

DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS AGENDA

WASHINGTON COUNTY PLANNING COMMISSION PUBLIC INFORMATION MEETING AND REGULAR MEETING August 7, 2017, 7:00 PM WASHINGTON COUNTY ADMINISTRATION BUILDING 100 WEST WASHINGTON STREET 2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

PUBLIC INFORMATION MEETING

 <u>WS-17-001 – Clarence Horst</u> – Application for Amendment to the Washington County Water and Sewerage Plan for Clarence Horst; Property located at 17628 and 17638 Garden View Drive, Hagerstown; Requested Service Area Designation: W-1 Existing Water Service; S-7 No Planned Sewerage Service; Planner: Jill Baker *

MINUTES

1. July 10, 2017 Planning Commission regular meeting *

NEW BUSINESS

PRELIMINARY CONSULTATIONS

 <u>The Villas at Gateway</u> (PC-17-001) – Preliminary consultation for The Villas at Gateway located along the north side of Rench Road; The developer is proposing 26 duplex lots on 5.18 acres; Zoning: RU (Residential, Urban); Planner: Cody Shaw *

SITE PLANS

- 1. <u>Meritus Health North End Clinic</u> (SP-17-010) Site plan for a new health clinic on 6.0 acres located along the west side of Crayton Boulevard; Zoning: HI (Highway Interchange with Airport Overlay); Planner: Lisa Kelly *
- 2. <u>Merkle Response Parking Area Addition (SP-17-013)</u> Site plan for a parking lot addition on 6.29 acres located along the east side of Hump Road and south of Jamison Court; Zoning: IG (Industrial General); Planner: Lisa Kelly *
- 3. <u>The Arnett Farm, Lot 4</u> (SP-14-051) Site plan for retail space and restaurants on 6.22 acres located south of Col H.K. Douglas Drive; Zoning: HI (Highway Interchange); Planner: Tim Lung *
- 4. <u>Community Rescue Service</u> (SP-17-011) Site plan for an ambulance station on 1.42 acres located along the north side of Oliver Drive; Zoning: HI (Highway Interchange); Planner: Cody Shaw *

OTHER BUSINESS

- <u>Sam Royer</u> Owner is requesting a change of use/intensity of a property for the expansion of a business located along the south side of MD Route 550 (Military/Fort Ritchie Road; Zoning: RB (Rural Business); Planner: Tim Lung *
- 2. Update of Staff Approvals Tim Lung
- 3. Water & Sewer Plan Amendment Recommendation (WS-17-001) Planner: Jill Baker
- 4. Annual Report Jill Baker
- 5. <u>Proposed Text Amendment</u> Steve Goodrich

ADJOURNMENT

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET

UPCOMING MEETINGS

- Monday, September 11, 2017, 7:00 p.m., Washington County Planning Commission regular meeting, Washington 1. County Administration Building, 100 W. Washington Street, 2nd Floor, Room #2000, Hagerstown, Maryland Monday, September 18, 2017, 7:00 p.m., Washington County Planning Commission Public Rezoning Meeting,
- 2. Washington County Circuit Court House, 24 Summit Avenue, Court Room #1, Hagerstown, Maryland

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called.

Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2435 Voice/TDD, to make arrangements no later than ten (10) days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

July 25, 2017

Case #: WS-17-001

Application for Amendment Washington County Water and Sewerage Plan

Property Owner:	Clarence Horst
Applicant:	same as Property Owner
Location:	17628 & 17638 Garden View Drive
Comprehensive Plan Designation:	Agriculture
Zoning Map:	24
Parcel(s):	P. 1188- Lots 1& 2; & part of P. 499
Existing Service Area Designation:	W-7 No Planned Water Service
	S-7 No Planned Sewerage Service
Requested Service Area Designation:	W-1 Existing Water Service
	S-7 No Planned Sewerage Service

Introduction

In accordance with Maryland law, each County is required to prepare, adopt and maintain a Water and Sewerage Plan to demonstrate that safe and adequate facilities can and will be provided to support growth and development. Washington County, in cooperation with all other utility providers, last adopted a Water and Sewerage Plan in 2011 that forecasted short and long term water and wastewater facility needs over a 10 year period. On occasion, amendments can be made to the document to update information regarding new water/sewerage facilities, changes in the type, size or capacity of existing facilities, changes in the priority classification for service, or changes to the boundaries of existing service areas. In this specific case the applicant is requesting to change the service area boundaries for water service and change the priority classification for water service.

Background

An application has been submitted requesting a small area located on the north side of Garden View Drive, approximately one-half mile east of Cearfoss Pike (MD 58) be included within a designated W-1, Restricted Use water service area (See Figure 1). There is no requested change in the sewer service area boundary.

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Staff Report Water & Sewerage Plan Amendment

According to the applicant and supporting documentation, the property owner has the desire to subdivide a new lot off of the existing farm for the purpose of building a single family residence for a family member. As part of the process to subdivide, the property owner contacted the Washington County Health Department to approve a permit for a new well to serve the proposed

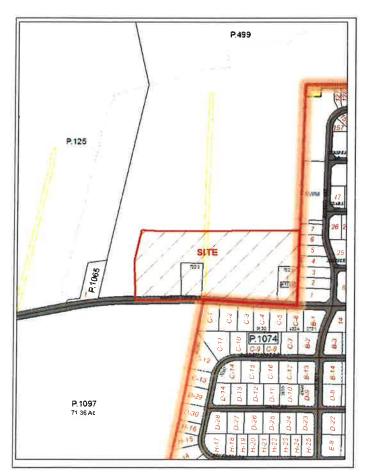


Figure 1: Proposed W-1, Restricted Water Service Line

new lot. After several attempts, the Health Department has denied the application to establish a new well due to contamination in the aquifer. The contamination is assumed to be from groundwater under the direct influence of surface water contamination (GWUDI).

In addition to denying a permit for a location. new well the Health Department also determined that the existing well on Lot 2 suffered from the same contamination issues as the new wells and therefore worked with the City of Hagerstown to provide "emergency" service to the existing property so that the well could be condemned. Under existing service policies of the City of Hagerstown, service was granted to Lot 2 due to health and safety issues.

While GWUDI has been a long term issue in the County (resulting from the karst topography in this area), the Health Department has only recently established "sensitive areas" that

correspond to their location. In addition, the Health Department has established criteria by which they evaluate new and existing well permits in their delineated "sensitive areas". According to the Health Department:

"Due to the nature of the karst aquifer and the rapid movement of water through the aquifer coupled with the presences of potential contaminant sources within the Well Head Protection Area, the water supply is considered vulnerable to all contaminants since some level of all major contaminants have been detected.

Therefore, effective immediately, all proposed subdivision lots in the delineated area shall have all of the proposed wells drilled and tested for yield, bacteria, nitrate/nitrite and turbidity prior to final approval. These tests are to be conducted under the GWUDI sampling protocol.

Any well failing sampling shall be abandoned and sealed. Individual or on-site treatment is not an option for wells failing sampling."¹

The following map was also included in the publication showing the limits of the "sensitive area" in the Greencastle Pike/Cearfoss area.

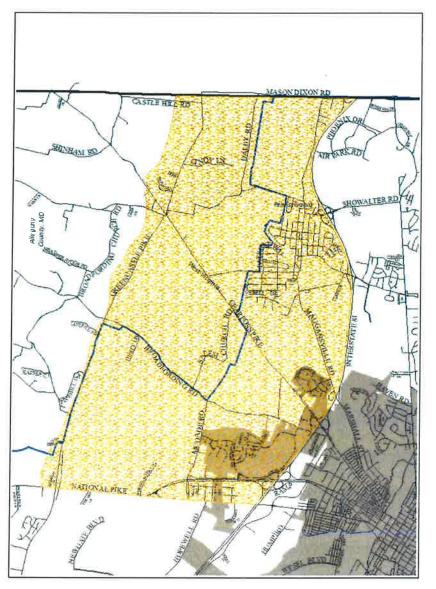


Figure 2: Greencastle Pike/Cearfoss GWUDI "Sensitive Area"

After failing to achieve an approved well from the Health Department for the new lot (proposed Lot 3), the property owner contacted the City of Hagerstown to request access to an existing public water line located along Garden View Drive. This request was initially denied by the City

¹ Establishment of Sensitive Areas for Well Construction, Washington County, Maryland, Prepared by Washington County Environmental Health Staff (2008)

Staff Report Water & Sewerage Plan Amendment

of Hagerstown due to the fact that the proposed new lot is located outside of the City of Hagerstown's designated Medium Range Growth Area (MRGA) boundary, and therefore outside of their water service area. It is important to make the distinction that the City approved water service extension to Lot 2 and not Lot 3 because Lot 2 is an existing lot of record whose well was being condemned by the Health Department.

The property owner continued to work with the City of Hagerstown and the Health Department to negotiate a way to tap onto the existing water service for the new proposed Lot 3. The uniqueness of the property being adjacent to an existing water line and adjacent to the designated MRGA, and the new GWUDI "sensitive area" delineation of the Health Department caused the City to re-evaluate their policies. As a result, the City recently approved a new exemption to their policies allowing the extension of services outside of the designated MRGA and that are located within a "sensitive area" associated with GWUIDI issues. The policy reads as follows:

"9. Connection to a proposed new Lot of Record or Existing Lot of Record for a new SFR or DUP when well testing failed to gain approval of the Health Department due to GWUDI issues. GWUDI is groundwater under direct influence of surface water and it is present in areas of the Hagerstown Valley due to the karst geological formations. A sensitive area where such conditions have been documented to occur has been designated by the Health Department on the northwest side of Hagerstown- an area bounded by I-81, US40, proximity to the Greencastle Pike, and at the Pennsylvania border. Service approval by the Utilities Department is contingent upon the following: (a) The Health Department has provided a request with documentation to the Planning and Utilities Departments that the new well for the proposed new lot or existing lot of record does not meet the minimum criteria for drinking water requirements and the well cannot be approved by the Health Department; (b) Health Department's analytical results are consistent with COMAR and this analysis identifies contaminants which are precluded from treatment in new wells per State law; (c) the proposed lot or existing lot is contiguous to a right-of-way containing a City water line; (d) any extension of existing water infrastructure is the responsibility of the landowner requesting service and all required improvements to the water infrastructure shall be in conformance with City Water and Wastewater Standards and Specification. The Utilities Director may approve up to three requests per year for this exception. Requests for service under this exception which would create a new lot for development outside the County UGA must first receive the approval of the administrative authority of the County Water and Sewer Plan.

Analysis

Both properties are currently located outside of the designated UGA and therefore outside of any designated water or sewer service area. A property's location outside of a designated growth area and outside of a public facility service area typically precludes the property from public service. However, there are a few exceptions to this policy when dealing with public health and safety

issues. These areas are handled through the Water and Sewerage Plan as being designated as "Restricted Use Service Areas". According to the adopted Plan:

"Community water and/or sewer service areas associated with facilities that are located outside of a designated Growth Area and not within a Rural Village may be considered as Restricted Use service areas. These service areas are created to correct documented public health problems generally associated with contaminated wells or failing septic systems."²

In addition to restricted use areas being limited to areas outside of a designated growth area or rural village, they area also limited to the following conditions:

- 1. To provide service to existing uses or new uses on existing lots of record which are directly adjacent to the right-of-way containing the water or sewer line.
- 2. To provide service, where sufficient supply is available, to new subdivision lots that can be serviced by a line without extension. Density shall be no greater than what would occur without public facilities.
- 3. To provide service to areas where the Health Department determines that access is necessary to solve an existing health related problem and the County Commissioners [or utility provider] agree to permit access to the line.
- 4. To provide service to properties where a written agreement with the service providing agency, executed prior to the restricted access designation, obligated the service providing agency to provide service to a specific property or a specific use or provide a specific number of taps.

Consistency with the Comprehensive Plan

The Community Facilities Element of the Comprehensive Plan discusses the policies for public utility service for the County. In the element there is specific discussion of utility location and access as well as policies for handling future growth. These policies are expanded upon in the development of the Water and Sewerage Plan.

In general the Comprehensive Plan highlights the fact that the provision of water and sewer service is an integral part of implementing many of the land use policies of the overall Plan. The Comprehensive Plan develops policies for overall land use and division of needed uses while the Water and Sewer Plan focuses on the facilities needed to sustain projected growth. To marry these documents together the Comprehensive Plan states that:

"In order to ensure consistency with the land use policies of the Comprehensive Plan, the Water and Sewerage Plan established three types of service areas, Growth Areas, Rural Village, and Restricted Use."

Furthermore the Comprehensive Plan goes on to say that:

² Water and Sewerage Plan for Washington County, Maryland 2009 Update; Chapter 3, Section P.3, Page III-32

"Community water and sewer facilities that are located outside of a designated Growth Area and not within a Rural Village are considered Restricted Use facilities. These service areas are created to correct documented public health problems generally associated with contaminated wells and/or failing septic systems. In some cases, the facilities may have existed prior to the establishment of the Growth Area boundary. The provision of service to these areas is not designed to be a catalyst for new development and shall not be designed for or permitted to expand beyond their original service boundaries."³

Staff Recommendation

Staff recommends approval of this amendment to include the area of Lots 1 and 2, as well as a portion of P. 499 within the boundary of a Restricted Use service area and change the service area priority to W-1 based on the following findings:

- 1. The requested amendment is consistent with the goals and policies of the adopted Comprehensive Plan for the County. The request for access to public water facilities is based upon a documented public health issue and does not seek to exploit the opportunity for development outside of the anticipated growth scenarios.
- 2. The requested amendment is consistent with the goals and policies of the adopted Water and Sewerage Plan for the County. In accordance with Chapter 3, Section P.3(a-d) the request for access to public water facilities is: 1) directly adjacent to a right-of-way containing an existing public water line; 2) able to serve existing and proposed lots without extension of existing lines and does not increase the density of development above the permitted limit of the existing Agricultural (Rural) zoning; 3) based upon a documented public health issue; and 4) has executed a written agreement with the utility provider (City of Hagerstown) that the provider will permit access to the existing water line.

Respectfully Submitted,

hill 2h

Jill Baker Chief Planner

³ 2002 Washington County Comprehensive Plan, Community Facilities Element, Page 146.



FOR PLANNING COMMISSION USE ONLY
Rezoning No. WS-17-001
Date Filed:

WASHINGTON COUNTY PLANNING COMMISSION
ORDINANCE TEXT AMENDMENT APPLICATION

Clarence Horst

Applicant 17638 Garden View Road, Hagerstown, MD 21740

Address

Clarence Horst

Primary Contact 17638 Garden View Road, Hagerstown, MD 21740

Address

Adequate Public Facilities Ordinance
 Forest Conservation Ordinance
 Subdivision Ordinance

Solid Waste Plan

■Property Owner □Contract Purchaser □Attorney □Consultant □Other: _____

301-491-3356

Phone Number

chorst@cbimove.com

E-mail Address

Water and Sewer Plan
Zoning Ordinance
Other ______

Section No. _____

Please provide the proposed text on a separate sheet of paper as follows: strike-through should be used for deletions [deletions], unchanged wording in regular type, and new wording should be underlined [new wording].

	Applicant's Signature
Subscribed and sworn before me this $\frac{1}{2}$	_day of June 20/7(.)
My commission expires on 8-15-1つ	May and Notary Public
FOR PLANNING C	COMMISSION USE ONLY
 Application Form Fee Worksheet Application Fee 	 Proposed Text Changes 30 copies of complete Application

June 22, 2017

Re Washington County Water Policy for Clarence Horst Lot 3 Subdivision

To whom this may concern:

My name is Clarence Horst the owner of a 133+ acre farm located at 17638 Garden View Road, Hagerstown Md. 21740. I have subdivided off a lot know as Lot 3 off the farm in order to build a home for my oldest son and his family. After spending about 20 thousand in wells and well tests I was told by the health department that I could not use the well water unless it was pure coming out of the ground and I was not allowed to install a UV light which is typical for wells in this area because they have deemed the area I am in as a sensitive area and therefore under the GWUDI protocol. So, I went to the city and found out I couldn't hook up to water because I was outside the growth area...the growth line is on the other side of Garden View Road from my farm. I explained the GWUDI issue and of course no one had heard of it. So, for the next several months I worked to get the health department to explain to the city what GWUDI was. This then led to the city thankfully adding a ninth exception to their water policy to address the issue when someone is in a similar situation as me. This was approved by the mayor and council on May 23, 2017...a copy is attached.

I understand that I now need to ask that the County to amend their policy to allow me to be able to bring the city water into my property that is located in the county. I have signed a pretaxation agreement with the city so they are ready to give me water. It would seem that the county should update their policy to piggy-back on the city's ninth exception so that a person doesn't need to go through the laborious process of six-plus months to get the county to approve what the city has already agreed to with providing water in the sensitive area. I know that the enforcement of the GWUDI protocol is new in our area and I understand that it takes some time to work through all the unforeseen red tape road blocks but in the interest of common sense I would hope someone would look at this and see that in this type situation with the tight requirements of the ninth exception with the cites water policy it appears a waste of the planning commission time, staff time, county commissioners time and all the tax dollars wasted on the red-tape.

I am willing to work with any of you to help bring some common sense to this situation.

Please contact me if I can be of any further assistance.

Onward and Upward,

Clarence Horst

Clarence Horst 301-491-3356

June 22, 2017

Re: Letter request to Amend the Washington County Water Policy for Clarence Horst Lot 3 Subdivision

To whom this may concern:

Regarding Data to be included in applications for amendments to the county plan.

Section VIII.

- 1. Single family 2300 sq. ft. 3-bedroom home on newly sub-divided Lot 3 (see attached plat)
- 2. Located at 17638 Garden View Road Hagerstown MD Lot 3 (see attached plat)
- 3. Single Family Home- 4 people
- 4. Single Family Home- 4 people
- 5. Single Family Home- Estimate 200 gallon of water per day
- 8. 1" Pipe

14. Area under GWUDI Protocol and well failed to pass health department requirements (letter and test results from Health Dept. attached)

18. Well failed to pass health department requirements therefore we need to hook up to city water.

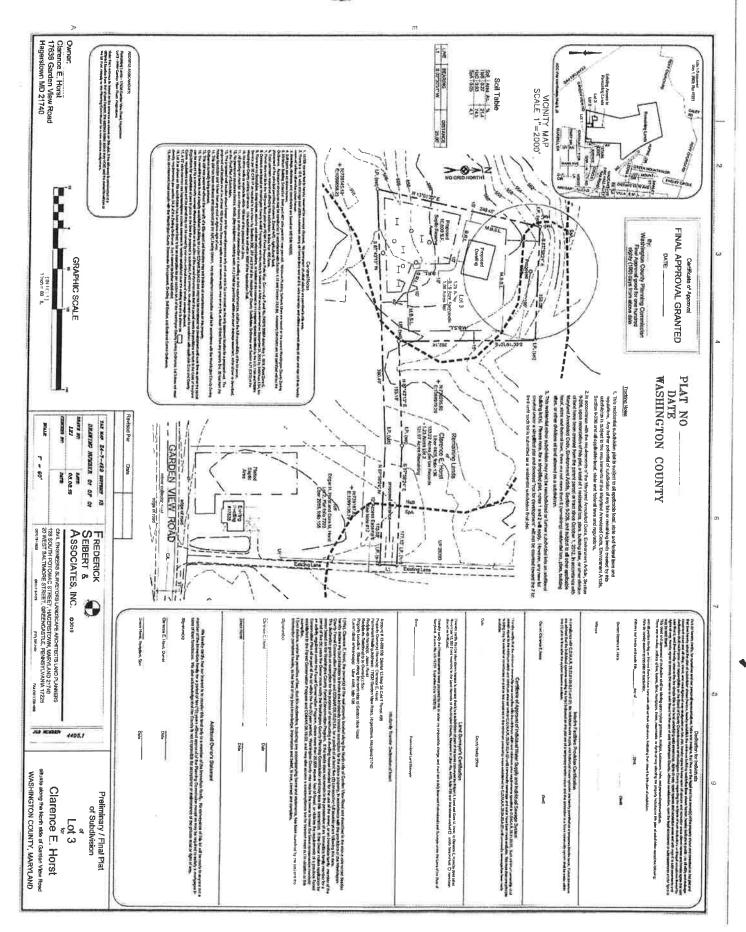
Please contact me if I can be of any further assistance.

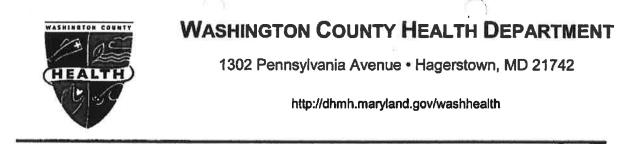
Onward and Upward,

Clarence Horst

Clarence Horst 301-491-3356

Exhibit A.





MEMORANDUM

TO:	Ms. Kathleen Maher
	Director, Planning and Code Administration, City of Hagerstown
FROM:	Sara L. Trescott
	Director, Environmental Health
DATE:	June 5, 2017
SUBJECT:	Clarence Horst Lot - Tax Map 24, Parcel 499

Our office received a request from Mr. Clarence Horst regarding a new well for his proposed minor subdivision of one lot on Tax Map 24, Parcel 499. The property falls within an area of Washington County deemed to be sensitive due to underlying geology and historical contamination issues. In order to approve a subdivision of any size within a sensitive area, it is a requirement based on policy to first undergo GWUDI (Ground Water Under the Direct Influence of Surface Water) testing and then abandon any well that indicates the presence of GWUDI.

The test well that Mr. Horst drilled indicated the presence of GWUDI conditions and cannot be approved for potability by our office as indicated. Mr. Horst could potentially have a licensed well driller explore the inside of the well, address potential areas of contamination and retest or drill a new test well in a different location to undergo GWUDI sampling. However, these options are both time consuming and expensive with no guarantee that GWUDI conditions will recede. Therefore, it is our recommendation that Mr. Horst be granted relief and allowed to connect to the public water line located adjacent to the property on Garden View Road.

Additionally, as per your request, please find copies of the laboratory results for your review and reference.

Thank you.

Attachments (3)

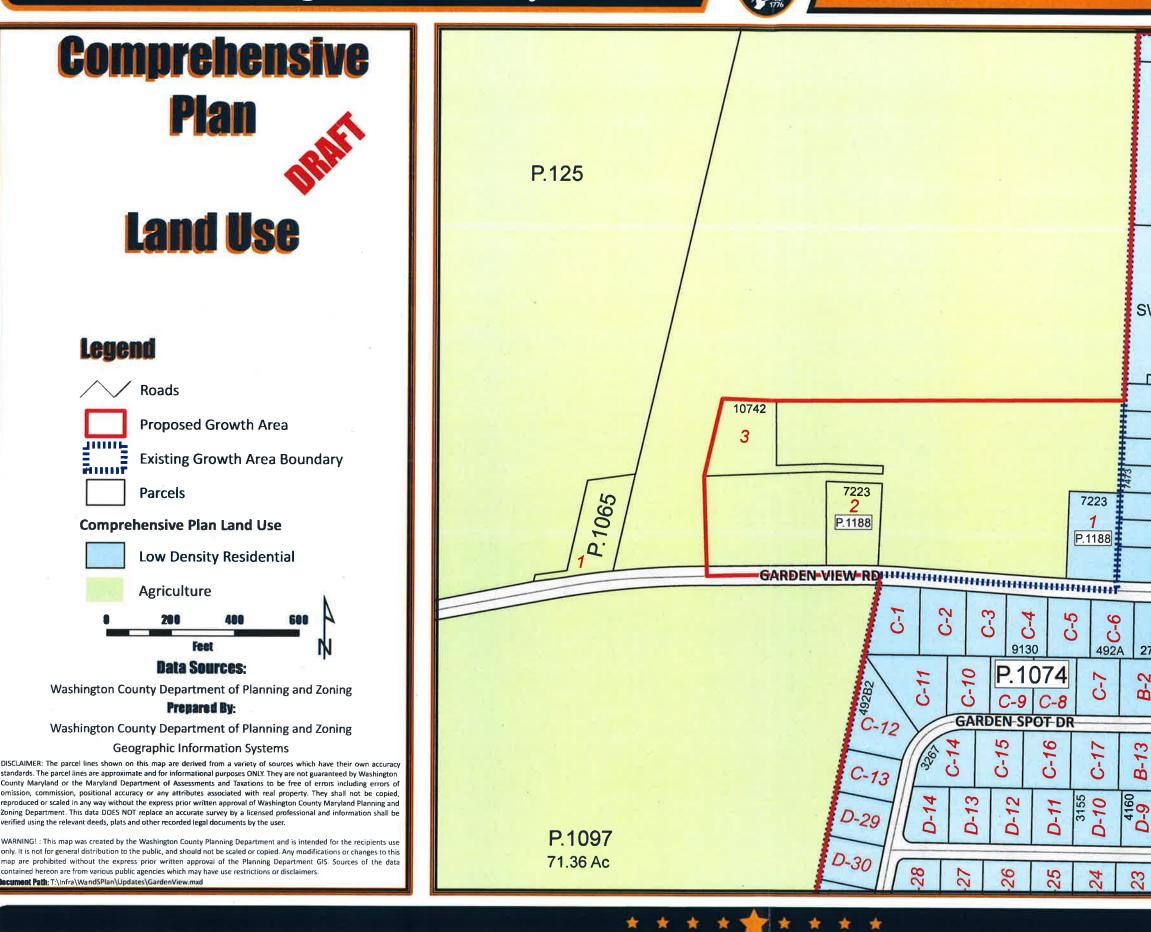
cc: Ms. Valerie Means, City Administrator, City of Hagerstown

Ms. Julie Pippel, Director, Washington County Division of Environmental Management

Mr. Earl Stoner, MPH, Health Officer, Washington County Health Department

ENVIRONMENTAL HEALTH 1302 Pennsylvania Avenue Hagerstown, Maryland 21742

Washington County



Maryland

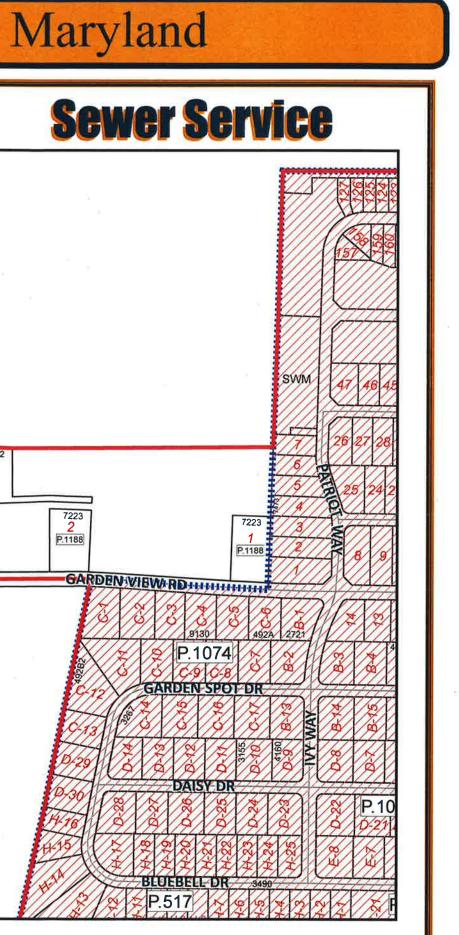
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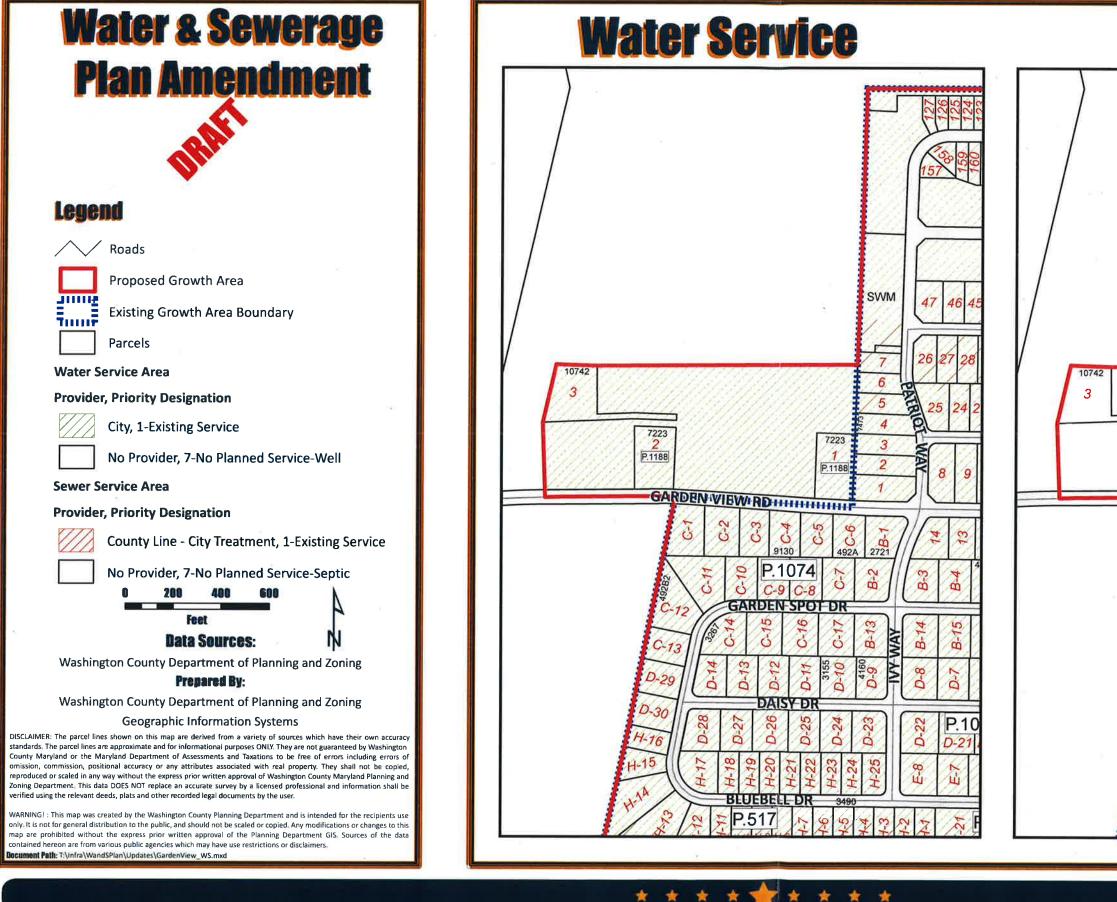
B-13



Washington County







WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING July 10, 2017

The Washington County Planning Commission held a regular meeting on Monday, July 10, 2017 at 7:00 p.m. at the Washington County Circuit Court House, Court Room #1, 24 Summit Avenue, Hagerstown, Maryland.

Commission members present were: Chairman Clint Wiley, Dennis Reeder, David Kline, B. J. Goetz, and Jeremiah Weddle. Andrew Bowen and Ex-Officio Commissioner Leroy Myers were absent. Staff members present were: Washington County Department of Planning & Zoning - Stephen Goodrich, Director; Jill Baker, Chief Planner; Travis Allen, Comprehensive Planner; and Debra Eckard, Administrative Assistant; Washington County Department of Plan Review & Permitting – Tim Lung, Director/Zoning Administrator, and Lisa Kelly, Senior Planner.

CALL TO ORDER

The Chairman called the meeting to order at 7:00 p.m.

MINUTES

Motion and Vote: Mr. Reeder made a motion to approve the minutes of the June 5, 2017 regular meeting as presented. The motion was seconded by Mr. Kline and unanimously approved.

OLD BUSINESS

Bowman Cornfield (SP-16-005)

Ms. Kelly presented for review and approval a site plan for a proposed establishment with food sales, retail space, office space and fuel sales with gas pumps, a canopy, and a car wash on a 13.3 acre parcel located at the intersection of Lappans Road and Spielman Road. The property is currently zoned HI (Highway Interchange). There will be 16 gas pumps for cars located in front of the building and 6 pumps for truck fueling to the rear of the store. Four truck parking spaces will be provided behind the convenience store. Ms. Kelly noted that the proposed truck wash shown on the site plan last month has been removed. There will be two access points from Spielman Road. The site will be served by public water and public sewer. There will be 30 employees working 3 shifts. Hours of operation will be 7 days per week, 24 hours per day. Required parking is 95 spaces; 107 spaces will be provided. Lighting will be building mounted and pole mounted throughout the site. There will be a screened dumpster on the site adjacent to the store. Two stand-alone signs and building mounted signs are proposed. Landscaping will be located throughout the parking lot, around the building and dumpster, as well as plantings within the storm water management area. An existing storm water management facility is located on the site. Forest Conservation Ordinance requirements have been met by off-site retention of existing forest; an easement plat has been recorded. The State Highway Administration has reviewed and approved the site plan. SHA will require the following improvements to be finalized prior to the opening of the establishment: the existing truck entrance must be relocated for better sight distance; construction of a new car entrance; widening of Spielman Road, west of centerline along the entire project frontage; mill and overlay Spielman Road west of centerline along entire project frontage; drainage pipe extensions to accommodate road widening; reconfigure lane striping at Spielman and Lappans Road intersection; single pole and light modification. All agency approvals have been received.

Discussion and Comments: Mr. Weddle stated that he visited the site. He believes that sight distance would be improved if the trees on the opposite side of the street from the truck entrance would be removed. Mr. David Trostle of Frederick, Seibert & Associates, the consultant, stated that the developer intends to remove those trees.

Mr. Kline verified that the State Highway Administration will hold \$300,000 in reserve for traffic lights if needed in the future. He noted that he has spent a lot of time visiting the site and reviewing all the information given to the Commission members including all public comment that was received. He

explained that the HI zoning district was created for this type of business and takes into consideration higher volumes of traffic that will leave the interstate to patronize this type of establishment. In his opinion there is not a better place along I-81 for this type of business. Mr. Kline noted that all agencies including the State Highway Administration have reviewed this site plan and have given their approval. He believes there is no reason to deny the proposal and the developer should be allowed to move forward with the project.

Mr. Reeder concurred with Mr. Kline's comments reiterating that the State Highway Administration has approved this site plan and that money will be held in reserve for traffic lights if they are needed in the future.

Mr. Wiley stated that the proposed use is a principally permitted use in the HI district. He believes the removal of the truck wash was a good idea. It is his opinion that the State Highway Administration has vetted the safety issues and the developer has addressed these issues on the site plan by meeting all SHA requirements.

Mr. Goetz commended the developer for removing the truck wash from the proposal. He believes this will reduce the amount of time that trucks will sit at the site. He noted there is already a lot of truck traffic in this area from the warehouse and industrial facilities along Governor's Lane Boulevard. With the addition of the truck fueling facilities at this location, it is his opinion that truck traffic risks on I-81 may be reduced.

Motion and Vote: Mr. Kline made a motion to approve the site plan for Bowman Cornfield as presented. The motion was seconded by Mr. Goetz and unanimously approved.

NEW BUSINESS

SUBDIVISION

Westfields Section 6

Ms. Kelly presented for review and approval a proposed revision to the lot configuration within Section 6 of the Westfields development. The final plat for Section 6A was approved to create 23 single-family lots, 20 of which were 100 feet wide and the remaining 3 lots were 80 feet wide. The developer is proposing to reconfigure the lots in Section 6A to 40 semi-detached units and to eliminate 20 lots in Section 7.

Mr. Jonathan Pembroke of Ausherman Development, the developer, stated there are 773 lots approved for this cluster development. The proposed change would not change the total number of lots in the development. This proposal is being driven by market demand.

Motion and Vote: Mr. Kline made a motion to approve the revision to Westfields, Section 6 as presented. The motion was seconded by Mr. Weddle and unanimously approved.

-FOREST CONSERVATION

Freedom Hills, Section B

Ms. Kelly presented for review and approval a request to change the forest conservation mitigation for property located along Garden View Road. In 2001, the first section of Freedom Hills was approved and the Planning Commission, as part of its approval, allowed the developer to mitigate 4.72 acres of the total 9.36 acres required, using a payment-in-lieu in the amount of \$20,256.32. The remaining 4.64 acres of mitigation was to be addressed by planting on the Freedom Hills site; a surety was posted in 2003 in the amount of \$20,211.84. Freedom Hills Section B, Lots 26-99 were approved by the Planning Commission in October 2005. Part of the approved plat included a Forest Conservation Easement Plan which showed an afforestation easement on Lots 65 thru 77 and Lots 96 thru 99 for a total mitigation of 1.06 acres. In 2017, a field inspection of this easement by County staff showed that the trees were not planted and therefore, was in violation of the approved 2005 Final Plat for Section B. The developer, Farhad Memarsadeghi, was contacted regarding this issue and has been working with the County to remedy the situation. He has proposed addressing this issue by removing the easement from Lots 65 thru 77 and 96

thru 99 and paying the fee-in-lieu for the 1.06 acres. Staff is recommending that the developer plant trees on a portion of Section C that does not have final plat approval.

Discussion and Comments: Mr. Weddle questioned why the trees were not planted before the lots were sold. Mr. Memarsadeghi explained that he purchased the property from another developer whose responsibility it was to plant the trees. Mr. Goodrich expressed Staff's opinion that when Mr. Memarsadeghi purchased the development, he purchased all obligations that went with it. There was a discussion regarding the obligation of the developer and alternatives to address this issue. Mr. Weddle expressed his opinion that the payment-in-lieu relieves the developer of his responsibility and he is not in favor of this option.

Motion and Vote: Mr. Reeder made a motion to approve the payment-in-lieu for 1.06 acres of mitigation. The motion was seconded by Mr. Kline and approved with a 4-1 vote; Mr. Weddle was opposed.

-OTHER BUSINESS

Linac Automobile

Mr. Lung presented a request for the change of use/intensity of property located at 20410 Leitersburg Pike, at the intersection of Leitersburg Pike and Miller's Church Road. The property is currently zoned RB (Rural Business). The property owner would like use this property for a gasoline station and a used car lot. Mr. Lung noted that the property has been used for a variety of businesses over the years, the most recent being a sales lot for storage sheds. In accordance with Section 5E.7 of the Washington County Zoning Ordinance, when an applicant requests a change of use/intensity in the approved RB floating district, the Planning Commission must determine if the change is significant and warrants the needs for a new public hearing. Staff has no objection to the request and believes that a public hearing should not be required.

Discussion and Comments: Mr. Reeder verified that the existing building would be removed and a new 1,200 square foot structure built in its place. Mr. Randy Dick of RMD Consulting, consultant, stated that during a Board of Zoning Appeals hearing for a canopy, neighbors were concerned with trash blowing onto their property. The developer has agreed to install a six foot vinyl fence along the property line to address this issue. The neighbors had no other concerns with the proposal according to Mr. Dick.

Motion and Vote: Mr. Reeder made a motion that based on review of the proposal, this is not a significant change in the use/intensity of the property and a public hearing will not be required. The motion also gives staff the authority to approve the site plan pending all agency approvals. The motion was seconded by Mr. Weddle and unanimously approved.

Update of Staff Approvals

Mr. Lung reported the following for the month of June: Land Development/Permit review – 33 entrance permits; 1 floodplain permits; 20 grading permits; 1 utility permits; Land Development Plan Review – 1 Forest State Delineation; 2 simplified subdivision plats; 1 subdivision replat; 1 final subdivision plat for an additional section to Elmwood Farm; 7 site plans including Hopewell Station Apartment expansion, Merkle Response Parking Area Addition, Brooks House, Long Meadow Volunteer Fire Company building expansion, Falcon Air Services hangar at Hagerstown Regional Airport, Patriot Federal Credit Union along Robinwood Drive, and A C & T (additional parking area); Engineering review – 3 site specific grading plans; 3 standard grading plans, 1 standard storm water management plan, and 1 storm water concept plan; Land Development approved plans – 2 Forest Stand Delineations, 2 simplified subdivision plats, 1 Forest Conservation Plan, 1 minor subdivision replat, 2 minor subdivision plats, preliminary plat/site plan for Rosewood, Section II-B, Lots 71 thru 105, 2 site plans including NTB Tire Center and Daley Drive Auto Sales, 2 site plan red-line revisions including the Mennonite Home and 2012 Western Maryland LLC warehouse.

Demolition Permit #2017-02234

Mr. Goodrich presented a request for review and recommendation on Demolition Permit #2017-02234 for property located at 20463 Beaver Creek Road. The 2-story stone house is listed in the Washington

County Historical Site Inventory, #WA-II-088. Mr. Goodrich briefly reviewed the procedures followed for demolition permit review on properties listed in the County's Inventory and the materials included in the agenda packets. The Historic District Commission has reviewed this application and is opposed to the demolition. The HDC provided alternatives to the applicant in lieu of demolition.

Discussion and comments: Mrs. Janet Stiles Fulton gave a brief history of the property, which is located in a floodplain. She noted that the house has been rented for several years. Mrs. Fulton briefly described the condition of the house and repairs that would need to be made. She has spoken to several potential purchasers for the property; however, none want to restore or rehabilitate the house. Mrs. Fulton explained that she has obtained an estimate for a basic renovation of the house, which would not be financially possible or feasible.

There was a brief discussion regarding the challenges of restoring the house, selling materials from the house for re-use and the cost of flood insurance.

Motion and Vote: Mr. Reeder made a motion to recommend that the Planning Commission is not opposed to the demolition of the house located at 20463 Beaver Creek Road. The motion was seconded by Mr. Kline and unanimously approved with Mr. Weddle abstaining from the vote.

Water & Sewer Plan Amendment (WS-17-001)

Ms. Baker discussed a proposed Water and Sewer Plan Amendment application for Mr. Clarence Horst located along Garden View Road. She explained that the Washington County Health Department has instituted new rules regarding well testing in specific areas throughout the County, where contamination has been discovered in the aquifer, which is caused by groundwater under the direct influence of surface water. Ms. Baker further explained that three tests for wells have been performed on the property; and, the Health Department is unable to issue a permit for these wells because conventional systems will not adequately deal with the contaminants. There is a water line owned by the City of Hagerstown that runs down Garden View Road and Mr. Horst has approached the City regarding hook-up to this line. However, the property in question is outside the City's Medium Range Growth Area as well as the County's Urban Growth Area boundaries; therefore, he cannot obtain water from the City of Hagerstown's line. Ms. Baker explained that the City does have an exemption policy, which Mr. Horst is utilizing. Water lines have already been run to both the existing house and the proposed house. In order to help Mr. Horst get water to his property as quickly as possible, the Planning Commission will hold a public information meeting for this request at its August 7th meeting. We anticipate the Planning Commission making its recommendation immediately following the public information meeting that evening in order to move the request to the Board of County Commissioners as quickly as possible for final approval.

UPCOMING MEETINGS

1. Monday, August 7, 2017, 7:00 p.m., Washington County Planning Commission public information and regular meeting, Washington County Administration Building, 100 W. Washington Street, Room #2000, Hagerstown, Maryland

ADJOURNMENT

Mr. Kline made a motion to adjourn meeting at 8:30 p.m. The motion was seconded by Mr. Weddle and so ordered by the Chairman.

Respectfully submitted,

Clint Wiley, Vice-Chairman



DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMORANDUM

TO:	Washington County Planning Commission	
FROM:	Cody Shaw, Chief of Plan Review	
DATE:	July 25, 2017	
SUBJECT:	Preliminary Consultation for the Villas at Gateway (PC-17-001)

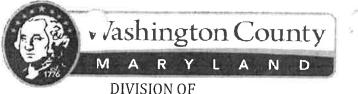
A Preliminary Consultation took place on March 2, 2017 for the Villas at Gateway on a parcel along the north side of Rench Road. The property is zoned RU – Residential Urban.

The applicant is proposing a 24 lot residential subdivision with semi-detached units on the site. The site is currently a vacant 5.18 acre parcel, and the applicant is looking to develop the site.

The Preliminary Consultation was routed to Land Use Planning, Addressing, City Water, Engineering, Health Department, Soil Conservation, Water Quality, Forest Conservation, Board of Education, and Maryland State Highway Administration for commenting.

A summary of the Preliminary Consultation and comments from each agency has been provided, along with a copy of the plan.

For a Preliminary Consultation, staff is not seeking a motion for approval. Staff is requesting the Planning Commission's input and comments on the plan, so that the applicant can incorporate them into the eventual site plan.



ENGINEERING & CONSTRUCTION MANAGEMENT PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

PRELIMINARY CONSULTATION DISTRIBUTION

TO: Washington County Health Dept. Washington County PR Engineering Washington County DEM-Engineering Services Washington County Forest Conservation Washington County Soil Conservation District Washington County Board of Education City of Hagerstown Utilities Maryland State Highway Administration Washington County Emergency Services Potomac Edison Verizon Washington County Grid Technician Washington County Sheriff's Dept. Funkstown Fire Department

FROM: Cody Shaw

DATE: March 2, 2017

RE: Preliminary Consultation PC-17-001 – The Villas at Gateway

Please find attached the Preliminary Consultation for the above referenced project.

CLS/msg

Attachment

Cc: Tim Lung, Deputy Director, ECM -Plan Review Fox & Associates, Inc. Arnett's Inc, Owner/Developer

80 West Baltimore Street | Hagerstown, MD 21740 | P: 240.313.2460 | | 240.313.2461 | Hearing Impaired: 7-1-1

WWW.WASHCO-MD.NET

PRELIMINARY CONSULTATION PC-17-001 – THE VILLAS AT GATEWAY

A preliminary consultation was held on Thursday, March 2, 2017 at 1:30 p.m. in the offices of the Washington County Division of Engineering & Construction Management (ECM) -Department of Plan Review, 80 West Baltimore Street, Hagerstown, Maryland. A concept plan was presented for a proposed 5.18 acre residential development located on the north side of Rench Road. The property is zoned RU (Residential Urban).

Present and participating in the consultation were: Tim Lung, Deputy Director Plan Review & Zoning Administrator, Cody Shaw, Senior Planner, Gail Abbott and Rebecca Calimer, Plan Reviewers, Mist Grimmer, Sr. Office Associate, Washington County Division of ECM-Plan Review Department; Mark Bradshaw, Washington County DEM – Engineering; Dee Price and Gary Johnson, Washington County Soil Conservation District; Kim Ridenour & Ed Norman City of Hagerstown Utilities; Mark McKenzie, Maryland State Highway Administration; Gordon Poffenberger, Fox & Associates, Inc., Consultant; Manny & Sassan Shaool, Owner/ Developer.

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT

Ms. Dee Price was present and provided the following comments. Written comments were also provided, a copy of which is attached to this summary. Ms. Price stated that approval was denied. Further comments were as follows:

- 1. Provide all required documentation for a Sensitive Area Review as noted below:
 - On the Wal-Mart plans, these lands show an intermittent "stream" presence flowing toward or away from the proposed Arnett Drive; please provide documentation.
 - The topography for this plan shows a potential "stream' and/or drainage way beginning at Lot 7/8 and flowing toward Washco Arnett Farm LLC lands; please provide documentation.

WASHINGTON COUNTY DEPT. OF ENGINEERING MANAGEMENT

Mr. Mark Bradshaw was present and provided the following comments. Written comments were also provided, a copy of which is attached to this summary. Mr. Bradshaw's comments were as follows:

- 1. The following lots don't have a sewer lateral on them:
 - a. Lot #24
 - b. Lot #20
 - c. Lot #16
 - d. Lot #7
- 2. There is an existing sewer and water easement along the rear property line that needs to be labeled.
- 3. Label the existing water and sewer easement coming off the cul-de-sac.
- 4. The sewer lateral in the parking lot will need to be unearthed and capped.
- 5. The force main was labeled as DIP, it is PVC.
- 6. The gravity is listed as 'under construction'. Construction has not begun and to my knowledge, an agreement has not been executed for installation.

Mr. Shaool responded that the architect has agreed to alter the location of the sewer lines to line up properly; the consultant will revise the drawings accordingly.

94 A.

WASHINGTON COUNTY HEALTH DEPARTMENT

This plan was sent to the Washington County Health Dept. for review; however, they have no comments at this time.

CITY OF HAGERSTOWN UTILITIES

Mr. Ed Norman and Ms. Kim Ridenour were present and provided the following comments. Mr. Norman stated that the placement of the water lines on the redline construction drawings was previously approved by the City of Hagerstown Utility Department. However, due to the site's location outside of the Medium Range Growth Area, water service approval will be required. This approval can be accomplished via a Pre-Annexation Agreement. Mr. Shaool stated that it was imperative to begin the process for Pre-Annexation approval immediately. Ms. Ridenour stated that the water meters are required to be located on the property line; the developer agreed to move them from the current location to comply with the requirements.

WASHINGTON CO. PLAN REVIEW DEPT. - ENGINEERING REVIEW

Ms. Gail Abbott was present and provided the following comments. Written comments were also provided, a copy of which is attached to this summary. Ms. Abbott wrote, "I have reviewed the above-referenced Preliminary Concept plan and am providing the following comments for consideration":

Traffic Issues, Circulation, Driveways, etc.

- 1. Provide an estimate of the anticipated trip generation for the project and whether a TIS is anticipated.
- 2. A closed section roadway is preferred for this development.
- 3. Sidewalks and a connection to the Arnett Drive sidewalks are preferred.
- 4. How will the driveway for Lot 26 work?
- 5. The construction of the new road will have to comply with the County's S-3 Policy.

Storm Water Management

- 6. No Storm water management (SWM) is shown or considered on the Concept Plan. Consideration should be given to Erosion Sediment Design (ESD).
- 7. Are there any sensitive areas on the site?

WASHINGTON COUNTY GRID TECHNICIAN

Mr. John Baker provided the following written comments:

- The proposed road needs to be named.
- Villas at Gateway could confuse people. There are several other Gateway uses throughout the county. Additionally, Kensington Villas exists in Hagerstown.

WASHINGTON COUNTY BOARD OF EDUCATION

A portion of the written comments provided by Mr. Chad Chriswell are represented here. A complete copy of his comments is attached to this summary. Mr. Chriswell wrote:

"Based on the above Pupil Generation Rates, the proposed development will generate approximately 11 elementary school, 5 middle school, 5 high school students. Based on current enrollments, this development would adversely impact the ability of South Hagerstown High School to accommodate the increased number of students. Based on the number of other proposed developments that have already been tested against the APFO, and are within the aforementioned attendance zones, WCPS would anticipate that this development could adversely impact all three (3) facilities."

Physical Design Comments:

"Due to the conceptual nature of the Sketch Plan, the Department of Facilities Planning and Development and the Department of Transportation have no comment on the layout of the subdivision or the proposed dwelling locations at this point in time. Based on the existing development's overall layout and walking distances, the developer and potential residents of this subdivision should be advised that WCPS would likely provide bus service pickup for residents of this development on the main entrance lane or at existing bus stop locations."

MARYLAND STATE HIGWAY ADMINISTRATION

Mr. Mark McKenzie was present and provided the following comments. Mr. McKenzie stated that the State Highway Administration (SHA) would withhold comment until the Washington County Plan Review –Engineering Dept. determined the trip generation rate for this project.

WASHINGTON COUNTY SHERIFF'S DEPARTMENT

The following written comments were provided by Sheriff Doug Mullendore, a copy of which is attached to this summary.

"I have reviewed the preliminary plans for the Villas at Gateway, PC-17-001, and I have a few comments. It appears from the site location that this development will actually be on both sides of Arnett Drive at Sharpsburg Pike. This intersection is going to be a busy intersection given the retail project associated with Wal-Mart and future development. While this is not a huge number of vehicles coming out of the development, based on the current proposal, this could be a potential issue for the intersection because of the cue of traffic at the signal.

The preliminary drawing does not indicate how far back from the intersection the entrance to this development would be. I am unable to be at the March 2nd DAC Meeting to get additional information and give comments. I have a lot of concerns about the interference with traffic in the cue at the intersection of Arnett Drive and Sharpsburg Pike. I also believe this development should prompt further action to construct Arnett Drive over to Rench Road at Sharpsburg Pike."

Mr. Cody Shaw was present and provided the following comment. Mr. Shaw inquired as to how Forest Conservation (FC) was to be addressed. Mr. Poffenberger stated that a Forest Stand Delineation (FSD) was previously submitted showing that there is no forest onsite. He further stated that it had not been decided how FC was going to be addressed. Mr. Lung mentioned using the Express Method if the site qualified. He explained that Payment-in-lieu could be utilized for any site whose mitigation requirement is less than 2 acres where there are no priority areas involved. Mr. Poffenberger verified that this would not require a Forest Conservation Plan.

Mr. Shaw pointing out that the site appeared to be designed for semi-detached dwellings; however the site data lists them as duplexes. Mr. Poffenberger indicated that semi-detached and duplexes were the same. Mr. Lung responded that the Zoning Ordinance defines a duplex as a two family dwelling on a single lot. The concept plan shows each unit on its own lot separated by a party wall which makes it a semi-detached dwelling. Therefore, the minimum lot area requirement is 5,000 square feet rather than the 10,000 square feet shown on the current concept plan. Mr. Shaw further stated that offsite additional parking is not a requirement for this site provided that each dwelling has two off street parking spaces. Prior to final approval of the Site Plan any HOA documents will be required.

The minutes will be prepared for a future Planning Commission agenda.

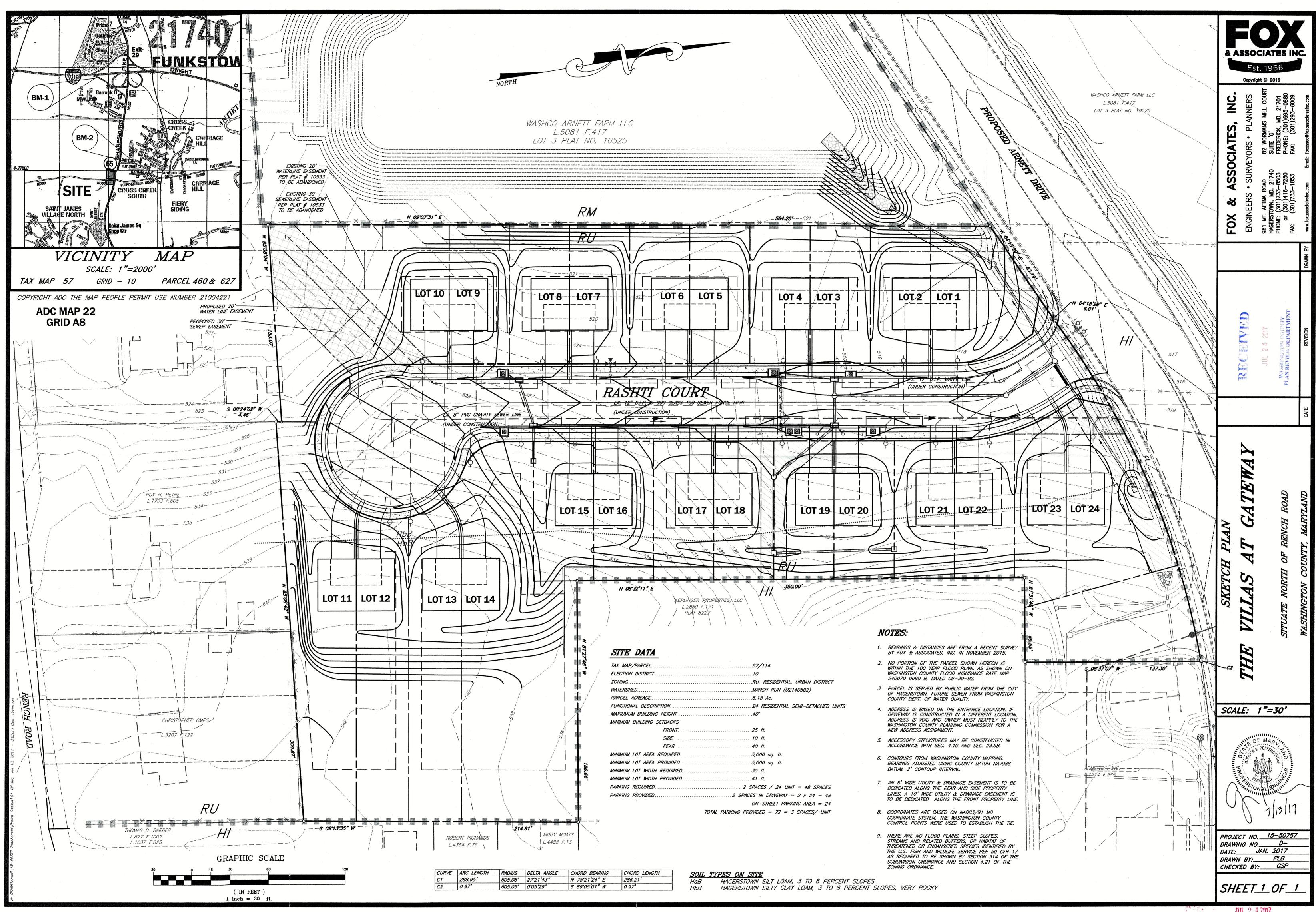
CLOSING COMMENTS

There being no further discussion, the consultation concluded. All agencies will receive a written summary of the meeting. If there are any discrepancies in the report the Plan Review Staff should be contacted. The written summary will be submitted to the Planning Commission and their comments shall also be incorporated within and be made a part of the record of comments and issues, which need to be addressed by the developer as he proceeds through the approval process.

Respectfully submitted,

Cody Shaw Senior Planner

CLS/msg Attachments



JUL 2 4 2017



WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT | PLAN REVIEW 80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

	BASE INFORMATION
SITE NAME	Meritus Health North End Clinic
NUMBER	SP-17-010
OWNER:	GHATTAS ENTERPRISES MAUGANS AVE LMTD PTNRSHP
LOCATION	West side of Crayton Blvd
DESCRIPTION	Site Plan for new health clinic.
ZONING:	Highway Interchange Airport Overlay
COMP PLAN LU	Commercial
PARCEL	13013802
PLANNING SECTOR	1
ELECTION DISTRICT:	13
ТҮРЕ:	
GROSS ACRES	6.0
DWELLING UNITS	0
TOTAL LOTS	1
DENSITY:	0 Units Per Acre
PLANNER	Lisa A Kelly
ENGINEER:	FREDERICK SEIBERT & ASSOCIATES
RECEIVED	No Date Available

SITE ENGINEERING

HYDRO	GRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION
FLOOD ZONE:	No
WETLANDS	No
WATERSHED	Antietam Creek
ENDANGERED SPECIES	None
STEEP SLOPES	No
STREAM BUFFER:	No
HISTORIC INVENTORY:	No Resources Present NOT ON NATIONAL REGISTER
EASEMENTS PRESENT	None



80 West Baltimore Street | Hagerstown, MD 21740-6003 | P· 240.313.2460 | F· 240.313.2461 | Hearing Impaired: 7-1-1

	SITE DESIGN		
Impervious Area Plan	Impervious Maximum Al	lowed	Open Space Area Planned
69.5			
Open Space Minimum Required	Residential Amenity Pl	ans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requi	rements	Landscaping Meets Requirements
	Yes	ements	Lanascaphig meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Ade	quate	Bus Stop is Within Walking Distance
Yes		·,	
Loading Area Meets Requirements			
			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelli	ing Unit	
261			
Parking Spaces - Minimum Required	Recreational Parking Pro	vided	
259	No		
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Total Pre

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(cfs)

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59.86

70.77

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Pre

2 (cfs)

1.43

36.02

42.42

80.43

Development

5,746

2,142

9,506

Post

Development

to Pond (cfs)

58.04

176.68

193.50

285.58

STORMWATER QUANTITY SUMMARY REGIONAL POND

Not Recommended

Not Recommended

Not Recommended

Pond

Outflow

(cfs)

2.46

55.72

67.86

149.66

0.57 Acres

1.14 Acres

1.36 Acres

Pond Storage

(Ac.-ft.)

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MBR-1

BR2

BR3

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EVENT

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10

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Micro bioretention

Bioretention

Bioretention

FILE NAME:

Site Plan for tus Health North End Practice

Situate along the West side of Crayton Blvd.

OWNER/DEVELOPER: Ghattas Enterprises Maugans Avenue Limited Partnership 13621 Crayton Blvd. Hagerstown, MD 21742 301-797-2488



SEIBERT & ASSOCIATES, INC. ©2017

CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225 (301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

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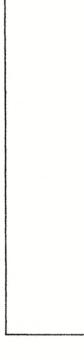
660.84

SWM NOTE: In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.



- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans."
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
 This development plan must comply with the current Washington County Stormwater Management, Grading, Soil
- This development plan must comply with the current Washington County Stormwater Management, Grading, So Erosion and Sediment Control. Ordinance.
 All grading for this project shall be the full responsibility of the property owner.
- All grading for this project shall be the full responsibility of the property owner.
 No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

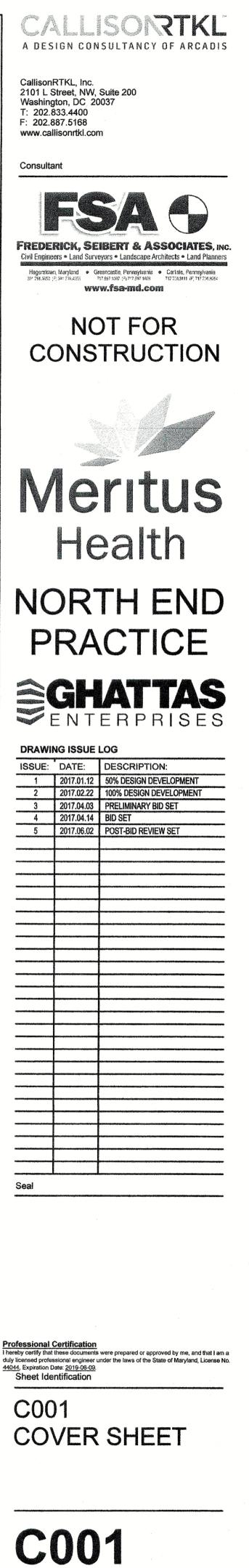




Storm water runoff from this site, for t to an existing stormwater quantity por Park as part of site plan SP-07-058. 6.00 acres and 4.27 acres of impervio MEP must be provided for the propose WQv must be provided on site for the required 15,051 c.f. of WQv. Micro bi has a filter area of 3,380 s.f. MBR-1 acres of impervious area, has a filter site. BR3 treats 1.07 acres of imperv stormwater limit of disturbance is 6.0

There are no natural sensitive areas stormwater management requirement

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C101 C102 C103	SHEET 5 SHEET 5 SHEET 6	SITE PLAN GRADING PLAN DETAILED GRADING PLAN	
C104 C105 C106	SHEET 7 SHEET 8 SHEET 9	SEDIMENT EROSION CONTROL PLAN STORMWATER MANAGEMENT PLAN UTILITY PLAN	
C107 C201	SHEET 10 SHEET 11	ENTRANCE PLAN PROFILES	
C202 C501 C502	SHEET 12 SHEET 13 SHEET 14	PROFILES SITE DETAILS UTILITY DETAILS	
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SP-17-010

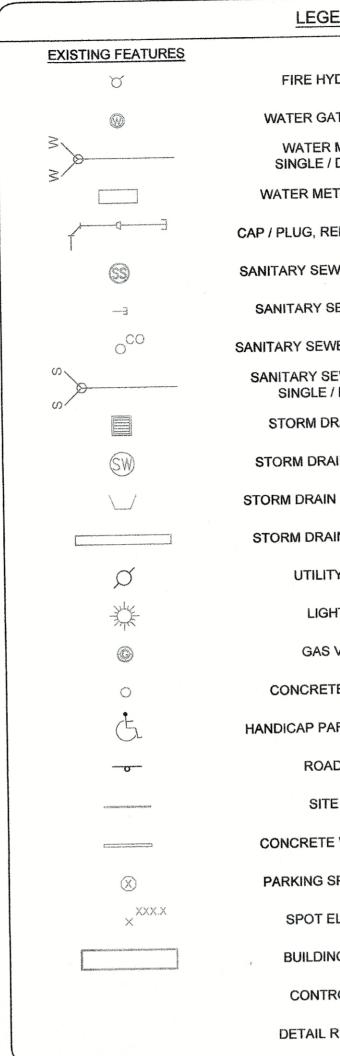
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	the annual demonstrate adjoining public roads utilities etc.		EVIOTINO	FFATURES		PROPOSED FEATU	IRES
	a straight and an investigation has been perioritied u	V FIEUGIION, OCIDOIL UNA / IODOVINITO /	EXISTING		SUBJECT BOUNDARY		
	 5.2 No subsurface investigation has been performed b or man-made existing features. Refer to the Geote 5.3 FSA, Inc. assumes no liability for the location of an information. Contractor to field verify location and 	chnical Report for this site prepared by . hy above ground and below ground utilities. Existing utilities are shown from the best available depth of all above and below ground utilities prior to construction.					
	3.4 The contractor shall verify the existence and local construction. It is the responsibility of the contract utility" (1-800-257-7777) and all applicable utility of	on of air the duities, shown herein a hazard exists or damage will occur to the utilities. It is required that "miss ors to assure themselves that no hazard exists or damage will occur to the utilities. It is required that "miss ompanies be contacted at least one week prior to commencement of work.	ಕುನ್ನಡವರ್ಷ ಕುಟುಂಬಳವನ್ನು ಕ್ರಾಲಂತರ್ಗವನ್ನು	concurrences executioneses economies	CONTOUR (INDEX)		
	G.5 The contractor shall take all necessary precaution contractor's operation shall be repaired immediate	ly at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.		and a second second second second	CONTOUR (INTERMEDIATE)		
	G.7 The Contractor shall notify the following unities of	(800) 257-7777		$\sim\sim\sim\sim$	TREELINE	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	~~~
Description of advancementDescription0The construction of advancement0The cons	Columbia Gas Marviand Department of the Environment	(888) 460-4332 (301) 665-2850			EDGE OF WATER		
	Washington County Soil Conservation Dis Washington County Division of Public Wo	(240) 313-2400	> -		FLOW LINE	- \$ \$	
	G.8 The contractor shall be responsible for coordination	on of his construction with the construction of other contractors.		£	CENTERLINE		
	G.10 The contractor shall be responsible for notifying the plans, actual field conditions and/or in the relation of the contractor shall protect all utilities and culvert	pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking	analistas saarahaalaa aajaaminda	an anaganamata surahistaranin asmanisman	EDGE OF PAVEMENT		
	G.12 Job site safety is the sole responsibility of the con	tractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench			EDGE OF GRAVEL		
	earthwork quantities that may be shown hereon a	The presidential of the	and the second states and the	dansk bland baget singt west yetse	EDGE OF CONCRETE		
	 G.14 The contractor shall be aware that in the event of govern. G.15 Frosion & Sediment control measures shall be in 	istalled per erosion and sediment control plans, details and specifications.		anders society society stream society stream	CONCRETE CURB		
A Def Def Control of Control	G.16 Fills shall be placed in accordance with the geole G.17 The entire area included within the proposed limit	is of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable,		<u> </u>	GUARD RAIL		
Building and the second and the	G.18 It shall be distinctly understood that failure to me contractor of his responsibility to complete such w	vork. upplemental field run surveys during June 2016. Datum is NAD 83 (2007), NAVD 88 based on GPS			FENCE LINE	XXXX	x
1 Automatical and automatin automatitantical and automatical and automatical and	G.20 Stormwater management is being provided by 1	Micro-bioretention area and 2 Bioretention BMP's. texported from this site shall be imported/exported from a site with an approved and up-to-date erosion		E	ELECTRIC LINE (UNDERGROUND	D) ——— E ——— E	≣
	G.22 Applicant to provide as built mylars at the comple	tion of the project.	-		ELECTRIC LINE (OVERHEAD)	W	
1. ************************	G 24 A complete set of approved plans and a copy of	the grading permit must be on one and			GAS LINE	GAS (GAS
SUMPLY TABLES AND THE TRANSPORT OF TABLES AND THE TRANSPORT THE TRANSPORT AND THE T	under a utility permit or entrance permit.	t utility work located within the County right-of-way.	regional visional datative durates evenue	u onjuma manana ancieny kanina ukawa diatana	SANITARY SEWER	s/s s	s/s ——
	G.27 A Building Permit will be required for any retaining				SANITARY SEWER FORCE MAIN	FM	FM
Import Control ALL, MERT THE SUBJECT AND LOCATION ALL THE ULTIPE CONTROL OF MERCEN AND ADDRESS THAT				ი ძანალი ფირული დირული ანიტით რემი ფირული გერფელი ფილიდი კრიტით ფილი ფირული გერველი ფილიდი კრიტელი ფილი			
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LEXEMPT Proposed # 417 Ac. (86.5%) IMPERVIOUS % F173 sel ± PARKING REQUIRED Space Required = 259 PARKING REQUIRED Space Required = 259 PARKING RECOVIDED CAR PARKING CAR PARKING PROVIDED 231 TOTAL PARKING SPACES 231 TOTAL PARKING RECLECTOR PROVIDED 30 TOTAL PARKING AREA 0.989 ball ± (10.4%) WATER ASEMER USAGE 231 TOTAL PARKING AREA 0.989 ball ± (10.4%) WATER ASEMER USAGE 231 WATER ASEMER USAGE 236 TOTAL PARKING AREA 0.989 ball ± (10.4%) WATER ASEMER USAGE 1.400 GPD WATER ASEMER USAGE 1.400 GPD WATER ASEMER USAGE 1.500 SEP ALLOCATION 1.400 GPD SIGUAR USAGENER/USAGENERS AS SHOWN ON THIS PLAN DUMPSTER (PRIVATE HAULER) DUMPSTER (PRIVATE HAULER MODES ASSIGNMENT 1000 SEP ASSINGTON AD 0.222001 COUNTY PLAN INVERT HAULER FOREST CONSERVATION FOREST CONSERVATION POR THE THE H41 NOTHER USARES PARK HAS BEEN FOREST CONSERVATION FOREST CONSERVATION POR THE THE H41 NOTHER USARES PARK HAS BEEN FOREST CONSERVATION FOREST CONSER	APPLICABLE UTILITY COMPANIES BE CONT 2. JOB SAFETY IS THE SOLE RESPONSIBILITY 3. THE CONTRACTOR SHALL BE RESPONSIBIL RELATIONSHIP OF FINISHED GRADES TO E 4. THE CONTRACTOR SHALL NOTE THAT IN C PLANS, THE FIGURED DIMENSIONS SHALL C 5. THE SITE SHALL COMPLY WITH THE MARYL	E FOR NOTIFYING THE EIGNNING WORK. ASE OF DISCREPANCY BEGINNING WORK. ASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THE SOVERN. AND ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT. E SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, NS, AND CHAPTER 16 OF NFPA 1, UNIFORMED FIRE CODE. IS ARE REQUIRED TO PERFORM BLASTING OPERATIONS WITHIN THE CITY OF HAGERSTOWN. SITE DATA \triangle 0024-0016-0949 13 HI - HIGWAY INTERCHANGE FRONT - 40' SIDE - 10' REAR - 10' 30' MEDICAL OFFICES NON-RESIDENTIAL 56 76M - 10PM DAILY	ADS = ASTM = AVWVA = BLDG = BOT = CIP = CIP = CMP = CONC = DIA = EGL = EGL = EQL =	HIGHWAY AND TH ADVANCED DRAI AMERICAN SOCIE AMERICAN SOCIE BUILDING BOTTOM CAST IRON PIPE CENTERLINE CORRUGATED M SANITARY SEWE CONCRETE DRAINAGE AREA DIAMETER EXISTING GRADE EXISTING GRADE FIRE HYDRANT GATE VALVE	ETAL PIPE ER CLEAN-OUT	N.T.S. = NC O.A.E. = OF O.C. = ON PC = PC PCC = PC PGL = PF PRC = PC PVC = PC PVC = PC PVT = PC PVT = PC R/W = RI SAN = S/ SCE = ST SDR = ST SDMH = ST	R APPROVED EQUAL N CENTER DINT OF CURVE DINT OF COMPOUND CURVE ROPOSED GRADE LINE DINT OF REVERSE CURVE DINT OF TANGENT DINT OF VERTICAL CURVE DINT OF VERTICAL INTERSEC DINT OF VERTICAL INTERSEC DINT OF VERTICAL TANGENT IGHT-OF-WAY ANITARY TABILIZED CONSTRUCTION EN TANDARD DIMENSION RATIO TORM DRAIN MANHOLE QUARE FEET
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Floor Area Spaces Required = 259 - 231 - 30 - 261</td><td>ADS = ASTM = AVWVA = BLDG = BOT = CIP = CIP = CMP = CONC = DIA = DIA = EGL = EGL = GV = HDPE = INV = MAX = MIN = MJ =</td><td>HIGHWAY AND TE ADVANCED DRAI AMERICAN SOCIE AMERICAN SOCIE BUILDING BOTTOM CAST IRON PIPE CENTERLINE CORRUGATED M SANITARY SEWE CONCRETE DRAINAGE AREA DIAMETER EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING FIRE HYDRANT GATE VALVE HYDRAULIC GRA HIGH DENSITY P INVERT LINEAR FEET MAXIMUM MAIL BOX MINIMUM MECHANICAL JC NUMBER</td><td>CIATION OF STATE RANSPORTATION OFFICIALS NAGE SYSTEM ETY FOR TESTING & MATERIAL ER WORKS ASSOCIATION</td><td>N.T.S. = NC O.A.E. = OF O.C. = ON PC = PC PCC = PC PGL = PF PRC = PC PVC = PC PVC = PC PVT = PC PVT = PC R/W = RI SAN = S/ SCE = ST SDR = ST SDR = ST SDR = ST STD = S STA. = S STD = S ST = SC STA. = T TEMP = T TG = T TYP = T VIF = V</td><td>R APPROVED EQUAL N CENTER DINT OF CURVE DINT OF COMPOUND CURVE ROPOSED GRADE LINE DINT OF REVERSE CURVE DINT OF REVERSE CURVE DINT OF TANGENT DINT OF VERTICAL CURVE DINT OF VERTICAL INTERSEC DINT OF VERTICAL INTERSEC DINT OF VERTICAL TANGENT IGHT-OF-WAY ANITARY TABILIZED CONSTRUCTION EN TANDARD DIMENSION RATIO TORM DRAIN MANHOLE QUARE FEET ANITARY SEWER MANHOLE TATION TANDARD QUARE YARDS YPE AS NOTED EMPORARY OP OF GRATE YPICAL</td></td<>	APPLICABLE UTILITY COMPANIES BE CONT. 2. 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SOLID WILL INTERNAL COLLECTION INTERNAL COLLECTION & STORAGE WITH PRIVATE HADLER RECYCLABLE ISTORAGE AND COLLECTION NO SIGNAGE IS PROPOSED SIGNAGE 13620 CRAYTON BOULEVARD HAGERSTOWN, MD 21742 FOREST STAND DELINEATION FS-98-023 FOREST CONSERVATION FOREST CONSERVATION FOR THE THE I-81 NORTH BUSINESS PARK HAS BEEN FOREST CONSERVATION FOREST CONSERVATION ON 01/22/2001 COUNTY PLANNING PROVIDED AND APPROVED BY THE WASHINGTON COUNTY PLANNING PROVIDED AND ON 01/22/2001 COUNTY PLAN NUMBER FS-98-023 AND RECORDED AT PLAT FOLID 6507. CONOCCOCHEAGUE CREEK 8 DIGIT WATERSHED # 02-14-05-04 FEMA PANEL NUMBER 240070 0080A SENSITIVE AREA THRE ARE NO FLOODPLAINS, STREAMS AND OTHER RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH	APPLICABLE UTILITY COMPANIES BE CONT. 2. JOB SAFETY IS THE SOLE RESPONSIBILITY 3. THE CONTRACTOR SHALL BE RESPONSIBILITY 4. THE CONTRACTOR SHALL NOTE THAT IN C. PLANS, THE FIGURED DIMENSIONS SHALL O 5. THE SITE SHALL COMPLY WITH THE MARYL 6. THE SITE SHALL COMPLY WITH THE MARYL 7. CONSTRUCTION OCCURRING ON THIS SITE ALTERATION, AND DEMOLITION OPERATIO 2. NO OPEN BURNING IS PERMITTED. PERMIT 7. AX MAP ELECTION DISTRICT ZONING SETBACKS PROPOSED BUILDING HEIGHT FUNCTIONAL DESCRIPTION FUNCTIONAL DESCRIPTION FUNCTIONAL DESCRIPTION FUNCTIONAL EXCISE CLASSIFICATION NUMBER OF EMPLOYEES HOURS OF OPERATION FREIGHT / DELIVERY LEASE AREA IMPERVIOUS % TOTAL BUILDING AREA PARKING REQUIRED PARKING REQUIRED PARKING REQUIRED VATER & SEWER USAGE WATER PROVIDED BY CITY OF HAGERSTOM (CEMAGE TREAT PROVIDED BY CITY OF HAGERSTOM)	FOR MOTIFING THE ENGINEER OF AND FOR AND FOR AND FOR THE SCALED AND FIGURED DIMENSIONS SHOWN ON THE SOVERN. AND ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT. E SHALL COMPLY WITH NEPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, NS, AND CHAPTER 10 6 NEPA 1, UNFORMED FIRE CODE. IS ARE REQUIRED TO PERFORM BLASTING OPERATIONS WITHIN THE CITY OF HAGERSTOWN. SITE DATA ▲ 0024-0016-0949 13 HI - HIGWAY INTERCHANGE FRONT - 40° SIDE - 10° 30° MEDICAL OFFICES NON-RESIDENTIAL 86 6 ACH Proposed = 4,17 AC. (69.5%) 51,773 sqft ± 1 Space(200 S.F. Floor Area Spaces Required = 259 231 231 231 230 231 231 231 231 231 231 231 231	ADS = ASTM = AVWVA = BLDG = BOT = CIP = CIP = CMP = CONC = DIA = DIA = EGL = EGL = GV = HDPE = INV = MAX = MIN = MJ =	HIGHWAY AND TE ADVANCED DRAI AMERICAN SOCIE AMERICAN SOCIE BUILDING BOTTOM CAST IRON PIPE CENTERLINE CORRUGATED M SANITARY SEWE CONCRETE DRAINAGE AREA DIAMETER EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING GRADI EXISTING FIRE HYDRANT GATE VALVE HYDRAULIC GRA HIGH DENSITY P INVERT LINEAR FEET MAXIMUM MAIL BOX MINIMUM MECHANICAL JC NUMBER	CIATION OF STATE RANSPORTATION OFFICIALS NAGE SYSTEM ETY FOR TESTING & MATERIAL ER WORKS ASSOCIATION	N.T.S. = NC O.A.E. = OF O.C. = ON PC = PC PCC = PC PGL = PF PRC = PC PVC = PC PVC = PC PVT = PC PVT = PC R/W = RI SAN = S/ SCE = ST SDR = ST SDR = ST SDR = ST STD = S STA. = S STD = S ST = SC STA. = T TEMP = T TG = T TYP = T VIF = V	R APPROVED EQUAL N CENTER DINT OF CURVE DINT OF COMPOUND CURVE ROPOSED GRADE LINE DINT OF REVERSE CURVE DINT OF REVERSE CURVE DINT OF TANGENT DINT OF VERTICAL CURVE DINT OF VERTICAL INTERSEC DINT OF VERTICAL INTERSEC DINT OF VERTICAL TANGENT IGHT-OF-WAY ANITARY TABILIZED CONSTRUCTION EN TANDARD DIMENSION RATIO TORM DRAIN MANHOLE QUARE FEET ANITARY SEWER MANHOLE TATION TANDARD QUARE YARDS YPE AS NOTED EMPORARY OP OF GRATE YPICAL
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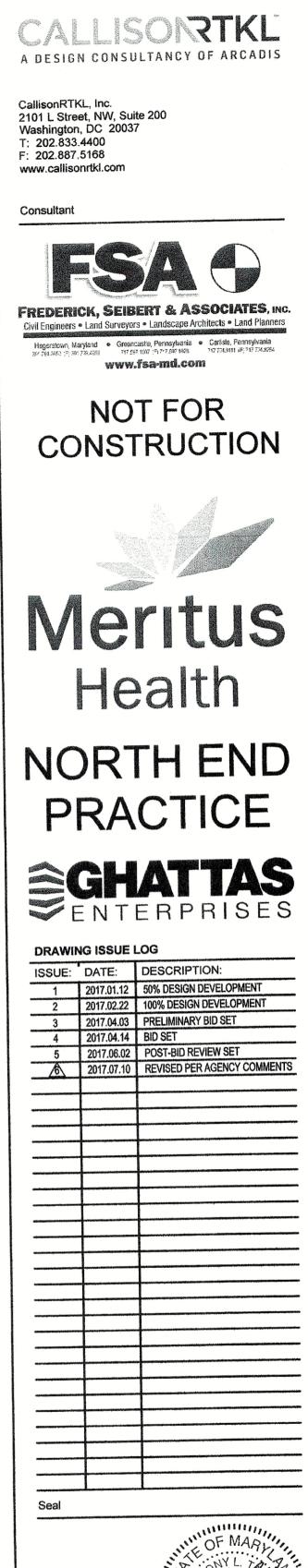
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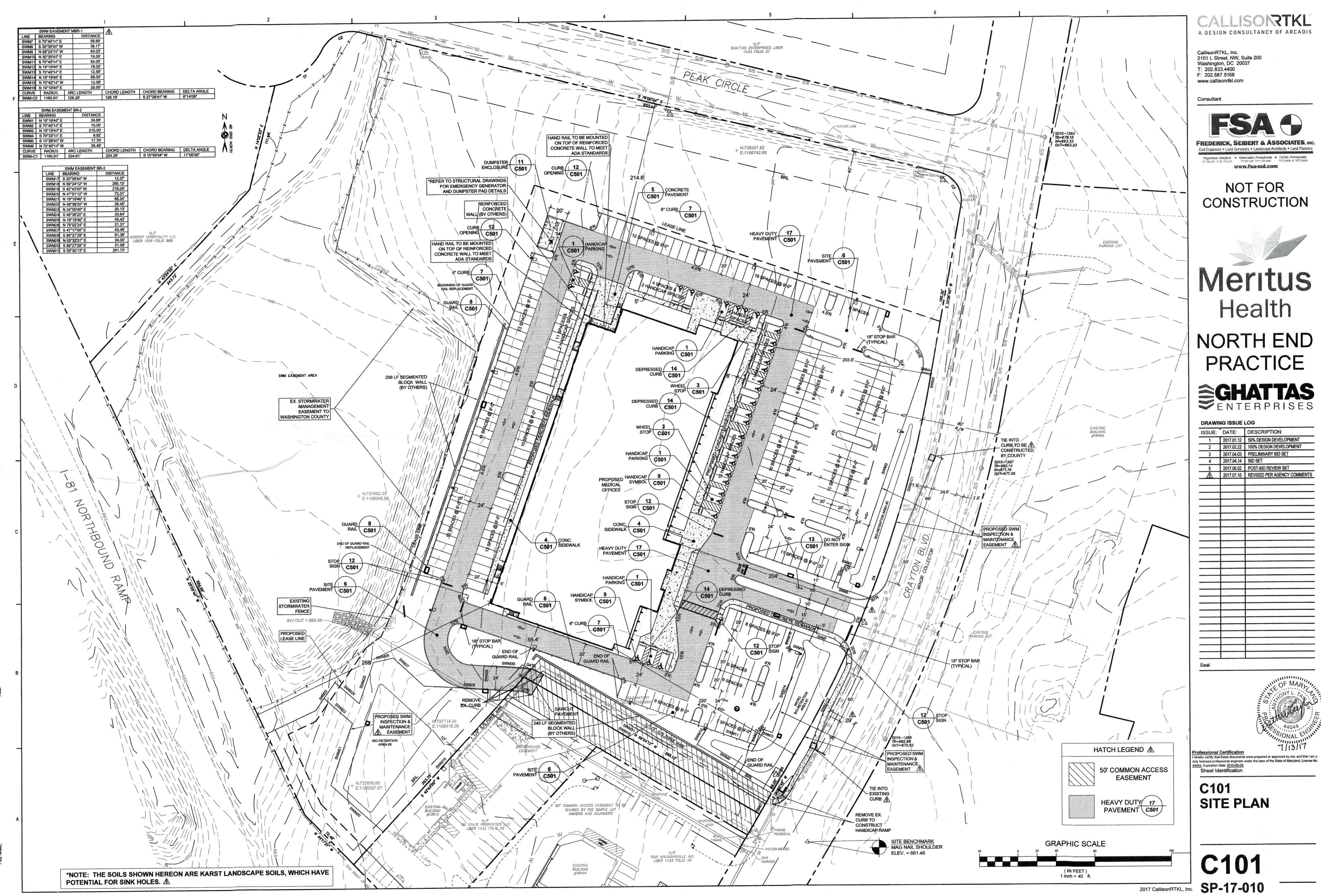


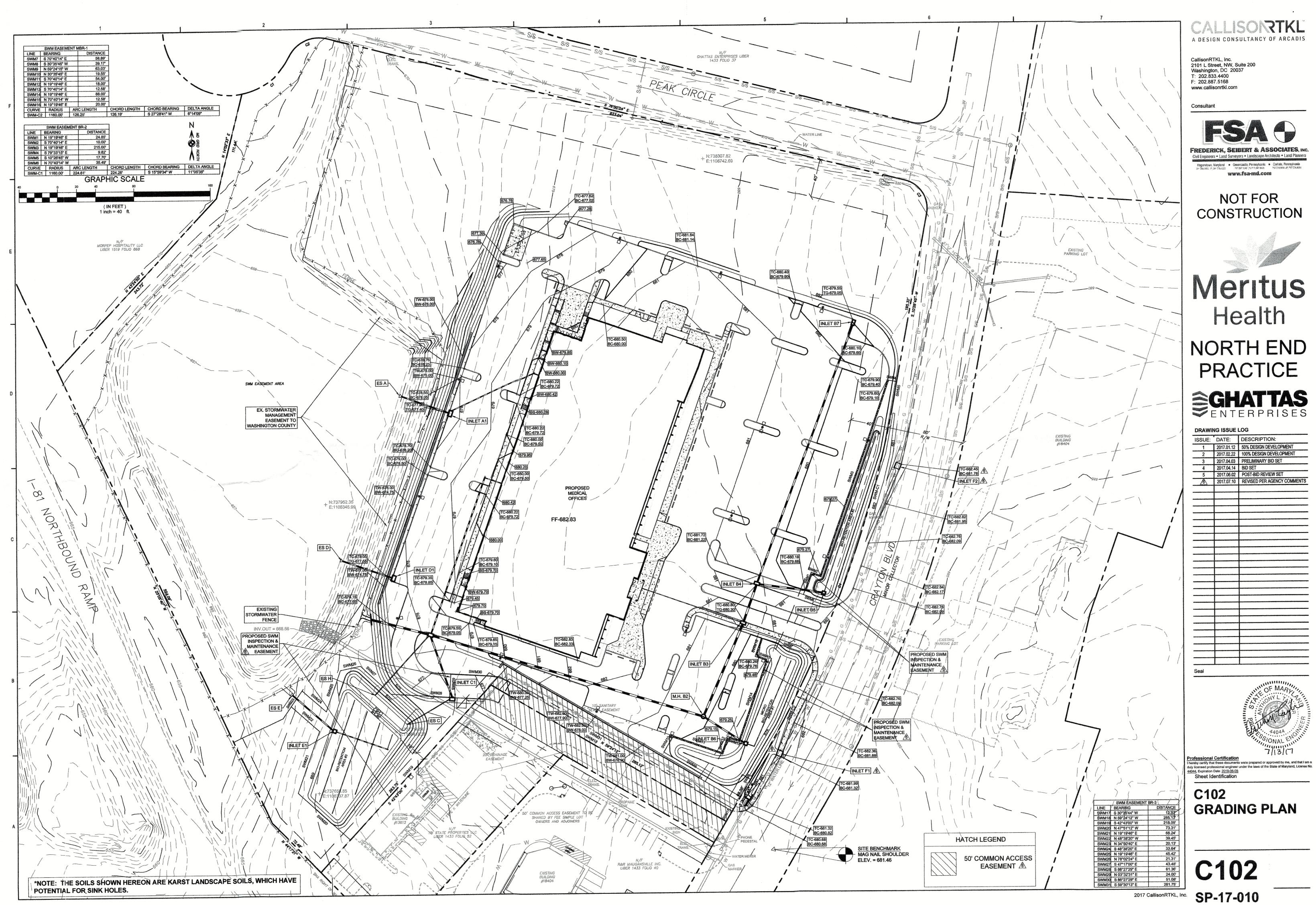
Professional Certification Thereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 44044, Expiration Date: 2019-06-09. Sheet Identification

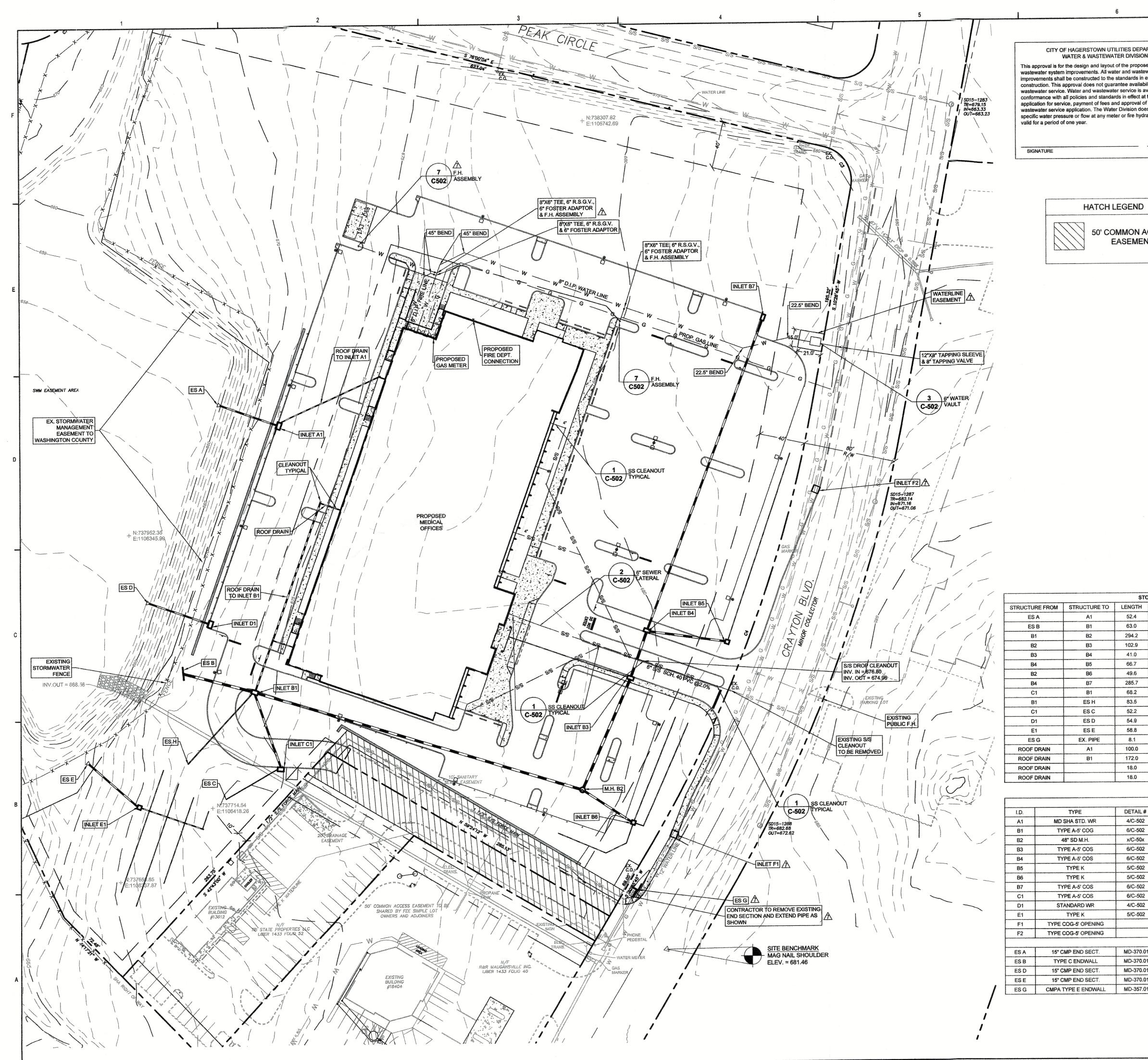
C002

C002 GENERAL NOTES

2017 CallisonRTKL, Inc. SP-17-010







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WATER ALLOCATION:

TOTAL ALLOCATION -

EXISTING WATER ALLOCATION - 0 GALLONS/DAY

PROPOSED WATER ALLOCATION - 1,400 GALLONS/DAY

7

1,400 GALLONS/DAY

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER & WASTEWATER DIVISIONS This approval is for the design and layout of the proposed water and wastewater system improvements. All water and wastewater system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water or wastewater service. Water and wastewater service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

DATE

50' COMMON ACCESS EASEMENT

	STO	RM DRAIN P	IPE SCHEDU			
0	LENGTH	SIZE	INV. IN	INV. OUT	TYPE	NOTES
	52.4	15"	661.18	659.08	HDPE N-12	TYPE C ENDWALL
	63.0	24"	670.32	670.00	HDPE N-12	STD, CMP END SECT.
	294.2	24"	673.04	671.54	HDPE N-12	
	102.9	24"	673.65	673.14	HDPE N-12	
	41.0	24"	673.96	673.75	HDPE N-12	
	66.7	18"	674.40	674.06	HDPE N-12	BIO 2
	49.6	18"	674.13	673.14	HDPE N-12	BIO 1
	285.7	18"	675.49	674.06	HDPE N-12	
·	68.2	18"	673.30	671.57	HDPE N-12	
	83.5	8"	669.64	668.00	SCH 40 PVC	BIO 3
	52.2	6"	672.80	668.00	HDPE N-12	BIO 3
	54.9	15"	659.28	657.08	HDPE N-12	STD. CMP END SECT.
	58.8	15"	664.10	663.00	HDPE N-12	BIO 4
	8.1	13"x17"	678.97	678.91	СМРА	
	100.0	10"	676.27'	673.26	SCH 40 PVC	
	172.0	15"	675.93	673.96	HDPE N-12	
	18.0	8"	676.03	674.78	SCH 40 PVC	
	18.0	10"	676.50	676.14	SCH 40 PVC	

	STRUCTL	IRE SCHED	ULE (INLET)	2		
DETAIL #	TOP ELEV.	INV. IN	INV. OUT	Northing	Easting	NOTES
4/C-502	677.40	673.26	661.18	738046.44	1106476.82	
6/C-502	678.71	671.57	670.32	737815.16	1106455.10	8" SPLITTER INV. OUT = 669.64
x/C-50x	680.11	673.14	673.04	737727.23	1106740.25	
6/C-502	680.80	673.75	673.65	737824.23	1106782.45	
6/C-502	680.80	674.06	673.96	737865.02	1106796.76	
5/C-502	678.77	674.50	674.40	737854.82	1106866.71	SLANTED TRASH RACK
5/C-502	678.50	674.25	674.13	737698.57	1106784.51	SLANTED TRASH RACK
6/C-502	679.55		675.49	738136.25	1106898.72	
6/C-502	676.80		673.30	737748.00	1106477.29	6" SPLITTER INV. OUT = 672.80
4/C-502	677.55		659.28	737874.37	1106416.20	
5/C-502	668.50	664.20	664.10	737715.89	1106354.13	SLANTED TRASH RACK
	682.02		680.83	737688.04	1106820.03	
	682.46		681.27	737986.93	1106944.82	
	STRUCTU	RE SCHEDU	LE (OUTLET)			
MD-370.01	N/A		659.00	738065.09	1106423.67	
MD-370.01	N/A		670.00	737831.90	1106392.39	
MD-370.01	N/A		657.00	737893.97	1106361.07	
MD-370.01	N/A		663.00	737755.11	1106308.73	
MD-357.01	681.47	678.97		737640.10	1106788.21	MODIFIED FOR WALL HEIGHT
	4/C-502 6/C-502 x/C-50x 6/C-502 5/C-502 5/C-502 6/C-502 6/C-502 4/C-502 5/C-502 5/C-502 5/C-502 5/C-502 5/C-502 5/C-502 5/C-502 5/C-502 5/C-502	DETAIL # TOP ELEV. 4/C-502 677.40 6/C-502 678.71 x/C-50x 680.11 6/C-502 680.80 6/C-502 680.80 6/C-502 678.77 5/C-502 678.50 6/C-502 678.50 6/C-502 678.50 6/C-502 678.50 6/C-502 676.80 4/C-502 677.55 5/C-502 668.50 682.02 682.46 STRUCTU MD-370.01 N/A MD-370.01 N/A MD-370.01 N/A	DETAIL # TOP ELEV. INV. IN 4/C-502 677.40 673.26 6/C-502 678.71 671.57 x/C-50x 680.11 673.14 6/C-502 680.80 673.75 6/C-502 680.80 673.75 6/C-502 680.80 674.06 5/C-502 678.77 674.50 5/C-502 678.50 674.25 6/C-502 679.55 6/C-502 6/C-502 677.55 5/C-502 6/C-502 677.55 664.20 682.02 682.46 5/C-502 670.501 N/A MD-370.01 MD-370.01 N/A MD-370.01	DETAIL # TOP ELEV. INV. IN INV. OUT 4/C-502 677.40 673.26 661.18 6/C-502 678.71 671.57 670.32 x/C-50x 680.11 673.14 673.04 6/C-502 680.80 673.75 673.65 6/C-502 680.80 674.06 673.96 5/C-502 678.77 674.50 674.40 5/C-502 678.50 674.25 674.13 6/C-502 678.50 674.25 674.13 6/C-502 679.55 675.49 6/C-502 6/C-502 676.80 673.30 4/C-502 6/C-502 677.55 659.28 5/C-502 6/C-502 676.80 664.20 664.10 682.02 680.83 682.46 681.27 STRUCTURE SCHEDULE (OUTLET) MD-370.01 N/A 659.00 MD-370.01 N/A 657.00 MD-370.01 M/A 663.00 657.00 MD-370.01	JC-1782 0 ICI 22201 IRITIAL IRItia IRItial IRItia	DETAIL # TOP ELEV. INV. IN INV. OUT Northing Easting 4/C-502 677.40 673.26 661.18 738046.44 1106476.82 6/C-502 678.71 671.57 670.32 737815.16 1106455.10 x/C-50x 680.11 673.14 673.04 737727.23 1106740.25 6/C-502 680.80 673.75 673.65 737824.23 1106796.76 5/C-502 680.80 674.06 673.96 737865.02 1106796.76 5/C-502 678.77 674.50 674.40 737854.82 1106866.71 5/C-502 678.50 674.25 674.13 737698.57 1106796.76 6/C-502 679.55 675.49 738136.25 1106898.72 6/C-502 676.80 673.30 737748.00 1106477.29 4/C-502 677.55 659.28 737874.37 1106847.13 682.02 680.83 73768.93 1106354.13 682.02 680.83 737986.93 110632.67

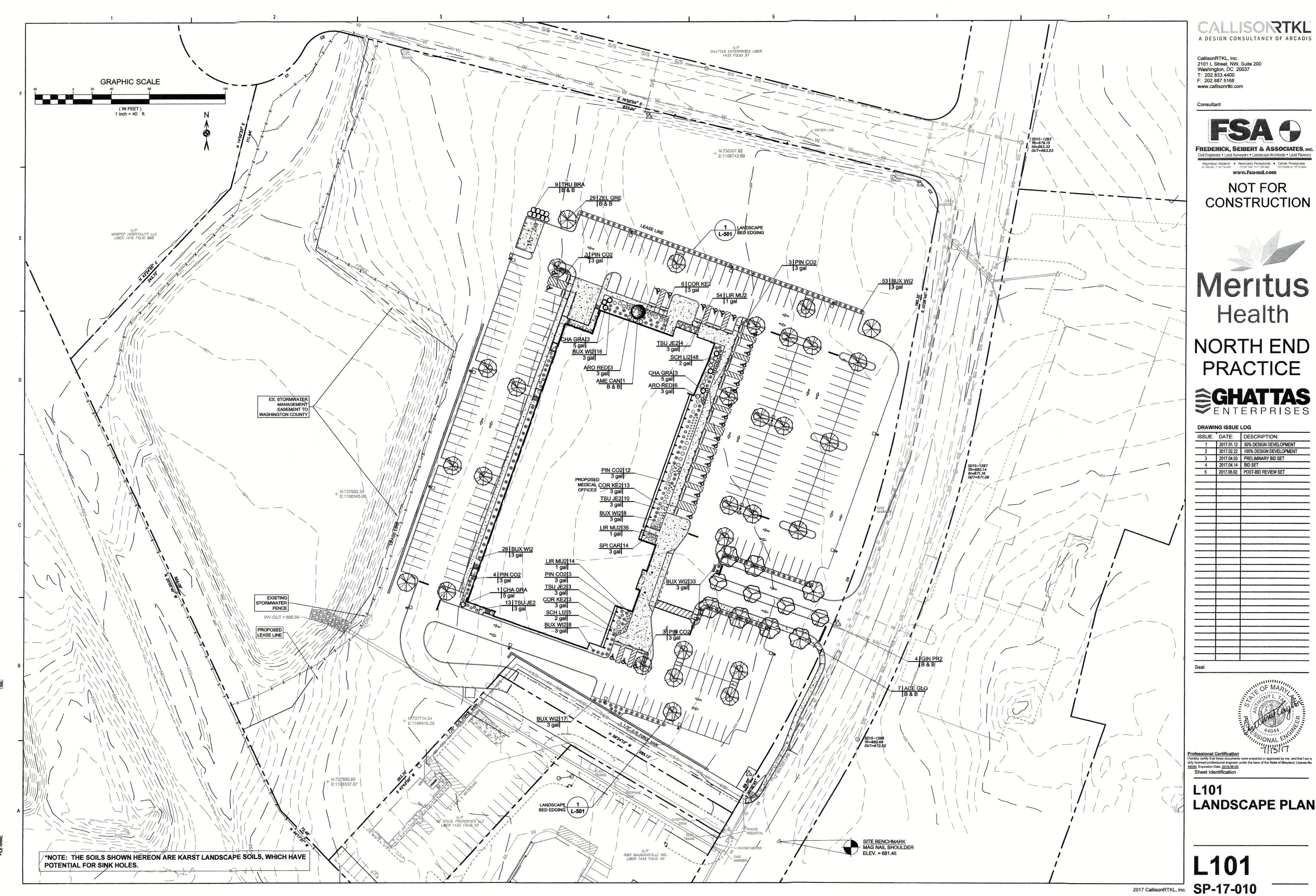
GRAPHIC SCALE

(IN FEET) 1 inch = 40 f

2017 CallisonRTKL, Inc. SP-17-010

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LANDSCAPE PLAN



LOOD TONE

WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT | PLAN REVIEW 80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F. 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

	BASE INFORMATION
SITE NAME	Merkle Response Parking Area Addition
NUMBER:	SP-17-013
OWNER	BILTRITE HOMES CORP
LOCATION:	East of Hump Road and south of Jamison Court
DESCRIPTION:	Parking lot addition
ZONING	Industrial, General
COMP PLAN LU	Low Density Residential
PARCEL:	24005321
PLANNING SECTOR:	1
ELECTION DISTRICT:	24
ТҮРЕ	
GROSS ACRES	6.29
DWELLING UNITS	
TOTAL LOTS	1
DENSITY:	0 Units Per Acre
PLANNER	Lisa A Kelly
ENGINEER:	FOX & ASSOCIATES INC
RECEIVED:	No Date Available

SITE ENGINEERING

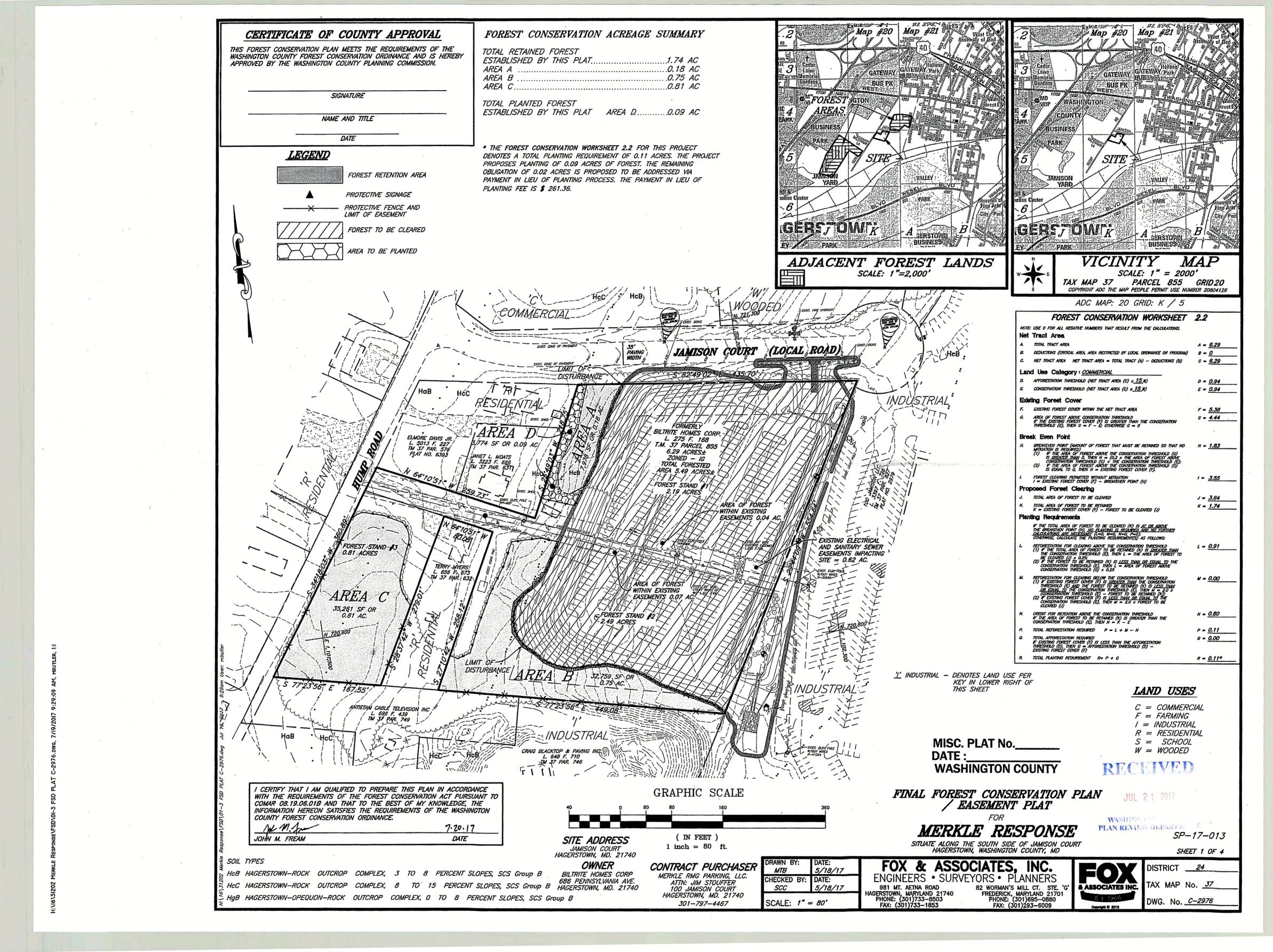
HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

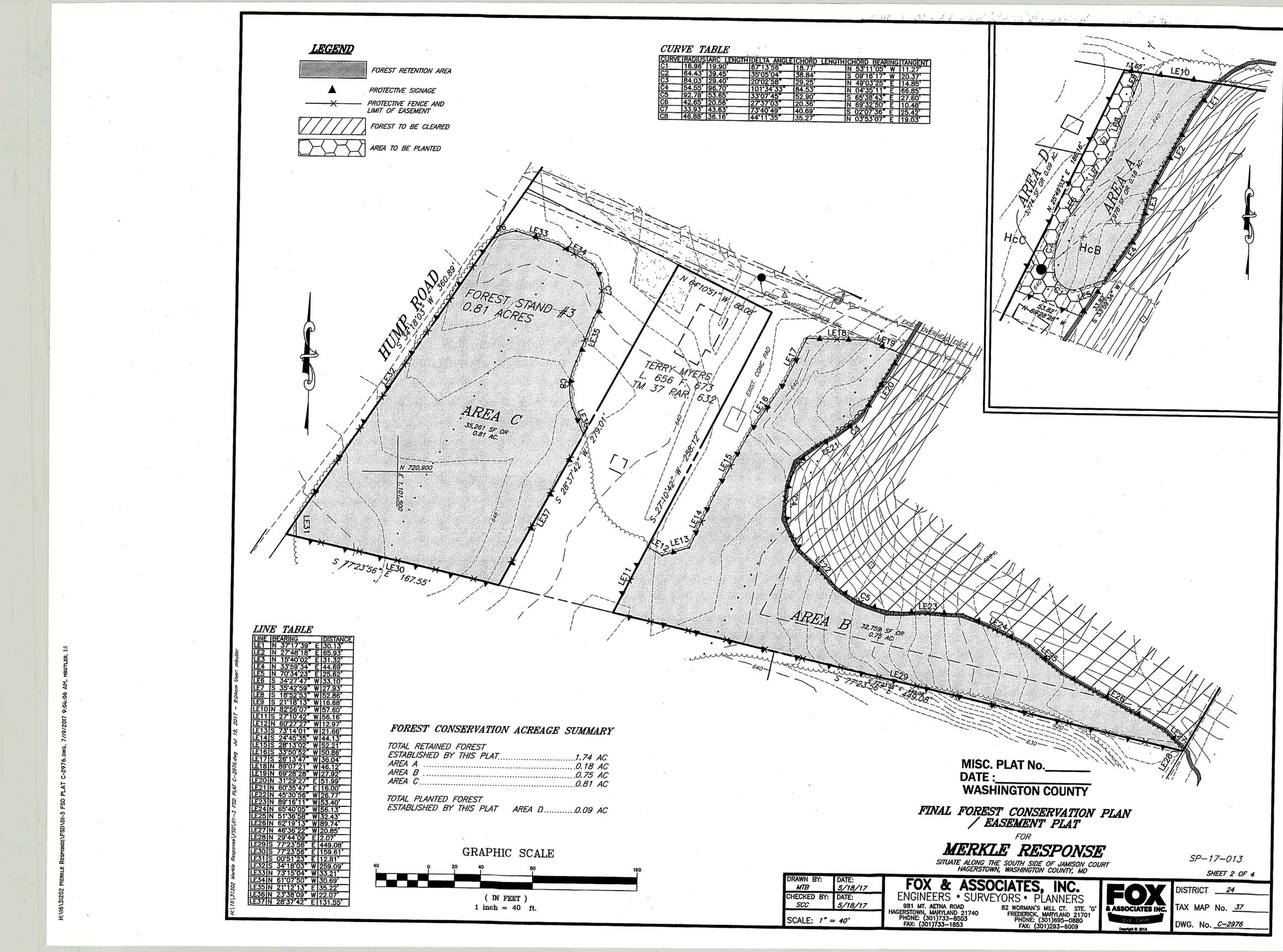
FLOOD ZONE	No
WETLANDS	No
WATERSHED	Marsh Run
ENDANGERED SPECIES:	None
STEEP SLOPES	No
STREAM BUFFER	No
HISTORIC INVENTORY	No Resources Present ON NATIONAL REGISTER
EASEMENTS PRESENT:	None



80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

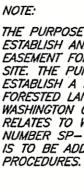
	SITE DESIGN	I Shales	and the state of the
Impervious Area Plan	Impervious Maximum Allowe	ed	Open Space Area Planned
36			0
Open Space Minimum Required	Residential Amenity Plans		Solid Waste Disposal Plans
	0		n/a
Materials Stored on Site	Buffer Design Meets Requireme	ents	Landscaping Meets Requirements
0	Yes		Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequat	te	Bus Stop is Within Walking Distance
Yes			
Loading Area Meets Requirements			
			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling L	Jnit	
286			
Parking Spaces - Minimum Required	Recreational Parking Provide	ed	
	No		
CCESS SPACING VARIANCE NEEDED:	No		
	SCHOOL INFORMATION	They bel	
A REAL PROPERTY OF THE REAL PROPERTY OF	ELEMENTARY	MIDDLE	HIGH
CHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT AAXIMUM CAPACITY	Jonathan Hager	Springfiel	d Williamsport
	PUBLIC FACILITIES INFORMAT	ION	지수는 것이 많은 것이 같아요.
IRE DISTRICT	HALFWAY		
MBULANCE DISTRICT	HALFWAY		
	WATER & SEWER INFORMATI	ION	
	WATER		SEWER
NETHOD	City		City
ERVICE AREA	City		City
RIORITY	1-Existing Service		1-Existing Service
EW HYDRANTS			
GALLONS PER DAY SEWAGE: LANT INFO			Hagesrstown (City)











PRIOR TO ANY CONSTRUCTION, THE BOUNDARIES OF THE FOREST CONSERVATION AREA SHALL BE MARKED WITH CHEMICALLY TREATED FENCE POSTS AND DURABLE SIGNAGE (SEE DETAIL 3.6.9 DETAIL THIS SHEET) WITH WORDING TO THE EFFECT THAT THE AREA IS A FOREST CONSERVATION AREA AND THAT THE TREES ARE NOT TO BE DISTURBED. THE POSTS AND SANS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND DEFINITELY

PROPERTY OWNERS ARE ADVISED THAT PENALTIES AND FINES ARE ASSOCIATED WITH VIOLATION OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE ARE PERMITTED IN THE FOREST CONSERVATION AREAS PROVIDED THERE IS NO FOREST DISTURBANCE OR REMOVAL OF LIVING TREES.

THE FOREST CONSERVATION PLAN SHOWS THAT NO EXISTING TREES WITHIN THE FOREST CONSERVATION AREAS ARE TO BE DISTURBED. IF FOR ANY REASON IN THE FUTURE FOREST COVER IS PROPOSED TO BE DISTURBED A REVISED FOREST CONSERVATION PLAN MUST BE SUBMITTED TO THE WASHINGTON COUNTY PLANNING COMMISSION AND APPROVED PRIOR TO DISTURBING ANY TREES

THAT TIME.

PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATION OF THESE RESTRICTIONS. OWNERS OF LOTS AFFECTED BY THE FOREST CONSERVATION EASEMENT(S) SHALL TAKE PRECAUTIONS TO PROTECT FOREST IN EASEMENT AREAS FROM UNAUTHORIZED DISTURBANCE PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE, AS LONG AS THERE IS NO FOREST DISTURBANCE, REMOVAL OF EXISTING FOREST, OR INHIBITION OF ITS NATURAL GROWTH PROCESSES ARE PERMITTED IN THE FOREST RETENTION AREAS. ACCESS TO EASEMENT AREAS AND OVER ACCESS RIGHTS OF WAY SHOWN ON THIS PLAT ARE NECESSARY AND PERMITTED TO WASHINGTON COUNTY AT REASONABLE TIMES FOR PERIODIC INSPECTION OF THE EASEMENT AREAS. THIS NOTE OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN ANY FUTURE DEED OF CONVEYANCE OF THIS PARCEL OF LAND.

DATE

ANCHOR POSTS MUST BE INSTALLED TO A DEPTH OF THO (2) FEET INTO THI NOTES: FOREST PROTECTION DEVICE ONLY.

BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO AVOID ROOT DAWAGE WHEN PLACING ANCHOR POSTS.

SMOOTH WIRE SHOULD BE SECURELY ATTACHED TO POSTS. PROTECTIVE SIGNAGE IS ALSO RECOMMENDED.

ITTACH FLAGGING STREAMERS 10 WIRE FENCE

NOTE: 1. SIGNS SHALL BE LOCATED AS SHOWN ON SHEET 2 OR A MAXIMUM OF 150' ON CENTER. 2. SIGNS SHALL REMAIN INDEFINITELY. TWO YEAR PROTECTIVE FENCING ONE STRAND WIRE FENCE -ANCHORS SHOULD BE SIX (6) FOOT PAINTED STEEL "T" POSTS. MAXIMUM - 15' ON CENTER

FIG. 3.6.9 - CONSERVATION AREA

CONSERVATION AREA PROTECTION

11" MIN.

FOREST

CONSERVATION

AREA

CONSERVATION PROJECT

TREES FOR YOUR FUTURE

TREES SHALL NOT BE

DISTURBED

PROTECTION SIGNAGE FOR LONG-TERM

OVERVIEW SP-17-013 MERKLE RMG PARKING. LLC

THE PURPOSE OF THIS FOREST CONSERVATION PLAN IS TO ESTABLISH AND PROTECT THROUGH A FOREST CONSERVATION EASEMENT FORESTED LANDS ON THE MERKLE RMG PARKING, LLC SITE. THE PURPOSE OF THIS FOREST CONSERVATION EASEMENT IS TO ESTABLISH A PROTECTIVE EASEMENT OVER EXISTING ON-SITE FORESTED LANDS. IN ORDER TO FULFILL THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE AS IT RELATES TO WORK PROPOSED UNDER COUNTY SITE PLAN FILE NUMBER SP-17-013. THE PLANTING REQUIREMENT OF 0.02 ACRES IS TO BE ADDRESSED VIA PAYMENT IN LIEU OF PLANTING

RESPONSIBILITY FOR IMPLEMENTATION OF FOREST CONSERVATION PLAN

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION TO IMPLEMENT AND ABIDE BY THE REQUIREMENTS SPECIFIED IN THIS FOREST CONSERVATION PLAN, WHICH IS SUBJECT TO THE APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION. THE REQUIREMENTS SPECIFIED IN THIS FOREST CONSERVATION PLAN SHALL CONVEY WITH THE PROPERTY, AS NOTED IN THE LONG TERM FOREST PROTECTION PLAN BELOW.

LONG TERM FOREST PROTECTION PLAN

THERE SHALL BE NO DISTURBANCES OF THE AREA LABELED FOREST CONSERVATION AREA" BY ANY REGULATED ACTIVITY AS DEFINED IN WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE, EXCEPTING SUCH ACTIVITIES WHICH HAVE RECEIVED PRIOR APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION

THE LONG-TERM FOREST PROTECTION PLAN OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN EACH AND EVERY DEED OF CONVEYANCE FOR THIS PROPERTY AND SUBDIVISIONS THEREOF.

LONG TERM PROTECTION AGREEMENT

THE FOREST CONSERVATION EASEMENT SHOWN HEREON IS DESIGNATED FOR RETAINED FOREST ACCORDING TO THE APPROVED SITE PLAN FOR MERKLE REPONSE (SP-17- 013) AND THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACCORDINGLY, THE PRACTICES AND SCHEDULES CONTAINED IN THE MAINTENANCE AGREEMENT SHALL BE FOLLOWED AS OUTLINED IN THE APPROVED FOREST CONSERVATION PLAN.

THE AREAS NOTED AS "FOREST CONSERVATION EASEMENT" ARE NOT TO BE DISTURBED BY ANY REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED FOREST DISTURBANCE IS REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMISSION ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT

OWNER/RESPONSIBLE PARTY

FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

1. ALL TEMPORARY PROTECTION DEVICES AND/OR PERMANENT DEVICES SHALL BE PUT INTO PLACE.

- A. PERMANENT SIGNAGE WILL BE PLACED AT 150 FOOT INTERVALS AROUND THE PERIMETER OF THE ENTIRE FORESTED AREA WITHIN 30 DAYS OF SUBDIVISION PLAT APPROVAL AND/OR COMPLETION OF CONSTRUCTION.
- B. DURING ANY BUILDING OR SITE CONSTRUCTION, THE FOREST RETENTION AREA(S) SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL ANCHORED TEMPORARY FENCING. C. ALL TEMPORARY FENCING SHALL BE IN PLACE PRIOR TO ANY GRADING OR LAND
- CLEARING. D. ALL TEMPORARY FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION
- AND UNTIL ALL GRADED AREAS HAVE BEEN STABILIZED. E. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN PROTECTED AREAS.
- 2. A PRE CONSTRUCTION MEETING WILL BE REQUIRED AFTER THE BOUNDARIES OF THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED, THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, AND BEFORE ANY DISTURBANCE HAS TAKEN PLACE ON THE SITE. IT IS THE OWNER AND/OR DEVELOPER'S RESPONSIBILITY TO ARRANGE FOR THE PRE-CONSTRUCTION MEETING. THE OWNER AND/OR DEVELOPER SHALL CONTACT WASHINGTON COUNTY PLANNING DEPARTMENT 240-313-2430 FOR INSPECTION OF THE INSTALLED DEVICES PRIOR TO THE START OF CONSTRUCTION WITH AT LEAST FIVE (5) DAYS NOTICE. IF THE INSPECTION REVEALS IMPROPERLY INSTALLED PROTECTION DEVICES, CORRECTIONS WILL HAVE TO BE MADE AND RE-INSPECTED PRIOR TO THE START OF CONSTRUCTION.
- 3. AFTER ALL CONSTRUCTION HAS CEASED AND GRADED AREAS HAVE BEEN STABILIZED, ALL TEMPORARY PROTECTIVE DEVICES SHALL BE REMOVED AND REPLACED WITH THE APPROPRIATE PERMANENT SIGNAGE.

SEQUENCE OF CONSTRUCTION:

- 1. STAKE/FLAG LIMITS OF FOREST RETENTION AREAS. 2. INSTALL FOREST PROTECTION DEVICES.
- 3. CONTACT WASHINGTON COUNTY PLANNING DEPARTMENT OFFICE FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2430 HOLD A PRE CONSTRUCTION MEETING AND INSPECTION PRIOR TO ANY EARTH DISTURBANCE.
- 4. CONSTRUCT INDIVIDUAL LOT.
- 5. FINE GRADE AND STABILIZE LOT. 6. INSTALL PLANTINGS
- 7. NOTIFY THE WASHINGTON COUNTY PLANNING DEPARTMENT AND HOLD POST CONSTRUCTION MEETING AND INSPECTION.

NOTES:

- 1. THE PERMANENT SIGNS ARE REQUIRED TO BE POSTED
- WITHIN 30 DAYS OF SUBDIVISION APPROVAL AND ARE TO BE MAINTAINED FOR A MINIMUM OF TWO (2) YEARS.
- 2. SIGNS REQUIRED TO BE: A) PLASTIC HDPE 0.05 GAUGE, OR
- B) METAL 3. SIGNS TO BE PLACED EVERY 150' OR AS SHOWN.
- 4. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
- 5. BEARINGS AND DISTANCES ARE IN AGREEMENT WITH A
- SURVEY BY FOX AND ASSOCIATES INC.
- 6. CONTOURS ARE FORM FIELD SURVEYS BY FOX AND ASSOCIATES INC.

MISC. PLAT No. DATE : WASHINGTON COUNTY

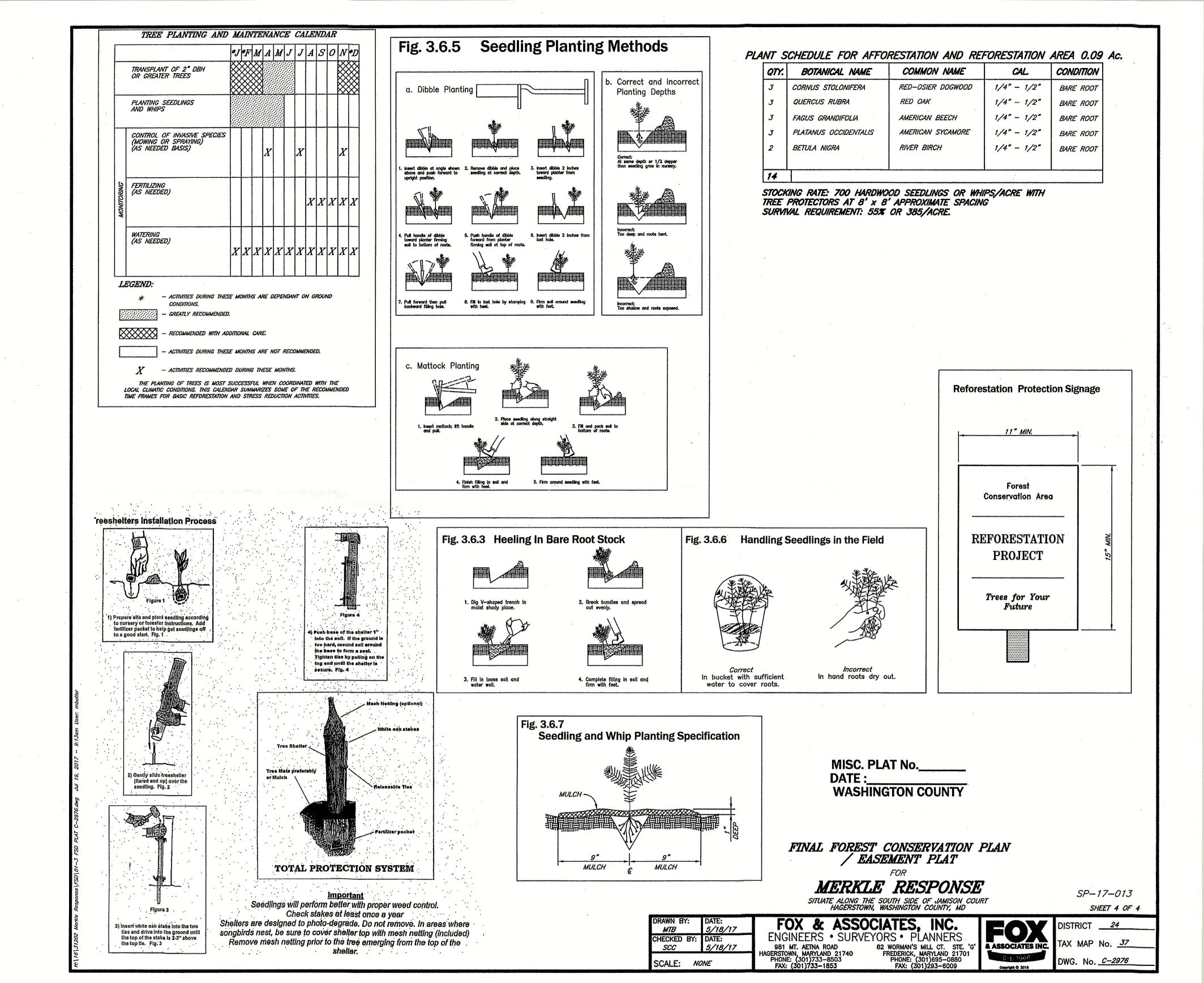
FINAL	FOREST			ΡΙΑΛ
	/ EAS	EMENT	PLAT	
		FOR		

MERKLE RESPONSE SITUATE ALONG THE SOUTH SIDE OF JAMISON COURT HAGERSTOWN, WASHINGTON COUNTY, MD

			Unical V Vr
RAWN BY: DATE: MTB 5/18/17	FOX & ASSOCIATES, INC.	EOY	DISTRICT
HECKED BY: DATE: SCC 5/18/17	ENGINEERS • SURVEYORS • PLANNERS 981 MT. AETNA ROAD 82 WORMAN'S MILL CT. STE. 'G'	A ASSOCIATES INC.	TAX MAP No. <u>37</u>
CALE: NONE	HAGERSTOWN, MARYLAND 21740 PHONE: (301)733-8503 FAX: (301)733-1853 FAX: (301)293-6009	Constant O 2018	DWG. No. <u>C-2976</u>

SP-17-013 SHEET 3 OF 4







WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT | PLAN REVIEW 80 West Baltimore Street | Hagerstown, MD 21740-6003 | F. 240,313,2460 | F. 240,313,2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

	BASE INFORMATION
SITE NAME	THE ARNETT FARM: LOT 4 (WASHCO COMPANIES)
NUMBER	SP-14-051
OWNER	WASHCO COMPANIES 72 W. WASHINGTON ST.
LOCATION	SOUTH OF COL HK DOUGLAS DR
DESCRIPTION	SITE PLAN RETAIL & RESTURANTS IN 3 BLDGS REV 3
ZONING	Highway Interchange
COMP PLAN LU	Commercial
PARCEL	10059275
PLANNING SECTOR	1
ELECTION DISTRICT	
ТҮРЕ	
GROSS ACRES	6.22
DWELLING UNITS TOTA	
LOTS DENSITY	
	0 Units Per Acre
PLANNER	Timothy Lung
ENGINEER	BOHLER ENGINEERING P C
RECEIVED	December 04, 2014
	SITE ENGINEERING
HYDRO	GRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION
FLOOD ZONE	No
WETLANDS	None
WATERSHED	None
ENDANGERED SPECIES	None
STEEP SLOPES	No
STREAM BUFFER	No
HISTORIC INVENTORY	NOT HIST ON NATIONAL REGISTER
EASEMENTS PRESENT	None



WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT | PLAN REVIEW

80 West Baltimore Street | Hagerstown, MD 21740-6003 | F 240.313.2460 | F. 240.313.2461 | Hearing Impaired: 7-1-1

	SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allo	owed	Open Space Area Planned
54	80		
Open Space Minimum Required	Residential Amenity Pla	ins	Solid Waste Disposal Plans
			dumpsters
Materials Stored on Site	Buffer Design Meets Requir	ements La	andscaping Meets Requirements
no	Yes		
Lighting Plan Meets Requirements	Pedestrian Access is Adeo	uate Bu	s Stop is Within Walking Distance
Yes			
Loading Area Meets Requirements			
	_		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwellin	ng Unit	
242			
Parking Spaces - Minimum Required	Recreational Parking Prov	/ided	
242	No		
A MUNICIPAL PROPERTY AND A MUNICIPAL PROPERTY OF	SCHOOL INFORMATIC	N	
	ELEMENTARY	MIDDLE	HIGH
CHOOL DISTRICT UPIL YIELD URRENT ENROLLMENT NAXIMUM CAPACITY			
	PUBLIC FACILITIES INFORM	NATION	
IRE DISTRICT	10		
MBULANCE DISTRICT	26		
	WATER & SEWER INFORM	IATION	
	W		SEWER
IETHOD	(С
ERVICE AREA	C		С
RIORITY	1		1
EW HYDRANTS	-		
ALLONS PER DAY SEWAGE:			Conococheague



Comments:

- Strip shopping center with 14,513 sq. ft. multi-tenant retail and 5,003 sq. ft. restaurant
- 2,464 sq. ft. stand alone restaurant with drive through
- 2,400 sq. ft. restaurant with 3,523 sq. ft. retail space
- 2 access points off of Spark Drive private
- APFO Road Improvements included with Wal-mart Traffic Impact Study and Walmart off-site road improvement plan
- Located on existing lot created on subdivision plat for Arnett Farm, approved 9/18/15. Forest Conservation approved with subdivision

EN	OHLER	a gangaran ar ang sa a ana ang sa a sa a		and a second	A Constant	line and the second sec
Project	Walmart-Northern Pad	By		MJG		
Ficier		Checked	By	MG		
Location	Hagerstown, MD	Date	ing ang sing sing sing sing sing sing sing si	6/16/2015	20 a. i.	
	ESD Volume	Job#		MD078001		

ESD Volume Required = 24884 CF Required Impervious Area to be treated = 3.53 AC

	Practice	Surface Area	Impervious Area	Pervious Area	Treatment Volume	Pe Provided	
Facility #	Micro-Bioretention	646 SF		0.17 Acres	1337.70 CF		PASS
1		1260 SF		0.15 Acres	2535.00 CF		PASS
2	Micro-Bioretention	1552 SF		0.30 Acres	3104.40 CF	2.36"	PASS
3	Micro-Bioretention	1457 SF		0.39 Acres		2.34"	PASS
4	Micro-Bioretention	728 SF		0.10 Acres		2.37"	PASS
5	Micro-Bioretention	1086 SF		0.12 Acres		2.51"	PASS
6	Micro-Bioretention			C.07 Acres		2.60"	PASS
7A	Micro-Bioretention	936 SF		0.07 Acres			PASS
7B	Micro-Bioretention	588 SF		0.14 Acres			PASS
8A	Micro-Bioretention	1460 SF		0.14 Acres			PASS
8B	Micro-Bioretention	1470 SF		and and the second design of the			PASS
8C	Micro-Bioretention	1575 SF	0.46 Acres	0.14 Acres	0121.00 01		1
a and a second	- o the first of the state of the	$\label{eq:alpha} \lim_{n \to \infty} \left\{ \log (\alpha_n) + \log (1 - 1) + \log (1 - 1) \right\}$	and the second se	And the second of the second s			
$\sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \partial_{i} \left(\sum_{j=1}^{n} \partial_{i} \left(\sum_{j=1}^{n} \partial_{i} \partial_{j} \left(\sum_{j=1}^{n} \partial_{i} \partial_{j} \partial_{j} \right) + \sum_{i=1}^{n} \partial_{i} \partial_{i} \partial_{i} \left(\sum_{j=1}^{n} \partial_{i} \partial_{j} \partial_{j} \right) + \sum_{i=1}^{n} \partial_{i} \partial_{i} \partial_{i} \partial_{i} \left(\sum_{j=1}^{n} \partial_{i} \partial_{j} \partial_{j} \partial_{j} \right) + \sum_{i=1}^{n} \partial_{i} \partial_{i$	Total =	12758 SF		1.80 Acres		and the second sec	
		tal Required =	3.53 CF	Total Required =	24884 CF		

ESDv Requirement Met ESD_V Requirement Met

SITE DATA:

	12. BULK REQUIREMENTS:	ALLOWED/ REQUIRED PF	ROVIDED		O FLOODPLAINS, FFERS, OR HABIT
BUILDINGS, PARKING LOT AND MICRO-BIORETENTION FACILITIES.	A. MIN. BUILDING SETBACK				NTIFIED BY THE U
2. SITE LIGHTING HAS BEEN DESIGNED IN SUCH A MANNER THAT	SIDE SETBACK (WEST)	40'			REQUIRED TO BE ORDINANCE AND
ELIMINATES GLARE ONTO STREETS OR ADJACENT PROPERTIES.	FRONT SETBACK (NORTH)	40'		ORDINANCE.	
3. SIGNAGE IS PROPOSED AND WILL CONSIST OF PYLON SIGNS,	REAR SETBACK (SOUTH)	10'		22. THE SITE IS L	OCATED IN AN A
AND VARIOUS BUILDING MOUNTED SIGNS WHICH WILL COMPLY WITH DIVISION II, SECTION 22.22, 22.23 AND 22.25. SEPARATE SIGN PERMITS WILL BE OBTAINED.	SIDE SETBACK (EAST)	10'		CHARACTER SOILS ABOVE	AND HIGHLY VARI/ ISTICS AND THE P E THE ROCK CONS LESSER AMOUNT
 THE SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND THE AMERICANS WITH DISABILITIES ACT. 	B. PARKING REQUIREMENTS RETAIL: 5 SPACES PER 1,000 S.F. OF GLA (20,500 SF / 1,000 SF x 5 = 102.50 SPACES) RESTAURANT: 1 SPACE PER 75 SF OF GFA	242	242	OF THE SITE	
	(10,424 SF / 75 SF = 138.99)		004.0 5	23. TOTAL UPST LESS THAN 4	REAM WATERSHE
5. AREA SUMMARY: TOTAL AREA	C. BUILDING GROSS FLOOR AREA		0,924 S.F.	LESS THAN 4	OU ACILES.
TOTAL BUILDING AREA	D. GROSS LEASABLE FLOOR AREA	3	0,924 S.F.		ED PARCEL DOES
TOTAL EXISTING IMPERVIOUS AREA	E. MIN. PARKING SPACE DIMENSIONS	9'x20'	9.0'x20'		LOOD INSURANCE
TOTAL PROPOSED IMPERVIOUS AREA	F. MIN. DRIVE AISLE	24'	24'	240070 00908	DATED SEPTEM
6. TOTAL DISTURBED AREA: 215,236.03 S.F. OR 4.94 AC.	G. MAX. BUILDING HEIGHT	75'	25'		ARE BASED UPON
	H. INTERIOR GREENSPACE	111 - C	The second		BY BOHLER ENGIN
7. LOT DATA: ZONE: HI (HIGHWAY INTERCHANGE DISTRICT)	(118,636 S.F. X 0.05 = 5,931.8 S.F.)		9,238 S.F. OR 7.8%	(REFER TO F	
PROPOSED USE: RETAIL AND RESTAURANTS	I. BICYCLE REQUIREMENTS	*	0111.070		AN AND COORDIN
8. SOLID WASTE WILL BE STORED ON-SITE IN SCREENED TRASH	1 BICYCLE PARKING SPACE PER EVERY 25 PARKING SPACES (NOT TO EXCEED 25 SPACES) (244/25=9.76)	10	12	AND HAG2 A	
ENCLOSURES. COLLECTION WILL BE PROVIDED BY A PRIVATELY		The second se			ISION IS NOT WIT
CONTRACTED COMPANY.	13. WASHCO COMPANIES, INC, WILL BE RESPONSIBLE FOR I PRIVATE ACCESS ROADS AND PRIVATE SIDEWALKS SHO	WAINTENANCE OF ALL		CORRIDOR	OR THE WATERSH
9. COLLECTION AND STORAGE OF RECYCLABLE MATERIAL AS REQUIRED BY ZONING ORDINANCE SECTION 4.20 WILL BE				RESERVOIR	S OR THE UPPER
PROVIDED BY RECYCLING STORAGE AREAS. COLLECTION WILL BE PROVIDED BY A PRIVATELY CONTRACTED COMPANY.	14. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL WAREGULATIONS AND CODES AND O.S.H.A. STANDARDS.	ASHINGTON COUNTY	· ·	28. ALL MAIL WI	LL BE DELIVERED
	15. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL P	LANS FOR EXACT LOC	CATIONS	29. HOURS OF C	OPERATION: 24 HO
10. IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY PRIVATE DEVELOPMENT AGREEMENT AND EXECUTED	AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDE TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EX	WALKS, EATT PORCHE	.0,	30. DELIVERIES	WILL BE MADE D
MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE	ENTRANCE LOCATIONS.			31. EXCISE TAX	USE CLASSIFICA
DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.	16. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES AND WATER UNTIL A 95% GROUNDCOVER HAS BEEN ES	32. ELECTION D	ISTRICT: 10		
11. A THIRD PARTY QUALIFIED PROFESSIONAL MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING SCHEDULED WITH	17. ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE N	NOTED. STRIPED RAD	I ARE TO	33. WATER ALL	OCATION: 4,000 G
WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS	BE 5'.				NSERVATION REC
ENGINEERING AND CONSTRUCTION AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION	18. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURE	UNLESS OTHERWISE	NOTED.	WERE PROV	VIDED AS PART OF
INSPECTIONS WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND STORMWATER MANAGEMENT VERIFICATION	19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOC NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL	35. IF ROCK IS I BACKFILL W	ENCOUNTERED, L		
PROCEDURES" DATED OCTOBER 17, 2008.	SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED.	36. PLAT REFER	RENCE: PLATS 10		
	WORK SPECIFICATIONS AND SHALL BE APPROVED BY S	UCH. ALL COST SHAL	LBE	37. ALL EXISTIN	IG CONDITIONS S
			OM		R COUNTY FILE NAS PERFORMED.
	20. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INF PREVIOUSLY APPROVED SITE PLANS. (COUNTY FILE NO	, PSP-10-001 AND S-14	4-006)		
	ENGINEER'S STORMWAT		ENT CERT	IFICATION	DISTURBE
	I VERIFY AND AFFIRM THAT THE CONS	STRUCTION FOR THE	STORMWATE	R MANAGEMENT MENTS AND	THE TOTAL A
	DESIGN INTENT OF THIS PLAN, INCLUI	DING ALL SPECIFICAT	IONS AND RE	FERENCED	EXCAVATION
WASHINGTON COUNTY SOIL CONSERVATION DIS	DEACTIONS I ALSO VERIEV AND AFFI	RM THAT I HAVE REVI	EWED THE CC	NSTRUCTION	BE APPROXIM

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL	FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN
BY: DATE (PLAN IS VALUE FOR TWO YEARS FROM DATE OF APPROVAL)	DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.
THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION	GNATURE DATE SEAL
GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.	OWNER/DEVELOPER CERTIFICATION "I/WE CERTIFY ANY/ALL PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE APPROVED	PROJECT WILL HAVE A CEP.TIFICATE OF TRAINING AT A MARYLAND DEPT. OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT. 8/26/16 SASSAN EMRAL SHADL DATE PRINTED NAME SIGNATURE
WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING DATE	ENGINEER/ARCHITECT DESIGN CERTIFICATION I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STATUARDS AND SPECIFICATIONS
GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE. ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.	FOR SOIL EROSION AND SEDIMENT CONTROL AND VEETS VEMARYLAND ROND STANDARD 378 DATE REG. NO.
e/o7/wal-wart/wd07 8001 - sharpsburg pike, hagerstown, washington county, wd/drawngs/plan sets/site plan documents/northern pads/	

A. Die

A.S.

SITE PLAN SET

FOR

THE ARNETT FARM: WASHCO COMPANIES LOCATION OF SITE

18330 SPARK DRIVE 18340 SPARK DRIVE 18348 SPARK DRIVE HAGERSTOWN, MARYLAND, 21740 WASHINGTON COUNTY TAX MAP 57, GRID 10, PARCEL 628 COUNTY FILE NUMBER: SP-14-051

21. THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND IFFERS, OR HABITAT OF THREATENED OR ENDANGERED ENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER REQUIRED TO BE SHOWN BY SECTION 314 OF THE ORDINANCE AND SECTION 4.21 OF THE ZONING

> LOCATED IN AN AREA OF KARST GEOLOGY WITH AND HIGHLY VARIABLE ROCK SURFACE ISTICS AND THE POTENTIAL FOR SINKHOLES. SITE THE ROCK CONSIST PRIMARILY OF HIGHLY PLASTIC ESSER AMOUNTS OF LEAN CLAY. NO GROUNDWATER NTERED DURING THE GEOTECHNICAL INVESTIGATION

REAM WATERSHED AFFECTING THE SUBDIVISION IS

TED PARCEL DOES NOT LIE IN THE 100 YEAR FLOODPLAIN LOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. B DATED SEPTEMBER 30, 1992, FLOOD ZONE C.

ARE BASED UPON PREVIOUSLY APPROVED SITE PLANS BY BOHLER ENGINEERING (COUNTY FILE NO. PSP-10-001) REFERENCES ON THIS SHEET).

IAN AND COORDINATES ARE NAD 83/93 PER GPS SET BY GPS GEOMETRICS USING SPRECHER RESET, MSP2

VISION IS NOT WITHIN 1000' OF THE APPALACHIAN TRAIL R OR THE WATERSHEDS OF THE EDGEMONT-SMITHSBURG RS OR THE UPPER BEAVER CREEK DRAINAGE BASIN. VILL BE DELIVERED TO INSIDE THE PROPOSED BUILDINGS.

OPERATION: 24 HOURS/7DAYS S WILL BE MADE DURING HOURS OF OPERATION.

X USE CLASSIFICATION: COMMERCIAL

DISTRICT: 10 LOCATION: 4,000 GALLONS/DAY. INSERVATION REQUIREMENTS FOR THIS DEVELOPMENT

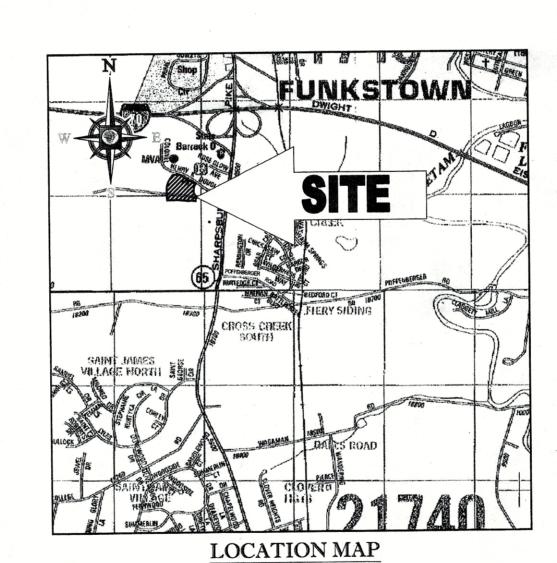
VIDED AS PART OF PSP-10-001. ENCOUNTERED, UNDERCUT ALL PONDS 18" AND WITH CL TYPE SO!L.

RENCE: PLATS 10525-10536 ING CONDITIONS SHOWN ON THE PLAN ARE PROPOSED BY ER COUNTY FILE NO. PSP-10-001 AND S-14-006. NO FIELD

STORMWATER MANAGEMENT STATEMENT: STORMWATER QUALITY MANAGEMENT HAS BEEN PROVIDED FOR LOT 4 BY ELEVEN (11) MICRO-BIORETENTION

FACILITIES. STORMWATER QUANTITY HAS BEEN PROVIDED BY THE ABOVE GROUND DETENTION FACILITY

LOCATED ON LOT 2 CONSTRUCTED AS PART OF THE WALMART SITE DEVELOPMENT PLANS (PSP-10-001).



DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN ETERMINED TO BE APPROXIMATELY 4.94 ACRES AND THE TOTAL AMOUNT OF XCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO APPROXIMATELY 160 CU. YDS. OF EXCAVATION AND 40 CU. YDS. OF FILL.



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PERMIT USE NO. 20602153-5

SCALE: 1"=2000'

ADC MAP COORDINATES: PAGE 21; C-13



901 DULANEY VALLEY ROAD, SUITE 801 **TOWSON, MARYLAND 21204** Phone: (410) 821-7900 (410) 821-7987 Fax:

www.BohlerEngineering.com

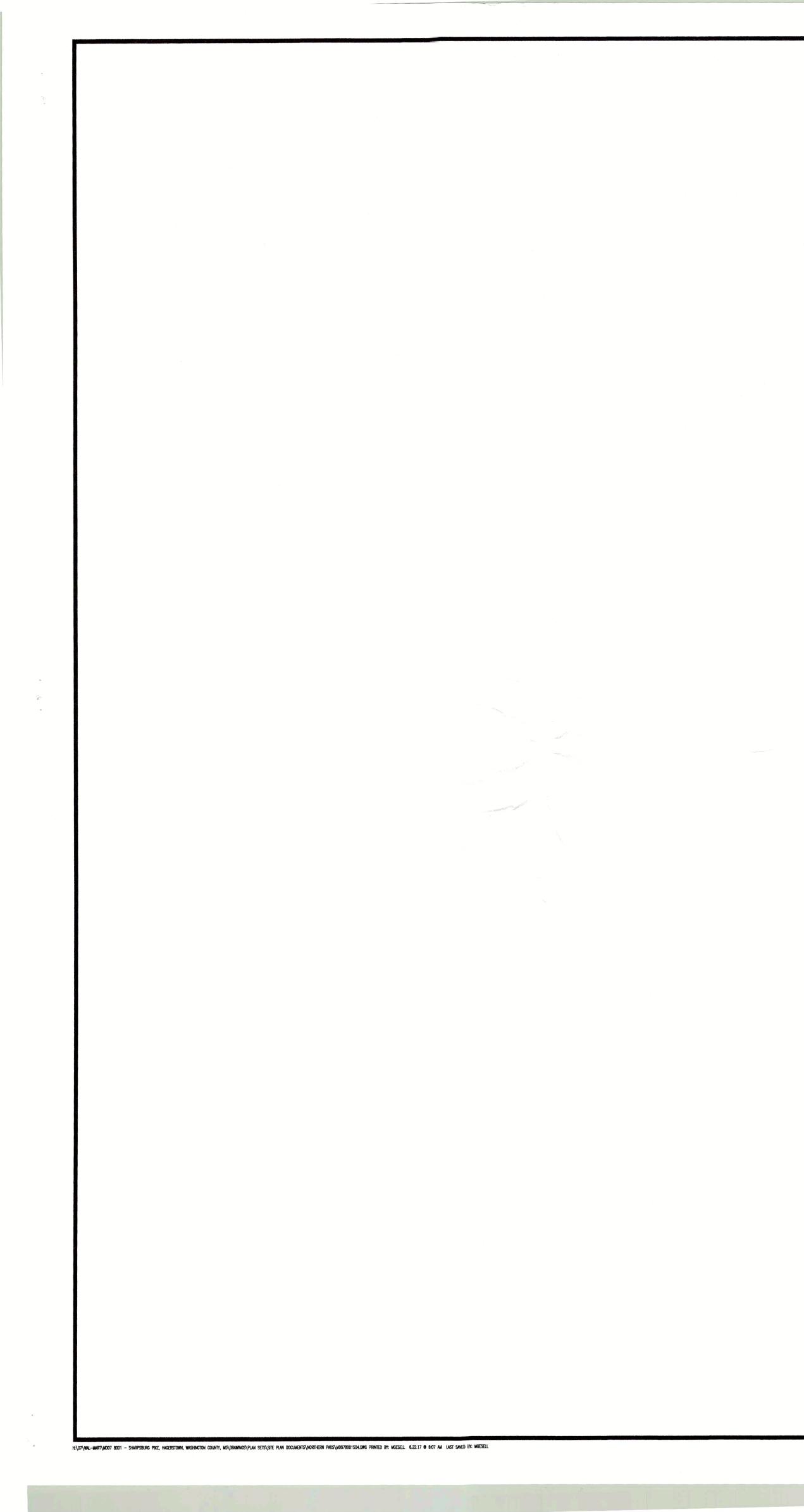
CONTACT: MICHAEL J. GESELL, P.E.

	DATED: JUN		
	HILLIS-CAR	NES ENGINE "GEOTECHNI #2790-05; H 1341B	INVESTIG ERING ASSOC CAL INVESTIG AGERSTOWN,
))	BOHLER EN	NGINEERING "STORMWAT LOT 4; HAGE D078001	MANAGEM ER MANAGEM ERSTOWN, WA
	BOHLER EI ENTITLED: FILE NO: M DATED: JAI	NGINEERING	0
	ENTITLED: FILE NO: M DATED: FE	"PUBLIC ROAL	
PROJECT	NAME: PROJECT NO.	(SP, PP, GF	2)
-	TYPE	NO.	DA (ACR (TO STRUC
MICROBI	ORETENTION	1	0.337
	ORETENTION	2	0.522
MICROBI	ORETENTION	3	0.663
MICROBI	ORETENTION	4	0.725
and the second se	ORETENTION	5	0.28
MICROBI	ORETENTION	6	0.368
MICROBI	ORETENTION	7A	0.319
MICROBI	ORETENTION	7B	.0319
MICROBI	ORETENTION	8A	0.60
MICROBI	ORETENTION	8B	0.60
MICROBI	ORETENTION	8C	0.60

(TO STRUCT NO TOTAL DA (SITE) CONSTRUCTION TYPE (CIRCLE ONE) COVER SHEET GENERAL NOTES EXISTING CONDITIONS & DEM CONSTRUCTION SITE PLAN GRADING PLAN UTILITY PLAN EASEMENT PLAN STORMWATER MANAGEMENT EROSION AND SEDIMENT COM EROSION AND SEDIMENT CO EROSION AND SEDIMENT CO LANDSCAPE PLAN LANDSCAPE NOTES AND DET CONSTRUCTION DETAILS STORMWATER MANAGEMEN STORM DRAIN PROFILES SANITARY SEWER PROFILES WATER PROFILES LIGHTING PLAN LIGHTING DETAILS STORMDRAIN DRAINAGE ARE POST DEVELOPMENT COVER ZONING SITE PLAN RETAINING WALL LOCATION RETAINING WALL ELEVATION WASHINGTON COUNTY DEPAR WASHINGTON COUNTTIDEFART THIS APPROVAL IS FOR GENERAL CONFORM REQUIREMENTS FOR DESIGN AND LAYOUT O WATER SYSTEM IMPROVEMENTS OR EXTENSIONS S ACCORDANCE WITH THE COUNTY'S LATEST SPECIFICATIONS FOR CONSTRUCTION OF S/ LINE, THIS APPROVAL DOES NOT GUARANTE WATER SERVICE. SEWER AND/OR WATER SEC CONFORMANCE WITH ALL RULES, POLICIES THE COUNTY AND IN EFFECT AT THE TIME A AND/OR THE AVAILABILITY OF ALLOCATION I FACILITIES THAT MAY BE GRANTED TO THE O VALID FOR ONE YEAR. Hack D. Bracklan **OWNER/DEVELOPER CERTIFIC** "I/WE HEREBY CERTIFY THAT ALL CLE DEVELOPMENT WILL BE DONE PURSU

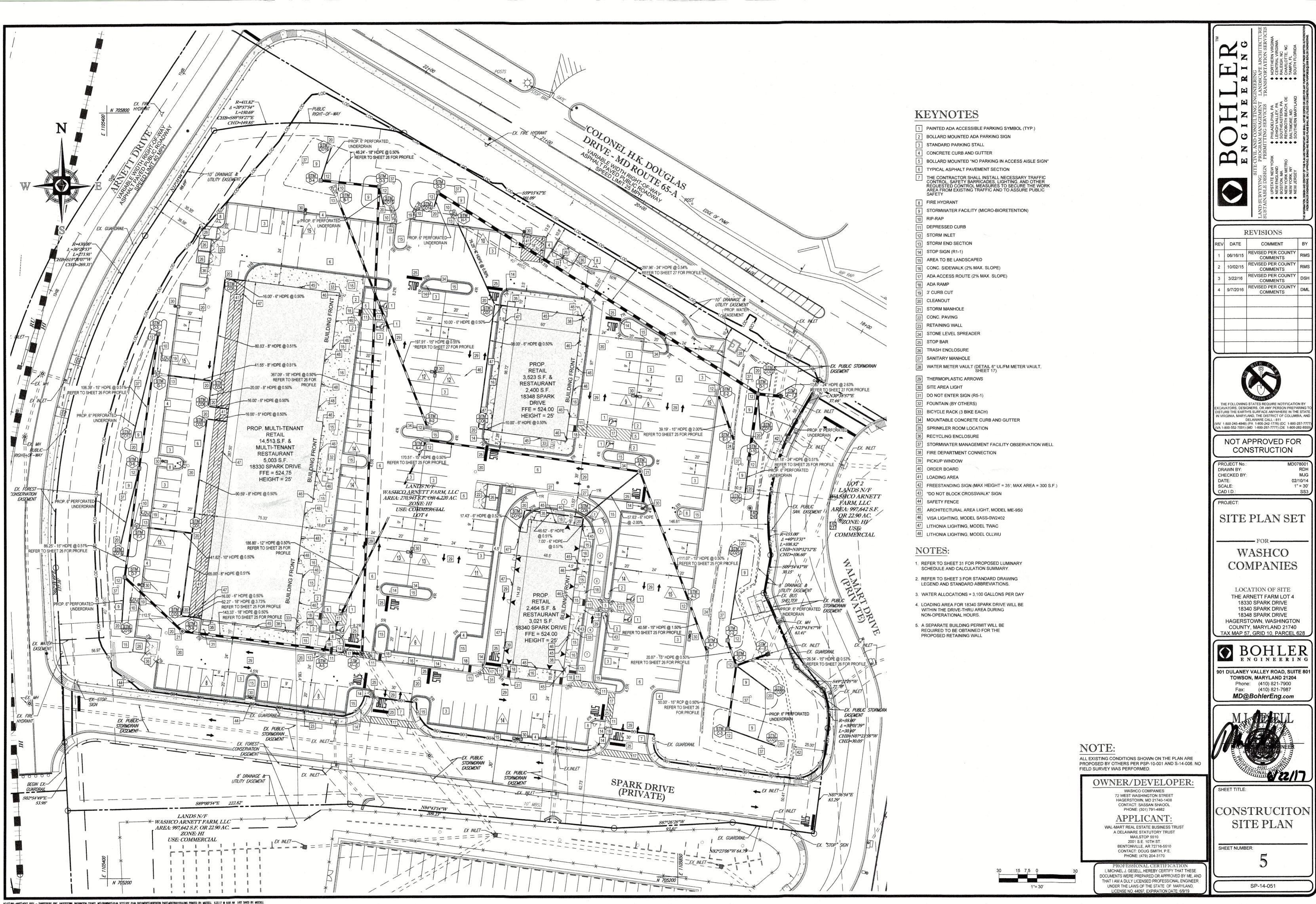
WITH THE STORMWATER MANAGEMEN AND THE POLICY ON CONSTRUCTION ACCEPTANCE AND OWNERSHIP BY W DATE PRINTED NAME

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♦ PL ENTI FILE DATE	JBLIC TLED: " NO: MC ED: FEB	PUBLIC ROA	MPROVEMENT PLA AD IMPROVEMENT PLA MART RETAIL STORE)" 2014	N FOR THE ARNETT FARM	33 W HAGI CON PHO MAR DIST 1251 LA V CON	VEST FRANKLIN S ERSTOWN, MD 21 TACT: LOCAL OFF NE: (301) 665-2850 ARYLAND ST MINISTRATIC	FICE D CATE HIGHWAY DN GHWAY ADMINISTRATION GHWAY ADMINISTRATION CENZIE		HAGERSTOWN, M PHONE: (240) 313	-2257 E TELEVISION, INC. RCLE IID 21740	20m 200	1 06/16/15 REVISE CO 2 10/02/15 REVISE CO 0 2/02/15 REVISE	IDINS OMMENT BY D PER COUNTY RMS D PER COUNTY RMS D MMENTS RMS D PER COUNTY D D PER COUNTY D D MMENTS D D PER COUNTY D D PER COUNTY D D PER COUNTY D
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PROJEC	Г N O. ((SP, PP, GF	>)	<u>SP-14-051</u>		~							
				IMPERVIOUS	S (CHAPT	TER 5 - STRUCT	URAL & NON-STRUC	CTURAL)		CPv (CFS)			
		NO.	DA (ACRES) (TO STRUCTURE) 0.337	DA (ACRES) (TO STRUCTURE) 0.17		RCN 83	ESDv (AC-FT) 0.031	WQv (AC-FT) -	CPv (AC-FT)	(DISCHARGE)	Rev (AC-FT) -		
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IORETEN	TION	6 7A	0.368	0.25		88 92	0.050	-			-		
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BIORETEN	TION	8B 8C	0.601	0.46		91 91	0.080	-	-	-	-	DISTURB THE EARTH'S SURFA IN VIRGINIA, MARYLAND, THE DELAWAR	CE ANYWHERE IN THE STATE. DISTRICT OF COLUMBIA, AND E CALL - 811
					ACTICES		STRUCTURAL PRACT	PRINCIPAL				(VVV 1-800-245-4848) (PA 1-80 (VA 1-800-552-7001) (MD 1-800	0-242-1776) (DC 1-800-257-7777) 0-257-7777) (DE 1-800-282-8555)
TYPE		NO.	DA (ACRES) (TO STRUCTURE)	DA (ACRES)	RCN	@ DHW (AC-FT)	PRINCIPAL SPILLWAY TYPE	SPILLWAY SIZE (INCHES)	CPv (CFS) (DISCHARGE)	Qp10 (CFS)	Qf100 (CFS)		OVED FOR RUCTION
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		ER PROFIL				<u>0.</u>	0 - 32					TOWSON, M/ Phone: (ARYLAND 21204 410) 821-7900
						-	33					Fax: (410) 821-7987 hlerEng.com
•	-	TING DET	AILS DRAINAGE AREA MA	٩P	χ.,	3	4 - 35 36					-500	
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SHING	TON	COUNT	TY DEPARTME	NT OF WATER Q	UALIT	<u>Y</u>		AL	L EXISTING COND	ITIONS SHOWN	ON THE PLAN ARE -001 AND S-14-006. N		Cherry
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26/16_ .te	SAS	PRINTER	EMRAC SHA	SIGNATURE	NVV				UNDER	THE LAWS OF THE	STATE OF MARYLAND, RATION DATE: 6/9/19	SP SP	-14-051

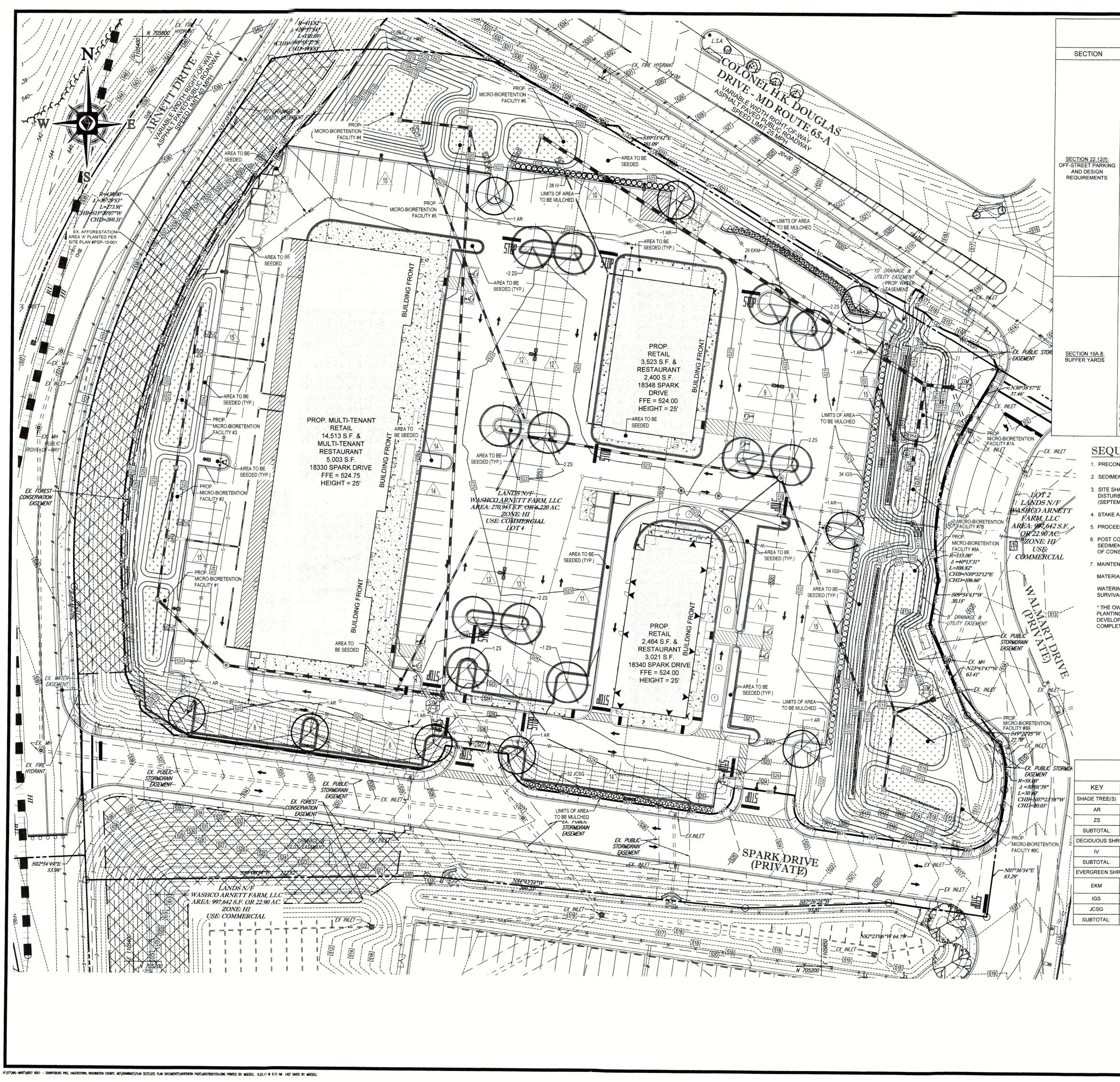


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CONCRETE CURB & GUTTER DEPRES CONCRETE CURB & GUTTER DEPRES Image: Concrete Curb & GUTTER DEPRES Image: Concrete Curb & Heart Curb & Depression Depression Image: Concrete Curb & Heart Curb & Depression Image: Concrete Curb & Depression Image: Concrete Curb & Depression Image: Concrete Curb & Depression Image: Concrete Curb & Depression Image: Concrete Curb & Depression Image: Concrete Curb & Depression Image: Concrepr	ED CURB AND GUTTER	BLDG BM BRL CF CL CMP CONN CONC CONC CPP CY DEC DEP DIP DOM ELEC ELEV	BUILDING BUILDING BENCHMARK BUILDING RESTRICTION LINE CUBIC FEET CENTERLINE CORRUGATED METAL PIPE CONNECTION CONCRETE CONCRETE CORRUGATED PLASTIC PIPE CUBIC YARDS DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	R RCP RET WALL R/W S SAN SF STA STA STM S/W TBR TBRL	POINT OF VERTICAL TANGENCY RADIUS REINFORCED CONCRETE PIL RETAINING WALL RIGHT OF WAY SLOPE SANITARY SEWER SQUARE FEET STATION STORM
UTILITY POLE POLE ILIGHT		BLDG BM BRL CF CL CMP CONN CONC CONC CPP CY DEC DEP DIP DOM ELEC ELEV	BUILDING BUILDING BENCHMARK BUILDING RESTRICTION LINE CUBIC FEET CENTERLINE CORRUGATED METAL PIPE CONNECTION CONCRETE CONCRETE CORRUGATED PLASTIC PIPE CUBIC YARDS DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	R RCP RET WALL R/W S SAN SF STA STA STM S/W TBR TBRL	RADIUS REINFORCED CONCRETE PI RETAINING WALL RIGHT OF WAY SLOPE SANITARY SEWER SQUARE FEET STATION STORM
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WITH LIGHT POLE LIGHT O POLE IGHT O UTILITY O TYPICAL LIGHT IGHT	○ ☆ ↓ <	CF CL CMP CONN CONC CPP CY DEC DEP DIP DOM ELEC ELEV	BUILDING RESTRICTION LINE CUBIC FEET CENTERLINE CORRUGATED METAL PIPE CONNECTION CONCRETE CORCRUGATED PLASTIC PIPE CUBIC YARDS DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	WALL R/W S SAN SF STA STA STM S/W TBR TBRL	RIGHT OF WAY SLOPE SANITARY SEWER SQUARE FEET STATION STORM
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☆ ACORN LIGHT ■ TYPICAL SIGN ▲ PARKING COUNTS ▲ PARKING COUNTS ■ LINE ■ LINE ■ LINE ■ SANITARY LABEL ■ SANITARY LABEL ■ SANITARY SEWER LABEL ■ SANITARY SEWER LABEL ■ UNDERGROUND WATER LINE ■ UNDERGROUND C ■ UNDERGROUND WATER LINE ■ UNDERGROUND WATER LINE ■ UNDERGROUND C ■ UNDERGROUND WATER LINE ■ UNDERGROUND CABLE LINE ■ SANITARY WINE ■ SANITARY WINE ■ SANITARY WINE ■ SANITARY WINE ■ SANITARY SEWER MAIN ■ SANITARY SEWER ■ SANIT	☆ ↓	CONC CPP CY DEC DEP DIP DOM ELEC ELEV	CONCRETE CORRUGATED PLASTIC PIPE CUBIC YARDS DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	STA STM S/W TBR TBRL	STATION STORM
☆ ACORN LIGHT ■ TYPICAL SIGN ▲ PARKING COUNTS ▲ PARKING COUNTS ■ LINE ■ LINE ■ SPOT LINE ■ SANITARY LABEL ■ SANITARY LABEL ■ SANITARY SEWER LABEL ■ SANITARY SEWER LABEL ■ UNDERGROUND WATER LINE ■ UNDERGROUND GAS LINE ■ OVERHEAD WIRE ■ OVERHEAD WIRE ■ SANITARY ELEVATIONE LINE ■ UNDERGROUND GAS LINE ■ OVERHEAD WIRE ■ OVERHEAD WIRE ■ SANITARY WIND ■ SANITARY WIND ■ SANITARY WIND ■ SANITARY SEWER MAIN ■ SANITARY SEWER ■ SANITARY SEWER ■ SANITARY SEWER ■ SANITARY SEWER ■ SANITARY SEWER ■ SANITARY SEWER ■ SANITA	☆ ↓	CPP CY DEC DEP DIP DOM ELEC ELEV	CORRUGATED PLASTIC PIPE CUBIC YARDS DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	STM S/W TBR TBRL	STORM
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▲ PARKING COUNTS ————————————————————————————————————		DEC DEP DIP DOM ELEC ELEV	DECORATIVE DEPRESSED DUCTILE IRON PIPE DOMESTIC	TBR TBRL	SIDEWALK
$\angle \Delta$ COUNTS		DEP DIP DOM ELEC ELEV	DEPRESSED DUCTILE IRON PIPE DOMESTIC	TBRL	
INE	187 516.00 TC 516.00 BC 515.55 SAN # X # SL W E	DIP DOM ELEC ELEV	DUCTILE IRON PIPE		TO BE REMOVED
INE	187 516.00 TC 516.00 BC 515.55 SAN # X # SL W E	DOM ELEC ELEV	DOMESTIC	TC	TO BE RELOCATED
SAN SANITARY STORM LABEL SI STORM SI SANITARY SEWER IM UNDERGROUND IM UNDERGROUND IM UNDERGROUND IM UNDERGROUND IM UNDERGROUND IM UNDERGROUND IM OVERHEAD IM UNDERGROUND IM STORM IM STORM IM SANITARY IM SANITARY IM SANITARY IM MANHOLE IM GAS	SAN # 	ELEC			TOP OF CURB
STORM SITORM SANITARY SEWER LATERAL W UNDERGROUND W UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND GAS LINE OH OVERHEAD WIRE T UNDERGROUND C SanitARY SEWER S SANITARY S SANITARY S	SAN # X # SL	ELEV	ELECTRIC	TELE	TELEPHONE
STORM SITORM SANITARY SEWER LATERAL W UNDERGROUND W UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND GAS LINE OH OVERHEAD WIRE T UNDERGROUND C SanitARY SEWER S SANITARY S SANITARY S	# X # SL 			TPF	TREE PROTECTION FENCE
STORM SITORM SANITARY SEWER LATERAL W UNDERGROUND W UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND C UNDERGROUND GAS LINE OH OVERHEAD WIRE T UNDERGROUND C SanitARY SEWER S SANITARY S SANITARY S		EP	ELEVATION	τw	TOP OF WALL
SI SANITARY SEWER	SL		EDGE OF PAVEMENT	TYP	TYPICAL
Image: Constraint of the second se	——Е	ES	EDGE OF SHOULDER	UG	UNDERGROUND
Image: Market Line Image: Market Line Image: Market Line Image: Market Line <td>——Е</td> <td>EW</td> <td>END WALL</td> <td>UP</td> <td>UTILITY POLE</td>	——Е	EW	END WALL	UP	UTILITY POLE
C ELECTRIC LINE G UNDERGROUND GAS LINE OH OVERHEAD WIRE T UNDERGROUND TELEPHONE LINE C UNDERGROUND CABLE LINE C UNDERGROUND CABLE LINE S STORM SEWER S SANITARY SEWER MAIN V HYDRANT S SANITARY MANHOLE D STORM MANHOLE WM WATER WV WV WATER VALVE GAS VALVE S GAS METER METER TYPICAL END SECTION I HEADWALL OR ENDWALL I YARD INLET I CURB INLET		EX	EXISTING	w	WIDE
GAS LINE OH OVERHEAD WIRE T UNDERGROUND TELEPHONE LINE C UNDERGROUND CABLE LINE C UNDERGROUND CABLE LINE S STORM SEWER S SANITARY SEWER MAIN MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of the second MANHOLE Image: Comparison of	G	FES	FLARED END SECTION	W/L	WATER LINE
WIRE Image: Transmission of the second se		FF	FINISHED FLOOR	W/M	WATER METER
TELEPHONE LINE C UNDERGROUND CABLE LINE Image: Source of the second se		FH FG	FIRE HYDRANT FINISHED GRADE	± °	PLUS OR MINUS DEGREE
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Image: Wight of the second	\$	GL	GRADE LOWER SIDE		
S SANITARY MANHOLE D STORM MANHOLE WM WATER METER WW WATER VALVE GAS VALVE GAS VALVE GAS VALVE GAS METER TYPICAL END SECTION SECTION Image: Stress of the section of the sec	7	GRT	GRATE		
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METER TYPICAL END SECTION HEADWALL OR ENDWALL YARD INLET CURB INLET		INT	INTERSECTION		
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		LOS	LINE OF SIGHT		
INLET		LP	LOW POINT		
CLEAN	©]	L/S	LANDSCAPE		
O CLEAN OUT		MAX	MAXIMUM		
E ELECTRIC MANHOLE	Ē	MIN	MINIMUM		
TELEPHONE MANHOLE	\cup	MH			
EB ELECTRIC BOX	EB	MJ OC	MECHANICAL JOINT ON CENTER		
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FEUEDIAL	EB	PC	POINT CURVATURE		
		1	POINT OF COMPOUND		
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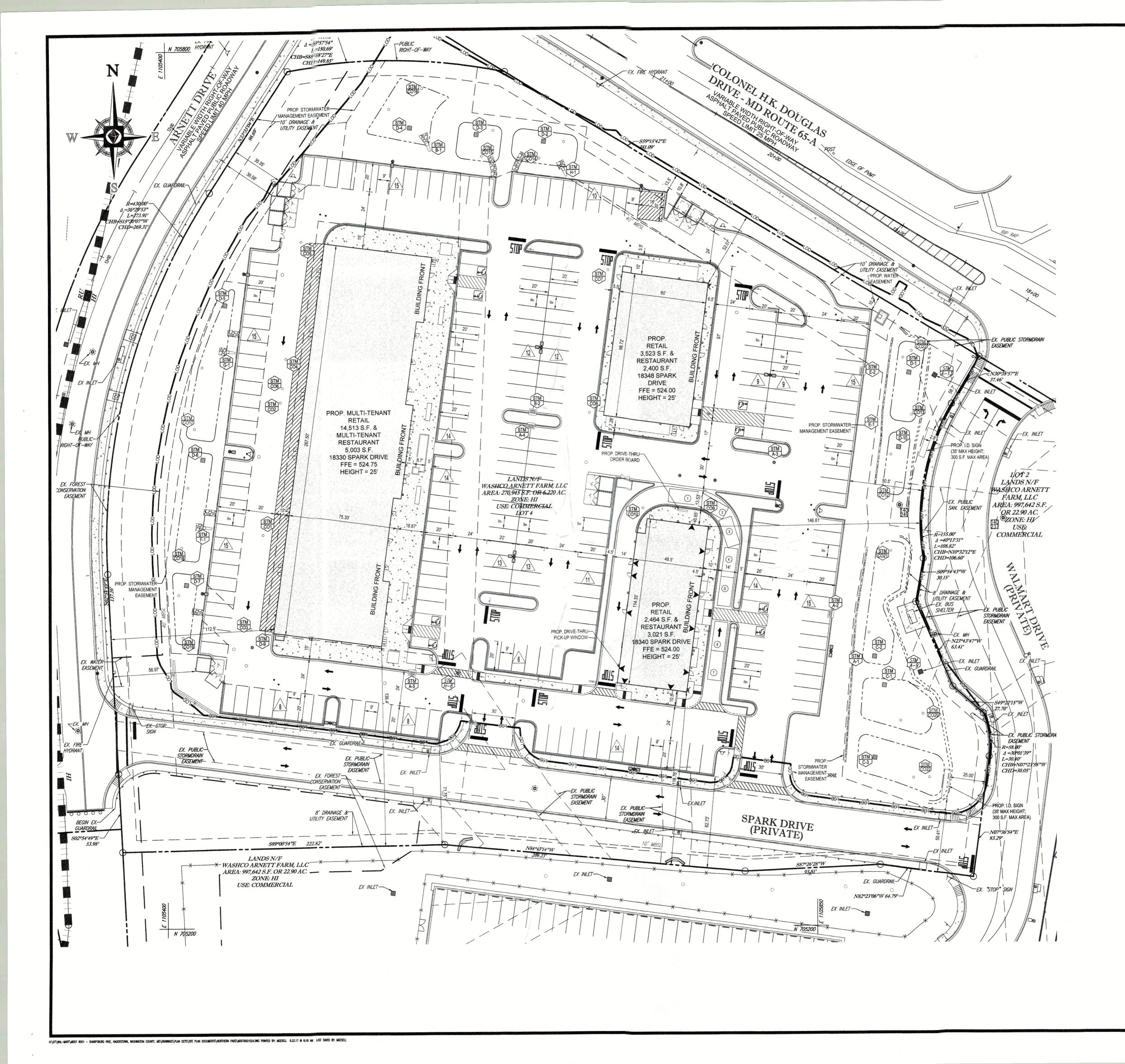
ALL EXISTING CONDITIONS SHOWN ON THE PLAN ARE PROPOSED BY OTHERS PER PSP-10-001 AND S-14-006. NO FIELD SURVEY WAS PERFORMED.	SHEET TITLE: SHEET NUMBER: BIET NUMBER: SP-14-051



H:\07\WAL-MART\MD07 8001 - SHARPSBURG PAKE, HAGERSTOWN, WASHINGTON COUNTY, MD\DRAWINGS\PLAN SETS\STE PLAN DOCUMENTS\NORTHERN PADS\MD078001SS4.DWG PRINTED BY: MGESELL 6.22.17 @ 6:08 AM LAST SAVED BY: MGESELL



	WAS	SHINGTON	COUNTY	M TURE VICES IA
	REQUIREMEN	MPLIANCE		
	8. I. ALL SURFACE PARKING FACILITIE	ES OF 10,000 SQUARE	CALCULATIONS/PROPOSED	A COLUMN SEE ALL NUCCHITE TION SEE ALL NUCCHITE ALL NUCCHITE, NC OTTE, NC FLORIDA FLORIDA FLORIDA
	FEET OR MORE SHALL HAVE LANDSO THE CONFINES OF THE FACILITY, WH MINIMUM OF 5% OF THE TOTAL IMPE	IICH CONSTITUTE A		
	PARKING FACILITY.			
	8. III. THE LANDSCAPED AREAS SHALL BE UNPAVED, PERMEABLE LINEAR STRIPS OR VARIABLE SHAPED ISLANDS IN THE INTERIOR OF THE PARKING FACILITY WHICH SHALL BE PLANTED WITH GROUND COVER OF SHRUBS, TREES, OR GRASSES. THE PRIMARY PLANT MATERIAL USED IN			
			LOT 4	
	LANDSCAPING AREAS SHOULD BE TH SHADE. THE TOTAL NUMBER OF TREI SHOULD BE 1 TREE PER 300 SQUARE	ES RECOMMENDED	PROPOSED PARKING AREA: 121,729 S.F. 121,729 S.F. x .05 = 6,086 S.F.	
	LANDSCAPING AREAS REQUIRED FOR TREES SHALL HAVE A MINIMUM CALIF	R THE PARKING AREA.	REQUIRED: 6,086 S.F. OR 5% PROPOSED: 7,635 S.F. OR 6%	PHILDE SOUTH REHOR BALTING : PHILDE CON M MAD FILLOR SOUTH SOUTH REHOR SOUTH SOUTH REHOR
KING rs	AT THE TIME OF PLANTING. 9. i. THE PERIPHERY OF OFF-STREET	PARKING FACILITIES	REQUIRED TREES: 1 TREE PER 300 S.F. OF REQUIRED GREEN SPACE	
	SHALL BE ADEQUATELY SCREENED F ZONED FOR OR OCCUPIED BY RESID	ROM ANY PARCEL	6,086S.F. X (1 TREE / 300 S.F.) = 21 TREES PROPOSED TREES: 21	
	SCHOOLS, CHURCHES, OR INSTITUTIO AS WELL AS ROADWAY FRONTAGES HEADLIGHT GLARE ONTO ADJACENT	SO AS TO PREVENT	'~' INDICATES PLANT MATERIAL UTILIZED TO FULFILL THIS REQUIREMENT.	SITI SITI ESIGN ESIGN GLAND I, MA RK MET RK, NY SEY TEN OF THI
	ROADWAYS.		SCREENING PROVIDED BY 3' HIGH VEGETATIVE HEDGE	ABATI ABATI BETATI PSTA
	9. II. SCREENING MAY IN THE FORM OF VEGETATIVE SCREENING OR BOTH, G SPECIFIED HEIGHT DETERMINED BY T	RADE TO THE		
	COMMISSION OR ITS DESIGNEE. FENC CONSTRUCTED OF VINYL, STONE, BR OTHER MECHANISM AS APPROVED BY	CING SHALL BE ICK, EARTHEN BERM OR		LAND SUSTA
	COMMISSION, AND MUST BE A MINIMU AS MEASURED FROM THE GRADE OF	JM OF 4 FT IN HEIGHT		
	WHERE THE ADJOINING LOT IS EITHER CONTAINS DWELLINGS, HOSPITALS, N	R ZONED FOR OR		REVISIONS REV DATE COMMENT BY
	SCHOOLS, OR OTHER INSTITUTIONS F THERE SHALL BE A 25 FOOT BUFFER	OR HUMAN CARE, YARD BETWEEN THE		1 06/16/15 REVISED PER COUNTY PMS
	LOT LINE AND ANY AREA OF THE LOT OR DEVELOPMENT IF THE ALLOWED F USE OR SPECIAL EXCEPTION USE WO	RINCIPAL PERMITTED		2 10/02/15 REVISED PER COUNTY COMMENTS RMS
	PERMITTED BECAUSE OF ITS ASSOCIA OR PB DISTRICT. PERIMETER SCREEN	TION WITH A BL, BG, ING IN THE FORM OF A		3 3/22/16 REVISED PER COUNTY COMMENTS DSH
	SOLID FENCE, VEGETATIVE SCREENIN DETERMINED BY THE PLANNING COM SITE PLAN REVIEW SHALL BE REQUIRI	MISSION DURING THE ED FOR ALL BL, BG,	LOT 4 WESTERN PROPERTY LINE: 464 L.F.	4 9/7/2016 REVISED PER COUNTY COMMENTS DML
5	AND PB USES. THE VEGETATIVE SCRE MINIMUM OF TEN (10) FEET OVERALL I INCH CALIBER AT THE TIME OF PLANTI	ENING SHALL BE A N HEIGHT AND TWO (2)	REQUIRED: 464/10 = 47 TREES	
	OF A SPECIES HAVING AVERAGE MATE CROWN OF A MINIMUM TEN (10) FEET	JRE SPREAD OF UNDER NORMAL	REQUIRED PLANTINGS PROVIDED BY AFFORESTATION AREA 'A' PER SITE PLAN #PSP-10-001	
	GROWING CONDITIONS, THE TREES SI SPACED SO AS TO CREATE AN OPAQU THE ADJOINING LAND USES. A MINIMU	HALL BE PLANTED AND		
	PER HUNDRED LINEAR FEET OF PERIN SHALL BE REQUIRED. WHERE ANY OF	IETER BUFFER AREA THE BL, BG OR PB		
	USES ARE ACROSS A PUBLIC ROAD BU PERIMETER SCREENING REQUIREMEN THE PLANNING COMMISSION.	JFFER YARD AND		
	JENCE OF PLANTI			
			CONTRACTOR, AND COUNTY INSPECTOR. (SEPTEMBER, 2016) RUCTION PLAN FOR THE SITE. (SEPTEMBER, 2016)	FIL PEFORE YOURS
TE SHA	ALL BE GRADED, INFRASTRUCTURE IN	STALLED. AND BUILDING		THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.
EPTEM	BED AREAS SHALL BE STABILIZED. IF R IBER, 2016 - MARCH, 2017)	EQUIRED, PLACE TOPSO	L ON AFFORESTATION AREAS WITHIN THE LIMIT OF DISTURBANCE.	IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (WV 1-800-245-4848) (PA 1-800-242-1776) (DC 1-800-257-7777)
	ND FLAG LANDSCAPE AREAS. (MARCH		017)	(VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8555)
оят со	D WITH LANDSCAPE PLANTINGS PER F	D WITH COUNTY INSPEC		NOT APPROVED FOR CONSTRUCTION
DIMEN	IT CONTROL AND TEMPORARY PROTE STRUCTION ACTIVITIES. (MAY, 2017)	CTIVE FENCING SHALL B	E REMOVED UPON STABILIZATION OF THE SITE AND COMPLETION	PROJECT No.: MD078001
				DRAWN BY: RDH CHECKED BY: MJG
			RCENT DURING THE ONE-YEAR MAINTENANCE PERIOD. /E DURING THE MAINTENANCE PERIOD, IN ORDER TO ENSURE	DATE: 02/10/14 SCALE: 1" = 30' CAD I.D.: SS3
	L			PROJECT:
VELOP	PER AND THEN THE MAINTENANCE PER		I-313-2430) AT LEAST FIVE (5) DAYS NOTICE OF WHEN THE AKE AN INSPECTION AND ISSUE A REPORT TO THE OWNER OR COUNTY DETERMINES THAT THE PLANTING HAS BEEN	SITE PLAN SET
MPLET	FED IN ACCORDANCE WITH THE ORDIN	ANCE REQUIREMENTS.		VIII I IV DE I
		LEGEN	D	FOR
	r			WASHCO
	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	(SEE STORM	BIORETENTION PLANTING AREA VATER MANAGEMENT DETAILS FOR ON AREAS PLANTING SCHEDULES	COMPANIES
	+ + + + + + + + + + + + + + + + + + +	+ +	ND PLANTING DETAILS)	
	KXXXX	FXISTI	NG AFFORESTATION AREA 'A'	LOCATION OF SITE THE ARNETT FARM LOT 4
	$\bigcirc \checkmark \checkmark \checkmark \checkmark$		GS PER SITE PLAN #PSP-10-001)	18330 SPARK DRIVE 18340 SPARK DRIVE
				18348 SPARK DRIVE HAGERSTOWN, WASHINGTON
****				COUNTY, MARYLAND 21740 TAX MAP 57, GRID 10, PARCEL 628
	LA	NDSCAPE S	CHEDULE	ROUIED
EE(O)	QTY. BOTANICAL N	AME	COMMON NAME SIZE REMARKS	$\mathbf{O} \underset{E \ N \ G \ I \ N \ E \ E \ R \ I \ N \ G}{\mathbf{BOH } \mathbf{ER}}$
EE(S)	9 ACER RUBRU	M	RED MAPLE 2 1/2-3" CAL. B+B	901 DULANEY VALLEY ROAD, SUITE 801
	12 ZELKOVA SERRATA 'GF		GREEN VASE ZELKOVA 2 1/2-3" CAL. B+B	TOWSON, MARYLAND 21204 Phone: (410) 821-7900 Fax: (410) 821 7987
AL: IS SHRI	21 UB(S)			Fax: (410) 821-7987 MD@BohlerEng.com
	28 ITEA VIRGINICA 'HENRY	'S GARNET'	GARNET SWEETSPIRE 24-30" #5 CAN	
AL: EN SHR	28 3UB(S)			E.R. MCWILLIMS
	29 EUONYMUS KIAUTSC 'MANHATTAN	1 640 61	ATTAN SPREADING EUONYMUS 24-30" #5 CAN	
	68 ILEX GLABRA 'SHAN		HAMROCK INKBERRY HOLLY 24-30" #5 CAN	
AL:	32 JUNIPERUS CHINENSIS	SEA GREEN'	SEA GREEN JUNIPER 24-30" SPRD. B+B	
	l			
			OWNER/DEVELOPER: WASHCO COMPANIES	SHEET TITLE:
			72 WEST WASHINGTON STREET HAGERSTOWN, MD 21740-1408 CONTACT: SASSAN SHAQOL	
			PHONE: (301) 791-4882	LANDSCAPE
			APPLICANT: WAL-MART REAL ESTATE BUSINESS TRUST	PLAN
			A DELAWARE STATUTORY TRUST MAILSTOP 5510 2001 S.E. 10TH ST.	
			BENTONVILLE, AR 72716-5510 CONTACT: DOUG SMITH, P.E. PHONE: (479) 204-3170	
	20	15 7 5 0	PROFESSIONAL CERTIFICATION	14
	30	15 7.5 0	30 I, ERIC R. MCWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER	
		1"= 30'	THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3697, EXPIRATION DATE: 9/20/2014	SP-14-051



SITE DATA:

- LOT IS TO BE DEVELOPED WITH THREE (3) COMMERCIAL BUILDINGS, PARKING LOT AND MICRO-BIORETENTION FACILITIES.
- 2. SITE LIGHTING HAS BEEN DESIGNED IN SUCH A MANNER THAT ELIMINATES GLARE ONTO STREETS OR ADJACENT PROPERTIES.
- 3. SIGNAGE IS PROPOSED AND WILL CONSIST OF PYLON SIGNS, AND VARIOUS BUILDING MOUNTED SIGNS WHICH WILL COMPLY WITH DIVISION II, SECTION 22.22, 22.23 AND 22.25, SEPARATE SIGN PERMITS WILL BE OBTAINED.
- THE SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND THE AMERICANS WITH DISABILITIES ACT.
- 6. LOT DATA: ZONE: HI (HIGHWAY INTERCHANGE DISTRICT) PROPOSED USE: RETAIL AND RESTAURANTS
- SOLID WASTE WILL BE STORED ON-SITE IN SCREENED TRASH ENCLOSURES. COLLECTION WILL BE PROVIDED BY A PRIVATELY CONTRACTED COMPANY.
- 8. COLLECTION AND STORAGE OF RECYCLABLE MATERIAL AS REQUIRED BY ZONING ORDINANCE SECTION 4.20 WILL BE PROVIDED BY RECYCLING STORAGE AREAS. COLLECTION WILL BE PROVIDED BY A PRIVATELY CONTRACTED COMPANY.

9.	BULK REQUIREMENTS:	ALLOWED/ REQUIRED	PROVIDED
	A. MIN. BUILDING SETBACK		
	SIDE SETBACK (WEST)	40'	
	FRONT SETBACK (NORTH)	40'	
	REAR SETBACK (SOUTH)	10'	
	SIDE SETBACK (EAST)	10'	
	B. PARKING REQUIREMENTS		
	RETAIL: 5 SPACES PER 1,000 S.F. OF GLA (20,500 SF / 1,000 SF x 5 = 102.50 SPACES) RESTAURANT: 1 SPACE PER 75 SF OF GFA (10,424 SF / 75 SF = 138.99)	242	242
	C. BUILDING GROSS FLOOR AREA	-	30,924 S.F.
	D. GROSS LEASABLE FLOOR AREA	-	30,924 S.F.
	E. MIN. PARKING SPACE DIMENSIONS	9'x20'	9.0'x20'
	F. MIN. DRIVE AISLE	24'	24'
	G. MAX. BUILDING HEIGHT	75'	25'
	H. INTERIOR GREENSPACE		
	(118,636 S.F. X 0.05 = 5,931.8 S.F.)	5,932 S.F. OR 5%	9,238 S.F. OR 7.8%
	I. BICYCLE REQUIREMENTS		
	1 BICYCLE PARKING SPACE PER EVERY 25 PARKING SPACES (NOT TO EXCEED 25 SPACES) (244/25=9.76)	10	12

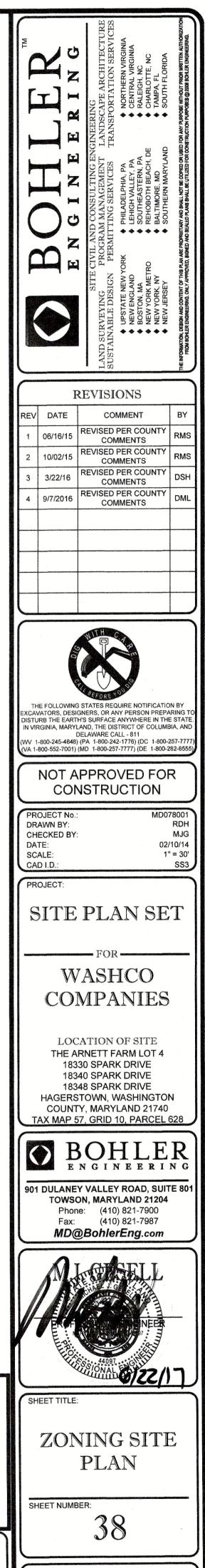
10. ALL MAIL WILL BE DELIVERED TO INSIDE THE PROPOSED BUILDINGS.

12. DELIVERIES WILL BE MADE DURING HOURS OF OPERATION.

11. HOURS OF OPERATION: 24 HOURS/7DAYS

NOTE: ALL EXISTING CONDITIONS SHOWN ON THE PLAN ARE PROPOSED BY OTHERS PER PSP-10-001 AND S-14-006. NO FIELD SURVEY WAS PERFORMED. OWNER/DEVELOPER: SHEET TITLE: WASHCO COMPANIES 72 WEST WASHINGTON STREET HAGERSTOWN, MD 21740-1408 CONTACT: SASSAN SHAOOL PHONE: (301) 791-4882 APPLICANT: WAL-MART REAL ESTATE BUSINESS TRUST A DELAWARE STATUTORY TRUST MAILSTOP 5510 2001 S.E. 10TH ST. BENTONVILLE, AR 72716-5510 SHEET NUMBER: CONTACT: DOUG SMITH, P.E. 38 PHONE: (479) 204-3170 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE 15 7.5 DOCUMENTS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER SP-14-051 UNDER THE LAWS OF THE STATE OF MARYLAND, 1"= 30'

LICENSE NO. 44097, EXPIRATION DATE: 6/9/19





DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMORANDUM

TO:	Washington County Planning Commission
FROM:	Cody Shaw, Chief of Plan Review
DATE:	July 25, 2017
SUBJECT:	Community Rescue Service Site Plan (SP-17-011)

A site plan has been submitted for review and approval for Community Rescue Service on a parcel along the north side of Oliver Drive. The property is zoned HI – Highway Interchange.

The applicant is proposing a Community Rescue Service on the site. The functional description for this site is an ambulance station. The site is currently a vacant 1.42 acre parcel, and the applicant is looking to develop the site.

The proposed improvements are shown on the site plan can be summarized as follows:

- Functional description is an ambulance station
- Hours of operation are 24 hours a day, 7 days a week
- Number of employees are 2 per shift
- Total required parking spaces is 10; total parking provided is 10 spaces
- Proposed impervious area is 26.9%
- Site is served by City Water and Joint Service Sewer (County lines/City treatment)
- Stormwater is being handled by a surface sand filter to provide water quality and Stormwater quantity will be met within the sand filter facility
- Forest Conservation was addressed via a Payment In Lieu per recorded plat folio 5563

The site plan was routed to Land Use Planning, Addressing, City Water, City Sewer, Engineering, Health Department, Soil Conservation, Water Quality, and Maryland State Highway Administration. At this date, all approvals have been obtained except City Water, City Sewer, and Health Department. These approvals are contingent upon Water/Sewer allocation forms and fees being paid.

A copy of the site plan sheet and cover page are attached.

GENERAL CONSTRUCTION NOTES:

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- 7. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- 10. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER TO OBTAIN ALL NECESSARY EASEMENTS AND/OR RIGHT OF WAYS NECESSARY IN ORDER TO COMPLETE THE PROJECT SHOWN ON THESE PLANS. FOX & ASSOCIATES, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY ASSOCIATED WITH THE ACQUIRING OF OFFSITE EASEMENTS AND RIGHT OF WAYS.
- 11. THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS ENGINEERING & CONSTRUCTION REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- 12. ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, INC ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- 13. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS. 14. TOPOGRAPHY SHOWN ON THESE PLANS BY FIELD RUN SURVEY BY FOX & ASSOCIATES, INC. DATED JULY, 2013.
- GRID TICKS ARE SHOWN BASED ON NADB3 HORIZONTAL DATUM. VERTICAL CONTROL FOR THIS PLAN IS BASED ON COUNTY CONTROL NAVD.
- 15. THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- 16. THERE IS NO 100 YEAR FLOODPLAIN ON THIS SUBJECT PROJECT AREA AS SHOWN ON FEMA PANEL No. 240070 0080A DATED 5/1/1978.
- 17. SITE SIGNAGE SHALL BE BUILDING MOUNTED AND COMPLY WITH ZONING ORDINANCE SECTION 22.23.
- 18. THERE ARE NO WETLANDS ON THIS SITE.
- 19. FORESTATION REQUIREMENTS HAVE BEEN MET BY A PAYMENT-IN-LIEU PER RECORDED PLAT FOLIO 5563. 20. IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO
- ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS. 21. THERE WILL BE NO OUTSIDE STORAGE OF VEHICLES AND MATERIALS ON THIS SITE.
- 22. CONTRACTOR TO CONTACT KEN SHOWE AT WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY AT
- 23. THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY LISTS THE SOIL TYPE(S) ON SITE AS "KARST LANDSCAPE" SOILS. THE CONTRACTOR SHOULD BE ALERT FOR POSSIBLE SINKHOLES.
- 24. THE MAUGANSVILLE PUMP STATION HAS CAPACITY LIMITATIONS AT THIS TIME. THE COUNTY IS DEVELOPING A LONG TERM PLAN TO ADDRESS THIS ISSUE. ANY PROJECTS IN THE SHORT TERM WILL BE REQUIRED TO WORK WITH THE COUNTY ON DEVELOPMENT OF AN INTERIM PLAN TO ADDRESS ALLOCATION NEEDS AND CAPACITY IN THE MAUGANSVILLE PUMP STATION. THE DEVELOPER WILL NEED TO PROVIDE A PROPOSED DEVELOPMENT SCHEDULE AND WORK WITH THE COUNTY ON THE INTERIM PLAN. CAPACITY WILL BE DEPENDENT ON THE DEVELOPMENT AND APPROVAL OF THIS PLAN BY THE DIVISION OF ENVIRONMENTAL MANAGEMENT AND AS WITH ALL ALLOCATION NO GUARANTEES ARE PROMISED UNTIL THE COUNTY HAS ISSUED AN ALLOCATION / CONNECTION PERMIT FOR THE
- 25. PROPOSED STORM DRAIN PIPE MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T-180A STANDARDS.

Stormwater Management Narrative

240-313-2023 PRIUR TO SANITART SEWER LATERAL INSTALLATIO

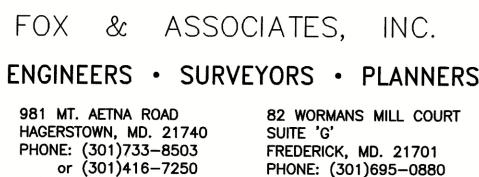
This Project is being designed to meet the new Maryland Stormwater Act of 2007 which supplements the oriainal 2000 Maryland Design Manual. Environmental Site Design (ESD) techniques must now be provided through structural and non-structural practices at the source to the maximum extent practical (MEP).

Due to the small parcel size, the commercial layout was developed with a surface sand filter to provide water quality. SWM quantity will be met within the sand filter facility which will overcompensate for the bypass area. The bypass area will receive water quality treatment by use of a filter inlet structure.

The surface sand filter facility will provide 100% of the site's WQv and a majority of the ESDv. WQv for the bypass area will be achieved with the installation of a filter inlet structure. The practices provided will treat all of the Water Quality Volume (WQv), all of the Recharge Volume (Rev) and all of the required Phosphorus Load Reduction

INDEX OF SHEETS

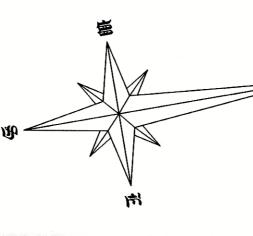
COVER SHEET	1
SITE PLAN	2
GRADING/SEDIMENT CONTROL PLAN	3
WATER QUALITY DETAILS	4
STORM DRAIN PROFILES & MISC. SITE NOTES & DETAILS	5
SEDIMENT CONTROL NOTES & DETAILS	6
SITE NOTES & DETAILS	
RETAINING WALL DETAILS	



or (301)416-7250 (301)733-1853 FAX: (301)293-6009

FAX:

www.foxassociatesinc.com email: foxassoc@foxassociatesinc.com



Project Name: _____MAUGANSVILLE CRS

SP-17-011 County Project No. (SP, PP, GP): ____

		ESD Practic	ces (Cl
TYPE	No.	DA (ACRES) (To Structure)	IMPE DA (To S

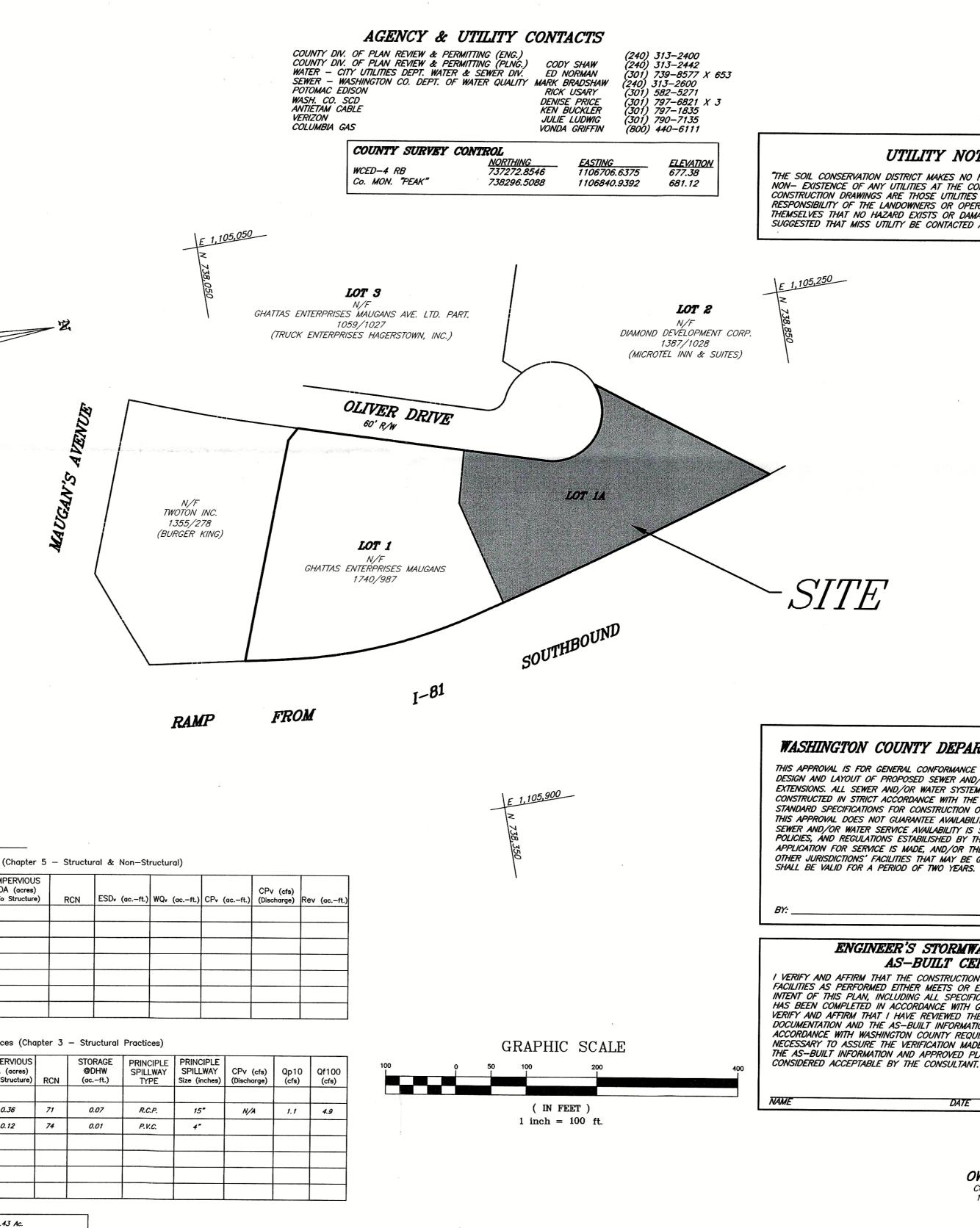
ESD	Practic

TYPE			IMPERVIOUS DA (acres) (To Structure)	RCN	ST © (4
SURFACE SAND FILTER		1.12	0.36	71	
FILTER INLET		0.31	0.12	74	
	I		LL		
Total DA (Site)			1.43 Ac.		
Construction Type (circle one)		(New) F	Redevelopment	Restora	tion

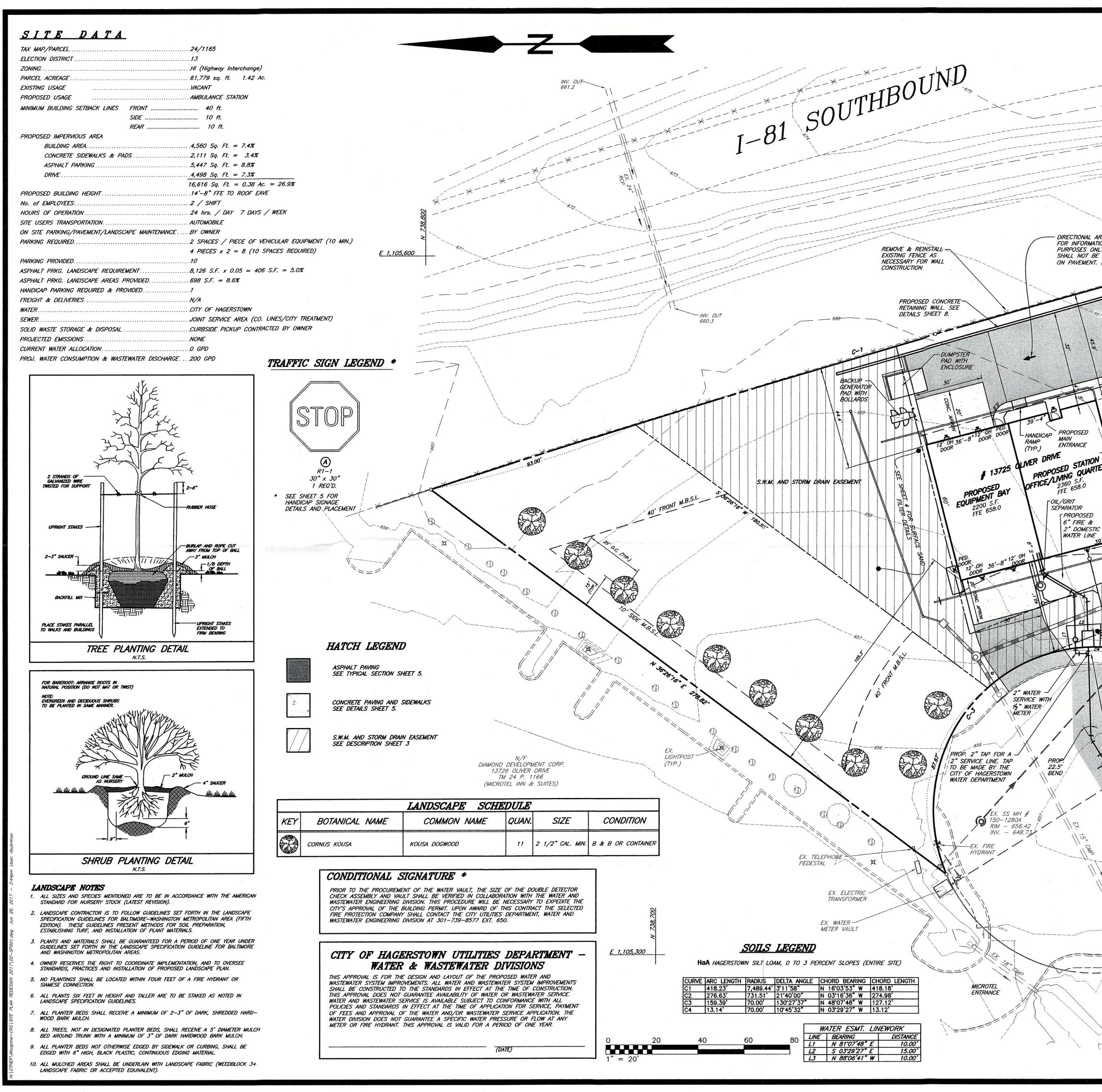
SITE PLAN

COMMUNITY RESCUE SERVICE LOT 1A GHATTAS SUBDIVISION (PLAT FOLIO 10508)

13725 OLIVER DRIVE WASHINGTON COUNTY, MARYLAND



AITDOF La St ADC MAP 42 **GRID BI** VICINITY MAP SCALE: 1"=2000' TAX MAP 24 GRID 15 PARCEL 1165 **NELLIVE** JUL 2.4 2017 WASHINGTON COLMAY PLAN REVIEW DEPARTMENT DISTURBED AREA QUANTITIES UTILITY NOTIFICATION "THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR 2,590 C.Y. OF EXCAVATION AND 10 NON- EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE ____ C.Y. OF FILL. CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS * THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1—800—257—7777 FOR BIDDING PURPOSES. WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY THIS PLAN / PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR SYSTEMS TRIBUTARY TO THE CITY OF HAGERSTOWN WASTEWATER TREATMENT PLANT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN / PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS FACILITIES THAT MAY BE GRANTED TO THE COUNTY DATE: ____ TE OF MAA, ENGINEER PROFESSIONAL CERTIFICATION T. NS. POFFEAL HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE No. 27053 56/STEFF STATE OF MARYLAND. LICENSE No. 27053 EXPIRATION DATE 1/25/18 ONAL GORDON POFFENBERGER, P.E. ENGINEER/ARCHITECT DESIGN CERTIFICATION HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND MEETS THE MARYLAND POND STANDARD 378. 6/26/1 27053 SIGNATURE OWNER/DEVELOPERS CERTIFICATION FOR CO. DPW WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR "I/WE CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE COUNTY (S-3) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABILISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL OWNER/DEVELOPER CERTIFICATION - SCD WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, ENGINEER'S STORMWATER MANAGEMENT AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF AS-BUILT CERTIFICATION TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT. I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS. AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO PKHARD JAMES TAYLOE VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL) OWNER / DEVELOPER APPROVED COMMUNITY RESCUE SERVICE WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING 110 EASTERN BLVD. NORTH HAGERSTOWN, MD. 21740 PHONE: (301) 331-5795 SIGNATURE DATE: SP-17-011 D-5468 SHEET 1 OF 8 JUL 24



& ASSOCIATI Est, 1966 Copyright © 2016 S **EXISTING I-81** SSOCIATES **RIGHT-OF-WAY** DIRECTIONAL ARROWS ARE FOR INFORMATIONAL PURPOSES ONLY AND FOX SHALL NOT BE INSTALLED ON PAVEMENT. (TYP.) REMAINDER OF LOT 1 40' FRONT M.B.S.L. - POLE MOUNTED LIGHT (TYP) E 1,105,500 r PROPOSED 6" FIRE & METE 2 2" DOMESTIC WATER LINE 6 2 FRONT M.B.S.L PROPOSED 37 FLAG POLES PROPOSED -30 L.F. DOUBLE WATER ESMT YELLOW LINE S -18" WHITE 5 STOP BAR 2 Q 2 EX. SSMH # 003 150-1280 SI - PROPOSEL RIM - 656.12 0 6" SDR26 Tros's . E 670.50' INV. - 648.07 CLEANOUT ZPROPOSED WATER VAULT W/ DOUBLE CHECK IND DETECTOR LIVER DRIVE FUNCTIONAL CLASSIFICATION: LOCAL - PROPOSED 6" Q WATER SERVICE 00 - PROPOSED 8" x 6" TAPPING SLEEVE & 6" TAPPING VALVE. TAP TO BE MADE BY THE CITY OF HAGERSTOWN WATER DEPARTMENT SCALE: 1'' = 20'PROFESSIONAL CERTIFICATION OF MAA' N/E---GHATTAS ENTERPRISES POFE MAUGANS AVENUE LIMITED PARTNERSHIP 18216 MAUGANS AVENUE TM 24 P. 1002 WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DULY LICENSED PROFESSIONAL DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR ------EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE ENGINEER UNDER THE LAWS OF THE AND DESCRIPTION OF TAXABLE PARTY OF TAXA STATE OF MARYLAND. CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. LICENSE No.: 27053 EXP. DATE: 1/25/18 THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. PROJECT NO. 15-31099 SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABILISHED BY THE COUNTY AND IN EFFECT AT THE TIME DRAWING NO. D-5468 APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS. MAY 2017 DATE:____ DRAWN BY:_____R.L.B. CHECKED BY: <u>G.S.P.</u> SHEET_2_OF_8_ SP-17-011



DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMORANDUM

TO: Washington County Planning CommissionFROM: Tim Lung, Director/Zoning AdministratorDATE: July 24, 2017

SUBJECT: Change/Intensification of Use Determination-Sam Royer (Rural Business Zoning)

The subject property is located along the south side of MD Rt 550 (Military/Fort Ritchie Road) and is Zoned RB-Rural Business. The owner of the property is seeking approval to expand an existing mini storage unit rental business within the existing RB zoned area which is made up of several parcels. When the RB zoning district was established, one of the parcels was being used for a laundry mat. In 2008 a change of use site plan was approved to replace the laundry mat with 13 mini storage units within an existing 37'x47' structure. The owner is now requesting to expand the business onto an adjacent vacant parcel by constructing an additional 106 mini storage units in 6 new buildings. According to the information submitted, setback variances will be sought from the Board of Zoning Appeals for a reduction from the required 50' to 25'.

Mini storage is considered a permitted use in the RB district. The applicant is requesting to expand onto a currently vacant, I.E. unused parcel. The establishment of a new use on the vacant parcel resulting in an intensification of the existing business currently located on an adjoining parcel warrants the Planning Commission's determination if the change will require the need for a new public hearing.

Washington Co. Zoning Ordinance section "5E.7 Changes in Land Use", addresses such applications

Changes of land use in approved RB floating districts shall be reviewed by the Planning Commission. Applicants may present information to the Planning Commission delineating how the change of land use may or may not be consistent with the approved site plan for the property. Only land uses permitted in the RB District described in Section 3.3 Land Use Chart of this Ordinance will be considered by the Planning Commission. It will be the determination of the Planning Commission as to whether or not there has been a significant change in the use and intensity of the property that could result in the need for a new public hearing to approve the changed use.

A copy of a concept plan for the proposed use is attached along with the applicant's explanation of the changes is attached.



July 19, 2017

Mr. Tim Lung Washington County Director of Plan Review 80 W. Baltimore St Hagerstown, MD 21740

RE: Sam Royer, RB District change of use

Tim,

In accordance with section 5E.7 of the Washington County Zoning Ordinance please accept this letter as a request to be heard before the Washington County Planning Commission on August 7, 2017. Our client and the owner of the property, Sam Royer would like to develop the remainder of his property as shown on the attached concept plan.

On a property that is currently improved with a building that is used as mini storage and apartment, the applicant has discovered a needed and successful use in the mini storage business. He would like to construct 6 storage buildings with the largest being 20'x110' and the smallest being 10'x90'. Construction would likely take place soon after all agencies have approved however only 50% of the units would be constructed initially.

Minimal traffic would be generated from this site, specifically during the peak hours.

Mini-storage is a principal permitted use in the RB district however a side and rear yard variance will sought from the Board of Zoning Appeals at Public Hearing.

This property was previously zoned RBE and was subsequently rezoned to RB during the Counties Comprehensive rezoning RZ-14-002.

Please consider not requiring this use or expansion the need to go back to a public hearing.

Thank you for your consideration.

Best regards,

Ed Schreiber Project Coordinator

RECEIVED

84 B.

JUL 2 4 2017

WASHINGTON COUNTY PLAN REVIEW DEPARTMENT

fsa-md.com

HAGERSTOWN, MD 128 S. Potomac Street Hagerstown, MD 21740 301.791.3650 GREENCASTLE, PA 20 W. Baltimore Street Greencastle, PA 17225 717.597.1007 CARLISLE, PA 101 N. Hanover Street Carlisle, Pa 17013 717.701.8111

