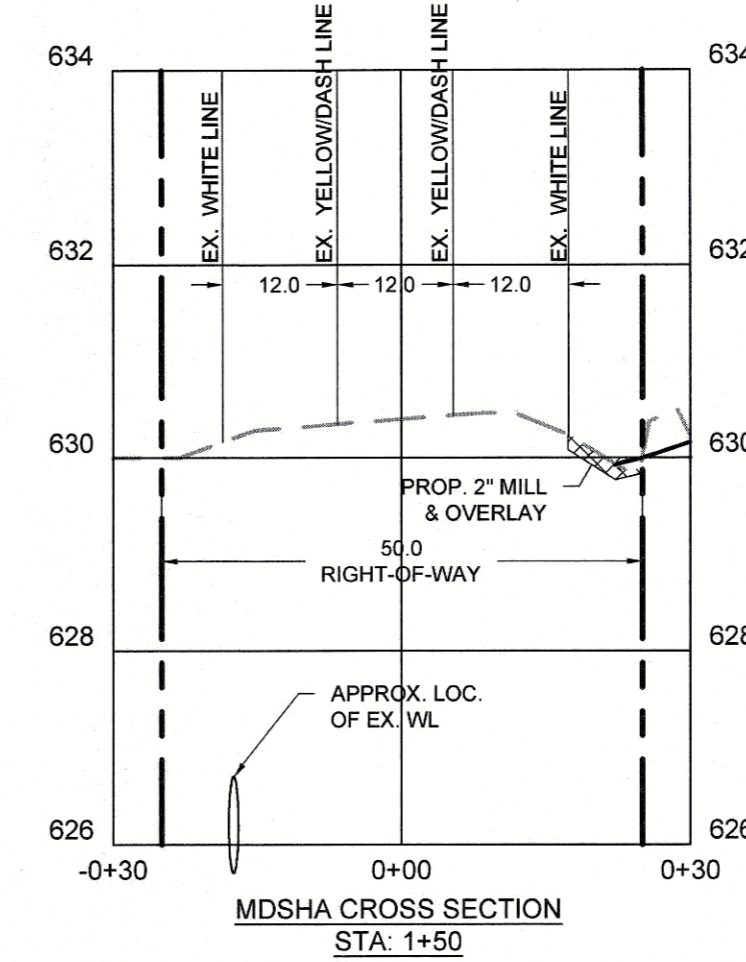
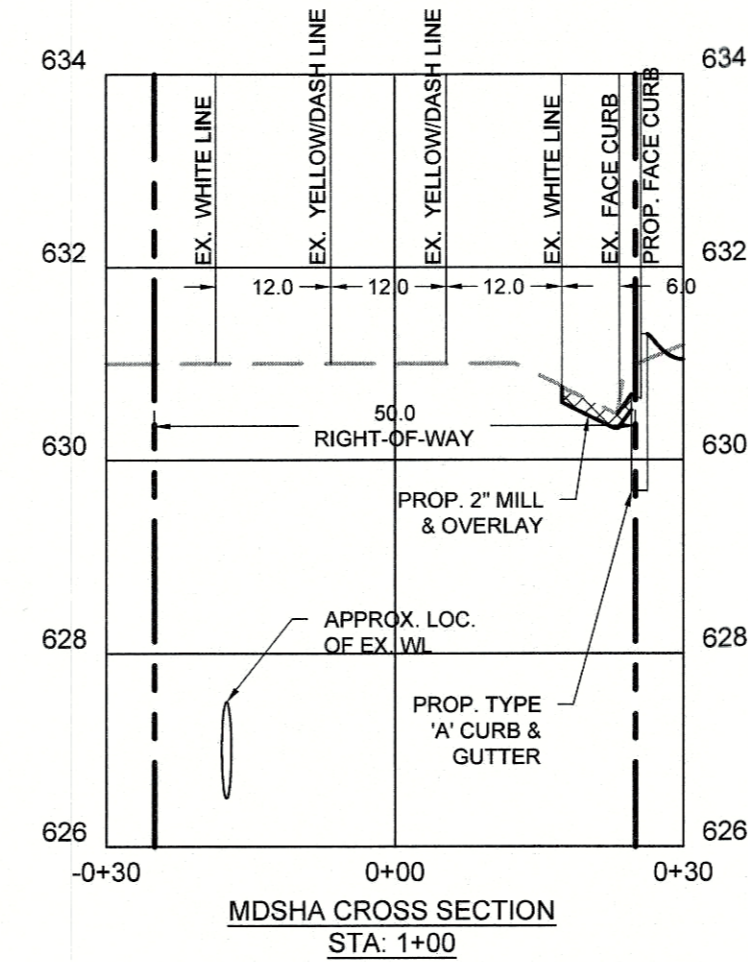
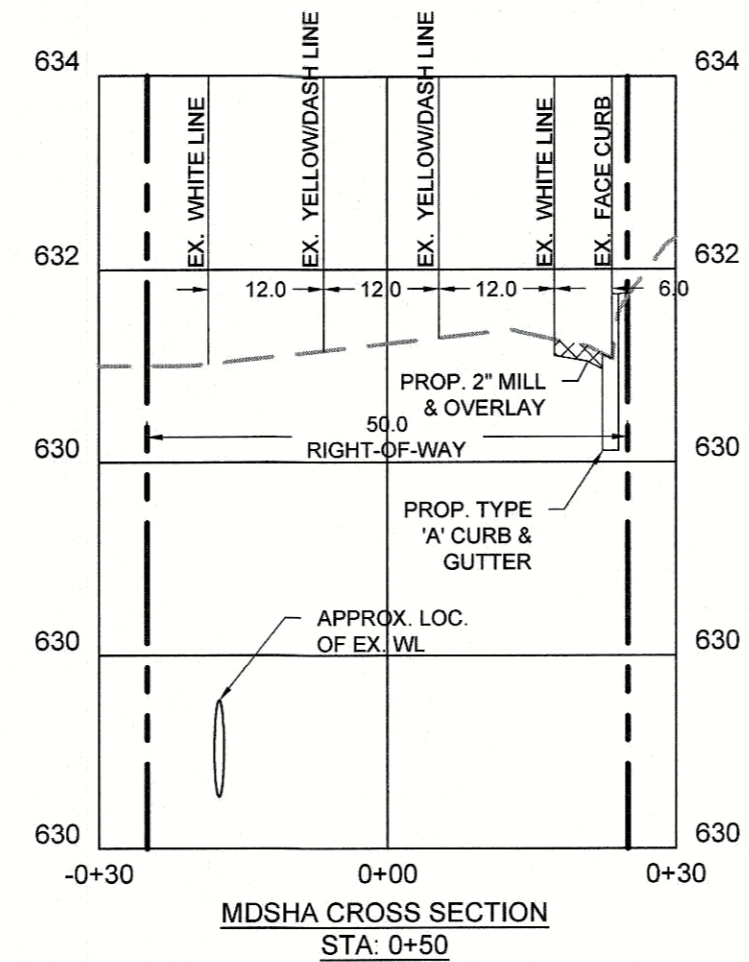
MAINTENANCE:

- Areas devoid of mulch shall be re-mulched on an annual basis.
- All areas of turfgrass that have been disturbed from construction or is not growing properly should be seeded with an appropriate grass seed mix.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	DETAIL
	ACE GLO	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5" Cal	2	1/L-101
	PRU OKA	Prunus x okame / Okame Cherry	B & B	2.5" Cal	4	1/L-101
	THU EME	Thuja occidentalis 'Emerald' / Emerald Arborvitae	5 gal		8	2/L-101
	BUX WI2	Buxus microphylla japonica 'Winter Gem' / Winter Gem Boxwood	3 gal		10	2/L-101
	PRU OT2	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal		3	2/L-101

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	DETAIL



LANDSCAPE AREA REQUIREMENT
Impervious parking area = 16,585 sf (x 10%) = 1,658 sf required

CANOPY TREE REQUIREMENT
1 tree per 300 sf of required landscape area (sf) = 6 trees

NOTE:
Landscape area around the proposed building will have white landscape stone cover in lieu of mulch.

Professional Comment:
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 00823

FREDERICK & SEIBERT ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
22 WEST HANOVER STREET, BALTIMORE, MARYLAND 21201
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013
(410) 528-1822 (717) 528-0087

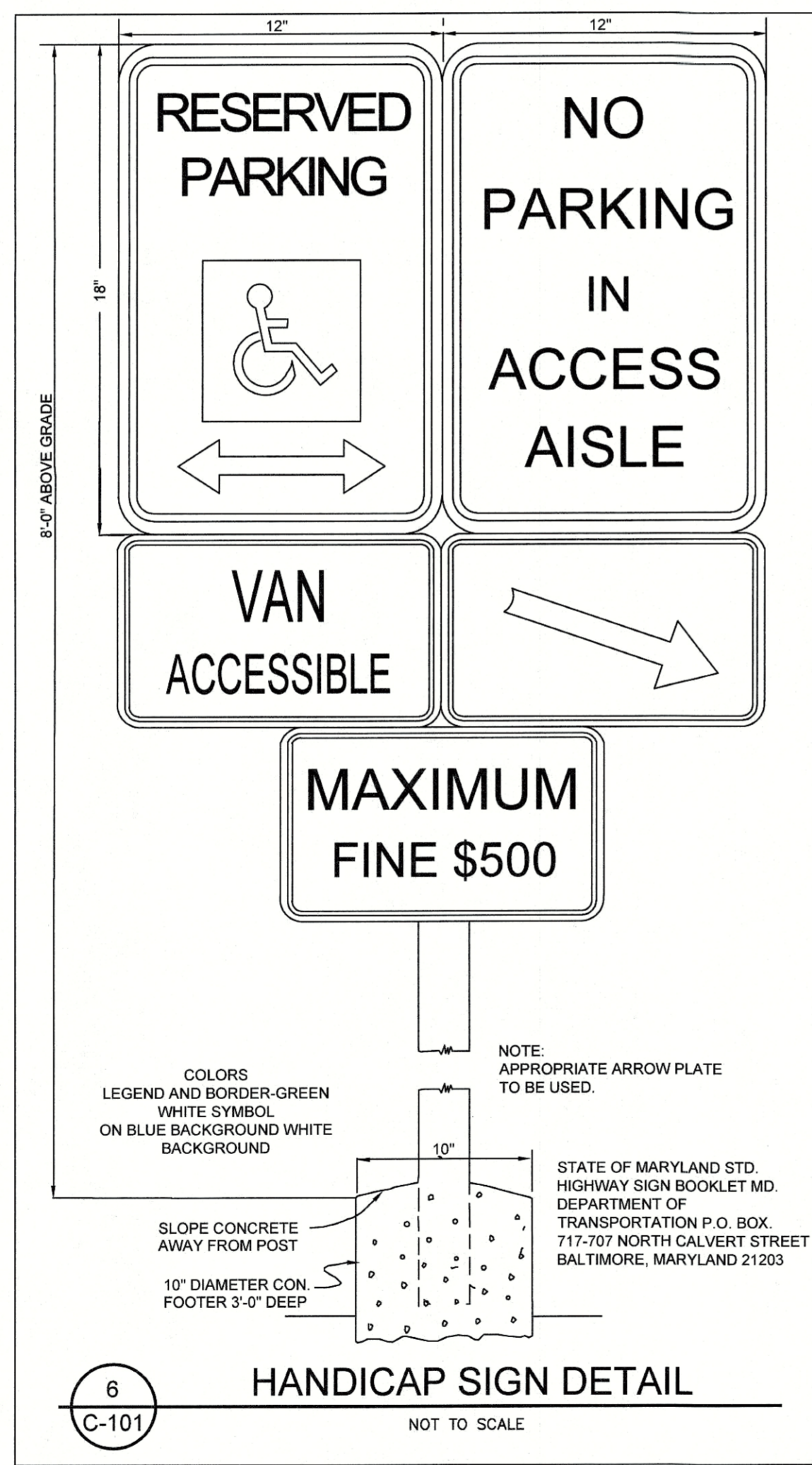
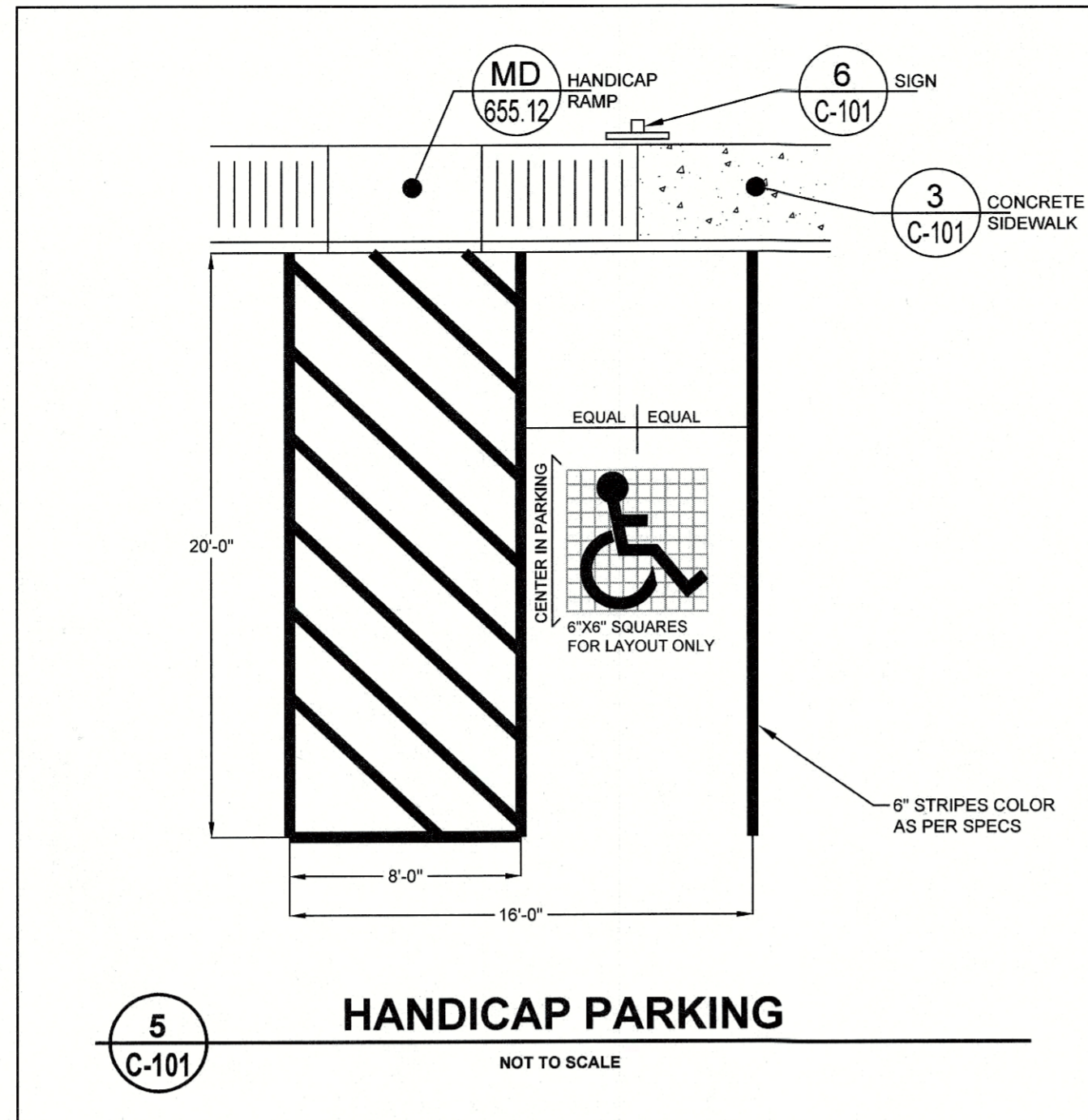
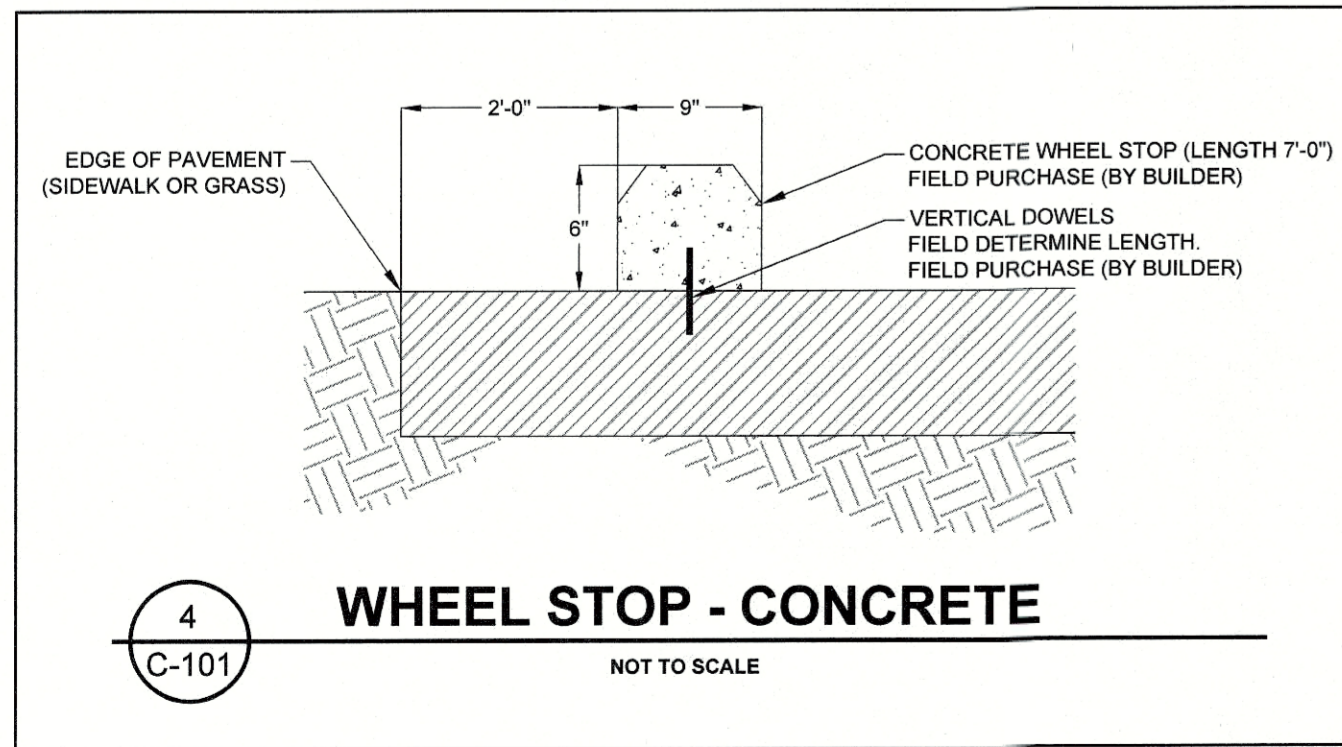
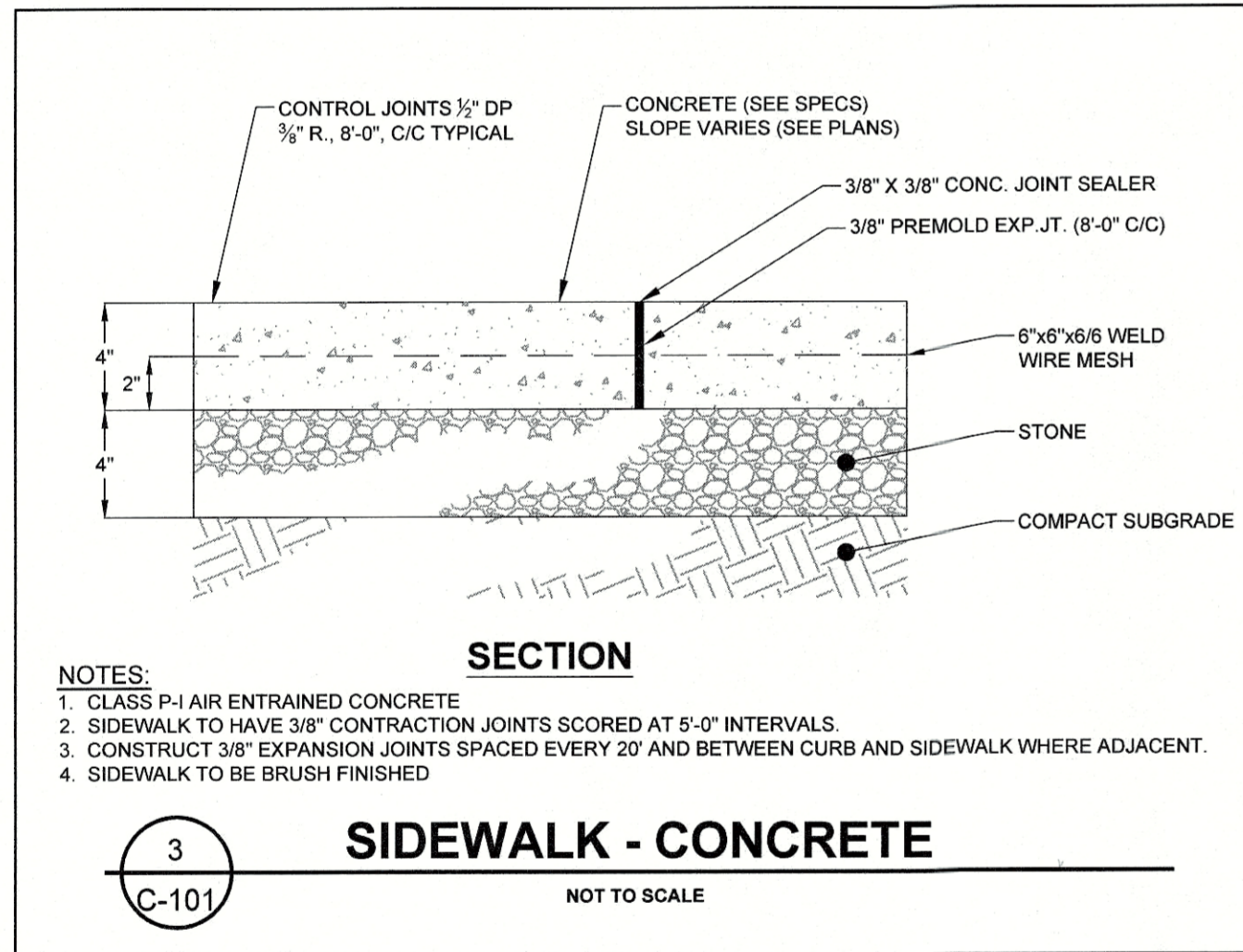
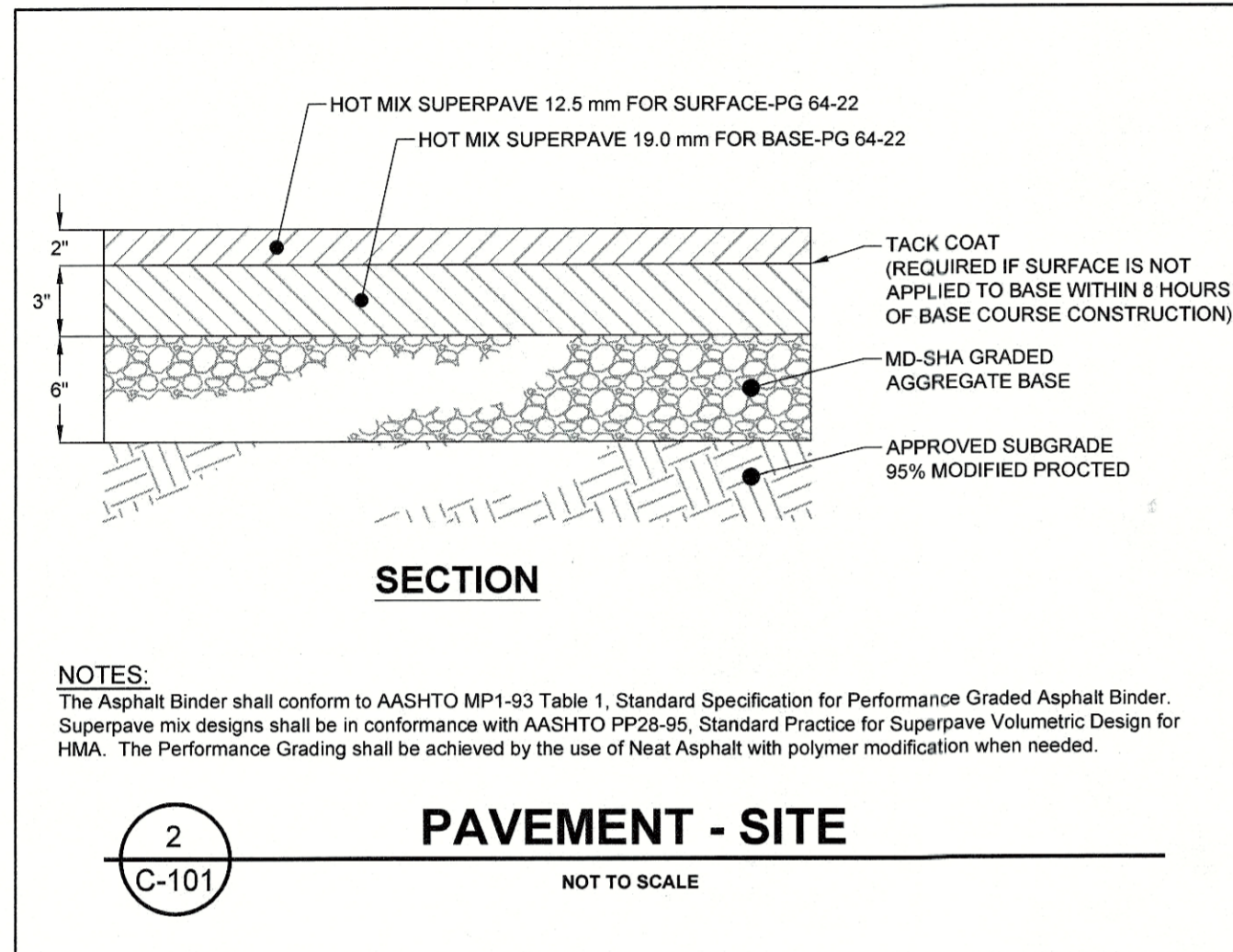
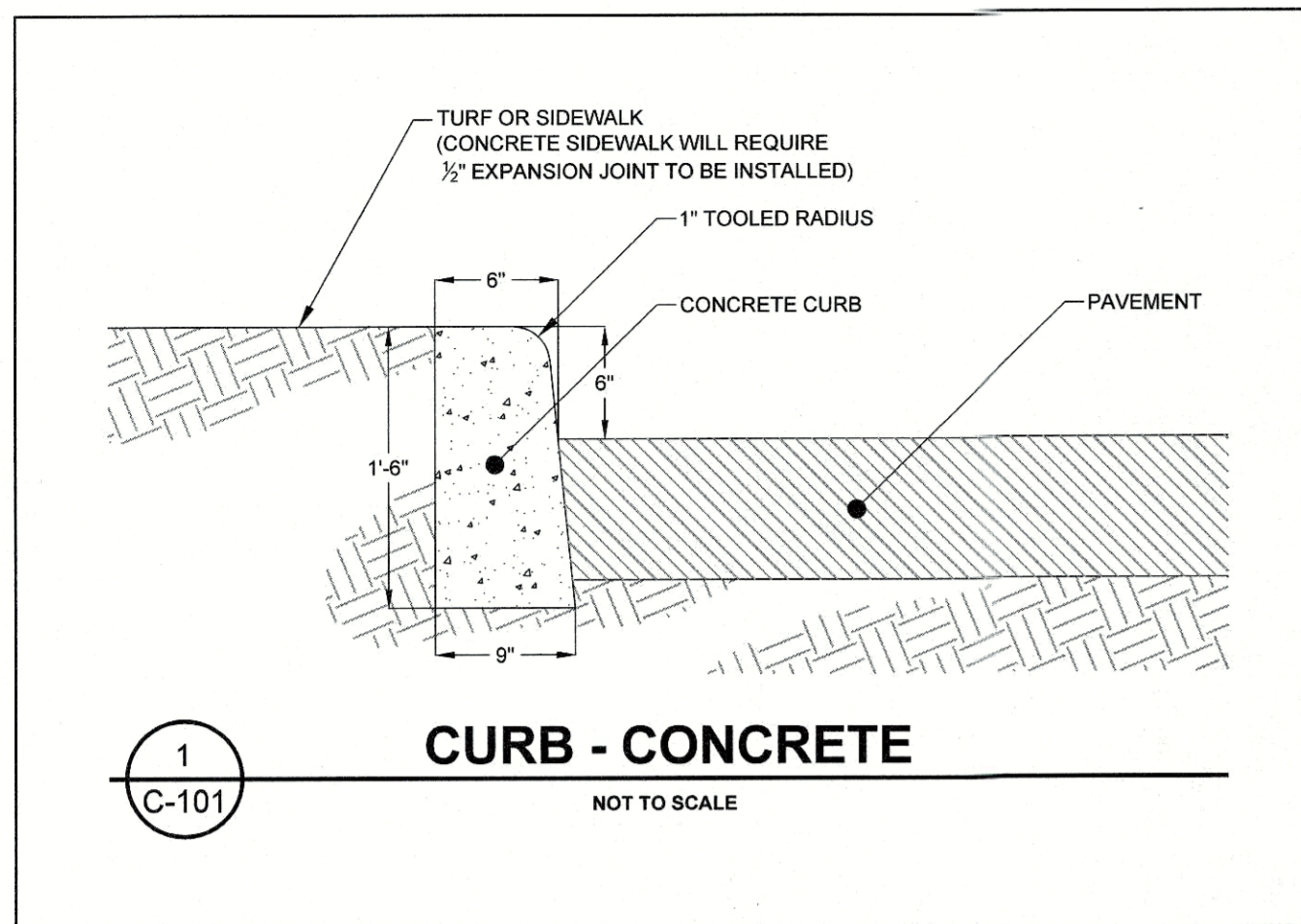
DATE: 02-28-2018
DATE: 02-21-2018

DESCRIPTION: Revised per Agency Comments
MARK: Revised per Agency Comments

PROJECT NO: 6653
CAD DWG FILE: 6653-07 Landscape Plan.dwg
DWN BY: LEJ
DATE: 01-16-18
CHK BY: TMF
DATE: 2018
TAX MAP: 24-23-1045
ELECTION DIST: 27
SCALE: 1" = 20'

SHEET TITLE: LANDSCAPE PLAN
L-101
SHEET 6 OF 6
SP-18-007

Middletown Valley Bank
Situated along the east side of Pennsylvania Avenue (US Route 1) in Hagerstown, Maryland
WASHINGTON COUNTY, MARYLAND
CLIENT: Middletown Valley Bank
24 West Main Street, Middletown MD 21769



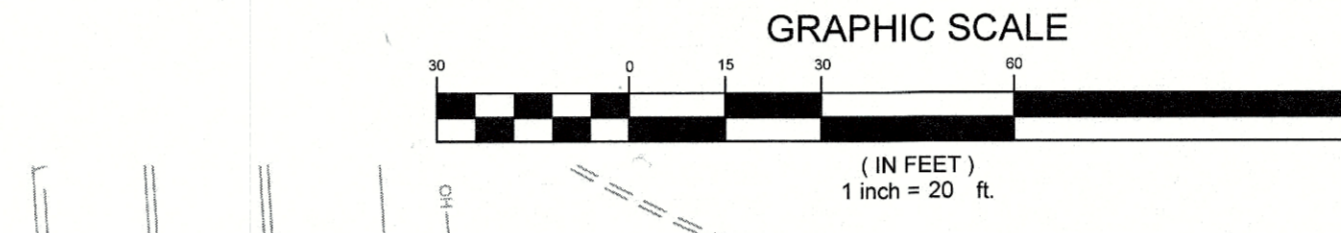
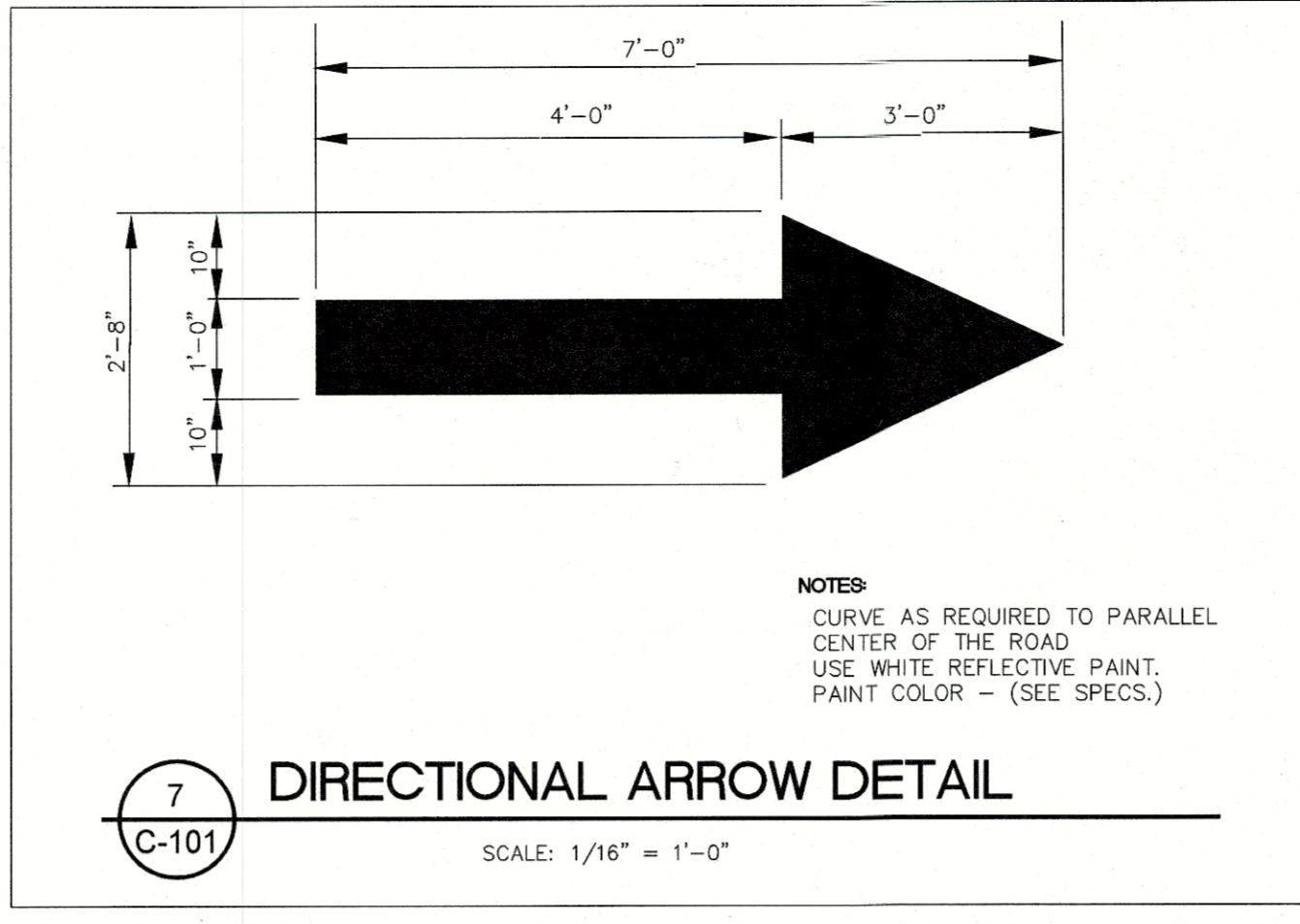
EXISTING WATER ALLOCATION= 400 G.P.D.
PROPOSED ADDITIONAL ALLOCATION = 0 G.P.D.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER & WASTEWATER DIVISIONS

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

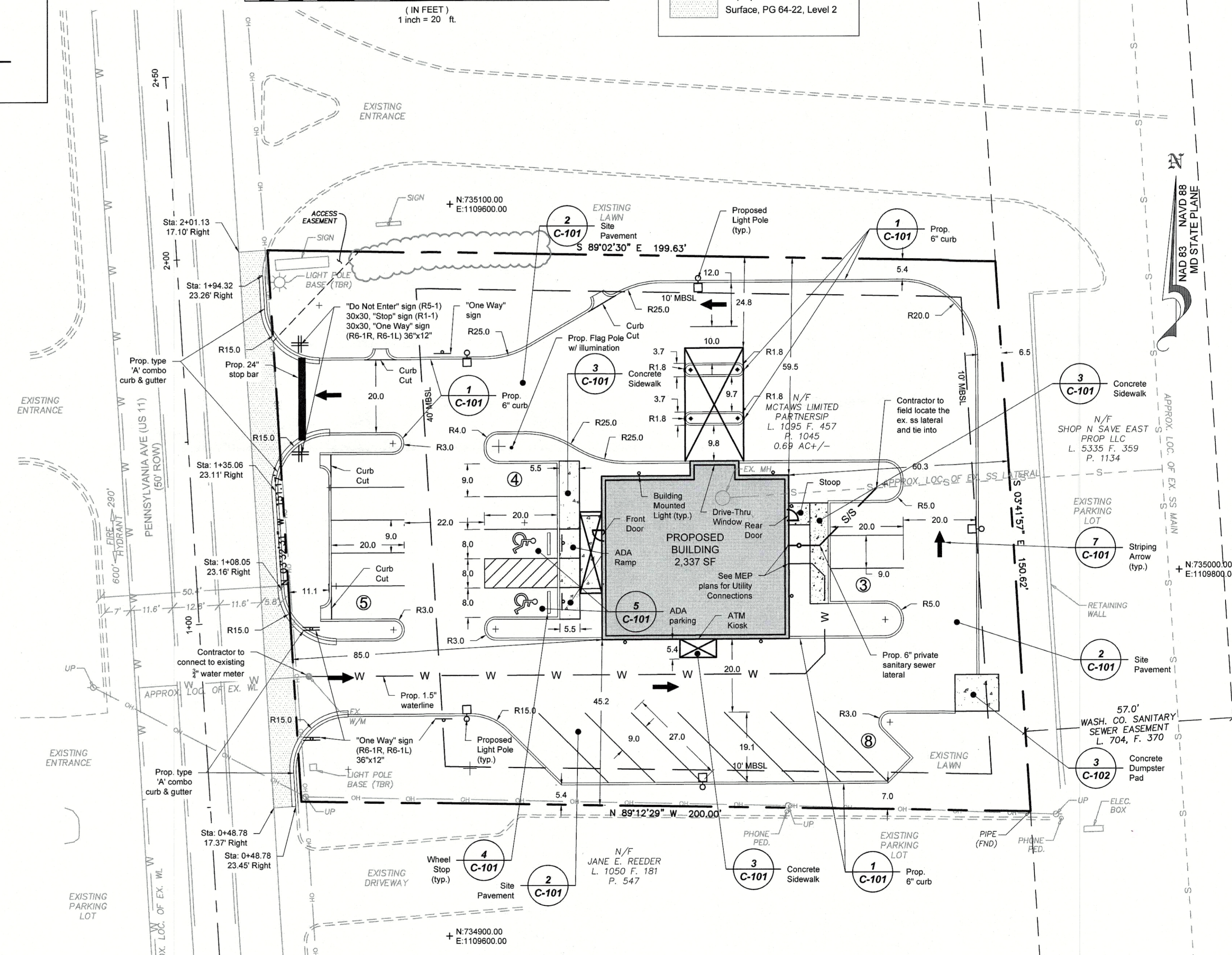
This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.

SIGNATURE _____ DATE _____



General Notes

- The Contractor shall be responsible for all coordination with all utility companies.
- All line striping and sign modification will be done by the Developer/Contractor's expense.
- Posted performance security will not be released until all work is completed to the satisfaction of the State Highway Administration.
- HMA shall be milled into all adjoining existing paved sections a minimum 2" depth. Feathering of HMA will not be allowed.
- All material incorporated into the work (ie, HMA, aggregate, seed, etc.) shall meet all applicable SHA specifications.
- Contractor shall contact SHA at least 5 business days before starting work.
- Contractor must get SHA approval before making any changes to approved plans.
- Before beginning work, the Contractor must obtain a State Highway Access Permit.
- The Contractor shall contact Miss Utility a minimum of 72 hours before starting work.
- Contractor shall notify all adjoining property owners at least 2 business days before starting work.
- Any damage to adjoining roads, utilities, private property, etc. caused by the Contractor will be repaired or replaced in kind by the Contractor to the satisfaction of the State Highway Administration.
- Anything that needs to be removed or relocated to complete the work as shown will be the Contractor's responsibility.
- Traffic control shall be the responsibility of the Contractor and shall be done in accordance with the approved plans and the latest MdMUTCD. Use MD-104 03-05, 104-03-02, and 104-03-03 for traffic control.
- All pavement markings shall be spotted by the permittee and approved by A.D.E. Traffic for district 6 S.H.A. engineer prior to actual placement of markings. SHA shall be notified 3 work days in advance of the permanent striping to review spotting.
- The S.H.A. permit inspector needs to be notified 3 work days in advance of the line striping to be placed.
- All pavement markings removed or damaged during construction shall be replaced in kind.



UTILITY NOTES

- All water facilities in public right of ways shall be constructed in conformance with City of Hagerstown Utilities Department and State of Maryland, Department of the Environment standards and specifications. All water facilities on private property shall be constructed in conformance with 2009 International Plumbing Code and State of Maryland, Department of Health and Mental Hygiene, Environmental Health Administration standards and specifications.
 - All fittings, bends, and appurtenances shall be installed with proper and required concrete buttresses. All dead end services shall be properly capped and buttressed.
 - All pipe joints shall be left open until water line has been hydrostatically tested unless directed otherwise by the City of Hagerstown Utilities Department in public rights of ways and/or Washington County Permits Department.
 - All underground water lines are to be installed with a cover of 3' below finished grade.
- All sanitary sewer facilities shall be constructed in conformance with the City of Hagerstown Utilities Department standards and specifications and Maryland Department of Environment standards and specifications.
 - All sewer lines to be PVC-SDR-35 (public), or Sch. 40 (private).
 - All bedding and embedment material and compaction shall meet the City of Hagerstown Utilities Department standards & specifications.
- The Contractor shall verify the location and elevation of existing utilities before starting construction.
- The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.
- Contractor is to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.
- Contractor to coordinate relocation of electric service with Potomac Edison.

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4908. Expiration Date: 03-24-18.

FREDERICK & SEIBERT ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST PALMBOURNE STREET, GREENBELT, MARYLAND 21740
(410) 391-9307
www.fredseibert.com

UNDER REVIEW - NOT APPROVED FOR CONSTRUCTION

Middletown Valley Bank
24 West Main Street, Middletown, MD 21766

PROJECT NO. 6653
CAD DWG FILE: 6653-03 Site Plan.dwg
DWN BY LEJ DATE 01-16-18
CHK BY TMF DATE 2018
TAX MAP 24-23-1045 ELECTION DIST. 27
SCALE 1" = 20'
SHEET TITLE SITE PLAN
C-101
SHEET 4 OF 6
SP-18-007



ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

May 15, 2018

Tim Lung
Washington County Department of Plan Review and Permitting
80 West Baltimore Street
Hagerstown, MD 21740

RECEIVED

JUN 14 2018

Re: Buffington Residence 20617 Gapland Road
Re-Plat of Lot 4

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

Dear Tim,

As you discussed with Steve Cvijanovich of our office, you're aware that Mr. Richard Buffington contacted us to assist with preparation of a Re-Plat of his lot located at 20617 Gapland Road. The purpose of this Re-Plat is to vacate a small portion of the existing forest conservation easement created by the Preliminary/Final Plat for Sweetwater Crossing Lots 1-14 recorded as Washington county Plat Numbers 8057-8063. The purpose of this correspondence is to address the **Preferred Sequence of Techniques and Areas for Mitigation** contained in **Article 10** of the **Washington County, Maryland Forest Conservation Ordinance** and document the preferred mitigation method we're seeking approval of. In an effort to address each technique and our commentary on same as it relates to this request we've inserted the **Article 10** verbiage below and provided a discussion on each numbered technique.

ARTICLE 10 PREFERRED SEQUENCE OF TECHNIQUES AND AREAS FOR MITIGATION

10.1 PREFERRED SEQUENCE OF TECHNIQUES FOR MITIGATION

A. After all techniques for retaining existing forest on the site have been exhausted, the preferred sequence of techniques for afforestation and reforestation is as follows:

- (1) Selective clearing and supplemental planting on site; The subject lot was created by Washington County Plat 8057-8063. This plat created lots 1-14 in the Sweetwater Crossing subdivision. The parent tract of the subdivision contained 58.0606 acres and forest conservation ordinance compliance was achieved through placing easements on lots 4 through 9 totaling 10.665 acres.*

Lot 4 has a net tract area of 3.3079 acres and is encumbered with 2.176 acres of forest easement. Additionally, the lots within this subdivision are also well and septic lots that further reduce the buildable area. Lot 4 is also encumbered with a stormwater management BMP which further reduces usable areas on the lot. The Re-Plat as proposed depicts 1,451 SF of forest area to be vacated to allow for construction of a pole barn to serve as an accessory use for the dwelling currently under construction. The vast forest encumbrance on lot 4 as a percentage of the net lot area, 66%, leaves little developable area beyond the area of the proposed dwelling. Therefore, supplemental planting and the easement to encumber same is problematic.

- (2) *Onsite afforestation or reforestation using transplanted or nursery stock that is greater than 1.5 inches diameter measured at 4.5 feet above the ground; Please refer to commentary in (1), above.*
- (3) *Onsite afforestation or reforestation, using whip and seedling stock; Please refer to commentary in (1), above.*
- (4) *Credit from an approved Forest Mitigation Bank that created new forest cover. The credit applied to the mitigation requirement is equal to 100% of the credit secured from the Forest Mitigation Bank; The very small area of forest to be vacated by this proposal may prove difficult to mitigate in an approved forest bank as typically the Forest Bank holders are seeking larger areas; additionally, the existence of Forest Banks in Washington County is limited to only one or two banks.*
- (5) *Offsite afforestation or reforestation, arranged by the applicant on private lands using transplanted or nursery stock that is greater than 1.5 inches diameter measured at 4.5 feet above the ground; Again citing the small area of the forest conservation area vacation proposed by this Re-Plat, the ability and cost-effectiveness to plat such a small area is problematic.*
- (6) *Offsite afforestation or reforestation arranged by the applicant on public lands using transplanted or nursery stock that is greater than 1.5 Inches diameter measured at 4.5 feet above the ground; Please refer to commentary in (5), above.*

- (7) *Offsite afforestation or reforestation, arranged by the applicant on private lands using whip and seedling stock; Please refer to commentary in (5), above.*
- (8) *Offsite afforestation or reforestation, arranged by the applicant on public lands using whip and seedling stock; Please refer to commentary in (5), above.*
- (9) *Landscaping of areas under an approved landscaping plan which establishes a forest that is at least 35 feet wide and covering 2,500 square feet or more of area; The forest conservation area proposed to be vacated by this project is very small, 1,451 SF, and the current encumbrances on lot 4, i.e. existing forest easement, the septic area, and the rain garden BMP limit the areas for a landscaping project to occur on.*
- (10) *Credit from an approved Forest Mitigation Bank that protected existing forest. The credit shall not exceed 50% of the area of existing forest protected; Please refer to commentary in (5), above.*
- (11) *Natural regeneration on site. The forest conservation area proposed to be vacated by this project is very small, 1,451 SF, and the current encumbrances on lot 4, and i.e. existing forest easement, the septic area, and the rain garden BMP limit the areas in which natural regeneration could occur and the additional on-site encumbrance would further reduce the buildable area on the lot.*
- (12) *Off site protective easements on existing forested areas not currently protected in perpetuity as identified on an approved Forest Stand Delineation that incorporates a long-term binding protective agreement, as applicable and described in C.O.M.A.R. 08.19.05.02 that:*
 - (a) *Provides protection for areas of forest conservation, including areas of afforestation, reforestation, and retention; The very small area of forest to be vacated by this proposal may prove difficult to mitigate via an off-site protective easement as typically property owners receptive to this are seeking larger areas to encumber.*

(b) *Limits uses in areas of forest conservation to those uses that are designated and consistent Limits uses in areas of forest conservation to those uses that are designated and consistent with forest conservation, including passive recreational activities and forest management practices that are used to preserve forest; Please refer to commentary in (12) (a), above.*

- (c) *Is recorded in the Land Records of Washington County with or on the final plat of subdivision or, in cases where no subdivision occurs, as a covenant or other form of deed restriction, and, if applicable includes the signature of both parties to the agreement; and Please refer to commentary in (12)(a), above.*
- (d) *Is located on a single lot of record. Please refer to commentary in (12) (a), above.*
- (e) *Credit for an off site protective easement may not exceed 50% of the area of existing forest cover protected. Please refer to commentary in (12) (a), above.*

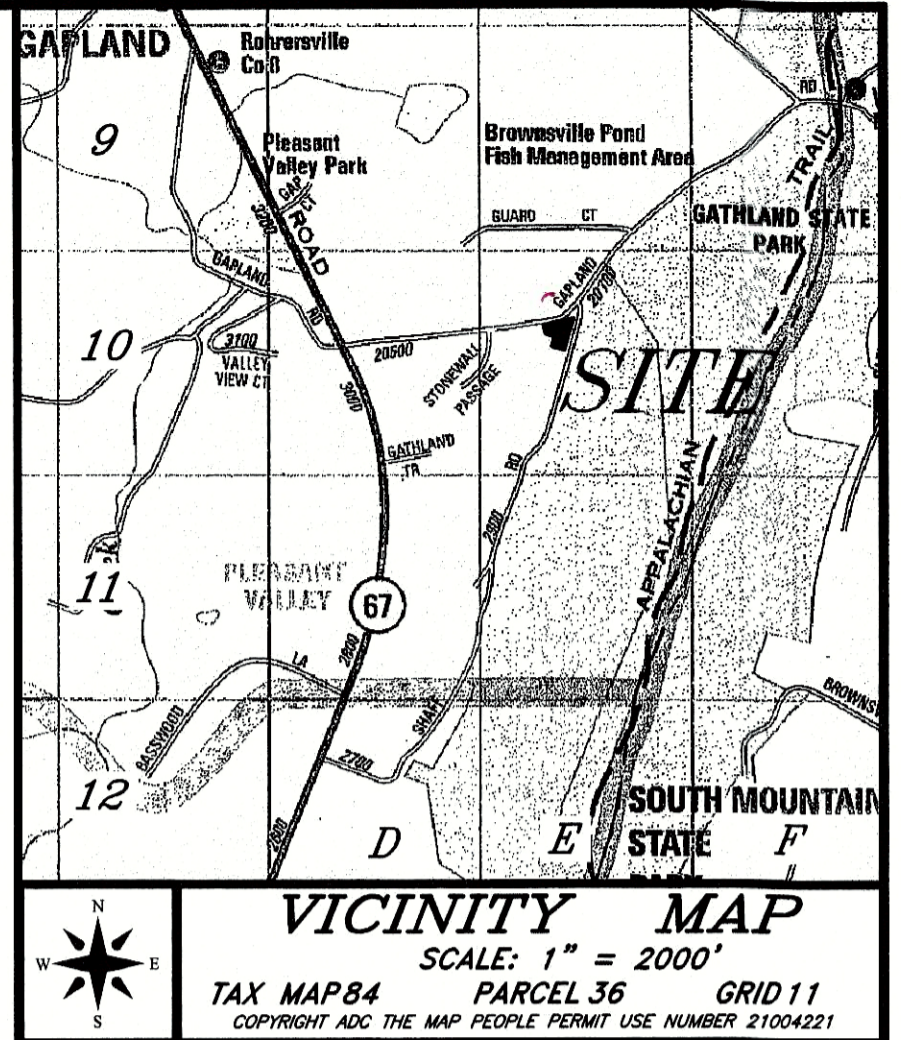
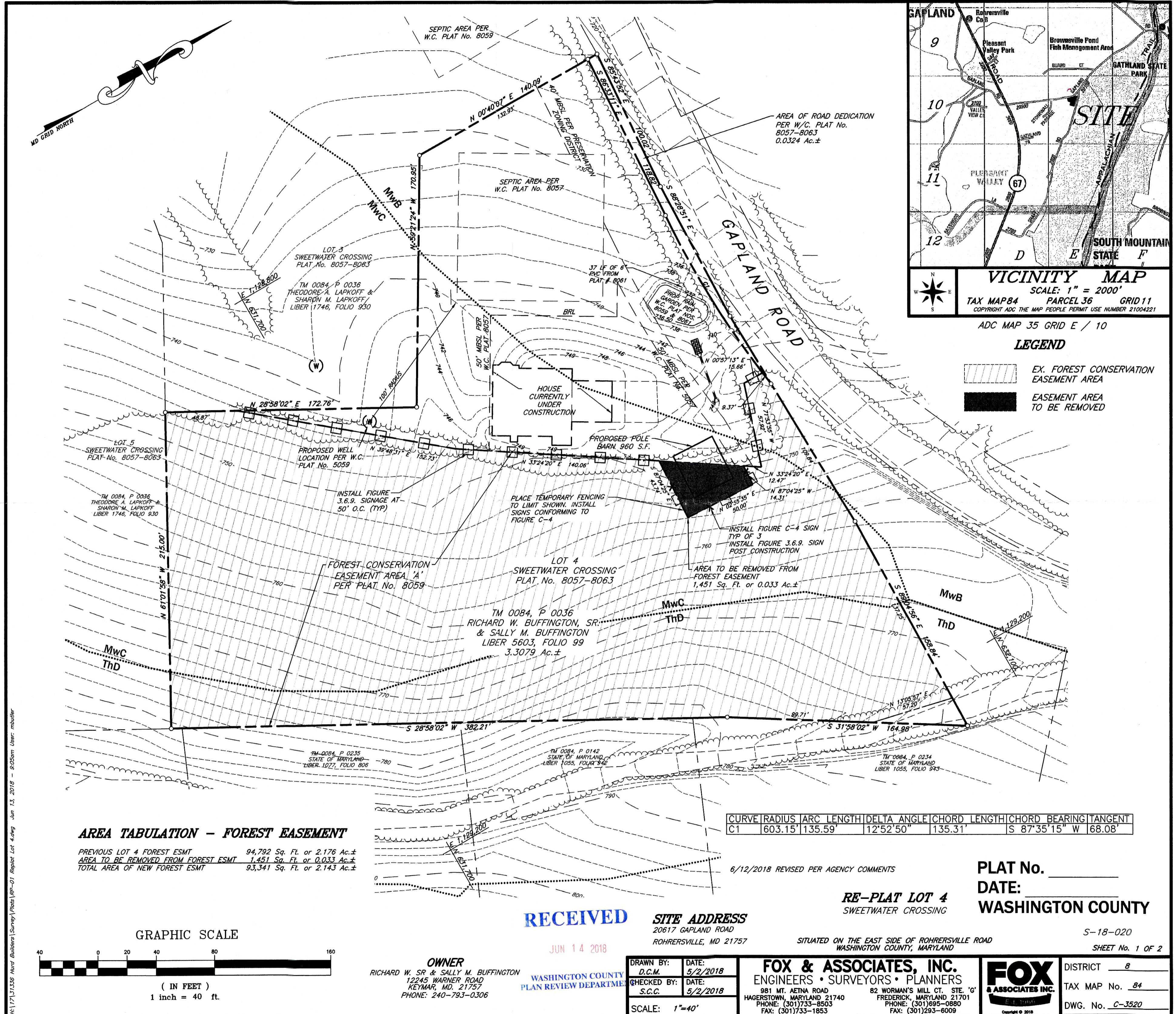
(13) *Payment of fee in lieu instead of afforestation and reforestation according to Article 11. The use of payment of a fee in lieu of afforestation appears the to be the most practical means of mitigation for this proposed vacation given the practically of mitigating the small 1,451 SF of forest area using the concerns listed in the commentary presented in the sequence of preferred technique discussion above.*

Sincerely,
FOX & ASSOCIATES, INC.



John M. Fream
Qualified Forest Professional

CC: Richard Buffington



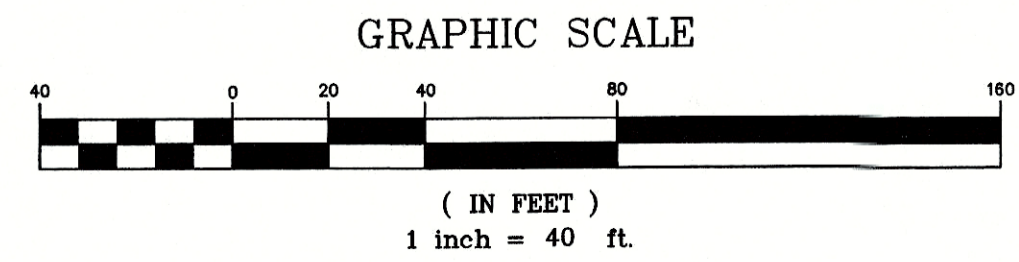
LEGEND

	EX. FOREST CONSERVATION EASEMENT AREA
	EASEMENT AREA TO BE REMOVED

AREA TABULATION - FOREST EASEMENT

PREVIOUS LOT 4 FOREST ESMT	94,792 Sq. Ft. or 2.176 Ac.±
AREA TO BE REMOVED FROM FOREST ESMT	1,451 Sq. Ft. or 0.033 Ac.±
TOTAL AREA OF NEW FOREST ESMT	93,341 Sq. Ft. or 2.143 Ac.±

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	TANGENT
C1	603.15'	135.59'	12°52'50"	135.31'	S 87°35'15" W	68.08'



OWNER
 RICHARD W. SR & SALLY M. BUFFINGTON
 12245 WARNER ROAD
 KEYMAR, MD. 21757
 PHONE: 240-793-0306

RECEIVED

JUN 14 2018

WASHINGTON COUNTY
 PLAN REVIEW DEPARTMENT

SITE ADDRESS
 20617 GAPLAND ROAD
 ROHRERSVILLE, MD 21757

RE-PLAT LOT 4
 SWEETWATER CROSSING

SITUATED ON THE EAST SIDE OF ROHRERSVILLE ROAD
 WASHINGTON COUNTY, MARYLAND

PLAT No. _____
DATE: _____
WASHINGTON COUNTY

S-18-020
 SHEET No. 1 OF 2

DRAWN BY: D.C.M. DATE: 5/2/2018
 CHECKED BY: S.C.C. DATE: 5/2/2018
 SCALE: 1"=40'

FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 981 MT. AETHA ROAD HAGERSTOWN, MARYLAND 21740
 PHONE: (301)733-8503 FAX: (301)733-1853
 82 WORMAN'S MILL CT. STE. 'G' FREDERICK, MARYLAND 21701
 PHONE: (301)695-0880 FAX: (301)293-6009



DISTRICT 8
 TAX MAP No. 84
 DWG. No. C-3520

H:\171\31336 Hurd Builders\Survey\Plats\RP-01 Replat Lot 4.dwg, Jun 13, 2018 - 9:05am User: mbutler

JUN 14 2018

NOTES:

- COORDINATES AND BEARINGS ARE BASED ON MARYLAND STATE PLANE COORDINATE SYSTEM NAD83.
- TOPOGRAPHY SHOWN HEREON IS FROM PHOTOGRAMMETRY PROVIDED BY WASHINGTON COUNTY GIS DEPARTMENT, 2' CONTOUR INTERVAL & SUPPLEMENTED WITH FIELD RUN TOPOGRAPHY ON JANUARY 12, 2017. PROPOSED SITE GRADING PER SGP-17-070 HAS BEEN SHOWN ON THE PLAT.
- THIS PLAT IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED ON JANUARY 12, 2017 BY FOX & ASSOCIATES, INC.
- ZONING - P, PRESERVATION
- o INDICATES REBAR AND CAP UNLESS OTHERWISE NOTED.
- THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP No. 24043C0394D DATED AUGUST 15, 2017. THE SITE IS IN ZONE 'X'
- THIS PLAT IS REVIEWED/APPROVED PER THE P ZONING DISTRICT. ANY DEVELOPMENT/CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WASHINGTON COUNTY ZONING ORDINANCE CURRENTLY BEING ENFORCED.
- THIS PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING THE OWNERSHIP AND USE NOR EVERY MATTER RESTRICTING THE OWNERSHIP AND USE OF THIS PROPERTY. THIS PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR NOTE ALL MATTERS AFFECTING TITLE.
- THERE ARE NO WELLS OR SEPTIC AREAS WITHIN 100 FEET OF THE PROPERTY, EXCEPT AS OTHERWISE SHOWN.
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THE PARCEL SHOWN HEREON IS SERVED BY ON-SITE WELL AND ON-LOT SEPTIC SYSTEM.
- THE WATERSHED AREA AFFECTING THIS PROPERTY IS PROPERTY DOES NOT EXCEED 400 ACRES.
- LOT 4 WAS PREVIOUSLY RECORDED AS WASHINGTON COUNTY PLAT NUMBERS 8057-8063. THE PURPOSE OF THIS PLAT IS TO VACATE A PORTION OF THE FOREST CONSERVATION AREA ESTABLISHED BY SAID PLAT.
- THE VACATION OF 1,451 S.F. OF EXISTING FOREST IS PROPOSED TO BE MITIGATED VIA THE PAYMENT IN LIEU OF PLANTING PROCEDURES. THE PAYMENT IN LIEU OF PLANTING MONETARY AMOUNT IS \$ 435.30.

SOIL INFORMATION

SOIL	SOIL DESCRIPTION	
MwB	MYERSVILLE GRAVELLY LOAM 3-8% SLOPES	24% OF LOT 4 TOTAL
MwC	MYERSVILLE GRAVELLY LOAM 8-15% SLOPES	56% OF LOT 4 TOTAL
ThD	THURMONT GRAVELLY LOAM 15-25% SLOPES	20% OF LOT 4 TOTAL

CERTIFICATE OF APPROVAL

FINAL APPROVAL GRANTED WASHINGTON COUNTY PLANNING COMMISSION

DATE: 6-13-2018 BY: RICHARD W. BUFFINGTON, SR. FINAL APPROVAL GOOD FOR SIX(6) MONTHS FROM ABOVE DATE

INTERIM FACILITIES PROVISION CERTIFICATE

IN COMPLIANCE WITH COMAR 26.03.01.05.B. (1) AND (2) THE INDIVIDUAL WATER SUPPLY AND/OR SEWER SYSTEM IS HEREBY PERMITTED ON A TEMPORARY INTERIM BASIS. FUTURE LOT OWNERS ARE ADVISED THAT THE INDIVIDUAL SYSTEMS SERVING THE LOT INDICATED ON THIS PLAT ARE OF TEMPORARY INTERIM NATURE AND THAT CONNECTION TO A FUTURE COMMUNITY SYSTEM SHALL BE MADE WITHIN ONE (1) YEAR OR LESS AFTER THE SYSTEM BECOMES AVAILABLE.

DATE: 6-13-2018 BY: RICHARD W. BUFFINGTON, SR. DATE: 6-13-2018 BY: SALLY M. BUFFINGTON

CERTIFICATE OF APPROVAL OF INDIVIDUAL WATER SUPPLY & INDIVIDUAL SEWERAGE SYSTEM

I HEREBY CERTIFY THAT THE MINIMUM OWNERSHIP AREA COMPLIES WITH THE MINIMUM WIDTH AND MINIMUM AREA REQUIREMENTS SPECIFIED IN COMAR 26.04.03.03. SUCH MINIMUM OWNERSHIP SHALL REMAIN EQUAL TO THE MINIMUM WIDTH AND MINIMUM AREA SET FORTH IN COMAR 26.04.03.03A. (2) UNTIL COMMUNITY SEWERAGE AND WATER HAVE BEEN MADE AVAILABLE, NOT MORE THAN ONE PRINCIPAL BUILDING MAY BE ERRECTED OR CONSTRUCTED ON A LOT, OR LOTS, CONTAINED IN THE MINIMUM OWNERSHIP AREA AS ESTABLISHED BY COMAR 26.04.03.03A (2) UNTIL COMMUNITY SEWERAGE HAS BEEN MADE AVAILABLE.

DATE: COUNTY HEALTH OFFICER

OWNERS DEDICATION

I HEREBY CERTIFY THAT I AM THE LEGAL AND TRUE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAT AND THAT WE ADOPT THIS PLAN OF SUBDIVISION, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, DEDICATE TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALL ALLEY, STREET, AND ROAD RIGHTS OF WAY DESIGNATED ON THIS PLAT, AGREE TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN, AND AGREE THAT THE DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY SAID BOARD, AND WE HEREBY RESERVE THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS OF WAY, OPEN SPACES AND RECREATION AREAS AND, WITH REGARD TO THE SAID EASEMENTS AND RIGHTS OF WAY, HEREBY AGREE TO CONVEY THE SAME TO SAID BOARD, FOR THE USE OF SAID WASHINGTON COUNTY, WITHOUT CONSIDERATION, UPON THE LEGAL ACCEPTANCE OF SAID EASEMENTS AND/OR RIGHTS OF WAY BY SAID BOARD.

THIS DEED AND AGREEMENT OF DEDICATION SHALL BE BINDING UPON OUR GRANTEEES, ASSIGNS, AND SUCCESSORS.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS OR RIGHTS OF WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:

NONE

AND ALL PARTIES AND INTERESTS THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES, INDICATING THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS 13th DAY OF June 2018.

WITNESSES: JACLYN BUZZARD, RICHARD W. BUFFINGTON, SR., SALLY M. BUFFINGTON

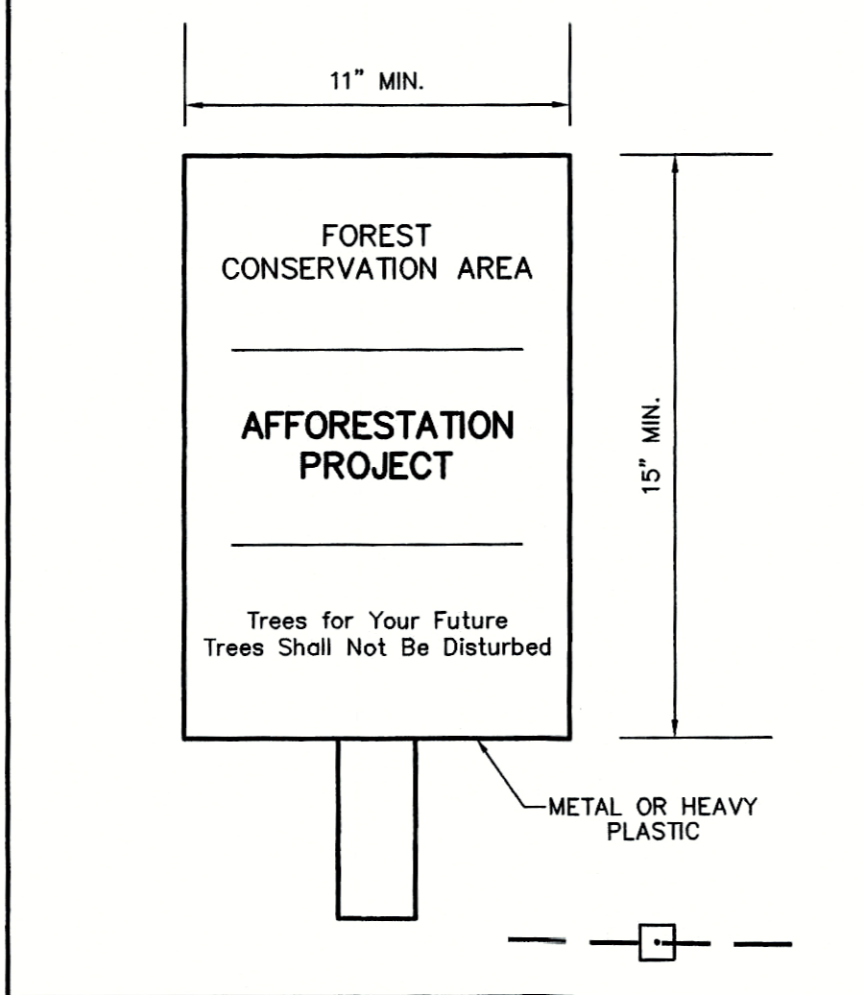
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY THEODORE A. LAPKOFF AND SHARON M. LAPKOFF TO RICHARD W. BUFFINGTON, SR. AND SALLY M. BUFFINGTON BY DEED DATED SEPTEMBER 28, 2017 AND RECORDED IN LIBER 5603 AT FOLIO 99 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND AND FURTHER THAT THIS PLAT WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED

DATE: 06/13/2018 BY: GEORGE E. NAGEL, PROFESSIONAL LAND SURVEYOR, MARYLAND REGISTRATION No. 21052, EXPIRATION/RENEW DATE: 08/24/2018

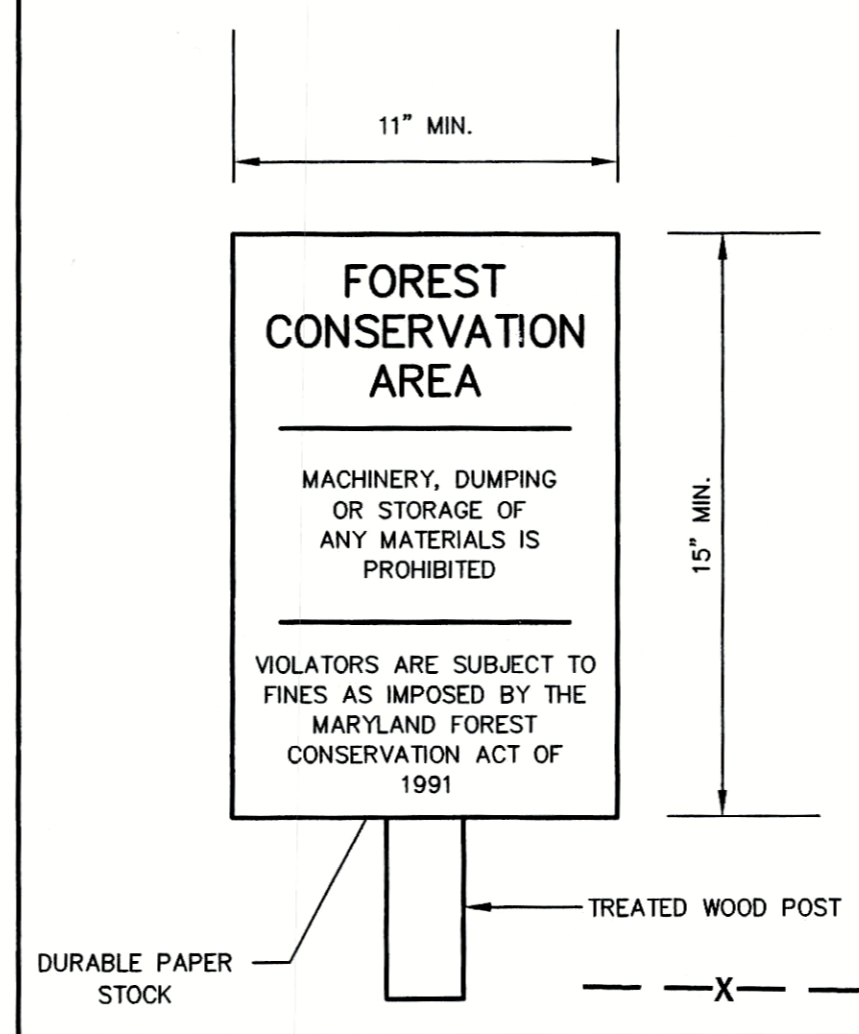


Fig. 3.6.9 Afforestation Area Protection Signage For Long-Term Conservation Area Protection



- NOTES:
- SIGNS SHALL REMAIN INDEFINITELY.
 - SIGNS SHALL BE LOCATED AS SHOWN ON SHEET 1 OR A MAXIMUM OF 150' O.C.

Fig. C-4 Temporary Conservation Area Signs During Construction



OWNER: RICHARD W. SR & SALLY M. BUFFINGTON, 12245 WARNER ROAD, KEYMAR, MD. 21757, PHONE: 240-793-0306

6/12/2018 REVISED PER AGENCY COMMENTS

RE-PLAT LOT 4
SWEETWATER CROSSING

PLAT No. _____
DATE: _____
WASHINGTON COUNTY

S-18-020
SHEET No. 2 OF 2

DRAWN BY: D.C.M. DATE: 5/2/2018
CHECKED BY: S.C.C. DATE: 5/2/2018
SCALE: 1"=40'

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
981 MT. AETNA ROAD, HAGERSTOWN, MARYLAND 21740, PHONE: (301)733-8503, FAX: (301)733-1853
82 WORMAN'S MILL CT. STE. 'G', FREDERICK, MARYLAND 21701, PHONE: (301)695-0880, FAX: (301)293-6009



DISTRICT: 8
TAX MAP No. 84
DWG. No. C-3520



DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission
FROM: Cody Shaw, Chief of Plan Review
DATE: June 26, 2018
SUBJECT: Vista Business Park Forest Conservation Plan (FP-18-003)

A forest conservation plan has been submitted for review and approval for Vista Business Park on a parcel along the south side of Showalter Road. The property is located in the Highway Interchange Zoning District.

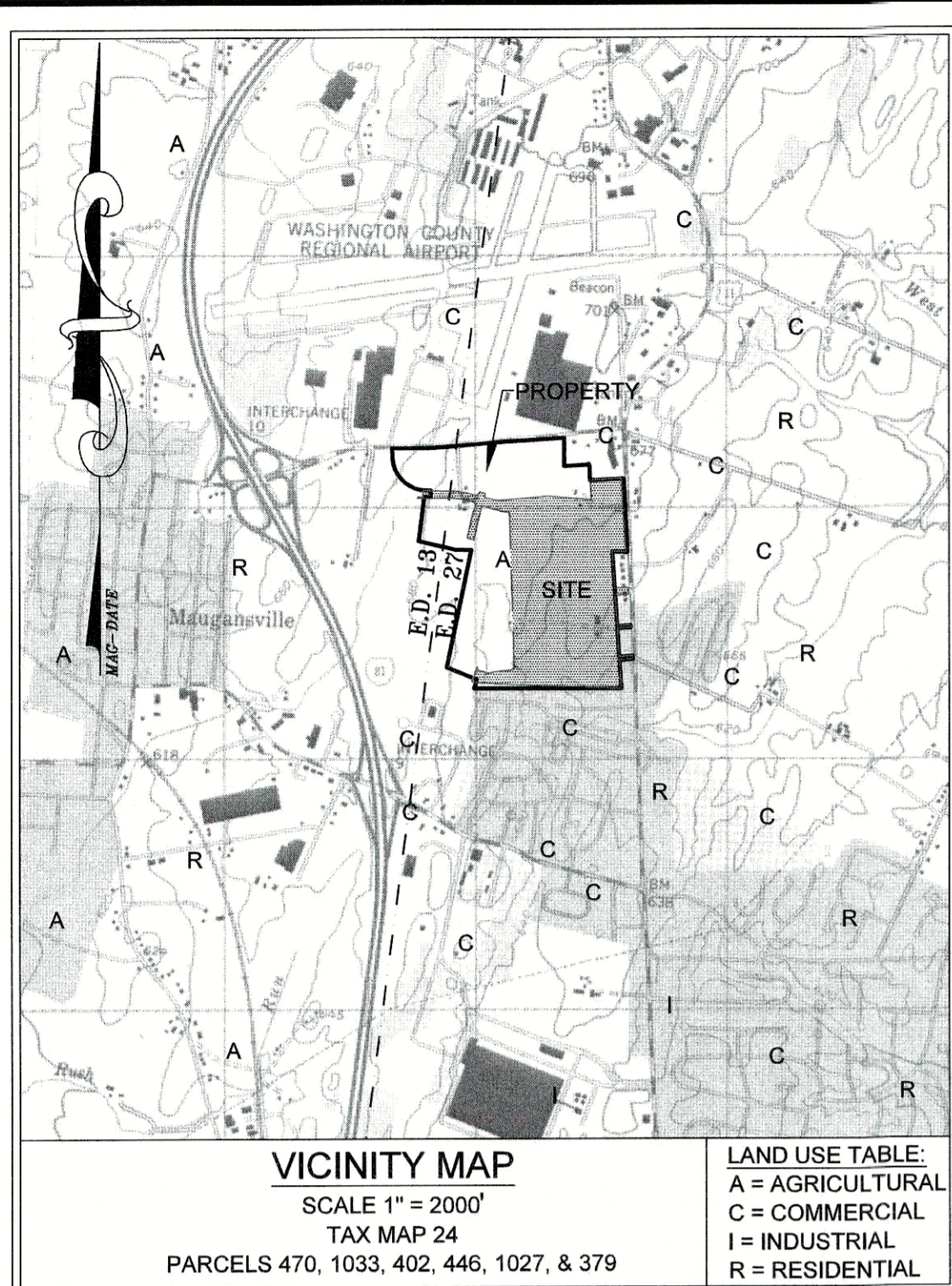
The site will be located on a 83.33 acre parcel, and the applicant is looking to develop the site.

A site plan (SP-18-019) and a grading plan (GP-18-006) have been submitted for this site. This forest conservation plan summarizes the net tract area of the site and how the applicant wishes to meet the requirements of forest mitigation. The applicant is requesting the Planning Commission to grant approval to allow a payment in lieu as the form of mitigation. The proposed PIL would be approximately \$323,740.10.

The proposed FCP justification for doing a Payment In Lieu shown on the plan can be summarized as follows:

- Site is located within a priority funding area (PFA)
- Site is zoned HI
- There are no high priority areas for retention within the site
- Any specimen trees had already been removed or were in the process of being removed by the landowner at the time of the FSD preparation
- On-site retention and/or planting would prohibit the development of the site as proposed
- Forest cover in the vicinity of the airport is not desirable and poses safety concerns

A copy of the forest conservation plan is attached.



LEGEND

- NET TRACT AREA
- FOREST COVER BOUNDARY
- AREA OF FOREST COVER TO BE CLEARED
- SOIL TYPE DESIGNATION
- SOIL TYPE BOUNDARY
- INDICATES SPECIMEN TREE LOCATION AND IDENTIFICATION NUMBER

- GENERAL NOTES**
- TAX MAP 24, GRID 10, PARCELS 446, P/O 470, & 1027 AND TAX MAP 24, GRID 11, PARCELS 379, 402, & 1033
 - ELECTION DISTRICT: 13 AND 27 OF WASHINGTON COUNTY, MD
 - DEED REFERENCE: L 2396 F. 346, L 1526 F. 728, AND L 3888 F. 166
 - SITE IS ZONED "HI" - HIGHWAY INTERCHANGE DISTRICT
 - THE PROPERTY BOUNDARY INCLUDING BEARINGS AND DISTANCES, EASEMENTS AND RIGHTS OF WAYS, AND TOPOGRAPHY SHOWN HEREON WAS PROVIDED BY GORDON, INC.
 - THERE IS AN APPROVED FSD FOR THIS SITE NO. FS-18-003, APPROVED ON APRIL 30, 2018

SOILS TYPES
SOURCE: USDA/NRCS SOIL SURVEY FOR WASHINGTON COUNTY, MD

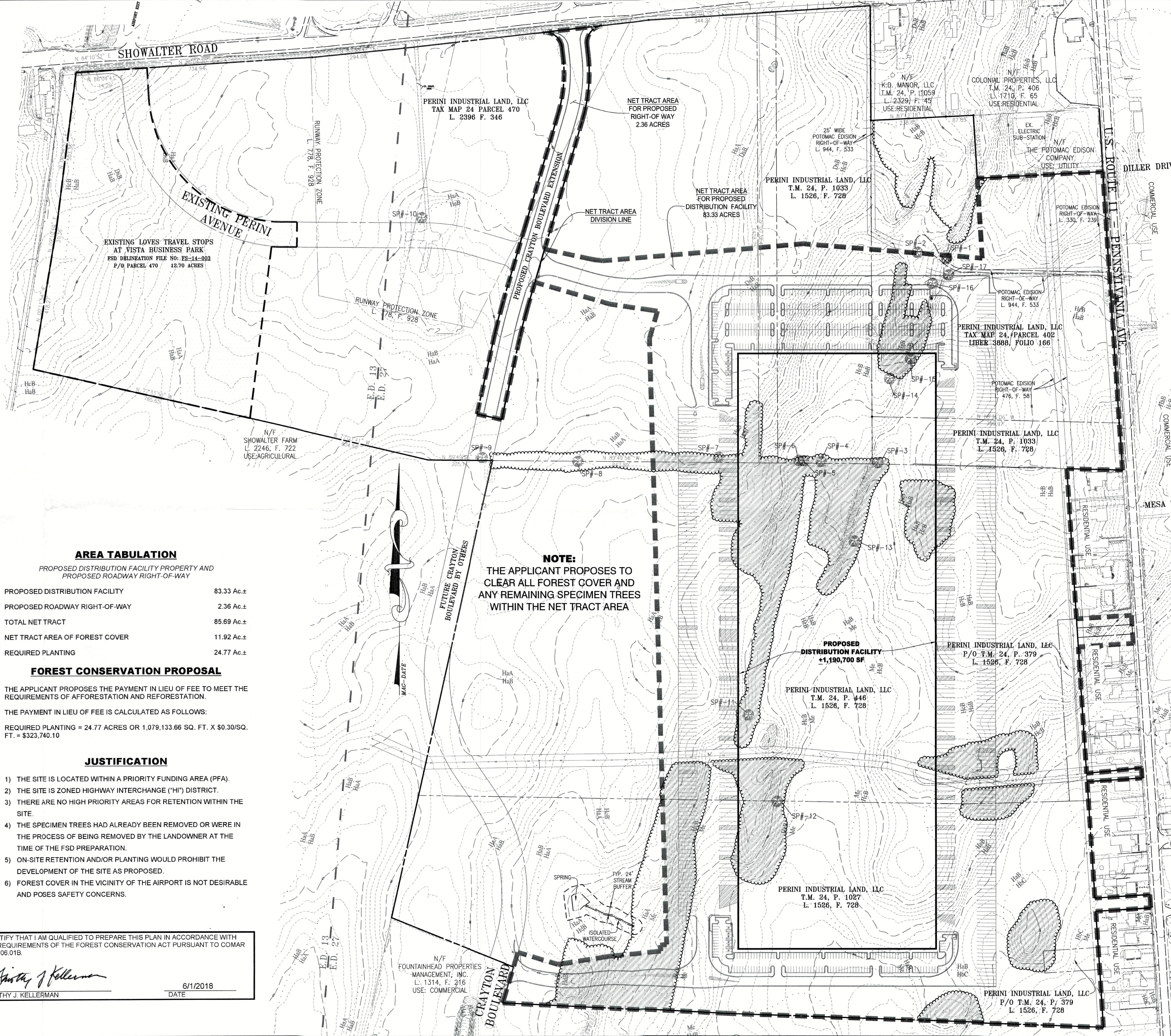
TYPE	NAME	SLOPE	HSG	K FACTOR
Dsb	DUFFIELD SILT LOAM *	3-8%	B	.37
HgA	HAGERSTOWN SILT LOAM *	0-3%	B	.32
HgB	HAGERSTOWN SILT LOAM *	3-8%	B	.32
HcB	HAGERSTOWN SILT LOAM, VERY ROCKY	8-15%	B	.32
HcB	HAGERSTOWN-ROCK OUTCROP COMPLEX	3-8%	B	.32
HcB	HAGERSTOWN-DUFFIELD-URBAN LAND COMPLEX	0-8%	B	.37
Me	MELVIN SILT LOAM		D	.43

* = INDICATES PRIME FARMLAND SOILS
□ = INDICATES HYDRIC SOILS

*NOTE - THE AREA MAPPED AS MELVIN (Me) SILT LOAM WAS RECLASSIFIED AS DUFFIELD AND HAGERSTOWN SOIL SERIES IN FEBRUARY 2009 AS AGREED UPON BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT.

SPECIMEN TREE TABLE

TREE ID NUMBER	DIAMETER AT BREAST HEIGHT (DBH) IN INCHES	TREE SPECIES	CONDITION
SP#-1	49"	RED MAPLE	DEAD/FALLEN
SP#-2	33"	RED MAPLE	DAMAGED
SP#-3	33"	BLACK WALNUT	GOOD
SP#-4	37"	HACKBERRY	FAIR
SP#-5	34"	BLACK CHERRY	GOOD
SP#-6	32"	BLACK WALNUT	FAIR (VINES)
SP#-7	32"	BLACK CHERRY	GOOD
SP#-8	38"	BLACK LOCUST	REMOVED
SP#-9	33"	BLACK WALNUT	REMOVED
SP#-10	35"	WHITE OAK	REMOVED
SP#-11	43"	BLACK CHERRY	FAIR/MULTIPLE BORE
SP#-12	34"	WHITE OAK	REMOVED
SP#-13	31"	WHITE OAK	FAIR
SP#-14	36"	BLACK LOCUST	TRUNK/DAMAGED
SP#-15	30"	HACKBERRY	FAIR
SP#-16	32"	NORWAY MAPLE	FAIR
SP#-17	39"	ENGLISH WALNUT	REMOVED



CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01B.

Timothy J. Kellerman
TIMOTHY J. KELLERMAN
DATE 6/1/2018

RECEIVED

WASHINGTON COUNTY
PLANNING DEPARTMENT

DATE: 6-1-2018
SCALE: 1" = 150'

OWNER: PERINI INDUSTRIAL LAND, LLC
1372 WARDEN RD, 21740
HAGERSTOWN, MD
PAUL A. PERINI, MEMBER
(301) 797-8710

CADD FILE: 03170694FCP
DRAWN BY: PMU
CHECKED BY: TJK
DATE: 6-1-2018

PRELIMINARY/FINAL FOREST CONSERVATION PLAN P/O VISTA BUSINESS PARK

PROPOSED DISTRIBUTION FACILITY AND RIGHT-OF-WAY

SITUATED ALONG THE SOUTHERN SIDE OF SHOWALTER ROAD AND ALONG THE WESTERN SIDE OF PENNSYLVANIA AVENUE

TRIAD ENGINEERING, INC.
1075-D SHERMAN AVENUE
HAGERSTOWN, MD 21740
PH: 301.797.6400 FAX: 301.797.2424
OFFICE LOCATIONS: MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

www.triadeng.com
SHEET NUMBER: FCP
JOB NO.: 03-17-0490



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

TO: Planning Commission members

FROM: Stephen T. Goodrich, Director

DATE: June 29, 2018

RE: School Adequacy

During the June 4th meeting, I offered to provide more detailed information on the school adequacy process. We will use the two enclosed spreadsheets as examples for discussion at our upcoming meeting on July 9th.

Developer: Sasson Shaool
 Subdivision: Rosewood PUD Phase IIB Lots 178, 17C, 18 &20
 Reference #:
 Date of Test: May 23, 2018

Proposed Development Type	
Single Family	0
Townhouse	0
Multi-Family	222

Pupil Generation Rates			
Type	Elem	Mid	High
Single Family	0.43	0.18	0.21
Townhouse	0.33	0.1	0.11
Multi-Family	0.33	0.13	0.14

Name	LRG Enrollment	Current Enrollment	Pipeline Enrollment (90%)	Background Enrollment	Pupils Generated from this Development	Total Adjusted Enrollment	School Impact	SRC	% of SRC
Elementary	1140	973	52	-45.5	73.3	1052.8	87.2	1267.0	83.1%
Middle	797	780	41.5	6.2	28.9	856.6	-59.6	797.0	107.5%
High	1209	1270	58.37	3.7	31.1	1363.2	-154.2	1209.0	112.8%

Current Elementary School Enrollment from BOE (Mar 2018)	State Rated Capacity	Local Rated Capacity (90%)
Bestler	618	547
Boonsboro	540	463
Cascade	175	247
Clear Spring	406	347
Eastern	452	515
Emma K. Doub	333	267
Fountaindale	377	317
Fountain Rock	243	268
Greenbrier	215	227
Hancock	254	266
Hickory	302	212
Jonathan Hager	405	471
Lincolnshire	581	500
Maugansville	739	662
Old Forge	357	339
Pangborn	739	671
Paramount	393	368
Pleasant Valley	220	206
Potomac Heights	305	265
Rockland Woods	596	676
Ruth Ann Monroe	521	626
Salem Avenue	710	653
Sharpsburg	263	224
Smithsburg	363	377
Williamsport	266	511
Eastern/Ruth Ann Monroe*	973	1140

Current Middle School Enrollment from BOE (Mar 2018)		State Rated Capacity (100%)	Local Rated Capacity (100%)
Boonsboro	763	872	872
Clear Spring	378	563	563
E. Russell Hicks	780	797	797
Northern	670	818	818
Smithsburg	634	829	829
Springfield	820	860	860
Western Heights	872	828	828

Current High School Enrollment from BOE (Mar 2018)		State Rated Capacity	Local Rated Capacity (100%)
Boonsboro	907	1030	1030
Clear Spring	476	574	574
Hancock Middle/High	261	584	584
North Hagerstown	1341	1337	1337
Smithsburg	788	829	829
South Hagerstown	1270	1209	1209
Williamsport	921	935	935

*For the purposes of this analysis Ruth Ann Monroe Primary School and Eastern Elementary School share the same school district therefore their enrollment, SRC, and LRC shall be combined into one school district.

ALTERNATE MITIGATION CONTRIBUTION for:

Pupil Gen. rate updated to figures app'd by BCC April 2016
 complete shaded areas with development information
 use line appropriate for type of unit
 use TOTAL at bottom of page if there is more than 1 type of unit and sum AMC column

(A/B x C) x D x E = Alternate Mitigation Contribution

- \$41,189.55 A = average cost of a school seat
- 50 B = life expectancy (50 years)
- 13 C = average pupil generation rate for type of development
- D = total # of years typical student spends in all schools (6 in elementary, 3 in middle and 4 in high school = 13)
- E = # of units in development

Type	Pupil Generation Rates			Average Pupil Gen Rate
	Elem	Mid	High	
Single Family	0.43	0.18	0.21	0.27
Townhouse	0.33	0.1	0.11	0.18
Multi-Family	0.33	0.13	0.14	0.2

AMC APARTMENTS

A	/	B	=	x	C	=	x	D	=	x	E	=	AMC			
\$ 41,198.55	/	50	=	\$ 823.97	x	0.20	=	\$ 164.79	x	13	=	\$ 2,142.32	x	222	=	\$ 475,596.06

AMC TOWN HOMES

A	/	B	=	x	C	=	x	D	=	x	E	=	AMC	
\$ 41,198.55	/	50	=	\$ 823.97	x	0.18	=	\$ 148.31	x	13	=	\$ 1,928.09	x	-

AMC SINGLE FAMILY

A	/	B	=	x	C	=	x	D	=	x	E	=	AMC	
\$ 41,198.55	/	50	=	\$ 823.97	x	0.27	=	\$ 225.22	x	13	=	\$ 2,927.84	x	-

TOTAL = \$ 475,596.06