



Washington County

M A R Y L A N D

DEPARTMENT OF PLANNING & ZONING

COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION

REGULAR MEETING

June 5, 2017, 7:00 PM

WASHINGTON COUNTY ADMINISTRATION BUILDING

100 WEST WASHINGTON STREET

2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

MINUTES

1. May 1, 2017 Planning Commission regular meeting *

OLD BUSINESS

1. Todd Mike Investments LLC (SP-14-015) Requesting change in use/intensity of property located at 9222 Stottlemeyer Road; Zoning: RB (Rural Business); Planner: Cody Shaw *

NEW BUSINESS

SITE PLANS

1. Rosewood PUD, Phase II-B, Lots 71-105 (PSP-16-003) Preliminary Site Plan for Rosewood PUD, Phase II-B, Lots 71-105 along the northeast side of Professional Drive; Zoning RS/PUD (Residential Suburban/Planned Unit Development); Planner: Cody Shaw *
2. Med Express (SP-17-005) Site plan for Med Express located at 13527 Pennsylvania Avenue, Lot 1, on 0.63 acres of land; Zoning: PB (Planned Business); Planner: Cody Shaw *
3. Bowman Cornfield (SP-16-005) Site Plan for a proposed convenience store, restaurant and gas pumps on a 13.3 acre parcel located at the intersection of Lappans and Spielman Roads; Zoning: HI (Highway Interchange); Planner: Lisa Kelly *
4. Daley Drive Auto Sales (SP-16-034) Site Plan for Daley Drive Auto Sales located along the west side of Daley Drive on a 0.08 acre parcel; Zoning: A(R) (Agricultural Rural) with RB (Rural Business) floating zone; Planner: Lisa Kelly *
5. NTB Tire & Service Center (SP-17-004) Site Plan for proposed NTB Tire & Service Center located at 17608 Valley Mall Road on a 1.04 acre parcel; Zoning: PB (Planned Business); Planner: Lisa Kelly *

OTHER BUSINESS

1. Westfields Section 6 Proposed change to the cluster concept plan for Westfields; Planner: Lisa Kelly *
2. Update of Staff Approvals – Tim Lung
3. Rezoning Schedule – Steve Goodrich
4. Election of Officers

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, July 10, 2017, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administration Building, 100 W. Washington Street, 2nd Floor, Public Meeting Room #2000, Hagerstown, Maryland

**a t t a c h m e n t s*

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET

The Planning Commission reserves the right to vary the order in which the cases are called.

Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2435 Voice/TDD, to make arrangements no later than ten (10) days prior to the meeting. *Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.*

**WASHINGTON COUNTY PLANNING COMMISSION
REGULAR MEETING
May 1, 2017**

The Washington County Planning Commission held a regular meeting on Monday, May 1, 2017 at 7:00 p.m. at the Washington County Administration Building, 100 West Washington Street, Public Meeting Room 2000, 2nd Floor, Hagerstown, Maryland.

Commission members present were: Chairman Clint Wiley, Dennis Reeder, Robert Goetz, Jr., David Kline, Jeremiah Weddle and Ex-Officio Leroy Myers. Staff members present were: Washington County Department of Planning & Zoning - Stephen Goodrich, Director and Debra Eckard, Administrative Assistant; Washington County Department of Plan Review - Tim Lung, Deputy Director and Lisa Kelly, Senior Planner.

CALL TO ORDER

The Chairman called the meeting to order at 7:00 p.m.

MINUTES

Motion and Vote: Mr. Reeder made a motion to approve the minutes of the April 3, 2017 regular meeting as presented. The motion was seconded by Mr. Kline and unanimously approved.

NEW BUSINESS

-SITE PLANS

T-Mobile Pennsylvania Avenue (SP-16-048)

Ms. Kelly presented for review and approval a site plan for a proposed cell tower to be located along the east side of Pennsylvania Avenue on property owned by Richard Strite. The developer is proposing to construct a 120 foot silo commercial communications tower on a 60 x 80 foot leased area located on a 79 acre parcel of land. The silo will be made of concrete, 16 to 20 feet in diameter and designed to resemble existing silos on the farm. The communications tower will serve T-Mobile and have space available for 3 co-locations. The compound will have an 8 foot tall chain link fence with gate surrounding it with signs located on the fence. A special exception was granted by the Board of Zoning Appeals (BZA) in December 2016 to allow for the establishment of this tower in the A(R) (Agricultural Rural) zoning district. Several variances from the Zoning Ordinance were also granted by the BZA to reduce setbacks from a minimum of 128 feet to 30 feet on three sides and 50 feet on the east side of the tower. The site is exempt from Forest Conservation Ordinance requirements because there is less than 20,000 square feet of disturbance. All agency approvals have been received.

Discussion and Comments: Mr. Weddle expressed his opinion that the leased area should be larger to accommodate the size of the structure in case the structure would collapse. Mr. Justin Blanset, representing NB & C Engineering, stated that this type of cell tower is made of concrete and would be designed to collapse in on itself rather than topple over and would be contained within the leased area. He also explained that the company does not want to expand the area and interfere with on-going farming operations. Other Planning Commission members believe that most cell towers are now designed to collapse rather than topple over. Mr. Kline asked why the developer chose a silo style cell tower. Mr. Blanset stated that the Strite house is a registered structure with the Maryland Historical Trust and the developer believes the silo would be compatible with the character of the existing structures in the area and have less of a visual impact on the neighborhood. Mr. Wiley asked if the BZA will require the deconstruction of the cell tower if it is not used for a specified period of time. Mr. Blanset stated it is a condition that is noted on the site plan and Ms. Kelly stated that is a requirement of the Zoning Ordinance.

Motion and Vote: Commissioner Myers made a motion to approve the site plan as presented. The motion was seconded by Mr. Weddle and unanimously approved.

Sheetz – Downsville Pike (SP-16-049)

Ms. Kelly presented for review and approval a site plan for a proposed Sheetz convenience store with drive-thru and gas station. The site is located along the southeast side of Downsville Pike and west side of Venture Drive. The property is currently zoned HI (Highway Interchange). The developer is proposing to construct a 6,900 square foot convenience store with a building height of 20 feet on 2.80 acres. There will be two access points off of Venture Drive; no access will be available from or onto Downsville Pike. An order board and pick-up window will be located in the rear of the building as well as six gas pumps. Minimum stacking requirements will be met. The hours of operation will be 24 hours per day, 7 days per week. There will be 5 or 6 employees per shift. The site will be served by public water and public sewer. Parking required is 35 spaces; 46 spaces will be provided. Lighting will be building and pole mounted lights. The developer is proposing building mounted signs and 2 free-standing signs, one located near the intersection of Venture Drive and one located at the corner of the I-70 ramp and Downsville Pike. The Board of Zoning Appeals granted a variance in March 2017 allowing for a change in the setback from a minimum of 50 feet to 13.5 feet from the interstate right-of-way line and a setback from 25 feet to 13 feet for signs. The BZA also granted a variance to allow a free-standing sign, a canopy, and building mounted signs that will face adjacent properties that are zoned RS (Residential, Suburban). An enclosed dumpster will provide solid waste disposal. The bio-retention area will be enclosed by a 6 foot high chain link fence along the western property line and a 4 foot high chain link fence along the southern property line. Landscaping will include grasses, shrubs and trees, which will be placed throughout the parking lot. Forest Conservation Ordinance requirements were met by an off-site easement that was approved as an easement plat in 2002 when the subdivision around Venture Drive was created. All agency approvals have been received.

Written comments were provided to Commission members from Mr. Mark Stransky of the Department of Plan Review's engineering section. Comments included the following: a traffic signal will be installed at the intersection of Downsville Pike and Venture Drive (must be installed prior to the business opening); Venture Drive will be re-striped to create 3 lanes; the timing of the Downsville Pike/Halfway Boulevard and Downsville Pike/Oak Ridge Drive signals will be synchronized with the new traffic signal at Downsville Pike/Venture Drive; and, a traffic analysis based on ultimate development of the business park indicates that the Venture Drive thru-left turn lane will not adversely affect the operation of either entrance. A traffic signal plan is being performed separate from the site plan and has not been approved by the State Highway Administration at this time.

Motion and Vote: Mr. Reeder made a motion to approve the site plan as presented. The motion was seconded by Mr. Kline and unanimously approved with Mr. Goetz abstaining from the vote.

-OTHER BUSINESS

Update of Staff Approvals

Mr. Lung reported the following approvals for the month of April: 3 change of use site plans for Noel's Fire Protection on Kemp's Mill Road, Maryland Sheds on Halfway Boulevard, and North Paw's Animal Hospital on Maryland Route 62; and site plans for Sunbelt Rentals on Crayton Boulevard and Breakaways II on Pennsylvania Avenue. Mr. Lung noted that a report on new submittal activity for the month of April was not available due to upgrades on the County's project tracking system that occurred over the past week.

ADJOURNMENT

Commissioner Myers made a motion to adjourn meeting at 7:35 p.m. The motion was seconded by Mr. Kline and so ordered by the Chairman.

Respectfully submitted,

Clint Wiley, Vice-Chairman



Washington County

M A R Y L A N D

DIVISION OF
ENGINEERING & CONSTRUCTION MANAGEMENT
PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMORANDUM

TO: Washington County Planning Commission
FROM: Cody Shaw, Senior Planner
DATE: May 23, 2017
SUBJECT: Todd Mike Investment LLC Site Plan (SP-14-015)

A site plan was approved on 06/16/16 for Todd Mike Investments LLC for an "Online Auction of Construction Equipment (Contractors Storage Yard)" on property along the west side of Stottlemeyer Road north of National Pike. The property is zoned RB-Rural Business.

The applicant is requesting a change of use/intensity of the site and the Planning Commission's determination if the change will require the need for a new public hearing to approve the changed use.

5E.7 Changes in Land Use, addresses such applications

Changes of land use in approved RB floating districts shall be reviewed by the Planning Commission. Applicants may present information to the Planning Commission delineating how the change of land use may or may not be consistent with the approved site plan for the property. Only land uses permitted in the RB District described in Section 3.3 Land Use Chart of this Ordinance will be considered by the Planning Commission. It will be the determination of the Planning Commission as to whether or not there has been a significant change in the use and intensity of the property that could result in the need for a new public hearing to approve the changed use.

The proposed changes as depicted on the revised site plan can be summarized as follows:

- Change in functional description from Online Auction of Construction Equipment to Auction House. New use is permitted in the RB district.
- Change in Hours of operation from By appointment (no night time use) to 8 am to dusk 7 days/ week, auctions to occur periodically.
- Change in number of employees from 2 to 12.
- Change in Deliveries from One tractor trailer daily to Event related truck traffic and occasional off-hours deliveries.

- Change in total number of parking spaces provided from 9 to 25 based on one space per employees plus 1 space for each expected auction attendee (13)
- Increase in size of contractor outside storage area.
- Inclusion of a non- permanent event tent.
- Inclusion of a sign (4'x6', 6 ft. high).
- Additional vegetative screen planting along Stottlemeyer road.
- No new area of disturbance or paving.

A copy of revised site plan with the proposed changes shown in red is attached. The applicant will provide additional explanation of the change at the Planning Commission meeting.

In addition, the applicant went in front of the Board of Zoning appeals to request a variance from the requirement to provide a stable, dust free surface for a parking lot. The BZA granted their request on April 19, 2017 and the opinion has been included.

**BEFORE THE BOARD OF APPEALS
FOR WASHINGTON COUNTY, MARYLAND**

**Todd Mike Investments LLC
Applicant**

Appeal No. AP2017-013

OPINION

This appeal is a request for a variance from the requirement to provide a stable, dust-free surface for a parking lot. The subject property is located at 9222 Stottlemyer Road, Boonsboro, Maryland; is owned by the Applicant; and is zoned Agricultural (Rural) with a Rural Business overlay. The Board held a public hearing on the matter on April 19, 2017.

Findings of Fact

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. The Applicant seeks a variance from the stable, dust free surface requirement imposed by the Ordinance so that overflow parking may occur in grassy areas of the property.
2. The Applicant operates a heavy equipment online auction facility on the subject 18.85-acre property.
3. The use is a principally permitted use in this district.
4. While the auctions occur online (via www.proxibid.com or www.equipmentfacts.com), some customers are present onsite to view the equipment in person.
5. The Applicant has held two auctions thus far, with no more than 25 onsite customers at each event.
6. The site has 25 paved spaces.
7. Strict compliance with the Ordinance would require about one acre of paved, impervious surface.
8. The Applicant anticipates that there will be no more than 15 events per year needing to use overflow parking.

9. No opposition was presented to this request.

Rationale

Section 22.12(f)iv of the Ordinance requires that parking surfaces be stable and dust free. This Board has authority to grant a variance upon a showing of practical difficulty or undue hardship.¹ §§ 25.2(c) and 25.56. "Practical Difficulty" may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variance would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A).

The Applicant is operating an online auction facility on the property. The use is permitted. As the auction is conducted online, most "attendees" participate virtually, via computer. Some participants do visit the site, however, to inspect the equipment on auction days. Those days occur no more than fifteen times per year. History has shown that onsite visitors numbered around 25, which matches the number of paved parking spaces available on the 18.85-acre property.

The Applicants propose allowing the property to remain in its grassy state. Overflow parking beyond the 25 paved spaces would occur on the grass. This seems reasonable given the attendant circumstances.

Strict compliance with the Ordinance would require paving approximately one acre of land. This would be costly and unnecessarily burdensome to the Applicant and the environment. Obviously, the Applicant would incur significant expense in grading, paving, and stormwater management efforts. No lesser relaxation is available here; the parking area is either paved or not. Moreover, strict compliance with the parking standard would create about 42,000 sq. ft. of impervious surface, which would increase stormwater runoff and diminish drainage area, just to satisfy potential but unproven parking needs on—perhaps—15 days of the year. This regulatory requirement makes conformance unnecessarily burdensome for the Applicant and secures questionable benefit for the public. As the overflow parking area will suit the needs of attendees and maintain the property in its natural condition, we believe that the grant of variance relief observes the spirit of the Ordinance and secures public safety and welfare.

Accordingly, by a vote of 5–0, this request for a variance is hereby GRANTED WITH THE CONDITION THAT NO MORE THAN 15 EVENTS PER YEAR MAY USE THE UNPAVED OVERFLOW PARKING AREA.

BOARD OF APPEALS
By: Matt Harsh, Chair

Date Issued: May 19, 2017

**PRELIMINARY PLAT SITE PLAN STAFF REPORT****BASE INFORMATION**

SITE NAME.....: ROSEWOOD P.U.D. - PH.IIB - LTS. 71-105
NUMBER.....: PSP-16-003

OWNER.....: ROSEWOOD VILLAGE PHASE IIB LLC 72 WEST WASHINGTON STREET
LOCATION.....: PROFESSIONAL DRIVE NE/S
DESCRIPTION.....: PRELIMINARY PLAT/SITE PLAN FOR ROSEWOOD PUD PHASE II-B LOTS 71-105 rev 1

ZONING.....: RSPD Refer to Map
COMP PLAN LU.....: Mixed Use Development
PARCEL.....: 18030764
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 18

TYPE.....: PD
GROSS ACRES.....: 3.82
DWELLING UNITS.....: 35
TOTAL LOTS.....: 35
DENSITY.....: 9.1623 Units Per Acre

PLANNER.....: Cody L Shaw
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: November 29, 2016

SITE ENGINEERING**HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION**

FLOOD ZONE.....: None
WETLANDS.....: None
WATERSHED.....: None
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
HISTORIC INVENTORY.....: NOT HIST NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None



WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT | PLAN REVIEW

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

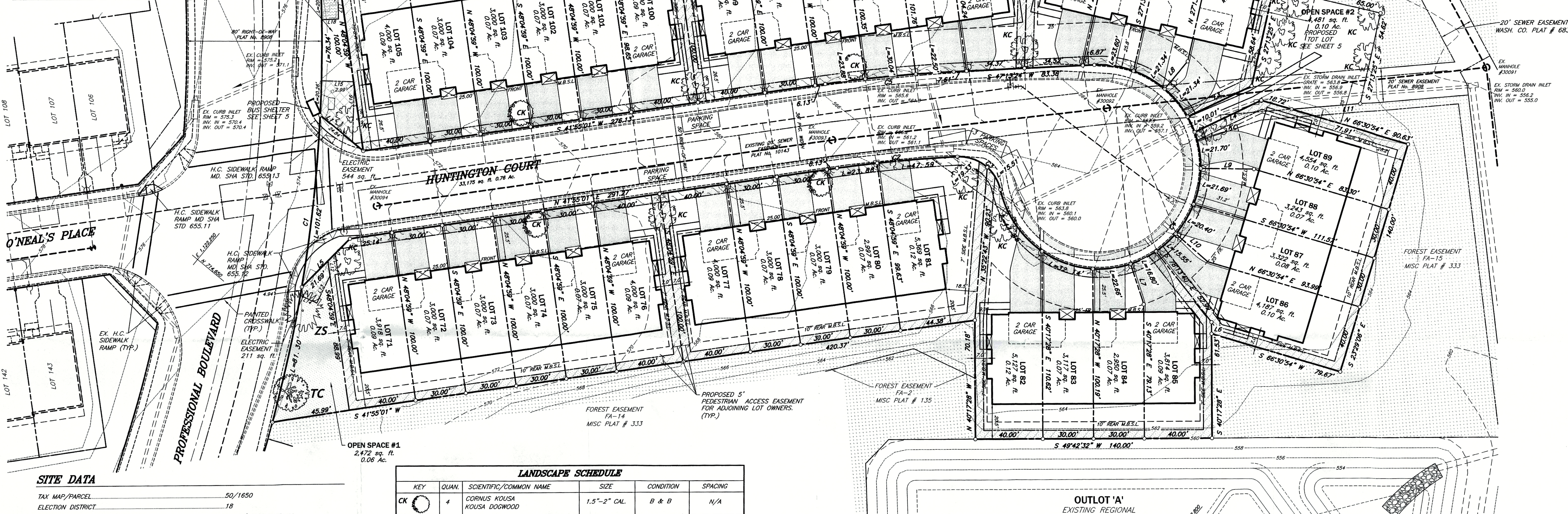
5824 HUNTINGTON COURT

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	28	6	5
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			





PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	10
AMBULANCE DISTRICT.....:	75

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	C	C
SERVICE AREA.....:	C	C
PRIORITY.....:	1	1
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Hagerstown

LINE	BEARING	DISTANCE
L1	N 89°36'30" E	33.10'
L2	S 27°13'25" E	14.01'
L3	S 24°34'59" W	41.84'
L4	N 24°34'59" E	43.60'
L5	N 05°23'32" E	40.18'
L6	S 40°17'28" E	6.91'
L7	S 58°06'07" E	29.00'
L8	N 00°08'42" E	21.13'
L9	N 00°48'14" E	37.46'
L10	S 88°58'14" E	40.69'
L11	S 45°30'02" W	40.69'
L12	S 49°04'59" E	8.80'
L13	S 14°05'25" E	17.90'
L14	S 75°54'35" W	10.79'
L15	N 51°44'53" E	18.98'
L16	S 38°15'07" E	32.56'
L17	S 41°46'13" E	21.22'
L18	S 47°55'35" W	10.20'



TAX MAP/PARCEL.....	50/1650	
ELECTION DISTRICT.....	18	
ZONING.....	RS W/ PUD OVERLAY	
EXCISE TAX CLASSIFICATION.....	RESIDENTIAL	
TOTAL LOTS.....	35 RESIDENTIAL TOWNHOME LOTS	
BUILDING HEIGHT.....	2 STORY (30' ±)	
BUILDING SETBACKS.....	FRONT..... 25 Ft.	
	SIDE..... 7 Ft. (EXTERIOR SIDE ONLY)*	
	REAR..... 10 Ft.	
IMPERVIOUS AREA.....		
BUILDING AREA.....	56,407 Sq. Ft.	1.29 Ac.
ASPHALT PARKING/DRIVE AREA.....	44,328 Sq. Ft.	1.02 Ac.
CONC. SIDEWALK/DUMPSTER AREA.....	6,428 Sq. Ft.	0.15 Ac.
	107,163 Sq. Ft. = 2.46 Ac.	= 64.4%
TOTAL BUILDING SQUARE FOOTAGE.....	56,407 S.F.	
EXCISE TAX CALCULATION.....	\$1.00/SF (RESIDENTIAL) =	\$ 56,407
WATER CLASSIFICATION.....		W-1
SEWER CLASSIFICATION.....		S-1
COUNTOURS.....	PHOTOGRAMMETRY & FIELD RIN	
WATER SERVICE.....		CITY OF HAGERSTOWN
SEWER SERVICE.....		CITY OF HAGERSTOWN
TRASH & RECYCLABLES.....		CURBSIDE PICKUP
GROSS DWELLING UNIT DENSITY.....	9.2 UNITS / ACRE (THIS SECTION)	
PARKING REQUIRED.....	2.5 SPACES / UNIT = 88 SPACES	
PARKING PROVIDED.....	END UNITS = 2 SPACES IN DRIVEWAY + 1 IN GARAGE = 3 x 14 = 42	
	INTERIOR UNITS = 2 SPACES IN DRIVEWAY = 2 x 21 = 42	
	SPACES ON STREET = 5	
	TOTAL PARKING PROVIDED = 89	
PARKING RATIO.....	2.5 SPACES / UNIT	
PROJECTED DAILY SEWERAGE EFFLUENT.....		7,000 G.P.D.
EXISTING WATER ALLOCATION.....		0 G.P.D.
PROPOSED WATER ALLOCATION.....	35 LOTS x 200 = 7,000 G.P.D.	
PROJECTED MARKETING METHOD.....		UNITS LOT SALES
TENTATIVE PROJECTED BUILDING SCHEDULE.....		2 - 3 YEARS
DEVELOPMENT RESPONSIBILITIES LANDSCAPING & RECREATION FACILITIES.....		DEVELOPER

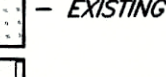
KEY	QUAN.	SCIENTIFIC/COMMON NAME	SIZE	CONDITION	SPACING
CK 	4	CORNUS KOUSA KOUSA DOGWOOD	1.5"-2" CAL.	B & B	N/A
KC 	13	PRUNUS SERRULATA KWANSAN CHERRY	1.5"-2" CAL.	B & B	N/A
TC 	1	TILIA CORDATA "GREEN SPIRE" GREEN SPIRE LITTLE LEAF LINDEN	1.5"-2" CAL.	B & B	N/A
ZS 	1	ZELKOVA SERRATA "GREEN VASE" GREEN VASE JAPANESE ZELKOVA	1.5"-2" CAL.	B & B	N/A

TOTAL AREA OF LOTS..... 124,970 S.F. or 2.87 Ac.
TOTAL AREA OF OPEN SPACE..... 8,450 S.F. or 0.19 Ac.
AREA OF RIGHT-OF-WAY..... 33,175 S.F. or 0.76 Ac.

TOTAL AREA THIS SECTION..... 166,595 S.F. or 3.82 Ac.
TOTAL No. OF LOTS = 35 RESIDENTIAL



- ♂ SINGLE WATER METER
- ♀ DOUBLE WATER METER
- ♂ SINGLE SEWER HOUSE CONNECTION
- ♀ DOUBLE "Y" SEWER HOUSE CONNECTION



- EXISTING PLATTED FOREST CONSERVATION AREA
- EXISTING ACCESS EASEMENT
- PROPOSED PAVED DRIVEWAY
- PROPOSED PEDESTRIAN ACCESS EASEMENT
- PROPOSED ELECTRIC EASEMENT

NOTE: GARAGES ARE TO BE ONE CAR GARAGES
EXCEPT WHERE NOTED.

OUTLOT 'A'
EXISTING REGIONAL
S.W.M. FACILITY
PLAT No. 6831

IF WATER METERS ARE IN DRIVEWAYS, THE WATER METER WILL NEED TO BE RELOCATED.

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS PART OF THE LANDS CONVEYED BY MANSOOR & JANET SHAOL, TO ROSEWOOD VILLAGE PHASE II B L.L.C. BY DEED DATED DEC. 8, 2006 AND RECORDED AT LIBER 3175, FOLIO 483 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

04/12/2017
DATE


MARYLAND REG. No. 2150621052

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER AND WASTEWATER SYSTEM IMPROVEMENTS. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER OR WASTEWATER SERVICE. WATER AND WASTEWATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL CITY OF STANFORD STANDARDS AND ORDINANCES. THIS APPROVAL DOES NOT INCLUDE FEES AND APPROVAL OF THE WATER AND/OR WASTEWATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) Stumpf (DATE) 4/18/17

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE "C"
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

RECEIVED

PRELIMINARY PLAT / SITE PLAN / LANDSCAPE PLAN

ROSEWOOD P.U.D.

HUNTINGTON COURT

*SITUATE ALONG THE NORTHEAST SIDE OF
PROFESSIONAL BOULEVARD
WASHINGTON COUNTY MARYLAND*

SCALE: 1"=30'

PROFESSIONAL CERTIFICATION

STATE OF MARYLAND
GORDON S. POFFENBERGER
No. 27053
REGISTERED
PROFESSIONAL ENGINEER

[Signature] 4/12/17

I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND.

LICENSE NO.: 27053 EXP. DATE: 1/25/18

PROJECT NO. 16-50804
DRAWING NO. D-5797
DATE: AUGUST 2016
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 2 OF 6

PSP-16-003



DIVISION OF
ENGINEERING & CONSTRUCTION MANAGEMENT
PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMORANDUM

TO: Washington County Planning Commission
FROM: Cody Shaw, Senior Planner
DATE: May 23, 2017
SUBJECT: MedExpress Site Plan (SP-17-005)

A site plan has been submitted for review and approval for MedExpress on a parcel along the east side of Pennsylvania Avenue. The property is zoned PB-Planned Business.

The applicant is proposing MedExpress on the site. The functional description for this site is a medical office. The site is currently occupied by a Pizza Hut, and the applicant is looking to redevelop the existing site.

The proposed improvements are shown on the site plan can be summarized as follows:

- Functional description is a medical office
- Hours of operation are 8 AM to 8 PM seven days a week
- Number of employees is 14
- Total required parking spaces is 25; total parking provides is 33 spaces
- Existing impervious area is being reduced by 1.9%
- Site is served by City Water and County Sewer
- Stormwater is being handled by using existing stormwater facilities in addition to lawn/landscaping improvements

A copy of the site plan sheet and landscaping sheet are attached.



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: MED EXPRESS - 13527 PENNSYLVANIA AVE.
NUMBER.....: SP-17-005

OWNER.....: TVC, LLC BRIAN D. KOTZKER
LOCATION.....: PENNSYLVANIA AVE E/S
DESCRIPTION.....: FULL SITE PLAN FOR MED EXPRESS

ZONING.....: Planned Business
COMP PLAN LU.....: Commercial
PARCEL.....: 27030483
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 27

TYPE.....: Commercial
GROSS ACRES.....: 0.63
DWELLING UNITS.....: N/A
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: CLS
ENGINEER.....: MCILVRIED DIDIANO & MOX, LLC
RECEIVED.....: March 06, 2017

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: None
WETLANDS.....: None
WATERSHED.....: None
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: NOT HIST NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None



SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
86	85	0
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
0	N/A	Dumpster, private hauler
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
No outside storage of materials	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes	Yes	N/A
Loading Area Meets Requirements		Not Fast Track
Yes		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
33	N/A	
Parking Spaces - Minimum Required	Recreational Parking Provided	
25	No	

ACCESS SPACING VARIANCE NEEDED: No
NUMBER OF ACCESS POINTS: 2

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	4	3	3
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	27
AMBULANCE DISTRICT.....:	M7

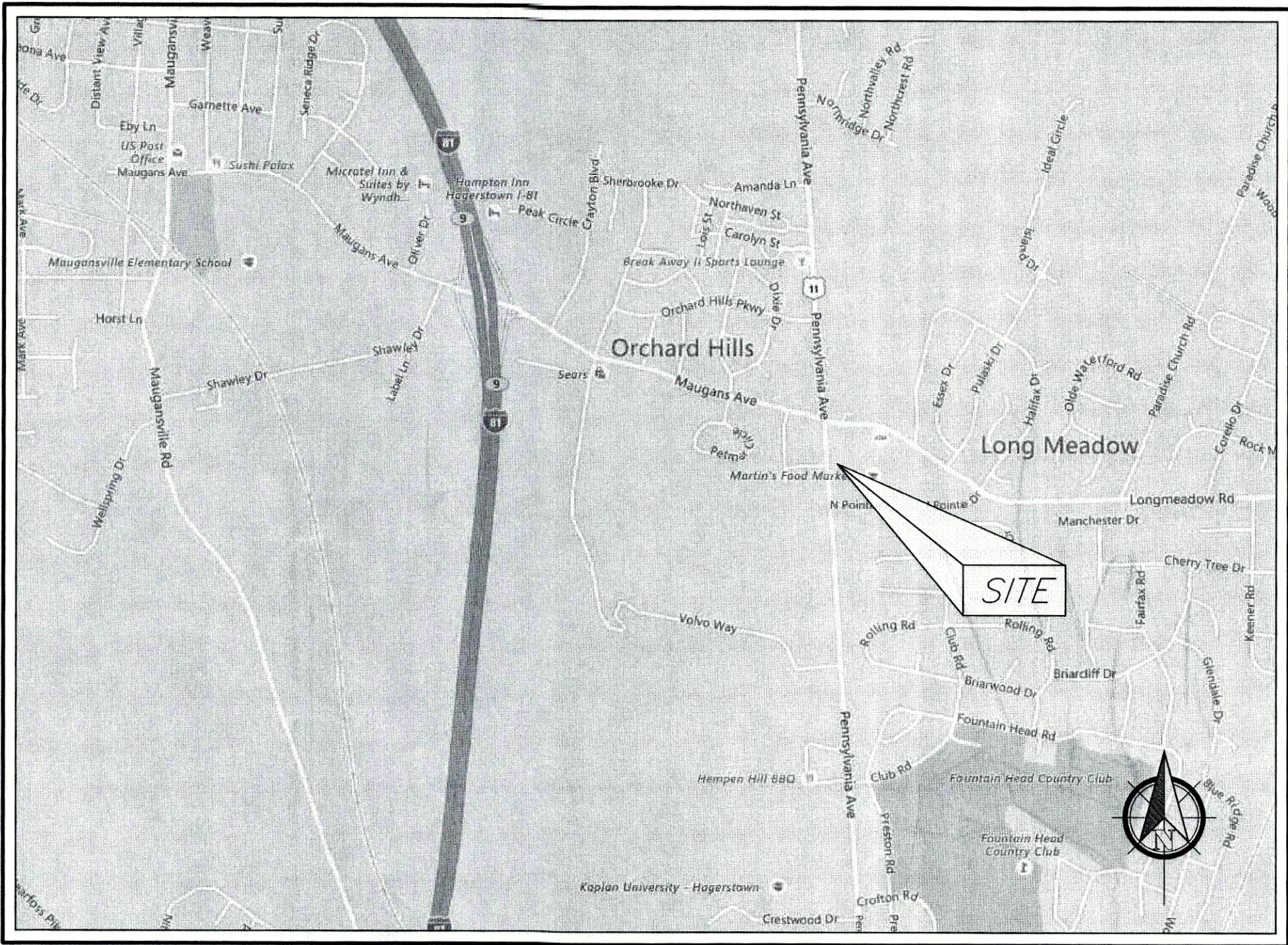
	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	C	C
SERVICE AREA.....:	C	C
PRIORITY.....:	1	1
NEW HYDRANTS.....:	N/A	
GALLONS PER DAY SEWAGE...:	320 GPD	
PLANT INFO.....:	Hagerstown	Hagerstown

Preliminary/Final
Land Development Plans

Prepared for:
MedExpress
13527 Pennsylvania Avenue
27th Electoral District,
County of Washington
State of Maryland

Prepared By:
MDM
McILVRIED, DIDIANO, & MOX, LLC
Site Planners • Engineers • Surveyors
8851 Kind Drive
Pittsburgh, PA 15237
Ph.: (724) 934-2810 fax: (724) 934-2811
mdmcadd@mdmlc.com
www.mdmlc.com

Prepared For:
MedExpress
370 Southpointe Boulevard
Canonsburg, PA 15317
Owner:
TVC, LLC
Brian D. Kotzker
c/o Berlin Ramos & Company
1200 Rockville Pike, Suite 400
Rockville, MD 20852
(301) 986-9600



SITE LOCATION MAP
SCALE: 1"=1000'
RECEIVED
MAY 22 2017

SWM SUMMARY TABLE

Table with 2 columns: Description and Value. Rows include: PROJECT NAME: MEDEXPRESS, COUNTY PROJECT No. SP-17-005, EXISTING IMPERVIOUS AREAS = 28,802 FT², PROPOSED IMPERVIOUS AREAS = 28,141 FT², IMPERVIOUS AREA REDUCTION = 661 FT², REQUIRED ESDv = N/A.

Table with 10 columns: TYPE, No., DA (ACRES) (to structure), IMPERVIOUS DA (acres) (to structure), RCN, ESDv (ac-ft), WQv (ac-ft), CPv (ac-ft), CPv (cfs) (proposed), REV (ac-ft). Row 1: NA, *, 0.780, 0.646, 92, NA, NA, NA, NA, NA.

* EXISTING STORMWATER MANAGEMENT & WATER QUALITY STRUCTURE

STORMWATER NARRATIVE (BRIEF)
MEDEXPRESS PLANS TO REDEVELOP AN EXISTING DEVELOPED SITE AREA LOCATED AT 13527 PENNSYLVANIA AVENUE IN THE 27TH ELECTION DISTRICT, WASHINGTON COUNTY, MARYLAND.

THE SITE AREA CURRENTLY CONSISTS OF AN EXISTING BUILDING (PIZZA HUT), PAVED PARKING AREA WITH SOME LANDSCAPED AREAS, AND A STORMWATER MANAGEMENT/WATER QUALITY SYSTEM. STORMWATER GENERALLY SHEET FLOWS ACROSS THE PAVED PARKING AREA TO TWO EXISTING STORM INLETS LOCATED IN THE PAVED PARKING AREA. ALL OF THE STORMWATER RUNOFF FROM THE EXAMINED DRAINAGE AREA IS COLLECTED AND MANAGED BY THE EXISTING STORMWATER MANAGEMENT/WATER QUALITY SYSTEM.

THE PROPOSED REDEVELOPMENT PROJECT WILL INCLUDE THE DEMOLITION OF THE EXISTING BUILDING, REMOVAL AND REPLACEMENT OF A PORTION OF THE EXISTING BITUMINOUS PAVEMENT, A PORTLAND CEMENT CONCRETE PAD FOR THE TRASH CORRAL AREA, ROOF DRAINS TIED TO THE EXISTING STORMWATER MANAGEMENT SYSTEM, AND LAWN/LANDSCAPING IMPROVEMENTS. THE PROPOSED REDEVELOPMENT WILL REDUCE THE EXISTING IMPERVIOUS AREA BY APPROXIMATELY 661 FT² (1.9%).

THERE WILL BE NO NOTICEABLE CHANGE IN THE PEAK RATE OR VOLUME OF STORMWATER GENERATED FROM THE EXAMINED DRAINAGE AREA AFTER REDEVELOPMENT AS COMPARED TO THE CURRENT, EXISTING CONDITIONS. THE EXISTING STORMWATER FACILITY TREATS QUALITY AND QUANTITY, THEREFORE, REDEVELOPMENT VOLUME REQUIREMENTS HAVE BEEN MET.

SEE STORMWATER REPORT FOR MEDEXPRESS, 13527 PENNSYLVANIA AVENUE, 27TH ELECTION DISTRICT, WASHINGTON COUNTY, MARYLAND, FEBRUARY 3, 2016 FOR ADDITIONAL INFORMATION AND SUPPORTING CALCULATIONS.

Table with 2 columns: Description and Value. Rows include: TOTAL DA (SITE) 0.740 ACRES, CONSTRUCTION TYPE NEW, REDEVELOPMENT, RESTORATION.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0.74 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 22 C.Y. OF EXCAVATION AND 320 C.Y. OF FILL.

*THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

Issue Date: 01/26/17
Rev. 1: 05/01/17
Rev. 2: 05/12/17

Table with 2 columns: Description and Value. Rows include: WATER & WASTEWATER ALLOCATION, EXISTING WATER ALLOCATION 1400 G/D, PROPOSED ESTIMATED DAILY WATER USAGE 320 G/D, PROPOSED ADDITIONAL WATER ALLOCATION 0 G/D, PROPOSED PEAK DEMAND 22.5 GPM, EXISTING SEWER ALLOCATION 7 EDU'S, PROPOSED ESTIMATED DAILY SEWER USAGE 320 G/D.

NOTES:
1. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY DIVISION OF PUBLIC WORKS.

DRAWING INDEX

- Cover Page
1 of 2 Survey 1 of 2
2 of 2 Survey 2 of 2
C001 Demolition Plan
C101 Site Plan
C102 Pedestrian Accessibility
C103 Site Details
C201 Grading Plan
C301 Utility Plan
C302 Utility Details
C401 Erosion & Sediment Control Plan
C401A BMP Drainage Areas
C402 Erosion & Sediment Control Notes (1 of 2)
C403 Erosion & Sediment Control Notes (2 of 2)
C404 Erosion & Sediment Control Details
C501 Landscape Plan
E-12A Site Lighting Photometric Plan

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEMS TRIBUTARY TO THE CITY OF HAGERSTOWN WASTEWATER TREATMENT PLANT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS FACILITIES THAT MAY BE GRANTED TO THE COUNTY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

OWNER/DEVELOPER CERTIFICATION

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE PRINTED NAME SIGNATURE

OWNER CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

SIGNATURE OF OWNER/DEVELOPER TITLE DATE

DEVELOPER CERTIFICATION

I/WE CERTIFY THAT ALL GRADING ON THIS SITE WILL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND THE CURRENT GRADING REQUIREMENTS AS SET FORTH BY WASHINGTON COUNTY.

SIGNATURE OF OWNER/DEVELOPER TITLE DATE

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE REG. No. SIGNATURE

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY:
DATE:

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

APPROVED:
WASHINGTON COUNTY DIVISION OF PLAN REVIEW
AND PERMITTING

SIGNATURE DATE

LEGEND OF SYMBOLS

Contour Line	--- 645 ---
Water Line	--- W --- W ---
Gas Line	--- G --- G ---
Overhead Electric, Telephone & Cable Line	--- E/T/C ---
Underground Cable Line	--- UC --- UC ---
Underground Electric Line	--- UE --- UE ---
Underground Telephone Line	--- UT --- UT ---
Storm Sewer	--- SS --- SS ---
Sanitary Sewer	--- SS --- SS ---
Easements	--- E --- E ---
Setback Line	--- S --- S ---
Depressed Curb	--- D --- D ---
Guard Rail	--- GR --- GR ---

Turn Arrows	Traffic Flow Arrow
Handicap Symbol	Benchmark
Storm Inlet	Light Pole
Truncated Domes	Iron pin w/cap set (unless otherwise noted)
Iron Pin Found	Electric Meter
Storm Manhole	Gas Meter
Sanitary Manhole	Gas Valve
Telephone Manhole	Water Meter
Grease Trap	Fire Hydrant
Cleanout	Water Valve
Utility Pole	Elec. Pedestal
Guy Wire	Tele. Pedestal
Sign	Spot Elevation
Illuminated Signs	Bollard
Trees	Wheel Stop

R/W Right-of-Way
PVC Polyvinyl Chloride
HDPE High Density Polyethylene
CMP Corrugated Metal Pipe
F.F.E. Finished Floor Elevation

Existing Curb Elevations:
TC=Top of Curb
FC=Bottom of Curb

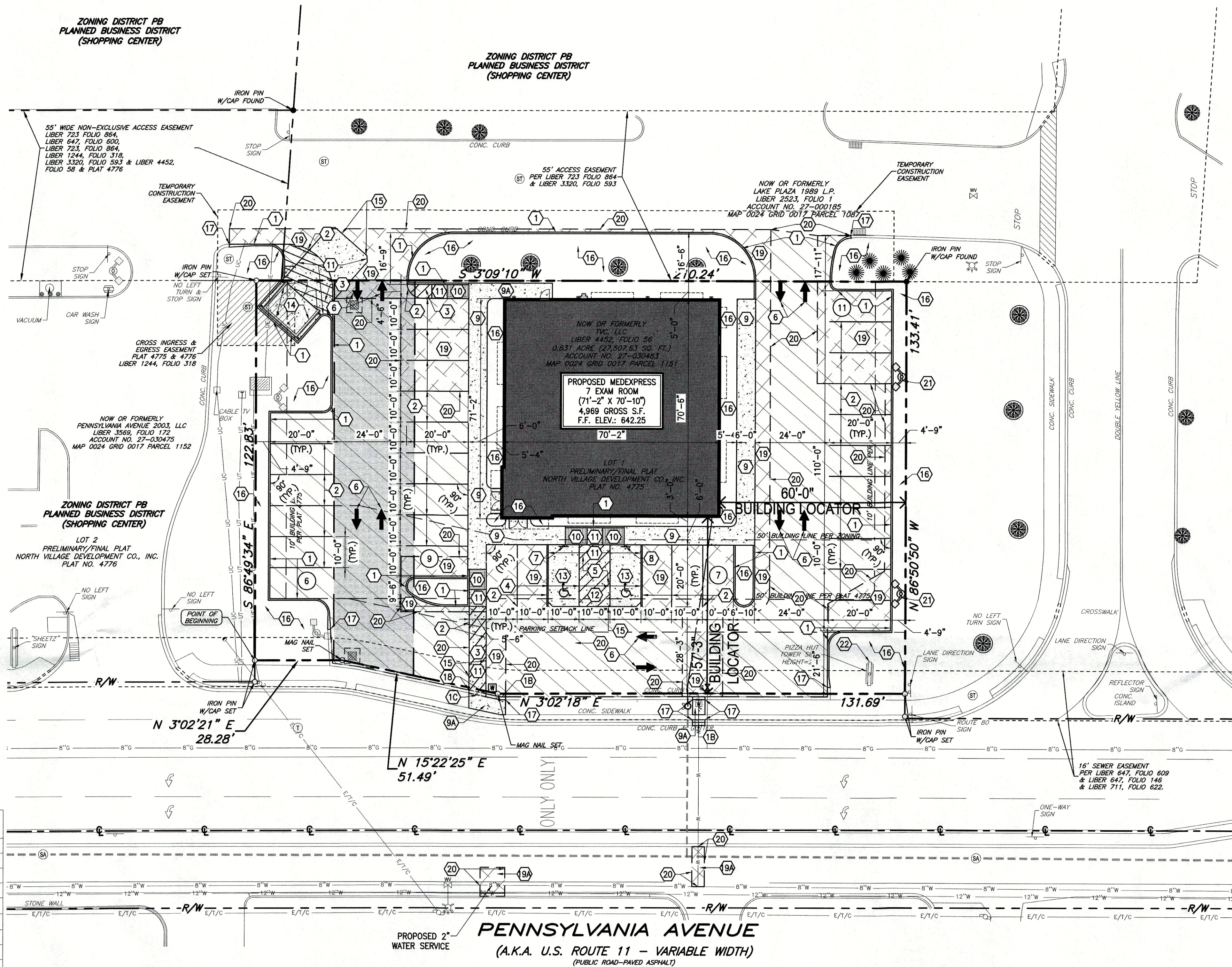
Concrete
STORM WATER MANAGEMENT ACCESS AND MAINTENANCE EASEMENT

ASPHALT PAVEMENT LEGEND

FULL DEPTH ASPHALT. COORDINATE WITH MEDEXPRESS REPRESENTATIVE.
MILLING AND OVERLAY. COORDINATE WITH MEDEXPRESS REPRESENTATIVE.

SITE DATA

TAX MAP	- MAP 24, GRID 17, PARCEL 1151
ELECTION DISTRICT	- 27
ZONING	- PB PLANNED BUSINESS DISTRICT
MINIMUM FRONT YARD SETBACK	- 50 FEET
MINIMUM SIDE YARD SETBACK	- N/A
MINIMUM REAR YARD SETBACK	- N/A
MAXIMUM BUILDING HEIGHT	- 35 FEET
FUNCTIONAL DESCRIPTION	- MEDICAL OFFICE
NUMBER OF EMPLOYEES	- 14
HOURS OF OPERATION	- 8:00 AM TO 8:00 PM
DELIVERIES	- UPS/FEDEX, WEEKLY
PARCEL AREA	- PARCEL 1151, 0.631AC
PROPOSED BUILDING AREA	- 4,969 Sq.Ft.
PROPOSED BUILDING HEIGHT	- 28'-4"
IMPERVIOUS AREA (PROPOSED ONSITE)	- 23,754 Sq.Ft. (86%)
TOTAL PARKING REQUIRED	- 25 SPACES
TOTAL PARKING PROVIDED	- 33 SPACES
REGULAR	- 31
HANDICAP	- 2
WATER SERVICE	- CITY WATER
EXISTING WATER ALLOCATION	1400 G/D
PROPOSED ESTIMATED DAILY WATER USAGE	320 G/D
PROPOSED ADDITIONAL WATER ALLOCATION	0 G/D
PROPOSED PEAK DEMAND	22.5 GPM
SEWER SERVICE	- COUNTY SEWER
EXISTING SEWER ALLOCATION	7 EDU'S
PROPOSED ESTIMATED DAILY SEWER USAGE	320 G/D
SITE LIGHTING	- POLE AND BUILDING MOUNTED
SOLID WASTE	- TRASH CORRAL, PRIVATE HAULER
SIGNAGE	- 25' HIGH (REFACE EXISTING TOWER SIGN)
FORESTATION	- EXEMPT
SENSITIVE AREAS	- NONE KNOWN



ZONING INFORMATION

ZONING DISTRICT - PB (PLANNED BUSINESS DISTRICT (SHOPPING CENTERS))
A CLINIC IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

MINIMUM LOT AREA	- NO REQUIREMENT FOR INDIVIDUAL LOTS WITHIN SHOPPING CENTER
MINIMUM LOT WIDTH	- NO REQUIREMENT FOR INDIVIDUAL LOTS WITHIN SHOPPING CENTER
MINIMUM FRONT YARD SETBACK	- 50 FEET FROM R/W LINE
MINIMUM SIDE YARD SETBACK	- NO REQUIREMENT
MINIMUM REAR YARD SETBACK	- NO REQUIREMENT
MINIMUM PARKING SETBACK	- 20' FEET FROM R/W LINE
MAXIMUM BUILDING HEIGHT	- 35 FEET
MAXIMUM IMPERVIOUS COVERAGE	- 85%

ZONING INFORMATION WAS OBTAINED FROM:

WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING
STEPHEN GOODRICH, DIRECTOR
100 WEST WASHINGTON STREET, WEST ENTRANCE
HAGERSTOWN, MD 21740
(240) 313-2431

PARKING REQUIREMENTS

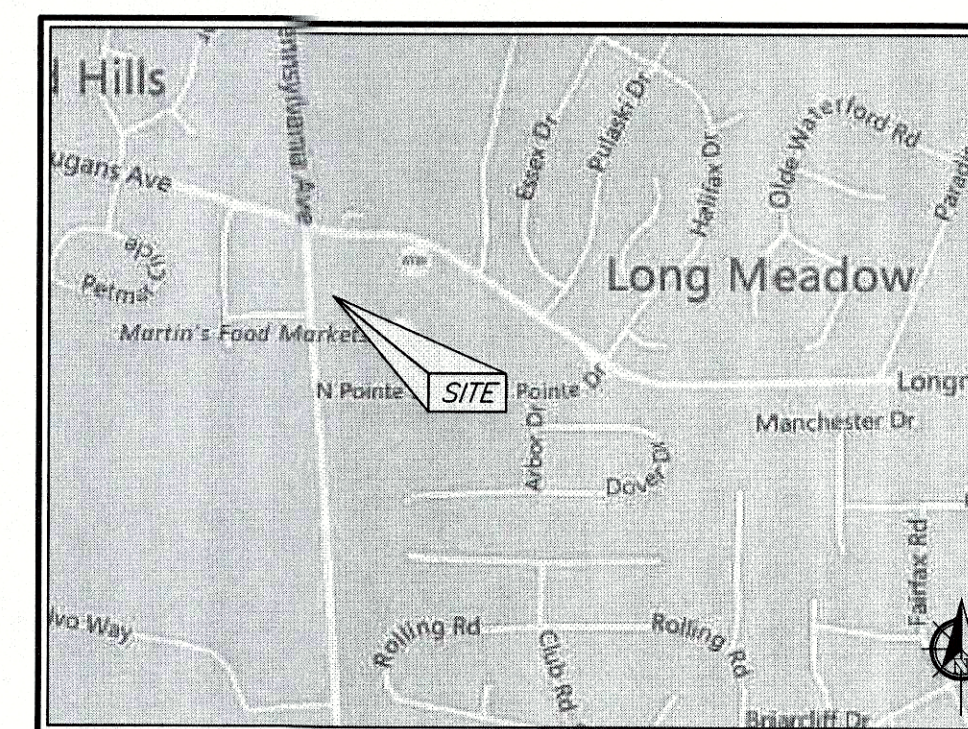
ZONING DISTRICT: PB (PLANNED BUSINESS)

(1) PARKING SPACE FOR EVERY 200 Sq.Ft. OF GROSS FLOOR AREA

FLOOR AREA: 4,969 ÷ 200 = 24.84 (25) PARKING SPACES

TOTAL NUMBER OF SPACES REQUIRED = 25

TOTAL NUMBER OF SPACES PROVIDED = 33



SITE LOCATION MAP
SCALE: 1"=2,000'

KEYNOTES

- 6"x18" CONCRETE CURB W/BROOM FINISH. PROVIDE TWO (2) #4 CONTINUOUS REBARS. SEE DETAIL 1/C103.
- 6" CONCRETE CURB AND GUTTER W/BROOM FINISH. PROVIDE TWO (2) #4 CONTINUOUS REBARS. SEE DETAIL 10/C103.
- 8" CONCRETE CURB AND GUTTER W/BROOM FINISH. PROVIDE TWO (2) #4 CONTINUOUS REBARS. SEE DETAIL 11/C103.
- 8" DEPRESSED CONCRETE CURB AND GUTTER SEE DETAIL 9/C103.
- 4" WIDE WHITE PAINTED STRIPE. (TYP.)
- 4" WIDE WHITE PAINTED DIAGONAL STRIPE.
- 4" WIDE BLUE PAINTED STRIPE. (TYP.)
- 4" WIDE BLUE PAINTED DIAGONAL STRIPE.
- WHITE PAINTED DIRECTIONAL ARROW.
- "RESERVED PARKING" SIGN TO BE MOUNTED ABOVE A "TOWING VIOLATION" SIGN ONTO A GALVANIZED STEEL POST SET INTO A 48" (MIN.) CONCRETE FILLED PIPE BOLLARD. REQUIRED SIGNS TO BE MOUNTED AT 60" ABOVE FINISH GRADE TO THE BOTTOM OF THE LOWEST SIGN AND ROTATED PERPENDICULAR TO PARKING STALLS. CONTRACTOR TO CONTACT LOCAL JURISDICTION TO VERIFY TOWING VIOLATION SIGNAGE REQUIREMENTS. SEE DETAIL 1A/C102.
- "RESERVED PARKING" SIGN TO BE MOUNTED ABOVE A "TOWING VIOLATION" SIGN ONTO A GALVANIZED STEEL POST SET INTO A 48" (MIN.) CONCRETE FILLED PIPE BOLLARD. REQUIRED SIGNS TO BE MOUNTED AT 60" ABOVE FINISH GRADE TO THE BOTTOM OF THE LOWEST SIGN AND ROTATED PERPENDICULAR TO PARKING STALLS. CONTRACTOR TO CONTACT LOCAL JURISDICTION TO VERIFY TOWING VIOLATION SIGNAGE REQUIREMENTS. SEE DETAIL 1B/C102.
- 4" THICK CONCRETE SIDEWALK WITH MONOLITHIC CURB @ A MAXIMUM OF 5.0% RUNNING SLOPE AND 2.0% CROSS SLOPE. SEE DETAIL 2/C103.
- 4" THICK CONCRETE SIDEWALK @ A MAXIMUM OF 5.0% RUNNING SLOPE AND 2.0% CROSS SLOPE. SEE DETAIL 3/C103.
- CONCRETE RAMP @ A MAXIMUM 8.33% RUNNING SLOPE AND A 2.0% CROSS SLOPE. RAMP TO BE NON-SLIP BROOM FINISH.
- 6" REINFORCED CONCRETE PAD WITH STONE BASE. SEE DETAIL 6/C103.
- 10' WIDE CONCRETE HANDICAP ACCESSIBLE AISLE WITH PAINTED BLUE LINES PER ADA REQUIREMENTS. SEE DETAIL 7/C102.
- 10' WIDE CONCRETE HANDICAP ACCESSIBLE SPACE WITH PAINTED BLUE LINES PER ADA REQUIREMENTS. SEE DETAIL 7/C102.
- MASONRY TRASH ENCLOSURE. SEE DETAIL 5/C102.
- LIMIT OF NEW CONCRETE.
- LANDSCAPE AREA.
- TRANSITION NEW CURB TO EXISTING CURB.
- TAPER CURB 4:1.
- FULL DEPTH ASPHALT PAVEMENT SEE DETAIL 5/C103.
- NEW FULL DEPTH ASPHALT PAVEMENT TO MATCH EXISTING, PER MD SHA SPECIFICATIONS.
- LIMIT OF NEW ASPHALT PAVING.
- PROPOSED LOT LIGHT.
- PROPOSED MEDEXPRESS ROAD SIGN.

REVISIONS	DESCRIPTION	DATE	INIT.
1	COUNTY COMMENTS	05/01/17	ALG
2	COUNTY COMMENTS	05/12/17	ALG

MDM
MCLVRIED, DIDIANO, & MOX, LLC
Site Planners • Engineers • Surveyors
8851 Kind Drive
Piscataway, NJ 07057
Ph: (724) 934-2810 fax: (724) 934-2811
mdmcard@mdmllc.com
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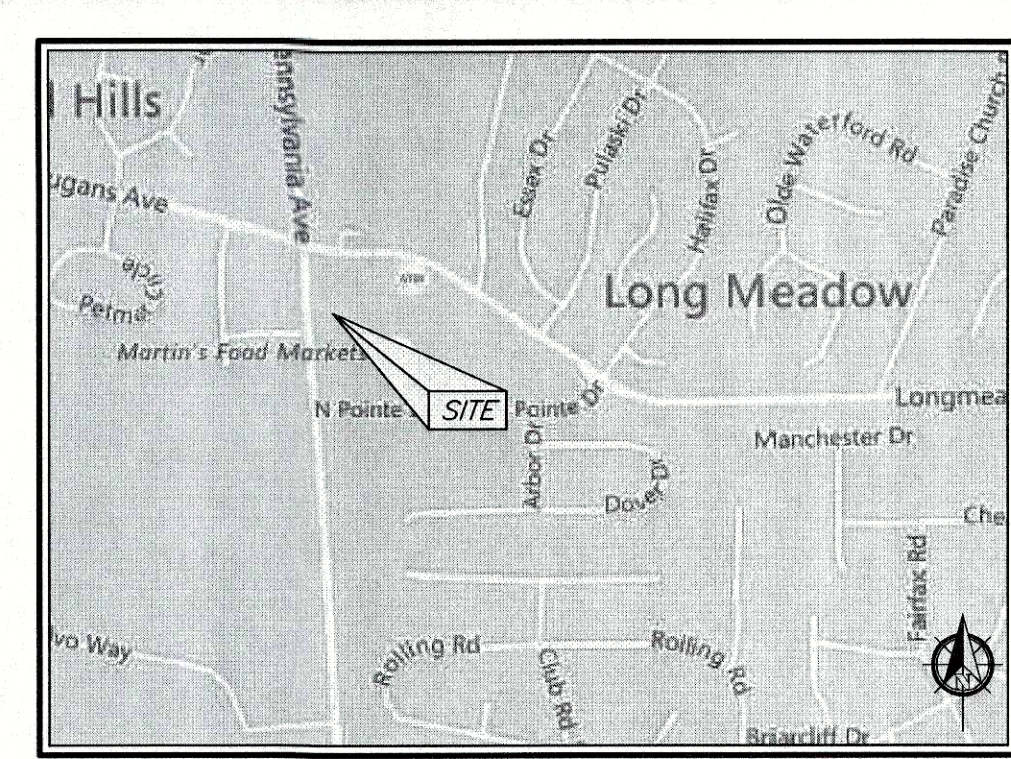
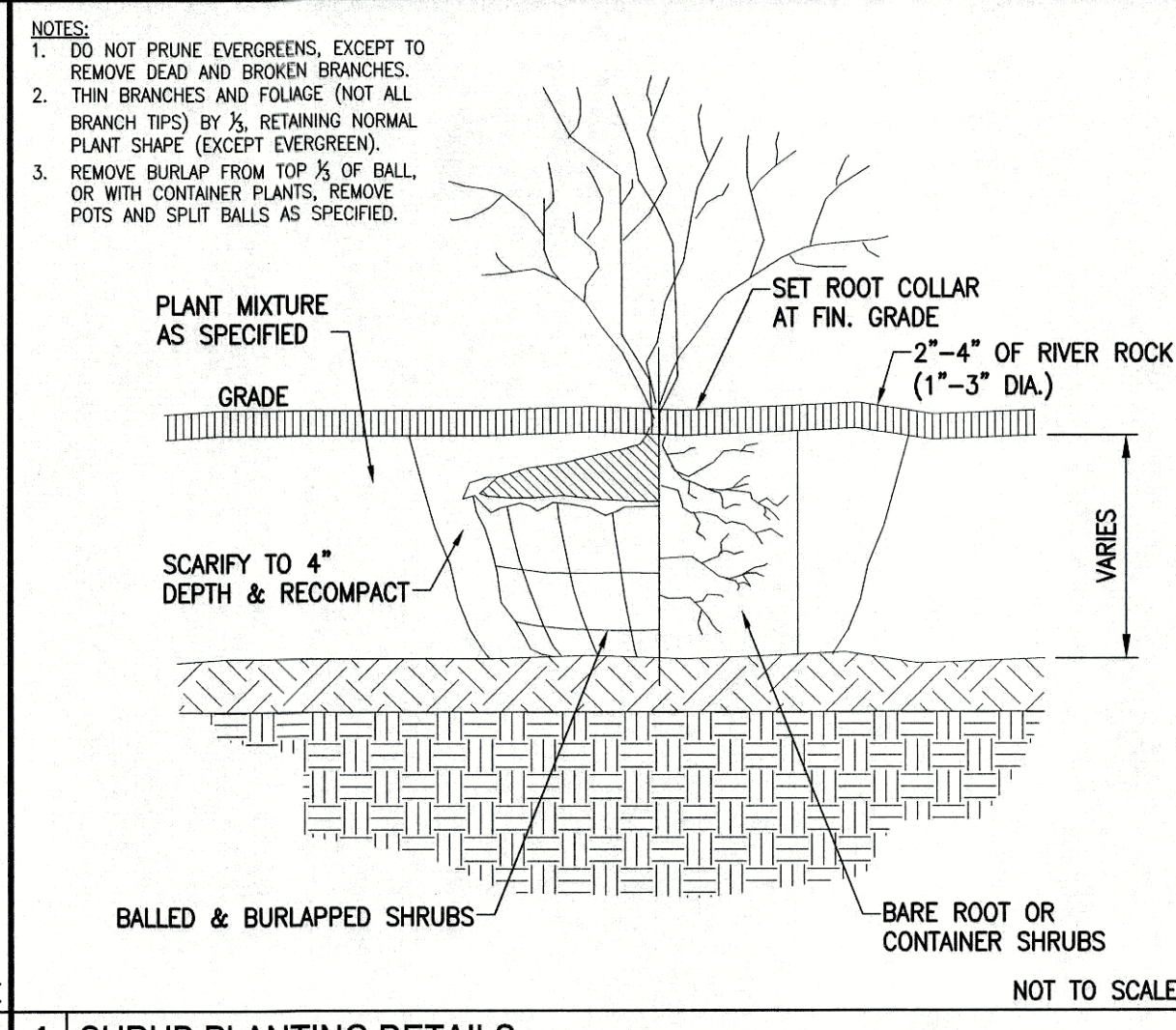
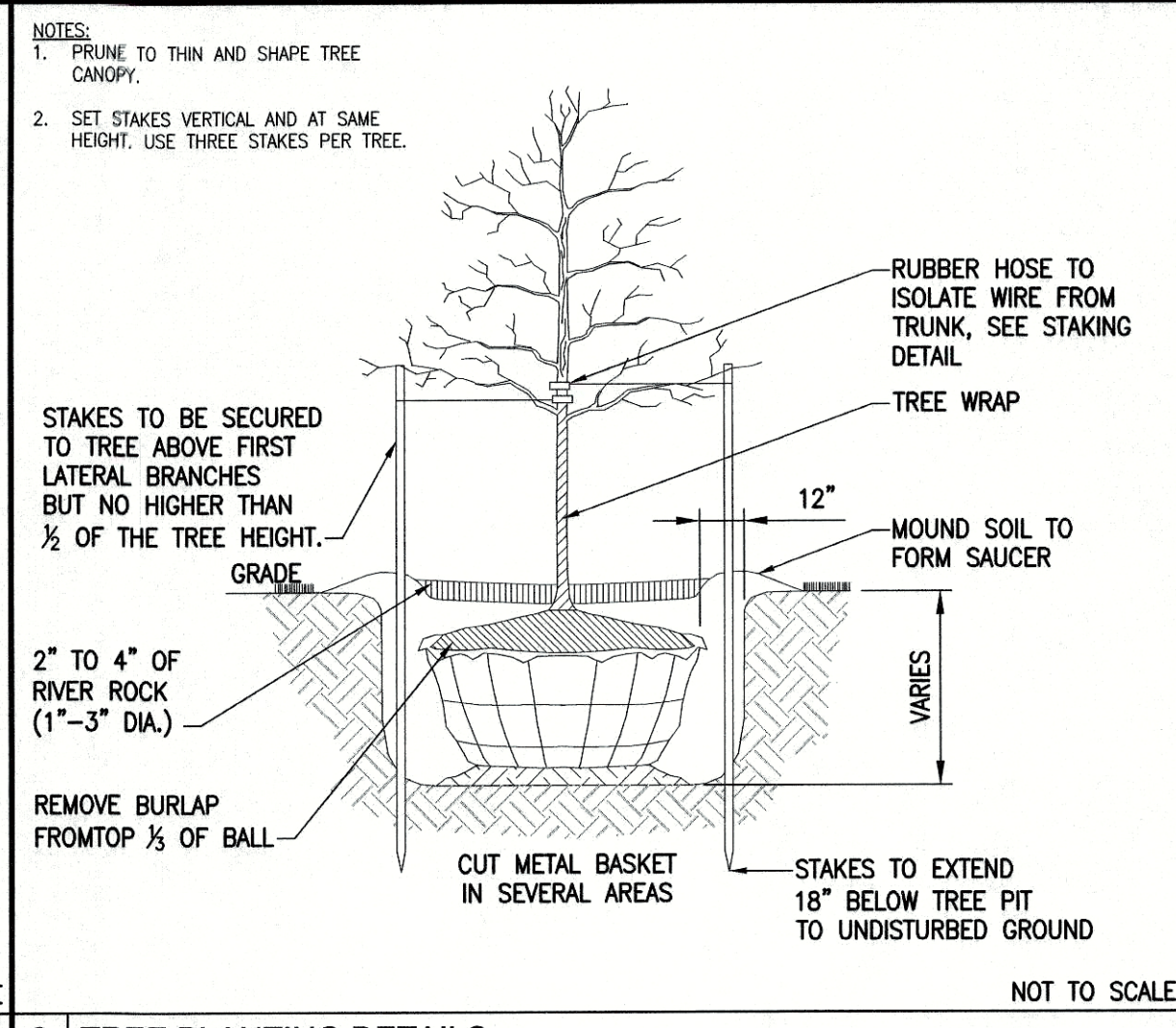
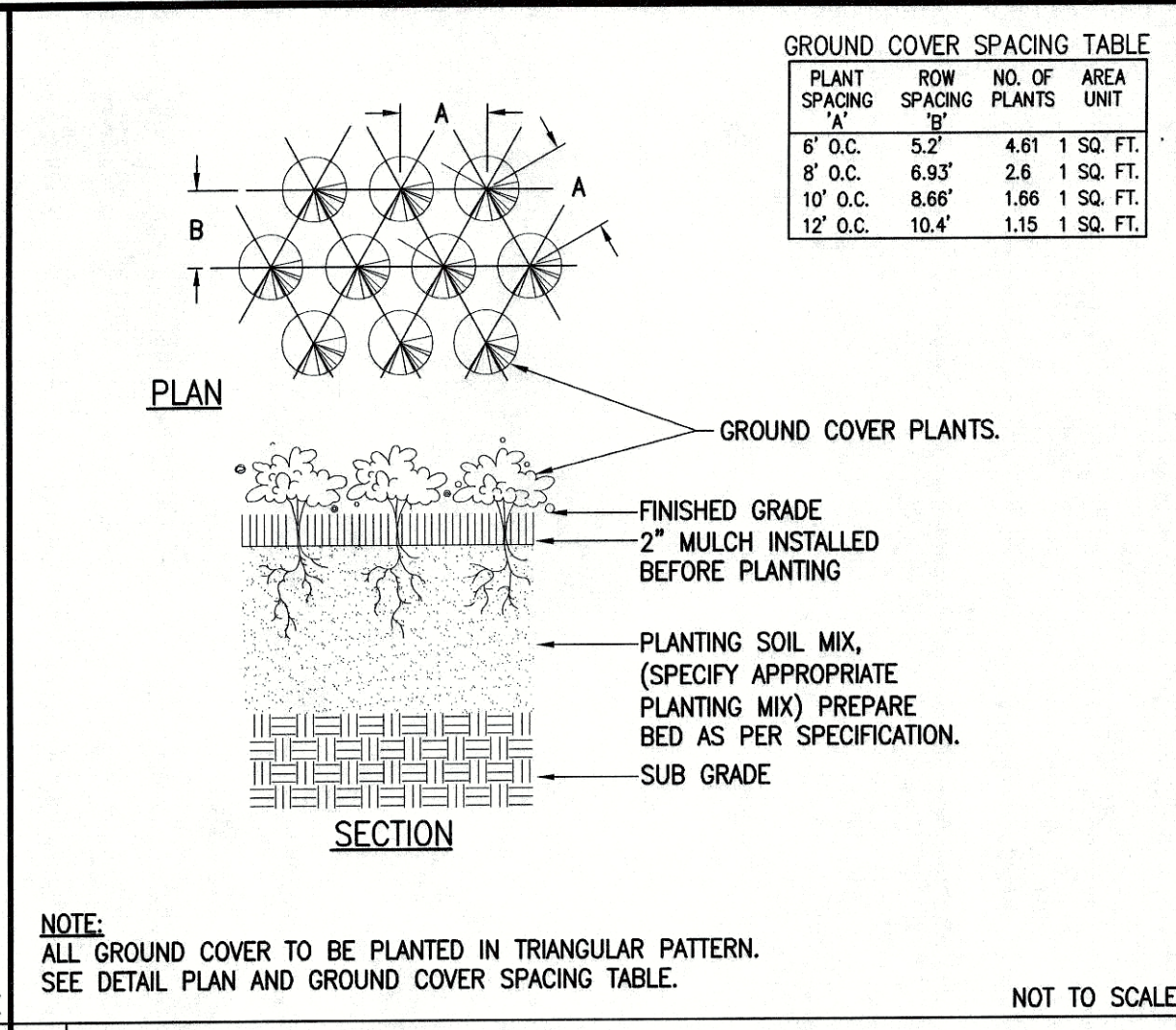
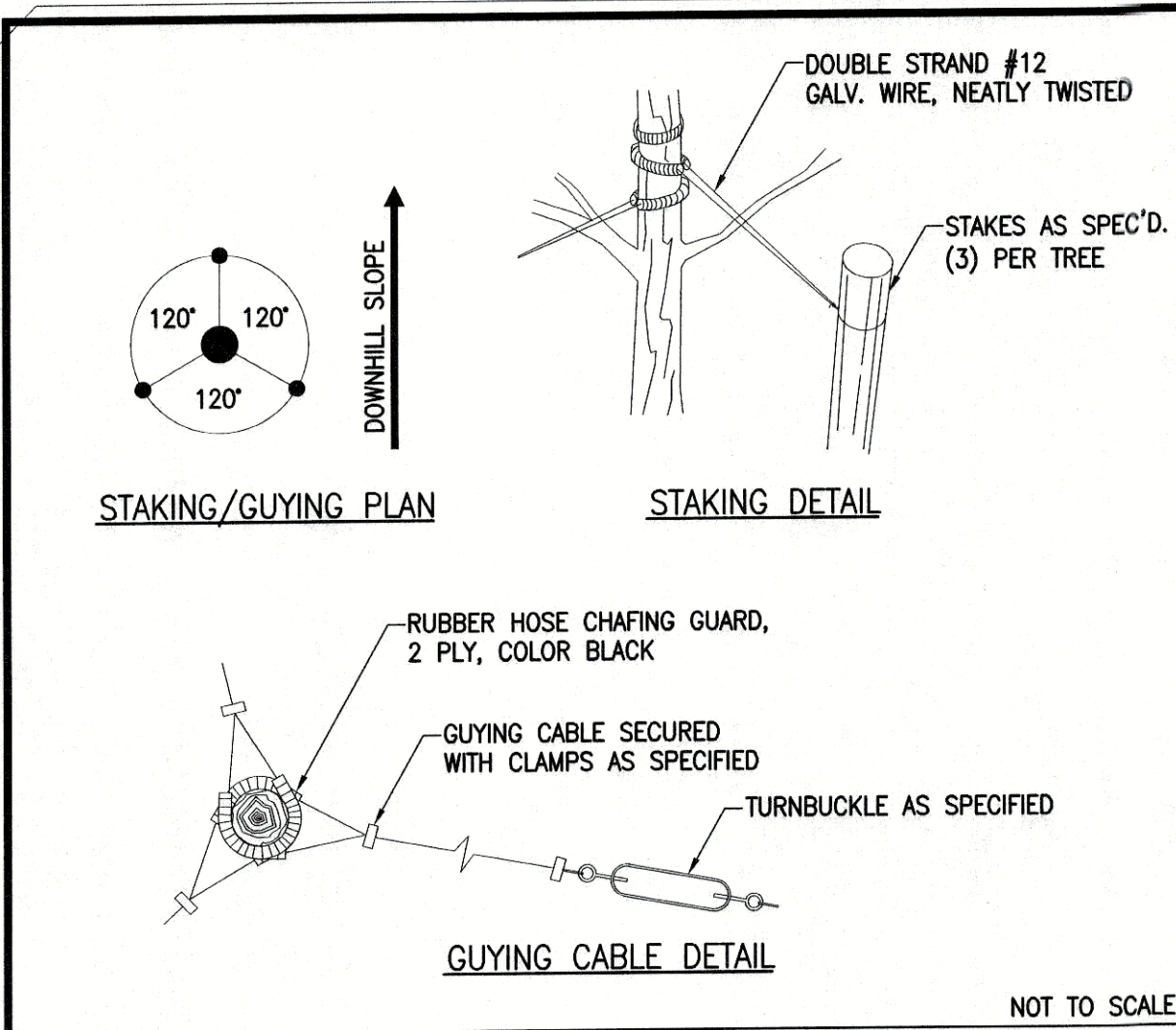
Proposed MedExpress
13527 Pennsylvania Avenue
27th Election District, County of Washington
State of Maryland
SITE PLAN

MedExpress
Great Care. Fast.
URGENT CARE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31092 EXD DATE 11-21-18

SCALE:	1"=20'
DATE:	01/26/17
DRAWN BY:	BJC
CHECKED BY:	ESD

SHEET NUMBER:
C101
SP-17-005



SITE LOCATION MAP

SCALE: 1"=2,000'

GENERAL NOTES

- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL TREES AND SHRUBS TO BE PLANTED IN RIVER ROCK BEDS (UNLESS OTHERWISE SPECIFIED) WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN SCARIFY AREA, RESEED, AND FERTILIZE. R.O.W. CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
- FINISHED GRADES IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURB.
- PROVIDE A WEED MAT FOR ALL PLANTING AREAS.

LEGEND

- SOD AREA SEE SHEET C402
- MULCH AREAS SEE SHEET C402
- RIVER ROCK AREAS SEE DETAIL THIS SHEET

- QUANTITY
- TYPE

LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE TYPE C:

PERIMETER TREES REQUIRED: AT LEAST 1 LARGE DECIDUOUS TREE FOR EACH 50 LINEAR FT. (MINIMUM CALIPER OF 2")

(212 FEET OF FRONTAGE) 212 / 50 = 4.2 (5) TREES REQUIRED

PERIMETER TREES PROPOSED: 3 TREES

PARKING AREA LANDSCAPING:

MIN. LANDSCAPE AREA REQUIRED: ALL OFF-STREET PARKING AREAS OF 10,000 SQ.FT. OR GREATER SHALL HAVE LANDSCAPED AREAS WHICH CONSTITUTE A MIN. OF 10% OF THE TOTAL IMPERVIOUS AREA OF THE PARKING FACILITY.

(16,297 SQ.FT. PARKING AREA)

16,297 X 0.10=1,629.7 SQ.FT. LANDSCAPE AREA REQUIRED

LANDSCAPE AREA PROPOSED: 6,174 SQ.FT.

TOTAL LANDSCAPE AREA TREES REQUIRED:
1 TREE PER 300 SQ.FT. OF TOTAL LANDSCAPING AREA REQUIRED FOR THE PARKING AREA

(1,629.7 SQ.FT. LANDSCAPE AREA)

1,629.7 / 300 = 5.4 (6) TREES REQUIRED

LANDSCAPE AREA TREES PROPOSED: 12 TREES

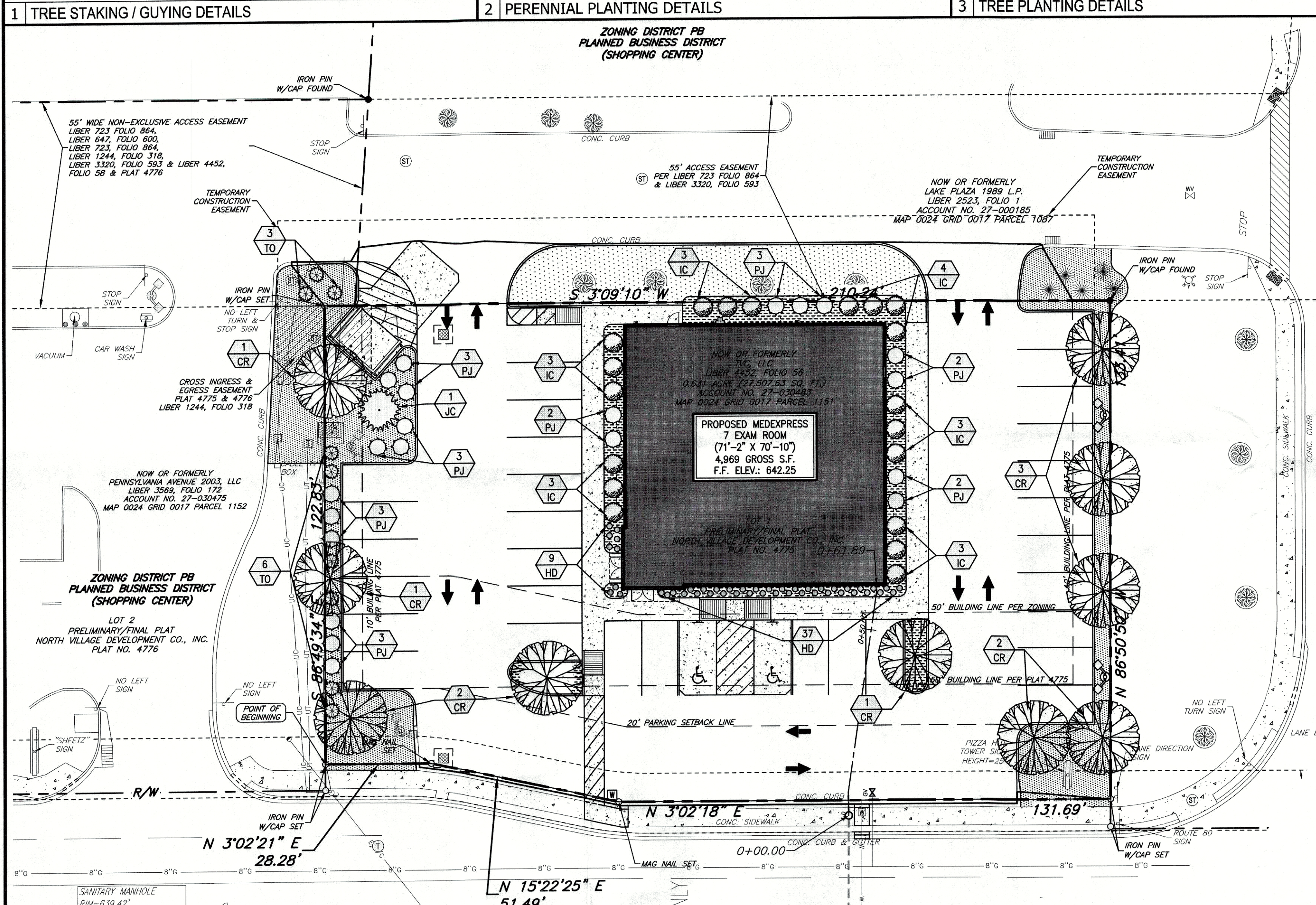
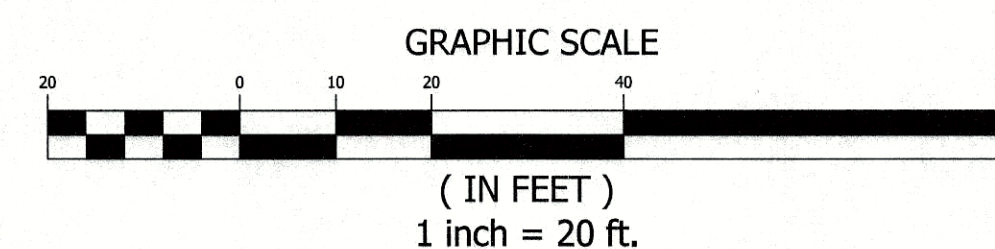
(8 NEW; 4 EXISTING)

SERIAL NUMBER: 16715926

CALL BEFORE YOU DIG!

MISS UTILITY PARTICIPANTS REQUEST 3 WORKING DAYS NOTICE BEFORE YOU DIG, DRILL, OR BLAST - STOP CALL Miss Utility of Maryland, Inc.

1-800-257-7777



PLANT SCHEDULE

TREES - DECIDUOUS							
QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	ROOT TYPE
10	CR	CORNUS 'RUTGAN' STALLER PINK	STELLAR PINK DOGWOOD	2 1/2" CAL. MIN.	AS SHOWN	N/A	B&B
TREES - EVERGREEN							
1	JC	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	2 1/2" CAL. MIN.	AS SHOWN	N/A	B&B
SHRUBS - EVERGREEN							
21	PJ	PIERIS JAPONICA 'MOUNTAIN FIRE'	PIERIS MOUNTAIN FIRE	N/A	AS SHOWN	18" (MIN.)	CONT.
19	IC	ILEX CRENATA 'GREEN LUSTRE'	GREEN LUSTRE JAPANESE HOLLY	N/A	AS SHOWN	18" (MIN.)	CONT.
9	TO	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	N/A	AS SHOWN	18" (MIN.)	CONT.
PERENNIAL							
46	HD	HEMEROCALLIS 'PURPLE D'ORO'	PURPLE D'ORO DAYLILY	N/A	18" O.C.	N/A	CONT.

REVISIONS	DATE	DESCRIPTION	COUNTY COMMENTS	ALG
1	08/01/17			
2	05/12/17			

MDM

MCILVREY, DIDIANO, & MOX, LLC

Site Planners • Engineers • Surveyors

8851 Kind Drive
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Proposed MedExpress
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27th Election District, County of Washington
State of Maryland

LANDSCAPE PLAN

MedExpress
URGENT CARE

Great Care. Fast.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31092 EXP. DATE 11-21-18

SCALE: 1"=20'

DATE: 01/26/17

DRAWN BY: BJC

CHECKED BY: ESD

SHEET NUMBER: **C501**
SP-17-005



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: BOWMAN CORNFIELD
NUMBER.....: SP-16-005

OWNER.....: BOWMAN-SPIELMAN LLC 10228 GOVERNOR LANE BLVD, STE. 3002
LOCATION.....: INTERSECTION OF LAPPANS AND SPIELMAN ROADS
DESCRIPTION.....: PROPOSED CONVENIENCE STORE, RESTAURANT AND GAS PUMPS
REV 3

ZONING.....: Highway Interchange 0 0
COMP PLAN LU.....: Industrial Flex
PARCEL.....: 02006014
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....:

TYPE.....:
GROSS ACRES.....: 13.3
DWELLING UNITS.....: 0
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: February 17, 2016

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: None
ENDANGERED SPECIES.....: 0
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: NOT HIST ON NATIONAL REGISTER
EASEMENTS PRESENT.....: 0 1.37



SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
57		0
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
0	0	Screened dumpster
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
0	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
107		
Parking Spaces - Minimum Required	Recreational Parking Provided	
95	No	

ACCESS SPACING VARIANCE NEEDED: No
NUMBER OF ACCESS POINTS: 1

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT			
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	Williamsport
AMBULANCE DISTRICT.....:	Williamsport

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	Hagerstown	Conococheague
SERVICE AREA.....:	Hagerstown	Conococheague
PRIORITY.....:	1	1
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Conococheague

Site Plan for *Bowman Cornfield*

Owner/Developer:
Bowman-Spielman LLC
10228 Governor Lane Boulevard
Suite 3002
Williamsport, MD 21795
Phone: 301-582-1555

Vicinity Map

US Route 150

Conowingo Avenue

Town of Williamsport

Interstate 81

Governor Lane Blvd

Potomac Lane

Washington County

Kentel Road

Lapps Road (MD-68)

Darbar Lane

Swanton Road (MD-63)

Site

ADC MAP 24, K2

Scale 1" = 2000'

MD-ENG-6A 1/89	CSDA SSCS	OWNER / DEVELOPERS CERTIFICATION "I/we certify all/any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." <div style="text-align: right;"> <div style="display: inline-block; width: 45%;"> <u>8-12-15</u> DATE </div> <div style="display: inline-block; width: 45%;"> <u>[Signature]</u> PRINTED NAME SIGNATURE </div> </div>
UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777		
DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY _____ ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <div style="display: flex; justify-content: space-between;"> <u>7.335</u> CU. YDS. OF EXCAVATION AND APPROXIMATELY <u>26.850</u> CU. YDS. OF FILL. </div>		
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)		
APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING <div style="display: flex; justify-content: space-between;"> <div>SIGNATURE</div> <div>DATE</div> </div>		
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions facilities that may be granted to the County. This approval shall be valid for a period of TWO years. <div style="display: flex; justify-content: space-between;"> <div>SIGNATURE</div> <div>DATE</div> </div>		
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility. <div style="display: flex; justify-content: space-between;"> <div>SIGNATURE</div> <div>DATE</div> </div>		
DWQ has reviewed the site plan and all comments have been addressed. While the WWTP for this property, the local pumping station serving this property is currently at capacity and no additional flow can be accepted at this station until an upgrade has been completed. The upgrade project is currently in the preliminary design phase. It is the intent of DWQ to request funding for final design and construction of the upgrade in the FY16 CIP process. While this project will be a priority for DWQ, the actual design and construction schedule will be dependent upon findings in the preliminary design phase, funding availability and approval of the Board of County Commissioners. DWQ is willing to work with the developer on the site plan approval, however, DWQ will not sign off on capacity availability or issue an allocation/connection permit until the upgrade is completed or until DWQ has certainty that the upgrade project will be completed prior to the proposed project being ready for connection. This being said, if a developer(s) are interested in completing the upgrade project at their own expense to expedite the process, DWQ is willing to work with them on said project.		
OWNER / DEVELOPERS CERTIFICATION "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." <div style="text-align: right;"> <div style="display: inline-block; width: 45%;"> <u>8-12-15</u> DATE </div> <div style="display: inline-block; width: 45%;"> <u>[Signature]</u> PRINTED NAME SIGNATURE </div> </div>		
ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.07.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control. <div style="display: flex; justify-content: space-between;"> <div><u>05/22/2017</u></div> <div><u>20945</u></div> <div><u>[Signature]</u></div> </div> <div style="display: flex; justify-content: space-between;"> <div>DATE</div> <div>REQ. NO.</div> <div>SIGNATURE</div> </div>		
Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20945, Expiration Date: 2017-08-23.		
ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant." <div style="display: flex; justify-content: space-between;"> <div>SIGNATURE</div> <div>DATE</div> <div>SEAL</div> </div>		
AS-BUILT CERTIFICATION I hereby certify that the stormwater management facilities (both BMPs and ESD) shown on the plans have been constructed in accordance with the plans approved by Maryland Department of the Environment, except as noted in red on the "AS-BUILT" plan. <div style="display: flex; justify-content: space-between;"> <div>Name</div> <div>SIGNATURE</div> </div> <div style="display: flex; justify-content: space-between;"> <div>Maryland Registration Number (PE or LS)</div> <div>DATE</div> </div>		
MDE No: _____ Facilities being certified (list each individually using facility ID number and/or description): _____ _____ _____		
"Certify" means to state or declare a professional opinion based on sufficient and on-site inspections and material tests conducted during construction.		

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 (301) 791-3650 (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

The following standards (construction and temporary traffic control) are required for this project

For all standards referred to on the plans the contractor must go to the book of standards which will have the most current version. The book of standards can be accessed at:

<http://apps.roads.maryland.gov/businesswithsha/bizstd/specs/desmanualstdpub/publicationsonline/ohd/bookstd/index.asp>

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

<u>TYPE</u>	<u>NUMBER</u>	<u>TITLE</u>
G-001	Sheet 1	Cover Sheet
G-002	Sheet 2	General Notes
V-101	Sheet 3	Existing Conditions Plan
C-101	Sheet 4	Site Plan
C-102	Sheet 5	Grading & Sediment Erosion Control Plan
C-103	Sheet 6	Utility Plan
C-501	Sheet 7	Site Details and Notes
C-502	Sheet 8	Sediment Erosion Control Details & Notes
C-503	Sheet 9	Sediment Erosion Control Details & Notes
C-504	Sheet 10	Utility Details & Notes
C-505	Sheet 11	Utility Details & Notes
C-201	Sheet 12	Utility Profiles
C-202	Sheet 13	Stormdrain Profiles
L-101	Sheet 14	Landscape Plan
L-501	Sheet 15	Landscape Details & Notes
C-104	Sheet 16	SHA Entrance Plan
C-105	Sheet 17	SHA Striping and Signage Plan
C-106	Sheet 18	SHA Stormwater Management Plan
C-506	Sheet 19	SHA Stormwater Management Details & Notes
C-203	Sheet 20	SHA Cross Sections
C-204	Sheet 21	SHA Cross Sections
C-205	Sheet 22	SHA Cross Sections
C-206	Sheet 23	SHA Cross Sections
C-107	Sheet 24	Offsite Utility Plan and Profile
C-507	Sheet 25	Offsite Utility Details

The purpose of this project is to construct a convenience store and gas station on a previously developed lot. The lot is located along the southwest corner of the intersection of Lapps Road (MD 68) and Spielman Road (MD 63) and designated as parcel 148 on tax map 56. The parcel covers 9.11 acres.

Existing Conditions

The existing conditions include a gravel pad, soil stockpiles, and stormwater management pond from a previously approved site plan by "Davis, Renn, & Associates, Inc." dated 7-17-2001. The land cover consists of gravel, grass, meadow.

Drainage Patterns

The drainage across the site is from the south to the north. There are two cross culverts that flow underneath of Spielman Road. The easternmost culvert discharges into a grass swale that bypasses the site and flows north within the MDSA right-of-way. The westernmost culvert discharges into a grass swale that bypasses the site and flows down an existing paved lane. These swales meet up in the MDSA right-of-way and discharge through a cross culvert that flows underneath of I-81.

Soils

The soils on site include HaB, HcC, SuA and Ud. These soils all fall within hydrological soil groups B and C. See appendix B for details.

Per the USDA Natural Resources Conservation Service Hydrologic Soil Group B is defined as having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Per the USDA Natural Resources Conservation Service Hydrologic Soil Group C is defined as:

Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or of soils having a fine texture or fine texture. These soils have a slow rate of water transmission.

There are no forests, wetlands, streams or related buffers or steep slopes on site.

Proposed Conditions

The proposed conditions include an 11,180 SF convenience store, 2560 SF Truck Wash, 1390 SF Car Wash, macadam and concrete parking lot, and sidewalk. The land cover will consist of impervious coverage, and open space. The proposed impervious coverage for the site is 5.18 acres.

Water Quality

The site has stormwater management provided within the existing pond located on-site. However, with the proposed SHA improvements within the right-of-way, water quality must be addressed for the new impervious coverage within the right-of-way.

This plan proposes 0.55 acres of new impervious coverage within the SHA right-of-way. The ESD volume required to treat this area is 4,931 CF. The steep slopes and lack of natural features prevent the use non-structural practices to treat ESD. Micro-bio retention facilities were selected to treat the impervious runoff within the right-of-way.



A total of 0.66 acres of SHA impervious coverage will sheet flow into two (2) separate micro bio retention areas. Curb openings will capture the flow from the road and discharge through riprap inlets to the bio areas. A total of 4160 SF of micro bio retention will provide 4940 CF of treatment volume.

Water Quantity

Water quantity for the site has been provided within the existing stormwater management pond. The pond was designed and constructed to manage 5.78 acres of impervious coverage from the previously approved site plan. Since this plan only proposed 5.18 acres of impervious coverage, stormwater management is addressed.

Downstream Drainage Easement Evaluation:

The site outlets into a MDSA swale along the east side of the I-81 off ramp. The proposed conditions will remain the same as the existing and no adverse impacts will result from this development.

		GRADING CHK BY: SGZ	DATE: 1/29/16	PROJECT NUMBER: 5809 <div style="text-align: center; font-size: 2em;">Cover Sheet</div> <div style="text-align: center; font-size: 1.5em;">G-001</div> <div style="display: flex; justify-content: space-between;"> SHEET 1 OF 25 </div> <div style="text-align: center; font-size: 1.2em;">SP-16-005</div>
		SEC CHK BY: TMF	DATE: 1/29/16	
 Revised per SHA comments		10-4-16		
 Revised per Agency comments		9-30-16		
Initial Submittal		2-16-16		
DESCRIPTION:	DATE:	PLAN CHK BY: KDM	DATE: 1/29/16	

General Notes

- G.1 Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
G.2 No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
G.3 FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
G.4 The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
G.5 The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
G.6 All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
G.7 The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility 1-800-257-7777
Maryland Department of the Environment (301) 885-2850
Washington County Division of Public Works - Engineering & Construction (240) 313-2400
Washington County Dept. of Water Quality (240) 313-2615
Potomac Edison 1-800-255-3443
Verizon (301) 790-7124
Antietam Cable (240) 420-2082
Washington County Soil Conservation District (301) 797-6921 ext. 3
City of Hagerstown Utility Water Department (301) 739-8577 ext. 654

- G.8 The contractor shall be responsible for coordination of his construction with the construction of other contractors.
G.9 Benchmark shown on pond weir wall on Sheet V-101. Elevations based on NAVD 88.
G.10 The Contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
G.11 The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
G.12 Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
G.13 The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
G.14 The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
G.15 Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
G.16 Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
G.17 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
G.18 Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures within SHA Right-of-Way (ROW) shall conform to the current SHA Specifications as outlined in the Maryland Department of Transportation Standard Specifications for Construction and Materials.
G.19 All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
G.20 The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
G.21 It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
G.22 All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
G.23 The existing site contours shown hereon were obtained from a survey completed by FSA on 8-14-2015 (Contour accuracy is to plus or minus one half the contour interval).
G.24 Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
G.25 Exterior lighting will consist of building mounted lights as shown on the architectural plans and pole mounted lights directed on site as shown on the site plan and electrical plan.
G.26 The contractor shall provide MOSH safety assistance for W.P.C. inspector.
G.27 Applicant to provide as built mylars at the completion of the project.
G.28 This project has a projected start date of May 2017 and a completion date of November 2017.
G.29 A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
G.30 The site will be serviced with public water (City of Hagerstown) and public sewer (Department of Water Quality).
G.31 A previously approved site plan titled "Bowman C Store" by Davis, Renn & Associates, Inc. was approved by Washington County in July 2001.
G.32 Forestation has been addressed per off-site forest conservation easement per Plat xxxx.

Site Data

Tax Map 56-14-148
Election District 02
Zoning HI- Highway Interchange
Setbacks Front- 40'
Side- 10'
Rear- 10'

Max. Building Height 75'
Functional Description Gas Station/ Convenience Store and Restaurant
Number of Employees 20 Main Shift Employees; 3 Shifts
Hours of Operation 24 Hours Per Day; 7 Days Per Week
Deliveries Fuel Trucks 3-4 Times Per Week; Box Truck Daily
Parcel Area 9.11 Ac +/-
Proposed Building Area 11,180 S.F. (5,000 S.F. - Restaurant, 4,322 S.F. - C-Store, 1858 S.F. - Office Space)

Proposed Building Height 30'
Proposed Impervious Area 225,556 S.F. (57%)
Total Parking Required 95 Spaces 1 space per 75 G.F.A. for restaurant area 5 spaces per 1,000 G.F.A. for commercial retail sales, and 1 space per 350 G.F.A. of office space
Total Parking Provided 107 Spaces
Regular- 101
Handicap- 6

Water & Sewer Usage Existing Allocation= 0 G.P.D.
Proposed Allocation= 8,200 G.P.D.
Proposed Waste Water Discharge 8,200 G.P.D.
Pole and Building Mounted
Onsite Dumpster and Compactor

Proposed Site Lighting (See Site Plan)
Solid Waste (Storage and Collection)
Proposed Signage As Shown on Plans
Forestation Previously Approved on Grading Plans
Address Assignment 15919 Spielman Road
Sensitive Area There are no known floodplains, streams and related buffers, or habitat of threatened or endangered species identified by the US Fish and Wildlife Service per CFR 17 as required to be shown by section 4.21 of the zoning ordinance.

Impervious Parking Area 44,051 S.F.
Parking Landscape Area 7,123 S.F. (16%)

SHA Specifications for Temporary & Permanent Stabilization. Refer to the Table of SHA Landscape Notes in this plan set for requirements related to topsoil, seed, fertilizer, plants, and other materials. SHA Standard Specifications for Construction and Materials shall supersede all other specifications for landscape construction within property of the Maryland State Highway Administration (SHA), and all landscape construction of SHA property shall conform to the requirements of the SHA Landscape Notes and current SHA Standards and Specifications.

Legend

Existing Features		Proposed Features
	Subject Boundary	
	Adjoining Boundary	
	Contour (Index)	
	Contour (Intermediate)	
	Treeline	
	Edge of Water	
	Flow Line	
	Centerline	
	Edge of Pavement	
	Edge of Gravel	
	Edge of Concrete	
	Concrete Curb	
	Guard Rail	
	Fence Line	
	Electric Line (Underground)	
	Electric Line (Overhead)	
	Gas Line	
	Sanitary Sewer	
	Sanitary Sewer Force Main	
	Storm Drain	
	Telephone Line	
	Water Line	
	Fire Water Line	

Legend

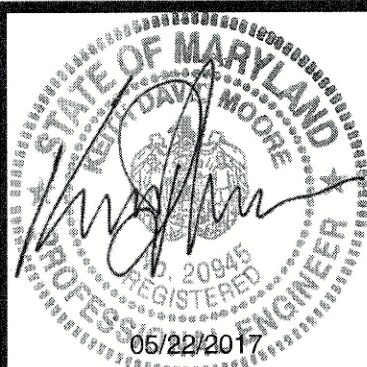
Existing Features		Proposed Features
	Fire Hydrant	
	Water Grate Valve	
	Water Meter Single/Double	
	Water Meter Vault	
	Cap/Plug, Reducer, Bend	
	Sanitary Sewer Mahole	
	Sanitary Sewer Stub	
	Sanitary Sewer Cleanout	
	Sanitary Sewer Meter Single / Double	
	Storm Drain Inlet	
	Storm Drain Manhole	
	Storm Drain End Section	
	Storm Drain Headwall	
	Utility Pole	
	Lighting	
	Gas Valve	
	Concrete Bollard	
	Handicap Parking Symbol	
	Road Sign	
	Site Sign	
	Concrete Wheel Stop	
	Parking Space Count	
	Spot Elevation	
	Building / House	
	Control Point	
	Detail Reference	

Washington County Standard Notes

- In conformance with the Stormwater Management Ordinance of Washington County, a Performance Security and Executed Maintenance Agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- Developer/contractor shall contact the certifying engineer and the county at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

Abbreviation Legend

AASHTO = American Association of State Highway and Transportation Officials	N.T.S. = Not to Scale
ADS = Advanced Draining System	O.A.E. = Or Approval Equal
ASTM = American Society for Testing and Materials	O.C. = On Center
AWWA = American Water Works Association	PC = Point of Curve
BLDG = Building	PCC = Point of Compound Curve
BOT = Bottom	PGL = Proposed Grade Line
CIP = Cast Iron Pipe	PRC = Point of Reverse Curve
CL = Centerline	PT = Point of Tangent
CMP = Corrugated Metal Pipe	PVC = Point of Vertical Curve
CO = Sanitary Sewer Cleanout	PVI = Point of Vertical Intersection
CONC = Concrete	PVT = Point of Vertical Tangent
DA = Drainage Area	R/W = Right-of-Way
DIA = Diameter	SAN = Sanitary
EGL = Existing Grading Line	SCE = Stabilized Construction Entrance
EX = Existing	SDR = Standard Dimension Ratio
FH = Fire Hydrant	SDMH = Storm Drain Manhole
GV = Gate Valve	SF = Square Feet
HGL = Hydraulic Grade Line	SSMH = Sanitary Sewer Manhole
HDPE = High Density Polyethylene	STA. = Station
INV = Invert	STD = Standard
LF = Linear Feet	SY = Square Yards
MAX = Maximum	T.A.N. = Type of Noted
MB = Mail Box	TEMP = Temporary
MIN = Minimum	TG = Top of Grate
MJ = Mechanical Joint	TYP = Typical
NO = Number	VIF = Verify in Field
N.T.C. = Not This Contract	WM = Water Valve



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20845. Expiration Date: 06/22/2017.

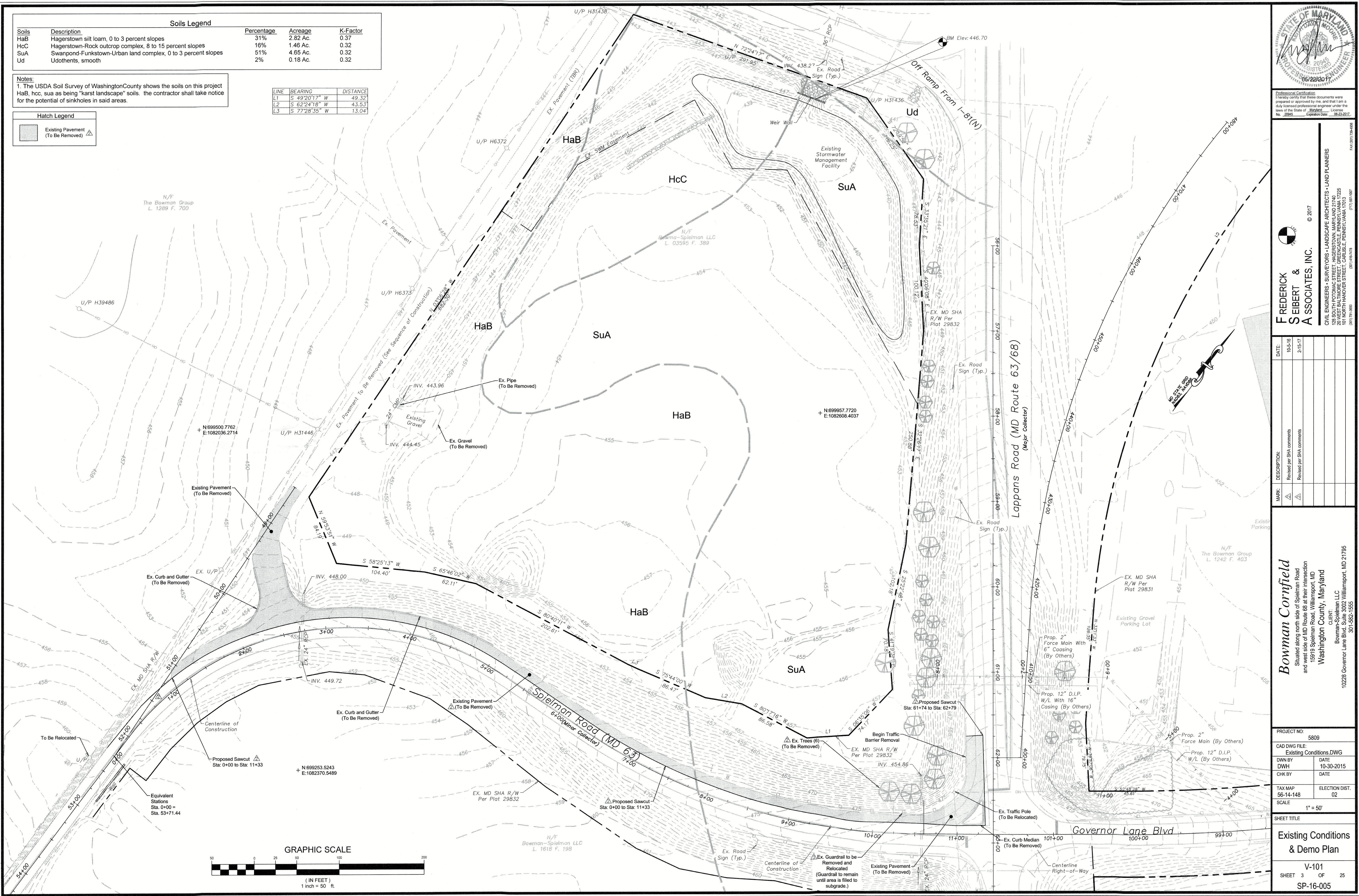
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201 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013
P.O. BOX 10000, HAGERSTOWN, MARYLAND 21740
P.O. BOX 10000, HAGERSTOWN, MARYLAND 21740
P.O. BOX 10000, HAGERSTOWN, MARYLAND 21740

DATE:	DESCRIPTION:	MARK:
3-28-2016	Revised per Planning comments	
10-5-16	Revised per SHA comments	

Bowman Cornfield
Sited along north side of Spielman Road
and west side of MD Route 68 at their intersection
15919 Spielman Road, Williamsport, MD
Washington County, Maryland
CLIENT:
Bowman-Spielman LLC
10226 Governor Lane Blvd., Suite 302 Williamsport, MD 21795
301-382-1635

PROJECT NO:	5809
CAD DWG FILE:	General Notes.DWG
DWN BY:	DWH
DATE:	10-30-2015
CHK BY:	DST
DATE:	2016
TAX MAP:	56-14-148
ELECTION DIST.:	02
SCALE:	N.T.S.
SHEET TITLE:	General Notes
G-002	
SHEET 2 OF 25	
SP-16-005	

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DWG To PDF.pcf

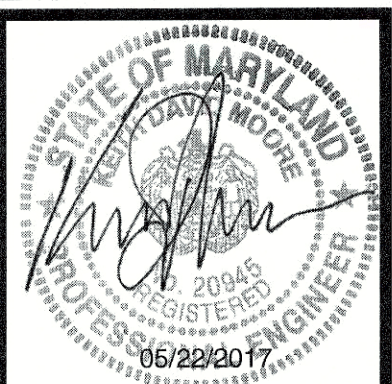
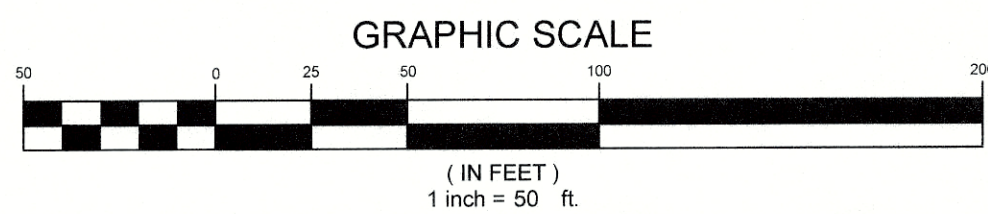


Soils Legend				
Soils	Description	Percentage	Acreage	K-Factor
HaB	Hagerstown silt loam, 0 to 3 percent slopes	31%	2.82 Ac.	0.37
HcC	Hagerstown-Rock outcrop complex, 8 to 15 percent slopes	16%	1.46 Ac.	0.32
SuA	Swanpond-Funkstown-Urban land complex, 0 to 3 percent slopes	51%	4.65 Ac.	0.32
Ud	Udothents, smooth	2%	0.18 Ac.	0.32

Notes:
1. The USDA Soil Survey of Washington County shows the soils on this project
HaB, hcc, sua as being "karst landscape" soils. the contractor shall take notice
for the potential of sinkholes in said areas.

Hatch Legend	
	Existing Pavement (To Be Removed)

LINE	BEARING	DISTANCE
L1	S 49°20'17" W	49.32
L2	S 62°24'18" W	43.53
L3	S 77°28'35" W	13.04



Professional Certification
I hereby certify that these documents were
prepared or approved by me, and that I am a
 duly licensed professional engineer under the
 laws of the State of Maryland. License
 No. 20955 Expiration Date: 06/22/2017

**FREDERICK
SEIBERT &
ASSOCIATES, INC.**

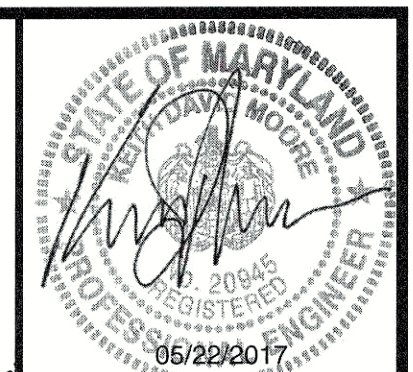
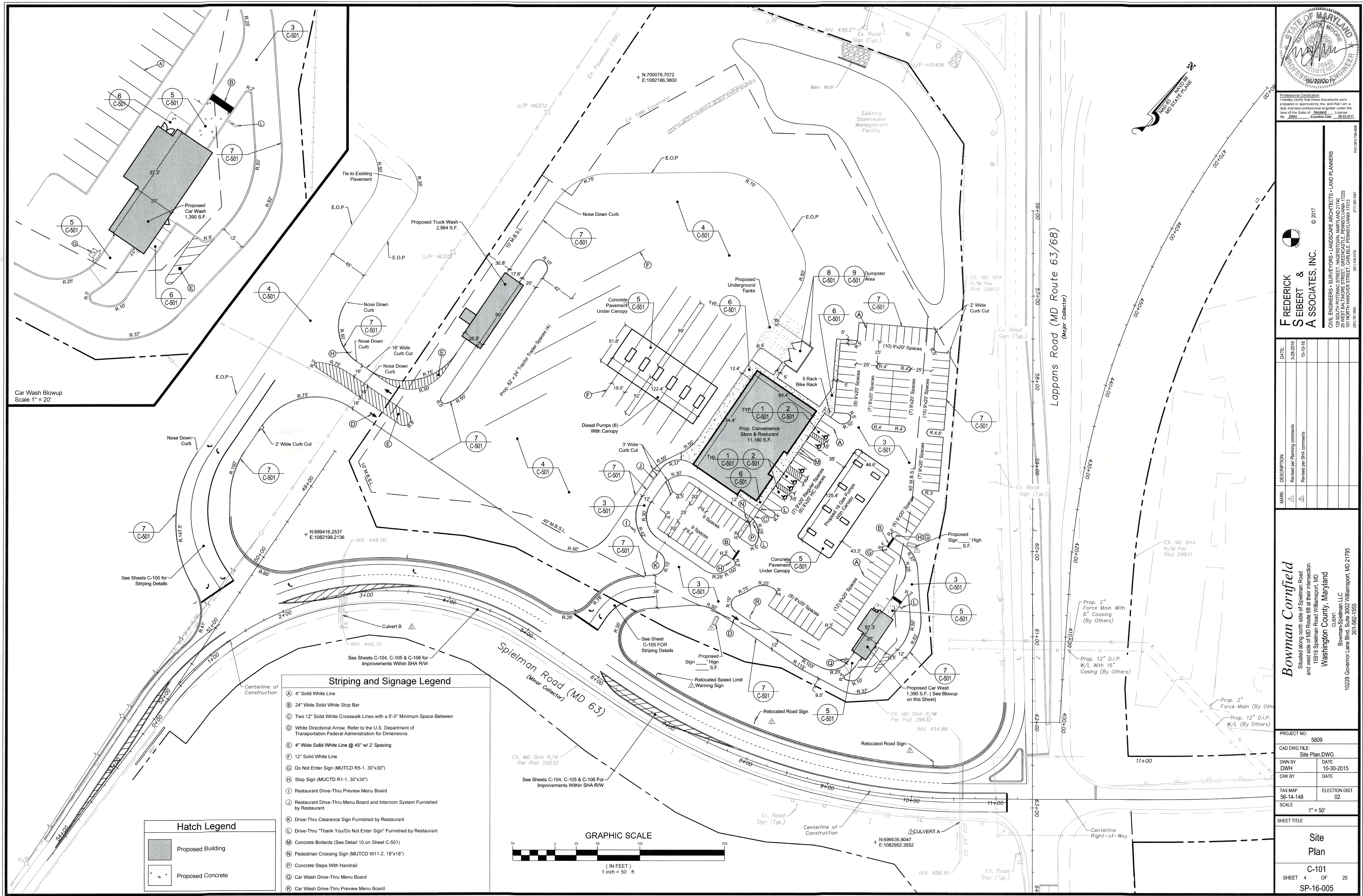
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 2140
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17226
101 NORTH HANOVER STREET, CARLEISE, PENNSYLVANIA 17015
PA 01717-2466
PA 17015-0007
PA 17015-0007

MARK	DESCRIPTION	DATE
	Revised per SHA comments	10-5-16
	Revised per SHA comments	2-15-17

Bowman Cornfield
Sited along north side of Spielman Road
and west side of MD Route 68 at their intersection
1939 Spielman Road, Williamsport, MD
Washington County, Maryland
CLIENT:
Bowman-Spielman LLC
10228 Governor Lane Blvd. Suite 3022 Williamsport, MD 21795
301-582-1833

PROJECT NO: 5809	
CAD DWG FILE: Existing Conditions.DWG	
DWN BY: DWH	DATE: 10-30-2015
CHK BY:	DATE:
TAX MAP: 56-14-148	ELECTION DIST: 02
SCALE: 1" = 50'	
SHEET TITLE: Existing Conditions & Demo Plan	
V-101	
SHEET 3 OF 25	
SP-16-005	

P:\Projects\5809\DWG\5809 CONSTRUCTION SET\04- 5809 C-101 Site Plan.dwg, Layout, 5/19/2017 2:50:04 PM
DWG TO PDF.pc3



Professional Engineer
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 00454 Expiration Date: 05/22/2017

FREDERICK SEIBERT & ASSOCIATES, INC.
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128 SOUTH POTOMAC STREET • HAGERSTOWN, MARYLAND 21740
100 WEST HANOVER STREET • CARLISLE, PENNSYLVANIA 17013
(301) 993-3650 (301) 454-276 (717) 997-5007 FAX (301) 738-4666

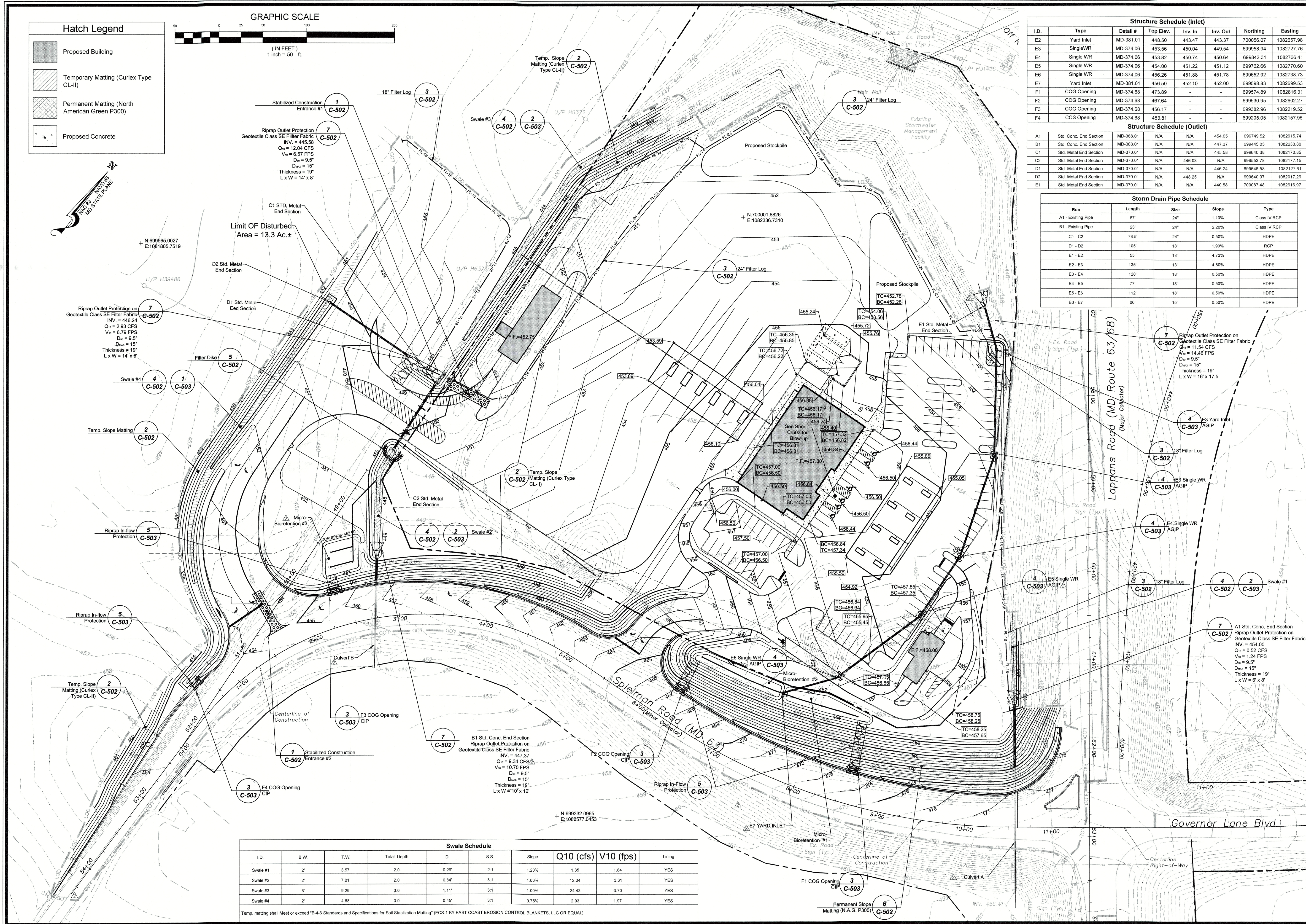
DATE:	DESCRIPTION:
3-28-2016	Revised per Planning comments
10-10-16	Revised per SHA comments

Bowman Cornfield
Sited along north side of Spielman Road and west side of MD Route 63 at their intersection
15919 Spielman Road Williamsport, MD
Washington County, Maryland
Client: Bowman-Spielman, LLC
10226 Governor Lane Blvd. Suite 302 Williamsport, MD 21795
301-582-1555

PROJECT NO:	5809
CAD DWG FILE:	Site Plan.DWG
DWN BY:	DWH
CHK BY:	DATE
TAX MAP:	56-14-148
ELECTION DIST.	02
SCALE:	1" = 50'

SHEET TITLE:	Site Plan
C-101	
SHEET 4 OF 25	
SP-16-005	

P:\Projects\5809.Dwg\5809 CONSTRUCTION SET 05- 5809 C-102 Grading & SEC.dwg, Layout, 5/19/2017 2:50:26 PM
DWG To PDF.pc3



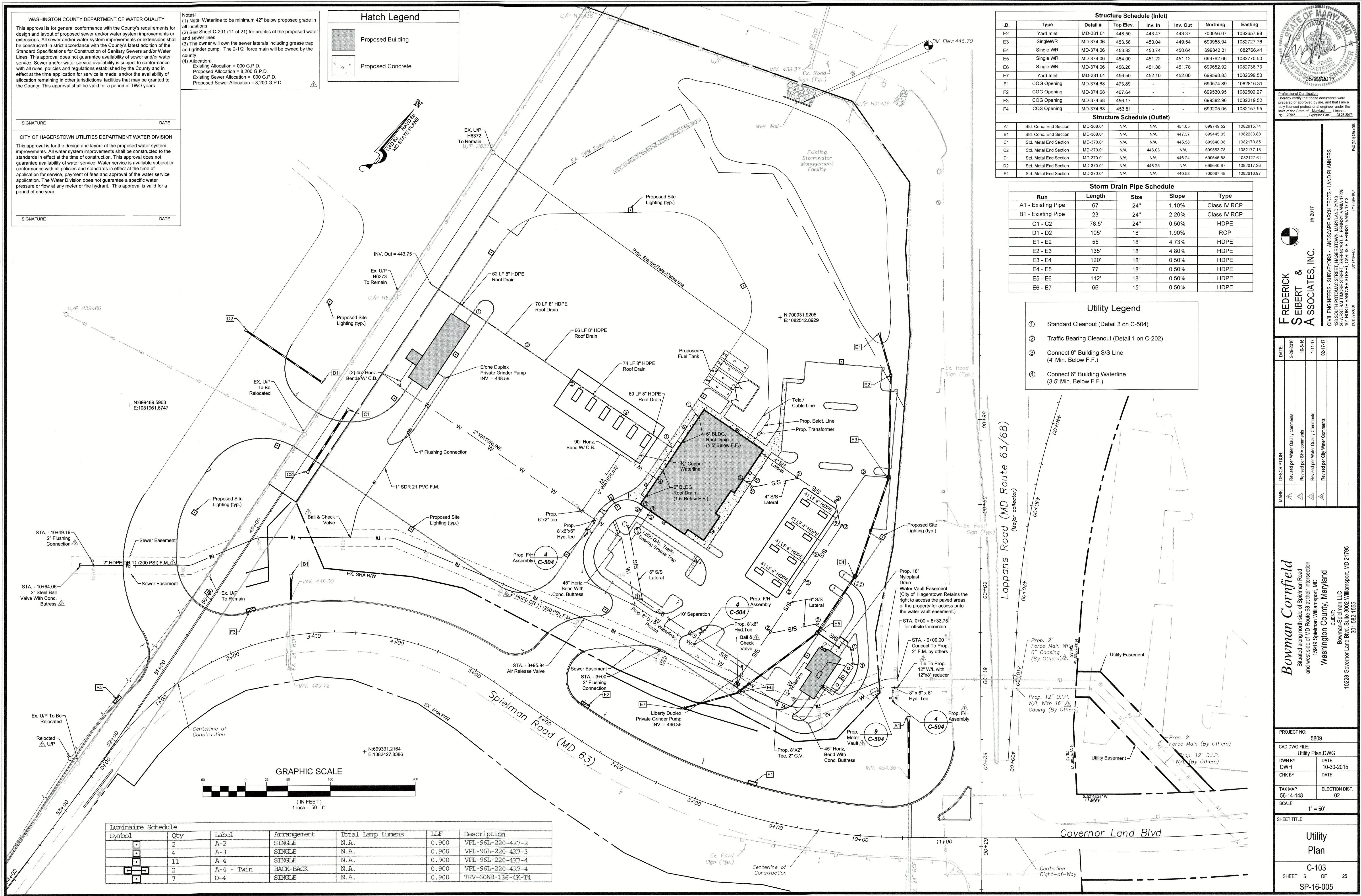
STATE OF MARYLAND
Professional Engineer
05/22/2017

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20955 Expiration Date: 09/23/2017

FREDERICK SEIBERT & ASSOCIATES, INC.
© 2017
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21426
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013

Bowman Cornfield
Sited along north side of Spielman Road
and west side of MD Route 63 at their intersection
15919 Spielman Road Williamsport, MD
Washington County, Maryland
CLIENT: Bowman-Spielman LLC
10228 Governor Lane Blvd. Suite 302 Williamsport, MD 21795
301-582-1255

PROJECT NO: 5809
CAD DWG FILE: Grading & SEC.DWG
DWN BY: DWH DATE: 10-30-2015
CHK BY: DATE:
TAX MAP: 56-14-148 ELECTION DIST. 02
SCALE: 1" = 50'
SHEET TITLE: Grading & SEC Plan
C-102
SHEET 5 OF 25
SP-16-005



WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest addition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

SIGNATURE _____ DATE _____

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION

This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE _____ DATE _____

- Notes:
- (1) Note: Waterline to be minimum 42" below proposed grade in all locations.
 - (2) See Sheet C-201 (11 of 21) for profiles of the proposed water and sewer lines.
 - (3) The owner will own the sewer laterals including grease trap and grinder pump. The 2-1/2" force main will be owned by the county.
 - (4) Allocation:
Existing Allocation = 000 G.P.D.
Proposed Allocation = 8,200 G.P.D.
Existing Sewer Allocation = 000 G.P.D.
Proposed Sewer Allocation = 8,200 G.P.D.

Hatch Legend

- Proposed Building
- Proposed Concrete

Structure Schedule (Inlet)

ID.	Type	Detail #	Top Elev.	Inv. In	Inv. Out	Northing	Easting
E2	Yard Inlet	MD-381.01	448.50	443.47	443.37	700056.07	1082657.98
E3	Single WR	MD-374.06	453.56	450.04	449.54	699558.94	1082727.76
E4	Single WR	MD-374.06	453.82	450.74	450.64	699842.31	1082766.41
E5	Single WR	MD-374.06	454.00	451.22	451.12	699762.66	1082770.60
E6	Single WR	MD-374.06	456.26	451.88	451.78	699552.92	1082738.73
E7	Yard Inlet	MD-381.01	456.50	452.10	452.00	699558.83	1082699.53
F1	COG Opening	MD-374.68	473.89	-	-	699574.89	1082816.31
F2	COG Opening	MD-374.68	467.64	-	-	699530.95	1082602.27
F3	COG Opening	MD-374.68	456.17	-	-	699382.96	1082219.52
F4	COS Opening	MD-374.68	453.81	-	-	699205.05	1082157.95

Structure Schedule (Outlet)

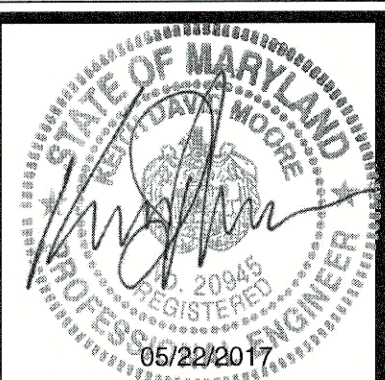
ID.	Type	Detail #	Top Elev.	Inv. In	Inv. Out	Northing	Easting
A1	Std. Conc. End Section	MD-368.01	N/A	N/A	454.05	699749.52	1082915.74
B1	Std. Conc. End Section	MD-368.01	N/A	N/A	447.37	699445.05	1082233.80
C1	Std. Metal End Section	MD-370.01	N/A	N/A	445.58	699640.38	1082170.85
C2	Std. Metal End Section	MD-370.01	N/A	446.03	N/A	699553.78	1082177.15
D1	Std. Metal End Section	MD-370.01	N/A	N/A	446.24	699646.58	1082127.61
D2	Std. Metal End Section	MD-370.01	N/A	448.25	N/A	699640.97	1082017.26
E1	Std. Metal End Section	MD-370.01	N/A	N/A	440.58	700087.48	1082616.97

Storm Drain Pipe Schedule

Run	Length	Size	Slope	Type
A1 - Existing Pipe	67'	24"	1.10%	Class IV RCP
B1 - Existing Pipe	23'	24"	2.20%	Class IV RCP
C1 - C2	78.5'	24"	0.50%	HDPE
D1 - D2	105'	18"	1.90%	RCP
E1 - E2	55'	18"	4.73%	HDPE
E2 - E3	135'	18"	4.80%	HDPE
E3 - E4	120'	18"	0.50%	HDPE
E4 - E5	77'	18"	0.50%	HDPE
E5 - E6	112'	18"	0.50%	HDPE
E6 - E7	66'	15"	0.50%	HDPE

Utility Legend

- ① Standard Cleanout (Detail 3 on C-504)
- ② Traffic Bearing Cleanout (Detail 1 on C-202)
- ③ Connect 6" Building S/S Line (4' Min. Below F.F.)
- ④ Connect 6" Building Waterline (3.5' Min. Below F.F.)



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 2895, Expiration Date: 08-23-2017.

FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
101 NORTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013
(301) 794-5065
FAX (301) 794-5065
© 2017

DATE:	DESCRIPTION:	MARK:
3-28-2016	Revised per Water Quality comments	Δ
10-5-16	Revised per SHM comments	Δ
11-1-17	Revised per Water Quality Comments	Δ
02-17-17	Revised per City Water Comments	Δ

Bowman Cornfield
Sited along north side of Spielman Road and west side of MD Route 68 at their intersection
15919 Spielman Williamsport, MD
Washington County, Maryland
CLIENT:
Bowman-Spielman LLC
10228 Governor Lane Blvd, Suite 302 Williamsport, MD 21795
301-582-1855

PROJECT NO:	5809
CAD DWG FILE:	Utility Plan.DWG
DWN BY:	DWH
CHK BY:	DATE 10-30-2015
TAX MAP:	56-14-148
SCALE:	1" = 50'
SHEET TITLE:	Utility Plan
C-103	SHEET 6 OF 25
SP-16-005	

**SITE PLAN STAFF REPORT****BASE INFORMATION**

SITE NAME.....: DAILY DRIVE AUTO SALES
NUMBER.....: SP-16-034

OWNER.....: MARTIN CARLIN & CHERYL 14204 DALEY ROAD
LOCATION.....: DALEY ROAD W/S
DESCRIPTION.....: SITE PLAN FOR DAILY DRIVE AUTO SALES

ZONING.....: Agricultural, Rural 1.3
COMP PLAN LU.....: Agriculture
PARCEL.....: 13011206
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....:

TYPE.....:
GROSS ACRES.....: 0.08
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....:
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: September 21, 2016

SITE ENGINEERING**HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION**

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: None
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: I700 NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None



SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	N/A	inside receptacle
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Car lot	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
4		
Parking Spaces - Minimum Required	Recreational Parking Provided	
3	No	

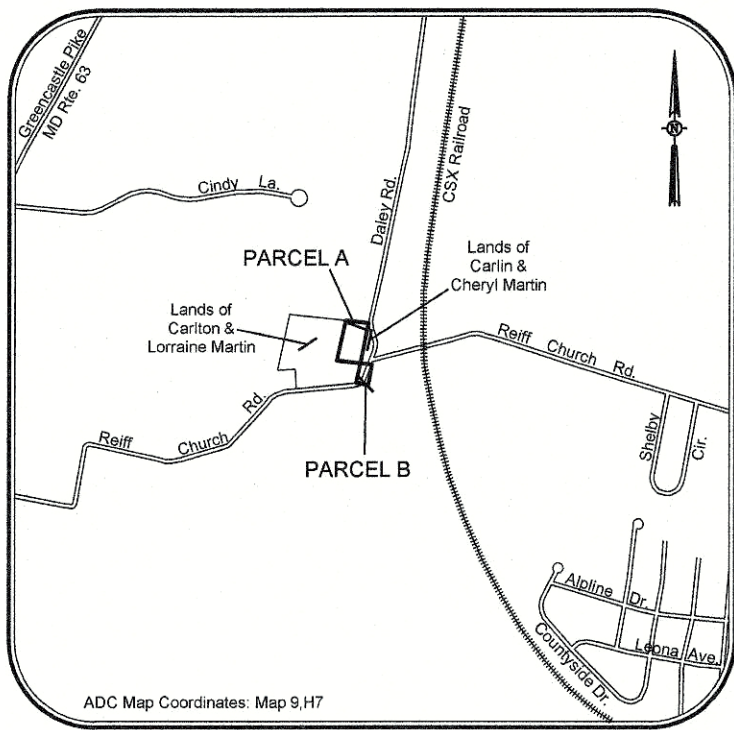
ACCESS SPACING VARIANCE NEEDED: No
NUMBER OF ACCESS POINTS: 1

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	4	3	3

PUPIL YIELD
CURRENT ENROLLMENT
MAXIMUM CAPACITY

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	13
AMBULANCE DISTRICT.....:	M7

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	7	7
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		



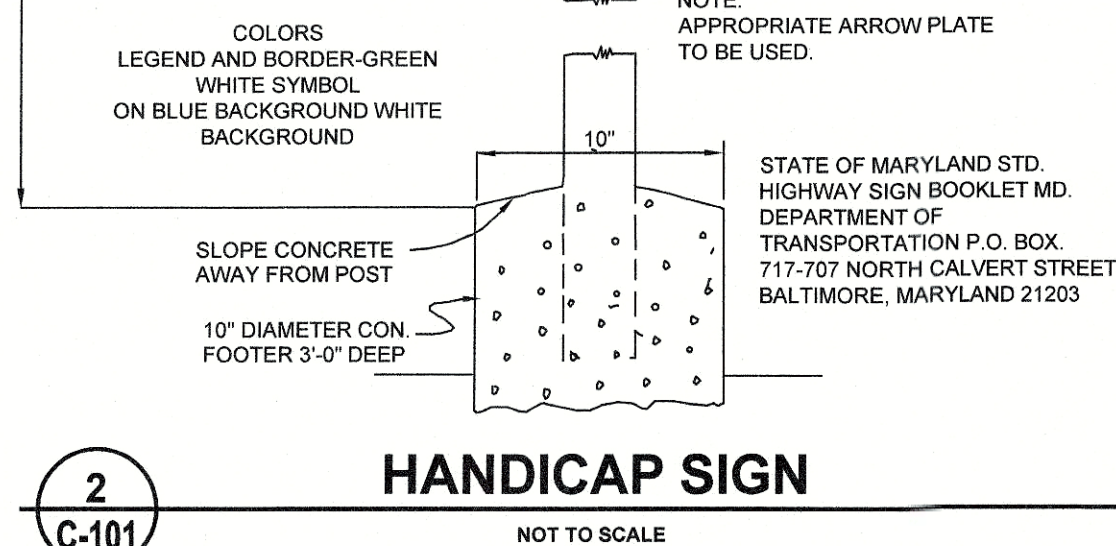
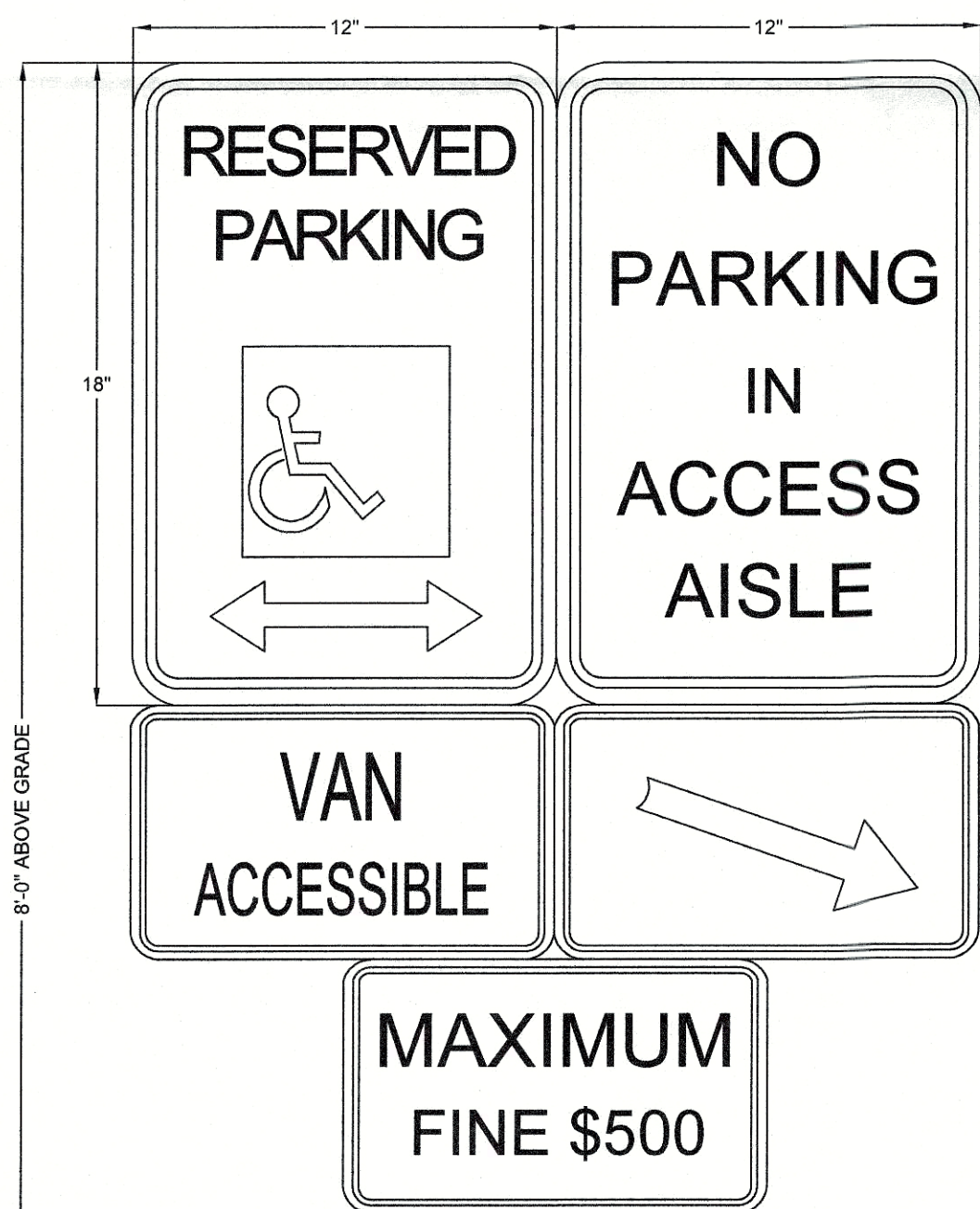
VICINITY MAP
SCALE 1"=2000'

Site Data

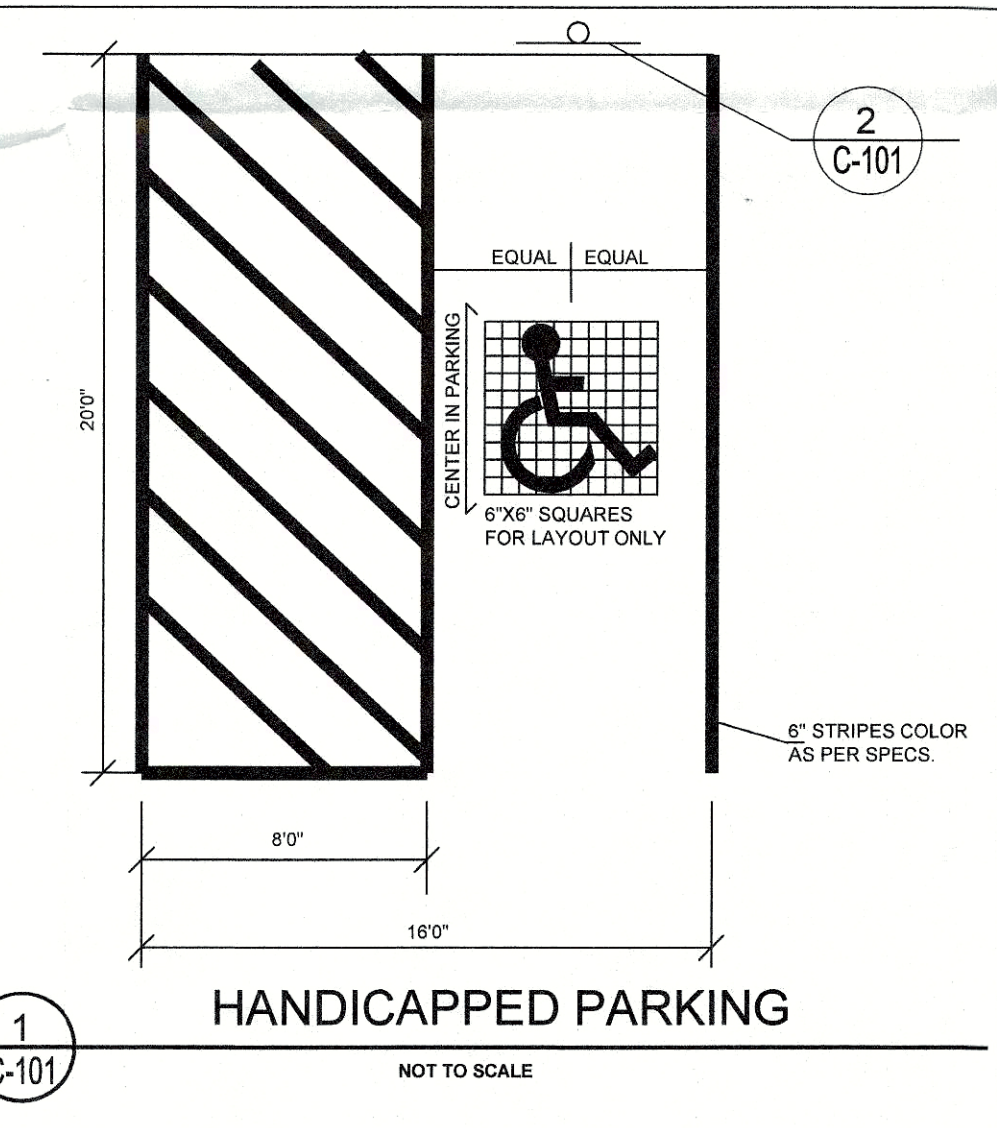
TAX MAP 24-1-489
ELECTION DISTRICT 13
ZONING A(R)
FUNCTIONAL DESCRIPTION USED CAR SALES
NUMBER OF EMPLOYEES 1 RESIDENT
HOURS OF OPERATION 9-5 MON-FRI 9-2 SAT
DELIVERIES UPS WEEKLY
PARCEL AREA 2.74 AC.
SHOWROOM/SALES OFFICE 875 GFA
TOTAL PARKING REQUIRED 3 SPACES
TOTAL PARKING PROVIDED 4 SPACES
REGULAR- 3
HANDICAP- 1

WATER & SEWER WELL & SEPTIC
SITE LIGHTING EXISTING BUILDING MOUNTED
SOLID WASTE TRASH CAN & PRIVATE LAULER
SIGNAGE BUILDING MOUNTED
FORESTATION EXEMPT; DISTURBED AREA LESS THAN 20,000 S.F.
SENSITIVE AREAS THERE ARE NO KNOWN FLOODPLAINS, STREAMS AND
RELATED BUFFERS, OR HABITAT OF THREATENED OR
ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH
AND WILDLIFE SERVICE PER CFR 17 AS REQUIRED TO
BE SHOWN BY SECTION 4.21 OF THE ZONING ORDINANCE.

1 space per 500 sq ft of the GFA of
showroom and sales office plus one
space per employee



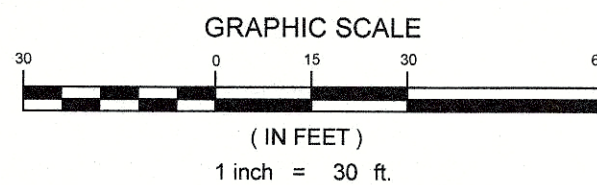
Legend		
SYMBOL	PROPOSED	FEATURE
---	---	PROPERTY LINE, CORNER
---	---	PERMANENT EASEMENT
---	---	CENTERLINE
---	---	CONTOURS
---	---	TREE LINE
---	---	EDGE OF PAVEMENT
---	---	CONCRETE CURB
---	---	FENCE LINE
---	---	STREAM OR DITCH
---	---	FLOW LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE, STUB
---	---	GAS LINE
---	---	FORCE MAIN
---	---	STORM DRAIN, END SECTION
---	---	ROOF DRAIN PIPE
---	---	WATER VALVE
---	---	FIRE HYDRANT, METER
---	---	OVERHEAD ELECTRIC LINE
---	---	RAILROAD TRACKS
---	---	BUILDINGS, HOUSES, GARAGES
---	---	SANITARY SEWER MANHOLE
---	---	STORM DRAIN INLET
---	---	UTILITY POLE
---	---	HANDICAP PARKING
---	---	POLE LIGHT
---	---	ROAD SIGN
---	---	SPOT ELEVATION
---	---	DOUBLE WATER METER
---	---	DOUBLE SEWER CLEANOUT
---	---	DETAIL REFERENCE
P.I.	P.O.I.	POINT OF INTERSECTION
P.C.	B.C.	POINT OF CURVATURE
P.T.	T.C.	POINT OF TANGENCY



- NOTES:
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
 - FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
 - All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
 - Exterior lighting will consist of existing building mounted lights and directed on site as shown on the site plan.
 - As shown a 1.3 Ac portion of this property was rezoned RB per RZ-16-002.

LINE	BEARING	DISTANCE
L1	S80°52'12"E	25.92'
L2	S24°19'51"E	34.41'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	296.64	45.90'	45.92'	S19°46'41"E	8°52'40"
C2	158.22	98.80'	98.93'	N06°35'58"W	38°26'39"



DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY

3,500	SF	0.08	AC
-------	----	------	----

AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY

0	CU	YDS.
---	----	------

OF EXCAVATION AND APPROXIMATELY

0	CU	YDS.
---	----	------

OF FILL.

APPROVAL:
WASHINGTON COUNTY PLAN REVIEW DEPARTMENT

SIGNATURE _____ DATE _____

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20845 Expiration Date: 8-23-17

FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17033
(410) 397-3800 (410) 397-3807 (717) 791-8111
www.fsa-inc.com

DATE:	
DESCRIPTION:	
MARK:	

DAILY DRIVE AUTO SALES
14024 Daley Rd
Hagerstown, MD 21740
WASHINGTON COUNTY, MARYLAND
CLIENT: Carlin Martin
14204 Daley Rd, Hagerstown MD 21740
301-575-1554

PROJECT NO: 5928
CAD DWG FILE: 5928 site plan.dwg
DWN BY AGH DATE 09-15-2016
CHK BY DATE
TAX MAP 24-1-489 ELECTION DIST. 13
SCALE 1" = 30'

SHEET TITLE
SITE PLAN

C-101
SHEET 1 OF 1
SP-16-034

RECEIVED

MAY 17 2017

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

Owner:
Carlin & Cheryl Martin
14204 Daley Road
Hagerstown Md. 21740



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: NTB TIRE & SERVICE CENTER
NUMBER.....: SP-17-004

OWNER.....: NTB TIRE & SERVICE CENTER 17608 VALLEY MALL ROAD
LOCATION.....: WEST SIDE OF MASSEY BOULEVARD
DESCRIPTION.....: PROPOSED TIRE AND SERVICE CENTER REV 1

ZONING.....: Planned Business
COMP PLAN LU.....: Commercial
PARCEL.....: 26043085
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....:

TYPE.....:
GROSS ACRES.....: 1.04
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....:
ENGINEER.....:
RECEIVED.....: February 28, 2017

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: None
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: NOT HIST NOT ON NATIONAL REGISTER
EASEMENTS PRESENT.....: None



SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
70.9		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	N/A	Screened dumpster
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
N/A	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
32		
Parking Spaces - Minimum Required	Recreational Parking Provided	
26	No	

Proposed New Road Names

20300 N/A

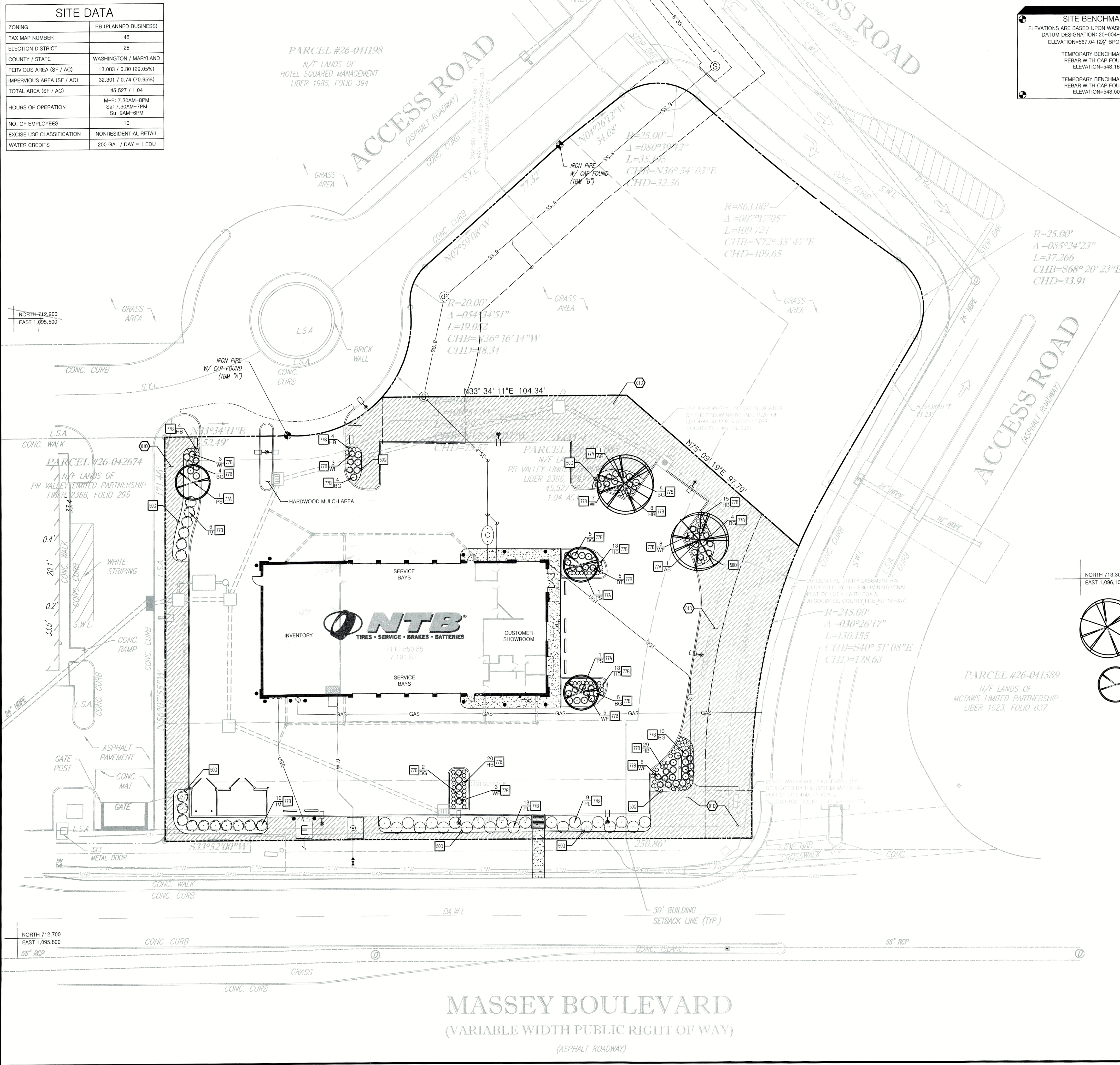
ACCESS SPACING VARIANCE NEEDED: No

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT			
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	13
AMBULANCE DISTRICT.....:	75

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	Hagerstown	Conococheague
SERVICE AREA.....:	Hagerstown	Conococheague
PRIORITY.....:	1	1
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Cono

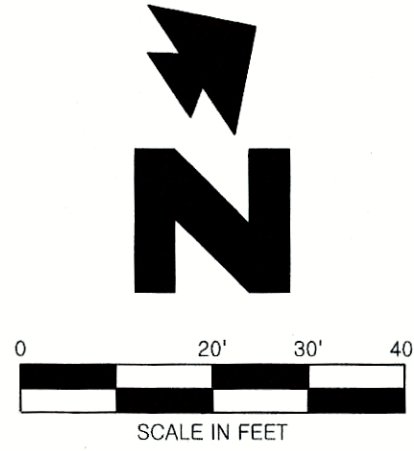
SITE DATA	
ZONING	PB (PLANNED BUSINESS)
TAX MAP NUMBER	48
ELECTION DISTRICT	26
COUNTY / STATE	WASHINGTON / MARYLAND
PERVIOUS AREA (SF / AC)	13,083 / 0.30 (29.05%)
IMPERVIOUS AREA (SF / AC)	32,301 / 0.74 (70.95%)
TOTAL AREA (SF / AC)	45,384 / 1.04
HOURS OF OPERATION	M-F: 7:30AM-8PM Sa: 7:30AM-7PM Su: 9AM-6PM
NO. OF EMPLOYEES	10
EXCISE USE CLASSIFICATION	NONRESIDENTIAL RETAIL
WATER CREDITS	200 GAL / DAY = 1 EDU



SITE BENCHMARK	
ELEVATIONS ARE BASED UPON WASHINGTON COUNTY DATUM DESIGNATION: 20-004-96 (NAVD88)	ELEVATION=567.04 (2" BRONZE DISK)
TEMPORARY BENCHMARK A	REBAR WITH CAP FOUND. ELEVATION=548.16
TEMPORARY BENCHMARK B	REBAR WITH CAP FOUND. ELEVATION=548.00



Know what's below.
Call before you dig.



NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

LEGEND

EXISTING	
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GUTTER ELEVATION
	EXIST. BOTTOM OF WALL ELEVATION
	GAS VALVE
	GAS METER
	ELECTRIC METER
	UNDERGROUND GAS LINE
	UNDERGROUND TEL. LINE
	UNDERGROUND WATER LINE
	AREA LIGHT
	PAY PHONE
	CLEAN OUT
	SIGN
	PAINTED ARROWS
	LANDSCAPED AREA
	METAL COVER
	TYPICAL GAS MANHOLE
	DRAINAGE/STORM MANHOLE
	SANITARY/SEWER MANHOLE
	TELEPHONE MANHOLE
	CATCH BASIN OR INLET
	PARKING SPACE COUNT
	DEPRESSED CURB
	SOLID WHITE LINE
	SOLID YELLOW LINE
	DOUBLE YELLOW LINE
	DASHED WHITE LINE
	BUILDING
	UNDER GROUND
	DEPRESSED CURB

PROPOSED	
	PROPERTY LINE/RIGHT OF WAY LINE
	STORM DRAIN
	TURF TYPE TALL FESCUE SOD
	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

LANDSCAPE NOTES	
01D	SODDED GREEN AREA.

LANDSCAPE DETAILS	
50Q	STEEL EDGING
77A	TREE PLANTING
77B	SHRUB PLANTING

PLANT LIST						
SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	AB	2	TRIDENT MAPLE Acer buergerianum	B&B	2" CAL.	
	PS	3	KWANZAN FLOWERING CHERRY Prunus serrulata 'Kwanzan'	B&B	2" CAL.	
1	IM	16	BLUE PRINCESS HOLLY Ilex x messeiata 'Blue Princess'	CONT.	3 GAL.	5'-0" o.c.
2	PL	22	OTTO LUYKEN ENGLISH LAUREL Prunus laurocerasus 'Otto Luyken'	CONT.	3 GAL.	5'-0" o.c.
	BQ	39	GREEN VELVET BOXWOOD Buxus 'Green Velvet'	CONT.	3 GAL.	4'-0" o.c.
	WF	42	DARK HORSE WEGELA Weigela florida 'Dark Horse'	CONT.	1 GAL.	3'-0" o.c.
	HB	106	BLACK EYED SUSAN DAYLILY Hemerocallis 'Black Eyed Susan'	CONT.	1 GAL.	1'-6" o.c.

LANDSCAPE REQUIREMENTS: PER CITY OF HAGERSTOWN ZONING ORDINANCE		
	REQUIRED	PROVIDED
5% OF SITE LANDSCAPED (45,527 SF X .05 = 2,276 SF)	2,276 SF	2,754 SF

NTB TIRE & SERVICE CENTER
PROTO: 8BAY STUBBY
17608 VALLEY MALL ROAD
HAGERSTOWN, MD

Engineering Associates, Inc.

ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
DWC NAME: 38731-UP
REVISION: REV-4

DATE: 4/13/17
REVISION: REV-4
SHEET TITLE: LANDSCAPE PLAN
SHEET NUMBER: C8
COUNTY FILE NO: SP-17-004

SITE DATA	
ZONING	PB (PLANNED BUSINESS)
TAX MAP NUMBER	48
ELECTION DISTRICT	26
COUNTY / STATE	WASHINGTON / MARYLAND
PERVIOUS AREA (SF / AC)	13,083 / 0.30 (29.05%)
IMPERVIOUS AREA (SF / AC)	32,301 / 0.74 (70.95%)
TOTAL AREA (SF / AC)	45,327 / 1.04
HOURS OF OPERATION	M-F: 7:30AM-8PM Sat: 7:30AM-7PM Su: 9AM-8PM
NO. OF EMPLOYEES	10
EXCISE USE CLASSIFICATION	NONRESIDENTIAL RETAIL
WATER CREDITS	200 GAL / DAY = 1 EDU

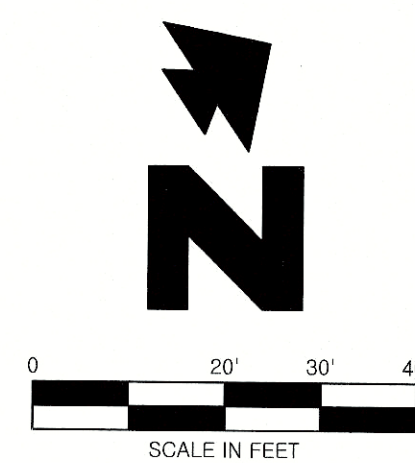
PARCEL #26-041198
N/F LANDS OF
HOTEL SQUARED MANAGEMENT
LIBER 1985, FOLIO 394

SITE BENCHMARK
ELEVATIONS ARE BASED UPON WASHINGTON COUNTY
DATUM DESIGNATION: 20-004-96 (NAVDSB)
ELEVATION=567.04 (2" BRONZE DISK)

TEMPORARY BENCHMARK A
REBAR WITH CAP FOUND.
ELEVATION=548.16

TEMPORARY BENCHMARK B
REBAR WITH CAP FOUND.
ELEVATION=548.00

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT
LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULE, SLOPED
PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND
PRECISE BUILDING DIMENSIONS.



LEGEND

EXISTING	
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GUTTER ELEVATION
	EXIST. BOTTOM OF WALL ELEVATION
	GAS VALVE
	GAS METER
	ELECTRIC METER
	UNDERGROUND GAS LINE
	UNDERGROUND TEL. LINE
	UNDERGROUND WATER LINE
	AREA LIGHT
	PAY PHONE
	CLEAN OUT
	SIGN
	PAINTED ARROWS
	LANDSCAPED AREA
	METAL COVER
	TYPICAL GAS MANHOLE
	DRAINAGE/STORM MANHOLE
	SANITARY/SEWER MANHOLE
	TELEPHONE MANHOLE
	CATCH BASIN OR INLET
	PARKING SPACE COUNT
	DEPRESSED CURB
	SOLID WHITE LINE
	SOLID YELLOW LINE
	DOUBLE YELLOW LINE
	DASHED WHITE LINE
	BUILDING
	UNDER GROUND
	DEPRESSED CURB
PROPOSED	
	PROPERTY LINE/RIGHT OF WAY LINE
	GRADE BREAK
	FLOW LINE
	CONTOUR ELEVATIONS
	SPOT ELEVATIONS: TC = TOP OF CURB G = GUTTER FS = FINISHED SURFACE FFE = FINISHED FLOOR ELEVATION FL = FLOW LINE TEST PIT LOCATION

GENERAL GRADING NOTES

- A. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- B. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

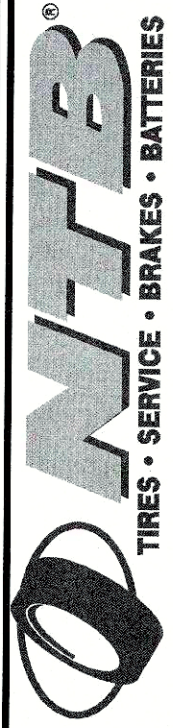
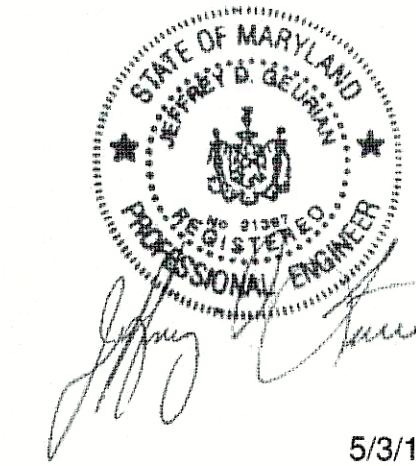
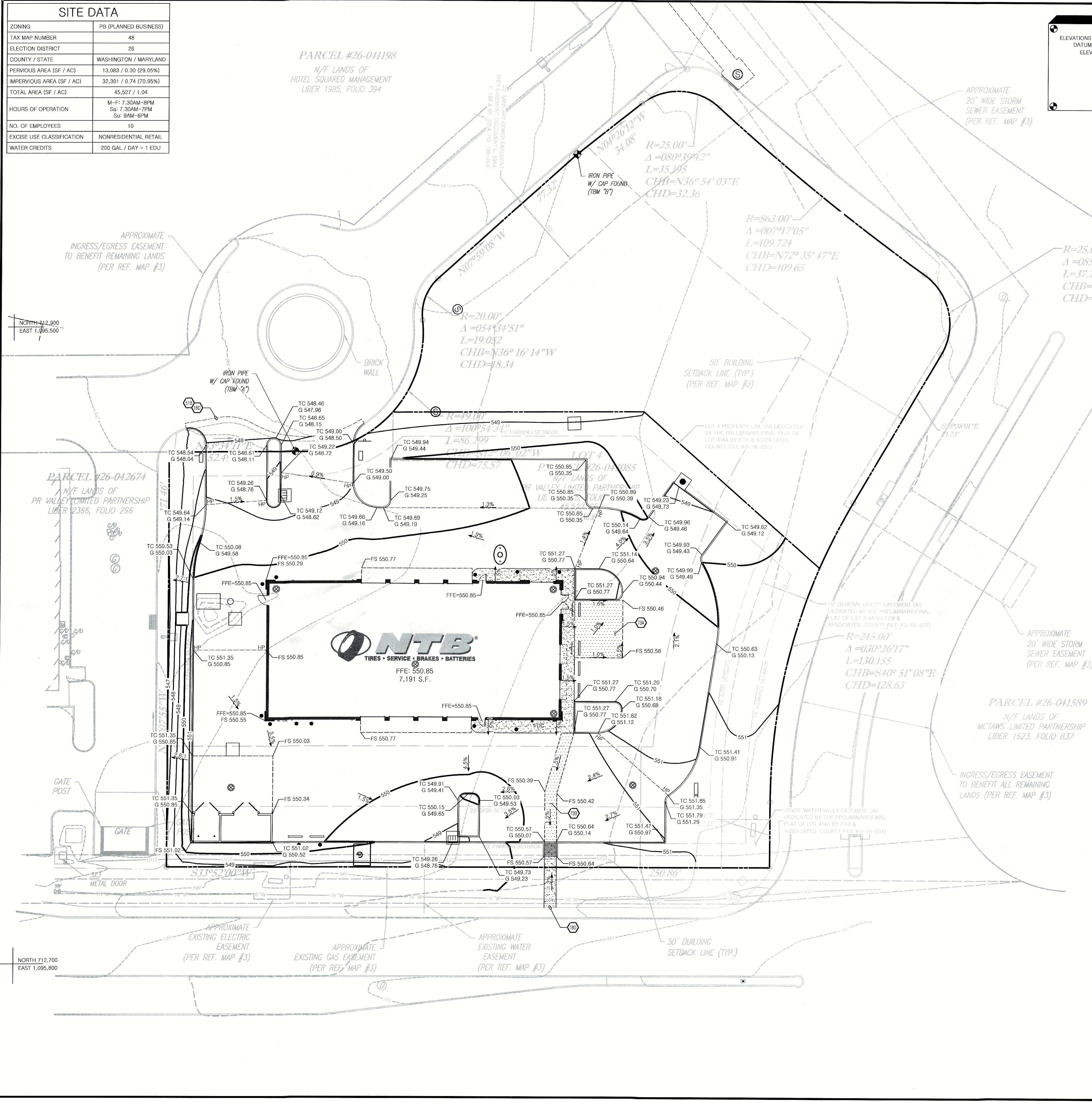
GRADING NOTES

- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
73A ADA AREA, NO MORE THAN 2% SLOPE IN ANY DIRECTION.
73B ADA AREA, NO MORE THAN 5% SLOPE ALONG THE PATH OF TRAVEL AND NO MORE THAN 2% CROSS SLOPE.

NORTH 712,900
EAST 1,095,500

NORTH 713,300
EAST 1,098,100

NORTH 712,700
EAST 1,095,800



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NTB TIRE & SERVICE CENTER
PROTO: 8BAY STUBBY
17608 VALLEY MALL ROAD
HAGERSTOWN, MD

PRELIMINARY - NOT FOR CONSTRUCTION

DATE:	REVISION
5/2/17	REV-5

SHEET TITLE:

GRADING PLAN

C4	SHEET NUMBER:
COUNTY FILE NO: SP-17-004	



ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS

COPY

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

May 15, 2017

Lisa Kelly
Washington County Department of Plan Review and Permitting
80 W. Baltimore Street
Hagerstown, MD 21740

Re: Westfields Subdivision
Section 6 Revision

Dear Lisa,

I'm writing to document previous discussions we've had with Tim Lung pertaining to a proposed revision to the lot configuration within Section 6, more specifically the lots created via the recorded Section 6A Final Plat. The Final Plat for Section 6A was prepared and approved and has been recorded as Washington County Plat Numbers 9337-9339. This plat created twenty-three (23) single family lots, twenty (20) of which were 100' wide lots and the remaining three (3) were 80' lots.

The project developer is proposing a revision to the Section 6A Final Plat that will be done in the form of a replat. The revision will consist of vacating the twenty – 100' wide lots currently planned on Bathgate Terrace & Brownstone Place and re-platting those lot areas with forty semi-detached residential lots. This re-platting procedure was discussed with Tim Lung during a meeting of 4-26-2017. I've attached a number of documents that may assist you in making a presentation of this proposed revision at the June 5, 2017 Planning Commission meeting. These documents include the following:

- Washington County Plat Numbers 9337-9339. *This plat depicts the current platted configuration of Section 6A. The intent is to vacate the platted lot lines for the 100' lots, lots 543-562, and re-plat the area with forty (40) semi-detached lots. Please note that lots 212,366 and 367 are not impacted by the re-plat proposed.*
- Sketch Plan Westfields Section 6. *This plan depicts the proposed layout of the semi-detached lots where the 100' wide single family lots were originally proposed. The semi-detached (duplex) lots proposed have minimum lot dimensions of a width of no less than 49' and a depth of no less than 130' which yield a minimum lot area of 6,370 SF. The building restriction lines used are Front-25'; Rear-30'; and Side-8'. The alignment and geometry of Bathgate Terrace and Brownstone Place is not proposed to be altered in anyway and will remain open section roadways.*

- Concept Plan 11" x 17" Color Rendering dated January 10, 2013. ***This colored concept plan is the most recent document you should have in your files.***
- Concept Plan 11" x 17" Color Rendering (B) dated May 3, 2017 ***This colored concept plan is representative of the revisions that are proposed within Section 6A, i.e. the increase from twenty (20) single family lots to forty (40) semi-detached lots within the area designated as Section 6A on the above referenced Final Plat (W.C. Plat No. 9337-9339). This exhibit also depicts a revision to section 7 where 20 lots were eliminated from Section 7 resulting in the yield of the Westfields project as a whole remaining at 773 lots. Additionally, the lots revised within Section 7 also included eliminating two (2) cul-de-sacs and revising the Alloway Drive roadway section from a closed section (curb) to open section (roadside drainage ditches). This roadway section revision only applied to a relatively short section of Alloway Drive as the majority of Alloway Drive was originally designed and approved as an open section roadway initially. This open section roadway is consistent with other 80' wide lots within Section 7.***

In closing, we trust that this correspondence as well as the attachments does provide for a clear overview of the lot type revisions and roadway section revisions we're seeking approval on. We respectfully request that this topic be added to the Planning Commissions Agenda for discussion at their regular meeting of June 5, 2017. Eight (8) copies of this letter and the above referenced attachments are enclosed for Planning Commission use.

Sincerely,
FOX & ASSOCIATES, INC.



Stephen C. Cvijanovich
Senior Project Manager

CC: Jonathan Pembroke

WESTFIELDS

REVISED JANUARY 10, 2013



LEGEND

- SECTION 1 LOTS
76 LOTS RECORDED
- SECTION 2 LOTS
36 LOTS RECORDED
- SECTION 3 LOTS
184 LOTS RECORDED
- SECTION 4A - 50 UNRECORDED LOTS
SECTION 4B: 47 RECORDED LOTS
SECTION 4C: 20 RECORDED LOTS
- SECTION 5 LOTS
69 LOTS RECORDED
- SECTION 6 LOTS
23 LOTS RECORDED
71 LOTS REMAINING TO BE RECORDED
- SECTION 7 LOTS
126 LOTS REMAINING TO BE RECORDED
- SECTION 8 LOTS
71 LOTS REMAINING TO BE RECORDED
- OPEN SPACE
- RETAINED FOREST
- PLANTED FOREST
- STORMWATER POND
- SCHOOL SITE
- PROPOSED DAY CARE CENTER

ORIGINAL TOTAL NUMBER OF LOTS - 773 LOTS
CURRENT TOTAL NUMBER OF LOTS - 773 LOTS

SITE DATA

TOTAL SITE AREA	443.03 ACRES
ROAD R.O.W. AREA	53.5 ACRES
DEDICATED F.L.O.W.	1.02 ACRES
S.W.M. AREA	18.72 ACRES
NET SITE AREA	370.9 ACRES
TOTAL NUMBER OF UNITS	773
GROSS DENSITY	1.7 UNITS/ACRE
NET DENSITY	2.1 UNITS/ACRE
OPEN SPACE AREA	135.09 ACRES
RETAINED FOREST AREA	35.58 ACRES
PLANTED FOREST AREA	11.3 ACRES
TOTAL ON-SITE FOREST	76.78 ACRES

SYMBOL LEGEND

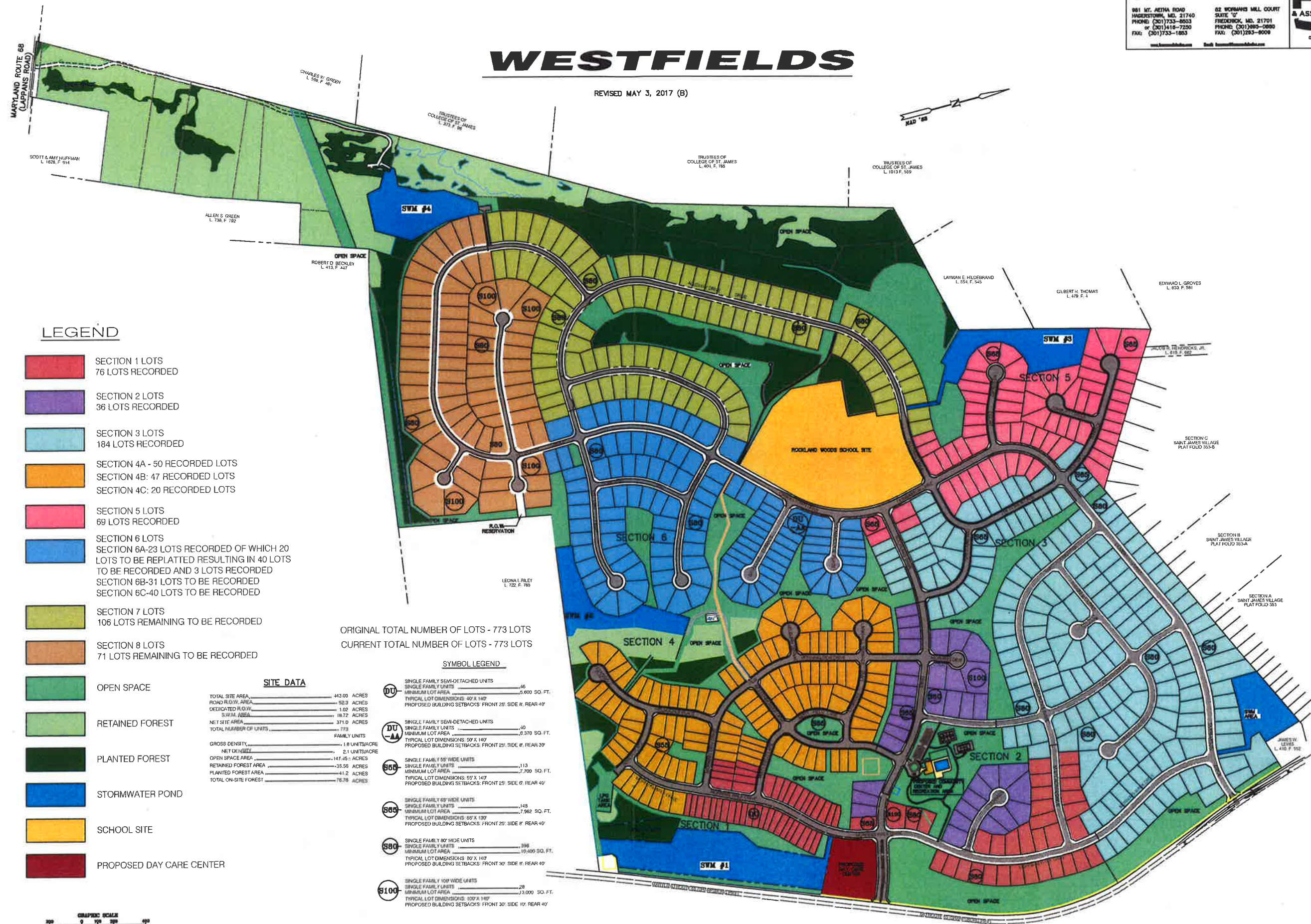
①	SINGLE FAMILY SEMI-DETACHED UNITS	16
	SINGLE FAMILY UNITS	3,800 SQ. FT.
	MINIMUM LOT AREA	40' X 140'
	TYPICAL LOT DIMENSIONS	40' X 140'
	PROPOSED BUILDING SETBACKS	FRONT 25' SIDE 8' REAR 40'
②	SINGLE FAMILY 55' WIDE UNITS	113
	SINGLE FAMILY UNITS	7,700 SQ. FT.
	MINIMUM LOT AREA	40' X 140'
	TYPICAL LOT DIMENSIONS	55' X 140'
	PROPOSED BUILDING SETBACKS	FRONT 25' SIDE 8' REAR 40'
③	SINGLE FAMILY 65' WIDE UNITS	169
	SINGLE FAMILY UNITS	7,992 SQ. FT.
	MINIMUM LOT AREA	40' X 140'
	TYPICAL LOT DIMENSIONS	65' X 130'
	PROPOSED BUILDING SETBACKS	FRONT 25' SIDE 8' REAR 40'
④	SINGLE FAMILY 80' WIDE UNITS	398
	SINGLE FAMILY UNITS	10,400 SQ. FT.
	MINIMUM LOT AREA	40' X 140'
	TYPICAL LOT DIMENSIONS	80' X 140'
	PROPOSED BUILDING SETBACKS	FRONT 30' SIDE 8' REAR 40'
⑤	SINGLE FAMILY 100' WIDE UNITS	18
	SINGLE FAMILY UNITS	23,000 SQ. FT.
	MINIMUM LOT AREA	40' X 140'
	TYPICAL LOT DIMENSIONS	100' X 140'
	PROPOSED BUILDING SETBACKS	FRONT 30' SIDE 10' REAR 40'

RENN ENGINEERING, INC.
ENGINEERS PLANNERS SURVEYORS
834 BRIDGES DRIVE SUITE 7 HAGERSTOWN, MARYLAND 21740
TELEPHONE 301-720-0000 OR 301-347-4000 EMAIL: ADMIN@RENNENGINEERING.COM

GRAPHIC SCALE
0 100 200
SCALE IN FEET
1" = 200 FT.

WESTFIELDS

REVISED MAY 3, 2017 (B)



LEGEND

- SECTION 1 LOTS
76 LOTS RECORDED
- SECTION 2 LOTS
36 LOTS RECORDED
- SECTION 3 LOTS
184 LOTS RECORDED
- SECTION 4A - 50 RECORDED LOTS
SECTION 4B: 47 RECORDED LOTS
SECTION 4C: 20 RECORDED LOTS
- SECTION 5 LOTS
69 LOTS RECORDED
- SECTION 6 LOTS
SECTION 6A-23 LOTS RECORDED OF WHICH 20
LOTS TO BE REPLATTED RESULTING IN 40 LOTS
TO BE RECORDED AND 3 LOTS RECORDED
SECTION 6B-31 LOTS TO BE RECORDED
SECTION 6C-40 LOTS TO BE RECORDED
- SECTION 7 LOTS
106 LOTS REMAINING TO BE RECORDED
- SECTION 8 LOTS
71 LOTS REMAINING TO BE RECORDED
- OPEN SPACE
- RETAINED FOREST
- PLANTED FOREST
- STORMWATER POND
- SCHOOL SITE
- PROPOSED DAY CARE CENTER

ORIGINAL TOTAL NUMBER OF LOTS - 773 LOTS
CURRENT TOTAL NUMBER OF LOTS - 773 LOTS

SYMBOL LEGEND

- DU** SINGLE FAMILY SEMI-DETACHED UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 40' X 140'
PROPOSED BUILDING SETBACKS: FRONT 25', SIDE 8', REAR 40'
- DU-AA** SINGLE FAMILY SEMI-DETACHED UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 50' X 140'
PROPOSED BUILDING SETBACKS: FRONT 25', SIDE 8', REAR 30'
- S60** SINGLE FAMILY 60' WIDE UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 50' X 140'
PROPOSED BUILDING SETBACKS: FRONT 25', SIDE 8', REAR 40'
- S65** SINGLE FAMILY 65' WIDE UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 50' X 130'
PROPOSED BUILDING SETBACKS: FRONT 25', SIDE 8', REAR 40'
- S80** SINGLE FAMILY 80' WIDE UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 80' X 140'
PROPOSED BUILDING SETBACKS: FRONT 30', SIDE 10', REAR 40'
- S100** SINGLE FAMILY 100' WIDE UNITS
SINGLE FAMILY UNITS
MINIMUM LOT AREA
TYPICAL LOT DIMENSIONS: 100' X 140'
PROPOSED BUILDING SETBACKS: FRONT 30', SIDE 10', REAR 40'

SITE DATA

TOTAL SITE AREA	443.03 ACRES
ROAD FLOW AREA	52.3 ACRES
DEDICATED FLOW AREA	1.02 ACRES
SWIM AREA	18.72 ACRES
NET SITE AREA	371.0 ACRES
TOTAL NUMBER OF UNITS	773
FAMILY UNITS	773
GROSS DENSITY	1.8 UNITS/ACRE
NET DENSITY	2.1 UNITS/ACRE
OPEN SPACE AREA	147.45 ACRES
RETAINED FOREST AREA	35.50 ACRES
PLANTED FOREST AREA	41.2 ACRES
TOTAL ON-SITE FOREST	76.70 ACRES

GRAPHIC SCALE
0 100 200
FOOT
SCALE OF PLAN
1" = 300 FT.

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21701
PHONE: (301) 695-0880
FAX: (301) 233-6009
www.foxandassociates.com
Email: foxassoc@foxandassociates.com

981 MT. AETNA ROAD
FACERS TOWN, MD. 21740
PHONE: (301) 733-5503
FAX: (301) 733-1853

DRAWN BY

REVISION

DATE

SKETCH PLAN
WESTFIELDS - SECTION 6
SECTION 6

SITUATED ON THE WEST SIDE OF SHARPSBURG PIKE
ELECTION DISTRICT 10
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=50'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND.

LICENSE NO.: EXP. DATE:

PROJECT NO. 15-42140

DRAWING NO. D-5907

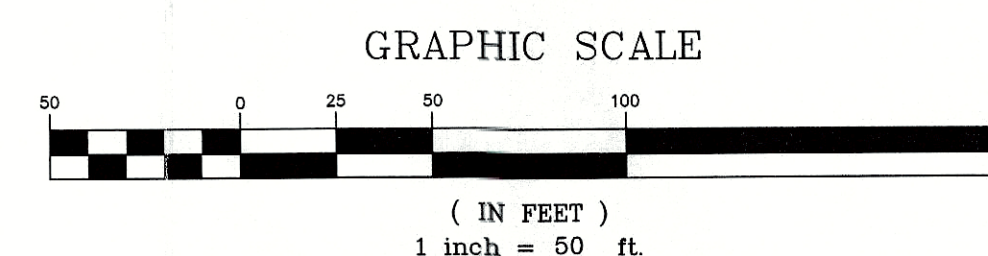
DATE: MAY 2017

DRAWN BY: RLB

CHECKED BY: SCC

SHEET 1 OF 1

- NOTES:
- 40 DUPLEX LOTS
 - MINIMUM BUILDING SETBACKS
FRONT - 25'
REAR - 30'
SIDE - 8'
 - MINIMUM LOT DIMENSION 49' WIDTH X 130' DEPTH
 - MINIMUM LOT AREA 6,370 SF.



NOTE:
SEE SHEET 2 FOR FOREST
CONSERVATION EASEMENTS.

MONUMENT TABLE

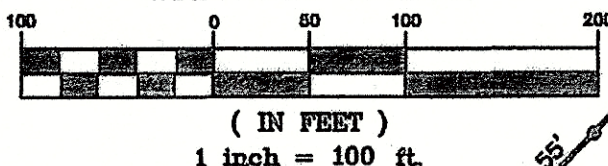
#	NORTH	EAST
MON 1	695359.5305	1105327.4833
MON 2	695076.6522	1105227.5472
MON 3	694854.3455	1104558.2906
MON 4	695021.9482	1104386.5144

WESTFIELDS -
ELEMENTARY SCHOOL SITE
WASH. CO. PLAT No. 8949

OWNER

WESTFIELDS INVESTMENT, LLC
7420 HAYWARD ROAD, SUITE 203
FREDERICK, MD 21704
PHONE: 301-620-4431
MARVIN E. AUSERMAN, PRESIDENT

GRAPHIC SCALE



PLAT NO. 9337
DATE: JAN 08 2008
WASHINGTON COUNTY

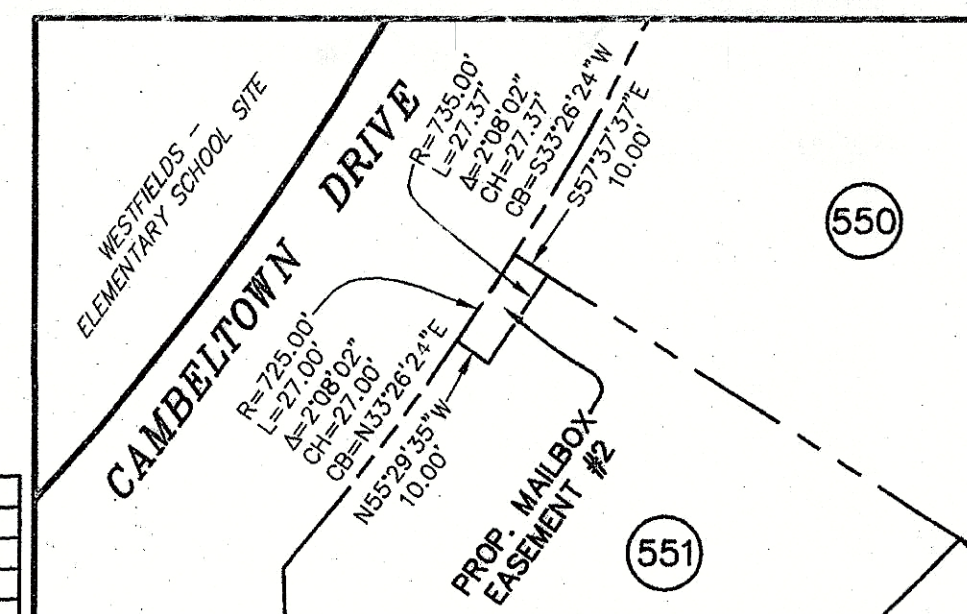
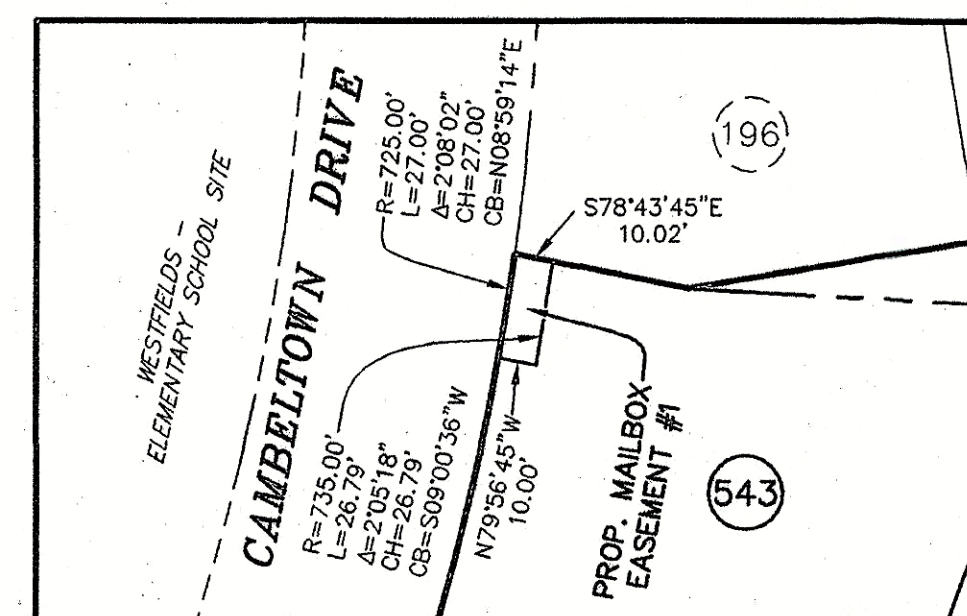
LEGEND

- PEDESTRIAN EASEMENT
- SANITARY SEWER EASEMENT
- CONCRETE MONUMENT (SET)
- 5/8" REBAR WITH CAP (SET) UNLESS OTHERWISE NOTED
- B.S.L. BUILDING SETBACK LINE
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- (TYP.) TYPICAL
- (T) TOTAL DISTANCE
- R/W RIGHT-OF-WAY

SECTION 6A

VICINITY MAP

SCALE: 1" = 2000'



MAILBOX EASEMENT DETAILS
SCALE: 1" = 50'

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S88°40'03"E	9.69'	L15	S19°47'09"W	50.00'
L2	S08°00'56"W	3.05'	L16	N26°50'07"W	36.17'
L3	N58°18'56"E	33.23'	L17	N78°43'45"W	45.82'
L4	N09°04'12"W	18.16'	L18	N87°08'35"W	96.30'
L5	N67°47'14"W	73.96'	L19	N60°45'44"W	87.76'
L6	S85°15'28"W	65.36'	L20	N60°45'44"W	3.88'
L7	N82°45'54"E	76.55'	L21	N44°39'18"W	100.02'
L8	S70°44'36"E	74.26'	L22	N89°17'44"E	36.01'
L9	S66°48'11"E	77.55'	L23	N01°54'53"W	35.41'
L10	S64°03'48"E	78.50'	L24	N45°42'16"W	20.68'
L11	S57°24'36"E	70.11'	L25	S89°51'17"W	185.53'
L12	S50°44'43"E	80.14'	L26	N53°10'48"W	223.53'
L13	N65°50'05"W	60.00'	L27	N73°52'32"W	224.52'
L14	N66°07'44"E	36.34'	L28	N89°06'28"W	37.05'

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH. BEARING	CHORD
C1	57.25'	100.00'	32°48'09"	29.43'	S15°01'12"W	56.47'
C2	32.12'	90.00'	20°27'04"	16.24'	N11°26'50"E	31.95'
C3	147.23'	215.00'	39°14'10"	76.63'	S10°32'53"W	144.37'
C4	233.64'	665.00'	20°07'48"	118.04'	N34°13'49"E	232.44'
C5	5.41'	725.00'	0°25'40"	2.71'	N23°57'05"E	5.41'
C6	100.13'	725.00'	7°54'49"	50.15'	N11°52'37"E	100.05'
C7	23.55'	25.00'	53°58'05"	12.73'	N82°31'26"E	22.69'
C8	12.65'	25.00'	28°59'04"	6.46'	S84°59'03"E	12.51'
C9	10.90'	25.00'	24°59'02"	5.54'	N68°01'54"E	10.82'
C10	301.53'	60.00'	287°56'10"	43.64'	N19°30'28"E	70.59'
C11	85.29'	60.00'	81°26'47"	51.65'	N83°44'13"W	78.29'
C12	66.72'	60.00'	63°42'55"	37.29'	N11°09'22"W	63.34'
C13	66.02'	60.00'	63°02'57"	36.80'	N52°13'34"E	62.74'
C14	82.34'	60.00'	78°37'32"	49.13'	S58°56'12"E	76.03'
C15	1.15'	60.00'	1°08'00"	0.58'	S17°04'26"E	1.15'
C16	23.55'	25.00'	53°58'05"	12.73'	N43°30'29"W	22.69'
C17	204.71'	725.00'	16°10'42"	103.04'	N32°15'16"E	204.03'
C18	105.86'	725.00'	8°12'28"	52.02'	N28°16'09"E	103.77'
C19	100.86'	725.00'	7°58'14"	50.51'	N36°21'30"E	100.78'
C20	23.55'	25.00'	53°58'05"	12.73'	S72°41'19"E	22.69'
C21	301.53'	60.00'	287°56'10"	43.64'	N44°17'44"E	70.59'
C22	68.26'	60.00'	65°11'16"	38.36'	N67°04'44"W	64.64'
C23	93.52'	60.00'	89°18'23"	59.28'	N10°10'05"E	84.34'
C24	70.66'	60.00'	67°28'18"	40.07'	N88°33'26"E	66.64'
C25	69.08'	60.00'	65°58'14"	38.94'	S24°43'18"E	65.33'
C26	23.55'	25.00'	53°58'42"	12.73'	N18°43'32"W	22.69'

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS

PLANNERS

SURVEYORS

P.O. BOX 246

HAGERSTOWN, MARYLAND
TELEPHONE 301-739-5660

21741

PROPERTY MAP 57 - PARCEL 587
ELECTION DISTRICT 10

FINAL PLAT
WESTFIELDS - SECTION 6A

PROPERTY MAP 62 - PARCEL 272

WASHINGTON COUNTY

PROPERTY MAP 62 - PARCEL 11

MARYLAND

FILE No. S-07-113

SHEET NO. 1 OF 3

PROJECT NO.

021066

FILE NO.

C-1569

P48844 MSA CWA 2167 6840

ACREAGE SUMMARY & SITE DATA

ENTIRE SUBDIVISION.....443.0400 ACRES
 LESS SECTION 1.....(42.9906 ACRES)
 LESS SECTION 2.....(23.2472 ACRES)
 LESS SECTION 3.....(77.8451 ACRES)
 LESS SECTION 4.....(53.7653 ACRES)
 LESS SECTION 5.....(25.8271 ACRES)
 LESS SECTION 6A.....(14.9725 ACRES)
 LESS SCHOOL SECTION.....(15.4895 ACRES)
 REMAINING LANDS.....188.9027 ACRES

SECTION 6A LOTS.....9.0248 ACRES
 SECTION 6A ROADS.....2.1842 ACRES
 SECTION 6A OPEN SPACE AREA.....3.7635 ACRES
 TOTAL AREA SECTION 6A.....14.9725 ACRES
 ZONING....."A" AGRICULTURAL DISTRICT
 M.B.S.L. (LOTS 543-562).....F. 30', S. 10', R. 40'
 M.B.S.L. (LOTS 212, 366 & 367).....F. 30', S. 8', R. 40'
 TOTAL LOTS.....23
 LOTS PER ACRE.....1.5 LOTS PER ACRE (GROSS)

DEDICATION FOR CORPORATIONS

We, Marvin E. Ausherman, President, and James B. MacGillivray, Secretary of Westfields Investment, LLC, a Maryland Limited Liability Company, do hereby certify that the corporation is a legal and true owner of the property shown and described on this plat and that the corporation does adopt this Plan of Subdivision, establish the minimum building restriction lines, dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, agree to keep open all spaces and recreation areas shown, and agree that the dedications shall not impose any responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and we hereby reserve the fee simple title to the land underlying said easements, rights of way, open spaces and recreation areas and, with regard to the said easements and rights of way, hereby agree to convey the same to said Board, for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board.

This deed and agreement of dedication shall be binding upon the corporation's grantees, assigns, and successors.

WITNESS our hands and seals this 10th day of December, 2007.

Marvin E. Ausherman (SEAL)
 President

James B. MacGillivray (SEAL)
 Secretary

WITNESS: Jersey Holder

We also certify that the community water and/or community sewerage system proposed for this subdivision will be available to all lots offered for sale. We also certify that plans for the community water supply and/or community sewerage system facilities, including any necessary point of discharge, have been approved by the Department of Health and Mental Hygiene.

There are no suits, actions at law, leases, liens, mortgages, trusts, easements or rights of way affecting the property included in this plan of subdivision except the following: Deed of Trust to Mercantile Mortgage Corporation, in Liber 3161, Folio 704, Water & Sewer Easement to Washington County Sanitary District in Liber 1099, Folio 262. And all parties and interests thereto have hereto affixed their signatures, indicating their assent to this plan of subdivision.

We hereby assent to this plan of subdivision.

WESTFIELDS INVESTMENT, LLC
 By: James B. MacGillivray
 President

Attest: James B. MacGillivray
 Secretary

Date: December 19, 2007

(Corporate Seal)

WITNESS: Jersey Holder

LOT ACREAGE TABLE			
LOT #	SQ. FT.	ACRES±	STREET ADDRESS
212	11,160	0.2562	9419 CAMBELTOWN DRIVE
366	11,200	0.2571	9415 CAMBELTOWN DRIVE
367	11,200	0.2571	9411 CAMBELTOWN DRIVE
543	17,679	0.4058	SEE GENERAL NOTE 16
544	17,708	0.4065	18206 BROWNSTONE PLACE
545	17,972	0.4126	18210 BROWNSTONE PLACE
546	23,355	0.5361	18214 BROWNSTONE PLACE
547	20,971	0.4814	18213 BROWNSTONE PLACE
548	18,539	0.4256	18209 BROWNSTONE PLACE
549	17,720	0.4068	18205 BROWNSTONE PLACE
550	18,622	0.4275	SEE GENERAL NOTE 16
551	17,064	0.3917	SEE GENERAL NOTE 16
552	15,166	0.3482	18206 BATHGATE TERRACE
553	15,456	0.3548	18210 BATHGATE TERRACE
554	16,218	0.3723	18214 BATHGATE TERRACE
555	16,474	0.3782	18218 BATHGATE TERRACE
556	27,252	0.6256	18222 BATHGATE TERRACE
557	22,224	0.5102	18221 BATHGATE TERRACE
558	16,958	0.3893	18217 BATHGATE TERRACE
559	15,906	0.3652	18213 BATHGATE TERRACE
560	15,000	0.3444	18209 BATHGATE TERRACE
561	14,000	0.3214	18205 BATHGATE TERRACE
562	15,276	0.3507	SEE GENERAL NOTE 16
TOTAL	393,120	9.0248	

TOTAL LOTS SEC. 6A = 23

CERTIFICATE OF APPROVAL OF COMMUNITY WATER AND/OR SEWERAGE SYSTEM

I HEREBY CERTIFY THAT THE USE OF THE COMMUNITY WATER AND/OR COMMUNITY SEWERAGE SYSTEM FOR THIS SUBDIVISION IS IN CONFORMANCE WITH THE COUNTY WATER AND SEWERAGE PLAN.

Carl E. Shiner 24 Dec '07
 COUNTY HEALTH OFFICER DATE:

CERTIFICATE OF APPROVAL FINAL APPROVAL GRANTED

12/21/07
 DATE

WASHINGTON COUNTY PLANNING COMMISSION

BY: Markland C. Brannon

CERTIFICATE FOR LENDING INSTITUTIONS

WE DO ASSENT TO THIS PLAN OF SUBDIVISION:

Jersey Holder
 WITNESS DATE

Paul W. Parker

Jersey Holder 12/10/07
 WITNESS DATE

GENERAL NOTES

1. A CLUSTERING CONCEPT TOGETHER WITH A REDUCTION IN LOT SIZE AND SETBACK REQUIREMENTS HAS BEEN APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION. ALL AREAS NOT INCLUDED AS LOTS, ROADS OR STORMWATER MANAGEMENT WILL BE OWNED BY THE HOMEOWNERS ASSOCIATION.
2. ALL FOREST PLANTING SHALL BE ON-SITE.
3. THIS PROPERTY IS WITHIN THE URBAN GROWTH DISTRICT.
4. PUBLIC WATER AND PUBLIC SEWER ARE AVAILABLE.
5. WATER PROVIDED BY CITY OF HAGERSTOWN WATER AND SEWER DEPARTMENT. SANITARY SEWER PROVIDED BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY.
6. MARYLAND ROUTE 65/SHARPSBURG PIKE IS CLASSIFIED AS RURAL ARTERIAL WITH AN ULTIMATE R.O.W. OF 100'.
7. CORNER LOTS SHALL MAINTAIN THE FRONT YARD SETBACK ALONG BOTH STREET FRONTAGES. SETBACKS FROM REMAINING PROPERTY LINES SHALL BE MEASURED AS SIDEYARD.
8. TOTAL ACREAGE OF THE WATERSHED WHICH DIRECTLY AFFECTS THIS SUBDIVISION IS LESS THAN 400 ACRES.
9. THERE IS NO 100 YEAR FLOOD PLAIN ON SECTION 4A PER WASHINGTON COUNTY, MARYLAND FLOOD INSURANCE RATE MAP PANEL NO. 240070 00155A PAGE 155 OF 225, DATED MAY 1, 1978.
10. THERE ARE NO WETLANDS ON THIS SECTION PER WETLANDS MAP - FUNKSTOWN, MD, AS SHOWN HEREON.
11. AN ACCESSORY STRUCTURE SHALL NOT BE PLACED UNTIL THE PRINCIPAL PERMITTED STRUCTURE HAS BEEN CONSTRUCTED.
12. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL OPEN SPACE AREAS INCLUDING THE MONUMENTAL ENTRANCE.
13. ONLY ONE SINGLE FAMILY DWELLING WILL BE PERMITTED PER LOT.
14. NOT SHOWN: UTILITY AND DRAINAGE EASEMENTS OF 10' ALONG THE FRONT AND 8' ALONG THE SIDES AND REAR OF EACH LOT ARE HEREBY DEDICATED.
15. NO BUILDINGS, FENCES OR LANDSCAPING PERMITTED WITHIN ANY INDICATED DRAINAGE & UTILITY EASEMENTS.
16. THE FOLLOWING LOTS WILL BE ASSIGNED AN ADDRESS WHEN A PERMIT SHOWING THE DRIVEWAY LOCATION IS APPLIED FOR: 543, 550, 551 & 562.
17. ALL LOTS ARE SUBJECT TO A PRE-ANNEXATION AGREEMENT WITH THE CITY OF HAGERSTOWN RECORDED AT L. 2348, F. 133.
18. ALL LOTS ARE SUBJECT TO A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR WESTFIELDS COMMUNITY ASSOCIATION, INC. RECORDED AT L. 2331, F. 53.
19. MAILBOX EASEMENTS SHOWN HEREON ARE ESTABLISHED FOR THE PURPOSE OF DEFINING LIMITS OF RESPONSIBILITY FOR MAINTENANCE, REPLACEMENT, LANDSCAPING AND SNOW REMOVAL PER A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE WESTFIELDS COMMUNITY ASSOCIATION, INC. RECORDED IN L. 2331, F. 56.
20. SEE WASHINGTON COUNTY PLAT. NO. 7675 FOR PLAT OF TOTAL TRACT.
21. SIDEWALKS ARE NOT OWNED BY AND SHALL NOT BE MAINTAINED BY WASHINGTON COUNTY.
22. THE TOTAL FOREST EASEMENT AREA FOR SECTION 6 (WHICH INCLUDES SECTION 6A & 6B) IS 9.93 ACRES AND IS PLATTED ON THIS SECTION 6A FINAL PLAT. A TWO YEAR MAINTENANCE AGREEMENT AND SURETY OR BOND WILL BE REQUIRED FOR THE 9.93 ACRES.

"ENVIRONMENTALLY SENSITIVE AREAS" NOTE

THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE, EXCEPT AS SHOWN HEREON.

SURVEYOR'S STATEMENT

I HEREBY CERTIFY, THAT THE PLAN SHOWN HEREON IS CORRECT: THAT IT IS A SUBDIVISION OF THE LANDS CONVEYED BY WESTFIELDS DEVELOPMENT, LLC TO WESTFIELDS INVESTMENT, LLC ON OCTOBER 31, 2006 AND RECORDED IN THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND IN LIBER 3161, AT FOLIO 683, AND THAT CORNERS WERE FOUND OR SET AS SHOWN HEREON. PREPARED UNDER MY RESPONSIBLE CHARGE:

Jed W. Beall 12-04-07
 JED W. BEALL, DATE
 PROPERTY LINE SURVEYOR
 MD. REG. NO. 540



PLAT NO. 9339
 DATE: JAN 08 2008
 WASHINGTON COUNTY

SECT-6 FINAL PLAT-6A

DRAWN BY C.A.S.
DATE JULY 2007
CHECKED BY
DATE
APPROVED BY
DATE
SCALE
NONE

DAVIS, RENN & ASSOCIATES, INC.

ENGINEERS PLANNERS SURVEYORS

P.O. BOX 246 HAGERSTOWN, MARYLAND
 TELEPHONE 301-739-5660

21741

FINAL PLAT
 WESTFIELDS - SECTION 6A

FILE No. S-07-113

PROPERTY MAP 57 - PARCEL 587 ELECTION DISTRICT 10
 PROPERTY MAP 62 - PARCEL 272 WASHINGTON COUNTY
 PROPERTY MAP 62 - PARCEL 11 MARYLAND

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021066
FILE NO.
C-1569

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