



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING

May 7, 2018, 7:00 PM

WASHINGTON COUNTY ADMINISTRATION BUILDING
100 WEST WASHINGTON STREET
2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. April 2, 2018 Planning Commission meeting minutes *

MODIFICATIONS

1. OM-18-001 – Pax Edwards – Hopewell Station – Modification request to create a lot without public road frontage located at 11204 Pepperbush Circle; Zoning: RM (Residential Multi-family); Planner: Cody Shaw *
2. OM-18-002 – Derek & Lisa Clark – Modification request from access spacing requirement of 300 feet for property located at 14302 Fairview Road, Clear Spring; Zoning: A(R) – Agricultural Rural; Planner: Lisa Kelly *
3. PSP-17-004 – Shops at Sharpsburg Pike Lots 2 and 3 – Modification request for proposed lots without road frontage located along Sharpsburg Pike; Zoning: HI (Highway Interchange); Planner: Lisa Kelly

SITE PLANS

1. PSP-17-004 – Preliminary plat and site plan for Lots 2 & 3 at The Shops at Sharpsburg Pike located along the east side of Sharpsburg Pike and the south side of HK Douglas Drive; Zoning: HI (Highway Interchange); Planner: Lisa Kelly *
2. PSP-17-005 – Preliminary plat and site plan for Lot 1 at The Shops at Sharpsburg Pike located along the east side of Sharpsburg Pike and the south side of HK Douglas Drive; Zoning: HI (Highway Interchange) Planner: Lisa Kelly *
3. SP-18-002 – Site plan to establish a seasonal event center at Stillwater Farm located at 4040 Mills Road, Sharpsburg; Zoning: P (Preservation); Planner: Cody Shaw *
4. SP-18-012 – Site plan to replace existing conveyance/stacking equipment with modern equipment used for the processing of recyclable materials for Conservit Inc. located at 18656 Leslie Drive, Hagerstown; Zoning: IG (Industrial General); Planner: Lisa Kelly *

OTHER BUSINESS

1. Update of Staff Approvals – Tim Lung
2. Rezoning Schedule – Steve Goodrich *
3. Comprehensive Plan Update – Community Facilities - Jill Baker **

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, June 4, 2018, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administration Building, 100 W. Washington Street, 2nd Floor, Public Meeting Room #2000, Hagerstown, Maryland

**a t t a c h m e n t s*

*** materials will be distributed under separate cover*

The Planning Commission reserves the right to vary the order in which the cases are called.

Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.*



DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: April 23, 2018

SUBJECT: Ordinance Modification for Pax-Edwards LLC (OM-18-001)

Attached you will find for your review a modification request to allow the creation of a lot without public road frontage. Section 405.11.B of the Washington County Subdivision Ordinance states that every lot shall abut a minimum of 25 feet and have access to a public road. The applicant is requesting that the Planning Commission approve the creation of this lot that will not have public road frontage. The property will have an access easement to access the lot.

Attached you will find a statement of justification from the applicant that discusses why the lot without road frontage is necessary. The lot in question is associated with the Hopewell Manor Apartment complex. The owners would like to build two more apartment buildings, however their financing requires that the new building be under a different entity than their current ownership.

The proposed modification request was reviewed by Plan Review, the Department of Emergency Services, and the Williamsport Fire Department for commenting. All of the reviewing agencies had no comment or objection to the approval of the modification request.

If you have comments regarding the proposed modification and/or the applicant's request, please call or e-mail me at: (240) 313-2442 or cshaw@washco-md.net.

Cody L. Shaw
Chief of Plan Review

DM-18-001



Washington County

M A R Y L A N D

RECEIVED

MAR 22 2018

DIVISION OF
ENGINEERING & CONSTRUCTION MANAGEMENT
PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

PLAN REVIEW DEPARTMENT

WASHINGTON COUNTY PLANNING COMMISSION
APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Pax-Edwards LLC

MAILING ADDRESS 141 North Main St. Suite K, Belair MD 21014

TELEPHONE 410-925-2923
(home) (work) (cell)

PROPERTY OWNER

NAME Case Edwards Management Co. Hopewell Manor

MAILING ADDRESS 410 Severn Ave Suite B413 Annapolis MD 21403

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME Frederick Seibert, + Associates

ADDRESS 128 S. Potomac St. Hagerstown MD 21740

TELEPHONE 301-791-3650

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 48 GRID 16 PARCEL 792 #02816273

PROPOSED LOT ACREAGE 2.11 TOTAL SITE ACREAGE 6.20

ZONING DISTRICT DM ROAD FRONTAGE (FT) 415

8-23-16

Page 1 of 7

80 West Baltimore Street Hagerstown, MD 21740-6003 240.313.2460 711

WWW.WASHCO-MD.NET

LOCATION / ADDRESS

West side of Hopewell Road and
South of I-70.

EXISTING AND PROPOSED USE OF PROPERTY Multi-Family Residential

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER NO, Same owners but different Entity

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11.B

MODIFICATION IS TO ALLOW Building lot without road frontage

STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

The property owners wish to construct
(2) new apartment buildings on their
property. However, their financing
requires that the new buildings be
under a different Entity than their
current ownership.

(Attach additional sheets if necessary)

In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.



Applicant's Signature

Date



Property Owner's Signature

3/2/2018

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

SM-18-002

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Derek & Lisa Clark

MAILING ADDRESS 13960 Green Mountain Road, Maugansville, MD 21767

TELEPHONE 301-471-8617
(home) (work) (cell)

PROPERTY OWNER

NAME Same as above

MAILING ADDRESS _____

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME Frederick, Seibert & Associates c/o Ed Schreiber

ADDRESS 13960 Green Mountain Road, Maugansville, MD 21767

TELEPHONE 301-791-3650

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 8 GRID 20 PARCEL 123 Lot 21

PROPOSED LOT ACREAGE 1.36 TOTAL SITE ACREAGE 1.36

ZONING DISTRICT A ROAD FRONTAGE(FT) 160 feet

RECEIVED

APR 10 2018

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

LOCATION / ADDRESS

North side of Fairview Road 1000' east of St Pauls Road

EXISTING AND PROPOSED USE OF PROPERTY

Existing 1.6 acre vacant residential lot.

Proposed 1.6 acre residential lot improved with a house and detached garage

1.36 Acres. *Don*

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER Yes

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.2.A

MODIFICATION IS TO ALLOW Single lot driveway access onto Fairview Road (MD 494), a major collector, at 150 feet vs the required 300 feet along a major collector

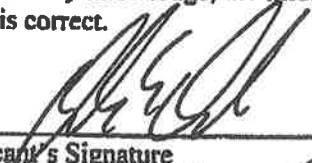
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

The owner/applicant purchased this lot and designed house plans as an upgrade to their current residence. The design of the home will allow an elderly family member reside with them. The large lot will also be utilized to construct a detached garage that will shelter the classic cars and trailer that the owners keep as a hobby. The owner does not want to share a driveway and propose a burden on the adjacent owner with constant travel back to the detached garage. It is his intention to back the trailer into the detached garage, no other objects or vehicles can be in the driveway whenever attempting to make this maneuver. The most certain way to eliminate potential conflicts in the driveway is to have your own driveway. The MD SHA has visited the site and determined that site distance at the proposed location is just as good if not better than the existing location.


(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.


Applicant's Signature

4/9/18
Date


Property Owner's Signature

4/9/18
Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00. Make check payable to: Washington County Treasurer. Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing: <ul style="list-style-type: none"> a. dimensions & shape of proposed lot with acreage; b. size & location of existing and/or future structures; c. existing/proposed roadways and associated access right of way or easements; d. existing/proposed entrance/exit to property; e. natural or topographic peculiarities of the lot in question.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

MODIFICATION FOR DEREK AND LISA CLARK

Submitted is a modification request for Derek and Lisa Clark.

The property is located along the north side of Fairview Road (MD 494), just east of the intersection with St. Paul's Road. Zoning of the property is Agriculture Rural and is 1.36 acres in size. It is currently undeveloped.

The property owned by the Clarks was originally subdivided and approved in the 90's as Lot 21 of Wild Flower Meadows. The access that was originally approved for this lot was part of a shared access with Lot 20. It straddled the property line of both lots and was located on the western property line of Lot 21.

The Clarks would like to relocate the proposed driveway to the opposite side of Lot 21 along the eastern property boundary. They plan to build a detached garage in the rear of the lot that will house a classic car and trailer. They do not wish to share a driveway and inconvenience someone else with the increased use of the extra car and trailer.

The Modification is a request from Section 402.A of the Subdivision Ordinance that states that all new access points must conform to the County Highway Plan.

The Plan classifies Fairview Road as a Major Collector which requires a minimum of 300 feet of spacing between access points. The proposed driveway for the Clark property is approximately 150 feet from adjacent driveways.

The State Highway Administration has visited the proposed site and has determined that site distance for the new driveway is good.



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

Ordinance Modification Transmittal Form

Type: NA

DATE : 04-11-2018
TO : SHA
FROM PLAN REVIEWER : Lisa Kelly
ATTACHED HERewith : OM-18-002
NAME : Wild Flower Meadows
DESCRIPTION : Modification to existing single family lot access point - create a new access point that does not meet the required 300 feet of access spacing
LOCATION : North side of Fairview Road
DISTRICT : 23
LAND USE : Agriculture
ZONING : Agricultural, Rural
PARCEL : 23021463
ACRES : 1.36
LOTS : 1
OWNER : CLARK DEREK E CLARK LISA M
ENGINEER : FREDERICK SEIBERT & ASSOCIATES

Submitted by this office for your:

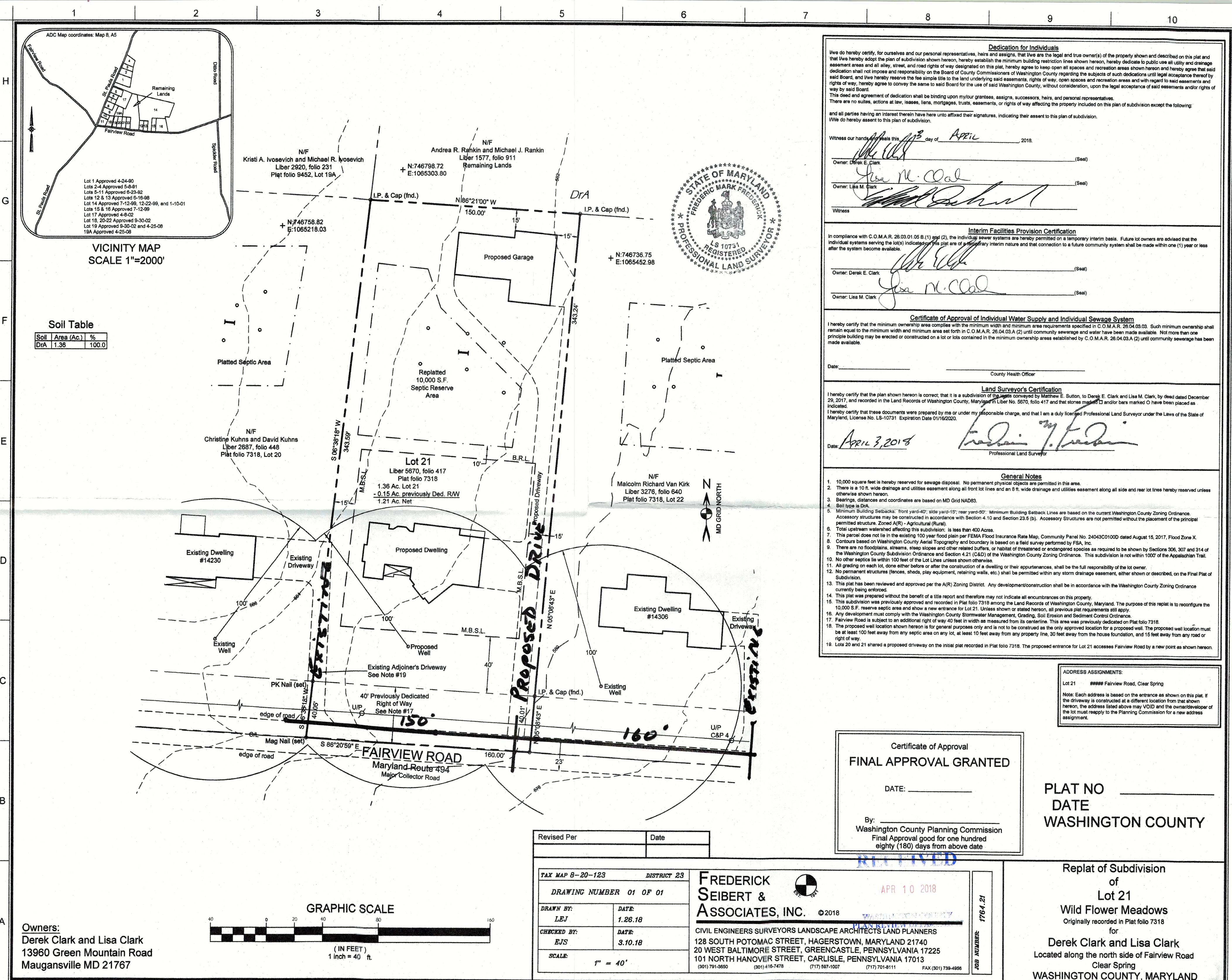
☒ Approval
☐ Observation & Comment
☐ Information

Attachment(s) ☐ Construction Drawings ☐ Road Adequacy Worksheets
☐ Forest Conservation Plan ☐ Other: _____

LAK/MSG

The Maryland Department of Transportation (MDOT) State Highway Administration (SHA) has no objection to new residential entrance being created that does not meet the required 300' entrance spacing.

Mark P. McKenzie
4/16/18





WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

PRELIMINARY PLAT SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: The Shops at Sharpsburg Pike
NUMBER.....: PSP-17-004

OWNER.....: SHARPSBURG PIKE HOLDING LLC
LOCATION.....: South side of the Sharpsburg Pike
DESCRIPTION.....: Proposed fast food and retail shop (coffee)

ZONING.....: Highway Interchange
COMP PLAN LU.....: High Density Residential
PARCEL.....: 10020174
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....: Commercial
GROSS ACRES.....: 16.80
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: No Date Available

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: I521 NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
41		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	n/a	Dumpster
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
n/a	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
34		
Parking Spaces - Minimum Required	Recreational Parking Provided	
32	No	

**WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING**

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

NEW ROAD CONSTRUCTION: Yes**ACCESS SPACING VARIANCE NEEDED: No****SCHOOL INFORMATION**

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT	565	777	1288
MAXIMUM CAPACITY	745	797	1209

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	FUNKSTOWN
AMBULANCE DISTRICT.....:	HAGERSTOWN

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

Staff Comments:

Not Applicable

PRELIMINARY PLAT – LOTS 2 & 3
SITE PLAN FOR LOT 2
THE SHOPS AT SHARPSBURG PIKE

Presented is a Preliminary Plat for Lots 2 & 3 and a Site Plan for Lot 2 at The Shops at Sharpsburg Pike.

The subject property is located along east side of the Sharpsburg Pike. Zoning of the property is HI Highway Interchange.

Lot 2 is 1.28 acres in size and proposes the construction of a Dunkin Donuts Shop.

Lot 3 is to be 1.04 acres in size. There is no construction proposed under this site plan submittal, just subdivision.

Both lots will have access from a right in only entrance off of Sharpsburg Pike and full access (entrance and exit) from Col Henry K Douglas Drive. (to be constructed).

Both lots will be served by public water and sewer.

The Dunkin Donuts on proposed Lot 2 will be 2,348 square feet in size. There will be a drive thru window on the east side of the building with the order board located to the rear of the building.

Hours of operation will be 5:00 am to 10:00 pm 7 days a week.

Parking spaces required is 32 spaces with 34 being provided. There will be one delivery per week.

Site lighting will be building mounted and pole mounted. Signage will be building mounted and pole mounted.

Landscaping includes plantings in parking islands (cherry trees) and along the boundary of the parking areas (Hollies).

The developer is proposing to pay the fee in lieu to meet Forest Conservation Ordinance requirements. The payment would cover the entire 17 acres owned by the developer (subject site and remaining lands). 7.21 acres needs to be mitigated and the cost for payment is \$94,163.11.

Lots 2 & 3 do not meet the Subdivision Ordinance requirement that all created lots must have usable public road frontage at a minimum of 25 feet. Access to these lots will be by way of a right turn off of Sharpsburg Pike that is to be entirely on proposed Lot 1. Another access will be from an easement that will connect with H. K. Douglas Drive.



**ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS**

**981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853**

April 20, 2018

Washington County Planning Commission
80 West Baltimore Street
Hagerstown, MD 21740

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APR 23 2018

Re: Shops at Sharpsburg Pike, Lots 2 & 3, PSP-17-004

**WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT**

Dear Board Member,

Pursuant to Tim Lung's instructions, I am writing to request a Subdivision Ordinance variance for the referenced project. Tim Lung has determined that Lots 2 and 3 at the Shops at Sharpsburg Pike (see attached access easement plan) do not meet the Subdivision Ordinance Sect. 405.11.B regarding road frontage. In discussions with Tim and staff, the wording "useable frontage" was repeatedly used. The Section 405.11.B language (attached) states: "every lot shall abut a min 25', and shall have access to a road/street dedicated to public use". The word "useable" is not contained in this section. Our proposed Lots 2 and 3 will both have frontage on MD65 (Sharpsburg Pike). As you probably know, much of MD65 is denied access. These proposed lots will have ingress/egress easements across other lots to MD65 as well as the proposed Col Henry K Douglas Drive. This will meet the ordinance requirement of "access to a street dedicated to public use". A copy of our Access Easement Plan is attached depicting the proposed ingress/egress easements allowing Lots 2 and 3 access to MD65 and CHKD Drive.

I would offer that this is absolutely no different than the following cases:

1. Popeyes on Massey Blvd: frontage on Massey Blvd with denied access, entrance off of mall private driveway.
2. Burger King: frontage on Massey Blvd with denied access, entrance off of mall private driveway.
3. Valley World Lot 5 (prior Stonewall Tavern): I-81 & Halfway Blvd frontages with denied accesses, entrance off mall private driveway.
4. Valley World Lots 3 & 4 (Courtyard by Marriott & SpringHill Suites by Marriott): I-81 frontage with denied access, entrance off mall private driveway.
5. Chuck E Cheese: Massey Blvd & Cole Rd frontages with denied accesses, entrance off a mall private driveway.
6. National Tire & Battery: Massey Blvd frontage with denied access, entrance off a mall private driveway.
7. Louderback Car Wash (immediately across MD65): frontage on MD65 with denied access, access from Waffle House parcel.

8. Bulldog Federal Credit Union just south on MD65: frontage on MD65 and Poffenberger Road with denied accesses, access through easement on Teamster Property to Poffenberger Road.

As stated above, these lots do meet the requirements of 405.11.B (road frontage AND access to a public street). This same design approach has been used in other County regional shopping centers with individual outparcels. Thank you for your consideration of this request. I'll be at the next available Planning Commission meeting to answer any questions.

Sincerely,

FOX & ASSOCIATES, INC.



Gordon Poffenberger, P.E.
Director of Engineering

C: Sharpsburg Pike Holding LLC
File

Attachments: Shops at Sharpsburg Pike Access Easement Plan
Subdivision Ordinance Sect 405.11.B

⁷⁴B. Every lot shall have a minimum of twenty-five (25) feet, and shall have access to a road or street that has been dedicated to public use and accepted for public maintenance, except as follows:

⁷⁵1. ⁷⁶The Commission may approve the subdivision of land solely for transfer to a member or members of the immediate family of the owner of the lot of record, where subdivided lots will front on a private road or right of way existing at the time of the original parcel's acquisition by the current owner with the following conditions:

- (a) the private road or right of way must be contained solely within the boundaries of the original parcel of land;
- (b) the private road or right of way must serve an existing residence on the same property. The land must meet the definition of agricultural purposes as defined in Article II, Section 202.3, of the Subdivision Ordinance;
- (c) subdivided lots must be immediately adjacent to the private road or right of way; and
- (d) not more than one (1) lot may be conveyed to any one member of the immediate family member.

Any such subdivision shall contain a statement on the plat, signed by the developer and the family member receiving the lot that:

- (e) certifies the intent of the owner to transfer the land only to a member of the immediate family. The name of the family member and their relationship to land owner should be specified on the plat.
- (f) expressly warrants that no conveyance of the lot will be made to anyone not a member of the immediate family for a period of ten (10) years without the approval of the Planning Commission except as may be required to satisfy a mortgage in case of loan foreclosure, and

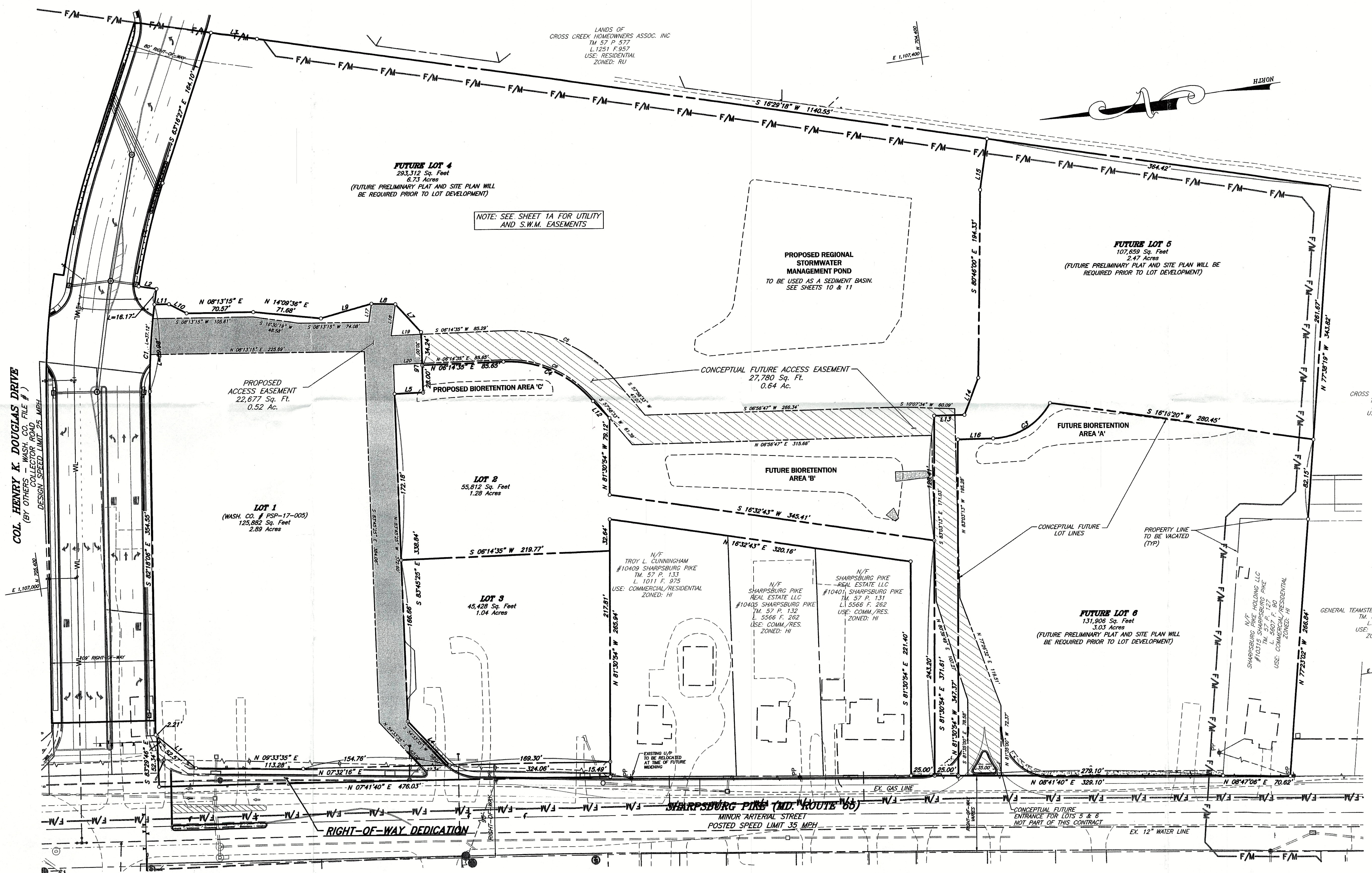
⁷⁴ Amended 10/31/89

⁷⁵ Amended 4/26/88 and 7/31/90 (Text Amendment Case Nos. S-4 and S-6)

⁷⁶ Amended 5/25/99 (Case No. SO-99-01)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	106.16'	641.00'	9°29'19.39"	N 77°33'26" W	106.03'	53.20'
C2	109.88'	660.00'	9°32'19.61"	N 68°02'36" W	108.75'	55.07'
C3	73.01'	70.00'	59°45'29.73"	S 22°55'58" E	69.74'	40.22'
C4	106.54'	118.00'	51°43'57.86"	N 32°06'34" E	102.96'	57.21'
C5	135.44'	150.00'	51°44'00.14"	N 32°06'33" E	130.88'	72.73'
C6	108.35'	120.00'	51°43'57.86"	N 32°06'34" E	104.71'	58.18'

LINE	BEARING	SLOPE DIST
L1	N 49°03'21" E	34.78'
L2	N 17°11'14" E	18.00'
L3	S 16°30'13" W	48.11'
L4	N 54°33'55" E	61.14'
L5	S 89°26'13" W	50.00'
L6	S 89°26'13" W	62.24'
L7	N 69°29'42" E	38.53'
L8	N 10°06'57" E	26.18'
L9	N 07°02'03" E	55.19'
L10	N 30°18'54" E	50.86'
L11	N 08°14'58" E	15.19'
L12	S 84°11'15" W	34.80'
L13	S 08°56'47" W	31.86'
L14	S 10°07'34" W	60.09'
L15	S 7°03'42" E	53.95'
L16	N 06°56'47" E	37.13'
L17	S 73°30'42" E	18.30'
L18	S 23°30'42" E	12.20'
L19	N 08°14'58" E	11.60'
L20	N 08°14'58" E	30.18'
L21	N 84°45'25" W	50.00'



RECEIVED
APR 23 2018
WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

GENERAL CONSTRUCTION NOTES

- TRASH WILL BE COLLECTED BY A PRIVATE CONTRACTOR AT DUMPSTER LOCATIONS SHOWN ON THESE PLANS.
- THIS PROJECT SERVED BY PUBLIC WATER BY THE CITY OF HAGERSTOWN AND PUBLIC SEWER BY WASHINGTON COUNTY.
- NO EXISTING VEGETATION ON SITE IS PLANNED TO BE SAVED.
- THIS SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAP & THE AMERICANS WITH DISABILITIES ACT.
- APPROVED SPRINKLER SYSTEMS TO BE INSTALLED IN PUBLIC BUILDINGS PER THE ANNOTATED CODE OF MARYLAND PUBLIC SAFETY TITLE 9, SUBTITLE 204.
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY CHANGES TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNOBTAINED DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR THIS PROJECT. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 AND THE WASH. CO. SOIL CONSERVATION DISTRICT AT 301-797-8821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SEE SEQUENCE OF CONSTRUCTION.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- TOPOGRAPHY SHOWN ON THESE PLANS IS FROM COUNTY PHOTOGRAMMETRY, FIELD RUN SURVEY BY FOX & ASSOCIATES, INC. AND THE PROPOSED COLONEL HENRY K. DOUGLAS DRIVE PLANS. CONTRACTOR SHALL VERIFY THESE GRADES PRIOR TO PROJECT BIDDING.
- THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 30 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
- THIS SITE IS THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP NO. 2404303030 DATED 8/15/2017. THE SITE IS IN ZONE "X".
- THERE ARE NO AREAS OF STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 ON THE LOTS SHOWN HEREON. THERE ARE NO WETLANDS ON THE SITE PER MAPPING BY THE U.S. DEPARTMENT OF INTERIOR, FISH & WILDLIFE SERVICE.
- SITE SIGNAGE SHALL BE BUILDING MOUNTED AND POLE MOUNTED AND COMPLY WITH ZONING ORDINANCE SECTION 22.23.
- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXCAVATED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAGERSTOWN STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CITY UTILITIES DEPT. WATER & WASTEWATER INSPECTOR WITH M.O.S.H. ASSISTANCE.
- LANDSCAPING LAYOUT AND SCHEDULES ARE SHOWN ON SITE PLAN.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT.
- ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO ASHSTO T180A STANDARDS.
- PARKING AND DRIVE ASLES SHALL BE MAINTAINED BY PROPERTY OWNER.
- FOREST CONSERVATION REQUIREMENTS WILL BE MET BY A PAYMENT IN LIEU. THE REQUIRED PLANTING AREA (PER WORKSHEET) IS 313,877 sq. ft., THEREFORE, THE REQUIRED PAYMENT-IN-LIEU FEE IS: 313,877 sq. ft. x \$0.30 / sq. ft. = \$94,163.11
- IMPROVEMENTS SHOWN ALONG THE MD65 FRONTAGE OF LOTS 1 AND 3 HAVE BEEN TAKEN FROM DESIGN PLANS BY OTHERS. AT THE TIME OF THIS PLAN PREPARATION, THESE IMPROVEMENTS ARE NOT YET CONSTRUCTED AND, THEREFORE, NO AS-BUILT INFORMATION FOR THIS WORK IS AVAILABLE. SEE COUNTY FILE GP-16-037.
- IMPROVEMENTS SHOWN ALONG THE MD65 FRONTAGE OF FUTURE LOT 6 IS CONCEPTUAL AT THIS TIME. THE WORK RELATED TO THIS FUTURE ENTRANCE AND THE ASSOCIATED IMPROVEMENTS ARE NOT PART OF THIS PLAN.
- IMPROVEMENTS SHOWN FOR COL. HENRY K. DOUGLAS DRIVE ALONG THE NORTH SIDE OF THIS PROPERTY HAVE BEEN TAKEN FROM DESIGN PLANS BY THE COUNTY. AT THE TIME OF THIS PLAN PREPARATION, THESE IMPROVEMENTS ARE NOT CONSTRUCTED AND, THEREFORE, NO AS-BUILT INFORMATION FOR THIS WORK IS AVAILABLE.

SWM NARRATIVE

A stormwater management facility is proposed for this project to provide quantity control. The proposed pond will over-compensate for a small bypass area below the pond. This pond will provide channel protection volume (CpV) and control the 10 year and 100 year storms to pre-development rates. Since there will be no emergency spillway, the structure will provide a minimum of two feet of freeboard.

Per the MDE ESD spreadsheet, the required ESD volume is 77,057 cubic feet. The shallow marsh in the pond bottom with forebay and micropool provides 53,520 cubic feet. An additional 32,346 cubic feet is provided per the spreadsheet in the three bioretention facilities. Therefore, a total of 85,866 cubic feet of water quality volume is provided.

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

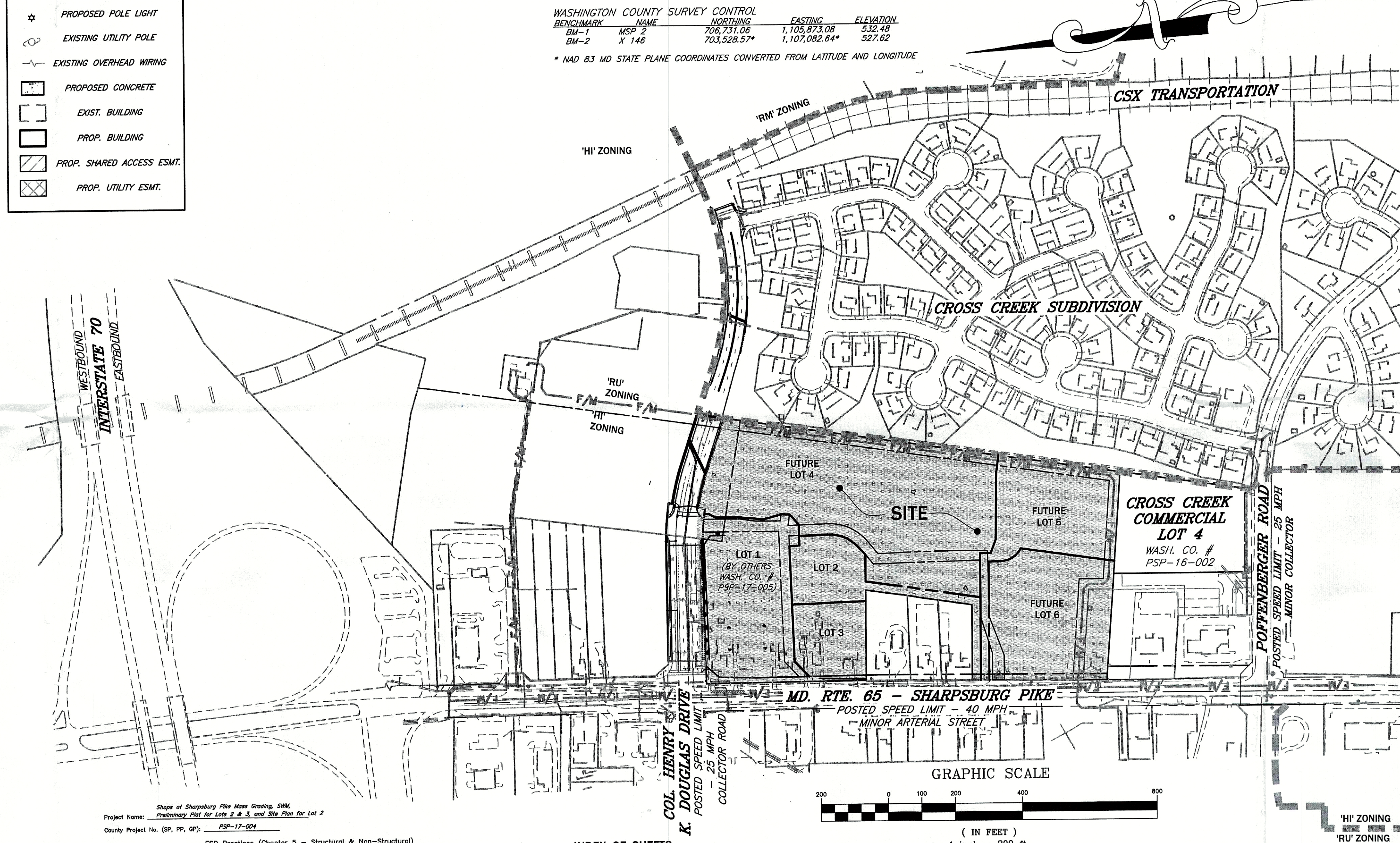
82 WORMANS MILL COURT
SUITE "G"
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009



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MASS GRADING, SWM PLAN, PRELIMINARY PLAT FOR LOTS 2 & 3 and SITE PLAN FOR LOT 2 THE SHOPS at SHARPSBURG PIKE SITUATE ALONG THE EAST SIDE OF SHARPSBURG PIKE WASHINGTON COUNTY, MARYLAND

LEGEND	
---	EXIST. FENCELINE
■	PROPOSED BITUMINOUS PAVING
■	FOREST CONSERVATION EASEMENT AREA
☆	PROPOSED POLE LIGHT
○	EXISTING UTILITY POLE
—	EXISTING OVERHEAD WIRING
■	PROPOSED CONCRETE
■	EXIST. BUILDING
■	PROP. BUILDING
■	PROP. SHARED ACCESS ESMT.
■	PROP. UTILITY ESMT.



Shops at Sharpsburg Pike Mass Grading, SWM
Preliminary Plat for Lots 2 & 3, and Site Plan for Lot 2
County Project No. (SP, PP, GP): PSP-17-004

ESD Practices (Chapter 5 - Structural & Non-Structural)

TYPE	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	ESD ₁ (cc-ft)	ESD ₂ PROVIDED (cf.)
FUT. BIORETENTION A/B	5.32	3.32 (62%)	84	0.65	26,422
BIORETENTION C	0.82	0.52 (63%)	84	0.09	3,924

ESD Practices (Chapter 3 - Structural Practices)

TYPE	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	STORAGE BOWW (cc-ft)	PRINCIPLE SPILLWAY TYPE	ESD ₃ (cf.)
POND/SHALLOW MARSH	31.3	11.8	76	4.8 (10 1/2)	WR INLET BOX 24" HOPE OUTLET PIPE	53,520

Total DA (Site)
Construction Type (Grade and) (New) [Redevelopment] [Restoration]
TOTAL ESD₁ REQUIRED (cf.) 77,057
TOTAL ESD₂ PROVIDED (cf.) 85,866

INDEX OF SHEETS

- COVER SHEET 1
- UTILITY & S.W.M. EASEMENT PLAN 1A
- ACCESS EASEMENT PLAN 1B
- OVERALL GRADING & ESC PLAN 2
- LOT 3 PRELIMINARY PLAT, SITE PLAN & LANDSCAPE PLAN 3
- GRADING & ESC PLAN LOT 3 & FUTURE LOTS 1 - 2 4
- GRADING & ESC PLAN FUTURE LOT 4 5
- GRADING & ESC PLAN FUTURE LOT 5 & 6 6
- STORM DRAIN PROFILES 7
- STORM DRAIN PROFILES AND NOTES 8
- STORMWATER MANAGEMENT PLAN & PROFILE 9
- STORMWATER MANAGEMENT DETAILS 10
- STORMWATER MANAGEMENT NOTES & DETAILS 11
- BIORETENTION AREA "A" PLAN & PROFILE 12
- SITE NOTES & NOTES 13
- SEDIMENT CONTROL DETAILS & NOTES 14
- UTILITY PROFILES 15
- UTILITY DETAILS & NOTES 16
- OWNER/DEVELOPER 17

OWNER/DEVELOPER
SHARPSBURG PIKE HOLDING LLC
72 WEST WASHINGTON STREET
HAGERSTOWN, MARYLAND 21740
PHONE: 301-797-7434
C/O SASSAN SHAOOL

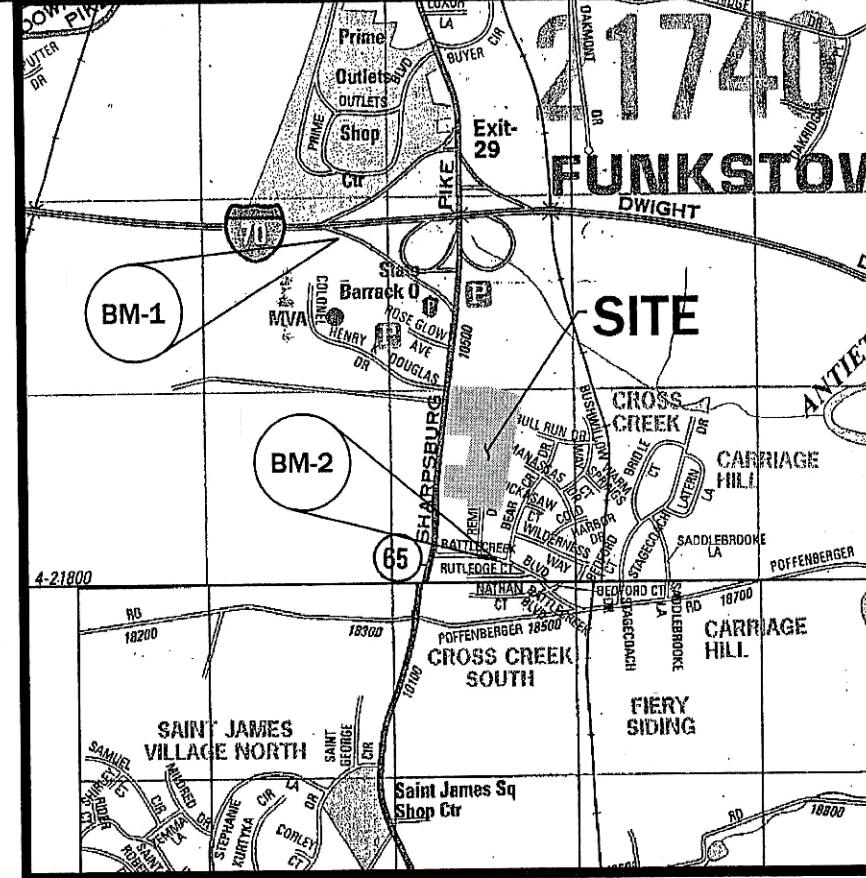
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____ DATE: _____

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE: _____



ADC MAP 22
GRID A8

VICINITY MAP
SCALE: 1" = 2000'
TAX MAP 67 PARCEL 160
COPYRIGHT AND THE MAP PEOPLE PERMIT USE NUMBER 21004221

UTILITY NOTIFICATION:
THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS REQUIRED BY LAW THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 18.80 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPLETED TO BE APPROXIMATELY 50,985 C.Y. OF EXCAVATION AND 43,350 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND.

DATE: 4/16/18 REG. NO. 27053 EXPIRES 1/25/20

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND MEETS THE MARYLAND POND STANDARD 17B.

DATE: 4/16/18 REG. NO. 27053

OWNER/DEVELOPERS CERTIFICATION FOR CO. DPW

"I/WE CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN, AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)".

DATE: _____ NAME: _____ SIGNATURE: _____

OWNER/DEVELOPER CERTIFICATION - SCD

"I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT."

DATE: _____ NAME: _____ SIGNATURE: _____

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY: _____
DATE: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

ENGINEER'S STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE BY THE CONSULTANT.

NAME: _____ DATE: _____

APPROVED:
WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

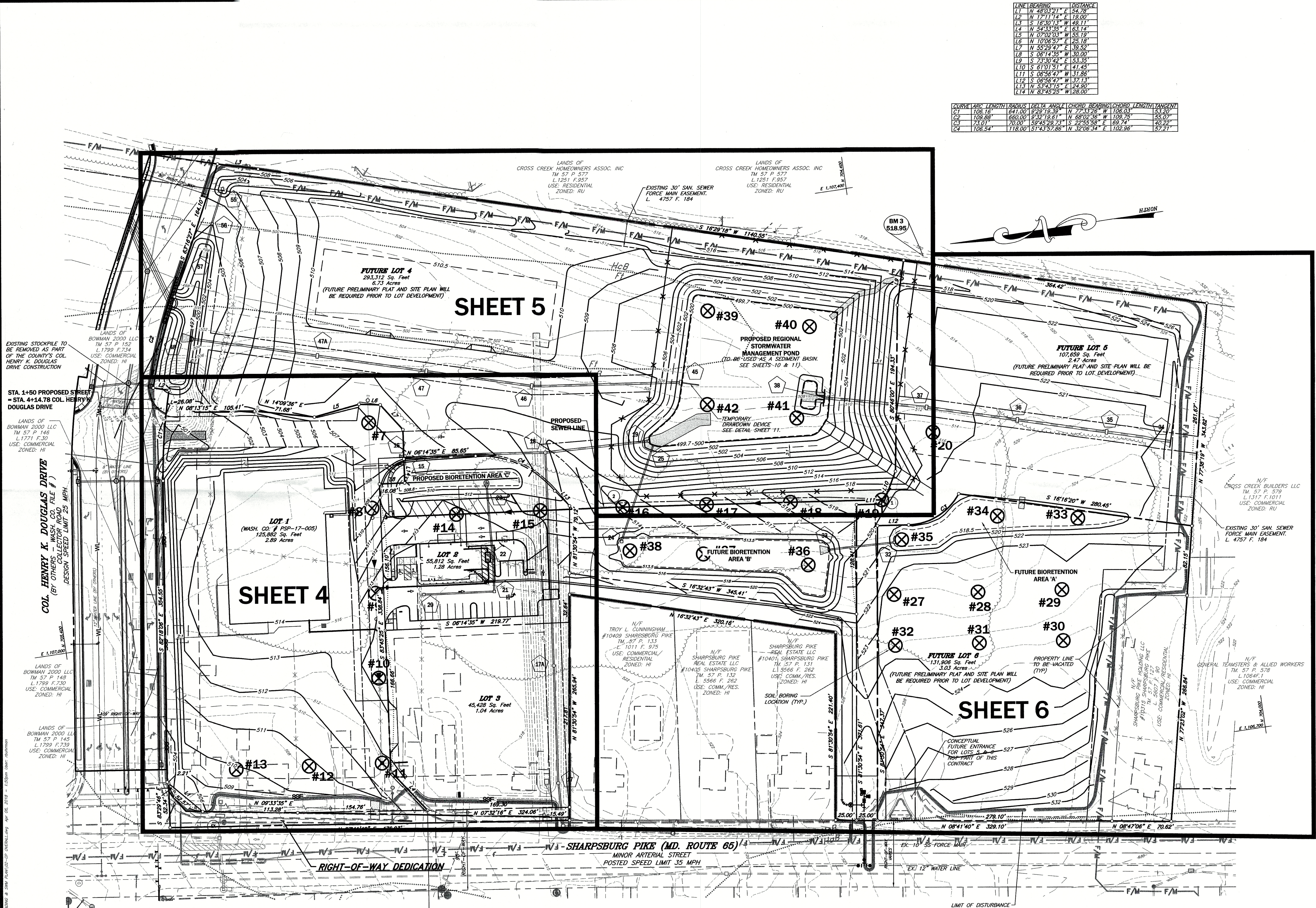
SIGNATURE: _____ DATE: _____

CO. FILE #PSP-17-004 D-5927 SHEET 1 OF 17

APR 23 2018

LINE	BEARING	DISTANCE
L1	N 48°03'21" E	54.78'
L2	N 17°11'14" E	19.00'
L3	S 16°30'13" W	49.11'
L4	N 54°33'55" E	63.14'
L5	N 07°02'03" W	55.19'
L6	N 10°08'57" E	25.18'
L7	N 55°29'47" E	39.52'
L8	S 06°14'35" W	30.00'
L9	S 33°30'42" E	53.33'
L10	S 61°01'51" E	41.45'
L11	S 06°56'47" W	31.86'
L12	S 06°56'47" W	37.13'
L13	N 53°43'15" E	24.90'
L14	N 63°42'25" W	28.00'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	106.16'	641.00'	9°29'19.39"	N 77°33'26" W	106.03'	53.20'
C2	109.88'	680.00'	9°32'19.61"	N 68°03'16" W	109.76'	55.07'
C3	143.01'	70.00'	59°45'29.73"	S 22°55'58" E	69.74'	40.22'
C4	106.54'	118.00'	51°43'57.86"	N 32°06'54" E	102.96'	57.21'



SOIL TYPES	DESCRIPTION	% AREA	HYDROLOGIC GROUP	K FACTOR
F1	FUNKSTOWN SILT LOAM	8.5%	C	0.37
HdB 1	HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES	0.1%	B	0.37
HdB	HAGERSTOWN SILTY CLAY LOAM, VERY ROCKY, 3 TO 8 PERCENT SLOPES	91.4%	B	0.32
		100.0%		

NOTE: PAGES 96, 99 & 101 OF THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY LISTS F1, HdB & HdB SOILS AS "KARST LANDSCAPE" SOILS. CONTRACTOR SHOULD BE ALERT FOR POSSIBLE SINKHOLES.

LANDSCAPE SCHEDULE					
KEY	QUAN.	SCIENTIFIC/Common NAME	SIZE	CONDITION	SPACING
IC	70	ILEX CRENATA "COMPACTA" JAPANESE HOLLY COMPACT	36"-48"	B & B OR CONTAINER	4' O.C.
PK	4	PRUNUS SERRULATA "KWANZAN" KWANZAN CHERRY	1.5"-2" CAL.	B & B	N/A
IO	3	ILEX OPACA AMERICAN HOLLY	1.5"-2" CAL.	B & B	N/A

LANDSCAPE SHALL BE INSTALLED FOLLOWING SITE STABILIZATION AND PRIOR TO ISSUANCE OF THE BUILDING USE AND OCCUPANCY PERMIT.
INSTALLATION DATES: MARCH 1 - JUNE 15
SEPTEMBER 1 - NOVEMBER 15

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____

DATE: _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS PART OF THE LANDS CONVEYED BY MANSOUR & JANET SHADOL TO SHARPSBURG PIKE HOLDING L.L.C. BY DEED DATED DEC. 28, 2017, AND RECORDED AT LIBER 4436, FOLIO 127, AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND. FURTHER THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THAT THIS SURVEY WAS PERFORMED.

DATE _____

GEORGE E. NAGEL
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION NO. 21052
EXPIRATION/RENEW DATE: 08/24/2018

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____

(DATE) _____

SITE DATA (LOT 2)

TAX MAP/PARCEL	p/d 57/160
ELECTION DISTRICT	10
ZONING	HI, HIGHWAY INTERCHANGE
WATERSHED	ANTETAM CREEK (02140502)
PARCEL ACREAGE	1.28 Ac.
FUNCTIONAL DESCRIPTION	FAST FOOD RETAIL (COFFEE SHOP)
MINIMUM BUILDING SETBACK LINES (MBL)	
FRONT	40'
SIDE	10'
REAR	10'
PROPOSED IMPERVIOUS AREA	
BUILDING AREA	2,358 Sq. Ft.
ASPHALT PARKING/DRIVE AREA	18,961 Sq. Ft.
CONC. SIDEWALK/DUMPSTER AREA	1,778 Sq. Ft.
	23,097 Sq. Ft. = 0.53 Acres = 41.4%
TOTAL BUILDING SQUARE FOOTAGE	2,358 S.F.
EXCISE TAX CALCULATION	\$1.00/SF (NONRESIDENTIAL/RETAIL) = \$2,358
PROPOSED BUILDING HEIGHT	20' - 25'
No. of EMPLOYEES	MAX. /SHIFT
HOURS OF OPERATION	5:00 AM - 10:00 PM / 7 DAYS/WEEK
SITE USERS TRANSPORTATION	AUTOMOBILE
ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE	BY OWNER
PARKING REQUIRED	RESTAURANT 2,358 / 75 = 32
PARKING PROVIDED	34
PARKING LANDSCAPE REQUIREMENT	18,961 S.F. x 0.05 = 948 S.F. = 5.0%
PARKING LANDSCAPE AREAS PROVIDED	2,075 S.F. = 10.9%
HANDICAP PARKING REQUIRED & PROVIDED	2
FREIGHT & DELIVERIES	BOX TRUCK; 1 / WEEK
WATER	CITY OF HAGERSTOWN
SEWER	WASHINGTON COUNTY DEPT. OF WATER QUALITY
SOLID WASTE STORAGE & DISPOSAL	DUMPSTER PAD AS SHOWN ON PLAN
PROJECTED EMISSIONS	NONE
PROPOSED WATER ALLOCATION & WASTEWATER DISCHARGE	1,100 GPD

FUTURE LOT 5

2.47 Ac.
(FUTURE PRELIMINARY PLAT AND SITE PLAN WILL BE REQUIRED PRIOR TO LOT DEVELOPMENT)

CURVE	ARC	LENGTH	RADIUS	DELTA	ANGLE	CHORD	BEARING	CHORD	LENGTH	TANGENT
C1	108.34'	118.00'	131'43.58"	N 32°06'34"	N 102°06'34"	102.98'			57.21'	

NOTES:

- SEE SHEET 4 FOR LOT 3 GRADING AND DRAINAGE.
- SEE SHEET 13 FOR BIORETENTION AREA 'A' DETAILS.
- SEE SHEETS 16 & 17 FOR UTILITY PROFILES AND DETAILS.

AREA TABULATION

TOTAL AREA	760,000 Sq. Ft.	17.45 Ac.
- LOT 2	55,812 Sq. Ft.	1.28 Ac.
- LOT 3	45,428 Sq. Ft.	1.04 Ac.
REMAINING LANDS	658,760 Sq. Ft.	15.13 Ac.

SITE LEGEND

- DIRECTIONAL SIGN *
ENTER ONLY
 - PYLON SIGN
 - "DO NOT ENTER" SIGN *
 - DRIVE THROUGH SIGN
 - PREVIEW BOARD
 - ORDER SPEAKER
 - MENU BOARD
 - STOP SIGN *
- * SEE SIGN DETAILS ON SHEET 14

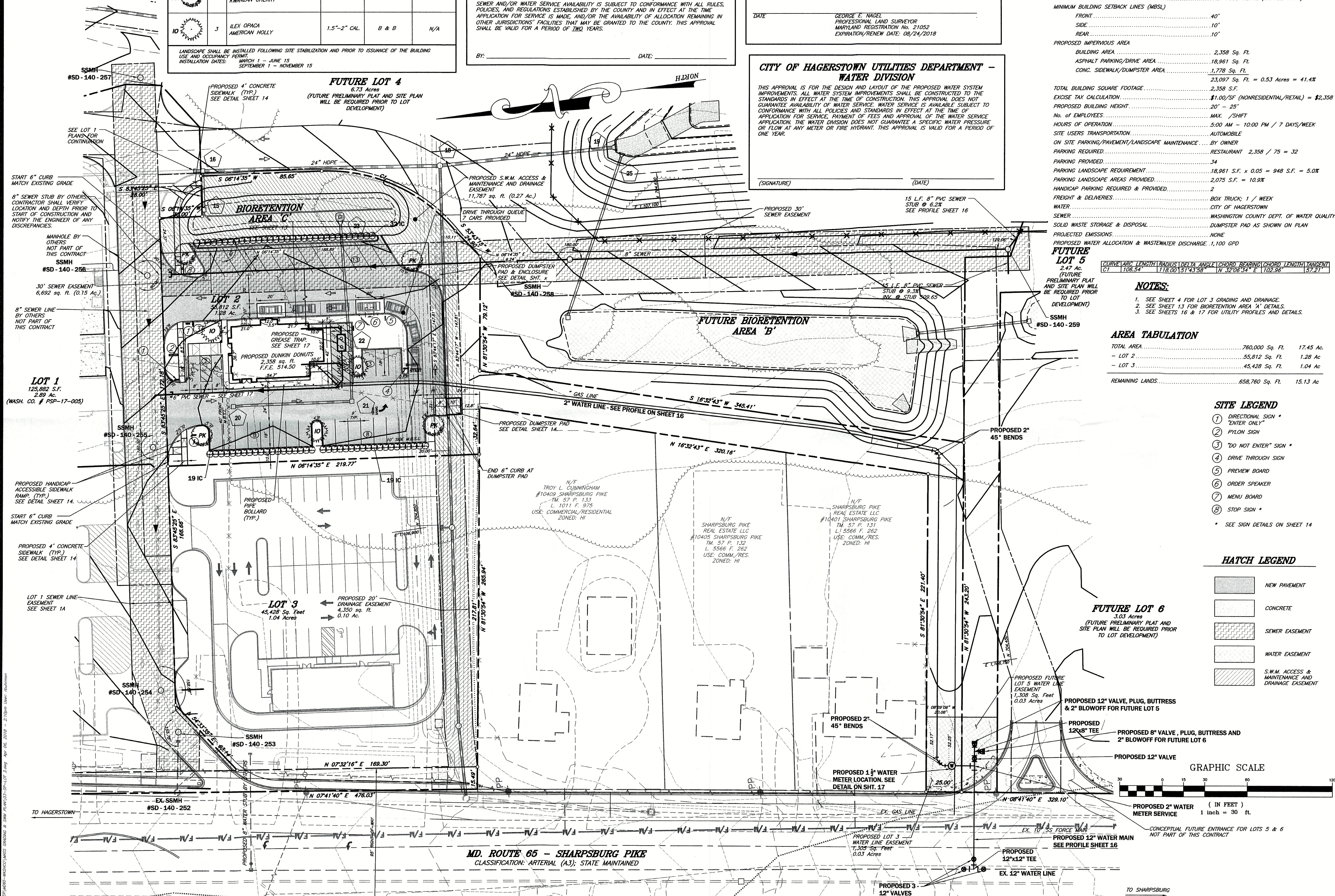
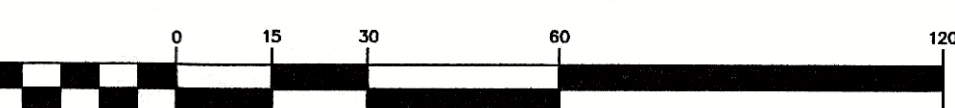
HATCH LEGEND

[Hatch Pattern]	NEW PAVEMENT
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	SEWER EASEMENT
[Hatch Pattern]	WATER EASEMENT
[Hatch Pattern]	S.W.M. ACCESS & MAINTENANCE AND DRAINAGE EASEMENT

FUTURE LOT 6

3.03 Acres
(FUTURE PRELIMINARY PLAT AND SITE PLAN WILL BE REQUIRED PRIOR TO LOT DEVELOPMENT)

GRAPHIC SCALE



MD. ROUTE 65 - SHARPSBURG PIKE
CLASSIFICATION: ARTERIAL (A3); STATE MAINTAINED



FOX & ASSOCIATES, INC.
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82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21702
PHONE: (301) 969-0880
FAX: (301) 969-6009
www.foxassoc.com
Email: foxassoc@foxassoc.com

PRELIMINARY PLAT, SITE PLAN & LANDSCAPE PLAN
THE SHOPS at SHARPSBURG PIKE
PAD GRADING & SWM PLAN
SITUATE ALONG THE EAST SIDE OF SHARPSBURG PIKE
ELECTION DISTRICT 10
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

PROFESSIONAL CERTIFICATION



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
License No.: 27053, Exp. Date: 1/25/20
PROJECT NO. 15-31129
DRAWING NO. D-5927
DATE: JUNE 2017
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 3 OF 17

CO. FILE #PSP-17-004



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

PRELIMINARY PLAT SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Proposed Lot 1 -The Shops at Sharpsburg Pike
NUMBER.....: PSP-17-005

OWNER.....: SHARPSBURG PIKE HOLDING LLC
LOCATION.....: East side of Sharpsburg Pike and southside of H K Douglas Drive
DESCRIPTION.....: Proposed grocery store

ZONING.....: Highway Interchange
COMP PLAN LU.....: High Density Residential
PARCEL.....: 10020174
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....: Commercial
GROSS ACRES.....: 3.10
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: No Date Available

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: I521 NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

NEW ROAD CONSTRUCTION: Yes



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

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ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT	565	777	1288
MAXIMUM CAPACITY	745	797	1209

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:

FUNKSTOWN

AMBULANCE DISTRICT.....:

HAGERSTOWN

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Conococheague

Staff Comments:

Not Applicable

PRELIMINARY PLAT AND SITE PLAN FOR
LOT 1 THE SHOPS AT SHARPSBURG PIKE

Presented are a Preliminary Plat and Site Plan for Lot 1 at The Shops at Sharpsburg Pike.

The subject property is located along the east side of the Sharpsburg Pike (across from Waffle House). Zoning of the property is HI Highway Interchange.

Lot 1 is 2.89 acres in size and proposes the construction of an Aldi Grocery Store.

The lot will have access from the newly extended Henry K Douglas Drive which will connect with an access drive that customers will use to enter Lot 1 along the side of the building (south side). A retaining wall will surround the lot.

The proposed lot will be served by public water and sewer.

The grocery store will be 21,998 square feet in size. The main entrance will front on Sharpsburg Pike.

Hours of operation will be 9:00 am to 8:00 pm 7 days a week. There will be 3 to 4 employees per shift.

Parking spaces required is 110 spaces with 111 spaces provided. There will be 3 truck deliveries per day.

Site lighting will be building mounted and pole mounted. Signage will be building mounted and pole mounted as well.

Landscaping includes plantings in parking islands and adjacent to the retaining walls. (hollies and cherry trees).

The developer is proposing to pay the fee in lieu to meet Forest Conservation Ordinance requirements. The payment would cover the entire 17 acres owned by the developer (subject site and remaining lands). 7.21 acres needs to be mitigated and the cost for payment is \$94,163.11

GENERAL CONSTRUCTION NOTES

- TRASH WILL BE COLLECTED BY A PRIVATE CONTRACTOR AT DUMPSTER LOCATIONS SHOWN ON THESE PLANS.
- THIS PROJECT SERVED BY PUBLIC WATER BY THE CITY OF HAGERSTOWN AND PUBLIC SEWER BY WASHINGTON COUNTY.
- NO EXISTING VEGETATION ON SITE IS PLANNED TO BE SAVED.
- THIS SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAP & THE AMERICANS WITH DISABILITIES ACT.
- APPROVED SPRINKLER SYSTEMS TO BE INSTALLED IN PUBLIC BUILDINGS PER THE ANNOTATED CODE OF MARYLAND PUBLIC SAFETY TITLE 9, SUBTITLE 20A.
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR THIS PROJECT. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 AND THE WASH. CO. SOIL CONSERVATION DISTRICT AT 301-797-6821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SEE SEQUENCE OF CONSTRUCTION.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT. IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- TOPOGRAPHY SHOWN ON THESE PLANS IS FROM THE PROPOSED COLONEL HENRY K. DOUGLAS DRIVE PLANS. CONTRACTOR SHALL VERIFY THESE GRADES PRIOR TO PROJECT BIDDING.
- THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
- THIS SITE IS THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP NO. 240430303D DATED 8/15/2017. THE SITE IS IN ZONE "X".
- THERE ARE NO AREAS OF STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 ON THE LOTS SHOWN HEREON. THERE ARE NO WETLANDS ON THE SITE PER MAPPING BY THE U.S. DEPARTMENT OF INTERIOR, FISH & WILDLIFE SERVICE.
- SITE SIGNAGE SHALL BE BUILDING MOUNTED AND POLE MOUNTED AND COMPLY WITH ZONING ORDINANCE SECTION 22.2.3.
- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- ALL WATER CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAGERSTOWN STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CITY UTILITIES DEPT. WATER & WASTEWATER INSPECTOR WITH M.O.S.H. ASSISTANCE.
- ALL SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE COUNTY DEPT. OF W.Q. INSPECTOR WITH M.O.S.H. ASSISTANCE.
- LANDSCAPING LAYOUT AND SCHEDULES ARE SHOWN ON SITE PLAN.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT.
- ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T180A STANDARDS.
- PARKING AND DRIVE AISLES SHALL BE MAINTAINED BY PROPERTY OWNER.
- FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT WERE MET BY A PAYMENT IN LIEU VIA THE EXPRESS METHOD. WASHINGTON COUNTY FILE # PSP-17-004.

SWM NARRATIVE

A stormwater management facility is proposed for this project to provide quantity control. The proposed pond will over-compensate for a small bypass area below the pond. This pond will provide channel protection volume (cpv) and control the 10 year and 100 year storms to pre-development rates. Since there will be no emergency spillway, the structure will provide a minimum of two feet of freeboard.

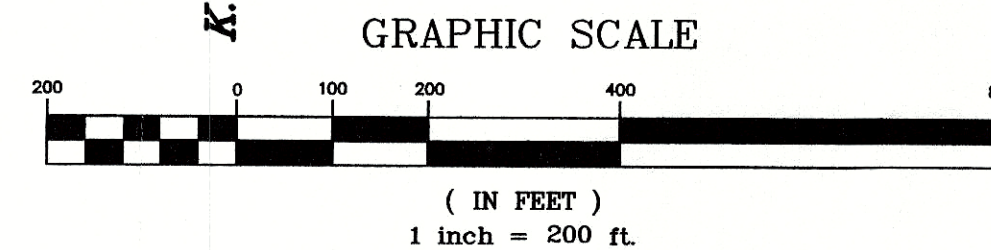
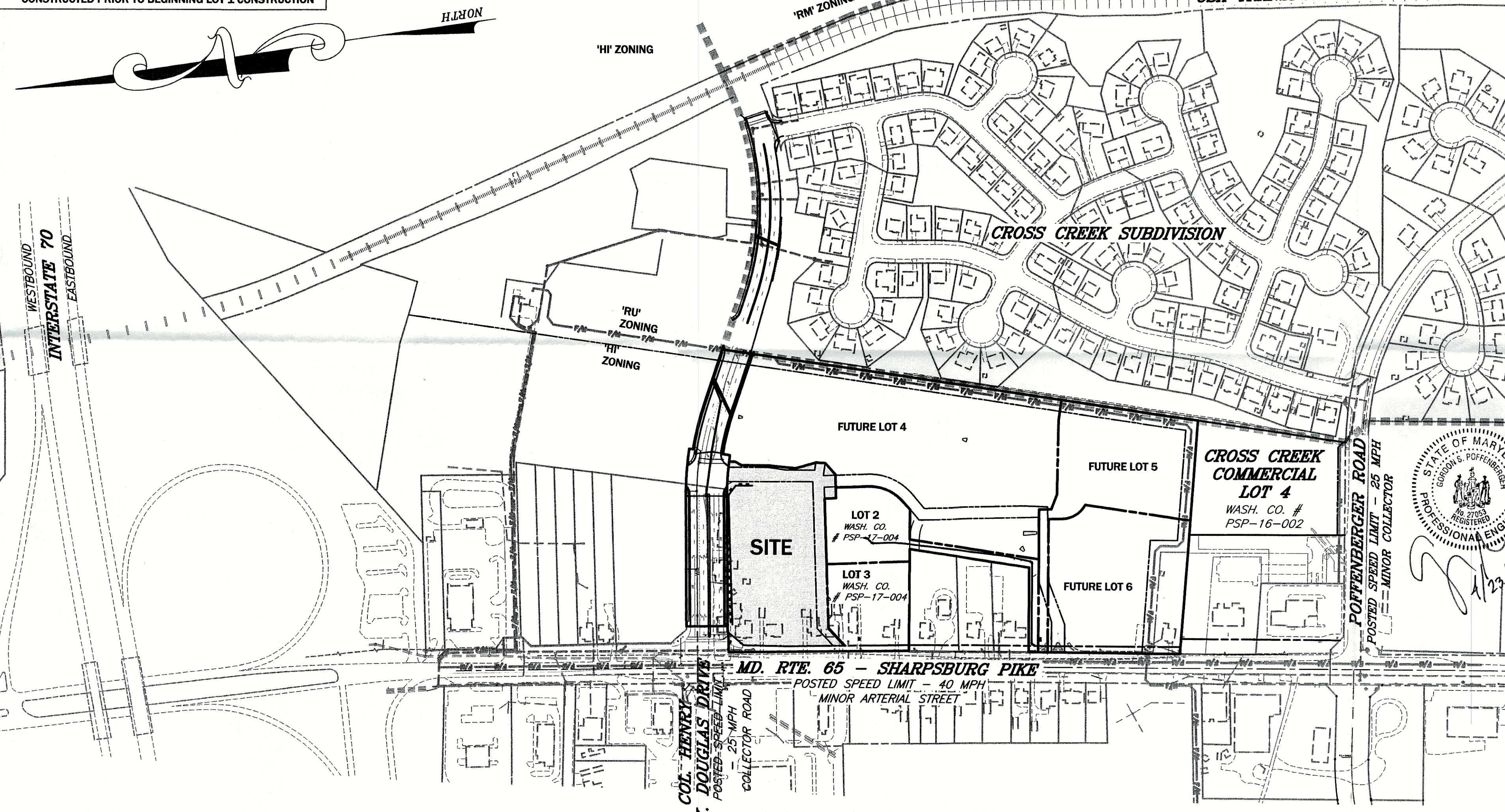
Per the MDE ESD Spreadsheet, the required ESD volume is 77,057 cubic feet. The shallow marsh in the pond bottom with forebay and micropool provides 53,520 cubic feet. An additional 32,346 cubic feet is provided per the spreadsheet in the three bioretention facilities. Therefore, a total of 85,866 cubic feet of water quality volume is provided.

WASHINGTON COUNTY SURVEY CONTROL	BENCHMARK	NAME	NORTHING	EASTING	ELEVATION
BM-1	MSP 2		706,731.06	1,105,873.08	532.48
BM-2	X 146		703,528.57*	1,107,082.64*	527.62

* NAD 83 MD STATE PLANE COORDINATES CONVERTED FROM LATITUDE AND LONGITUDE

NOTE: SEE MASS GRADING AND STORMWATER MANAGEMENT PLAN (# PSP-17-004) FOR STORMWATER DESIGN.

STORMWATER MANAGEMENT POND WILL NEED TO BE CONSTRUCTED PRIOR TO BEGINNING LOT 1 CONSTRUCTION.



INDEX OF SHEETS

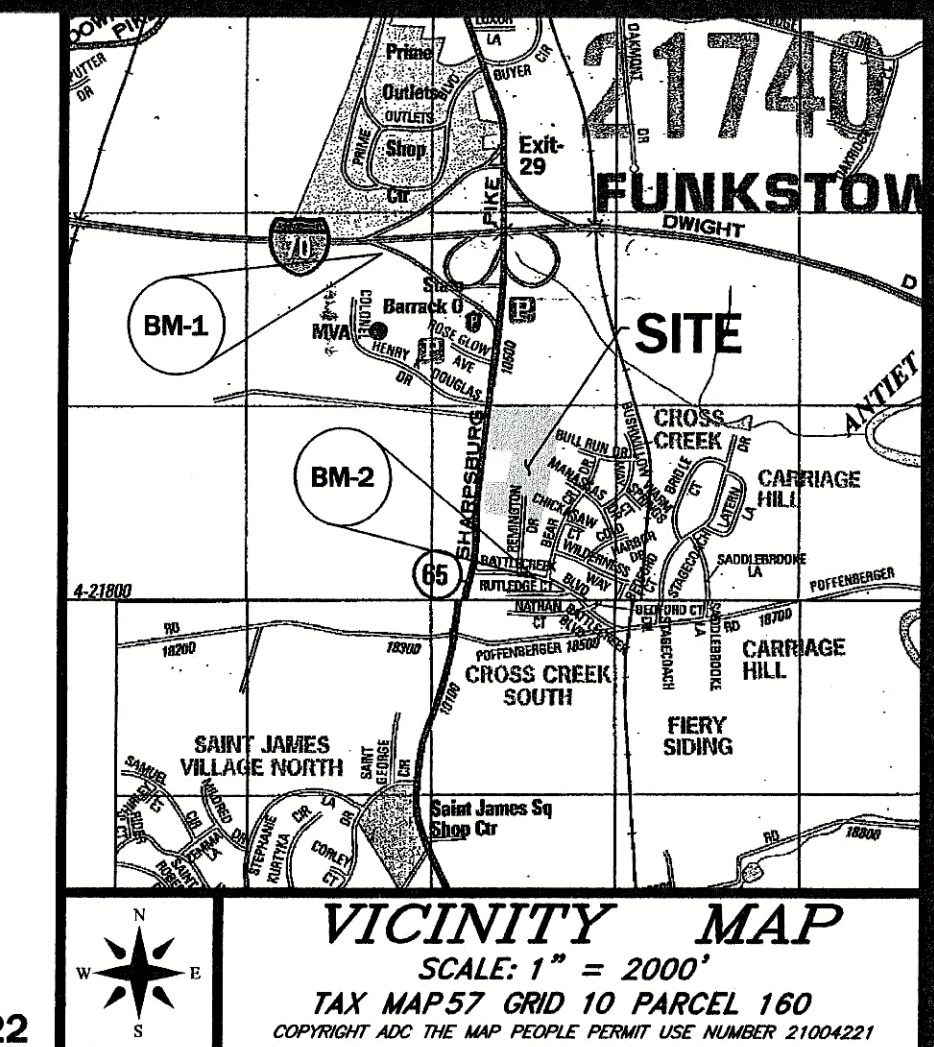
COVER SHEET	1
SITE PLAN & PRELIMINARY PLAT	2
OVERALL EASEMENT PLAT	2A
GRADING & SEDIMENT CONTROL PLAN	3
STORM DRAIN PROFILES	4
STORM DRAIN PROFILES & NOTES	5
UTILITY PROFILES	6
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SITE NOTES & DETAILS	7
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RETAINING WALL PROFILE, NOTES & DETAILS	9

OWNER/DEVELOPER

SHARPSBURG PIKE HOLDING LLC
72 WEST WASHINGTON STREET
HAGERSTOWN, MARYLAND 21740
PHONE: 301-797-7434
C/O SASSAN SHAOL

SITE PLAN AND PRELIMINARY PLAT FOR PROPOSED LOT 1 THE SHOPS at SHARPSBURG PIKE SITUATE ALONG THE EAST SIDE OF SHARPSBURG PIKE WASHINGTON COUNTY, MARYLAND

LEGEND	
---	EXIST. FENCELINE
■	PROPOSED BITUMINOUS PAVING
□	FOREST CONSERVATION EASEMENT AREA
*	PROPOSED POLE LIGHT
○	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRING
□	PROPOSED CONCRETE
□	EXIST. BUILDING
□	PROP. BUILDING
□	PROP. SHARED ACCESS ESMT.
□	PROP. UTILITY ESMT.



ADC MAP 22
GRID A8

AGENCY & UTILITY CONTACTS

COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION	ED NORMAN	(240) 313-2400
CITY UTILITIES DEPT. WATER & SEWER DIV.	RICK USARY	(301) 739-8577 X 653
POTOMAC EDISON	EDWARD	(301) 582-5271
WASH. CO. SCD	DENISE PRICE	(301) 797-6821 X 3
ANTIETAM CABLE	KEN BUCKLER	(301) 797-1835
VERIZON	JULIE LUDWIG	(301) 790-7135
COLUMBIA GAS	VONDA GRIFFIN	(800) 440-6111

UTILITY NOTIFICATION:

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS REQUIRED BY LAW THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY:	ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY:
320	320
C.Y. OF EXCAVATION AND	2,220 C.Y. OF FILL

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: 4/23/18 REG. NO. 27053 EXPIRES: 1/25/20

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.42.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 4/23/18 REG. NO. 27053 GORBON S. POTTENBERGER

OWNER/DEVELOPERS CERTIFICATION FOR CO. DPW

I/WE CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

DATE: NAME: SIGNATURE:

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE: NAME: SIGNATURE:

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY: (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL.)
DATE:

APPROVED:
WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

SIGNATURE: DATE:

CO. FILE #PSP-17-005 D-5935 SHEET 1 OF 9

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

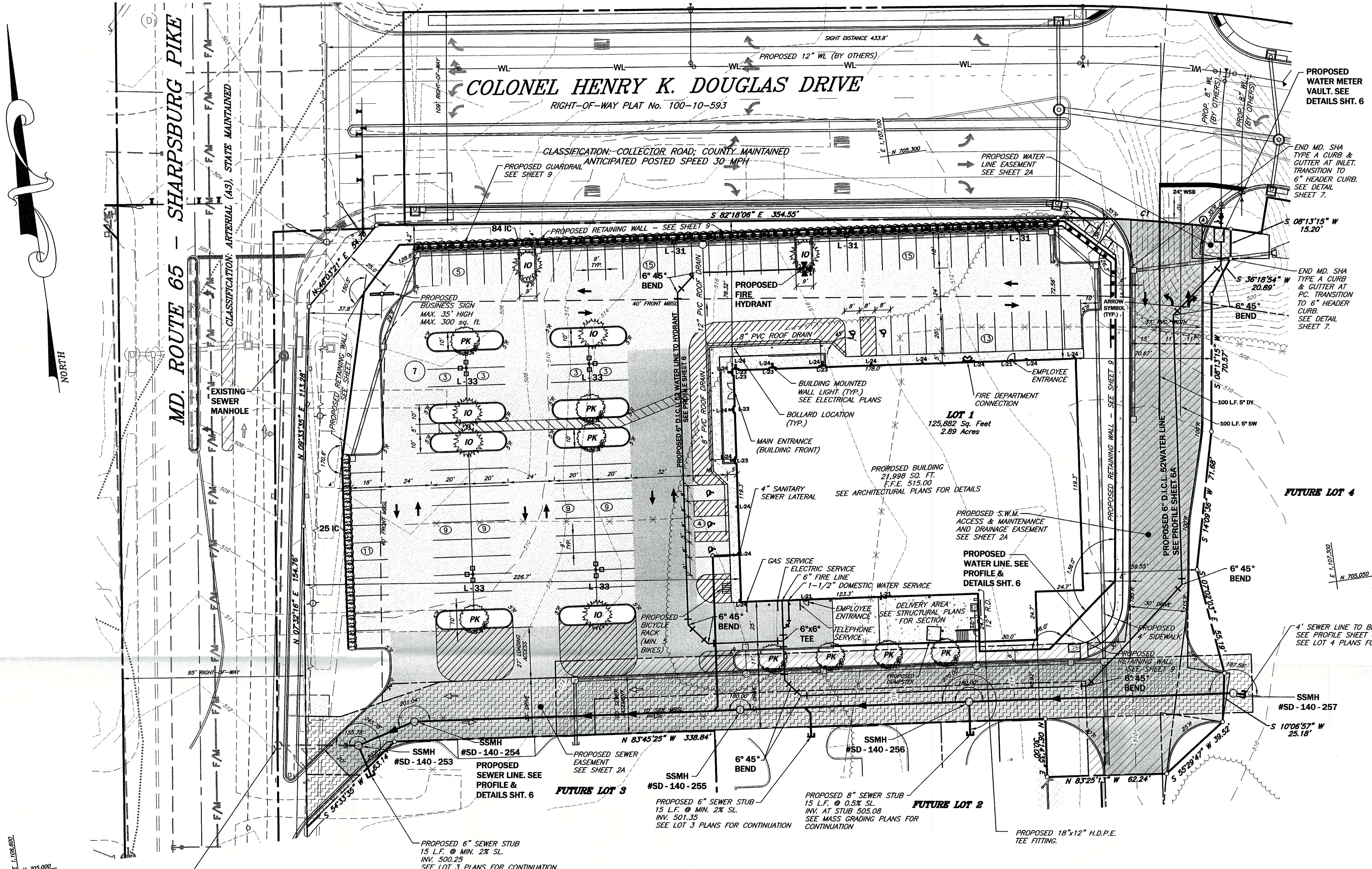
981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

FOX & ASSOCIATES INC.
Est. 1966

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www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com



SITE DATA

TAX MAP/PARCEL	p/o 57/160
ELECTION DISTRICT	10
ZONING	H1, HIGHWAY INTERCHANGE
WATERSHED	ANTIETAM CREEK (02140502)
PARCEL ACREAGE	2.89 Ac.
FUNCTIONAL DESCRIPTION	GROCERY STORE (RETAIL)
MINIMUM BUILDING SETBACK LINES (MSBL)	
FRONT	40'
SIDE	10'
REAR	10'
PROPOSED IMPERVIOUS AREA	
BUILDING AREA	21,998 Sq. Ft.
ASPHALT PARKING/DRIVE AREA	73,690 Sq. Ft.
CONC. SIDEWALK/DUMPSTER AREA	4,195 Sq. Ft.
	99,883 Sq. Ft. = 2.29 Acres = 79.5%
TOTAL BUILDING SQUARE FOOTAGE	21,998 S.F.
EXCISE TAX CALCULATION	\$1.00/SF (NONRESIDENTIAL/RETAIL) = \$ 21,998
PROPOSED BUILDING HEIGHT	24' - 6"
No. of EMPLOYEES	3-4 /SHIFT
HOURS OF OPERATION	9:00 AM - 8:00 PM / 7 DAYS/WEEK
SITE USERS TRANSPORTATION	AUTOMOBILE
ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE	BY OWNER
PARKING REQUIRED	RETAIL 5 x 21,998 / 1,000 = 110 SPACES
PARKING PROVIDED	111 SPACES
PARKING LANDSCAPE REQUIREMENT	49,434 S.F. x 0.05 = 2,472 S.F. = 5.0%
PARKING LANDSCAPE AREAS PROVIDED	4,035 S.F. = 8.2 %
HANDICAP PARKING REQUIRED & PROVIDED	5
FREIGHT & DELIVERIES	1 TRACTOR TRAILER & 2 BOX TRUCKS / DAY
WATER	CITY OF HAGERSTOWN
SEWER	WASHINGTON COUNTY DEPT. OF WATER QUALITY
SOLID WASTE STORAGE & DISPOSAL	DUMPSTER PAD AS SHOWN ON PLAN
PROJECTED EMISSIONS	NONE
PROPOSED WATER ALLOCATION & WASTEWATER DISCHARGE	400 GPD

AREA TABULATION

TOTAL AREA	760,000 Sq. Ft.	17.45 Ac.
- LOT 3 (PSP 17-004)	55,812 Sq. Ft.	1.28 Ac
- LOT 1	125,882 Sq. Ft.	2.89 Ac
REMAINING LANDS	578,306 Sq. Ft.	13.28 Ac

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION, THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS PART OF THE LANDS CONVEYED BY MANSOUR & JANET SHAOUL TO SHARPSBURG PIKE HOLDING L.L.C. BY DEED DATED DEC. 28, 2012 AND RECORDED AT LIBER 4435, FOLIO 127 ALONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND. FURTHER THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 08.13.06.12 IN EFFECT AT THE TIME THAT THIS SURVEY WAS PERFORMED.

DATE: _____
GEORGE E. NAGEL
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION No. 21052
EXPIRATION/RENEW DATE: 08/24/2018

LINE STRIPING LEGEND

5" SW	5" SOLID WHITE LINE WATERBORNE PAINT, DOUBLE APPLICATION
5" DY	5" SOLID DOUBLE YELLOW LINE WATERBORNE PAINT, DOUBLE APPLICATION
12" WCW	12" SOLID WHITE THERMOPLASTIC CROSSWALK LINE (6" O.C.)
24" WSB	24" SOLID WHITE THERMOPLASTIC STOP BAR LINE
ARROW SYMBOL	WHITE THERMOPLASTIC "ARROW"

- NOTE:
- CROSSWALKS, HANDICAP RAMPS, STOP BARS, ETC. SHALL BE CONSTRUCTED OR PLACED IN ACCORDANCE WITH CURRENT M.S.H.A. & M.U.T.C.D. STANDARDS.
 - STOP LINES SHALL BE 10 FT. LINE SEGMENTS WITH 30 FT. GAPS.
 - DOTTED LINES SHALL BE 3 FT. LINE SEGMENTS WITH 9 FT. GAPS.
 - SEE ROADSIDE SIGN AND POST DETAIL ON SHEET 7 FOR ROADSIDE SIGN LOCATION.

TRAFFIC SIGN LEGEND



1
R1-1
30" x 30"

LIGHTING SCHEDULE

SYMBOL	QUAN.	ARRANGEMENT	TOTAL WATTS	DESCRIPTION
L-21	4	SINGLE BUILDING MOUNTED	168	CREE LIGHTING XSPW40JMC-UCSP
L-23	6	SINGLE BUILDING MOUNTED	258.42	CREE LIGHTING AL-42WLED-UD-CG-120
L-24	14	SINGLE BUILDING MOUNTED	824.6	CREE LIGHTING CL-P5642-30-30K
L-31	3	SINGLE POLE MOUNTED (Total Ht. 29' 25" pole & 4' base)	258	CREE LIGHTING OSO-A-NM-4ME-B-57K-UL-CS w/OSO-DMCS OSO-BLSMF (Black Light Shield)
L-33	4	TRIPLE - 90" POLE MOUNTED (Total Ht. 29' 25" pole & 4' base)	1,032	CREE LIGHTING OSO-A-NM-4ME-B-57K-UL-CS w/OSO-DMCS

LANDSCAPE SCHEDULE

KEY	QUAN.	SCIENTIFIC/Common NAME	SIZE	CONDITION	SPACING
IC	109	ILEX CREMATA "COMPACTA" JAPANESE HOLLY COMPACT	36"-48"	B & B OR CONTAINER	4' O.C.
PK	8	PRUNUS SERRULATA "KWANZAN" KWANZAN CHERRY	1.5"-2" CAL.	B & B	N/A
IO	6	ILEX OPACA AMERICAN HOLLY	1.5"-2" CAL.	B & B	N/A

LANDSCAPE SHALL BE INSTALLED FOLLOWING SITE STABILIZATION AND PRIOR TO ISSUANCE OF THE BUILDING USE AND OCCUPANCY PERMIT.
INSTALLATION DATES: MARCH 1 - JUNE 15
SEPTEMBER 1 - NOVEMBER 15

HATCH LEGEND

	HEAVY PAVEMENT SECTION SEE SHEET 7
	LIGHT PAVEMENT SECTION SEE SHEET 7
	CONCRETE
	SEWER EASEMENT
	WATER EASEMENT
	S.W.M. ACCESS & MAINTENANCE EASEMENT

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Est. 1966
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PHONE: (301) 733-8503
or (301) 416-7250
FAX: (301) 293-6009
Email: foxassoc@foxassocinc.com
www.foxassocinc.com

THE SHOPS at SHARPSBURG PIKE
LOT 1
SITUATE ALONG THE EAST SIDE OF SHARPSBURG PIKE
ELECTION DISTRICT 10
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

PROFESSIONAL CERTIFICATION

STATE OF MARYLAND
PROFESSIONAL ENGINEER

12/21/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/20

PROJECT NO. 15-31129
DRAWING NO. D-5935
DATE: JULY 2017
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 2 OF 9



DIVISION OF
PLAN REVIEW & PERMITTING

MEMORANDUM

TO: Washington County Planning Commission

FROM: Cody Shaw, Chief of Plan Review

DATE: April 24, 2018

SUBJECT: Stillwater Farm Site Plan (SP-18-002)

A site plan has been submitted for review and approval for Stillwater Farm on a parcel along the west side of Mills Road. The property is located in the Preservation Zoning District.

The functional description for this site is for a seasonal event center. The site is currently a 32.63 acre parcel, and the applicant is looking to develop the site. This proposed site was presented in front of the Board of Zoning Appeals on December 13, 2017. The purpose of the appeal was to establish a banquet/reception facility and a variance from the requirement to provide a stable, dust free surface for parking for the facility. The appeal was granted with conditions, and is attached.

The proposed improvements are shown on the site plan can be summarized as follows:

- Functional description is for a seasonal event center
- Hours of operation are April to October: Friday 4pm – 10pm, Saturday 12pm – 10pm, Sunday 12pm – 8pm
- Total required parking spaces is 48; total parking provided is 50 spaces
- Proposed impervious area is 0% (3% existing)
- Site is served by well and septic
- Site is exempt from Stormwater Management due to being less than 5,000 sq ft of disturbance
- Site is exempt from Forest Conservation due to being less than 20,000 sq ft of disturbance

The site plan was routed to Land Use Planning, Addressing, Engineering, Health Department, and Soil Conservation. All approvals have been obtained.

A copy of the site plan and BZA opinion are attached.

**BEFORE THE BOARD OF APPEALS
FOR WASHINGTON COUNTY, MARYLAND**

**Darren T. Long & Amy C. Perkins
Applicants**

Appeal No. AP2017-046

OPINION

This appeal is a request for a special exception to establish a banquet/reception facility and for a variance from the requirement to provide a stable, dust free surface for parking for the facility. The subject property is located at 4040 Mills Road, Sharpsburg, Maryland; is owned by the Applicant; and is zoned Preservation. The Board held a public hearing on the matter on December 13, 2017.

Findings of Fact

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. The Applicants plan to establish a banquet/reception facility in an existing 3,200 ft.² building on the subject property.
2. The building was formerly used as a fruit and produce stand.
3. The Applicants live on the 32-acre property and farm it.
4. The building will have a maximum capacity of 100 people.
5. The hours of operation are 4 p.m.–10 p.m., Friday; noon–10 p.m., Saturday; and noon–8 p.m., Sunday.
6. Outside caterers will provide food for events.
7. There will be two 2,580 ft.² areas reserved as tent locations for outdoor events.
8. The facility will use the existing entrance to the building, which is next to a small parking pad and grassy area.

9. Strict compliance with the parking requirements would require the conversion of a ½-acre of land to an impervious surface and the creation of a stormwater management facility.

10. Neighboring property owners do not object to the special exception or the variance.

11. There is community support for the proposed use.

12. The use conforms to the Comprehensive Plan, which calls for the maintenance of the rural portions of the county, and will not be incompatible with the existing neighborhood.

Rationale

The Board has authority to grant a special exception pursuant to Section 25.2(b) of the Zoning Ordinance for Washington County, Maryland. A special exception is defined as “a grant of a specific use that would not be appropriate generally or without restriction; and shall be based upon a finding that the use conforms to the plan and is compatible with the existing neighborhood.” Article 28A.

The proposed use appears to be a suitable use for this property and an appropriate adaptive reuse of the existing building. The subject parcel is located in a rural area of the county, and the proposed use will not create any incompatibility with the existing neighborhood. In fact, the proposed use has the support of its neighbors. The property is of adequate size to accommodate the use. Its size and location also create a natural buffer to temper adverse effects inherent to a banquet/reception facility, such as noise. The limiting of events to certain hours on weekend days further mitigates any discordance with neighboring uses. Considering all the evidence and testimony presented in this matter, we conclude that the establishment of this special exception use at this site will have no greater “adverse effects above and beyond those inherently associated with such a special exception use irrespective of its location within the zone.” *Schultz v. Pritts*, 291 Md. 1, 15 (1981). As such, the grant of the special exception is appropriate and warranted by the testimony and evidence before us. The special exception is GRANTED WITH CONDITIONS as set forth below by a vote of 5–0.

This Board has authority to grant a variance upon a showing of practical difficulty or undue hardship. §§ 25.2(c) and 25.56. “Practical Difficulty” may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a

permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variances would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A).

The Applicants have met their burden for a variance. The evidence demonstrated that strict compliance with the Ordinance would unreasonably prevent the use of the property for a permitted purpose. The property is located in a rural area of the county, and requiring the creation of an impervious parking area with a stormwater management facility would not enhance the rural character of the property. The events will likely be sporadic, rather than constant, further attenuating the need for a permanent parking facility. For these reasons, we conclude that the grant of this variance observes the spirit of the Ordinance, and we GRANT the requested variance relief by a vote of 5-0.

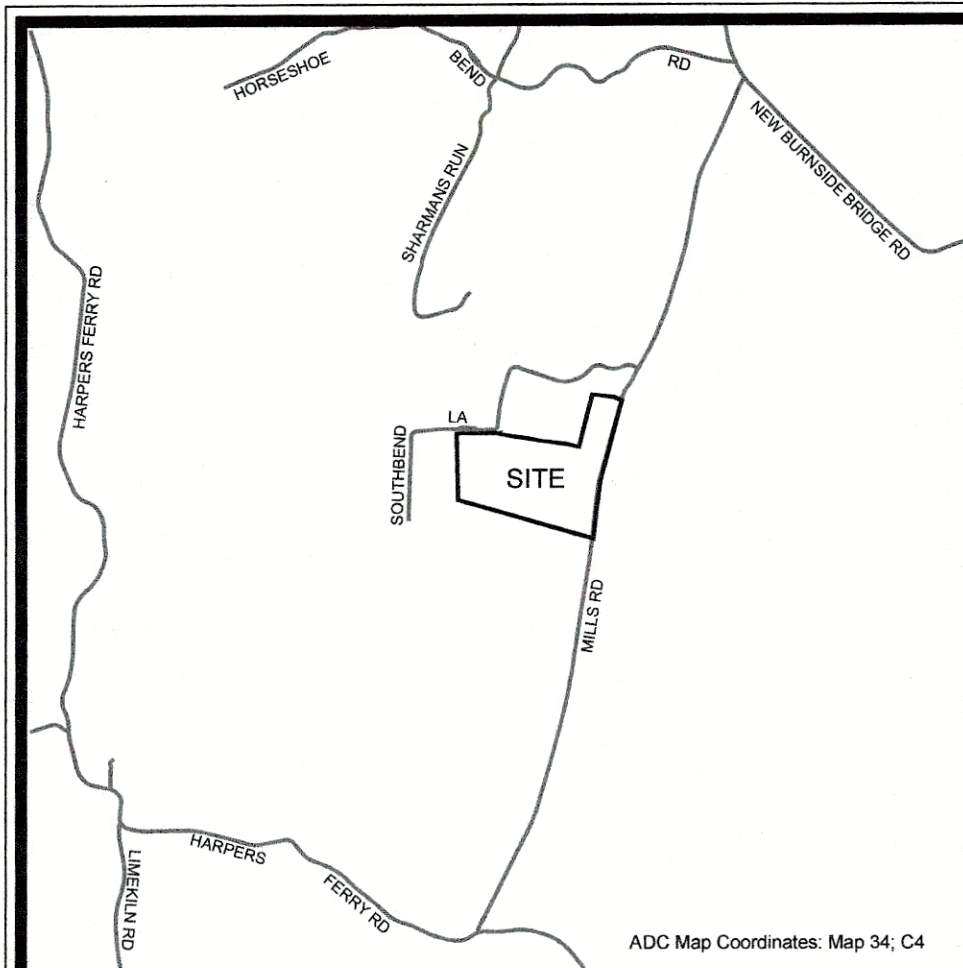
Conditions Governing the Special Exception Use

1. Hours of operation for the banquet/reception facility shall be: 4 p.m.-10 p.m., Friday; noon-10 p.m., Saturday; and noon-8 p.m., Sunday.
2. Banquet/reception attendees shall not exceed 100.
3. Banquet/reception uses are restricted to the existing building; tents are permitted for outdoor events.

BOARD OF APPEALS

By: Neal R. Glessner, Chair

Date Issued: January 12, 2018





WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Conservit, Inc.
NUMBER.....: SP-18-012

OWNER.....: CONSERVIT INC C/O BRET WALLOSTON
LOCATION.....: East side of Leslie Drive near Sharpsburg Pike
DESCRIPTION.....: Site Plan to replace existing equipment with new

ZONING.....: Industrial, General
COMP PLAN LU.....: Industrial
PARCEL.....: 10019648
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....:
GROSS ACRES.....: 19.98
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: No Date Available

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Marsh Run
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None

**WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING**

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	N/A	N/A
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
0		
Parking Spaces - Minimum Required	Recreational Parking Provided	

ACCESS SPACING VARIANCE NEEDED: No**SCHOOL INFORMATION**

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	FUNKSTOWN
AMBULANCE DISTRICT.....:	HALFWAY

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	5-Long Term Planned Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

Staff Comments:

Not Applicable

SITE PLAN FOR CONSERVIT INC.

Presented is a Site Plan for Conservit Inc.

The subject site is located at the end of Leslie Drive, east of Sharpsburg Pike.
Zoning is Industrial General.

The purpose of the site plan is to show the replacement of existing conveyance and stacking equipment with modern equipment used for the processing of recyclable materials. All other aspects of the site/business will be unchanged.
Total acreage of the site parcel is 19.98.

The site has an access to Leslie Drive. No new access is proposed.

The business is currently served by public water and sewer.

No new employees will be hired. Hours of operation will remain the same.

No new signage or lighting is proposed.

The Board of Appeals granted an approval to a variance request (March 2018) for a reduction in the side yard setback to 45 feet from the required 100 feet for the placement of a conveyor system. A copy of the Opinion is in the agenda packet.
AP2018-005.

The site plan is exempt from Forest Conservation requirements since there is less than 20,000 square feet of disturbance.

All required agency approvals have been received by the Plan Review office.

**BEFORE THE BOARD OF APPEALS
FOR WASHINGTON COUNTY, MARYLAND**

**Conservit, Inc.
Applicant**

Appeal No. AP2018-005

OPINION

This appeal is a request for a variance from the minimum 100' right side yard setback to 45' for the placement of a conveyor system. The subject property is located at 18656 Leslie Drive, Hagerstown, Maryland; is owned by the Applicant; and is zoned Industrial General. The Board held a public hearing on the matter on February 21, 2018.

Findings of Fact

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. The Applicant seeks a variance to place a conveyor system on the subject property.
2. The conveyor is a stacking conveyor, used in the metal recycling process on the subject property.
3. Materials are transported or moved around the site with trucks and bulldozers.
4. The conveyor will allow shredded material to be moved by conveyor belt and deposited at its end terminal.
5. The conveyor will be 83' from the property line.
6. The most-affected property will be the Maryland Correctional Institute.
7. Since MCI is an institution for human care, the setback from the property line is enhanced to 100'.
8. The most-affected portion of the MCI compound is the area that houses the large field of solar arrays.

9. The closest building on the MCI compound will be 1,300' away.
10. In opposition, Jeremiah Weddle spoke of his concerns about noise and smoke coming from the subject property.
11. Gary Smith, of Garis Shop Road, also spoke in opposition to the request, noting the smoke and dust that already come from the property, and the vibrations and concussive effects that emanate from it.
12. In rebuttal, the Applicant noted that the conveyor will not generate any additional noise.
13. The Applicant has taken measures to address—and mitigate—noise, smoke, and explosions arising from its operations.
14. The Applicant does not operate a night shift.
15. Hours of operation are generally Monday through Friday, from 7:30 A.M.—4:00 P.M.

Rationale

This Board has authority to grant a variance upon a showing of practical difficulty or undue hardship. §§ 25.2(c) and 25.56. ¹ "Practical Difficulty" may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variance would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A).

This property is unique because of its size and shape and its proximity to the Maryland Correctional Institute. The correctional compound is of significant size, and its presence in this area is of singular impact. Moreover, because MCI is considered an institution for human care by the zoning authorities, the side yard setbacks on the subject property are increased to 100', rather than the usual 25'. Furthermore, the longtime recycling and reclamation use of the subject property is not commonly found elsewhere

¹ "When the terms unnecessary hardship (or one of its synonyms) and practical difficulties are framed in the disjunctive ("or"), Maryland courts generally have applied the more restrictive hardship standard to use variances, while applying the less restrictive practical difficulties standard to area variances because use variances are viewed as more drastic departures from zoning requirements." *Belvoir Farms Homeowners Ass'n, Inc. v. North*, 355 Md. 259, 276 n.10 (1999) (citations omitted).

in the County. Given the combination of these factors, we consider the property unique and suitable for variance relief. ("Uniqueness' of a property for zoning purposes requires that the subject property have an inherent characteristic not shared by other properties in the area, i.e., its shape, topography, subsurface condition, environmental factors, historical significance, access or non-access to navigable waters, practical restrictions imposed by abutting properties (such as obstructions) or other similar restrictions." *North v. St. Mary's Cnty.*, 99 Md. App. 502, 514 (1994).)

The Applicant has demonstrated a practical difficulty if variance relief is not granted. The proposed use of the property is permitted and has long occurred thereon. The use of the conveyor in the site's operation is unobjectionable, and likely will decrease noise, dust, and fumes that would accompany the transfer of materials by truck or bulldozer if this conveyor was disallowed. Strict compliance would increase adverse effects emanating from the operation or prevent a permitted use to occur on a portion of the property. Likewise, strict compliance would achieve little practical benefit, as the most-affected portion of the neighboring property is used as a solar farm. For all these reasons, we conclude that the grant of variance relief secures public safety and welfare and upholds the spirit of the Ordinance.

While we are cognizant and supportive of the concerns raised by opponents to this request, we note that the concerns seem to arise from the use of this property generally rather than from the variance relief requested or the installation of the conveyor.

Accordingly, this request for a variance is hereby GRANTED by a vote of 4-0.

BOARD OF APPEALS

By: Neal R. Glessner, Chair

Date Issued: March 23, 2018

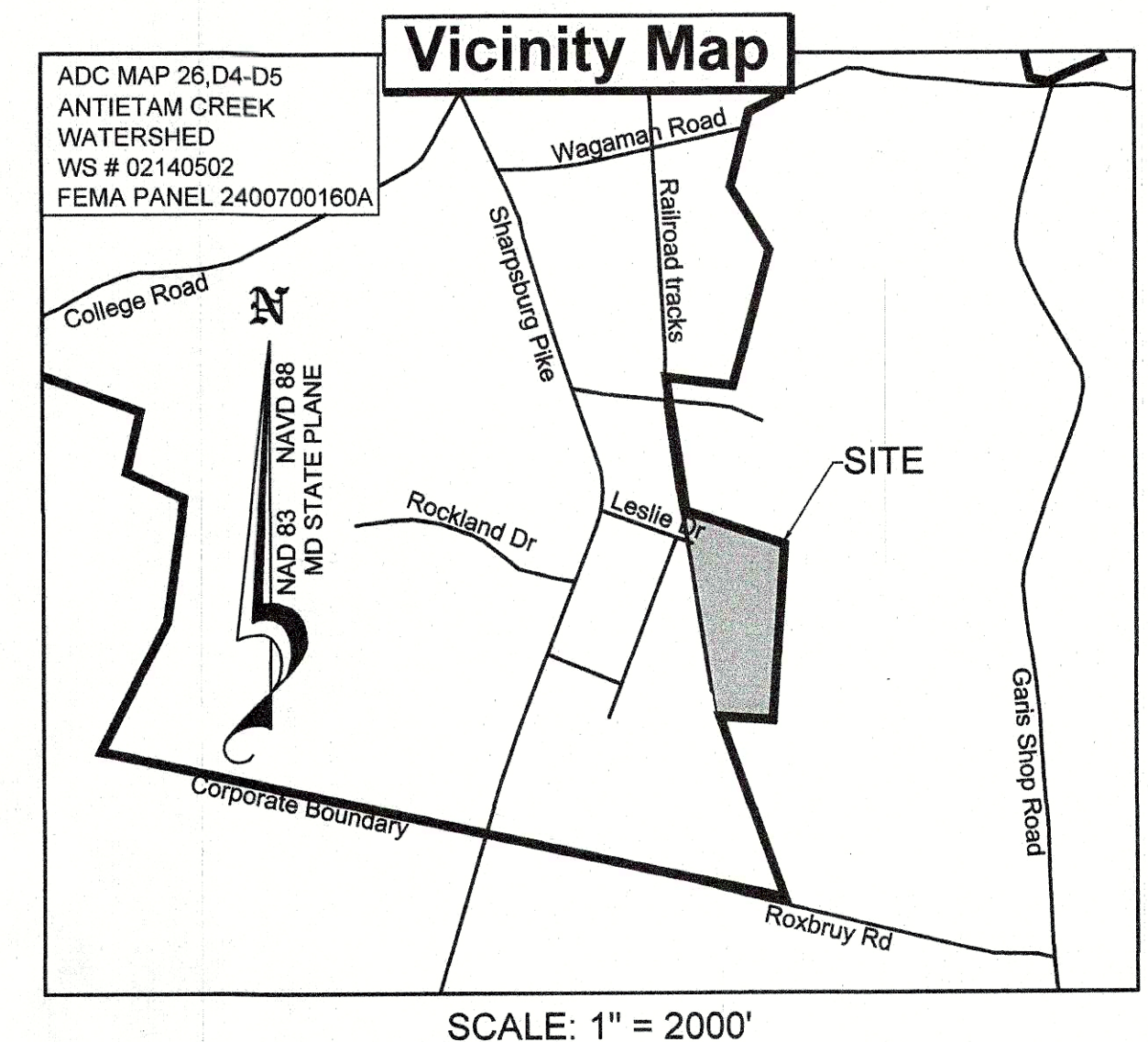
Site Plan for CONSERVIT, INC.

Located at: 18656 Leslie Drive
Washington County, Maryland

OWNER/DEVELOPER:
CONSERVIT, INC.
PO BOX 1517
HAGERSTOWN, MD 21740
ATTN: CHESTER SMITH
PHONE: (301)-791-0100

FREDERICK
SEIBERT &
ASSOCIATES, INC. © 2018

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
(301) 791-3550 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956



SCALE: 1" = 2000'

Sheet Index

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
V-101	SHEET 2	EXISTING CONDITIONS
C-101	SHEET 3	SITE PLAN
C-102	SHEET 4	GRADING & SEDIMENT EROSION CONTROL PLAN
C-501	SHEET 5	SITE DETAILS & NOTES
C-502	SHEET 6	EXHIBIT PROPOSED CONVEYOR/EQUIPMENT LAYOUT

Site Data

TAX MAP	62-5-205
ELECTION DISTRICT	10
ZONING	IG (INDUSTRIAL GENERAL)
SETBACKS	FRONT- 50' SIDE- 100'(VARIANCE GRANTED RIGHT SIDE YARD TO 45') REAR- 100'
MAX. BUILDING HEIGHT	40' EXISTING (100' MAXIMUM NO BUILDING PROPOSED)
FUNCTIONAL DESCRIPTION	RECYCLING FACILITY
HOURS OF OPERATION	7:30 A.M. to 4:00 P.M. MONDAY THROUGH FRIDAY
NUMBER OF EMPLOYEES	70
SITE LIGHTING	NO NEW LIGHTING IS PROPOSED
DELIVERIES	TRACTOR TRAILER & AUTOMOBILE/DAILY
SIGNAGE	NO ADDITIONAL SIGNAGE IS PROPOSED
PARCEL AREA	19.98 Ac+/-
PROPOSED BUILDING AREA	0 S.F.
IMPERVIOUS AREA	14.8 Ac+/-
WATER & SEWER USAGE	EXISTING ALLOCATION= 10,114 G.P.D. PROPOSED ADDITIONAL ALLOCATION= 0 G.P.D. EXISTING WATER USAGE = 4,843 G.P.D.
SOLID WASTE	ON-SITE DUMPSTER & PRIVATE HAULER
FORESTATION	EXEMPT
ADDRESS ASSIGNMENT	18656 LESLIE DRIVE
SENSITIVE AREAS	THERE ARE NO KNOWN FLOODPLAINS, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 4.21 OF THE ZONING ORDINANCE.

A VARIANCE WAS GRANTED FROM THE MINIMUM 100' RIGHT SIDE YARD SETBACK TO 45' FOR THE PLACEMENT OF A CONVEYOR SYSTEM ON MARCH 23, 2018; APPEAL NO. AP2018-005

NOTE:
THE PURPOSE OF THIS PLAN IS TO REPLACE EXISTING CONVEYANCE/STACKING EQUIPMENT WITH MODERN EQUIPMENT USED FOR THE PROCESSING OF RECYCLABLE MATERIALS.

SWM Narrative

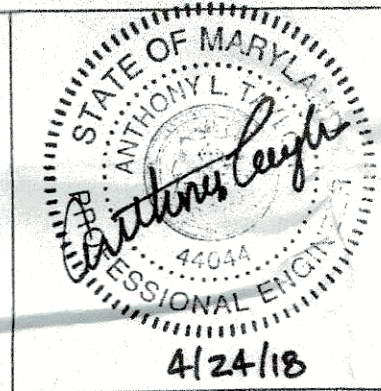
Conservit, Inc. constructed an on site stormwater management pond in 2014. A plan was approved by Washington County under plan number GP-12-039 in February, 2013 to update an existing pond and their Storm Water Pollution Prevention Plan (SWPPP). The pond was constructed to MD 378 standards and the 2000 Maryland Stormwater Design Manual. The pond provides Channel Protection Volume (Cpv) and controls the post development 2 Year runoff rate to below its pre development rate and safely conveys the 10 and 100 Year design storms. The pond was designed with a post development watershed of 11.45 acres with a RCN of 88. The pond provides 27,000 cubic feet of Water Quality Volume (WQv) and 35,280 cubic feet of Cpv.

This site plan has been prepared for the construction/replacement of existing separating equipment for finish recycling product. The proposed equipment/improvements are located within the existing ponds watershed. Furthermore, the equipment is being constructed on an existing concrete pad that is being treated for WQv and Cpv in the pond. The Limit of Disturbance (LOD) is being confined to the area needed to sawcut and install the foundations for the proposed equipment and new electric duct bank to provide power. The limit of disturbance is 6,625 square feet. A variance from the Washington County Stormwater Management Ordinance is being requested for this project.

GRADING CHK BY:	DATE:	PROJECT NUMBER:
SEC CHK BY:	DATE:	COVER SHEET
SWM CHK BY:	DATE:	C-001
PLAN CHK BY:	DATE:	SHEET 1 OF 6
DESCRIPTION:	DATE:	SP-18-012

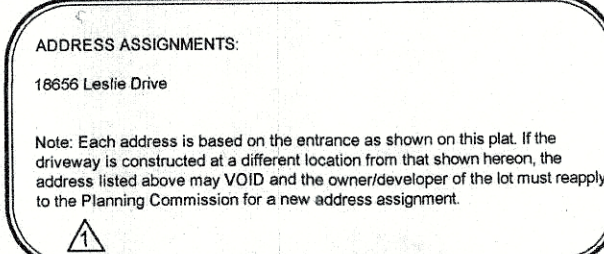
Approvals

MD-ENG-6A 1/59	USDA SCS	OWNER / DEVELOPERS CERTIFICATION "We certify all parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." 4-24-18 DATE Chester Smith PRINTED NAME Chester Smith SIGNATURE
UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777		
DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0.15 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 736 CU. YDS. OF EXCAVATION AND APPROXIMATELY 210 CU. YDS. OF FILL.		
ENGINEER'S NAME	LICENSE REG. NO.	DATE
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)		
APPROVAL: WASHINGTON COUNTY PLAN REVIEW DEPARTMENT SIGNATURE _____ DATE _____		
OWNER / DEVELOPERS CERTIFICATION "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." 4-24-18 DATE Chester Smith PRINTED NAME Chester Smith SIGNATURE		
Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 44044, Expiration Date: 06-09-2019 4/24/18 DATE 44044 REG. NO. Anthony Taylor SIGNATURE		



Legend

SYMBOL	FEATURE
EXISTING	PROPOSED
PROPERTY LINE, CORNER	PERMANENT EASEMENT
CENTERLINE	CONTOURS
TREE LINE	EDGE OF PAVEMENT
CONCRETE CURB	FENCE LINE
STREAM OR DITCH	FLOW LINE
WATER LINE	SANITARY SEWER LINE, STUB
FORCE MAIN	STORM DRAIN, END SECTION
ROOF DRAIN PIPE	WATER VALVE
WATER CAP, REDUCER, BEND	FIRE HYDRANT, METER
OVERHEAD ELECTRIC LINE	GUARDRAIL
RAILROAD TRACKS	BUILDINGS, HOUSES, GARAGES
SANITARY SEWER MANHOLE	STORM DRAIN INLET
UTILITY POLE	HANDICAP PARKING
POLE LIGHT	ROAD SIGN
SPOT ELEVATION	DOUBLE WATER METER
DOUBLE SEWER CLEANOUT	DOUBLE SEWER CLEANOUT
DETAIL #	DETAIL REFERENCE
P.I. POINT OF INTERSECTION	P.O.L. POINT ON LINE
P.C. POINT OF CURVATURE	B.C. BOTTOM OF CURB
P.T. POINT OF TANGENCY	T.C. TOP OF CURB



General Notes

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Maryland Department of the Environment	(301) 665-2850
Washington County Division of Public Works - Engineering & Construction	(240) 313-2400
Washington County Dept. of Water Quality	(240) 313-2615
Washington County Soil Conservation District	(301) 797-6821 Ext. 3
Potomac Edison	1-800-255-3443
Columbia Gas (Hagerstown)	(301) 733-1010
Verizon	(301) 790-7124
Antietam Cable	(240) 420-2082
City of Hagerstown Engineering Department	(301) 739-8577 Ext. 125
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- Benchmarks as shown on plans.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the completion of fill.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
- Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
- All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
- The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- The existing site contours shown hereon were obtained from an aerial survey completed and field verified by FSA (Contour accuracy is to plus or minus one half the contour interval).
- There will be no additional dust, noise or smoke from the installation of the new equipment/conveyor system.

Division of Plan Review & Permitting Notes

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control, Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.
- No new lighting is proposed.

