



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS
AGENDA

**WASHINGTON COUNTY PLANNING COMMISSION
REGULAR MEETING
April 3, 2017, 7:00 PM
WASHINGTON COUNTY ADMINISTRATION BUILDING
100 WEST WASHINGTON STREET
2ND FLOOR, ROOM 2000**

CALL TO ORDER AND ROLL CALL

MINUTES

1. March 6, 2017 Planning Commission regular meeting *
2. March 20, 2017 Planning Commission public rezoning meeting *

OLD BUSINESS

1. Todd Mike Investments LLC (SP-14-015) – Update; Planner: Tim Lung *

NEW BUSINESS

SITE PLANS

1. Sunbelt Rentals-Crayton Boulevard (SP-17-001) – Proposed equipment rental business with office located along the west side of Crayton Boulevard on 4.93 acres; Zoning: HI – Highway Interchange; Planner: Lisa Kelly *

OTHER BUSINESS

1. Rosewood PUD Revised Development Plan Determination - Revision to the previously approved Rosewood PUD Development Plan (DP-16-001, DP-15-001 and DP-12-001) for property located along the north side of Robinwood Drive, east of Mt. Aetna Road; Request by developer to determine if the proposed change is a minor or a major change; Zoning: RS(PUD) – (Residential Suburban Planned Unit Development); Planner: Tim Lung *
2. Update of Staff Approvals – Tim Lung
3. Comp Plan Update

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, May 1, 2017, 7:00 p.m., Washington County Planning Commission regular meeting, Washington County Administration Building, 100 W. Washington Street, Room 2000, Hagerstown, Maryland

****a t t a c h m e n t s***

The Planning Commission reserves the right to vary the order in which the cases are called.

Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2435 Voice/TDD, to make arrangements no later than ten (10) days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

120 West Washington Street, 2nd Floor | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

**WASHINGTON COUNTY PLANNING COMMISSION
REGULAR MEETING
March 6, 2017**

The Washington County Planning Commission held a regular meeting on Monday, March 6, 2017 at 7:00 p.m. at the Washington County Administration Building, 100 West Washington Street, Public Meeting Room 2000, 2nd Floor, Hagerstown, Maryland.

Commission members present were: Vice-Chairman Clint Wiley, Dennis Reeder, Andrew Bowen, and Jeremiah Weddle. Staff members present were: Washington County Department of Planning & Zoning - Stephen Goodrich, Director and Debra Eckard, Administrative Assistant; Washington County Department of Plan Review - Tim Lung, Deputy Director and Lisa Kelly, Senior Planner. Newly appointed Commission member Robert Goetz, Jr. was present; however he did not participate in any discussions or votes because he has not yet been duly sworn by the Washington County Clerk of the Court.

CALL TO ORDER

The Vice-Chairman called the meeting to order at 7:00 p.m.

MINUTES

Motion and Vote: Mr. Bowen made a motion to approve the minutes of the February 6, 2017 regular meeting as presented. The motion was seconded by Mr. Reeder and unanimously approved.

NEW BUSINESS

-SITE PLANS

Breakaway 2 Event Center (SP-16-040)

Ms. Kelly presented for review and approval a site plan for the proposed Breakaway 2 Event Center located at 13730 Pennsylvania Avenue. The property is currently zoned BG – Business General. The developer is proposing to establish a tavern/events center (or spillover area for the existing restaurant/tavern) in an existing vacant concrete block building to the rear of the existing restaurant. The tavern/event center will be approximately 11,600 square feet and the existing restaurant is approximately 5,300 square feet. There is currently a subdivision re-plat being reviewed by the Department of Plan Review to remove an existing property line and combine the parcels. The site is served by existing public water and public sewer. The hours of operation for the restaurant will be 6 am to 2 am, Monday thru Saturday and Sunday 10 am to 12 am. The number of employees will be two per shift. Parking spaces required is 185 spaces; parking spaces provided will be 185 spaces. Ms. Kelly noted that 159 parking spaces are located on-site. The developer has a recorded easement agreement with the existing salon studio next door to use some of its parking as overflow parking for the tavern/event center during the salon studio's off hours, which would add an additional 26 parking spaces for a combined total of 185 parking spaces. Solid waste disposal will be provided by an existing dumpster. An appeal was granted by the Board of Zoning Appeals to allow the length of the parking spaces to be reduced from 20 feet to 18 feet. Existing signs are building mounted and will not change. Lighting will be provided using pole mounted and building mounted lights. The site is exempt from Forest Conservation requirements due to less than 20,000 square feet of disturbance. Approval from the City of Hagerstown Sewer Department is pending; all other reviewing agency approvals have been received.

Discussion and Comments: Mr. Reeder asked if any buffers would be required since there are neighboring residential properties. Ms. Kelly stated the owner is replacing an existing fence that meets all County requirements.

Motion and Vote: Mr. Bowen made a motion to approve the site plan, contingent upon receiving all approvals, as presented. The motion was seconded by Mr. Weddle and unanimously approved.

Todd Mike Investments LLC (SP-14-015)

Mr. Lung presented for review a request for a change in use/density of an 18.85 acre parcel located at 9222 Stottlemeyer Road, north of its intersection with US Route 40. The property is currently zoned RB – Rural Business. He gave a brief history of this property beginning with a site plan that was submitted in March 2014 for an on-line auction of construction equipment with a contractor's storage yard. In July 2016, a complaint was filed with the Department of Plan Review, from a neighboring property owner, that on-site auctions were being held on the property. Complaints were received regarding bright lights and a loud PA system being used until late at night. As a follow-up, the Department of Plan Review sent a warning letter to the owner followed by a citation because the approved site plan on file was for an on-line auction only and the listed hours of operation (on the site plan) were by appointment only with no night time use on the property. A revised site plan, or red-line revision, is required to address the needs for an on-site auction. Mr. Lung further explained that because this property is zoned RB, the Planning Commission must decide the intensity of the use and whether or not a public hearing is required for the requested change of use on the site. The following is a list of proposed changes as depicted on the revised site plan:

- a change in the functional description from an on-line auction of construction equipment to auction house
- change in hours of operations from "by appointment, no night time use" to 8 am to dusk, 7 days per week with auctions to occur periodically;
- change in the number of employees from 2 to 12;
- change in deliveries from one tractor trailer daily to event related truck traffic and occasional off-hours deliveries;
- change in total number of parking spaces provided from 9 to 25 (based on one space per employee plus one space for each expected auction attendee (the applicant believes there will be no more than 13 attendees on site);
- increasing the size of the contractor outside storage area;
- the inclusion of a non-permanent event tent;
- inclusion of a 4'x6' (6 feet high) sign close to the road;
- additional vegetative screen planting along Stottlemeyer Road (as required per the Zoning Ordinance);
- no new areas of disturbance or paving.

Mr. Lung noted that the revised site plan does not address the noise issue from the loud PA system. However, he believes the neighboring property owner's concerns can be addressed if the items listed above are addressed. Staff recommends this would not be a major change in the intensity/use of the property.

Comments and Discussion: Mr. Weddle expressed his opinion that more than 13 people will attend these types of auctions. He believes this issue needs to be addressed. Mr. Justin Doty of Frederick, Seibert & Associates, the consultant, explained that according to Todd Mike Investments only 7 people attended the previously held live auction; the majority of clientele use the on-line auction service. Mr. Bowen expressed his opinion that lights and a PA system are not necessary for 13 attendees. He stated that he has concerns with regard to this request due to the complaints received from neighboring property owners. Mr. Wiley does not like the 'piece-meal' approach being used. Mr. Reeder expressed his opinion that if the business grows and there are more people attending the live auctions there will be more complaints from the neighbors. Members suggested that the developer present a phasing schedule to address plans for future growth. Mr. Doty believes that notes could be added to the site plan to address concerns of the Planning Commission.

Mr. Doty announced that the developer has plans for an on-site auction on March 22nd, which was scheduled several months ago and has been advertised. He expressed his opinion that the developer intended to have on-site auctions from the beginning and there was a breakdown in communication as to what the County would require for such events. Mr. Doty was asked by the developer to request that the upcoming on-site auction be allowed to proceed as scheduled. All Commission members were supportive

of the proposed business; however, they are concerned with the complaints from the neighbors and the lack of planning for future growth.

Motion and Vote: Mr. Bowen made a motion not to approve the site plan as presented. The motion was seconded by Mr. Reeder and unanimously approved.

Comments following the vote: Mr. Bowen stated that a phasing plan is needed. Mr. Lung clarified that the Planning Commission wants to see more information on the site plan and a phasing schedule before determining if the change of use/intensity will require a public hearing. Mr. Goodrich further clarified that the Commission would approve the plan if the developer stays within the confines shown on the current plan; however, the Commission is concerned about the ultimate growth of the business and would like to see a plan that shows the ultimate possibilities for growth and expansion of the business.

Second Motion: Mr. Bowen made a motion to allow the auction on March 22nd without the use of lights or a PA system. The motion was seconded by Mr. Reeder.

Comments: Mr. Weddle expressed his opinion that an updated plan and phasing schedule needs to be presented to the Planning Commission well in advance of the next on-site auction. All other members agreed.

Second Vote: The second motion passed unanimously.

-OTHER BUSINESS

Update of Staff Approvals

Mr. Lung reported the following submittals were received by the Department of Plan Review during the month of February. Submittals included the following: Engineering/Permitting review - 13 reviews for entrance, grading and utility permits; Development Plan review - 5 standard grading plans, 1 site specific grading plan and 1 town grading plan for Smithsburg; Land Use review - 2 minor subdivision plats, 2 subdivision replats; 1 simplified plat; and 3 site plans. Plan approvals were issued for the following: a Forest Stand Delineation, a final subdivision plat for 13 lots in Emerald Pointe, 2 simplified plats, 2 minor subdivision plats, 3 re-plats, and 3 site plans.

Proposed CIP (2018-2027)

Mr. Goodrich presented the proposed FY 2018 CIP (Capital Improvements Program) for review and recommendation for consistency with the 2002 Comprehensive Plan. The CIP is a long-term program for funding and scheduling capital projects over a 10 year period. The first year of the CIP is the capital budget (the amount of money that will be included in the overall budget for capital projects). A summary of all projects was provided to the Commission members. Mr. Goodrich reminded members that CIP projects should be designed to encourage growth inside the Urban Growth Area and not in the rural areas as recommended by the County's adopted Comprehensive Plan.

Motion and Vote: Mr. Bowen made a motion to recommend that the proposed CIP as presented is consistent with the County's adopted 2002 Comprehensive Plan. The motion was seconded by Mr. Weddle and unanimously approved.

ADJOURNMENT

Mr. Bowen made a motion to adjourn meeting at 8:10 p.m.. The motion was seconded by Mr. Reeder and so ordered by the Vice-Chairman.

Respectfully submitted,

Clint Wiley, Vice-Chairman

**WASHINGTON COUNTY PLANNING COMMISSION
PUBLIC REZONING MEETING
March 20, 2017**

The Washington County Planning Commission held a public rezoning meeting on Monday, March 20, 2017 at 7:00 p.m. at the Washington County Administration Building, 100 West Washington Street, Room 2000, 2nd Floor, Hagerstown, Maryland.

Commission members present were: Vice-Chairman Clint Wiley, Dennis Reeder, Andrew Bowen, David Kline, Robert (BJ) Goetz, Jr., and Jeremiah Weddle. Staff members present were: Washington County Department of Planning & Zoning - Stephen Goodrich, Director and Debra Eckard, Administrative Assistant.

CALL TO ORDER

The Vice-Chairman called the meeting to order at 7:05 p.m.

RZ-17-002 2016 Black Rock Road LLL

--Staff Presentation

Mr. Goodrich presented a map amendment application for 2016 Black Rock Road LLC for two parcels of land totaling 49.72 acres located along the north side of Black Rock Road, south of I-70 at the MD 66 interchange. The property is currently zoned A(R) – Agricultural Rural. The applicant is requesting a change in zoning to A(R) – Agricultural Rural with the Rural Business floating zone. Mr. Goodrich explained that the Rural Business overlay zone is not a traditional zoning category; therefore, the change in the character of the neighborhood or a mistake in the original zoning of the property is not criteria used in making the decision to apply the RB floating zone on this property. He further explained that the Commission should consider the facts presented in the Staff Report, a review of the development proposal, 2016 Black Rock LLC's application and presentation, the public comment, and analysis using criteria from the Zoning Ordinance to determine if the proposed use would be compatible with the surrounding neighborhood and if the proposed change would be consistent with the intent and purpose of the Rural Business zone.

The applicant is proposing a 5,850 square foot AC&T convenience store, 10 car fueling stations, 4 truck fueling stations, 54 car parking spaces, 30 truck parking spaces and 120,000 square feet of flex space. The proposed 120,000 square feet of flex space is broken down into 24,000 square foot increments in 5 different buildings. There will be paved access to these buildings, storm water management facilities, and a well and septic system on the property. A preliminary site plan was provided to the Planning Commission in its agenda package.

There are currently no improvements on the property. The property drains from its highest point in the northwest corner near the interchange and flows to the south and southeast. Black Rock Creek is on the south side of Black of Rock Road, where most of the drainage would flow. The entire area is underlain by limestone; therefore, the soils in the area are derived from limestone which produces good agricultural soils. No public water or sewer facilities are currently available in the area and none are planned by the County. The proposed development would use a private well and septic system.

This parcel is on the edge of the Upper Beaver Creek Watershed, which is a special planning area that is discussed in the County's adopted Comprehensive Plan. Subdivision and Zoning regulations have special development review requirements for the effects of well and septic systems in the watershed.

There would be no effects on the school system because no residential development is allowed in the Rural Business zone. If the property were developed under its current zoning, approximately 8 or 9 housing units could be expected; however, this is already factored into school capacity calculations.

Mr. Goodrich stated that a traffic study was submitted as part of the application and copies have been given to the Planning Commission members. He briefly discussed transportation and traffic issues as

described in the Staff Report. As part of the proposed development, traffic improvements are proposed including special turning lanes on MD 66 and additional turning lanes on Black Rock Road.

Current zoning districts in the area are A(R) – Agricultural Rural, EC – Environmental Conservation, and RV – Rural Village. There are a variety of uses in the area including scattered residential development, 20+ sites listed in the County's Historic Inventory [one of which is located along the eastern edge of the rezoning site and is listed on the National Register], and other Rural Business zones, which include the Beaver Creek Country Club, Funk Electric, an auto repair business, as well as several other small businesses. Mr. Goodrich noted that the intent of the Rural Business zone is to provide services to the rural population.

Mr. Goodrich stated that this interchange is the only one in Washington County that does not have the HI (Highway Interchange) zoning designation. In the late 1990s, the County evaluated all of the highway interchanges in the County and purposely decided not to assign the HI designation to this interchange due to environmental sensitivity issues in this area. A comprehensive rezoning of the rural areas was conducted in 2005 and ultimately approved by the County Commissioners. At that time, the County reiterated its intent to preserve the rural nature and environmentally sensitive areas at this interchange by not applying the HI zone at this interchange and assigning the current A(R), EC and RV districts.

Mr. Goodrich noted that the Department of Natural Resources (DNR) has a special interest in this area, specifically the trout hatchery on the opposite side of the interstate from the subject parcel. DNR is taking a neutral position on this request stating they are neither for nor against the proposal. However, representatives conveyed information about the karst topography (fractured limestone) in this area which produces high quality water for consumption. DNR representatives also described the efforts expended in the Beaver Creek Watershed to improve and maintain water quality. This includes maintaining the temperature of the water because cold water is very important to trout populations, which have seen an increase due to these efforts.

Following Mr. Goodrich's presentation, Mr. Wiley explained that there are several people [approximately 40 to 50] unable to access the meeting due to the large number of attendees and the limited space of the room. He expressed concern that some in attendance may not get an equal opportunity to participate and suggested postponing the remainder of this meeting in order to find a different venue that would accommodate more people. Planning Commission members believe it is unfair to those who cannot hear the proceedings and want to make public comments.

Motion and Vote: Mr. Bowen made a motion that the public rezoning meeting for 2016 Black Rock Road LLC be postponed and re-scheduled in a different venue that will accommodate all interested parties. The motion was seconded by Mr. Reeder and unanimously approved.

Comments: Mr. Weddle expressed his opinion that the meeting should be re-scheduled as soon as possible.

The Vice-Chairman adjourned the public rezoning meeting at 7:30 p.m.

ELECTION OF OFFICERS

Motion and Vote: Mr. Bowen made a motion to elect Mr. Wiley as Chairman. The motion was seconded by Mr. Reeder and unanimously approved.

Motion and Vote: Mr. Reeder made a motion to elect Mr. Bowen as Vice-Chairman. The motion was seconded by Mr. Kline and unanimously approved.

The meeting was adjourned at 7:50 p.m.

Respectfully submitted,

Clint Wiley, Chairman

March 21, 2017

Washington County Planning Commission
100 W. Washington Street
Hagerstown, MD 21740

RE: Todd Mike Investments LLC – Auction Site
SP-14-015

Dear Members of the Planning Commission,

I am writing you to update you on the progress of this project and to make a request as we move forward with creating an acceptable plan revision for the proposed use. As you know, the originally approved site plan contained some limiting language in terms of the use (Online Auction) which inadvertently prohibited the applicant from hosting an accompanying live auction to the online version. In an effort to make a reasonable plan revision, I approached you last month on behalf of the applicant to review our revised plan and request that we be permitted to treat the revision as a “minor change,” using the red-line revision process to have the plan approved at the staff level.

Based on the feedback from our efforts at the previous PC meeting, we understand that members of the Planning Commission primarily have concerns with the availability of parking for these events. In order to utilize existing impervious surfaces for parking, in accordance with the Washington County Zoning Ordinance, we were able to show 25 parking spaces available on existing pavement or gravel. Our discussion made it clear that the Planning Commission members would prefer to see an alternate plan which allows for overflow parking that may exceed the 25 spaces available. Although my client has assured me that 25 spaces should suffice in the short term, we agree that a long term plan showing many more spaces available would be best. On top of parking, other concerns expressed were noise from a public address system and lights after dark. In order to remedy this, the client is willing to place time restrictions on the events to insure that neighbors will not be disturbed after hours.

In order to comply with the request to provide more parking, my client is in the process of filing an appeal to the Board of Zoning Appeals (BZA) in order to seek permission to use grass surface for overflow parking for events only. As it stands, my client only expects to hold 5-6 events per year. Again, this is the short term condition but a long term plan would only include up to 12 events per year. According to the applicant, 12 per year would mean that the business is extremely successful. With such a limited number of events, it would seem that this facility would be comparable to other facilities locally which have been successful in seeking relief from the impervious parking surface requirements of the Zoning Ordinance. By keeping this surface in its existing mowed grass condition, the applicant will be reducing impervious coverage and unnecessary stormwater runoff.

In light of the efforts made by the applicant to comply with the wishes of the Planning Commission and to address these concerns, the process which they will be undergoing to obtain the BZA opinion and come back to the Planning Commission with a final plan may push the process past the month of May. It is the wish of the applicant that the Planning Commission consider allowing for an additional event to take place in May in anticipation of successful approvals by the BZA and subsequently by the PC and staff. The event will run very similarly to the event in March, which was allowed by the PC as a one-time event under a temporary Zoning Permit. I ask that you please consider allowing one more event to take

fsa-md.com

HAGERSTOWN, MD
128 S. Potomac Street
Hagerstown, MD 21740
301.791.3650

GREENCASTLE, PA
20 W. Baltimore Street
Greencastle, PA 17225
717.597.1007

CARLISLE, PA
101 N. Hanover Street
Carlisle, Pa 17013
717.701.8111

place while the applicant engages in this process to have a more sustainable, long-term plan approved. It is my intention to keep the PC apprised to the progress being made by the applicant so that you may offer guidance and opinion throughout the process.

On behalf of Todd Mike Investments LLC, I want to thank you in advance for your consideration. As always, I am available to discuss this by phone or by email. Please feel free to reach out to me with questions or concerns.

Sincerely,
FREDERICK, SEIBERT AND ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Justin T. Doty', with a stylized flourish at the end.

Justin T. Doty, P.E.
Branch Manager

Justin T. Doty Digitally signed by Justin T. Doty
Date: 2017.03.21 20:37:34 -0400

Encl: Revised Red Line Plan for BZA showing parking in grass dated 3-21-17



**DIVISION OF ENGINEERING & CONSTRUCTION MANAGEMENT
PLAN REVIEW DEPARTMENT**

Washington County Administrative Annex
80 West Baltimore Street
Hagerstown, Maryland 21740-6003
Telephone/TDD 240-313-2460
Fax: 240-313-2461

Hearing Impaired CALL 7-1-1 for Maryland Relay

S I T E P L A N S T A F F R E P O R T

BASE INFORMATION

SITE NAME....: SUNBELT RENTALS-CRAYTON BLVD
NUMBER.....: SP-17-001

OWNER.....: GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
LOCATION.....: WEST SIDE OF CRAYTON BOULEVARD
DESCRIPTION.: SITE PLAN FOR A PROPOSED EQUIPMENT RENTAL

ZONING.....: HI HIGHWAY INTERCHANGE
COMP PLAN...: CM Commercial
PARCEL.....: 02416094900000
SECTOR.....: 1
DISTRICT....: 13

TYPE.....: CM
GROSS ACRES.: 4.93
DWEL UNITS..: 0
TOTAL LOTS..: 0
DENSITY.....: 0 UNITS PER ACRE

PLANNER.....: LISA KELLY
SURVEYOR....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED....: 01/18/2017

FOREST REVIEW FEE.....:\$0.00
DEVELOPMENT REVIEW FEE...:\$996.50

SITE ENGINEERING

	WATER	SEWER
METHOD.....:	PUBLIC	PUBLIC
SERVICE AREA.....:	HN	HN
PRIORITY.....:	1	1
NEW HYDRANTS.....:	0	
GALLONS PER DAY SEWAGE...:	0	
SEWER PLANT.....:	Hagerstown	

STORM WATER MANAGMT TYPE.: BIO RETENTION
DRAIN DIRECTION.....: W
FLOOD ZONE.....: C
WETLANDS.....: N
TOPOGRAPHY.....: FLAT
BEDROCK.....:
VEGETATION.....:

SITE DESIGN

IMPERVIOUS SURFACE PLANNED...: 74% BUFFER DESIGN MEETS REQUIREMENTS.: Y
 IMPERVIOUS MAXIMUM ALLOWED...: 0% LANDSCAPING MEETS REQUIREMENTS...: Y
 LIGHTING PLAN MEETS REQUIREMENTS.: Y
 OPEN SPACE AREA PLANNED-AC...: 0 PEDESTRIAN ACCESS IS ADEQUATE....: Y
 OPEN SPACE MINIMUM ALLOWED...: 0 BUS ROUTE WITHIN WALKING DIST....:
 TOTAL PARKING SPACES PLANNED.: 30 LOADING AREAS MEET REQUIREMENTS...: Y
 PARKING SPACES-MINIMUM REQ'D.: 19
 PARKING SPACES/DWELLING UNIT.: 0
 RECREATIONAL VEHICLE PARKING.: N

RESIDENTIAL AMENITY PLANS.....: N/A

SOLID WASTE DISPOSAL PLANS....: ENCLOSED DUMPSTER
 MATERIALS STORED ON SITE.....: YES

COMMUNITY FACILITIES

	ELEM	MID	HI
SCHOOL NUMBER CODE	0	0	0
PUPIL YIELD	0	0	0
CURRENT ENROLLMENT	0	0	0
MAXIMUM CAPACITY	0	0	0

PROPOSED NEW ROAD NAMES

1
 2
 3
 4
 5
 6
 7
 8
 9
 10

NUMBER OF ACCESS POINTS:1

COUNTY HISTORIC INVENTORY SITE #: NOT HIST
 ON NATIONAL HISTORIC REGISTER : N

FIRE DISTRICT: 13 MILES TO STATION: 2
 AMBULANCE DIST: M7 MILES TO STATION: 20

COMMENTS:

SITE PLAN FOR A PROPOSED EQUIPMENT RENTAL BUSINESS WITH
 OFFICE REV 1

FORESTATION REQUIREMENTS WERE MET IN 2000 WITH SUBDIVISION
 OF PROPERTY. COMBINATION OF PAYMENT IN LIEU, RETENTION AND
 AFFORESTATION. SEE FP-00-001 PIL-00-021

COUNTY SHERIFF RESPONSE IS IN THE FILE. RECEIVED 2/2/2017



Professional Engineer
No. 44044
Expiration Date: 03/20/2017

FREDERICK S. SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS
128 SOUTH PORTOMAC STREET, HAGERSTOWN, MARYLAND 21740
30 WEST BALTIMORE STREET, GREENSBORO, PENNSYLVANIA 17033
(717) 537-1007
FAX (717) 778-4858

DATE: _____
DESCRIPTION: _____
MARK: _____

Improvement Plan for Sunbelt Rentals
Located at 18304 Peak Circle
Hagerstown, MD 21742
Washington County, MD
CLIENT:
Ghettas Enterprises Maugans Avenue Limited Partnership
13821 Crayton Blvd, Hagerstown, MD 21742
301-797-2488

PROJECT NO. 1725.10
CAD DWG FILE 1725.10
DATE 11-22-2016
TOWN BY DATE
ALT 11-22-2016
CHK BY DATE
PE 2013
TAX MAP 24-16-949
ELECTION DIST. 13
SCALE 1" = 30'
SHEET TITLE

EXISTING
CONDITIONS PLAN
V-101
SHEET 3 OF 4
SP-17-001



SITE DATA

Tax Map/Parcel #	24-16-949
Election District	13
Zoning	HI (Highway Interchange)
Watershed Name	Conococheague Creek
8 Digit Watershed #	02140504
Soil Type	HAB
HAB	HSG
Duffield-Rock outcrop complex, 8 to 15 percent slopes	K Value .37
Hagerstown-Duffield-Urban Land Complex 0 to 8 percent slopes	B

NOTE: THIS SITE WAS A PREVIOUS FILL SITE.





LINE	BEARING	SWM EASEMENT	DISTANCE
SWW1	N 14°02'11" E		151.03'
SWW2	N 75°57'49" W		535.39'
SWW3	N 18°08'47" W		263.79'
SWW4	N 87°00'22" E		71.98'
SWW5	S 75°57'49" E		79.99'
SWW6	S 14°02'11" W		213.71'
SWW7	S 17°41'57" E		18.38'
SWW8	S 75°57'49" E		532.41'
SWW9	S 14°02'11" W		41.08'
SWW10	S 75°57'49" E		45.17'
SWW11	S 14°02'11" W		124.91'
SWW12	N 76°00'04" W		60.17'

This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements, extensions, A sewer and/or water system improvements or extensions of existing sewer and/or water system facilities with the County's latest edition of the Standard Specifications for Construction of Sewer and Water Facilities. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability allocation remaining in other jurisdictions' facilities that may be granted the County. This approval shall be valid for a period of two years.

I.D.	TYPE	DETAIL #	STRUCTURE SCHEDULE (INLET)			STRUCTURE SCHEDULE (OUTLET)		
			TOP ELEV.	INW. IN.	INW. OUT	TOP ELEV.	INW. IN.	INW. OUT
A1	SINGLE OPENING TYPE K	1C-503	670.59	664.27	664.17			
A2	SINGLE OPENING TYPE K	1C-503	670.59		664.16			
B1	TYPE A-3 COS	2C-503	673.80		665.15			
B2	TYPE A-3 COS	2C-503	674.02		670.06			
B3	TYPE A-3 COS	2C-503	674.50		670.66			
B4	TYPE A-3 COS	2C-503	674.50		671.16			
B5	STANDARD WR	3C-503	671.57		668.01			
B6	STANDARD WR	3C-503	671.57		667.61			
C1	TYPE A-2 COS	2C-503	669.00		664.35			
D1	YARD INLET	4C-503	667.50		663.23			
E1	YARD INLET	4C-503	667.50		663.23			
ES A	24" CMP END SECT.	MD-370.01	N/A			664.00		
ES B	24" CMP END SECT.	MD-370.01	N/A			664.93		
ES C	15" CMP END SECT.	MD-370.01	N/A			667.50		
ES D	12" CMP END SECT.	MD-370.01	N/A			664.00		
ES E	12" CMP END SECT.	MD-370.01	N/A			665.00		

ES A	24" CMP END SECT.	N/A	684.03	738502.41	1109376.05	N/A
ES B	24" CMP END SECT.	MD-370.01	684.03	738502.41	1109376.05	N/A
ES C	15" CMP END SECT.	MD-370.01	684.03	738502.41	1109403.60	N/A
ES D	12" CMP END SECT.	MD-370.01	687.50	738559.30	1104605.56	N/A
ES E	12" CMP END SECT.	MD-370.01	684.03	738502.41	1109376.05	N/A
ES F	12" CMP END SECT.	MD-370.01	683.00	739023.95	1105752.89	N/A

PAVEMENT HATCH LEGEND

	CONCRETE
	LIGHT DUTY PAVEMENT
	HEAVY DUTY PAVEMENT
	6" GRAVEL - 9" BID ALTERNATE

NOTE: FIRE PROTECTION FOR Δ^2
THE BUILDING IS NOT REQUIRED.



FREDERICK S. EIBERT & ASSOCIATES

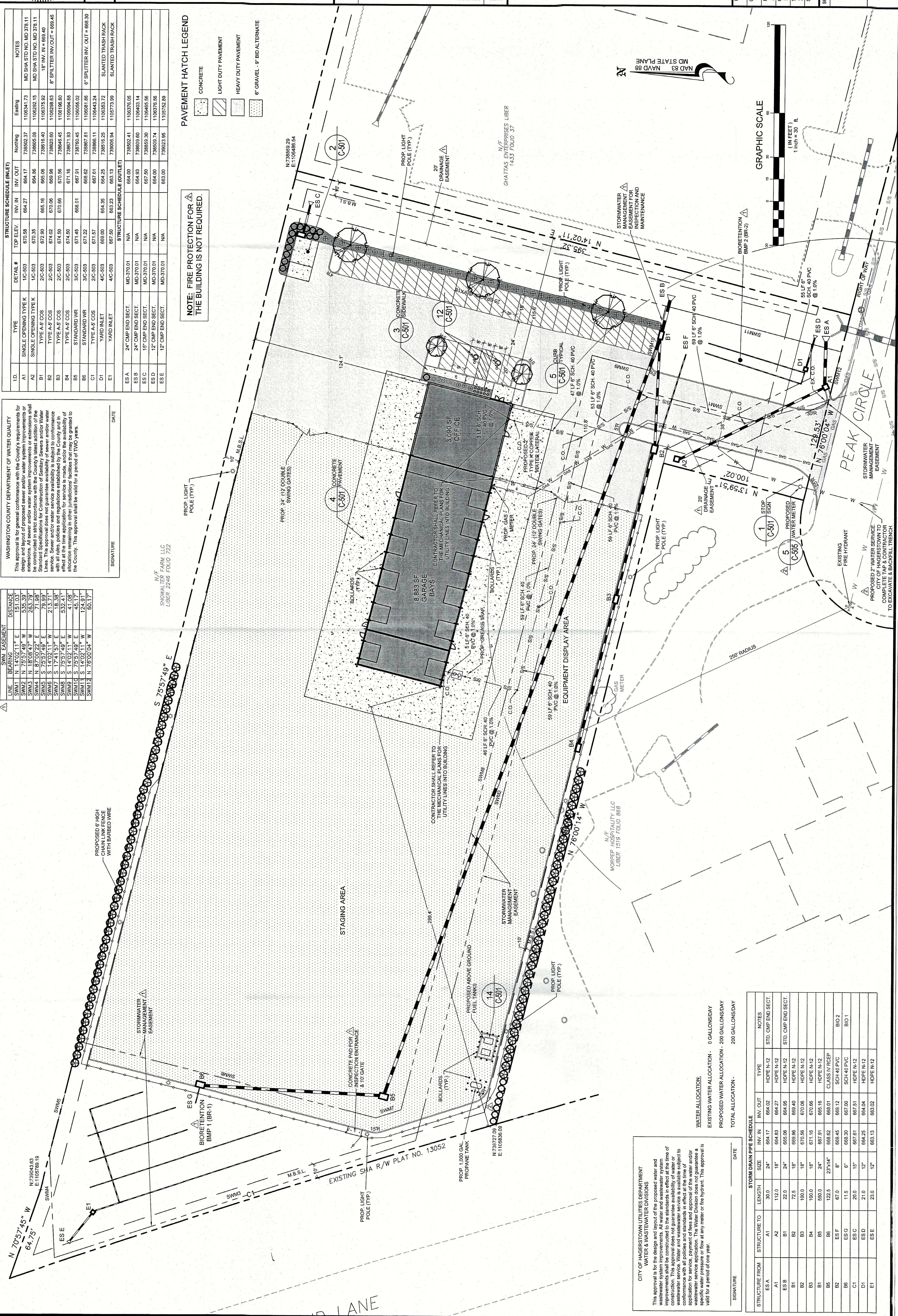
03/08/2017	agency comments
DATE:	

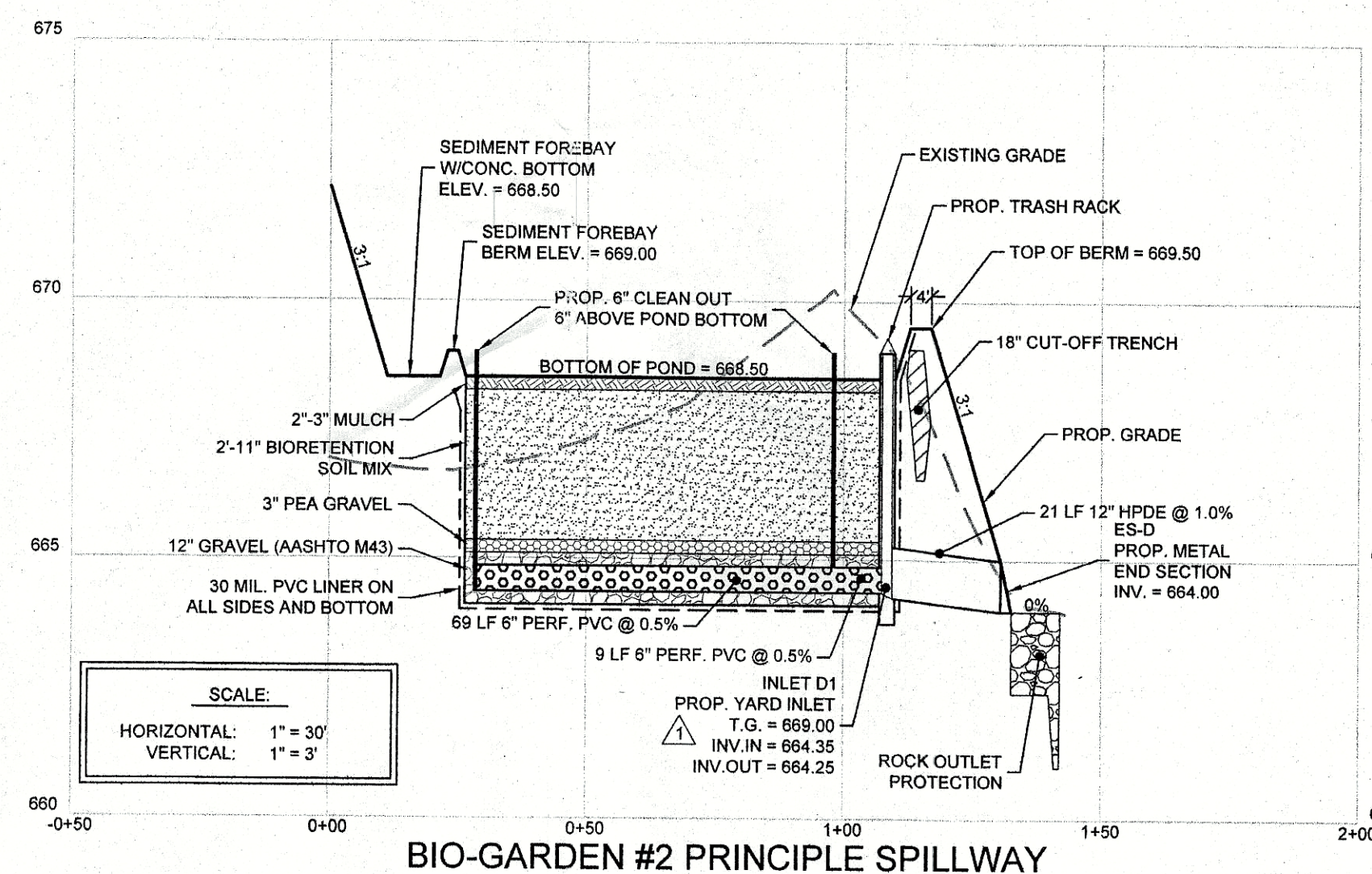
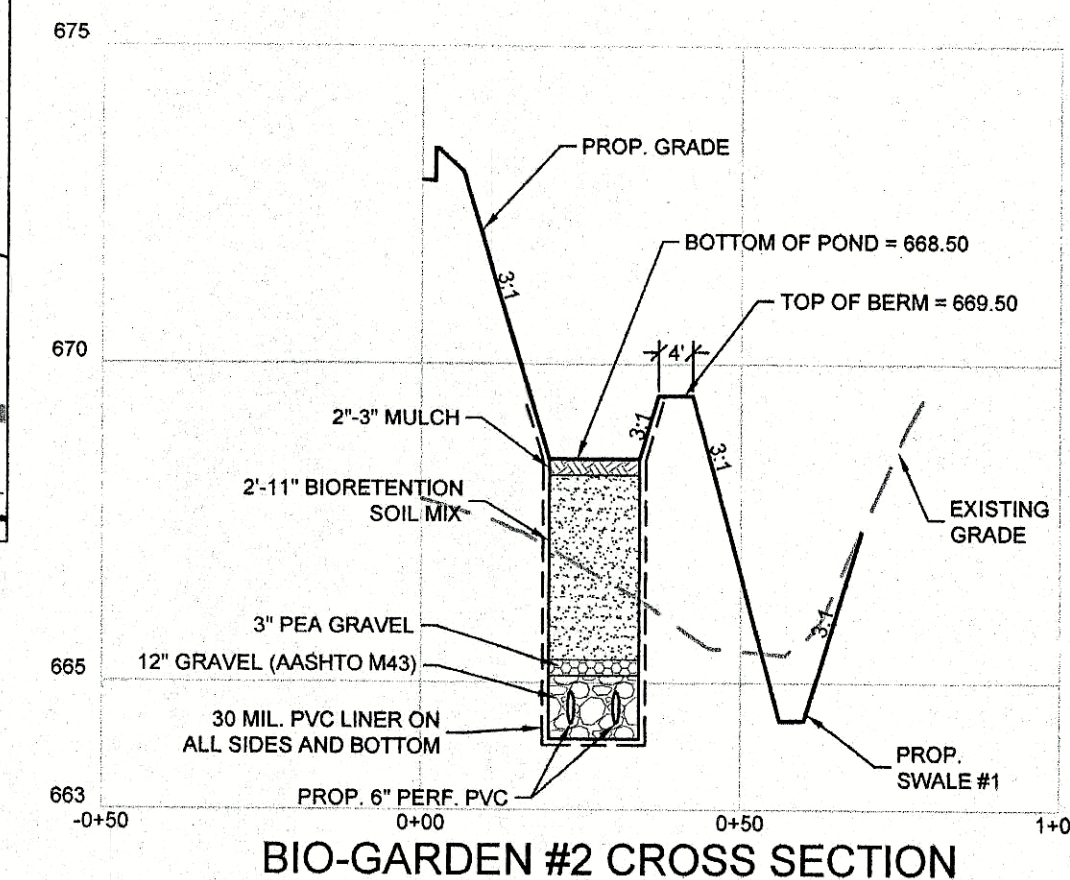
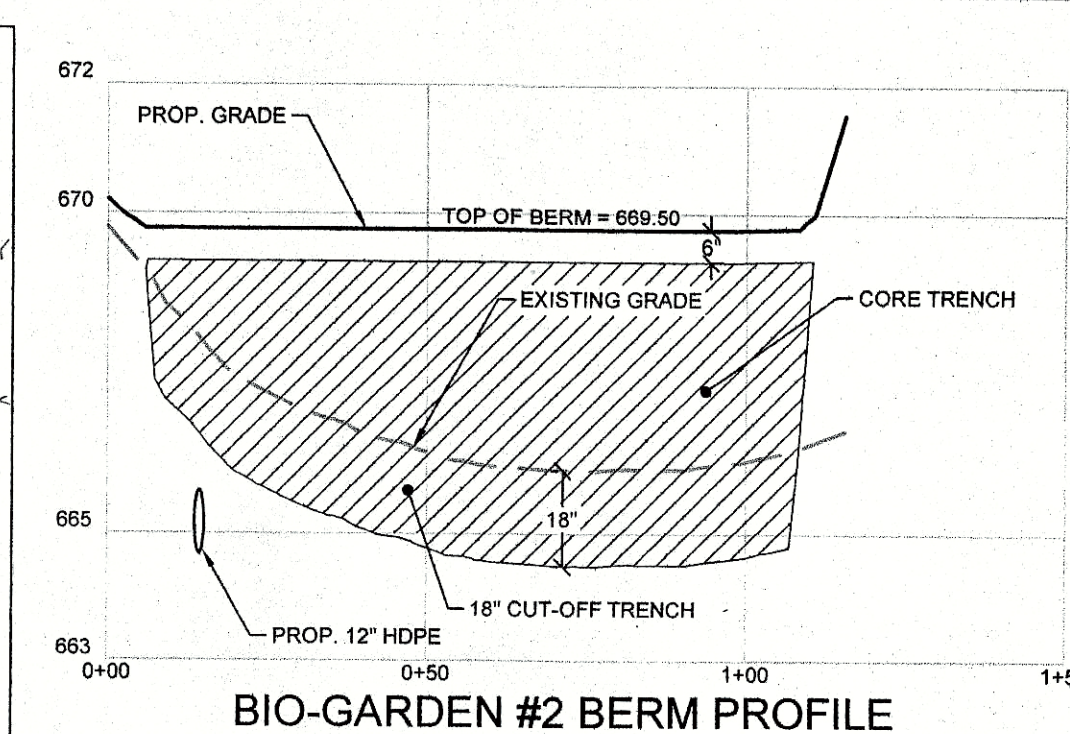
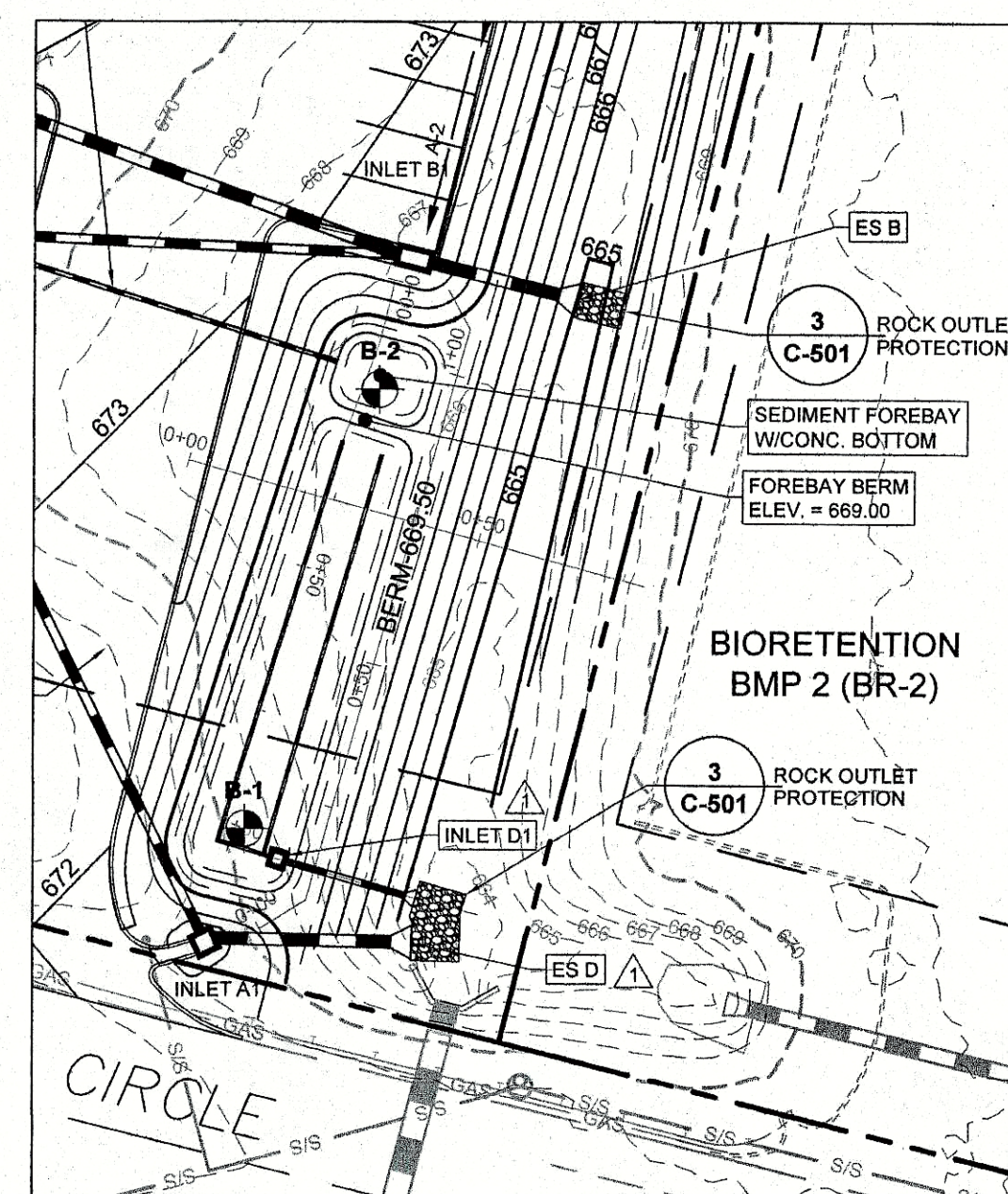
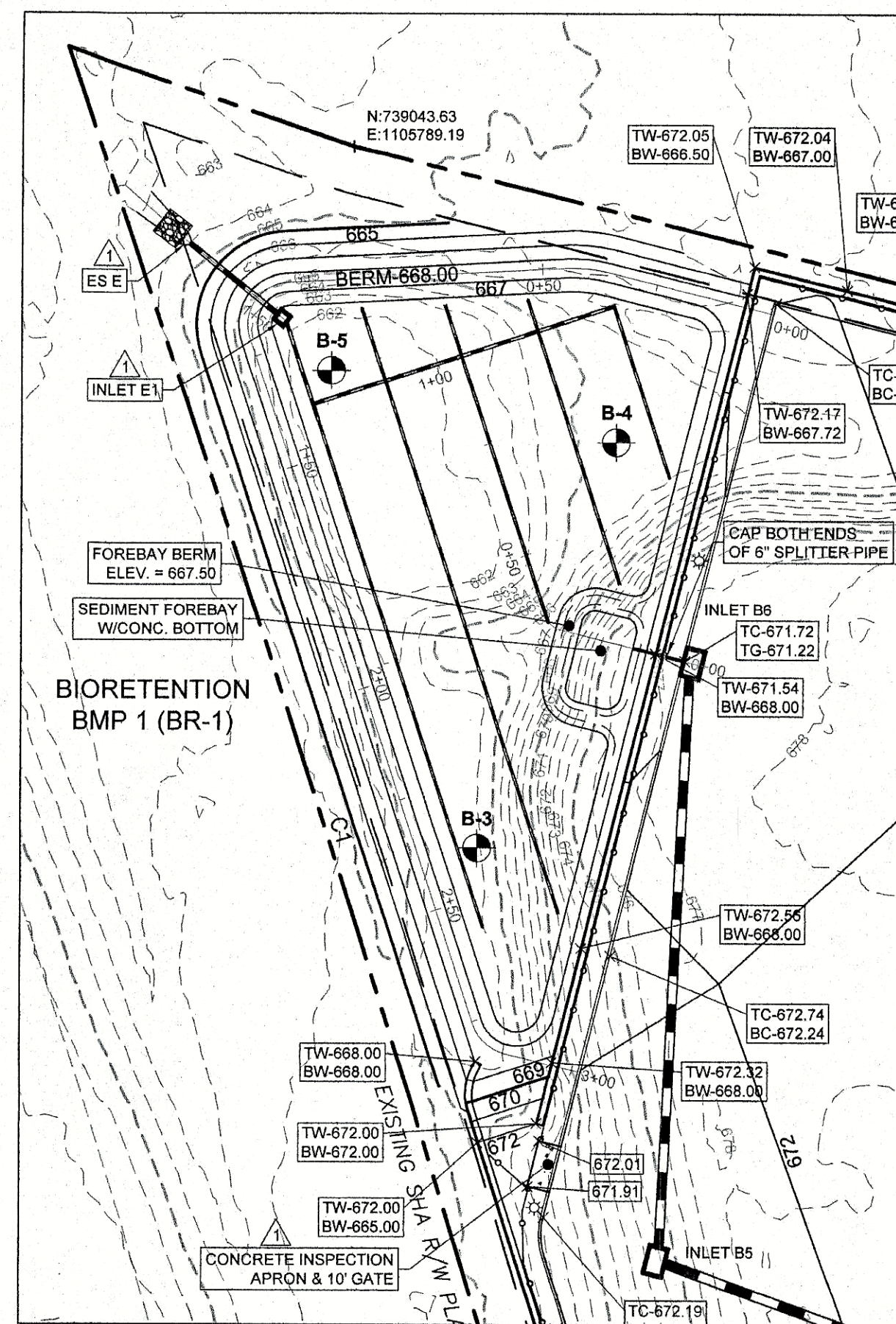
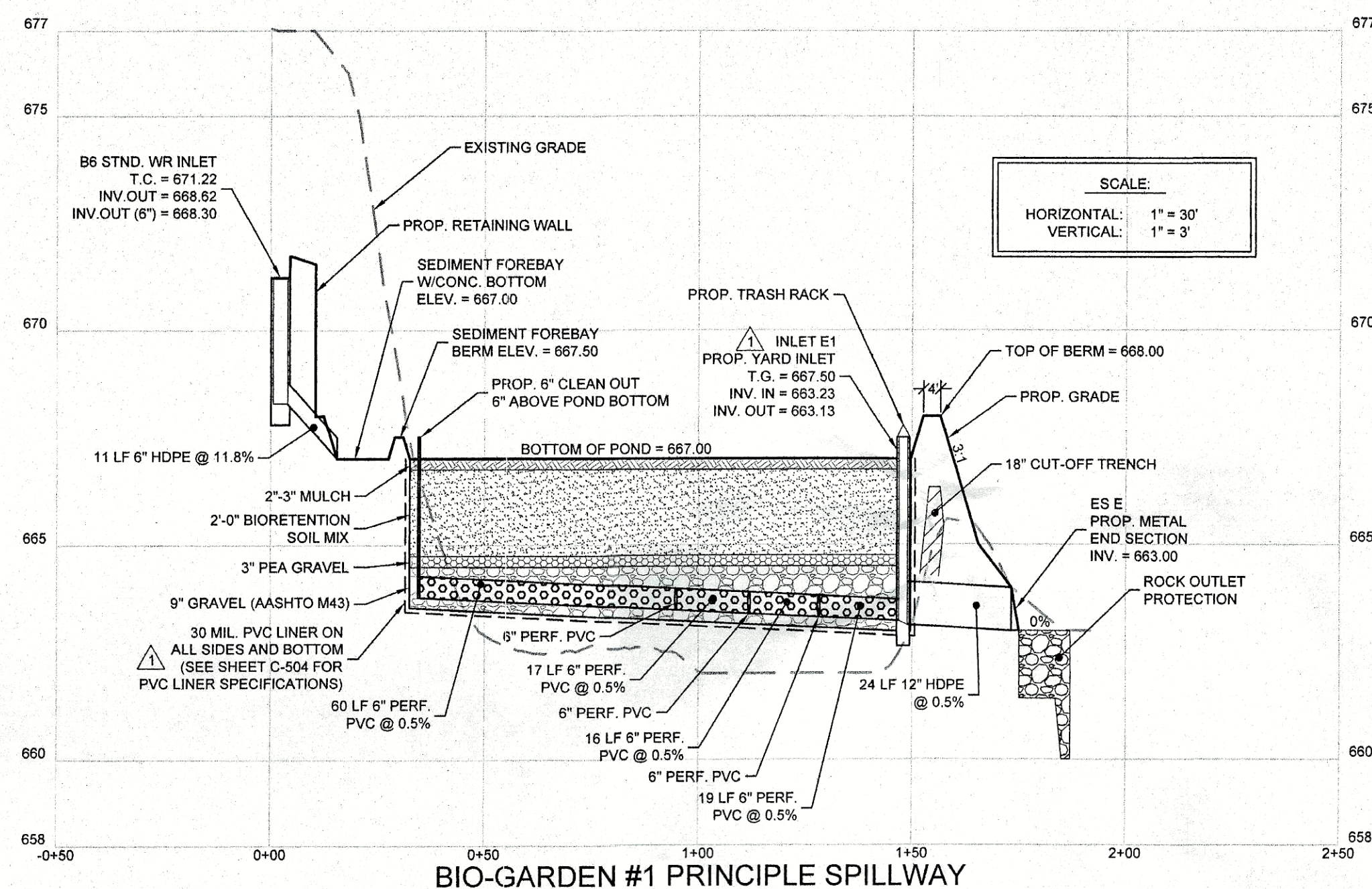
Improvement Plan for Sunbelt Rentals

PROJECT NO.	1725-10
CAD DWG FILE:	
TOWN BY	1725-10-01 C-01 Site Plan.dwg
DATE	11-01-2016
CHK BY	DATE
PE	2013
24-16-949	ELECTION DIST.
SCALE	13
	1" = 30'

SHEET TITLE

CG-1001
SHEET 4 OF 13
SP-17-001

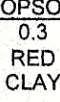




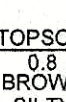
NOTE:
THE CORE TRENCH SHALL BE EXCAVATED ALONG THE CENTERLINE OF EMBANKMENT. USE IMPERVIOUS MATERIAL (GC, SC, CH, OR CL) FOR BACKFILLING, AND COMPACT WITH EQUIPMENT AND ROLLERS TO ASSURE MAXIMUM DENSITY WITH MINIMUM PERMEABILITY. IF ROCK IS ENCOUNTERED IN THE CORE TRENCH, IT NEED ONLY EXTEND THROUGH THE WEATHERED ROCK TO SOLID CONDITION. REMOVE ANY SHARP POINTS OR NARROW RIDGES.

SOIL LOGS

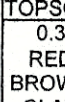
B-3



B-4



B-5



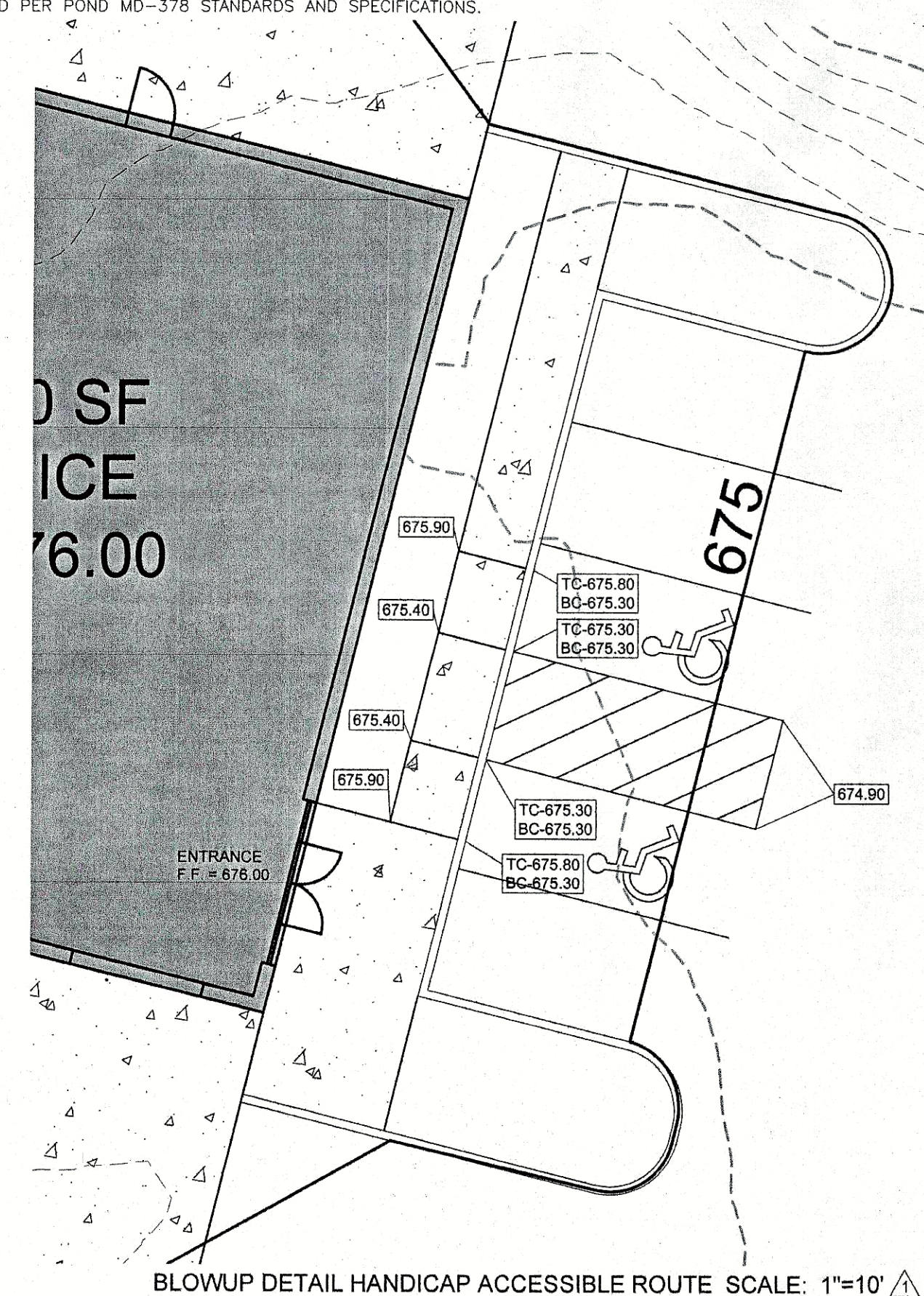
TOPSOIL
0.3 RED CLAY
RESIDUUM
2.5 SILT
RESIDUUM
6.5 BORING TERM.

TOPSOIL
0.8 BROWN SILTY CLAY FILL
2.5 SILT
RESIDUUM
9.0 LIMESTONE GRAVEL
RESIDUUM
10.3 REFUSAL

TOPSOIL
0.3 RED BROWN CLAY
RESIDUUM
WEATHERED LIMESTONE
RESIDUUM
5.0 REFUSAL

NOTE:
THESE SOIL LOGS ARE BASED SOLELY ON FIELD OBSERVATION, AND ARE VALID ONLY FOR THE LOCATIONS INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED TESTING AND CLASSIFICATION TO DETERMINE THE EXTENT OF SOILS ON SITE THAT MEET THE REQUIREMENTS OF MD-378. FOR SOIL LOG DESCRIPTIONS AND RECOMMENDATIONS REFER TO THE GEOTECHNICAL REPORT.

NOTE:
DEVELOPER / CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AT LEAST 2 DAYS PRIOR TO PLACING AND COMPACTING THE CORE TRENCH FOR AS-BUILT OBSERVATION.



NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES				
The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.				
Inspection Item	Certifying Engineer	Date	County Inspector	Date
EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.				
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.				
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover				
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.				
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.				
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.				
The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2402				

Improvement Plan for Sunbelt Rentals

15000 Peak Circle
1501 Northbusiness Park
WASHINGTON COUNTY, MARYLAND

LOCATED AT

CLIENT:

GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
13621 CRAWFORD LANE, HAGERSTOWN, MD 21742
301-797-2488

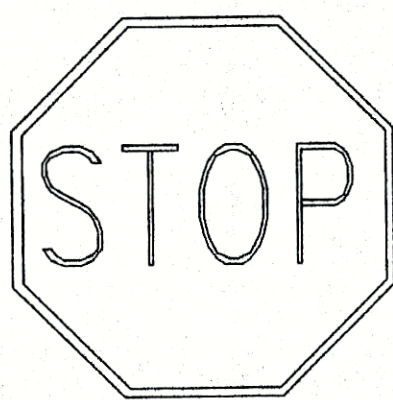
PROJECT NO.	DATE	DESCRIPTION:	MARK:	DATE
CAD DWG FILE: 1725-10-06-C-103 SWM Plan.dwg	1725-10	Revised per agency comments	△	03/02/2017
DWN BY ALT				
CHK BY PE				11-01-2016
TAX MAP 24-16-949				2013
SCALE 1" = 30'				ELECTION DIST. 13

SWM PLAN, DETAILS & NOTES

C-103

SHEET 6 OF 14

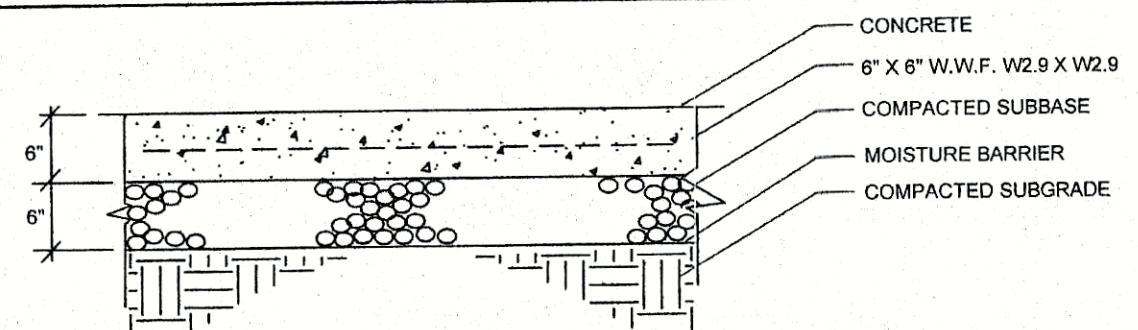
SP-17-001



R1-1
36"x36"

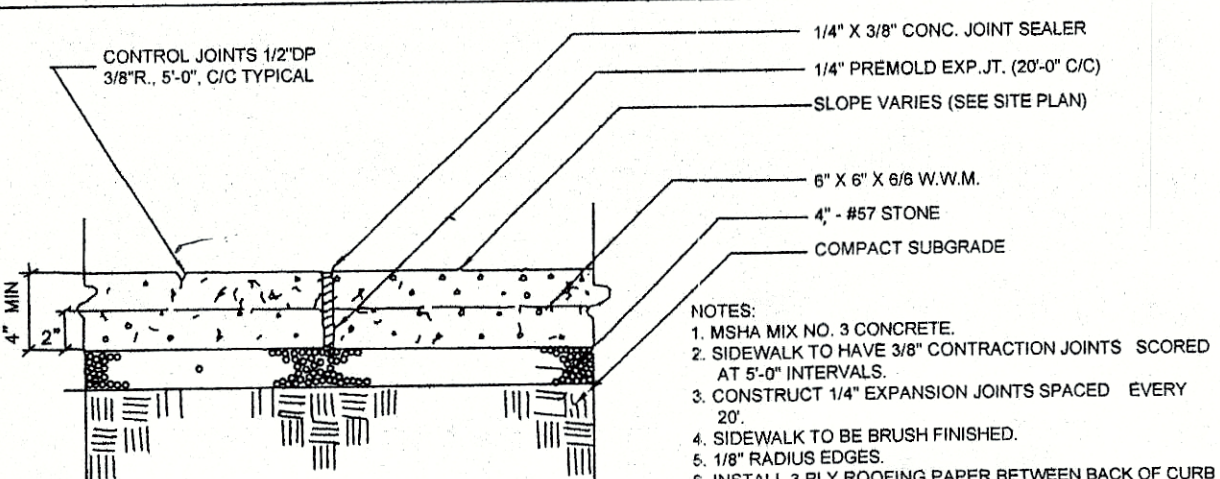
STOP SIGN DETAIL

NOT TO SCALE



SECTION DUMPSTER PAD DETAIL

NOT TO SCALE

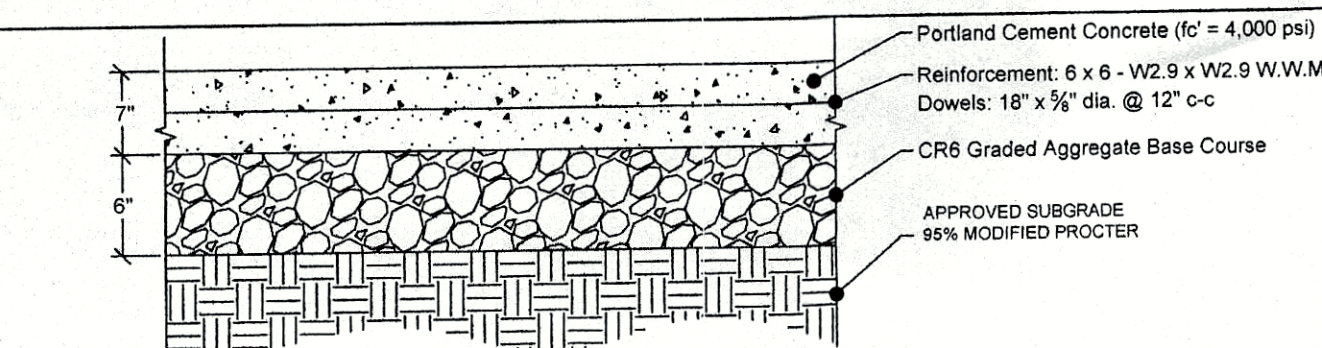


SECTION

NOT TO SCALE

3
C-501

CONCRETE SIDEWALK

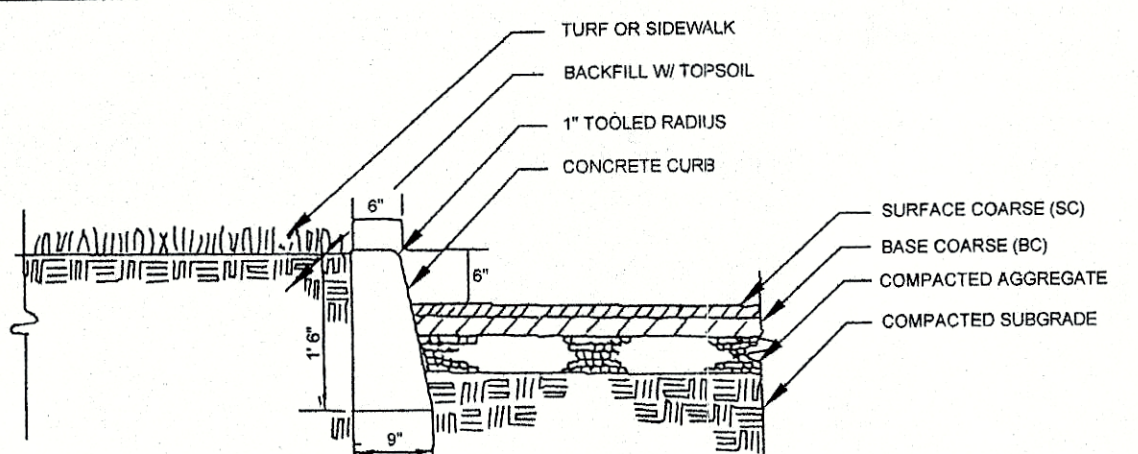


CONCRETE PAVEMENT

NOT TO SCALE

GEOTECHNICAL ENGINEER SHALL SPECIFY LOCATION OF EXPANSION AND CONTROL JOINTS. DETAIL OF EXPANSION AND CONTROL JOINTS TO BE SPECIFIED BY SITE GEOTECHNICAL ENGINEER.

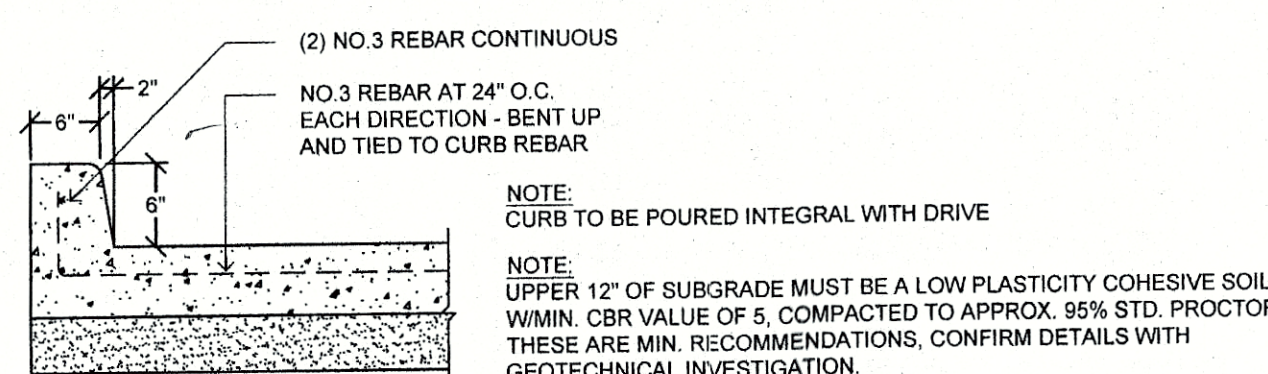
4
C-501



CONCRETE CURB / GRASS

NOT TO SCALE

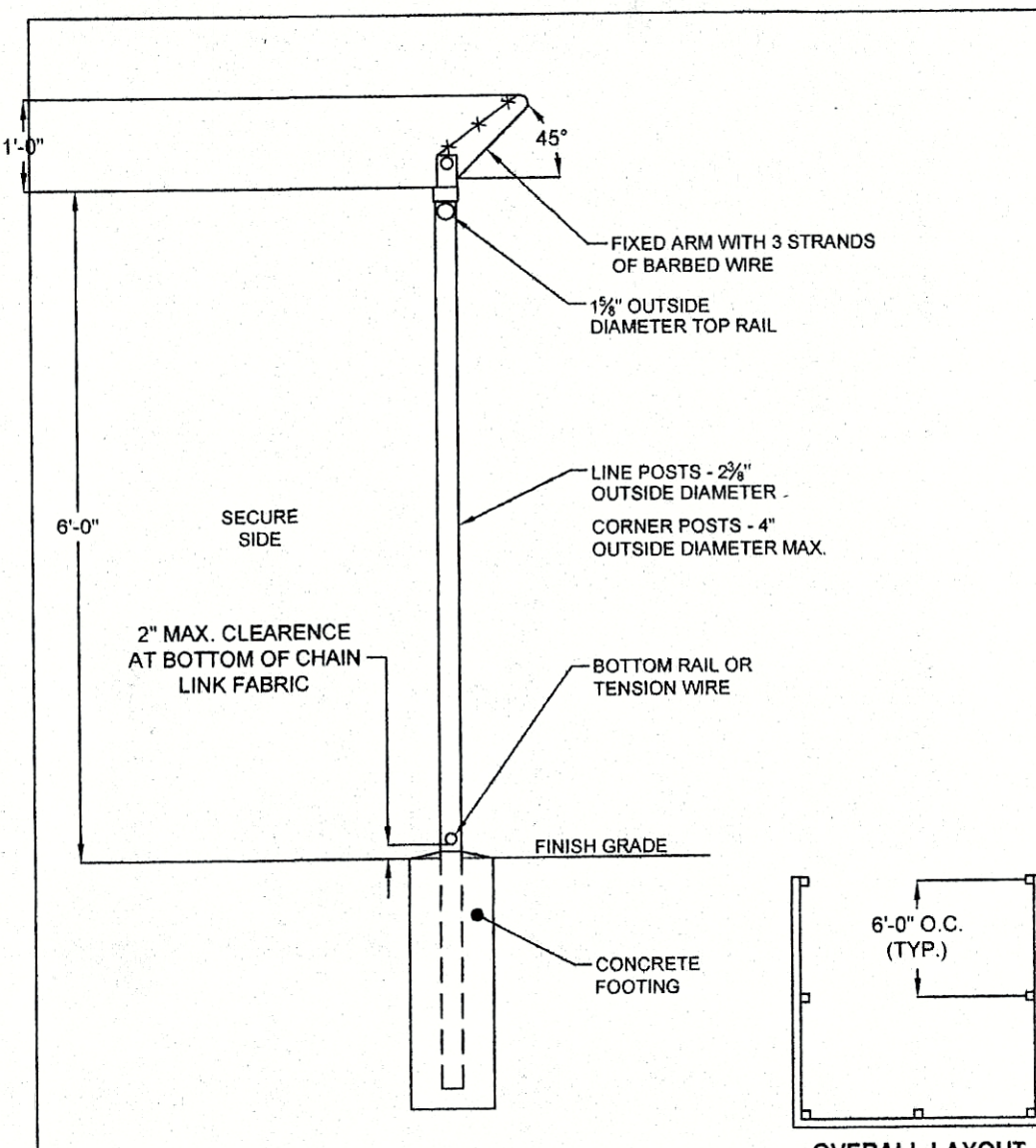
5
C-501



MONOLITHIC CONCRETE CURB

NOT TO SCALE

6
C-501

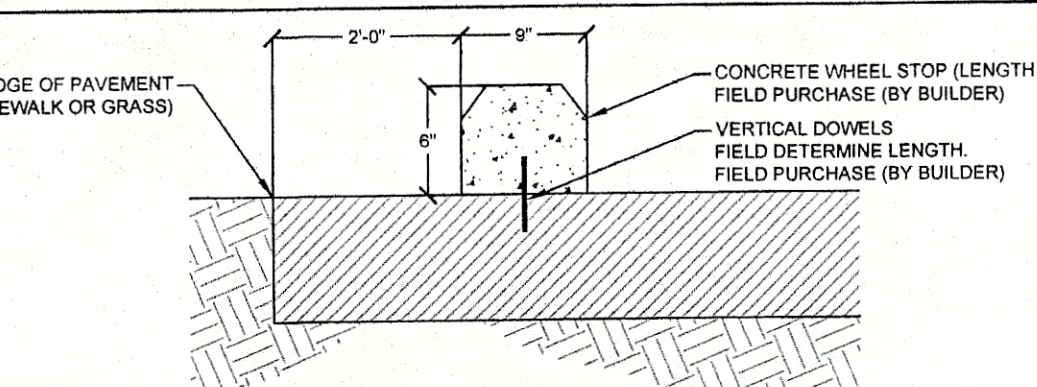


SECTION

DUMPSTER SCREENING

NOT TO SCALE

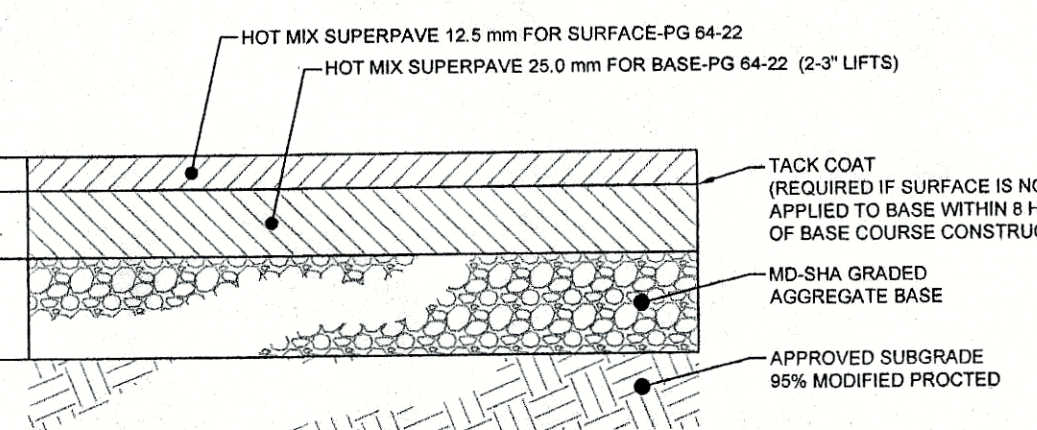
7
C-501



WHEEL STOP - CONCRETE

NOT TO SCALE

8
C-501

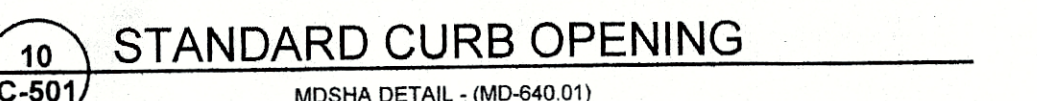


SECTION

HEAVY DUTY - PAVEMENT

NOT TO SCALE

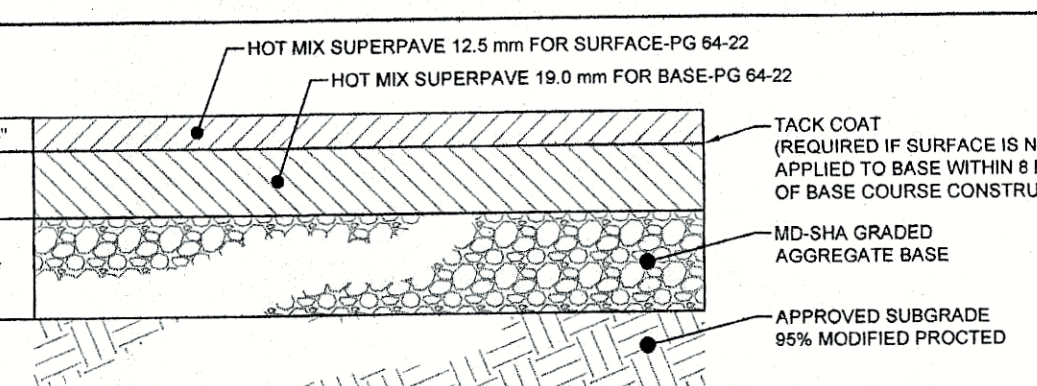
9
C-501



STANDARD CURB OPENING

MDSHA DETAIL - (MD-640.01)

10
C-501

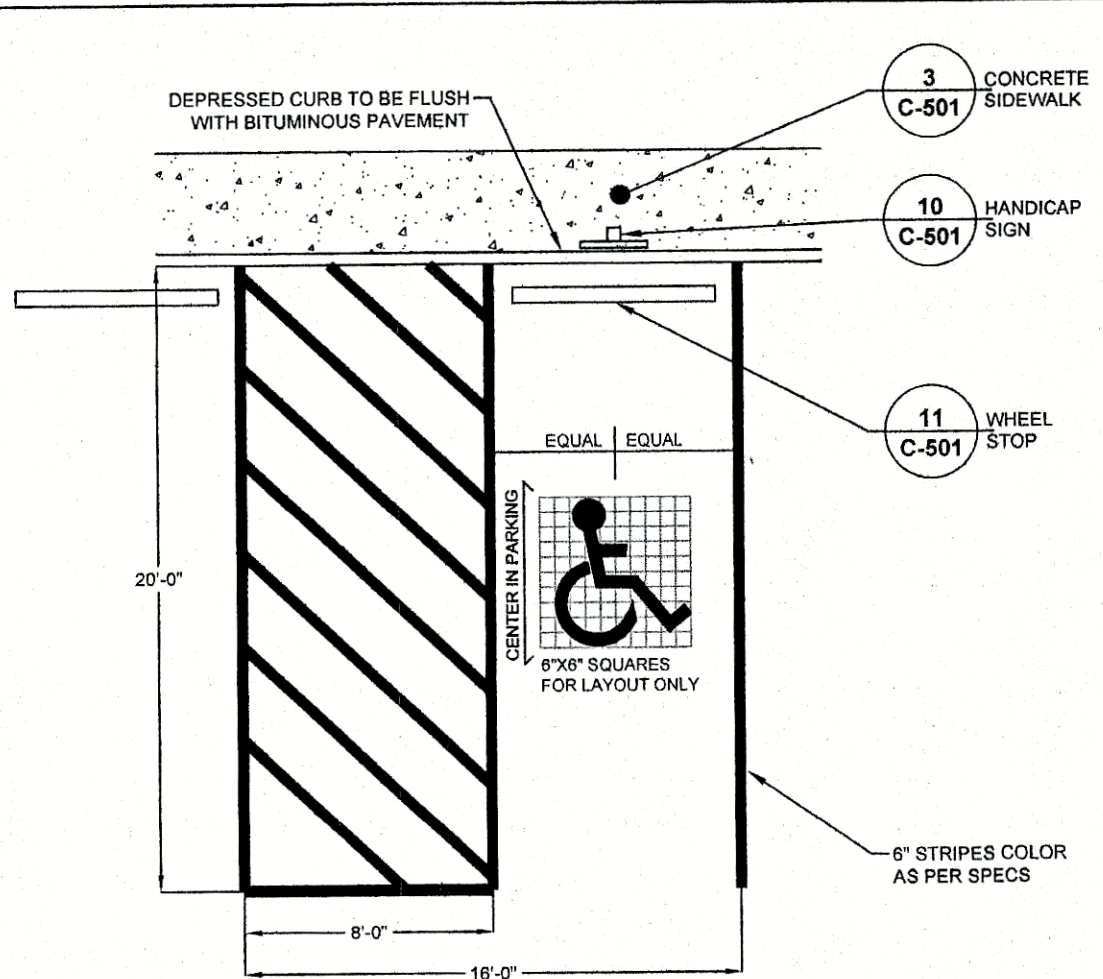


SECTION

LIGHT DUTY - SITE PAVEMENT

NOT TO SCALE

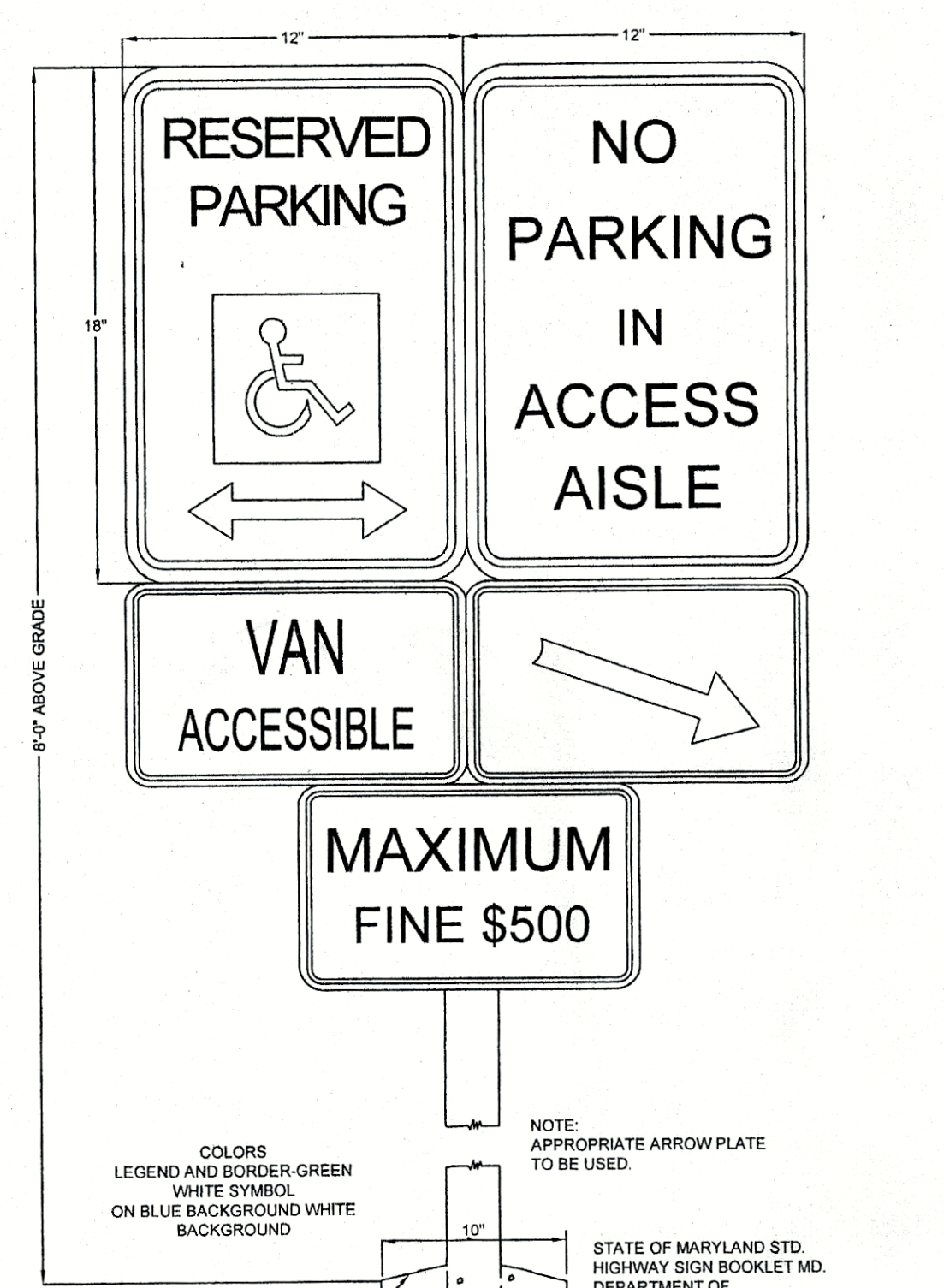
11
C-501



HANDICAP PARKING

NOT TO SCALE

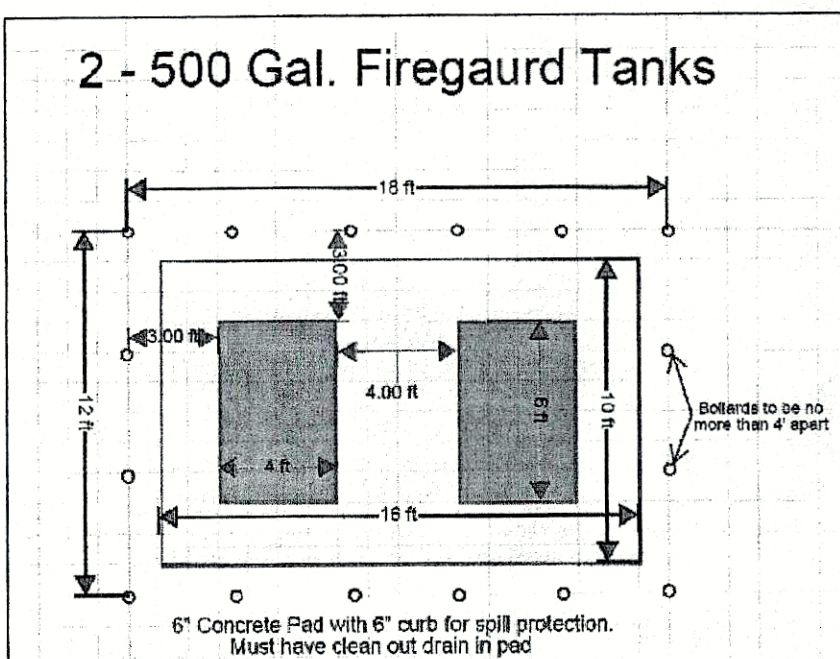
12
C-501



HANDICAP SIGN

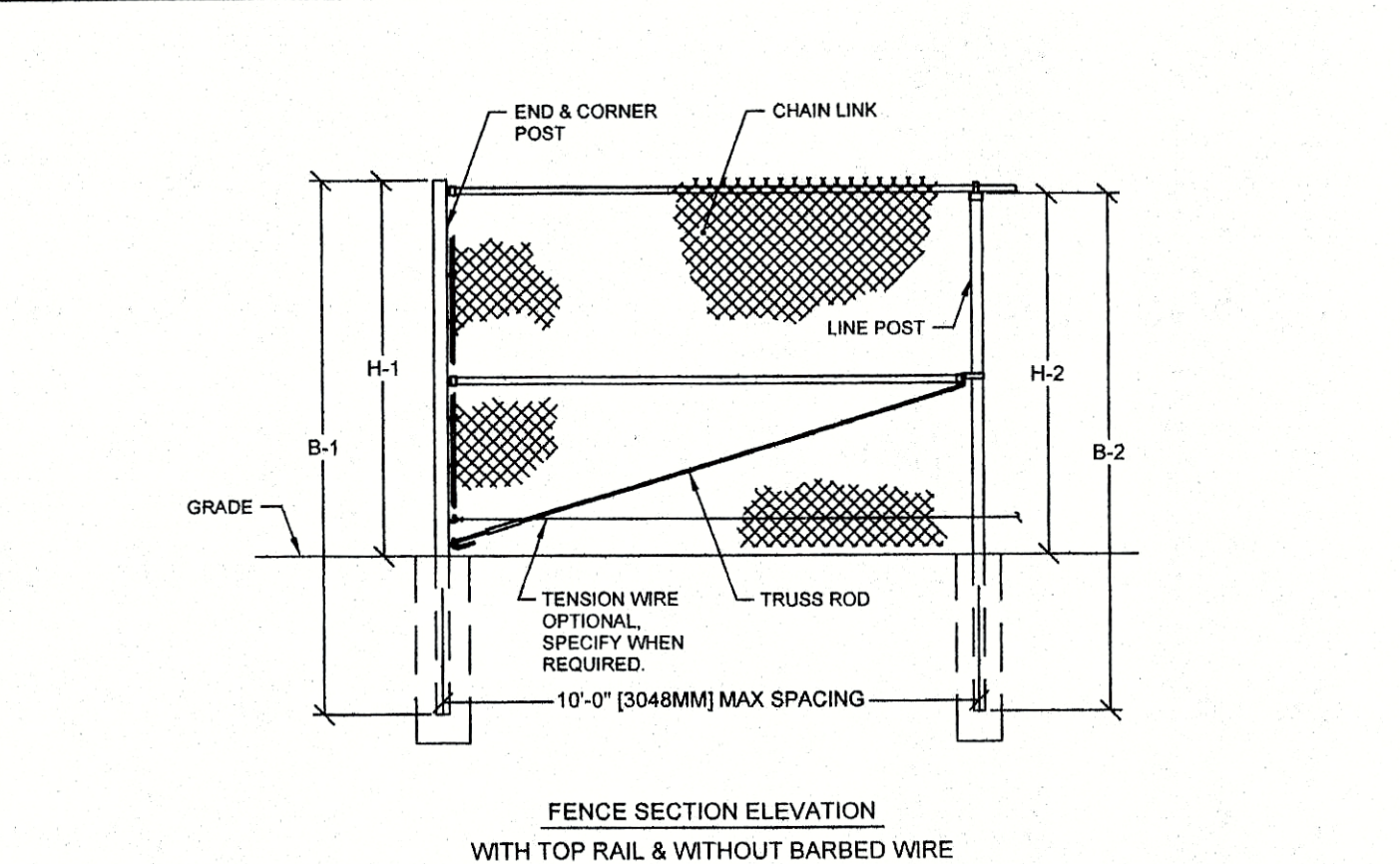
NOT TO SCALE

13
C-501



(NOT TO SCALE)

14
C-501



FENCE SECTION ELEVATION WITH TOP RAIL & WITHOUT BARBED WIRE

FENCE HEIGHT NOMINAL HEIGHT	END & CORNER POSTS		LINE POSTS	
	B-1 BAR LENGTH	H-1 HEIGHT ABOVE GRADE	B-2 BAR LENGTH	H-2 HEIGHT ABOVE GRADE
6'-0" (1829MM)	8'-0" (2439MM)	5'-0" (1524MM)	7'-8" (2337MM)	4'-8" (1418MM)
6'-0" (1829MM)	8'-0" (2439MM)	5'-0" (1524MM)	8'-0" (2439MM)	5'-8" (1749MM)
7'-0" (2134MM)	10'-0" (3048MM)	7'-0" (2134MM)	9'-0" (2743MM)	6'-8" (2032MM)
8'-0" (2439MM)	11'-0" (3353MM)	8'-0" (2439MM)	10'-0" (3048MM)	7'-8" (2337MM)
8'-0" (2439MM)	12'-0" (3658MM)	9'-0" (2743MM)	11'-0" (3353MM)	8'-8" (2643MM)
10'-0" (3048MM)	13'-0" (3963MM)	10'-0" (3048MM)	12'-0" (3658MM)	9'-8" (2948MM)
11'-0" (3353MM)	14'-0" (4268MM)	11'-0" (3353MM)	13'-0" (3963MM)	10'-8" (3253MM)
12'-0" (3658MM)	15'-0" (4573MM)	12'-0" (3658MM)	14'-0" (4268MM)	11'-8" (3558MM)

NOTES:
1. THIS DWG CORRESPONDS WITH DWGS 1-1110 & 1-1130.
2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER HALCO ONLY.



ANCHOR FENCE PRODUCTS
by Master Halco
Orange, CA
Phone No. 800-228-5816
www.FenceOnline.com

TYPICAL HIGH FENCE WITHOUT BARBED WIRE

DIMENSIONS & SPECIFICATIONS

CHAINLINK FENCING

(NOT TO SCALE)

15
C-501

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for car lots, street lighting or parking areas.

CONSTRUCTION — Rugged, 20" thick, aluminum extrusion housing. Formed for weather-tight seal and integrity. Naturally anodized, extruded aluminum door frame with mirrored corners. Is retained with two 1/8" diameter hinge pins and secured with one quarter turn, quick release feature. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into the door frame, and another gasket applied to the housing.

Finish — Standard finish is dark bronze (DB), polyester powder finish with other architectural colors available.

OPTICS — Reflectors are anodized and segmented for superior uniformity and control. Reflectors attach with tool-less fasteners and are replaceable and interchangeable. Five cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff), Type V (wide, forward throw), Type VI (square), Type VII (125° beam spread) tempered glass with thermally applied silk-screened shield.

ELECTRICAL — Ballast: Constant wattage autotransformer for 250-400W. Super CWA pulse-start ballast required for 320W and 350W (SCWA option). Super CWA (pulse start ballast), 80% efficient and EISA legislation compliant. Is required for 250-400W (SCWA option) for U.S. shipments only. CSA or IEC required for probe-start shipments outside the U.S.

Ballasts are 100% factory tested.

Sockets are porcelain, horizontally mounted mogul base socket with copper alloy, nickel plated screw shell and center contact. UL listed 1500W 600V.

INSTALLATION — Extruded aluminum arm for pole or wall mounting is shipped in fixture carton. Optional mounting available.

LISTING — UL Listed (standard), CSA Certified (see options), NEMA Certified (see options), UL listed for 25°C ambient temperature and wet location. IP65 rated.

Note: Specifications subject to change without notice.

Area Lighting

KSF2

METAL HALIDE, 250-400W
HIGH PRESSURE SODIUM, 200-400W
15' to 25' Mounting

Specifications

EPR: 2.0 ft (2.8 m)
(includes arm)
Length: 24-109 (7.62-5.5)
Width: 17-25 (12.62-5.5)
Depth: 8-5 (21.1-12.7)
Arm: 4 (10.2)
*Weight: 52 lbs (23.6 kg)
*Weight as configured in example below.
All dimensions are inches (millimeters) unless otherwise specified.

Example: KSF2 400M R3 TB SCWA SP04 LPI

Series	Wattage	Distribution	Voltage	Ballast	Mounting	Arm length	Shipped separately
KSF2	250W	R3	120	347	(blank)	24"	DA12P
	350W	R3	208	480	Magentic	24"	Degree arm, pole
	400W	R4SC	240	18"	Constant wattage isolated	06'	DA12WB
	400W	R4SC	277	23050H2	RP	06'	Degree arm, wall
	400W	R4SC	277	23050H2	WB	09'	KMA
	400W	R4SC	277	23050H2	WW	12'	KMB

Options

Shipped/installed in fixture	EC	Emergency circuit	Shipped separately	Finish	CR	Corrosion resistant finish	LPI	Lamp
PER NEMA twist-lock receptacle only (no photocell)	CSA	CSA Certified	PE1	White	CR	Non-stick protective coating	LPI	Lamp
Single line (120, 277, 347V) n/a TB	NOM	NOM Certified	PE3	Black				
Double line (208, 240, 480V) n/a TB	INTL	Available for MHI probe-start shipping outside the U.S.	PE4	Medium bronze				
Quantz restrike system	KW1	KiloWatt	PE7	Dark bronze				
QRT time delay	KW4	KiloWatt	PE8	Aluminum				
	REG1	California Title 20 effective 1/1/2010	PE9					

Accessories: Finish Mounting Slipfitter

Series	One	Two	Three	Four	Five	Six	Seven	Eight	Nine	Ten
2-1/8" (50.8)	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190
2-3/8" (59.5)	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190
3-1/8" (82.5)	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190	120-190

Notes

- Two wattage range the KSCF system is for design for shipments into California for 2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/2538/2539/2540/2541/2542/2543/2544/2545/2546/2547/2548/2549/2550/2551/2552/2553/2554/2555/2556/2557/2558/2559/2560/2561/2562/2563/2564/2565/2566/2567/2568/2569/2570/2571/2572/2573/2574/2575/2576/2577/2578/2579/2580/2581/2582/2583/2584/2585/2586/2587/2588/2589/2590/2591/2592/2593/2594/2595/2596/2597/2598/2599/2600/2601/2602/2603/2604/2605/2606/2607/2608/2609/2610/2611/2612/2613/2614/2615/2616/2617/2618/2619/2620/2621/2622/2623/2624/2625/2626/2627/2628/2629/2630/2631/2632/2633/2634/2635/2636/2637/2638/2639/2640/2641/2642/2643/2644/2645/2646/2647/2648/2649/2650/2651/2652/2653/2654/2655/2656/2657/2658/2659/2660/2661/2662/2663/2664/2665/2666/2667/2668/2669/2670/2671/2672/2673/2674/2675/2676/2677/2678/2679/2680/2681/2682/2683/2684/2685/2686/2687/2688/2689/2690/2691/2692/2693/2694/2695/2696/2697/2698/2699/2700/2701/2702/2703/2704/2705/2706/2707/2708/2709/2710/2711/2712/2713/2714/2715/2716/2717/2718/2719/2720/2721/2722/2723/2724/2725/2726/2727/2728/2729/2730/2731/2732/2733/2734/2735/2736/2737/2738/2739/2740/2741/2742/2743/2744/2745/2746/2747/2748/2749/2750/2751/2752/2753/2754/2755/2756/2757/2758/2759/2760/2761/2762/2763/2764/2765/2766/2767/2768/2769/2770/2771/2772/2773/2774/2775/2776/2777/2778/2779/2780/2781/2782/2783/2784/2785/2786/2787/2788/2789/2790/2791/2792/2793/2794/2795/2796/2797/2798/2799/2800/2801/2802/2803/2804/2805/2806/2807/2808/2809/2810/2811/2812/2813/2814/2815/2816/2817/2818/2819/2820/2821/2822/2823/2824/2825/2826/2827/2828/2829/2830/2831/2832/2833/2834/2835/2836/2837/2838/2839/2840/2841/2842/2843/2844/2845/2846/2847/2848/2849/2850/2851/2852/2853/2854/2855/2856/2857/2858/2859/2860/2861/2862/2863/2864/2865/2866/2867/2868/2869/2870/2871/2872/2873/2874/2875/2876/2877/2878/2879/2880/2881/2882/2883/2884/2885/2886/2887/2888/2889/2890/2891/2892/2893/2894/2895/2896/2897/2898/2899/2900/2901/2902/2903/2904/2905/2906/2907/2908/2909/2910/2911/2912/2913/2914/2915/2916/2917/2918/2919/2920/2921/2922/2923/2924/2925/2926/2927/2928/2929/2930/2931/2932/2933/2934/2935/2936/2937/2938/2939/2940/2941/2942/2943/2944/2945/2946/2947/2948/2949/2950/2951/2952/2953/2954/2955/2956/2957/2958/2959/2960/2961/2962/2963/2964/2965/2966/2967/2968/2969/2970/2971/2972/2973/2974/2975/2976/2977/2978/2979/2980/2981/2982/2983/2984/2985/2986/2987/2988/2989/2990/2991/2992/2993/2994/2995/2996/2997/2998/2999/3000/3001/3002/3003/3004/3005/3006/3007/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SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
 - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
 - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

For sites 1.0 acre or more, the following are required:

- Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDRC, State Discharge Permit Number 14GP, or an Individual Permit.
- The Maryland Department of the Environment (General/Individual Permit - Notice of Intent-NOI) application and permit shall be posted and/or available on-site at all times.
- During construction, all soil erosion and sediment control practices (BMP's) shall be inspected and recorded on the "Standard Inspection Form" "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI).
- Following construction and release of the sight for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

SEQUENCE OF CONSTRUCTION

Pre-Construction Notification - Contractor shall notify the Washington Co. Soil Conservation District (301-797-8821, ext. 3), Washington County Division of Engineering & Construction Management (240-313-2400) and the Design Engineer (301-791-3650) at least five (5) days prior to start of any work shown on these plans to schedule a pre-construction meeting. The Contractor and/or Owner shall have the "third party qualified professional" at the pre-construction meeting in accordance with "WASH. CO. PLAN REVIEW & PERMITTING NOTES. Note 2 shown on sheet 1. Contractor shall contact MD SHA to schedule a separate pre construction meeting before commencing any work in the SHA right of way.

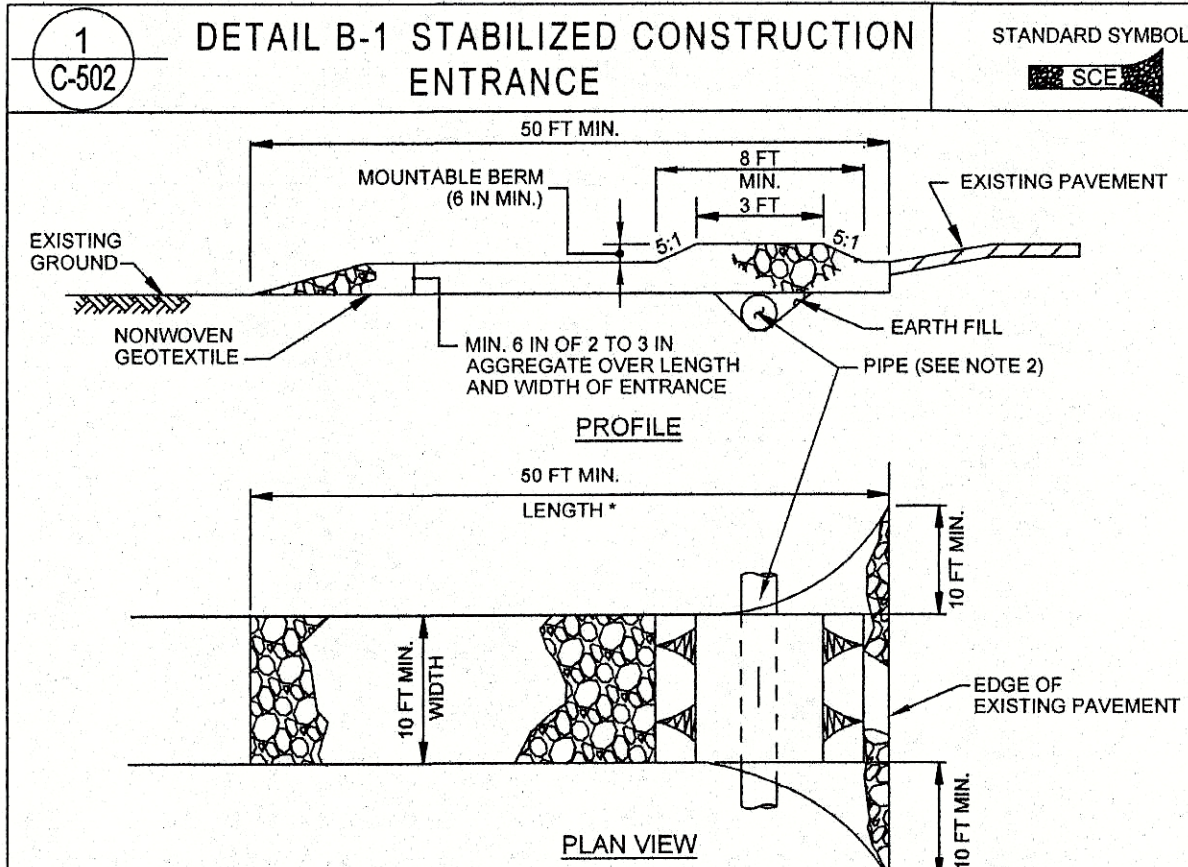
- Install a stabilized construction entrance off of Peak Circle as shown on C-101 (Sheet 2).
- Contractor to install perimeter controls as shown on plans.
- Strip topsoil and place in material stockpile as shown on the plans. Install 8" filter log along the downhill side of the stockpile.
- Contractor to construct Swale #1 along the eastern boundary of the site to convey upstream runoff. Contractor to construct the swale working downstream to upstream and stabilize with matting and seed & mulch as installation progresses (same day).
- Contractor to begin installation of storm drains working from downstream to upstream to maintain positive drainage starting with the installation of inlets A1 and A2. Contractor to install the remaining stormdrains from outfalls working from downstream to upstream. Contractor to install outlet protection and inlet protection as installation of storm drains progresses and adjust as necessary during constructions. All work shall be done in accordance with the "Standard Utility and Sediment Control Notes".
- Contractor to grade site and prepare for building pad per Geotechnical Engineer's recommendations. Contractor to stabilize all perimeter dikes, swales, ditches, perimeter slopes and all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance and all other disturbed or graded areas within 7 calendar days.
- Contractor to install curbing and stone base in parking areas to stabilize.
- Spread topsoil and stabilize per the permanent seeding specifications.
- Once the site is stabilized and permission has been granted by the WCSCD, contractor to begin construction of the bioretention facilities. Contractor to contact Wash. Co. Division of EACM (240-313-2400) and FSA (301-791-3650) at least 2 days before the start of construction to schedule inspections per the checklists located on the plans. Any excess material shall be hauled to a site with an approved erosion and sediment control plan with all required permits. Installation of landscaping shall take place between August 1 and October 15.
- Contact the Washington County Soil Conservation District (301-797-8821, ext. 3) and Washington County D.P.W. Engineering & Construction (240-313-2400) to verify site is adequately stabilized before removing perimeter controls.
- Remove all sediment control devices and stabilize any disturbed areas.

TEMPORARY SEEDING SUMMARY

HARDINESS ZONE (FIGURE B.3): 6b				FERTILIZER RATE (10-20-20)		LIME RATE
SEED MIXTURE (TABLE B.1)				SEEDING DEPTHS		
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES			
1	Barley	96	Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1"	436 lb/ac (10 lb/1000 s.f.)	2 tons/ac (90 lb/1000 s.f.)

PERMANENT SEEDING SUMMARY

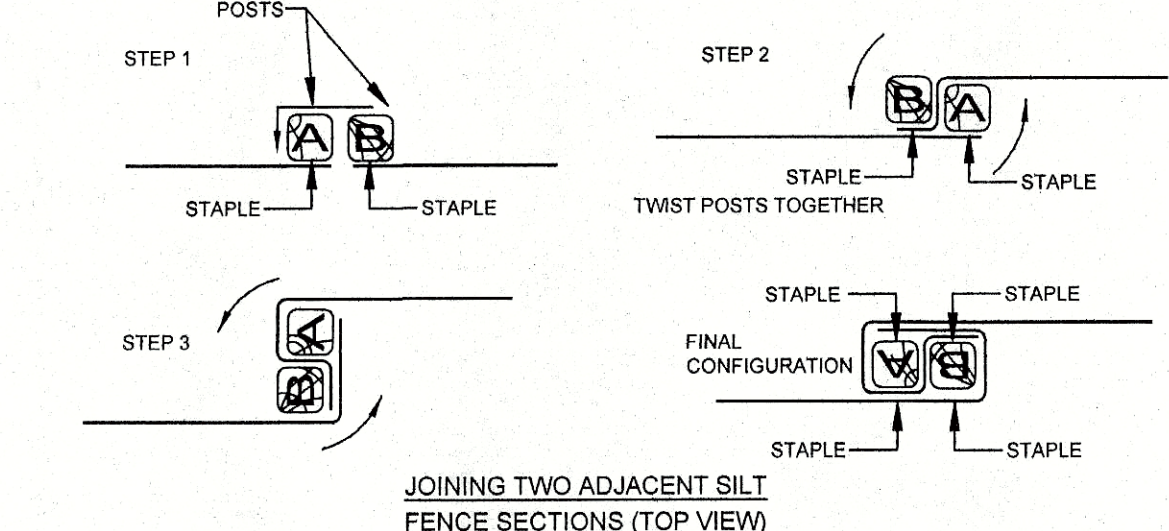
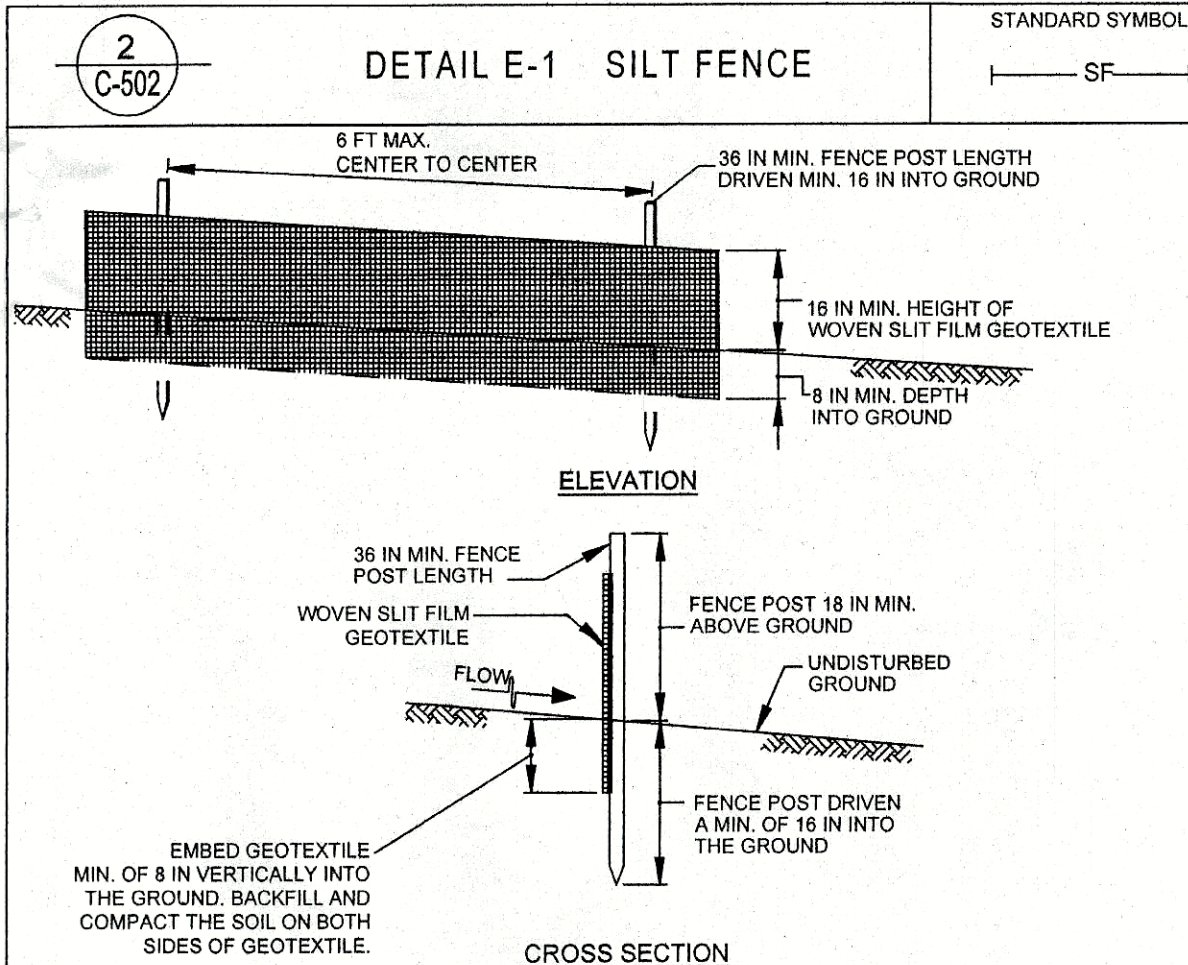
HARDINESS ZONE (FIGURE B.3): 6b					FERTILIZER RATE (10-20-20)			LIME RATE
SEED MIXTURE (TABLE B.1)								
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTH	N	P205	K20	
6	Tall Fescue	40	Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1/4"-1/2"	45 lb/ac. (1 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)
	Perennial Ryegrass	25						
	Birdfoot Trefoil or White Clover	B.T. (6) or W.C. (5)						



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

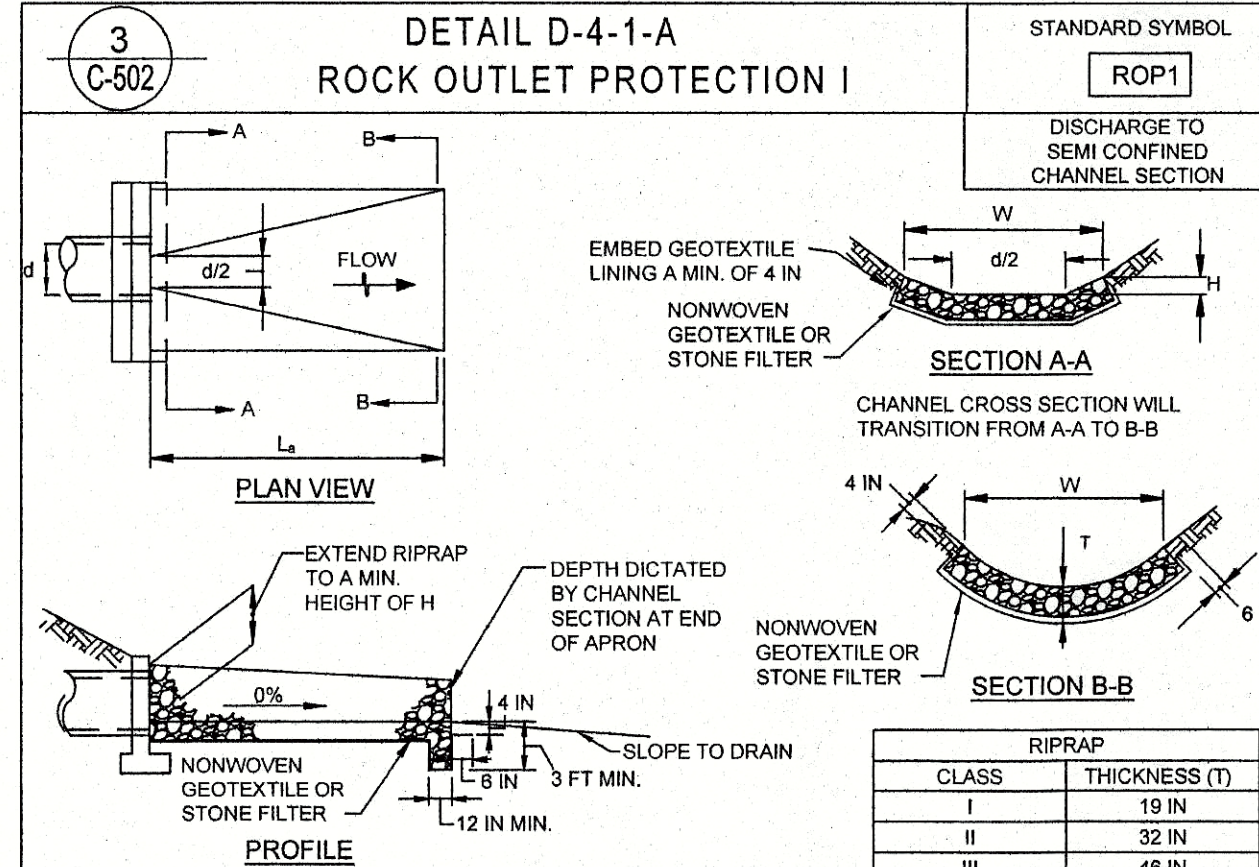
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 X 1 1/2 X 1/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.

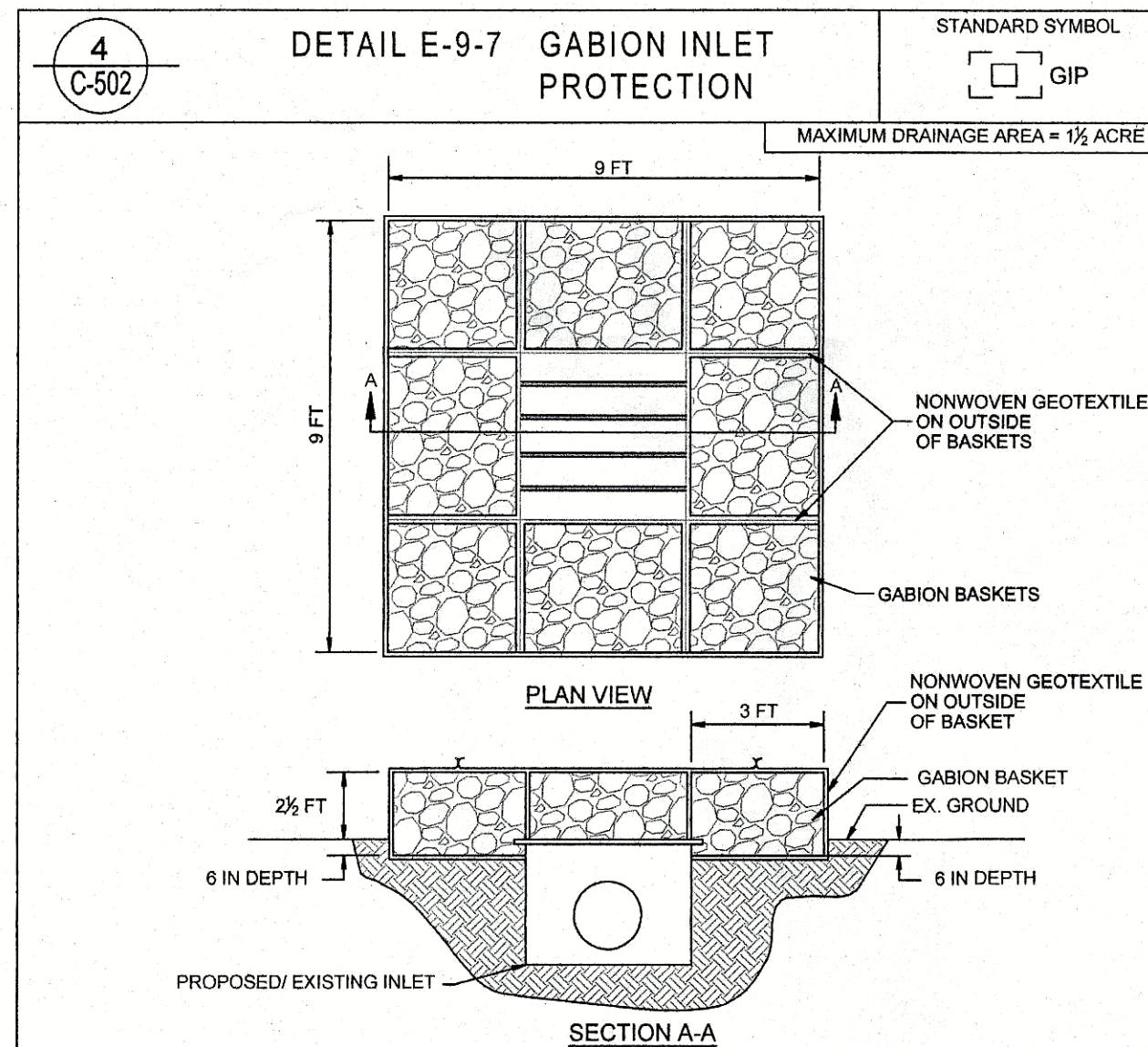
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 1 1/2 INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF THE RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

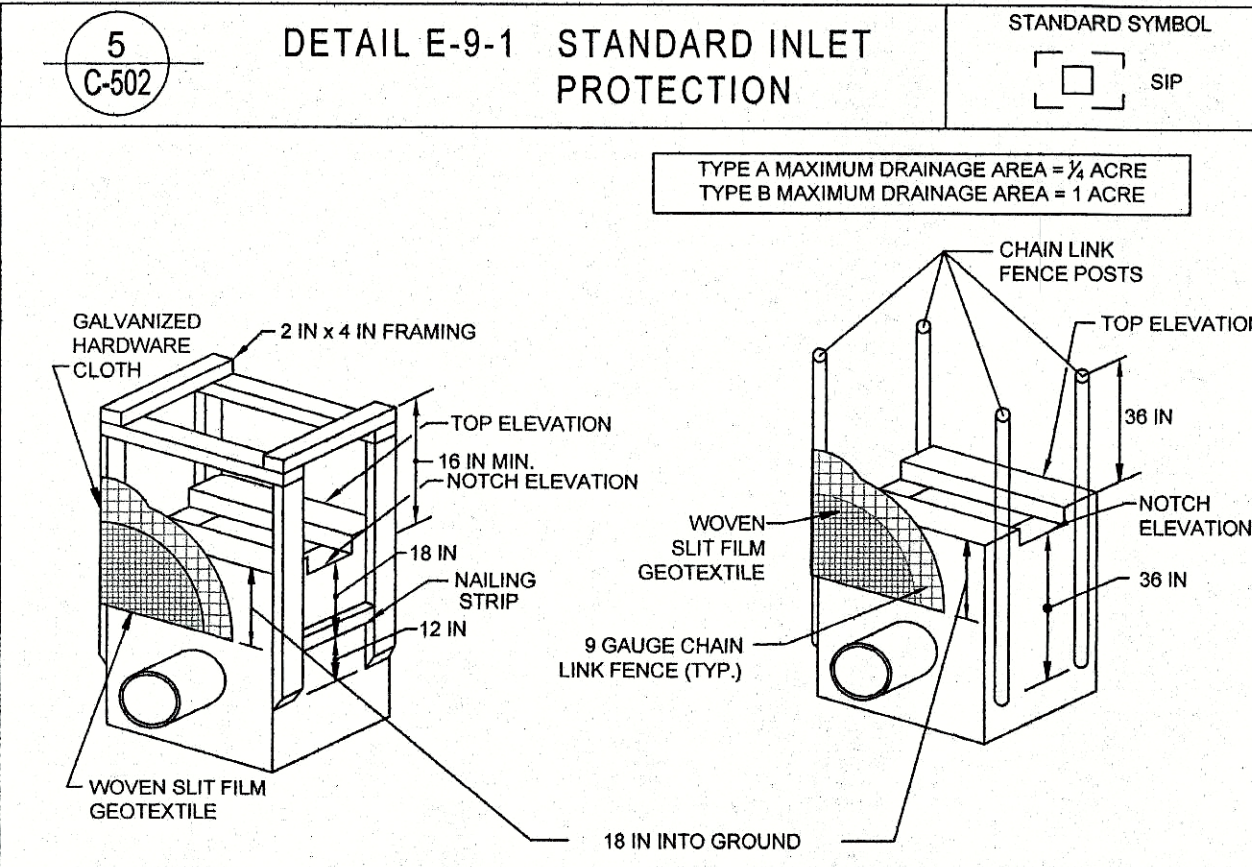
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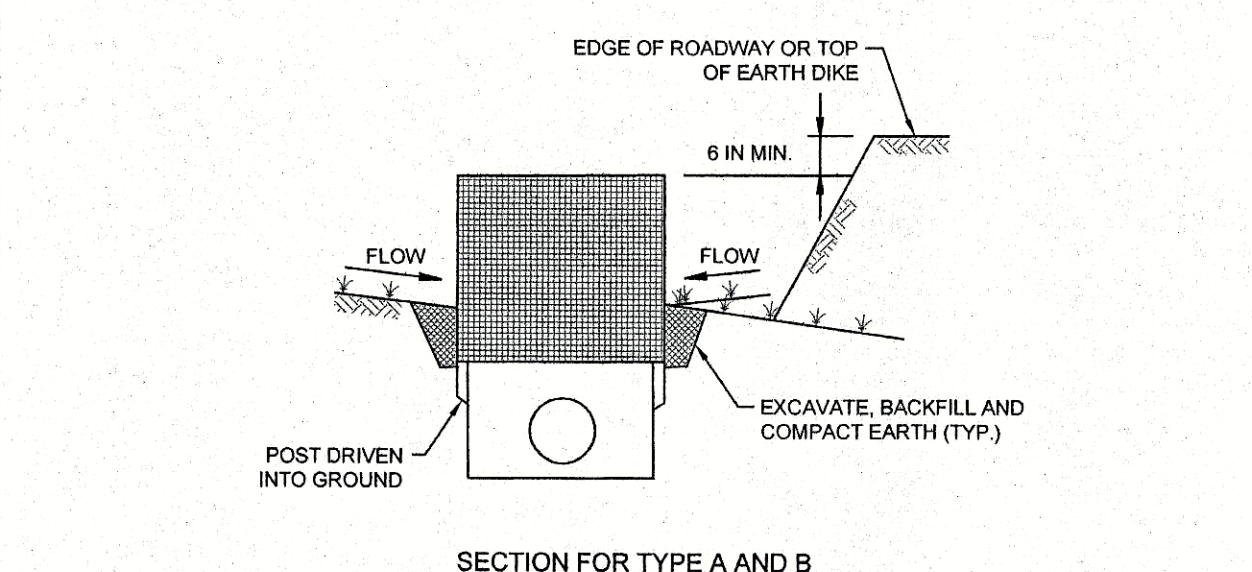
CONSTRUCTION SPECIFICATIONS

- USE BASKETS MADE OF 11 GAUGE WIRE OR HEAVIER.
- WRAP 3 FEET X 3 FEET GABION BASKETS (LENGTH VARIABLE) WITH NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVERLAPPING AT THE TOP AND FASTEN THE GEOTEXTILE AT THE TOP OF THE BASKET WITH WIRE FASTENERS (HOG RINGS) AT A MAXIMUM OF 1 FOOT INTERVALS ALONG THE SEAM.
- AVOID TEARING OR DAMAGING GEOTEXTILE.
- ENTRENCH GABION BASKETS TO A DEPTH OF 8 INCHES.
- PLACE AND INTERLOCK GABION BASKETS WITH NO GAPS.
- FILL GABION BASKETS WITH CLEAN 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR MESH.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



ISOMETRIC VIEW



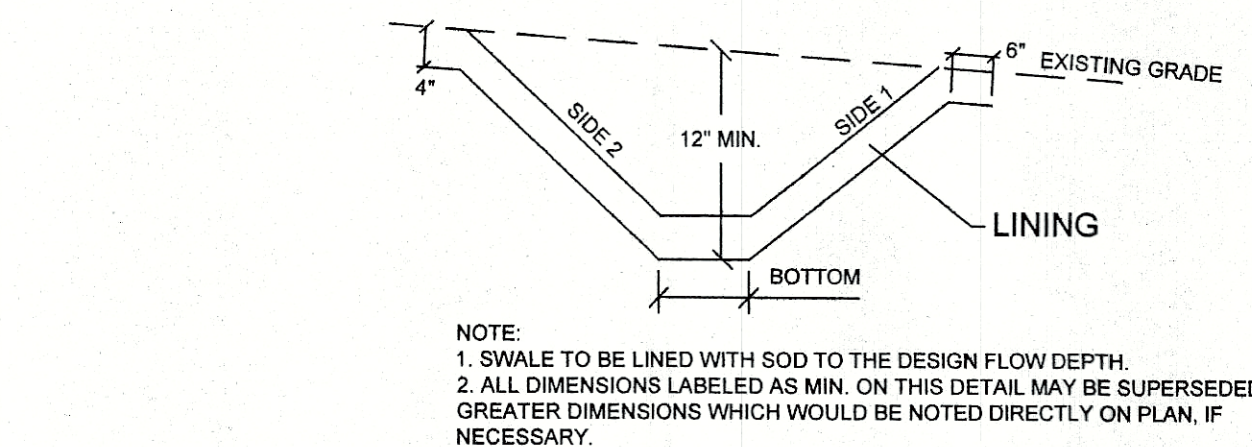
CONSTRUCTION SPECIFICATIONS

- USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN. STRETCH 1/2 INCH GALVANIZED HARDWARE CLOTH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
- FOR TYPE B, USE 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.
- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SWALE SCHEDULE									
I.D.	B.W.	T.W.	TOTAL DEPTH	D.	S.S.	SLOPE	Q10 (cfs)	V10 (fph)	LINING
1	4.25	16.25	2.0	1.75	3:1	1.00%	87.15	5.23	TEMP.
2	0	8.00	1.0	0.70	3:1	1.50%	4.36	2.92	TEMP.

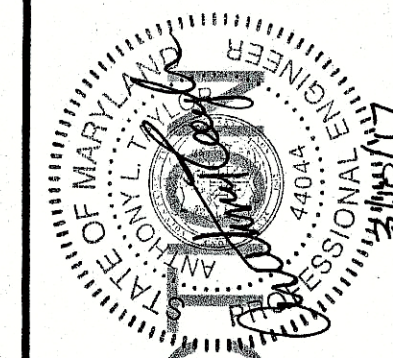
TEMP. MATTING SHALL MEET OR EXCEED "B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING" (CURLEX II CL BY AMERICAN EXCELSIOR COMPANY OR EQUAL).



6
C-502

SWALE DETAIL

NOT TO SCALE



Professional Engineer
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
No. 44844, Exp. Date 06-28-2017

FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
128 SOUTH POTOMAC STREET, AGERSTOWN, MARYLAND 21740
101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
(301) 791-3650 (301) 791-3650 (301) 791-3650

DATE:	DESCRIPTION:	MARK:	REVIEWED BY:	APPROVED BY:
03/02/2017	Reviewed per agency comments	Δ		

Improvement Plan for Sunbelt Rentals
LOCATED AT 1321 CRYSTON BLVD., HAGERSTOWN, MD 21742
CLIENT: GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
301-797-2488

UNDER AGENCY REVIEW - NOT APPROVED
PROJECT NO. 1725-10
CAD DWG FILE: 1725-10-03 C-502 SEC Details.dwg
DWN BY: ALT
CHK BY: DATE: 10/31/2016
TAX MAP: 24-16-949
SCALE: 13
SHEET TITLE: NTS

SEC DETAILS & NOTES
C-502
SHEET 8 OF 14
SP-17-001

DETAIL E-9-3 CURB INLET PROTECTION

STANDARD SYMBOL

CIP

ISOMETRIC

SECTION A-A

CONSTRUCTION SPECIFICATIONS

1. USE NOMINAL 2 INCH x 4 INCH LUMBER.
2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
4. ATTACH A CONTINUOUS PIECE OF ½ INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING 1/2 FEET BEYOND THROAT ON EACH SIDE.
5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
6. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH) EXTEND 6 INCHES ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
7. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
8. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
9. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
10. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT FROM THE INLET PROTECTION AREA IMMEDIATELY AFTER EACH RAIN EVENT. IF THE PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

STANDARD UTILITY NOTES:

1. Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
2. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.
3. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.
4. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.
5. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.
6. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.
7. Contractor to place excavated materials in a dump truck and hauled to an approved location to waste material to paved areas.

STANDARD STABILIZATION NOTES:

Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

- a. (1) excavator days as to the surface of all excavator ditches, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
- b. Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

<div style="display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; margin-right: 10px;"> <div style="border: 1px solid black; border-radius: 50%; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;">6</div> <div style="text-align: center;">C-503</div> </div> <div style="text-align: center;"> <p>DETAIL B-4-6-B</p> <p>TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION</p> </div> <div style="text-align: right;"> <p>STANDARD SYMBOL</p> <p>TS&MS - * Ib/Yd²</p> <p>(* INCLUDE SHEAR STRESS)</p> </div> </div>	<div style="display: flex;"> <div style="flex: 1;"> </div> <div style="flex: 2;"> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS. USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBER. THE MATTING MUST BE OF A TYPE THAT PERMITS DISTRIBUTION OF FIBERS THROUGHOUT AND BE SUFFICIENTLY RESISTANT TO WEAR TO PREVENT THE MATTING FROM BEING REMOVED BY TRAFFIC OR ANIMALS. THE MATTING MUST BE GERMINATION AND NON-NUISANCE TO THE SOIL. IF PRESENT, NETTING MUST BE EXTENDED PLASTIC WITH A MAXIMUM MESH SIZE OF 1/2 INCH. THE MATTING MUST BE LAYED OUT WITH THE FIBERS ALONG LONGITUDINAL AXIS OF THE MATTING. TO PREVENT SEPARATION OF THE NET FROM THE PRESENT MATERIAL. SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR RIDGEPOURABLE EQUIVALENT. STAPLES MUST BE 1/4 IN. (TYP.) SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8, RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES LONG AND BE A MINIMUM OF 1/4 INCH WIDE. WOOD STAKES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF MATTING STABILIZATION IS REQUIRED ON THE APPROVED GRADING & SEDIMENT CONTROL PLAN. SEED MATTING DOWN SLOPE LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDS SURFACE. AVOID STRETCHING THE MATTING. OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES MINIMUM, WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT. KEY IN THE UPSLOPE END OF MAT 6 INCHES MINIMUM, BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION 8.4 VEGETATIVE STABILIZATION </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>U.S. DEPARTMENT OF AGRICULTURE</p> <p>NATURAL RESOURCES CONSERVATION SERVICE</p> </div> <div style="text-align: center;"> <p>2011</p> </div> <div style="text-align: center;"> <p>MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL</p> <p>MARYLAND DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES ADMINISTRATION</p> </div> </div>
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[illegible]

1. Landscaping contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
2. Landscape Contractor shall install all plant material in a timely fashion.
3. Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
4. No Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
5. Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
6. All plants shall be watered thoroughly during installation and prior to final acceptance.
7. All planted areas shall be first covered with Typar Weed Barrier or approved equal.
8. All mulched bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3".
9. Plants noted otherwise.
10. Plant material shall be inspected visually in order to remove and replace dead, diseased vegetation.
11. Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
12. All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
13. The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
14. Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
15. Landscape is recommended to be installed during the two growing seasons. Spring, April 15-June 15. Fall, September 1-November 1.

1. Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the bioretention area.
2. All trash and debris should be removed from the top of the bioretention area as necessary.
3. Areas devoid of mulch shall be re-mulched on an annual basis.

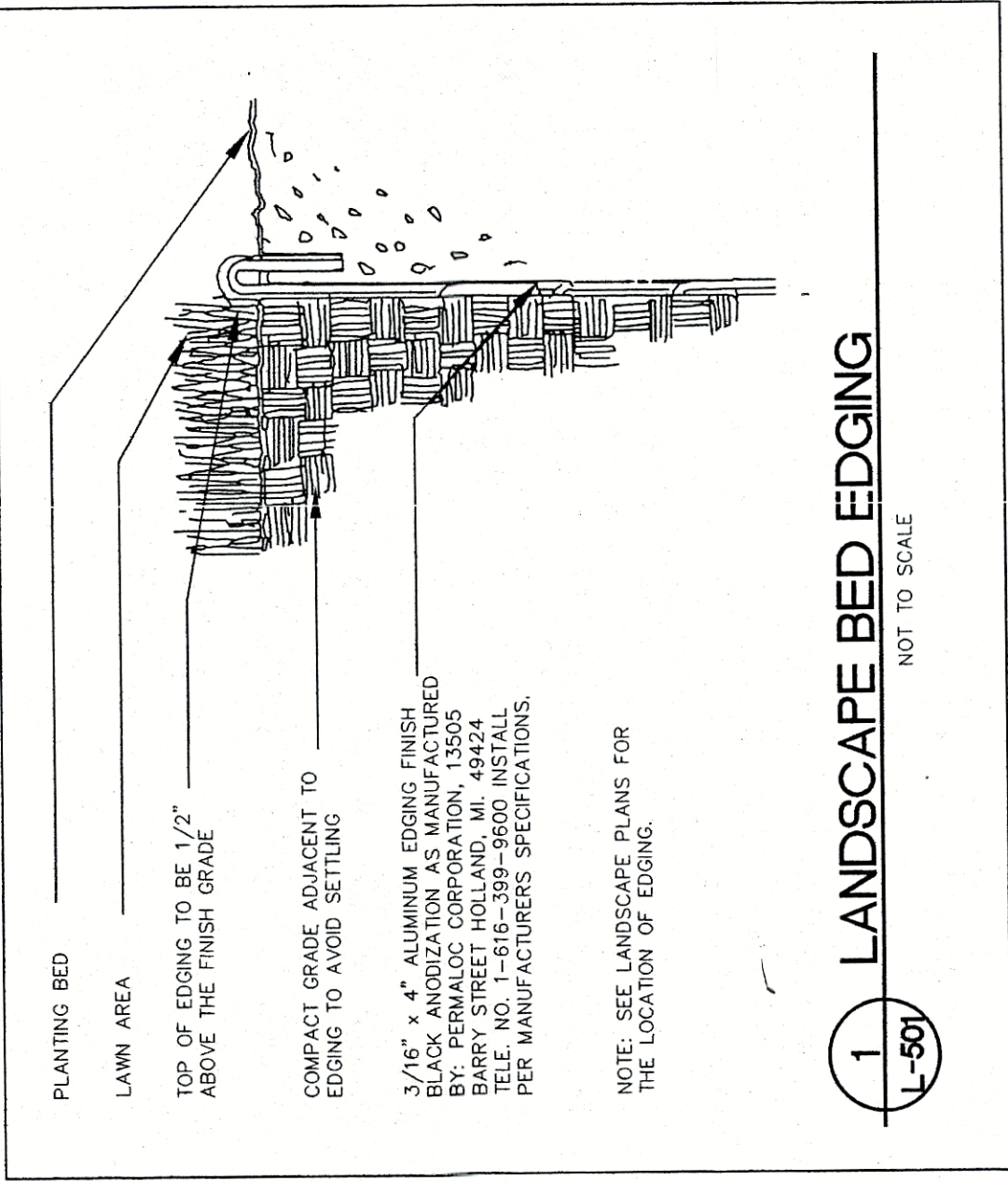
SITE PREPARATION
Invasive species, particularly those that will adapt to wet conditions, should be removed or sprayed before they become incorporated into the site. Spot spray or hand pull problem weeds. Perennial weeds not addressed before establishment will be difficult to remove later.

Seeding and planting should begin immediately upon completion of the structure while the soil is still friable and before invasive weeds emerge. Plant seedling and planting before the basin is flooded or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. The use of native species can provide temporary vegetation to protect the soil in SWM facilities until permanent vegetation can become established. Mutch[®] or straw temporary mats are frequently used to control erosion and protect emerging seedlings from extreme temperatures and churning out. Mulch should be sparse in order to allow sunlight to reach the ground. Irrigating seeded areas is beneficial until seedlings become established.

Whenever canopy (overall vegetation) reaches a height of 18–24", use a string trimmer to trim the meadow to a height of 8". This will reduce competition by fast-growing weeds for sunlight, water and nutrients needed by slower growing, perennial natives. Mowing should not be done with a lawn mower as the mower height will be too low and native seedlings will be killed. Mowing should cease by mid-September.

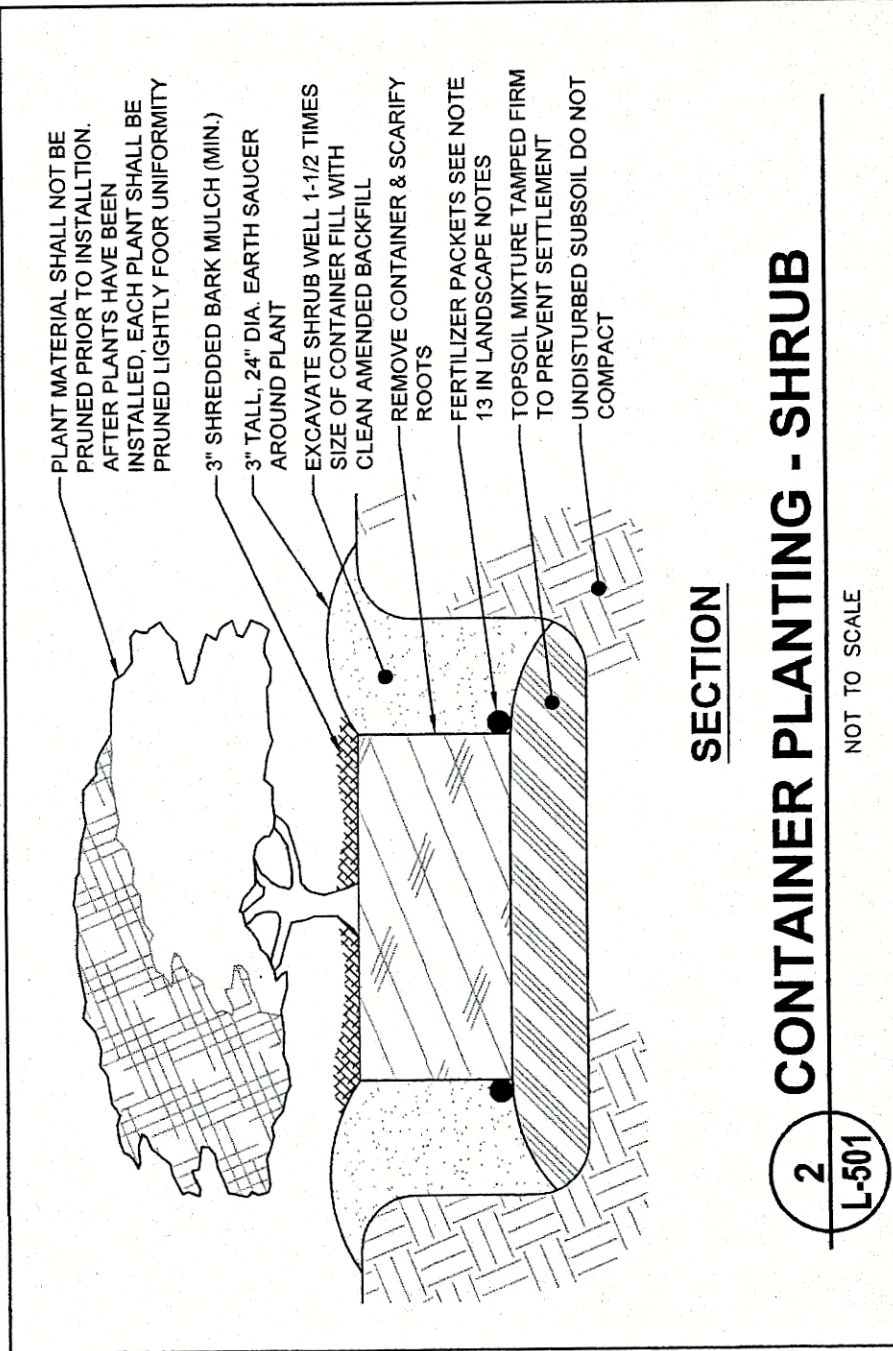
Prior to new spring growth reaching a height of 2' trim any material standing from the previous year close to the ground (approximately 2'). This will allow the soil to warm more quickly which will stimulate emergence and growth of native seedlings.

SPECIAL CIRCUMSTANCES SECOND GROWING SEASON
If you notice a heavy infestation of ragweed or foxtail in the second growing season, trim the meadow to a height of 8".
Trimming should cease after mid-September.

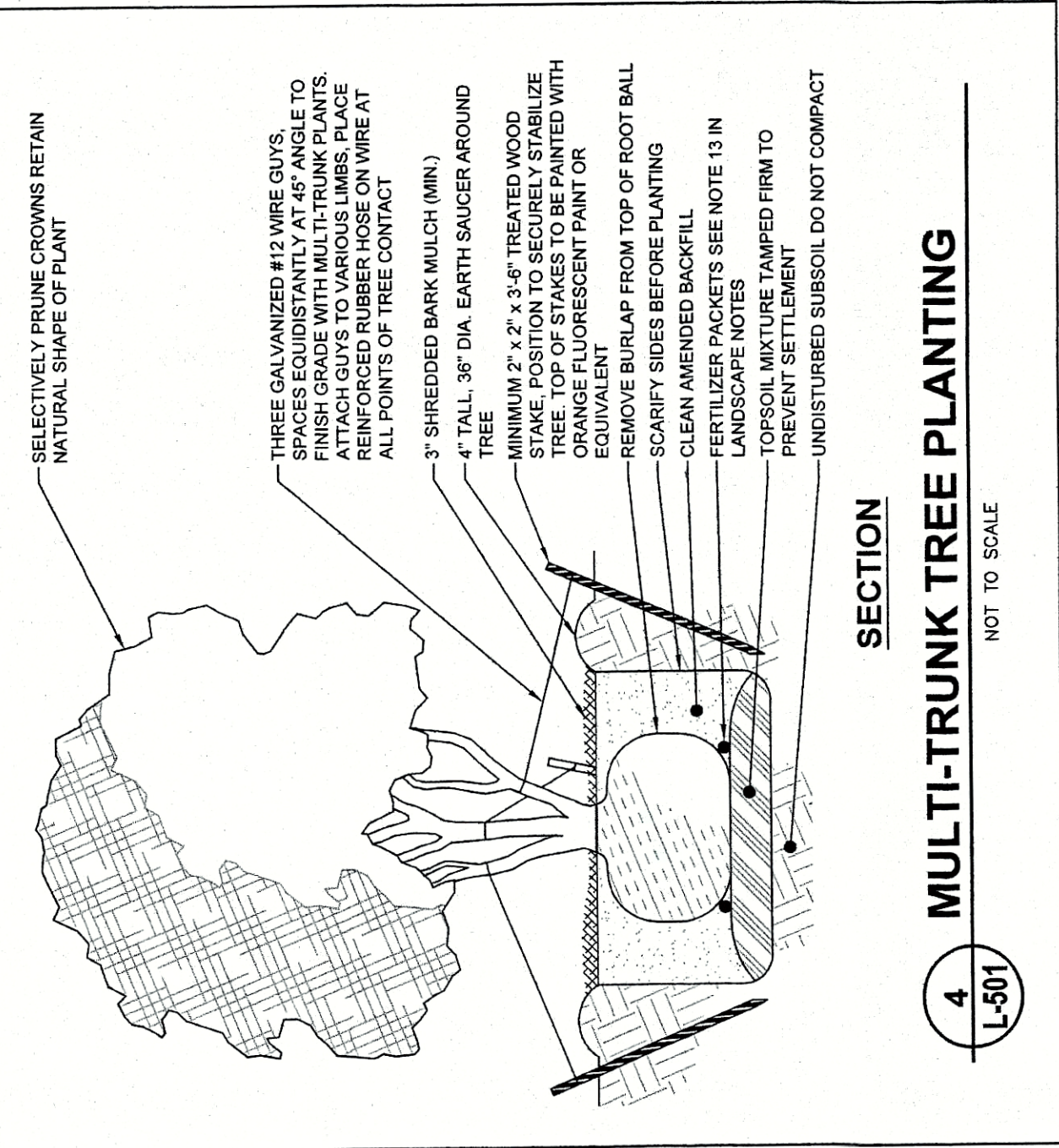


1 LANDSCAPE BED EDGING

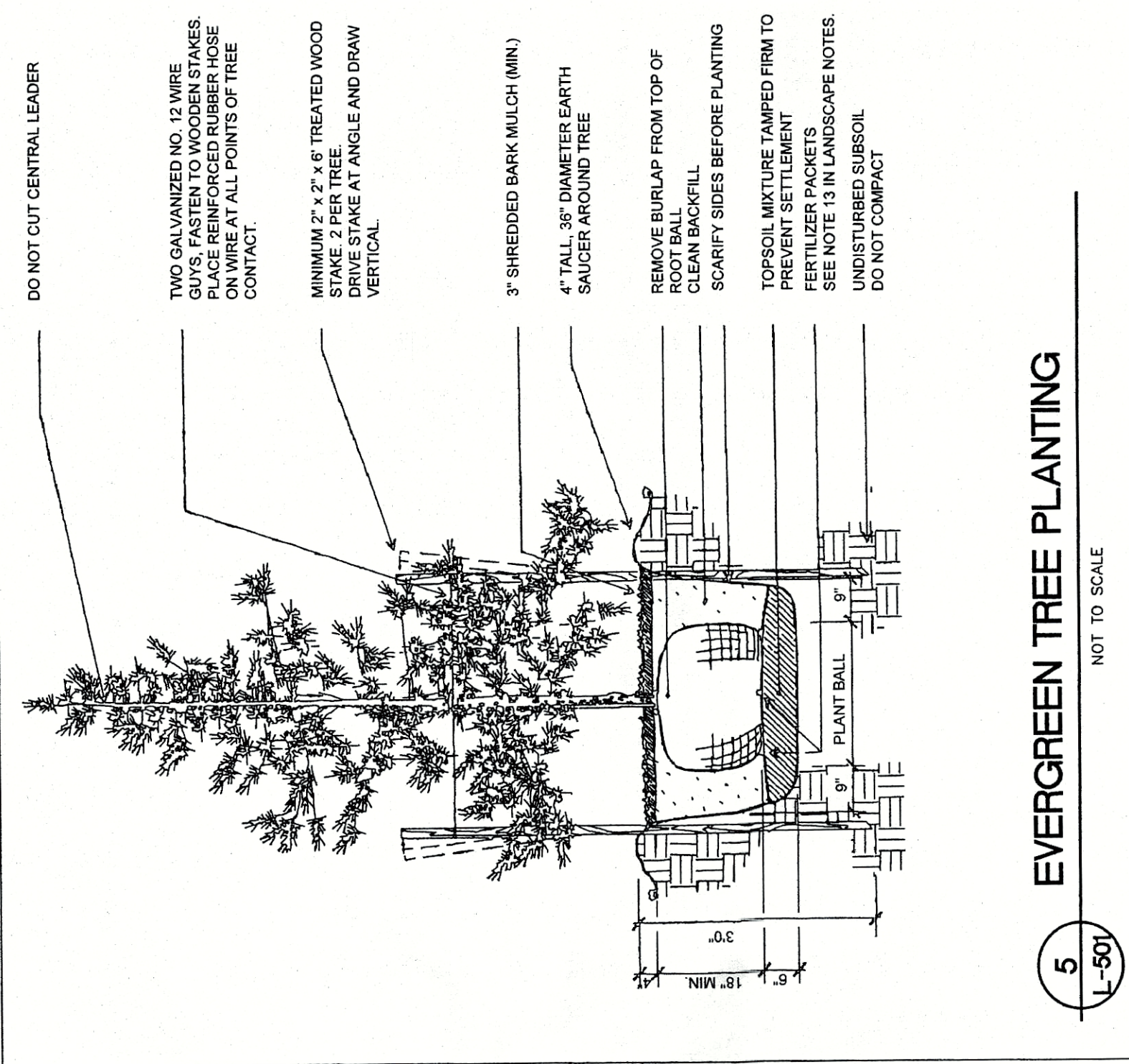
SECTION
CONTAINER PLANTING - SHRUB



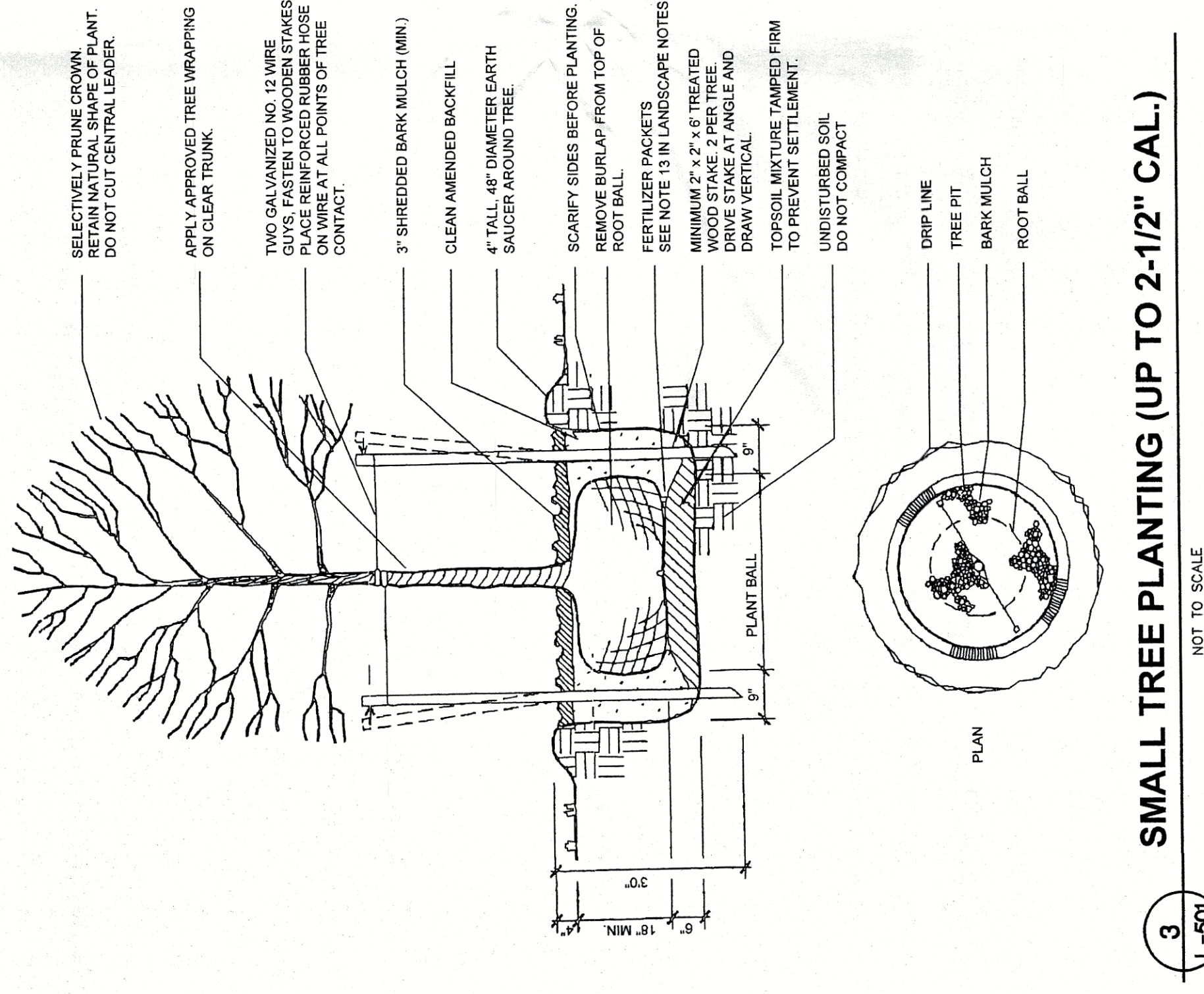
SECTION



EVERGREEN TREE PLANTING



SMALL TREE PLANTING (UP TO 2-1/2" CAL.)





DIVISION OF
ENGINEERING & CONSTRUCTION MANAGEMENT
PLAN REVIEW | PERMITTING | ENGINEERING | CONSTRUCTION

MEMO

TO: Washington County Planning Commission
FROM: Tim Lung, Deputy Director - Plan Review
DATE: March 15, 2017
SUBJECT: Revision to Rosewood PUD Development Plan

Washco Developments, the developer of Rosewood PUD has requested the Planning Commission's review of a revision to the approved Final Development Plan DP-16-001. A PUD overlay zoning was obtained in 1995. In 1999 a Final Development Plan was approved. Since that time the PUD is being built out in several phases and sub phases. There has been several changes to the originally approved development plan, two of these changes were deemed significant enough to warrant additional public hearings and involved replacement of several areas originally designated for residential development with commercial development. These changes resulted in all of the PUD on the north side of Varsity Lane (now Professional Court) being designated for commercial/office use. In 2014 the Planning Commission approved a "minor" change which revised the previously approved development plan showing office/commercial uses along Capitol Lane to residential townhomes. This was essentially the same as what was approved on the original development plan for the Capitol Lane section of Rosewood. The remaining portion of the PUD north of Professional Court continued to be designated for commercial/office development. The most recent "minor change" was approved by the Planning Commission in January 2017. This revision proposed to change a portion of the 7.62 ac commercial/office area in phase III north of O'Neals Place to 35 residential townhouse lots and to change the number of apartment units within a previously approved apartment lot in phase IIB from 20 units to 24 units. The resulting change in the commercial/residential mix did not exceed the previously established residential density or maximum commercial area percentage.

The developer is now requesting a revision to the PUD that would replace the remaining office building on lot 160 in phase III with 52 townhouse lots as originally planned. Lot 18 in phase II-B, which currently proposes an office/commercial building, would be replaced with a 32 unit apartment building as originally planned. Lot 17 B originally and currently planned for a commercial/office center is proposed to be changed to multifamily residential use containing 72 units with one retail "pad" remaining. The originally and currently planned 44 townhouse lots in phase III along John F Kennedy drive are proposed to be changed to several 3 story multi-family buildings containing 84 units. This change also involves disconnecting JFK Dr from Professional Blvd.; however, a connection will be maintained via a private access road through the apartment section.

In 2015 the Zoning Ordinance was amended to address changes to approved PUDs. Article 16 "PUD" Planned Unit Development, section 16.5(a) states that, "Minor changes to the approved PUD Development Plan may be approved by the Planning Commission without the need for a public hearing. As a result of the requested change the Planning Commission may establish other requirements deemed necessary to satisfy this article. Cumulative "minor" change requests may result in the determination by the Planning Commission that there has been a major change to the Concept plan on file and require the developer to follow the process established for major changes in a PUD development Plan. The Planning Commission shall make the determination that a change is major or minor through evaluation of whether or not the change is in accordance with the latest concept plan on file as reviewed by the Board of County Commissioners".

Action requested of the Planning Commission at this time would be to determine if this revision would be considered major or minor and if a public hearing should be required. The applicant maintains that this should be considered a minor change due to the fact that the many of the changes being requested were approved on the original plan in 1999. Additional supporting information is provided in the applicant's letter which is attached as well as copies of the current approved development plan and the proposed plan.



ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

March 13, 2017

Washington County Dept of Plan Review & Permitting
80 West Baltimore Street
Hagerstown, Maryland 21740

Attention: Tim Lung, Director

Re: Rosewood Revised Final Development Plan

Dear Tim,

RECEIVED

MAR 15 2017

**WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT**

Attached please find nine (9) copies of the revised PUD Final Development Plan and nine (9) copies of the previously approved DP-16-001. The plan has been revised per the following:

1. The Phase III 40,000 square foot office building shown on Lot 160 will be revised back to the originally approved 52 townhome lots. This is the same revision that was recently approved for Huntington Court.
2. Lot 18: The currently approved 17,750 square foot retail and office space building will be revised back to a Multi-Family building as originally approved. This building will be four (4) stories and contain 32 units. This building maintains the previously approved building footprint to the maximum extent possible.
3. Lot 17: The currently approved 40,500 square foot retail and office space building and retail pad will be revised to Multi-Family while maintaining one retail pad site. The multi-family buildings will be four (4) stories and contain 72 units. These two buildings maintain the previously approved building footprint to the maximum extent possible. A community center is also proposed on Lot 17 for the use of the residents. This facility will be available for rent to the public.
4. John F Kennedy Phase III: The current 44 townhome lots on the north and south sides of John F Kennedy Drive will be revised to a different type of Multi-Family, i.e. apartment. These future townhomes were already intended to be rental units. John F Kennedy Drive will end in a cul-de-sac near its current terminus point. This will eliminate future "cut-through" traffic when JFK Drive would be extended to Professional Blvd. Commuters would see JFK Drive as an opportunity to by-pass the existing light at Professional Blvd and Robinwood Drive. The proposed multi-family buildings will contain 84 units. These building will be three (3) stories as intended with the previously approved townhome units.

The above-mentioned plan revisions have resulted in the following changes as compared to the DP-16-001 approved plan:

1. The commercial area has dropped from 14.85 acres (19.0%) to 4.24 acres (5.4%).
2. The residential unit count has changed from 444 (5.7/acre) to 632 (8.1/acre).
3. The number of RV parking spaces increased from 16 to 23.
4. Two additional tot lots have been added (#10 and #11) to account for the increase in units. See note 27 which explains the required tot lot area calculation.

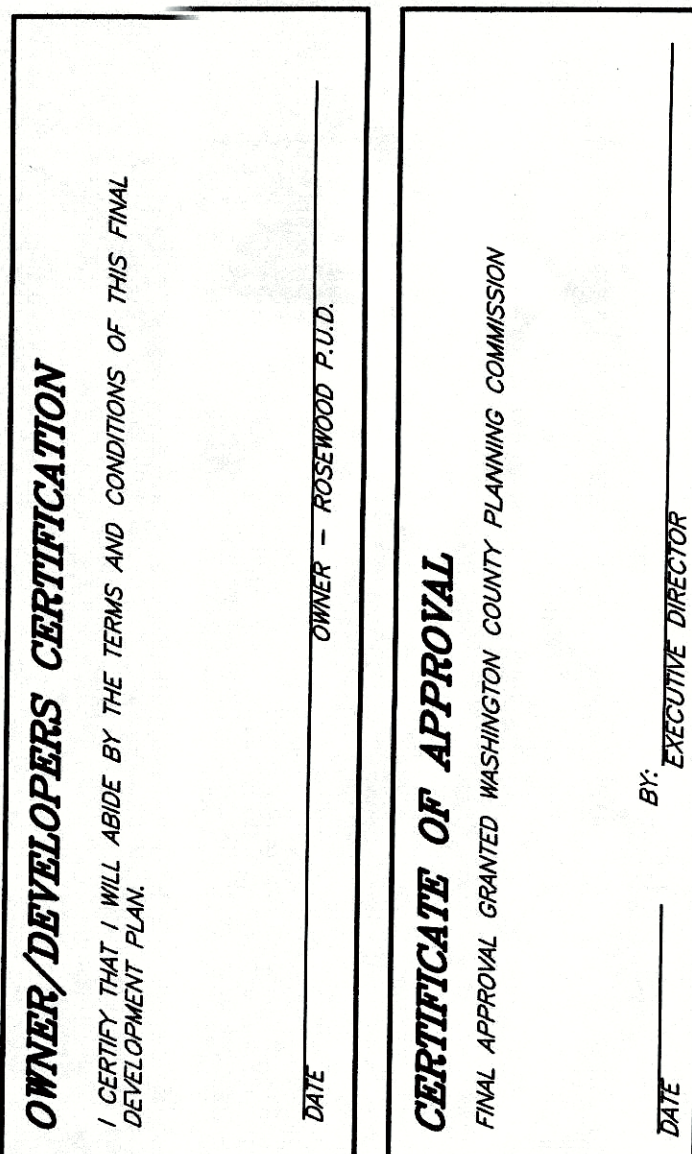
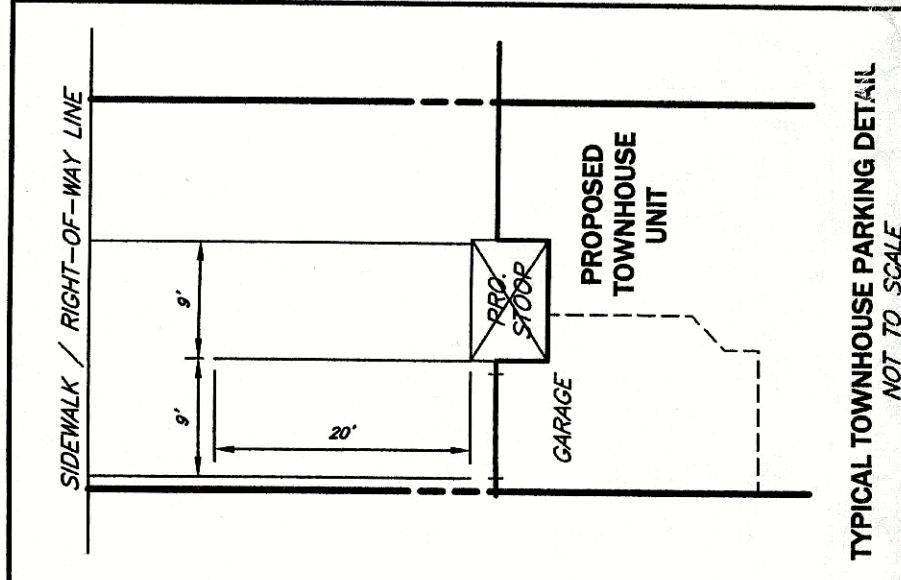
As suggested, the owner is planning a meeting with the Rosewood property owners to discuss these planned revisions.

This should accurately summarize our proposed PUD revisions. Please feel free to call me with any questions or concerns.

Sincerely,
FOX & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'G. Poffenberger', with a long horizontal flourish extending to the right.

Gordon Poffenberger, P.E.
Director of Engineering

[illegible][illegible]

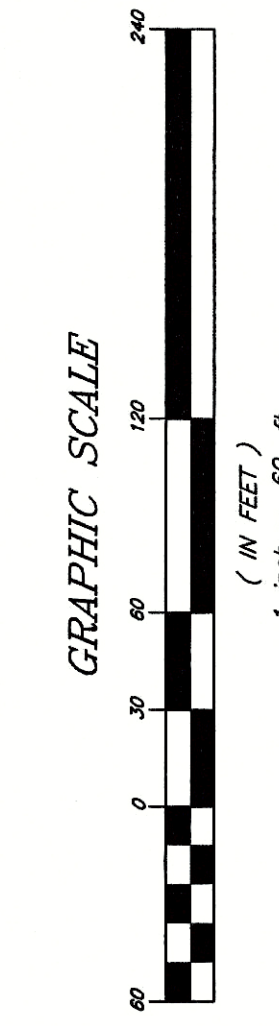
FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
981 MOUNT AETNA ROAD
HAGERSTOWN, MARYLAND 21740
PHONE: (301) 733-8503 FAX: (301) 733-1853
E-MAIL: info@foxandassociates.com
WEBSITE: www.foxandassociates.com
DRAWING NO.: E-2 (TYPE A)
SHEET # OF 1

THIS FINAL DEVELOPMENT PLAN REFLECTS REVISIONS 1-11, AS PREVIOUSLY PREPARED BY THE PLANNING COMMISSION, AND APPROVED BY THE BOARD OF PUBLIC WORKS AND PLANNING ASSOCIATES, INC. APPROVED BY THE WASH. CO. PLANNING COMMISSION.

THIS FIP REVISION #16 IS BEING PREPARED FOR THE FOLLOWING REASONS:

1. PHASE 1, LOTS 109 & 110, FROM COMMERCIAL TO APARTMENT BUILDINGS, MAINTAINED PREVIOUSLY APPROVED COMMERCIAL P&Z SITE WITH DRIVE-THROUGH (LOT 17C)
2. CHANGE PHASE II, JOHN F. KENNEDY DRIVE LOT 21 FROM TOWNHOUSES TO APARTMENT BUILDINGS
3. REVISE FUTURE PHASE III, (JOHN F. KENNEDY DRIVE, EXTENDED) FROM COMMERCIAL, OFFICE TO TOWNHOUSES

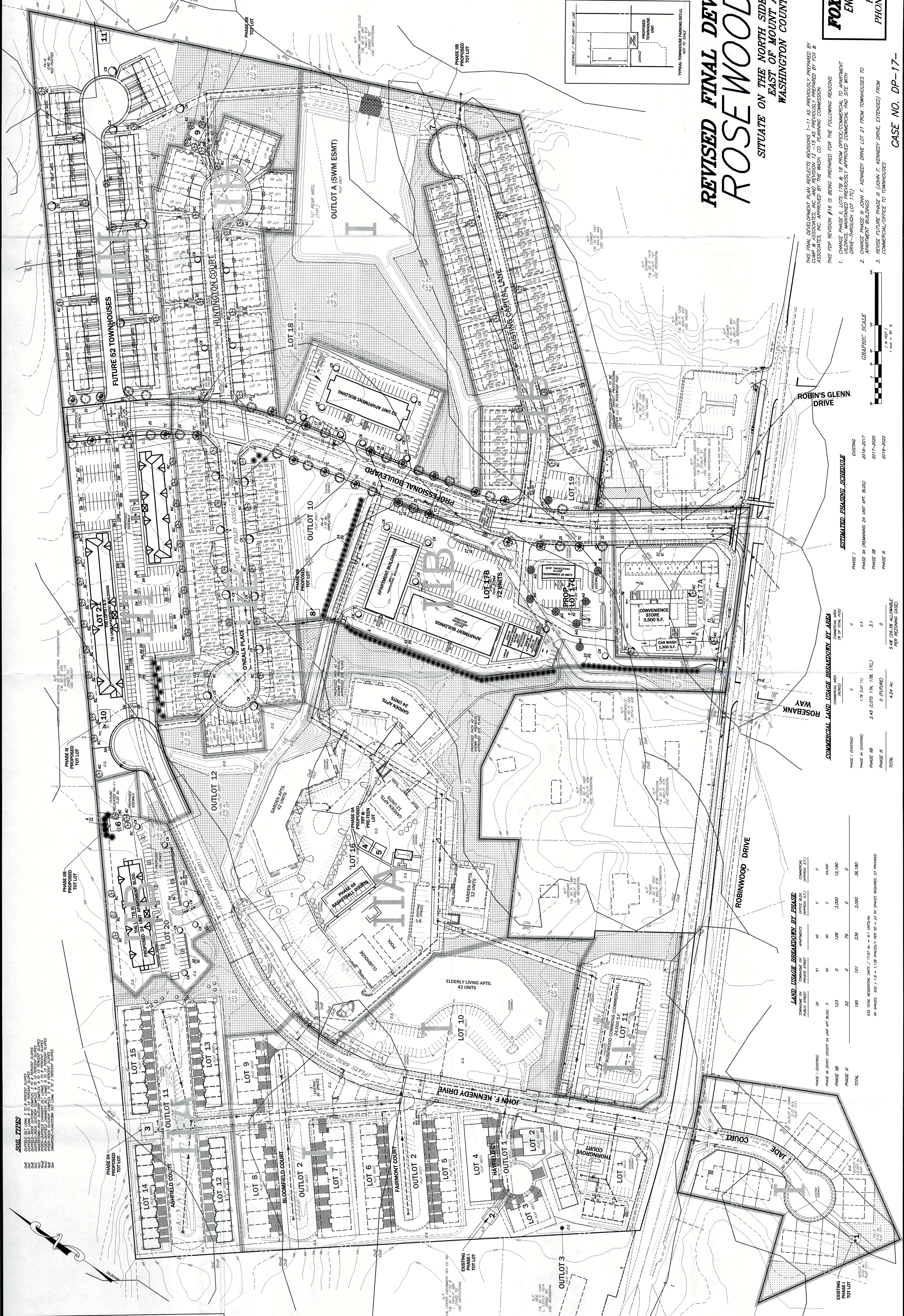
CASE NO. DP-17-



COMMERCIAL LAND USAGE BREAKDOWN BY AREA		CONVERTIBLE AREA (FUTURE USES)	CONVERTIBLE AREA (FUTURE USES)
PHASE I (EXISTING)	0		
PHASE II (EXISTING)	1.76 (11 %)		
PHASE III (EXISTING)	2.3		
PHASE IV (REMAINING 24 UNIT APT. BLDG)	3.1		
PHASE IIB			
PHASE III	0		
PHASE III			
PHASE III			
TOTAL	5.46 (33.3% ALLOWABLE PER ZONING CASE)	4.24 AC.	

LAND USAGE BREAKDOWN BY PHASE				OFFICE BLDG. SPACES 10/2	COMMERCIAL SPACES 10/2
FORMING ON PARKING STRIP	EXCAVATING ON PARKING STRIP	EXCAVATING ON PARKING STRIP	EXCAVATING ON PARKING STRIP	EXCAVATING ON PARKING STRIP	EXCAVATING ON PARKING STRIP
PHASE I (EXISTING)	20	61	42	0	0
PHASE II (EXIST. EXCEPT 24 UNIT APFT BLDG.)	0	40	90	0	24,000
PHASE IIB	123	0	158	3,000	12,160
PHASE III	52	0	78	0	0
TOTAL	195	101	336	3,000	36,160

432 TOTAL RESIDENTIAL UNITS / 77.57 AC. = 6.1 UNITS/AC.
 432 SPACES / 4.62 = 93.72 SPACES/AC. = 23.4 SPACES/AC. = 23.4 SPACES REQUIRED, 23 PROVIDED



TOTAL REQ'D. OPEN SPACE CALCULATION
25% OF 77.87 AC. = 19.47 AC.

OPEN SPACE REQ'D. BEYOND FOREST AREAS
19.47 AC. = 11.69 AC. = 7.79 AC.
(DENOTED ON PLAN AS O.S.)

OPEN SPACE PROVIDED
19.47 / 77.87 AC. = 25%

AFFORESTATION REQUIREMENT		AFFORESTATION PROVIDED		TOTAL	
71.67 AC. ± 0.15	± 11.68 AC.				71.68 AC.
PA-2	PA-2	PA-2	PA-2	PA-2	
PA-3	PA-3	PA-3	PA-3	PA-3	
PA-4	PA-4	PA-4	PA-4	PA-4	
PA-5	PA-5	PA-5	PA-5	PA-5	
PA-6	PA-6	PA-6	PA-6	PA-6	
PA-7	PA-7	PA-7	PA-7	PA-7	
PA-8	PA-8	PA-8	PA-8	PA-8	
PA-9	PA-9	PA-9	PA-9	PA-9	
PA-10	PA-10	PA-10	PA-10	PA-10	
PA-11	PA-11	PA-11	PA-11	PA-11	
PA-12	PA-12	PA-12	PA-12	PA-12	
PA-13	PA-13	PA-13	PA-13	PA-13	
PA-14	PA-14	PA-14	PA-14	PA-14	
PA-15	PA-15	PA-15	PA-15	PA-15	
PA-16	PA-16	PA-16	PA-16	PA-16	
PA-17	PA-17	PA-17	PA-17	PA-17	
PA-18	PA-18	PA-18	PA-18	PA-18	
PA-19	PA-19	PA-19	PA-19	PA-19	
PA-20	PA-20	PA-20	PA-20	PA-20	
PA-21	PA-21	PA-21	PA-21	PA-21	
PA-22	PA-22	PA-22	PA-22	PA-22	
PA-23	PA-23	PA-23	PA-23	PA-23	
PA-24	PA-24	PA-24	PA-24	PA-24	
PA-25	PA-25	PA-25	PA-25	PA-25	
PA-26	PA-26	PA-26	PA-26	PA-26	
PA-27	PA-27	PA-27	PA-27	PA-27	
PA-28	PA-28	PA-28	PA-28	PA-28	
PA-29	PA-29	PA-29	PA-29	PA-29	
PA-30	PA-30	PA-30	PA-30	PA-30	
PA-31	PA-31	PA-31	PA-31	PA-31	
PA-32	PA-32	PA-32	PA-32	PA-32	
PA-33	PA-33	PA-33	PA-33	PA-33	
PA-34	PA-34	PA-34	PA-34	PA-34	
PA-35	PA-35	PA-35	PA-35	PA-35	
PA-36	PA-36	PA-36	PA-36	PA-36	
PA-37	PA-37	PA-37	PA-37	PA-37	
PA-38	PA-38	PA-38	PA-38	PA-38	
PA-39	PA-39	PA-39	PA-39	PA-39	
PA-40	PA-40	PA-40	PA-40	PA-40	
PA-41	PA-41	PA-41	PA-41	PA-41	
PA-42	PA-42	PA-42	PA-42	PA-42	
PA-43	PA-43	PA-43	PA-43	PA-43	
PA-44	PA-44	PA-44	PA-44	PA-44	
PA-45	PA-45	PA-45	PA-45	PA-45	
PA-46	PA-46	PA-46	PA-46	PA-46	
PA-47	PA-47	PA-47	PA-47	PA-47	
PA-48	PA-48	PA-48	PA-48	PA-48	
PA-49	PA-49	PA-49	PA-49	PA-49	
PA-50	PA-50	PA-50	PA-50	PA-50	
PA-51	PA-51	PA-51	PA-51	PA-51	
PA-52	PA-52	PA-52	PA-52	PA-52	
PA-53	PA-53	PA-53	PA-53	PA-53	
PA-54	PA-54	PA-54	PA-54	PA-54	
PA-55	PA-55	PA-55	PA-55	PA-55	
PA-56	PA-56	PA-56	PA-56	PA-56	
PA-57	PA-57	PA-57	PA-57	PA-57	
PA-58	PA-58	PA-58	PA-58	PA-58	
PA-59	PA-59	PA-59	PA-59	PA-59	
PA-60	PA-60	PA-60	PA-60	PA-60	
PA-61	PA-61	PA-61	PA-61	PA-61	
PA-62	PA-62	PA-62	PA-62	PA-62	
PA-63	PA-63	PA-63	PA-63	PA-63	
PA-64	PA-64	PA-64	PA-64	PA-64	
PA-65	PA-65	PA-65	PA-65	PA-65	
PA-66	PA-66	PA-66	PA-66	PA-66	
PA-67	PA-67	PA-67	PA-67	PA-67	
PA-68	PA-68	PA-68	PA-68	PA-68	
PA-69	PA-69	PA-69	PA-69	PA-69	
PA-70	PA-70	PA-70	PA-70	PA-70	
PA-71	PA-71	PA-71	PA-71	PA-71	
PA-72	PA-72	PA-72	PA-72	PA-72	
PA-73	PA-73	PA-73	PA-73	PA-73	
PA-74	PA-74	PA-74	PA-74	PA-74	
PA-75	PA-75	PA-75	PA-75	PA-75	
PA-76	PA-76	PA-76	PA-76	PA-76	
PA-77	PA-77	PA-77	PA-77	PA-77	
PA-78	PA-78	PA-78	PA-78	PA-78	
PA-79	PA-79	PA-79	PA-79	PA-79	
PA-80	PA-80	PA-80	PA-80	PA-80	
PA-81	PA-81	PA-81	PA-81	PA-81	
PA-82	PA-82	PA-82	PA-82	PA-82	
PA-83	PA-83	PA-83	PA-83	PA-83	
PA-84	PA-84	PA-84	PA-84	PA-84	
PA-85	PA-85	PA-85	PA-85	PA-85	
PA-86	PA-86	PA-86	PA-86	PA-86	
PA-87	PA-87	PA-87	PA-87	PA-87	
PA-88	PA-88	PA-88	PA-88	PA-88	
PA-89	PA-89	PA-89	PA-89	PA-89	
PA-90	PA-90	PA-90	PA-90	PA-90	
PA-91	PA-91	PA-91	PA-91	PA-91	
PA-92	PA-92	PA-92	PA-92	PA-92	
PA-93	PA-93	PA-93	PA-93	PA-93	
PA-94	PA-94	PA-94	PA-94	PA-94	
PA-95	PA-95	PA-95	PA-95	PA-95	
PA-96	PA-96	PA-96	PA-96	PA-96	
PA-97	PA-97	PA-97	PA-97	PA-97	
PA-98	PA-98	PA-98	PA-98	PA-98	
PA-99	PA-99	PA-99	PA-99	PA-99	
PA-100	PA-100	PA-100	PA-100	PA-100	
PA-101	PA-101	PA-101	PA-101	PA-101	
PA-102	PA-102	PA-102	PA-102	PA-102	
PA-103	PA-103	PA-103	PA-103	PA-103	
PA-104	PA-104	PA-104	PA-104	PA-104	
PA-105	PA-105	PA-105	PA-105	PA-105	
PA-106	PA-106	PA-106	PA-106	PA-106	
PA-107	PA-107	PA-107	PA-107	PA-107	
PA-108	PA-108	PA-108	PA-108	PA-108	
PA-109	PA-109	PA-109	PA-109	PA-109	
PA-110	PA-110	PA-110	PA-110	PA-110	
PA-111	PA-111	PA-111	PA-111	PA-111	
PA-112	PA-112	PA-112	PA-112	PA-112	
PA-113	PA-113	PA-113	PA-113	PA-113	
PA-114	PA-114	PA-114	PA-114	PA-114	
PA-115	PA-115	PA-115	PA-115	PA-115	
PA-116	PA-116	PA-116	PA-116	PA-116	
PA-117	PA-117	PA-117	PA-117	PA-117	
PA-118	PA-118	PA-118	PA-118	PA-118	
PA-119	PA-119	PA-119	PA-119	PA-119	
PA-120	PA-120	PA-120	PA-120	PA-120	
PA-121	PA-121	PA-121	PA-121	PA-121	
PA-122	PA-122	PA-122	PA-122	PA-122	
PA-123	PA-123	PA-123	PA-123	PA-123	
PA-124	PA-124	PA-124	PA-124	PA-124	
PA-125	PA-125	PA-125	PA-125	PA-125	
PA-126	PA-126	PA-126	PA-126	PA-126	
PA-127	PA-127	PA-127	PA-127	PA-127	
PA-128	PA-128	PA-128	PA-128	PA-128	
PA-129	PA-129	PA-129	PA-129	PA-129	
PA-130	PA-130	PA-130	PA-130	PA-130	
PA-131	PA-131	PA-131	PA-131	PA-131	
PA-132	PA-132	PA-132	PA-132	PA-132	
PA-133	PA-133	PA-133	PA-133	PA-133	
PA-134	PA-134	PA-134	PA-134	PA-134	
PA-135	PA-135	PA-135	PA-135	PA-135	
PA-136	PA-136	PA-136	PA-136	PA-136	
PA-137	PA-137	PA-137	PA-137	PA-137	
PA-138	PA-138	PA-138	PA-138	PA-138	
PA-139	PA-139	PA-139	PA-139	PA-139	
PA-140	PA-140	PA-140	PA-140	PA-140	
PA-141	PA-141	PA-141	PA-141	PA-141	
PA-142	PA-142	PA-142	PA-142	PA-142	
PA-143	PA-143	PA-143	PA-143	PA-143	
PA-144	PA-144	PA-144	PA-144	PA-144	
PA-145	PA-145	PA-145	PA-145	PA-145	
PA-146	PA-146	PA-146	PA-146	PA-146	
PA-147	PA-147	PA-147	PA-147	PA-147	
PA-148	PA-148	PA-148	PA-148	PA-148	
PA-149	PA-149	PA-149	PA-149	PA-149	
PA-150	PA-150	PA-150	PA-150	PA-150	
PA-151	PA-151	PA-151	PA-151	PA-151	
PA-152	PA-152	PA-152	PA-152	PA-152	
PA-153	PA-153	PA-153	PA-153	PA-153	
PA-154	PA-154	PA-154	PA-154	PA-154	
PA-155	PA-155	PA-155	PA-155	PA-155	
PA-156	PA-156	PA-156	PA-156	PA-156	
PA-157	PA-157	PA-157	PA-157	PA-157	
PA-158	PA-158	PA-158	PA-158	PA-158	
PA-159	PA-159	PA-159	PA-159	PA-159	
PA-160	PA-160	PA-160	PA-160	PA-160	
PA-161	PA-161	PA-161	PA-161	PA-161	
PA-162	PA-162	PA-162	PA-162	PA-162	
PA-163	PA-163	PA-163	PA-163	PA-163	
PA-164	PA-164	PA-164	PA-164	PA-164	
PA-165	PA-165	PA-165	PA-165	PA-165	
PA-166	PA-166	PA-166	PA-166	PA-166	
PA-167	PA-167	PA-167	PA-167	PA-167	
PA-168	PA-168	PA-168	PA-168	PA-168	
PA-169	PA-169	PA-169	PA-169	PA-169	
PA-170	PA-170	PA-170	PA-170	PA-170	
PA-171	PA-171	PA-171	PA-171	PA-171	
PA-172	PA-172	PA-172	PA-172	PA-172	
PA-173	PA-173	PA-173	PA-173	PA-173	
PA-174	PA-174	PA-174	PA-174	PA-174	
PA-175	PA-175	PA-175	PA-175	PA-175	
PA-176	PA-176	PA-176	PA-176	PA-176	
PA-177	PA-177	PA-177	PA-177	PA-177	
PA-178	PA-178	PA-178	PA-178	PA-178	
PA-179	PA-179	PA-179	PA-179	PA-179	
PA-180	PA-180	PA-180	PA-180	PA-180	
PA-181	PA-181	PA-181	PA-181	PA-181	
PA-182	PA-182	PA-182	PA-182	PA-182	
PA-183	PA-183	PA-183	PA-183	PA-183	
PA-184	PA-184	PA-184	PA-184	PA-184	
PA-185	PA-185	PA-185	PA-185	PA-185	
PA-186	PA-186	PA-186	PA-186	PA-186	
PA-187	PA-187	PA-187	PA-187	PA-187	
PA-188	PA-188	PA-188	PA-188	PA-188	
PA-189	PA-189	PA-189	PA-189	PA-189	
PA-190	PA-190	PA-190	PA-190	PA-190	
PA-191	PA-191	PA-191	PA-191	PA-191	
PA-192	PA-192	PA-192	PA-192	PA-192	
PA-193	PA-193	PA-193	PA-193	PA-193	
PA-194	PA-194	PA-194	PA-194	PA-194	
PA-195	PA-195	PA-195	PA-195	PA-195	
PA-196	PA-196	PA-196	PA-196	PA-196	
PA-197	PA-197	PA-197	PA-197	PA-197	
PA-198	PA-198	PA-198	PA-198	PA-198	
PA-199	PA-199	PA-199	PA-199	PA-199	
PA-200	PA-200	PA-200	PA-200	PA-200	
PA-201	PA-201	PA-201	PA-201	PA-201	
PA-202	PA-202	PA-202	PA-202	PA-202	
PA-203	PA-203	PA-203	PA-203	PA-203	
PA-204	PA-204	PA-204	PA-204	PA-204	
PA-205	PA-205	PA-205	PA-205	PA-205	
PA-206	PA-206	PA-206	PA-206	PA-206	
PA-207	PA-207	PA-207	PA-207	PA-207	
PA-208	PA-208	PA-208	PA-208	PA-208	
PA-209	PA-209	PA-209	PA-209	PA-209	
PA-210	PA-210	PA-210	PA-210	PA-210	
PA-211	PA-211	PA-211	PA-211	PA-211	
PA-212	PA-212	PA-212	PA-212	PA-212	
PA-213	PA-213	PA-213	PA-213	PA-213	
PA-214	PA-214	PA-214	PA-214	PA-214	
PA-215	PA-215	PA-215	PA-215	PA-215	
PA-216	PA-216	PA-216	PA-216	PA-216	
PA-217	PA-217	PA-217	PA-217	PA-217	
PA-218	PA-218	PA-218	PA-218	PA-218	
PA-219	PA-219	PA-219	PA-219	PA-219	
PA-220	PA-220	PA-220	PA-220	PA-220	
PA-221	PA-221	PA-221	PA-221	PA-221	
PA-222	PA-222	PA-222	PA-222		

[illegible][illegible]

