



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION

December 7, 2020, 7:00 PM
VIRTUAL MEETING ONLY

CALL TO ORDER AND ROLL CALL

MINUTES

1. November 2, 2020 Planning Commission regular meeting minutes *

NEW BUSINESS

SITE PLANS

1. **Taylor Farms I LLC [SP-20-012]** Proposed site plan for property located at 16220 Wright Road; Zoning: IG (Industrial General) and RT (Residential Transition); Planner: Lisa Kelly *

FOREST CONSERVATION

1. **Taylor Farms I LLC [SP-20-012]** Request to establish off-site forest easement and request a variance to remove specimen trees for property at 16220 Wright Road; Planner: Travis Allen *

OTHER BUSINESS

1. **16609 Shepherdstown Pike** - Request for a change of use for property located at 16609 Shepherdstown Pike; Zoning: RB – Rural Business; Planner: Ashley Holloway *
2. **Update of Staff Approvals** – Ashley Holloway

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, January 4, 2021 – Washington County Planning Commission regular meeting

**a t t a c h m e n t s*

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Taylor Farm I LLC
NUMBER.....: SP-20-012

OWNER.....: TAYLOR FARM I LLC
LOCATION.....: North side of Wright Road
DESCRIPTION.....: Proposed warehouse and office

ZONING.....: IG; RT Refer to Map
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 02022745
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 02

TYPE.....: Industrial
GROSS ACRES.....: 53.52
DWELLING UNITS.....:
TOTAL LOTS.....: 53.52
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: April 13, 2020

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: None
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

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SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
37		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
		Screened dumpster
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
492		
Parking Spaces - Minimum Required	Recreational Parking Provided	
656	No	

ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Williamsport	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	WILLIAMSPORT
AMBULANCE DISTRICT.....:	WILLIAMSPORT

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	3-Programmed Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

Site Plan for Taylor Farm LLC

Presented for approval is a site plan for Taylor Farm LLC.

The subject site is located along the northside of Wright Road, between Elliott Parkway and Hopewell Road. Zoning is Industrial General.

The developer is proposing to construct a warehouse and office on a 53 acre parcel. The building is to be approximately 825,000 square feet in size and 46 feet in height.

Access to the site will be from Wright Road, which is to be relocated further north of its now current location. A new connection with Hopewell Road will be located north of the current intersection of Wright and Hopewell. This relocation will create an existing single family lot with an existing house and another lot without development.

The subject site will be serviced by public water and sewer.

Hours of operation will be 24 hours per day 7 days a week.

Freight and delivery will be 7 to 10 trucks per day.

Projected employees will be 42 persons in the office; 165 persons in the warehouse.

Solid waste will be a roll off trash compactor in bay.

Lighting will be pole mounted in the parking lot and on the building.

Parking provided will be 492 spaces. 656 spaces are required. The developer was granted a variance by the Board of Appeals in July 2020 allowing for the reduction of parking spaces to 492 from the required 656 spaces. AP2020-016 enclosed in agenda.

Signage is to be determined and will meet the requirements of the Zoning Ordinance.

The developer is proposing to meet Forest Conservation requirements by retaining existing forest offsite – a 1.69 easement along Wright Road and a 34.58 easement near Honeyfield Road west of Greencastle Pike.

All agencies have approved except Health – need allocation letters; Forest Conservation can sign off once PC accepts offsite forest easements as presented by Travis Allen.

**BEFORE THE BOARD OF APPEALS
FOR WASHINGTON COUNTY, MARYLAND**

TAYLOR FARM I, LLC

Appellant

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Appeal No.: AP2020-016

* * * * *

OPINION

Taylor Farm I, LLC (hereinafter "Appellant") requests a variance to reduce the required minimum parking spaces from 656 to 492 parking spaces at the subject property. The subject property is located at north side of Wright Road and west of Hopewell Road, Hagerstown, Maryland 21740, more particularly identified at Parcel 57, on Tax Map 48, Grid 21; is owned by the Appellant; and is zoned Industrial General, IG. The Board held a public hearing on the matter on June 10, 2020.¹

Findings of Fact

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. Appellant owns the subject property located at north side of Wright Road and west of Hopewell Road, Hagerstown, Maryland 21740, more particularly identified at Parcel 57, on Tax Map 48, Grid 21. The subject property is zoned Industrial General,

¹ Due to the COVID-19 pandemic, in-person access and contact for public hearings has been limited, especially in County buildings. The members of the Board of Appeals, counsel, staff, and the Appellant were the only persons physically in attendance for the hearing. All other witnesses and the public at large were permitted to participate by telephone/video. All notices for the hearing provided the information necessary to call in and/or participate remotely and those who wished to participate were encouraged to make written submissions as well.

IG.

2. The subject property was previously zoned residential and was rezoned to Industrial General.

3. The County plans to re-align Wright Road which will require dedication of approximately one-third of the subject property.

4. Appellant proposes to develop the subject property for a warehouse/distribution operation which is a principally permitted use in the zoning district.

5. Based on the square footage of the proposed building, the Zoning Ordinance requires 656 parking spaces.

6. The potential end user for the subject property plans to have no more than 207 total employees on any given shift working in the facility. The warehouse/distribution industry has become increasingly more computerized and technologically advanced, resulting in the need for fewer employees.

7. There was no opposition presented to this appeal.

Rationale

The Board has authority to grant a variance upon a showing of practical difficulty or undue hardship. §§ 25.2(c) and 25.56. ² "Practical Difficulty" may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variance would do substantial injustice to the applicant and a lesser

² "When the terms unnecessary hardship (or one of its synonyms) and practical difficulties are framed in the disjunctive ("or"), Maryland courts generally have applied the more restrictive hardship standard to use variances, while applying the less restrictive practical difficulties standard to area variances because use variances are viewed as more drastic departures from zoning requirements." *Belvoir Farms Homeowners Ass'n, Inc. v. North*, 355 Md. 259, 276 n.10 (1999) (citations omitted).

relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A).

Practical difficulty and undue hardship are the result of a property being unique. “‘Uniqueness’ of a property for zoning purposes requires that the subject property have an inherent characteristic not shared by other properties in the area, i.e., its shape, topography, subsurface condition, environmental factors, historical significance, access or non-access to navigable waters, practical restrictions imposed by abutting properties (such as obstructions) or other similar restrictions.” *North v. St. Mary’s Cnty.*, 99 Md. App. 502, 514 (1994).)

In the instant case, there are two factors making the property unique. First, the County will be taking a large portion of the developable area to create the planned re-alignment of Wright Road. The result is that the subject property loses approximately one-third of its area for development. Second, the dedication of lands for Wright Road results in an irregularly shaped property. These factors combine to create a practical difficulty when applied to the strict requirements of the Zoning Ordinance.

The record is clear that the proposed use will need far less than the required parking spaces and while they can re-design the site to include additional parking, it is unnecessary. Moreover, additional parking will eliminate green space and increase impervious surface areas, having a detrimental effect on the surrounding environment. Even if the potential end user were to have all three (3) shifts of employees present at the facility simultaneously, the minimum required parking spaces would exceed the number actually needed. This is proof positive that the requirement is arbitrary and in need of relaxation to provide for the orderly development of the subject property. Strict compliance would result in an environmentally offensive site, a possible reduction in

building footprint and detrimentally effect the marketability of the property. The variance relief requested is necessary to avoid these negative effects and upholds the spirit and intent of the Ordinance.

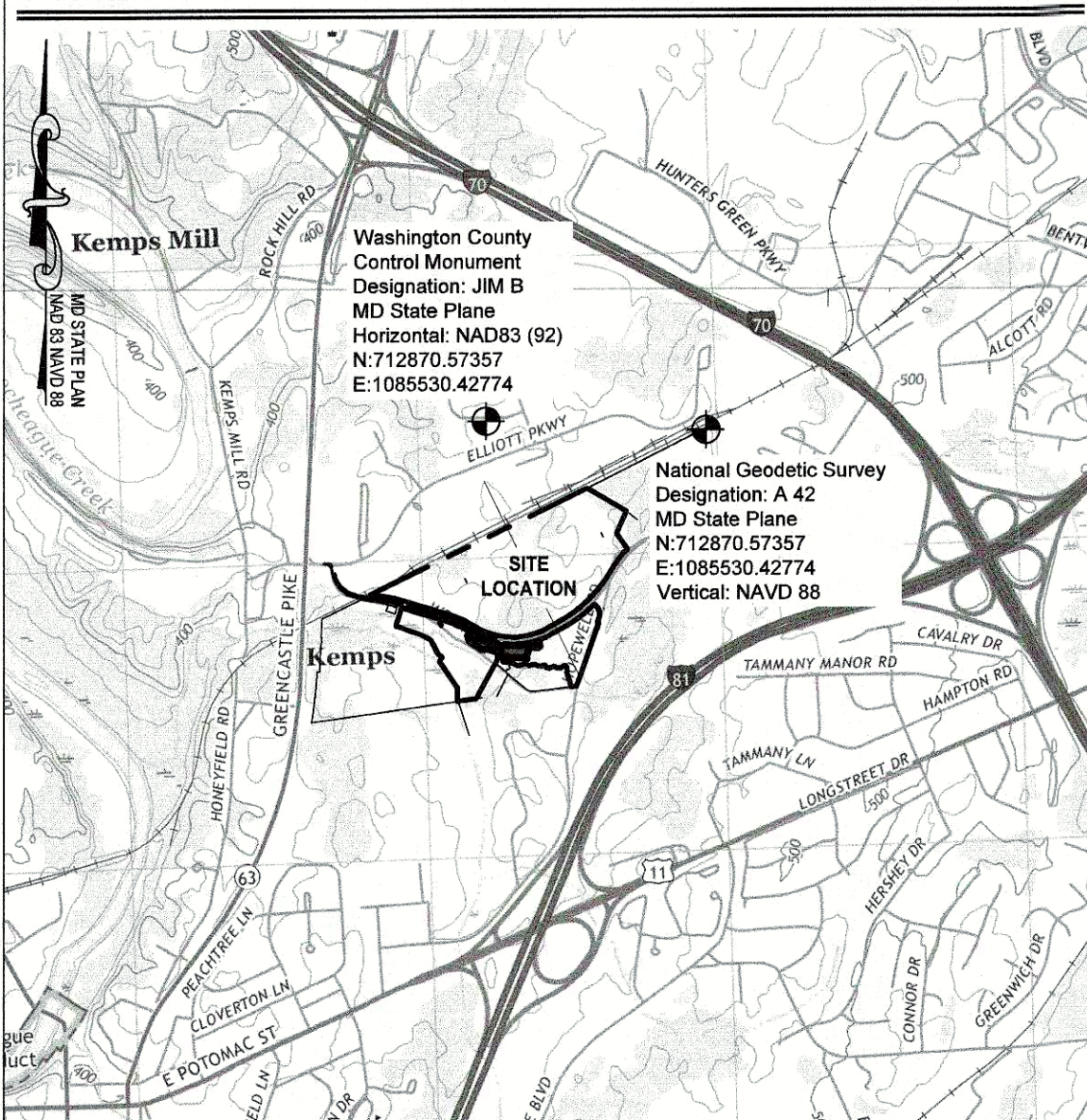
Accordingly, the request for a variance to reduce the required minimum parking spaces from 656 to 492 parking spaces at the subject property is hereby GRANTED, by a vote of 5-0. The application is granted upon the condition that the proposed use be consistent with the testimony and evidence presented herein.

BOARD OF APPEALS

By: Paul Fulk, Chair

Date Issued: July 9, 2020

VICINITY MAP

ADC MAP 20, A10 & B10
SCALE: 1" = 2000' USGS MAPS (MASON AND DIXON 2019 & WILLIAMSPORT 2017)

SITE PLAN FOR TAYLOR FARM I, LLC

SITUATED ALONG THE NORTH SIDE OF WRIGHT ROAD
AND WEST SIDE OF HOPEWELL ROAD
WASHINGTON COUNTY, MARYLAND

OWNER/DEVELOPER:

TAYLOR FARM I, LLC
72 WEST WASHINGTON STREET
HAGERSTOWN, MD 21740

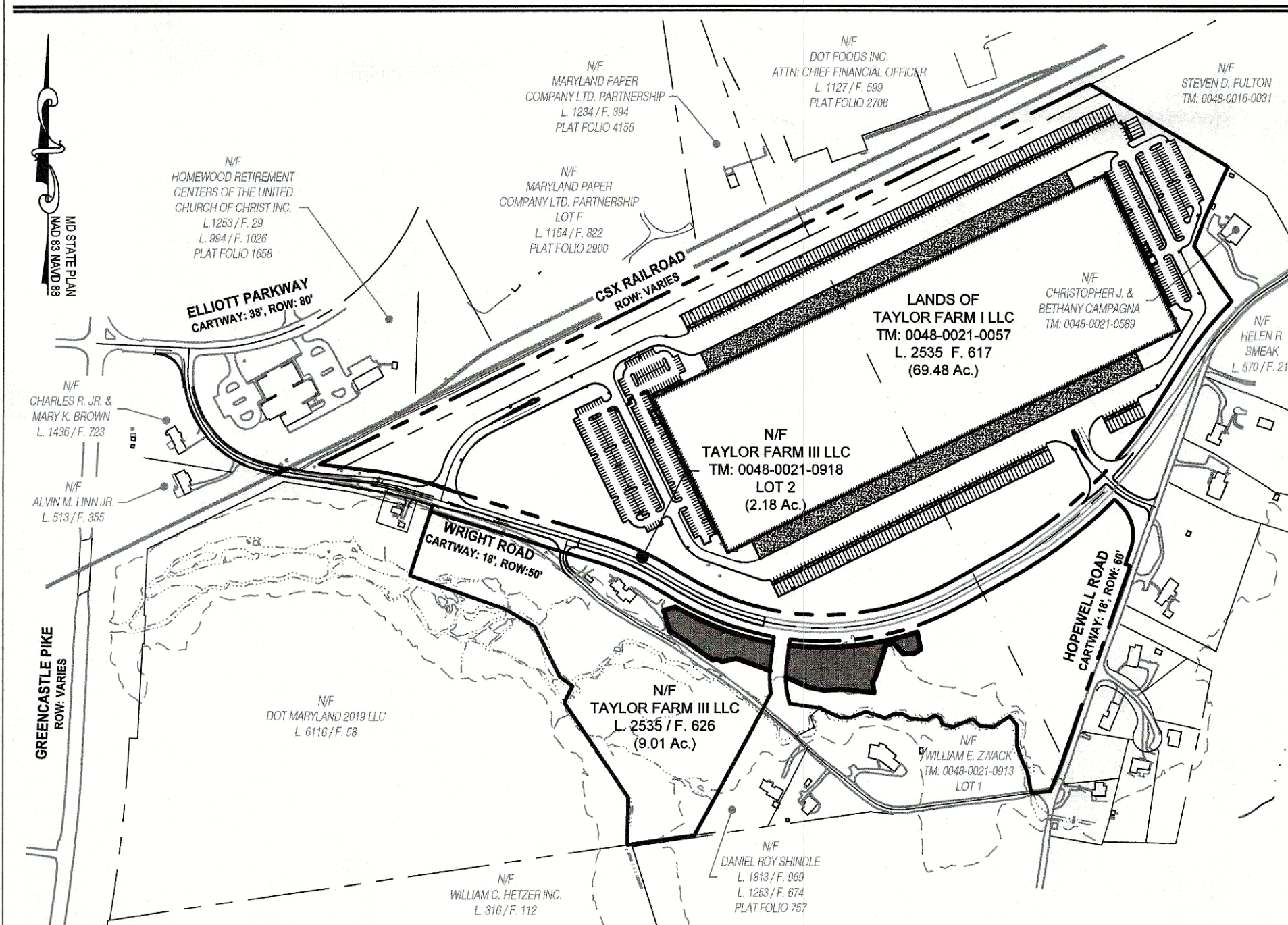
ATTN: SASAAN SHAOOL

EMAIL: SSHAOOL@WASCODEVELOPMENTS.COM

PHONE: 301.573.5375

LOCATION PLAN

SCALE: 1" = 400'

TAX MAP - GRID - PARCEL: 0048-0021-0057
PROPERTY ACCOUNT #022745

SWM NARRATIVE

TITLE

This storm water management plan is for the construction of a 825,000 SF warehouse, parking lot, and (2) commercial entrances on a previously undeveloped site. The project will also include the re-alignment of Wright Road from the railroad tracks on the west and extending easterly for about 1500 linear feet. The project is situated along the west side of Hopewell Road and north of Wright Road in Hagerstown, Maryland. The property is currently owned by Taylor Farm I, LLC and is approximately 69.48 acres. The property is identified in the land records of Washington County on tax map 48, grid 21, and parcel 57

Non-structural environmental site design practices were considered and eliminated early on in the site design due to the site being considered a 'Big Box Development' with large contiguous impervious spaces. The existing flow patterns have been maintained during site layout and grading.

Non-structural and structural BMPs including (7) bioretentions and (4) bioswales will provide the water quality for the development while (2) surface sand filters will provide the remaining ESDv.

ESD PRACTICES SUMMARY TABLE

CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW						
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)						
TYPE	NO.	DA TO STRUCTURE (AC.)	IMPERVIOUS DA TO STRUCTURE (DA)	WQv (AC-FT)	ESDv (AC-FT)	Pe ADDRESSED (IN)
BIORETENTION	1-1	0.90	0.05	0.02	0.11	2.8
BIORETENTION	1-2	1.45	0.07	0.02	0.17	3.4
MICRO BIORETENTION	1-3	0.25	0.16	0.01	0.03	4.0
BIORETENTION	1-4	0.73	0.57	0.02	0.08	2.8
BIORETENTION	2-1	1.19	0.81	0.02	0.14	2.3
BIORETENTION	2-2	5.22	4.27	0.16	0.75	2.7
BIORETENTION	2-3	1.60	1.12	0.03	0.24	2.3
BIOSWALE	1	0.29	0.15	0.01	0.02	2.7
BIOSWALE	2	1.03	0.44	0.01	0.05	2.8
BIOSWALE	3	0.49	0.21	0.01	0.01	2.7
BIOSWALE	4	0.29	0.16	0.01	0.02	4.8
NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)						
SURFACE SAND FILTER	1-1	22.25	18.80	0.79	3.18	2.4
SURFACE SAND FILTER	2-1	26.83	18.30	0.42	2.57	2.8

SENSITIVE AREA NOTICE

TITLE

The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 04	EROSION & SEDIMENT CONTROL PLAN - INITIAL
C-103	SHEET 05	EROSION & SEDIMENT CONTROL PLAN - INTERIM & FINAL
C-104	SHEET 06	EROSION & SEDIMENT CONTROL PLAN - INTERIM & FINAL
C-105	SHEET 07	GRADING & DRAINAGE PLAN
C-106	SHEET 08	GRADING & DRAINAGE PLAN
C-107	SHEET 09	UTILITY PLAN
C-108	SHEET 10	UTILITY PLAN
C-109	SHEET 11	SITE PLAN - OVERALL
C-110	SHEET 12	SITE PLAN
C-111	SHEET 13	SITE PLAN
C-201	SHEET 14	ROADWAY PLAN & PROFILE
C-202	SHEET 15	ROADWAY PLAN & PROFILE
C-301	SHEET 16	STORMWATER MANAGEMENT PLANTING PLAN
C-302	SHEET 17	STORMWATER MANAGEMENT PLANTING PLAN
C-303	SHEET 18	STORMWATER MANAGEMENT PROFILES
C-304	SHEET 19	STORMWATER MANAGEMENT DETAILS & NOTES
C-305	SHEET 20	STORMWATER MANAGEMENT DETAILS & NOTES
C-401	SHEET 21	CONSTRUCTION PROFILES - SANITARY SEWER
C-402	SHEET 22	CONSTRUCTION PROFILES - WATER
C-403	SHEET 23	CONSTRUCTION PROFILES - WATER
C-404	SHEET 24	CONSTRUCTION PROFILES - WATER
C-405	SHEET 25	CONSTRUCTION PROFILES - STORM DRAINAGE
C-406	SHEET 26	CONSTRUCTION PROFILES - STORM DRAINAGE
C-407	SHEET 27	CONSTRUCTION PROFILES - STORM DRAINAGE
C-501	SHEET 28	CONSTRUCTION DETAILS & NOTES - E & S CONTROLS
C-502	SHEET 29	CONSTRUCTION DETAILS & NOTES - E & S CONTROLS
C-503	SHEET 30	CONSTRUCTION DETAILS & NOTES - STORM DRAINAGE
C-504	SHEET 31	CONSTRUCTION DETAILS & NOTES - WATER & SEWER
C-505	SHEET 32	CONSTRUCTION DETAILS & NOTES - SITE
C-506	SHEET 33	CONSTRUCTION DETAILS & NOTES - SITE
C-507	SHEET 34	CONSTRUCTION DETAILS & NOTES - SITE
L-101	SHEET 35	LANDSCAPE PLAN
L-102	SHEET 36	LANDSCAPE PLAN
PHOTOMETRIC PLANS (PROVIDED BY OTHERS)		
E-101	SHEET 1	PHOTOMETRIC PLAN, DETAILS & NOTES
E-102	SHEET 2	PHOTOMETRIC PLAN, DETAILS & NOTES
E-103	SHEET 3	PHOTOMETRIC PLAN, DETAILS & NOTES

APPROVALS

MD-ENG-6A 1/89	USDA SCS	OWNER / DEVELOPERS CERTIFICATION
UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777		"I/We certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."
DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 58.0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 342,879 CU. YDS. OF EXCAVATION AND APPROXIMATELY 353,613 CU. YDS. OF FILL.		Date Printed Name Signature
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)		OWNER / DEVELOPERS CERTIFICATION "I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."
APPROVAL: WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING		ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest addition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.		Date Printed Name Signature
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.		ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.
Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 48809, Expiration Date: 2022-08-24.		DATE REG. NO. SIGNATURE
SIGNATURE DATE		

NOT APPROVED FOR CONSTRUCTION

TAYLOR FARM I, LLC
SITUATED ALONG THE NORTH SIDE OF WRIGHT ROAD
AND THE WEST SIDE OF HOPEWELL ROAD
WASHINGTON COUNTY, MARYLAND
72 WEST WASHINGTON STREET
HAGERSTOWN, MD 21740
PHONE: 301.573.5375

COVER SHEET
C-001
SHEET 01 OF 36

PROJECT NO. 4504.1
DRAWN BY JAN DATE 12-05-2019
CHK BY TMF DATE 01-30-20
TAX MAP - GRID - PARCEL 0048-0021-0057
SCALE AS SHOWN
SHEET TITLE

GENERAL NOTES

1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
6. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (Hagerstown)	(301) 733-1010
Verizon	(301) 790-7124
Antetam Cable	(240) 420-2082
City of Hagerstown Engineering Department	(301) 739-8577 Ext. 125
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Washington County Soil Conservation District	(301) 797-6821 Ext. 3

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Benchmarks to be established by FSA prior to the start of construction.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking base course before loading site with heavy vehicles.
12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
14. The Contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
16. Please refer to Geotechnical Report completed by Triad Engineering for load bearing fills, etc.
17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
20. The existing site contours shown hereon are LIDAR 1" contours and field checked by FSA in June 2019. (Contour accuracy is to plus or minus one half the contour interval).
21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
22. Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the photometrics plans and utility plan.
23. The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
24. Applicant to provide as built mylars at the completion of the project.
25. This project has a projected start date of June 2020 and a completion date of March 2021.
26. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of City of Hagerstown.
27. Proposed SVM will consist of on-site bio-retention facilities and surface sand filters.
28. There is an existing sanitary sewer line and easement that runs through the property that is shown on the plans.
29. There are no parks, open space within or adjoining the tract.
30. All existing drainage culverts and drainage easements are to be maintained and unaltered.
31. There are no existing or proposed pumping stations in this development.
32. No outdoor storage of materials except for trailer parking is allowed on the site.
33. A building permit is required for any wall greater than 3 feet in height and a global stability analysis if greater than 10 feet.
34. A County and MDE floodplain permit will be required for any work within the floodplain.
35. A variance was granted by the Washington County Board of Zoning appeals on June 10th, 2020 to reduce the parking requirement from 656 spaces to 492 spaces (AP2020-020).
36. No drainage is permitted to discharge onto CSX right-of-way or toward CSX tracks during construction or as a final condition. All project construction drainage shall be directed away from CSX property.
37. The contractor must ensure that proper erosion control is implemented on and adjacent to CSX right-of-way during construction. The contractor must prevent silt and debris accumulation in the railroad roadbed, ditches, and other railroad facilities.
38. The Contractor shall not remove any existing CSX owned material (including, but not limited to, soil, stone, bridge and retaining wall elements, and drainage facilities) from CSX's right-of-way without prior authorization from CSX. If such material cannot be relocated within CSX's right-of-way in a manner satisfactory to CSX, the material shall be properly tested by CSX for contamination and disposed of in accordance with the CSX disposal policy. All costs associated with the testing, coordination and/or disposal will be at project expense.
39. The contractor must not use the CSX right-of-way for storage of materials or equipment during construction. The CSX right of way must remain clear at all times. Likewise, during construction, no equipment will be permitted to be staged within 15 feet of track centerline at any time.
40. The contractor must plan and perform the work in a manner such that the CSX tracks at the project location remain fully capable of carrying rail traffic throughout the work period and rail traffic is not delayed or otherwise impacted due to the work being performed.
41. The access road leading to the existing dwellings will be named by the dwelling property owners at the end of construction.

DIVISION OF PLAN REVIEW & PERMITTING NOTES

1. In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans."
2. This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
3. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
4. Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
5. This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control, Ordinance.
6. All grading for this project shall be the full responsibility of the property owner.
7. No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

ZONING DATA

ZONING DISTRICT	IG - INDUSTRIAL, GENERAL DISTRICT
BUILDING HEIGHT	100 FT

MINIMUM YARD SETBACK:

FRONT	50 FT.
*SIDE	25 FT.
*REAR	25 FT.

*EXCEPT WHERE LOT AND PROPOSED USES ABUT AND REQUIRE ACCESS TO A RAILROAD OR RAILROAD SIDING, THE SIDE OR REAR YARD SETBACK ABUTTING THE RAILROAD OR RAILROAD SIDING SHALL NOT BE REQUIRED

*EXCEPT WHERE THE PROPOSED USES OR BUILDING ABUT A LOT IN A RR, RT, RS, RU OR RM DISTRICT, OR ANY LOT OCCUPIED BY A DWELLING, THE SIDE AND REAR SETBACKS SHALL BE 100'

BOARD OF ZONING APPEALS' CASE _____ NONE

SITE DATA

TAX MAP - GRID - PARCEL	0048-0021-0057
ELECTION DISTRICT	02
ACCOUNT NUMBER	022745
LIBER / FOLIO	02535 / 00617
PLAT NUMBER	7388, 7808 & 10666

AREA SUMMARY:

PARCEL	69.48 Ac
RIGHT OF WAY	- 5.98 Ac
LOT 2 / PARCEL 913	- 10.87 Ac
PARCEL A / PARCEL 913	- 0.03 Ac
LOT 2 / PARCEL 913	+ 0.60 Ac
REMAINING LANDS (NET)	53.52 Ac
DISTURBED AREA	2,526,480 SF / 58.00 Ac
EXISTING IMPERVIOUS	0 SF / 0.0 AC (0%)
PROPOSED TOTAL IMPERVIOUS	1,624,788 SF / 37.3 AC (XX%)

BUILDING SUMMARY:

FOOTPRINT	825,000 SF
OFFICE SPACE	48,000 SF
WAREHOUSE SPACE	777,000 SF
HEIGHT	46 FT

PROPOSED USE WAREHOUSE & OFFICE (PERMITTED USE)

HOURS OF OPERATION 24 HOURS A DAY / 7 DAYS A WEEK

△ FREIGHT/DELIVERY 7-10 TRUCKS/DAY

EMPLOYEE SUMMARY:

OFFICE	42
WAREHOUSE	165

△ WATER & SEWER USAGE:

WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	1800 GPD

WASTE & RECYCLABLES:

SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY

SITE LIGHTING:

EXISTING	NONE
PROPOSED	POLE & BUILDING MOUNTED

△ SITE SIGNAGE:

EXISTING	NONE
PROPOSED	TBD

△ ADDRESS ASSIGNMENT 16220 WRIGHT ROAD WILLIAMSPORT, MD 21795

△ ROAD CLASSIFICATION:

WRIGHT ROAD EXTENDED	MINOR COLLECTOR
WAIVER AND/OR VARIANCE	AP2020-020 (PARKING REDUCTION)
FOREST CONSERVATION	16.98 AC; ADDRESSED BY RETENTION EASEMENTS - 1.69 AC. AND 34.58 AC. PER MISC. PLATS

WATERSHED:

NAME	CONOCOCHEAQUE CREEK
NUMBER	02-14-05-04
FEMA PANEL #	24043C0281D

PARKING, LOADING & BICYCLE DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	777,000 SF / 1,500 SF	518 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES AND/OR OFFICE SPACE	48,000 SF / 350 SF	138 SPACES

TOTAL REQUIRED SPACES	656 SPACES
TOTAL PROVIDED PARKING SPACES	492 SPACES
TOTAL TRAILER PARKING SPACE	217 SPACES

LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGL	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FI	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SY	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRATE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	UT	UTILITY POLE
NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE

LEGEND - SYMBOLS & LINE TYPES

SANITARY SEWER

MANHOLE

CLEANOUT

WATER

FIRE HYDRANT

VALVE

STORM DRAINAGE

MANHOLE

INLETS

CLEANOUT

ELECTRICAL & COMMUNICATION

ELECTRICAL MANHOLE

LIGHT POLE

UNKNOWN

UNKNOWN MANHOLE

ORIGIN UNKNOWN (ALL UTILITIES)

VEGETATION AREAS

DECIDUOUS TREES

EVERGREEN TREES

EXISTING FEATURES

SUBJECT BOUNDARY

ADJOINING BOUNDARY

CONTOUR (INDEX)

CONTOUR (INTERMEDIATE)

TREELINE

EDGE OF WATER

RETAINING WALL

CENTERLINE

EDGE OF PAVEMENT

EDGE OF GRAVEL

EDGE OF CONCRETE

CONCRETE CURB

GUARD RAIL

FENCE LINE

ELECTRIC LINE (OVERHEAD)

GAS LINE

SANITARY SEWER

STORM DRAIN

WATER LINE

PROPOSED FEATURES

SUBJECT BOUNDARY

ADJOINING BOUNDARY

CONTOUR (INDEX)

CONTOUR (INTERMEDIATE)

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EDGE OF WATER

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CENTERLINE

EDGE OF PAVEMENT

EDGE OF GRAVEL

EDGE OF CONCRETE

CONCRETE CURB

GUARD RAIL

FENCE LINE

ELECTRIC LINE (OVERHEAD)

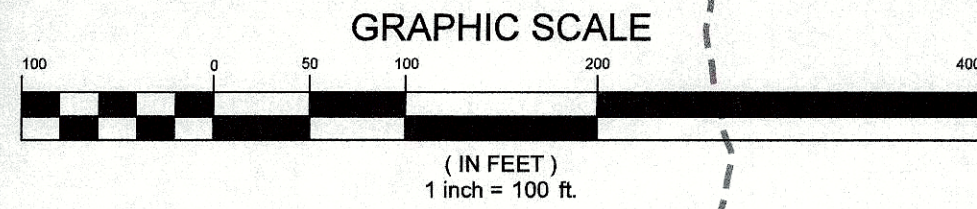
GAS LINE

SANITARY SEWER

STORM DRAIN

WATER LINE

SEE SHEET C-111 FOR DETAILS



C-109
SHEET 11 OF 3

FOR

TAYLOR FARM I, LLC
Sited on the East Side of Light Road
between the intersection of Light Road
and the West side of Haywood Road

NOT APPROVED

WASHINGTON COUNTY, MARYLAND
TAYLOR FARM I, LLC
72 WEST WASHINGTON STREET
PHONE: 301.573.9375



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: December 7, 2020

RE: Forest Conservation Mitigation Approval for Taylor Farm Site Plan (SP-20-012)

Attached you will find supporting documentation for two requests to meet forest conservation requirements for this project. The first request is to utilize offsite retention to satisfy the 18.98-acre planting requirement for the Taylor Farm development near the intersection of Hopewell and Wright Roads. The second request is to remove 7 specimen trees from the site as a part of its development.

Enclosed for your review are four documents in support of the applicant's request. These include the forest conservation plan that shows the location of the offsite easements, the forest stand delineation which shows the location of the specimen trees, and two justification letters from Qualified Professional Shannon Stotler that make their case for both of these requests.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

The removal of specimen trees requires that approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Comprehensive Planner
(240) 313-2432
tallen@washco-md.net



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

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FROM: Travis Allen, Comprehensive Planner
DATE: December 7, 2020
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If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Comprehensive Planner
(240) 313-2432
tallen@washco-md.net

MEMO — Offsite Mitigation

SUBJECT — FCP for Taylor Farm I, LLC

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

REMARKS:

The total tract area of parcels 57 and 913 consist of approximately 71 acres. Within those two parcels, the proposed development per SP-20-012 is 58 acres of total disturbance. The required forest mitigation for the proposed development is 18.98 acres.

1.69 acres of forest is being retained onsite with an easement between existing Wright Road and the proposed location of Wright Road. The remaining forest mitigation required is 17.29 acres. There is no other logical place on site to retain or plant forest without creating hardship for development. The proposed offsite retention easement is 34.58 acres and is based on the remaining forest mitigation required at a ratio of 2:1. This area was previously designated for forest retention for development of the parcels 57 and 913 back in 2005 from a previous project. On behalf of the property owner, I request the approval of offsite forest mitigation to meet the forest requirements for the development of SP-20-012..

Sincerely,



Shannon Stotler



FREDERICK, SEIBERT & ASSOCIATES, INC.

128 South Potomac Street, Hagerstown, MD 21740
☎ 301-791-3650 ☒ fsa-md.com

CIVIL ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE

MEMO — Specimen Tree Removal Variance **SUBJECT** — FCP for Taylor Farm I, LLC

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

REMARKS:

The total tract area of parcels 57 and 913 consist of approximately 71 acres. Within those two parcels, the proposed development per SP-20-012 is 58 acres of total disturbance. Out of the total disturbance, 15.02 acres of forest is proposed for clearing along with seven specimen trees.

This tract area is zoned Industrial General. The specimen trees are located in the middle of the site and the proposed development is changing elevations by 20 feet in some areas. If the specimen trees remained in-place, the development of this site could not occur. On behalf of the property owner, I request a variance for the removal of seven specimen trees due to the hardship as stated above.

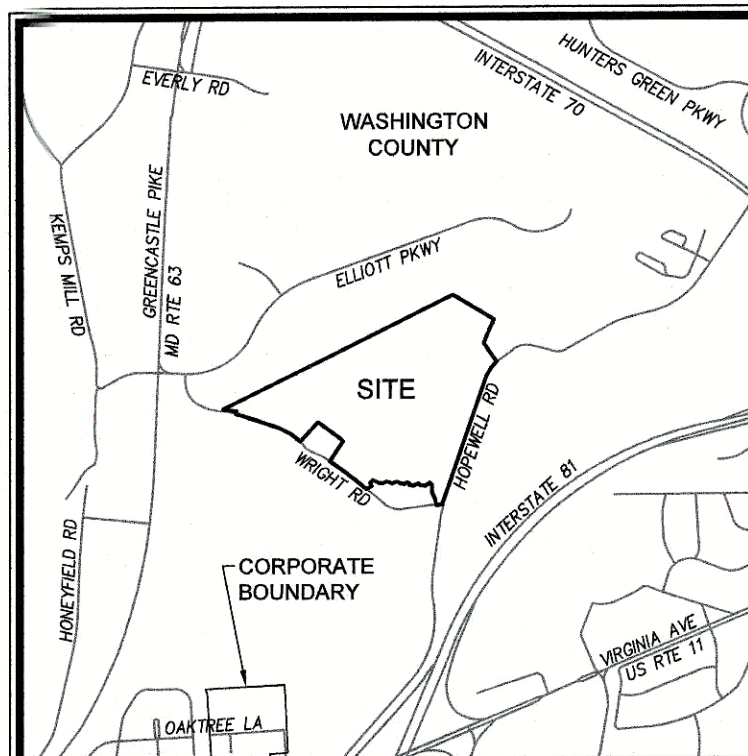
Sincerely,

Shannon Stotler

RECEIVED

MAY 15 2020

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT



VICINITY MAP SCALE: 1" = 2000'

FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA

A. Total Tract Area..... = 58.00 Ac.
B. Deductions..... = 0.00 Ac.
C. Net Tract Area..... = 58.00 Ac.

LAND USE CATEGORY COM

D. Afforestation Threshold (Net Tract Area x 15%)..... = 8.70 Ac.
E. Conservation Threshold (Net Tract Area x 15%)..... = 8.70 Ac.

EXISTING FOREST COVER

F. Existing Forest Cover within the Net Tract Area..... = 15.02 Ac.
G. Area of Forest Above Conservation Threshold..... = 6.32 Ac.

BREAK EVEN POINT

H. Break Even Point..... = 9.96 Ac.
I. Forest Clearing Permitted Without Mitigation..... = 5.06 Ac.

PROPOSED FOREST CLEARING

J. Total Area of Forest to be Cleared..... = 15.02 Ac.
K. Total Area of Forest to be Retained..... = 0.00 Ac.

PLANTING REQUIREMENTS

L. Reforestation for Clearing Above the Conservation Threshold..... = 1.58 Ac.
M. Reforestation for Clearing Below the Conservation Threshold..... = 17.40 Ac.
N. Credit for Retention above the Conservation Threshold..... = 0.00 Ac.
P. Total Reforestation Required..... = 18.98 Ac.
Q. Total Afforestation Required..... = 0.00 Ac.
R. Total Planting Requirement..... = 18.98 Ac.

or 826,768.8 S.F.

General Notes:

Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.

Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.

This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.

The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

Notes:

- The Forest Retention Easement shown hereon is an offsite easement to address forest mitigation for the Site Plan for Taylor Farm I, LLC.
- An additional Forest Retention Easement, as shown on sheet 1, addresses the remaining forestation requirement for the Site Plan for Taylor Farm I, LLC.
- The Forest Retention Area shown on shall be retained according to the approved Forest Conservation Plan and is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Forestation Area shall be limited to forest conservation practices and recreational activities which are consistent with the preservation of the Forestation Area as natural forest land, as stipulated by the same Ordinance.
- This easement plat is part of the forest mitigation for the Site Plan for Taylor Farm, SP-20-012.

FORESTATION TABLE:

Forestation Required per Site Plan for Taylor Farm I, LLC **18.98 Ac.**
Wright Road On-site **1.69 Ac.**
Remaining Forestation Required **17.29 Ac.**
2:1 Ratio Required for Off-site Mitigation **34.58 Ac.**

Easement Provided:
Honeyfield Road Off-site **34.58 Ac.**

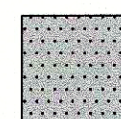
Owner:
Taylor Farm I, LLC
72 W. Washington St.
Hagerstown, MD 21740

Certificate of Approval FINAL APPROVAL GRANTED

DATE: _____

By:
Washington County Planning Commission
Final Approval good for one hundred
eighty (180) days from above date

MISC PLAT NO _____ DATE _____ WASHINGTON COUNTY



Proposed forest clearing per Site Plan for
Taylor Farm I, LLC (SP-20-012).

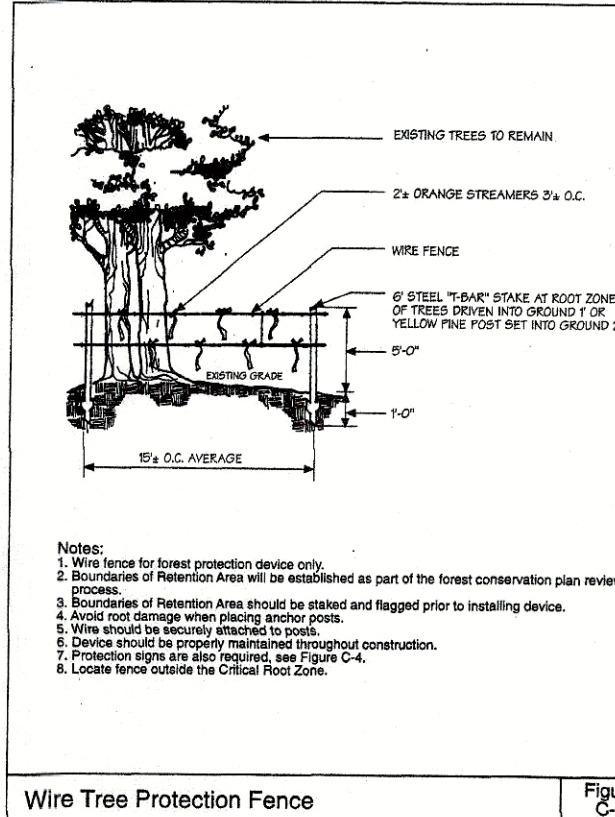
I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

Shannon Stotler

Date

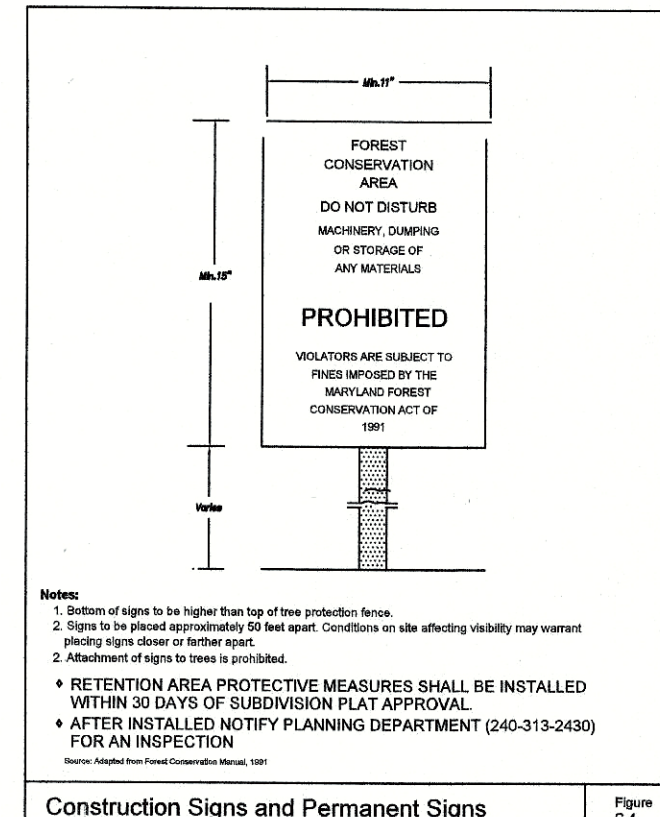
FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- All temporary protection devices and/or permanent devices shall be put into place.
 - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
 - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
 - All temporary fencing shall be in place prior to any grading or land clearing.
 - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
 - Attachment of signs or any other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.



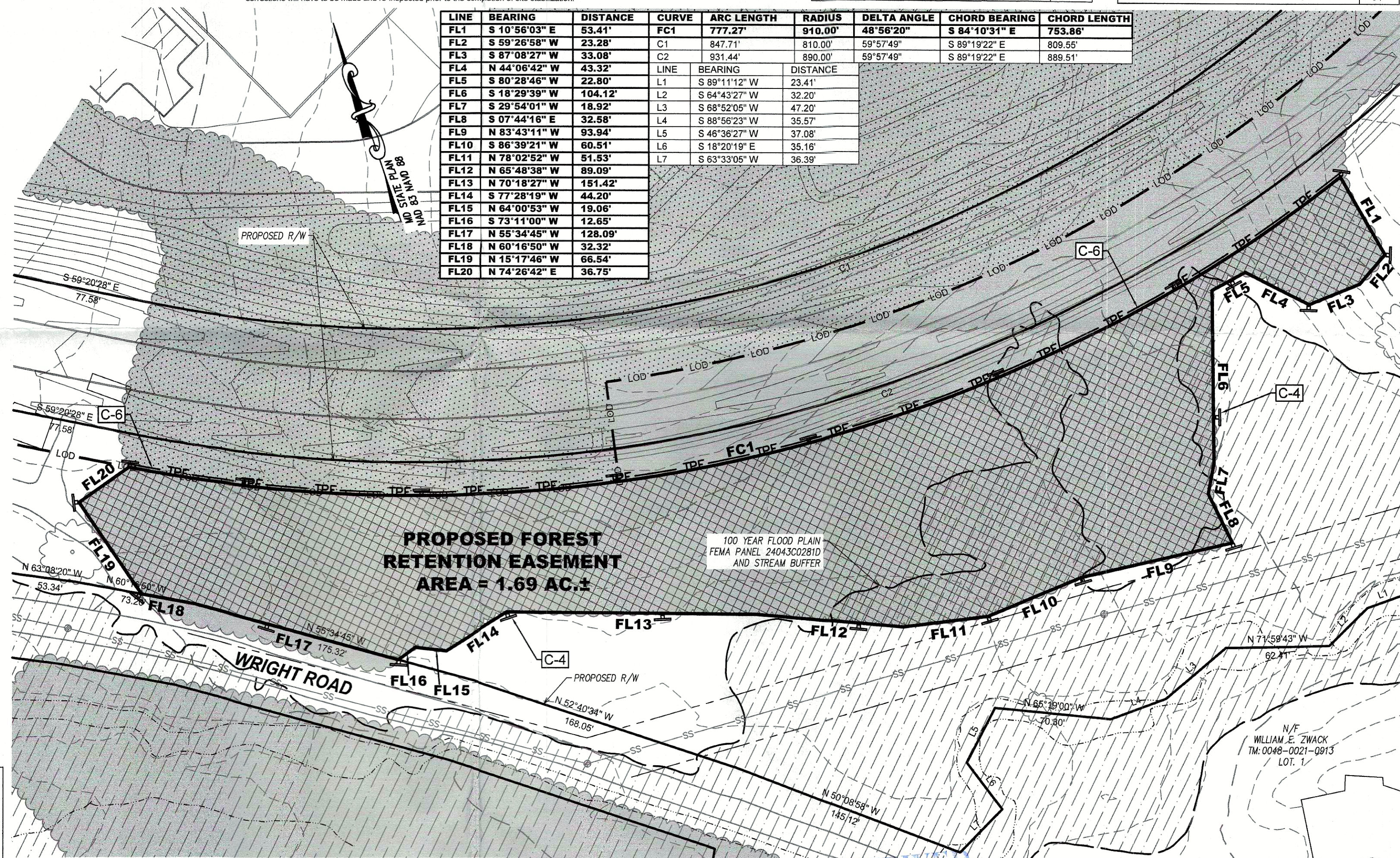
Wire Tree Protection Fence

Figure C-6



Construction Signs and Permanent Signs

Figure C-4



**PROPOSED FOREST
RETENTION EASEMENT
AREA = 1.69 AC.±**

100 YEAR FLOOD PLAIN
FEMA PANEL 2404300281D
AND STREAM BUFFER

TAX MAP 48-21-953 DISTRICT 02

DRAWING NUMBER 1 OF 2

DRAWN BY: DWH DATE: 4/6/2020

CHECKED BY: DATE:

SCALE: 1" = 50'

**FREDERICK
SEIBERT &
ASSOCIATES, INC.** © 2020

CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
5201 SPRING ROAD, SUITE 3, SHERMANSDALE, PENNSYLVANIA 17090
(301) 791-3650 (717) 597-1007 (717) 701-8111 FAX (301) 738-4998

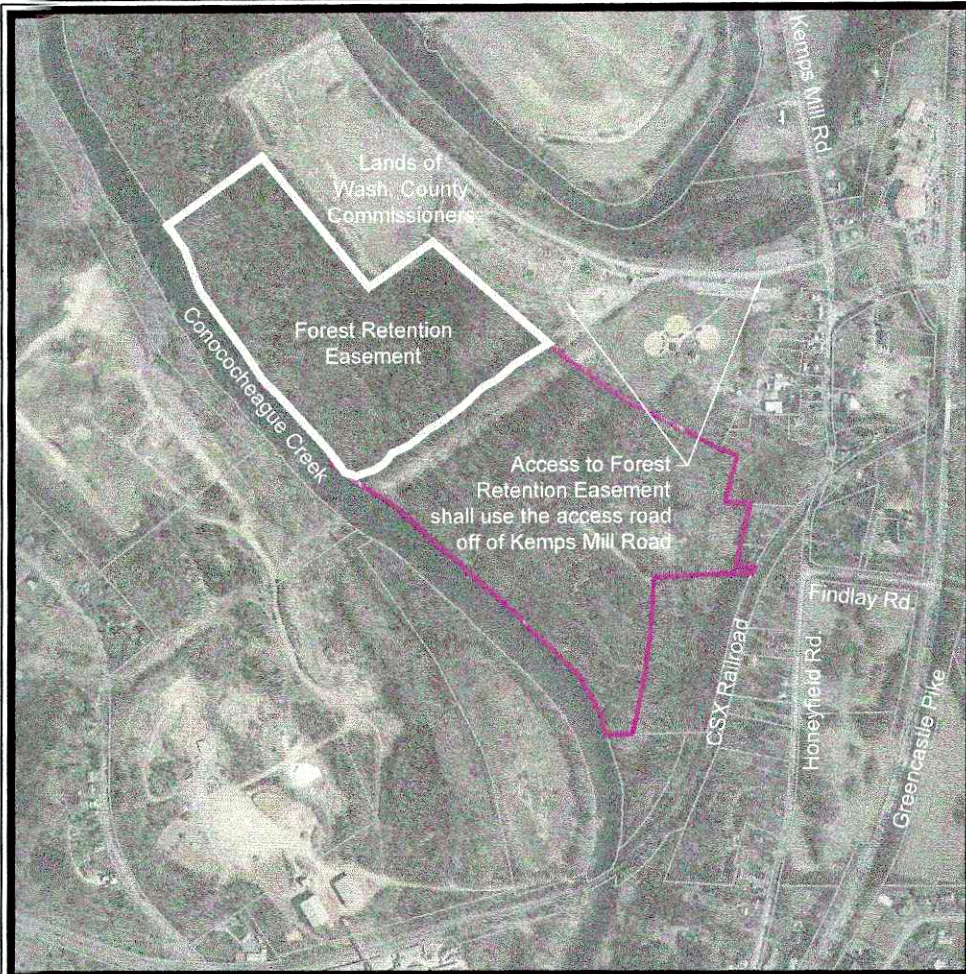
JOB NUMBER: 6657

On-site Forest
Retention Easement Plat

for the Site Plan of

Taylor Farm I, LLC

situate along the southern side of Wright Road
between Hopewell Road and Greencastle Pike MD Route 63
WASHINGTON COUNTY, MARYLAND



VICINITY MAP SCALE: 1" = 1,000'

I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

Shannon Stotler 4-8-2020
Shannon Stotler Date

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FOREST CONSERVATION WORKSHEET 2.2	
NET TRACT AREA	
A. Total Tract Area.....	= 58.00 Ac.
B. Deductions.....	= 0.00 Ac.
C. Net Tract Area.....	= 58.00 Ac.
LAND USE CATEGORY COM	
D. Afforestation Threshold (Net Tract Area x 15%).....	= 8.70 Ac.
E. Conservation Threshold (Net Tract Area x 15%).....	= 8.70 Ac.
EXISTING FOREST COVER	
F. Existing Forest Cover within the Net Tract Area.....	= 15.02 Ac.
G. Area of Forest Above Conservation Threshold.....	= 6.32 Ac.
BREAK EVEN POINT	
H. Break Even Point.....	= 9.96 Ac.
I. Forest Clearing Permitted Without Mitigation.....	= 5.06 Ac.
PROPOSED FOREST CLEARING	
J. Total Area of Forest to be Cleared.....	= 15.02 Ac.
K. Total Area of Forest to be Retained.....	= 0.00 Ac.
PLANTING REQUIREMENTS	
L. Reforestation for Clearing Above the Conservation Threshold.....	= 1.58 Ac.
M. Reforestation for Clearing Below the Conservation Threshold.....	= 17.40 Ac.
N. Credit for Retention above the Conservation Threshold.....	= 0.00 Ac.
P. Total Reforestation Required.....	= 18.98 Ac.
Q. Total Afforestation Required.....	= 0.00 Ac.
R. Total Planting Requirement.....	= 18.98 Ac.
or 826,768.8 S.F.	

Owner:
William Taylor Jr. & Deborah Bennett
77 Milburn Cir.
Pasadena, MD 21122

Owners Statement
I/we do hereby certify, for ourselves, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby adopt the forest retention easement plat as shown hereon. The forest retention easement as shown hereon shall be perpetual, run with the property, and shall bind the owner(s) and its respective personal representatives, heirs, assigns, and successors to the conditions and restrictions set forth on this plat and within the Washington County Forest Conservation Ordinance.

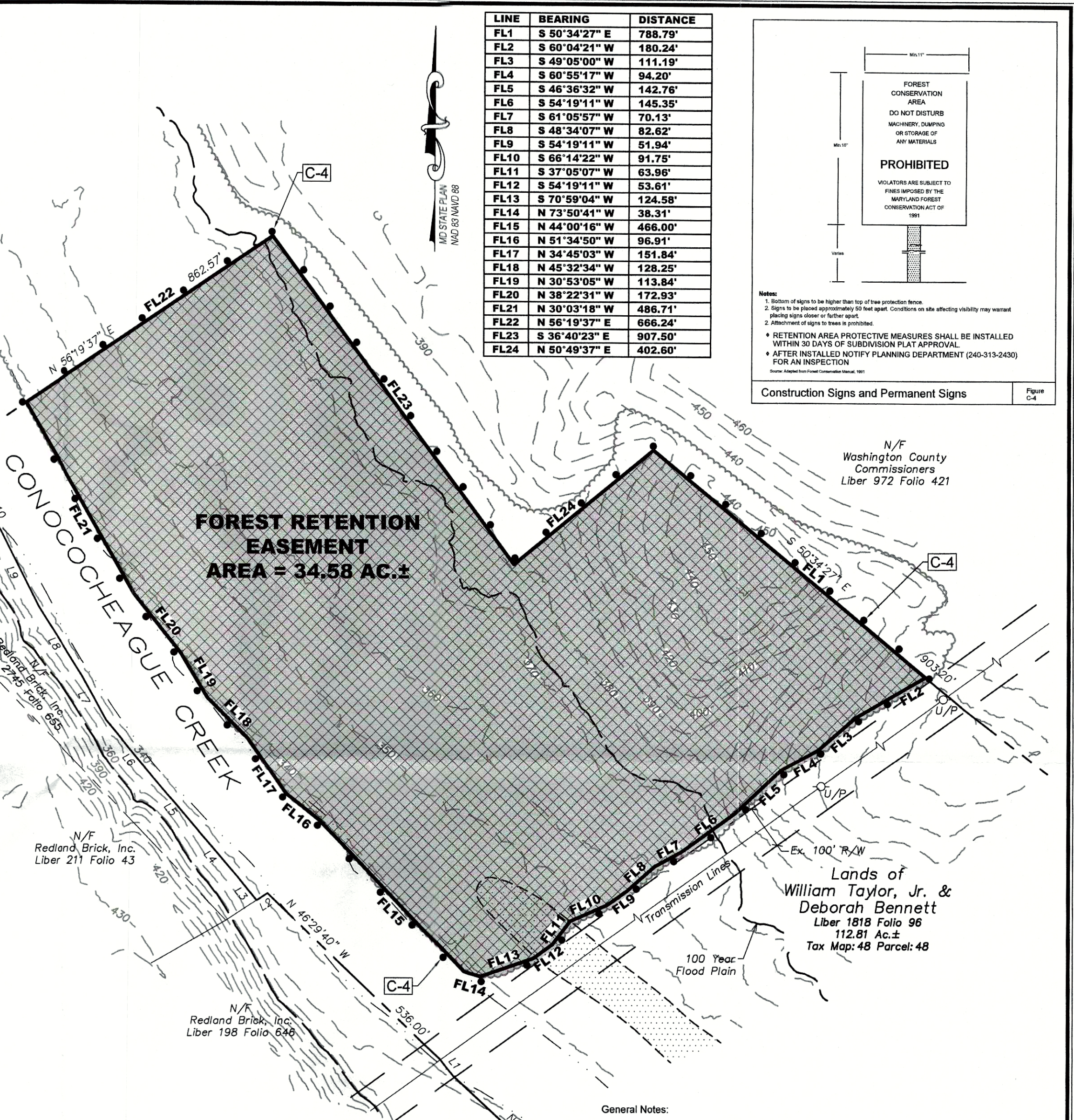
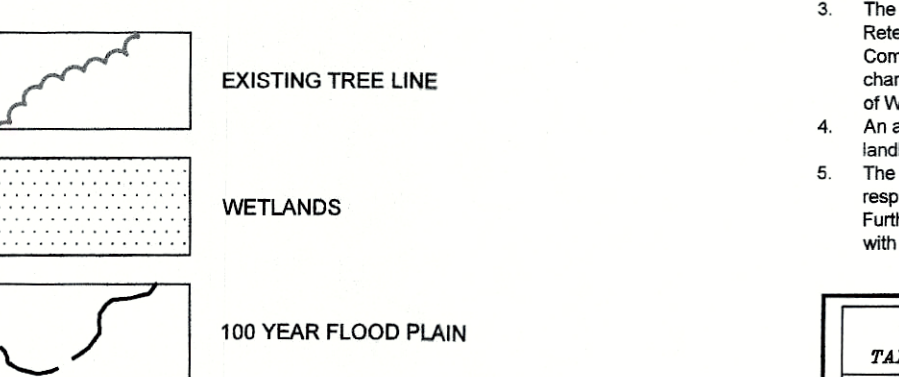
Owner: William Taylor, Jr. Date
Owner: Deborah Bennett Date

LINE	BEARING	DISTANCE
L1	N 38°12'41" W	50.36'
L2	S 57°05'20" W	28.53'
L3	N 39°28'15" W	64.23'
L4	N 41°00'23" W	136.53'
L5	N 40°30'04" W	159.18'
L6	N 39°41'26" W	166.22'
L7	N 28°58'27" W	109.35'
L8	N 32°24'24" W	186.52'
L9	N 26°51'57" W	186.69'
L10	N 33°28'06" W	85.16'
L11	N 30°19'44" W	120.49'

MISC PLAT NO _____
DATE _____
WASHINGTON COUNTY

Certificate of Approval
FINAL APPROVAL GRANTED
DATE: _____
By: _____
Washington County Planning Commission
Final Approval good for one hundred eighty (180) days from above date

FORESTATION TABLE:	
Forestation Required per Site Plan for Taylor Farm I, LLC	18.98 Ac.
Wright Road On-site	1.69 Ac.
Remaining Forestation Required	17.29 Ac.
2:1 Ratio Required for Off-site Mitigation	34.58 Ac.
Easement Provided:	
Honeyfield Road Off-site	34.58 Ac.



- Notes:
- The Forest Retention Easement shown hereon is an offsite easement to addresses forest mitigation for the Site Plan for Taylor Farm I, LLC, SP-20-012.
 - An additional Forest Retention Easement, as shown on sheet 1, addresses the remaining forestation requirement for the Site Plan for Taylor Farm I, LLC.
 - The access easement, as shown on the Vicinity Map, shall be granted to Washington County for access and inspection of the Forest Retention Easement. Access to the proposed Forest Retention Easement, as shown hereon, shall be on the Lands of Washington County Commissioners (Liber 972 Folio 421) over the existing access road as depicted on the vicinity map above. In the event of this tract ever changes ownership, the access easement shall remain and be included with any future deeds or records recorded within the Land Records of Washington County.
 - An access easement over the adjoining parcel is required since the Lands of William Taylor, Jr. & Deborah Bennett (Liber 1818 Folio 96) is landlocked and has no direct access from a public road.
 - The Forest Retention Area shown on shall be retained according to the approved Forest Conservation Plan and is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Forestation Area shall be limited to forest conservation practices and recreational activities which are consistent with the preservation of the Forestation Area as natural forest land, as stipulated by the same Ordinance.

LINE	BEARING	DISTANCE
FL1	S 50°34'27" E	788.79'
FL2	S 60°04'21" W	180.24'
FL3	S 49°05'00" W	111.19'
FL4	S 60°55'17" W	94.20'
FL5	S 46°36'32" W	142.76'
FL6	S 54°19'11" W	145.35'
FL7	S 61°05'57" W	70.13'
FL8	S 48°34'07" W	82.62'
FL9	S 54°19'11" W	51.94'
FL10	S 66°14'22" W	91.75'
FL11	S 37°05'07" W	63.96'
FL12	S 54°19'11" W	53.61'
FL13	S 70°59'04" W	124.58'
FL14	N 73°50'41" W	38.31'
FL15	N 44°00'16" W	466.00'
FL16	N 51°34'50" W	96.91'
FL17	N 34°45'03" W	151.84'
FL18	N 45°32'34" W	128.25'
FL19	N 30°53'05" W	113.84'
FL20	N 38°22'31" W	172.93'
FL21	N 30°03'18" W	486.71'
FL22	N 56°19'37" E	862.57'
FL23	S 36°40'23" E	907.50'
FL24	N 50°49'37" E	402.60'

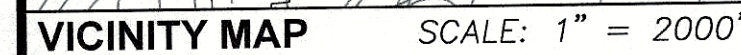
Notes:
1. Bottom of signs to be higher than top of tree protection fence.
2. Signs to be placed approximately 60 feet apart. Conditions on site affecting visibility may warrant placing signs closer or further apart.
3. Attachment of signs to trees is prohibited.
4. RETENTION AREA PROTECTIVE MEASURES SHALL BE INSTALLED WITHIN 30 DAYS OF SUBDIVISION PLAT APPROVAL.
5. AFTER INSTALLED NOTIFY PLANNING DEPARTMENT (240-313-2430) FOR AN INSPECTION.
Source: Adapted from Forest Conservation Manual, 1991.

Construction Signs and Permanent Signs Figure C-4

TAX MAP 48-19-70 DISTRICT 02
DRAWING NUMBER 2 OF 2
DRAWN BY: DWH DATE: 4/3/2020
CHECKED BY: DATE:
SCALE: 1" = 200'

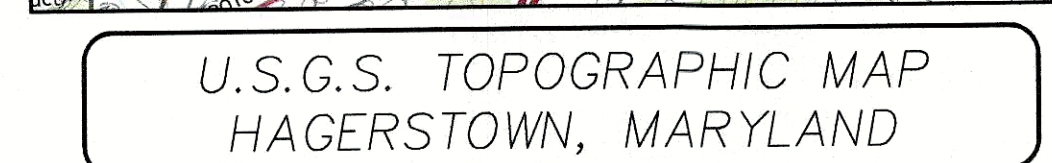
FREDERICK SEIBERT & ASSOCIATES, INC. © 2020
CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
5201 SPRING ROAD, SUITE 3, SHERMANSDALE, PENNSYLVANIA 17090
(301) 791-3850 (717) 597-1007 (717) 701-8111 FAX (301) 739-4856

Off-site Forest Retention Easement Plat
for the Site Plan of
Taylor Farm I, LLC
situate along the western side of Honeyfield Road and CSX Railroad
between the inside bend of the Conococheague Creek
WASHINGTON COUNTY, MARYLAND

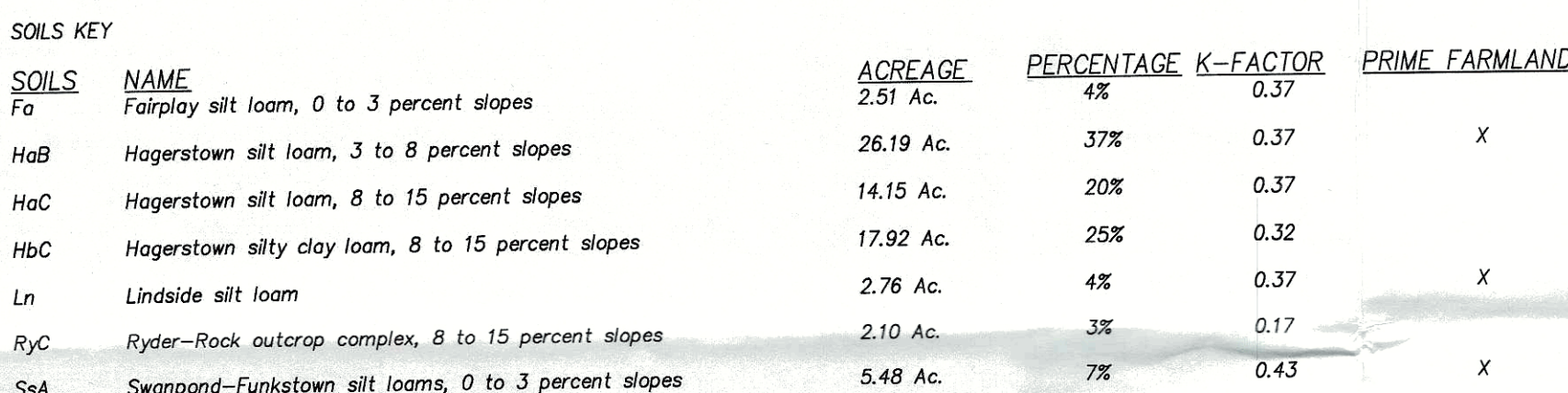
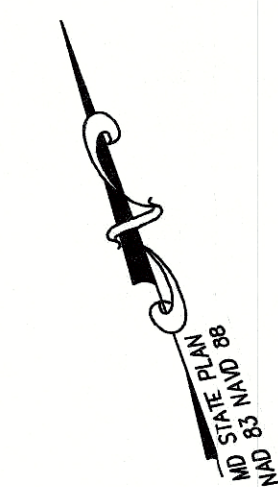


Sh St 3-13-202
Shannon Stotler Date

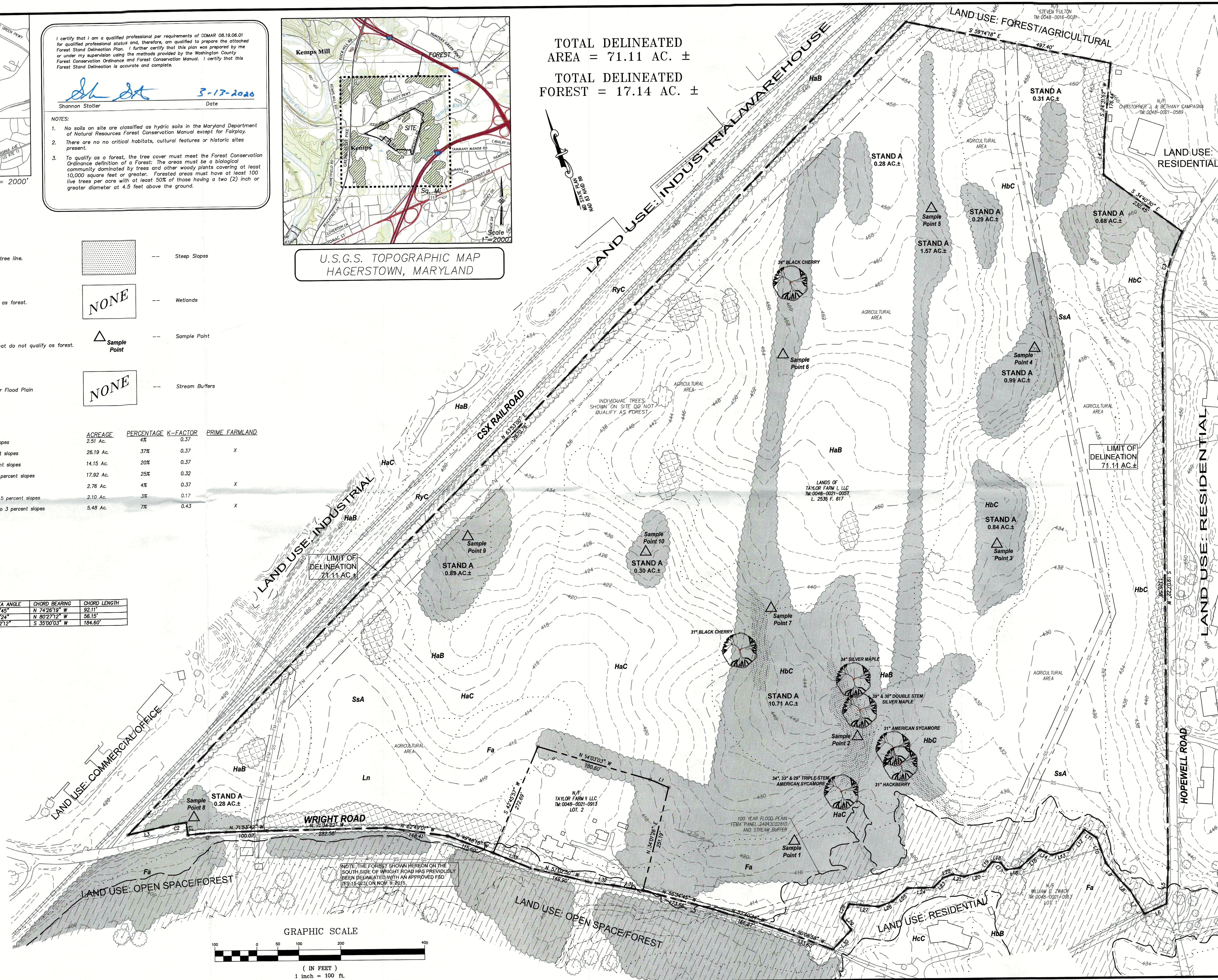
1. No soils on site are classified as hydric soils in the Maryland Department of Natural Resources Forest Conservation Manual except for Fairplay.
2. There are no no critical habitats, cultural features or historic sites present.
3. To qualify as a forest, the tree cover must meet the Forest Conservation Ordinance definition of a Forest: The areas must be a biologically diverse community dominated by trees and other woody plants covering at least 10,000 square feet or greater. Forested areas must have at least 100 live trees per acre with at least 50% of those having a two (2) inch or greater diameter at 4.5 feet above the ground.

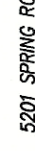


TOTAL DELINEATED
FOREST = 17.14 AC. ±



LINE	BEARING	DISTANCE
L1	N 4724°47' W	48.21'
L2	N 82°00' E	30.00'
L3	N 82°56'24" W	85.49'
L4	S 25°43'29" W	88.80'
L5	S 54°54'24" W	106.48'
L6	S 80°45'39" W	57.87'
L7	N 11°32'04" W	64.35'
L8	N 24°42'13" W	35.30'
L9	N 00°08'49" W	52.64'
L10	N 20°00'23" E	63.17'
L11	N 24°42'13" W	35.30'
L12	S 56°45'40" W	59.57'
L13	N 86°58'44" W	43.95'
L14	N 45°42'28" W	30.78'
L15	S 67°24'52" W	64.27'
L16	N 43°43'24" W	57.44'
L17	N 16°55'38" W	20.96'
L18	N 64°17'06" W	20.31'
L19	S 88°56'20" W	27.48'
L20	N 85°34'34" W	51.60'
L21	N 60°18'30" W	30.33'
L22	N 3°12'12" W	64.41'
L23	N 64°33'27" W	32.20'
L24	N 71°59'43" W	62.41'
L25	S 68°52'05" W	47.20'
L26	S 89°56'23" W	35.57'
L27	N 80°00'00" W	70.30'
L28	S 46°39'27" W	37.08'
L29	S 12°20'19" E	35.16'
L30	S 83°33'05" W	63.69'
L31	N 60°16'50" W	71.55'
L32	N 63°02'20" W	54.05'
L33	N 40°01'00" W	56.88'





FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

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 fse@icpc.com

128 SOUTH PORTLAND STREET
 SUITE 200
 PORTLAND, ME 04101
 207/771-0500

WEST BATHING ROOM
 SUITE 200
 BATHING ROOM, ME 04401
 207/597-1007

500 N. JEFFERSON STREET
 SUITE 100
 BIRMINGHAM, AL 35203
 205/770-0811

5000 SPRING ROAD
 SUITE 100
 KENNESAW, WA 98143
 206/457-3680

[illegible]

RECEIVED
MAY 15 2020
WASHINGTON COUNTY
ANALYSIS REVIEW DEPARTMENT

PROJECT NO.	
4564.1	
DWN BY	DATE
DWH	2/29/2020
CHK BY	DATE
TAX MAP--GRID--PARCEL	
0048-0021-0057	
SCALE	
1" = 100'	
SHEET TITLE	

FOREST STAND
DELINEATION

C-101
SHEET 1 OF 1

FS-20-005

MEMO — Offsite Mitigation

SUBJECT — FCP for Taylor Farm I, LLC

TO — Washington County Planning Commission

CC — Travis Allen


FROM — Shannon Stotler

REMARKS:

The total tract area of parcels 57 and 913 consist of approximately 71 acres. Within those two parcels, the proposed development per SP-20-012 is 58 acres of total disturbance. The required forest mitigation for the proposed development is 18.98 acres.

1.69 acres of forest is being retained onsite with an easement between existing Wright Road and the proposed location of Wright Road. The remaining forest mitigation required is 17.29 acres. There is no other logical place on site to retain or plant forest without creating hardship for development. The proposed offsite retention easement is 34.58 acres and is based on the remaining forest mitigation required at a ratio of 2:1. This area was previously designated for forest retention for development of the parcels 57 and 913 back in 2005 from a previous project. On behalf of the property owner, I request the approval of offsite forest mitigation to meet the forest requirements for the development of SP-20-012..

Sincerely,



Shannon Stotler



FREDERICK, SEIBERT & ASSOCIATES, INC.

128 South Potomac Street, Hagerstown, MD 21740
☎ 301-791-3650 ☒ fsa-md.com

CIVIL ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE

MEMO — Specimen Tree Removal Variance **SUBJECT** — FCP for Taylor Farm I, LLC

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

REMARKS:

The total tract area of parcels 57 and 913 consist of approximately 71 acres. Within those two parcels, the proposed development per SP-20-012 is 58 acres of total disturbance. Out of the total disturbance, 15.02 acres of forest is proposed for clearing along with seven specimen trees.

This tract area is zoned Industrial General. The specimen trees are located in the middle of the site and the proposed development is changing elevations by 20 feet in some areas. If the specimen trees remained in-place, the development of this site could not occur. On behalf of the property owner, I request a variance for the removal of seven specimen trees due to the hardship as stated above.

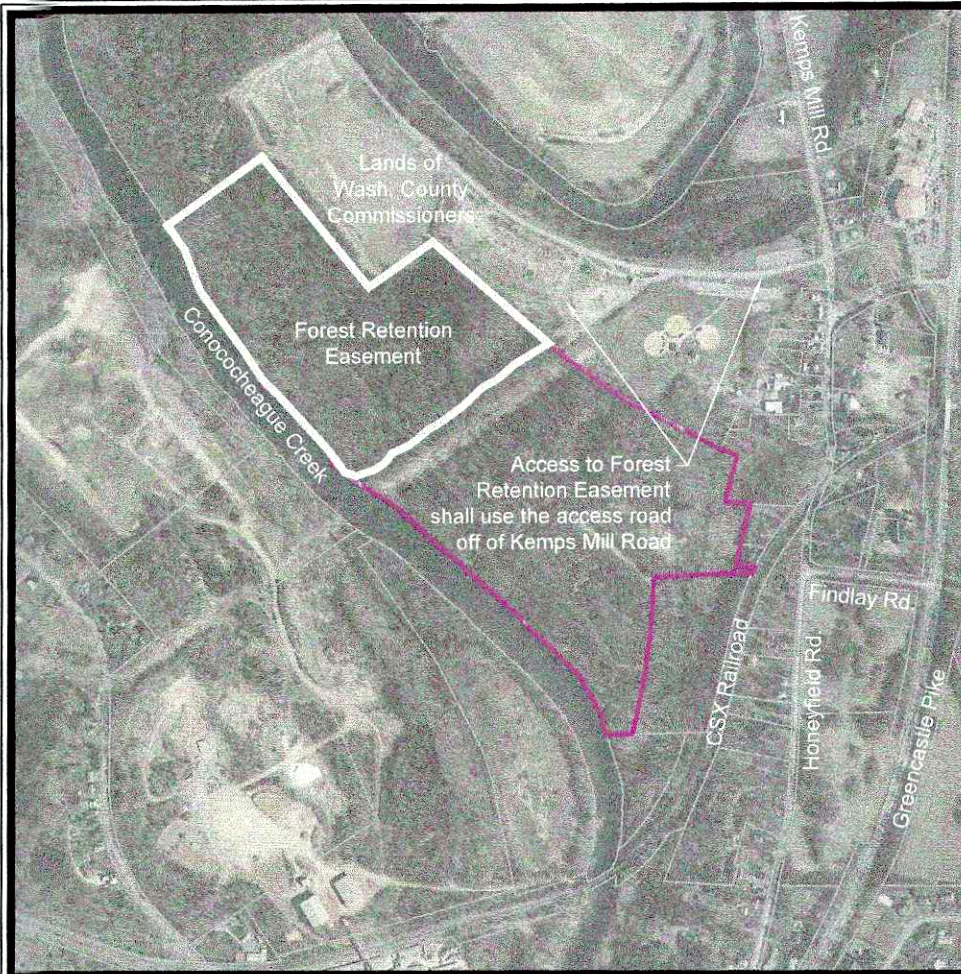
Sincerely,

Shannon Stotler

RECEIVED

MAY 15 2020

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT



VICINITY MAP SCALE: 1" = 1,000'

I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

Shannon Stotler 4-8-2020
Shannon Stotler Date

FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- All temporary protection devices and/or permanent devices shall be put into place.
 - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
 - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
 - All temporary fencing shall be in place prior to any grading or land clearing.
 - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
 - Attachment of signs or any other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA	
A. Total Tract Area.....	= 58.00 Ac.
B. Deductions.....	= 0.00 Ac.
C. Net Tract Area.....	= 58.00 Ac.
LAND USE CATEGORY COM	
D. Afforestation Threshold (Net Tract Area x 15%).....	= 8.70 Ac.
E. Conservation Threshold (Net Tract Area x 15%).....	= 8.70 Ac.
EXISTING FOREST COVER	
F. Existing Forest Cover within the Net Tract Area.....	= 15.02 Ac.
G. Area of Forest Above Conservation Threshold.....	= 6.32 Ac.
BREAK EVEN POINT	
H. Break Even Point.....	= 9.96 Ac.
I. Forest Clearing Permitted Without Mitigation.....	= 5.06 Ac.
PROPOSED FOREST CLEARING	
J. Total Area of Forest to be Cleared.....	= 15.02 Ac.
K. Total Area of Forest to be Retained.....	= 0.00 Ac.
PLANTING REQUIREMENTS	
L. Reforestation for Clearing Above the Conservation Threshold.....	= 1.58 Ac.
M. Reforestation for Clearing Below the Conservation Threshold.....	= 17.40 Ac.
N. Credit for Retention above the Conservation Threshold.....	= 0.00 Ac.
P. Total Reforestation Required.....	= 18.98 Ac.
Q. Total Afforestation Required.....	= 0.00 Ac.
R. Total Planting Requirement.....	= 18.98 Ac.
or 826,768.8 S.F.	

Owner:
William Taylor Jr. & Deborah Bennett
77 Milburn Cir.
Pasadena, MD 21122

Owners Statement
I/we do hereby certify, for ourselves, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby adopt the forest retention easement plat as shown hereon. The forest retention easement as shown hereon shall be perpetual, run with the property, and shall bind the owner(s) and its respective personal representatives, heirs, assigns, and successors to the conditions and restrictions set forth on this plat and within the Washington County Forest Conservation Ordinance.

Owner: William Taylor, Jr. Date

Owner: Deborah Bennett Date

LINE	BEARING	DISTANCE
L1	N 38°12'41" W	50.36'
L2	S 57°05'20" W	28.53'
L3	N 39°28'15" W	64.23'
L4	N 41°00'23" W	136.53'
L5	N 40°30'04" W	159.18'
L6	N 39°41'26" W	166.22'
L7	N 28°58'27" W	109.35'
L8	N 32°24'24" W	186.52'
L9	N 26°51'57" W	186.69'
L10	N 33°28'06" W	85.16'
L11	N 30°19'44" W	120.49'

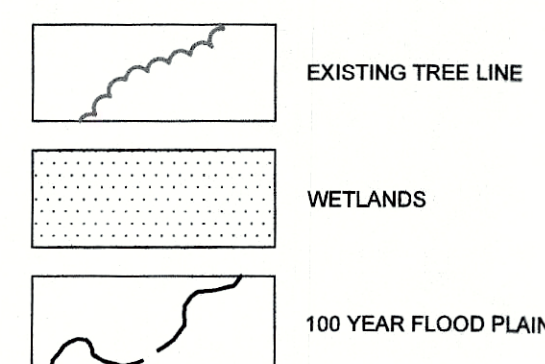
MISC PLAT NO _____
DATE _____
WASHINGTON COUNTY

Certificate of Approval
FINAL APPROVAL GRANTED

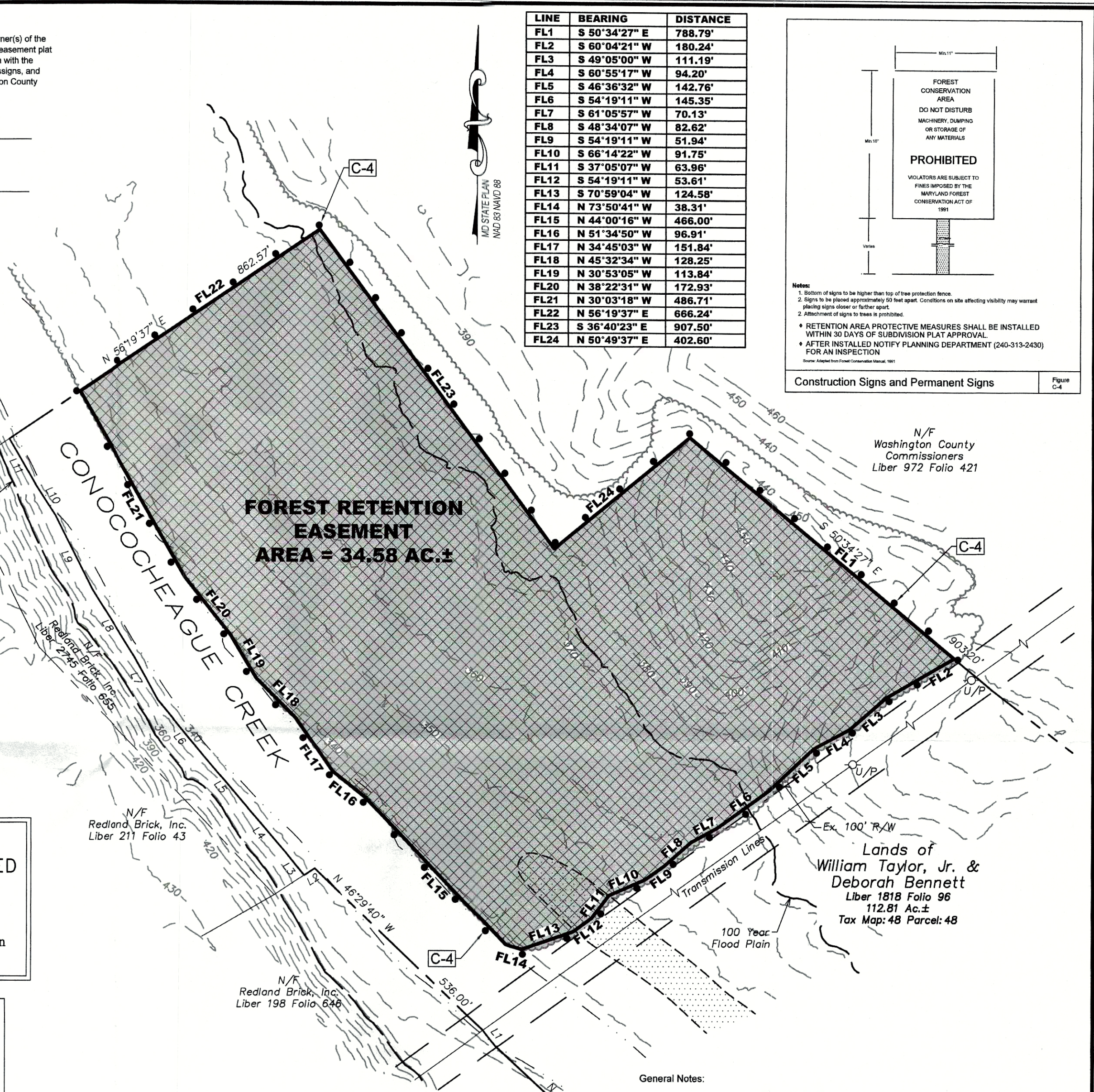
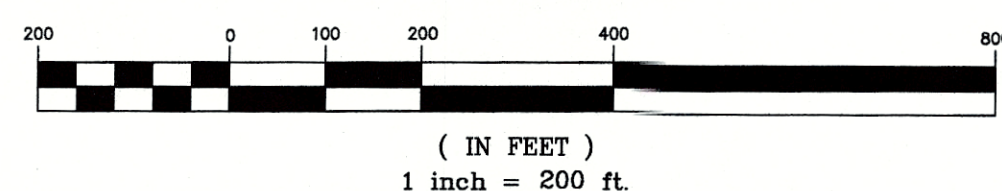
DATE: _____

By: _____
Washington County Planning Commission
Final Approval good for one hundred
eighty (180) days from above date

FORESTATION TABLE:	
Forestation Required per Site Plan for Taylor Farm I, LLC	18.98 Ac.
Wright Road On-site	1.69 Ac.
Remaining Forestation Required	17.29 Ac.
2:1 Ratio Required for Off-site Mitigation	34.58 Ac.
Easement Provided: Honeyfield Road Off-site	34.58 Ac.

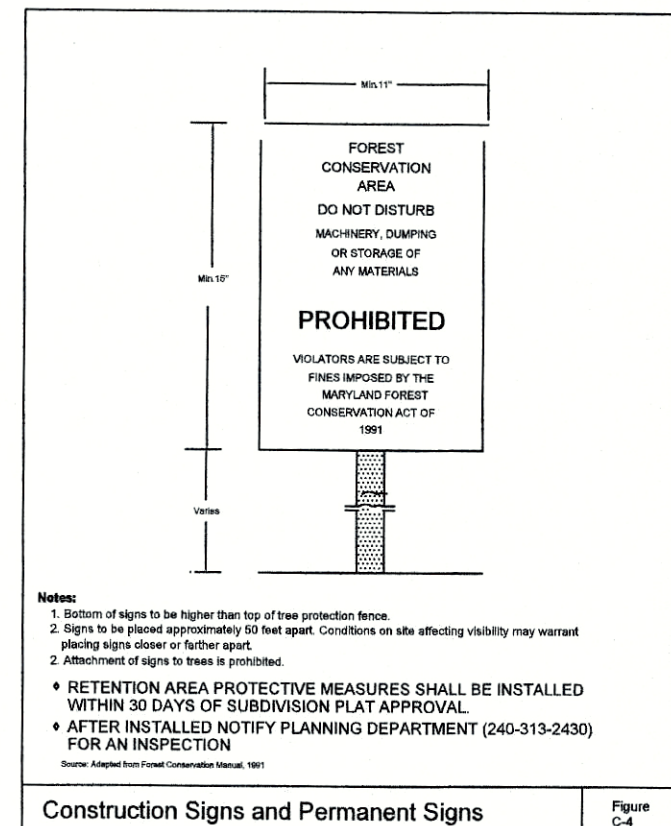


GRAPHIC SCALE



- Notes:
- The Forest Retention Easement shown hereon is an offsite easement to addresses forest mitigation for the Site Plan for Taylor Farm I, LLC, SP-20-012.
 - An additional Forest Retention Easement, as shown on sheet 1, addresses the remaining forestation requirement for the Site Plan for Taylor Farm I, LLC.
 - The access easement, as shown on the Vicinity Map, shall be granted to Washington County for access and inspection of the Forest Retention Easement. Access to the proposed Forest Retention Easement, as shown hereon, shall be on the Lands of Washington County Commissioners (Liber 972 Folio 421) over the existing access road as depicted on the vicinity map above. In the event of this tract ever changes ownership, the access easement shall remain and be included with any future deeds or records recorded within the Land Records of Washington County.
 - An access easement over the adjoining parcel is required since the Lands of William Taylor, Jr. & Deborah Bennett (Liber 1818 Folio 96) is landlocked and has no direct access from a public road.
 - The Forest Retention Area shown on shall be retained according to the approved Forest Conservation Plan and is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Forestation Area shall be limited to forest conservation practices and recreational activities which are consistent with the preservation of the Forestation Area as natural forest land, as stipulated by the same Ordinance.

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FL19	N 30°53'05" W	113.84'
FL20	N 38°22'31" W	172.93'
FL21	N 30°03'18" W	486.71'
FL22	N 56°19'37" E	862.57'
FL23	S 36°40'23" E	907.50'
FL24	N 50°49'37" E	402.60'



General Notes:

Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.

Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.

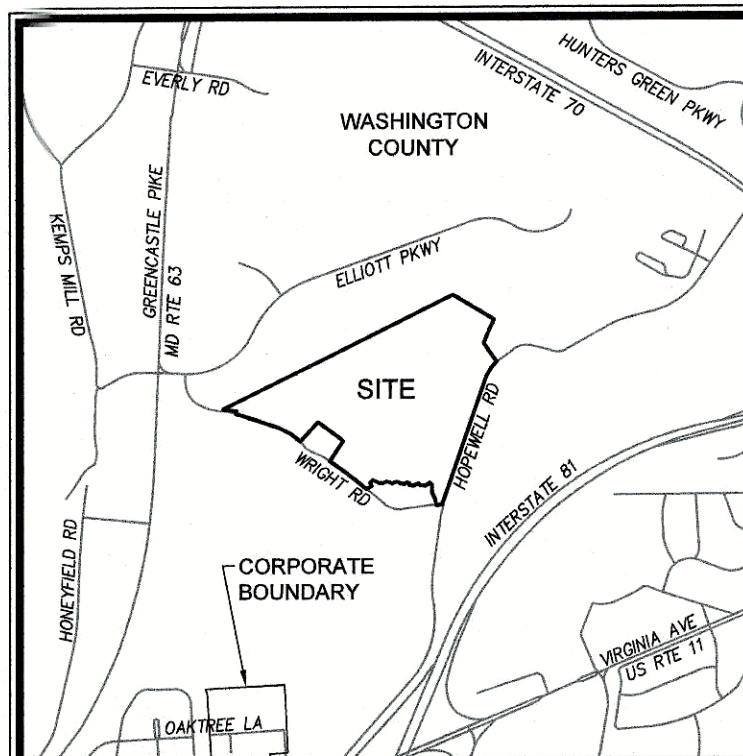
This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.

The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

TAX MAP 48-19-70 DISTRICT 02	
DRAWING NUMBER 2 OF 2	
DRAWN BY: DWH	DATE: 4/3/2020
CHECKED BY:	DATE:
SCALE: 1" = 200'	

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CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS
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(301) 791-3850 (717) 597-1007 (717) 701-8111 FAX (301) 739-4856

Off-site Forest Retention Easement Plat
for the Site Plan of
Taylor Farm I, LLC
situate along the western side of Honeyfield Road and CSX Railroad
between the inside bend of the Conococheague Creek
WASHINGTON COUNTY, MARYLAND



VICINITY MAP SCALE: 1" = 2000'

FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA

A. Total Tract Area..... = 58.00 Ac.
B. Deductions..... = 0.00 Ac.
C. Net Tract Area..... = 58.00 Ac.

LAND USE CATEGORY COM

D. Afforestation Threshold (Net Tract Area x 15%)..... = 8.70 Ac.
E. Conservation Threshold (Net Tract Area x 15%)..... = 8.70 Ac.

EXISTING FOREST COVER

F. Existing Forest Cover within the Net Tract Area..... = 15.02 Ac.
G. Area of Forest Above Conservation Threshold..... = 6.32 Ac.

BREAK EVEN POINT

H. Break Even Point..... = 9.96 Ac.
I. Forest Clearing Permitted Without Mitigation..... = 5.06 Ac.

PROPOSED FOREST CLEARING

J. Total Area of Forest to be Cleared..... = 15.02 Ac.
K. Total Area of Forest to be Retained..... = 0.00 Ac.

PLANTING REQUIREMENTS

L. Reforestation for Clearing Above the Conservation Threshold..... = 1.58 Ac.
M. Reforestation for Clearing Below the Conservation Threshold..... = 17.40 Ac.
N. Credit for Retention above the Conservation Threshold..... = 0.00 Ac.
P. Total Reforestation Required..... = 18.98 Ac.
Q. Total Afforestation Required..... = 0.00 Ac.
R. Total Planting Requirement..... = 18.98 Ac.

or 826,768.8 S.F.

General Notes:

Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.

Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.

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Notes:

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- An additional Forest Retention Easement, as shown on sheet 1, addresses the remaining forestation requirement for the Site Plan for Taylor Farm I, LLC.
- The Forest Retention Area shown on shall be retained according to the approved Forest Conservation Plan and is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Forestation Area shall be limited to forest conservation practices and recreational activities which are consistent with the preservation of the Forestation Area as natural forest land, as stipulated by the same Ordinance.
- This easement plat is part of the forest mitigation for the Site Plan for Taylor Farm, SP-20-012.

FORESTATION TABLE:

Forestation Required per Site Plan for Taylor Farm I, LLC **18.98 Ac.**
Wright Road On-site **1.69 Ac.**
Remaining Forestation Required **17.29 Ac.**
2:1 Ratio Required for Off-site Mitigation **34.58 Ac.**

Easement Provided:
Honeyfield Road Off-site **34.58 Ac.**

Owner:
Taylor Farm I, LLC
72 W. Washington St.
Hagerstown, MD 21740

Certificate of Approval FINAL APPROVAL GRANTED

DATE: _____

By:
Washington County Planning Commission
Final Approval good for one hundred
eighty (180) days from above date

MISC PLAT NO _____ DATE _____ WASHINGTON COUNTY

Proposed forest clearing per Site Plan for
Taylor Farm I, LLC (SP-20-012).

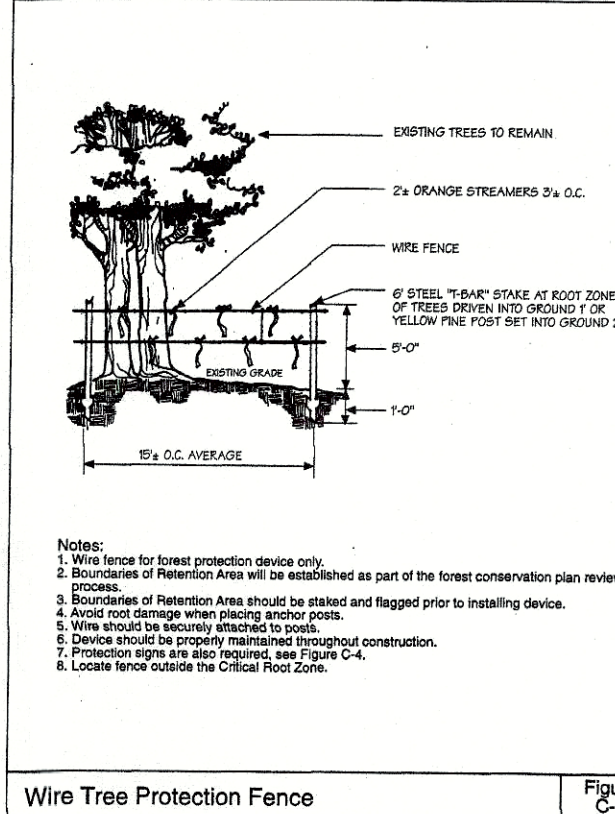
I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

Shannon Stotler

Date

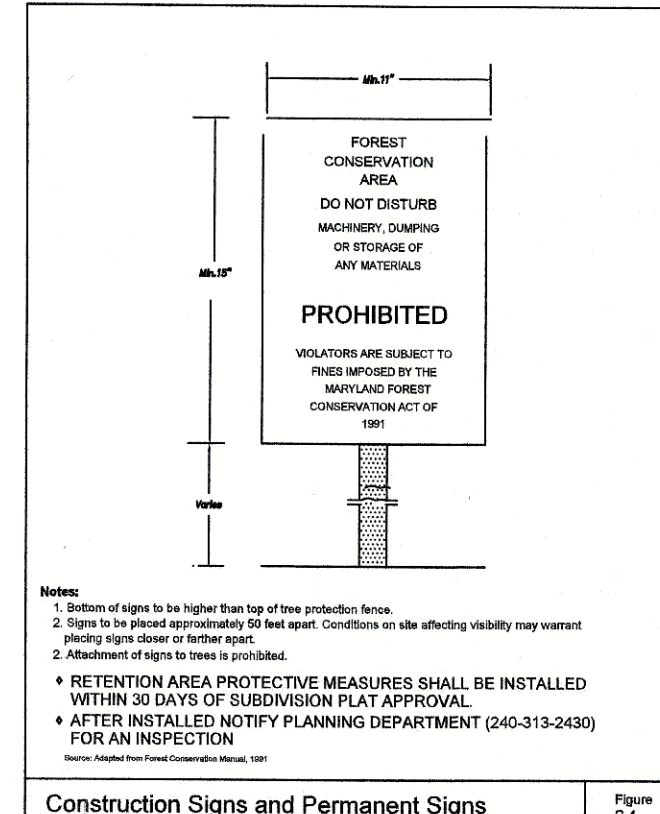
FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- All temporary protection devices and/or permanent devices shall be put into place.
 - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
 - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
 - All temporary fencing shall be in place prior to any grading or land clearing.
 - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
 - Attachment of signs or any other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.



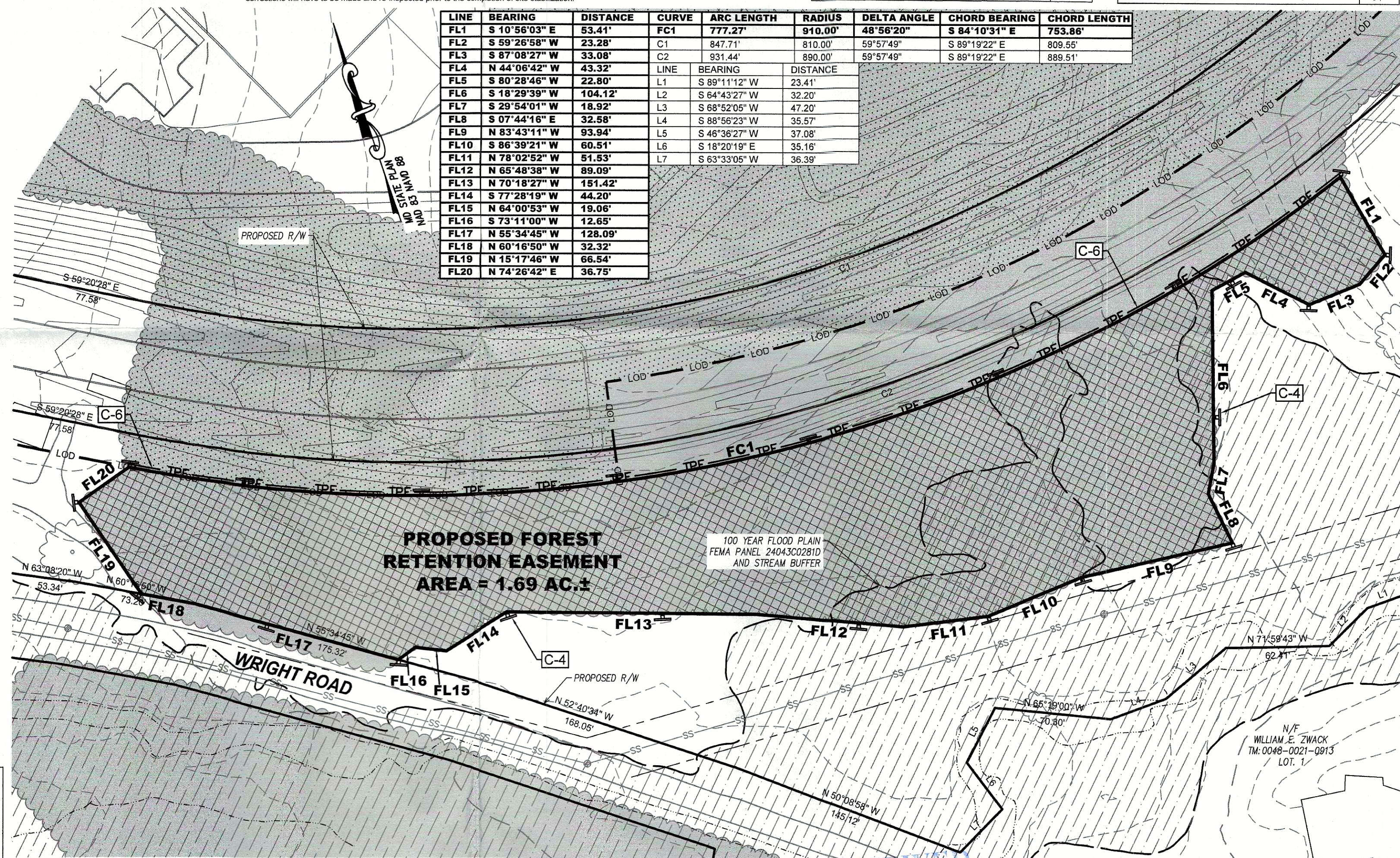
Wire Tree Protection Fence

Figure C-6



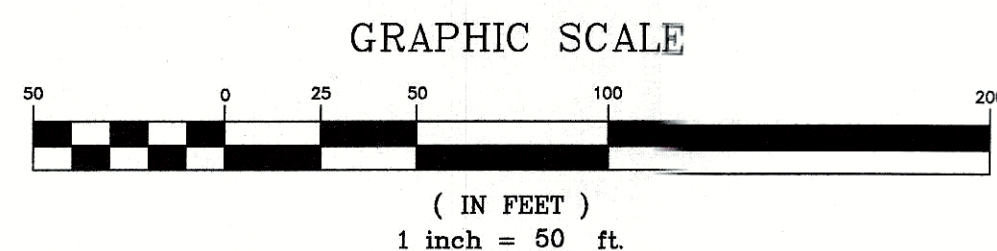
Construction Signs and Permanent Signs

Figure C-4



**PROPOSED FOREST
RETENTION EASEMENT
AREA = 1.69 AC.±**

100 YEAR FLOOD PLAIN
FEMA PANEL 24043C0281D
AND STREAM BUFFER



TAX MAP 48-21-953 DISTRICT 02

DRAWING NUMBER 1 OF 2

DRAWN BY:
DWH

DATE:
4/6/2020

CHECKED BY:

DATE:

SCALE:
1" = 50'

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ASSOCIATES, INC.** © 2020

CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
5201 SPRING ROAD, SUITE 3, SHERMANS DALE, PENNSYLVANIA 17090
(301) 791-3650 (717) 597-1007 (717) 701-8111 FAX (301) 738-4998

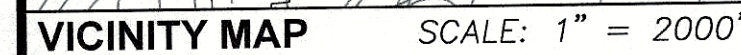
JOB NUMBER: 6657

On-site Forest
Retention Easement Plat

for the Site Plan of

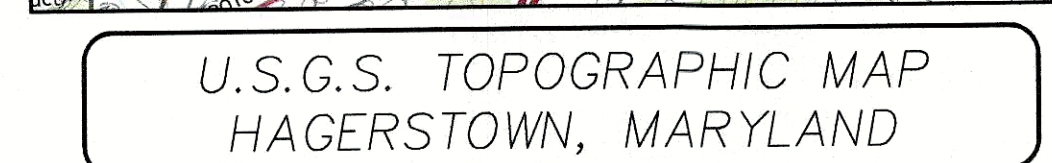
Taylor Farm I, LLC

situate along the southern side of Wright Road
between Hopewell Road and Greencastle Pike MD Route 63
WASHINGTON COUNTY, MARYLAND

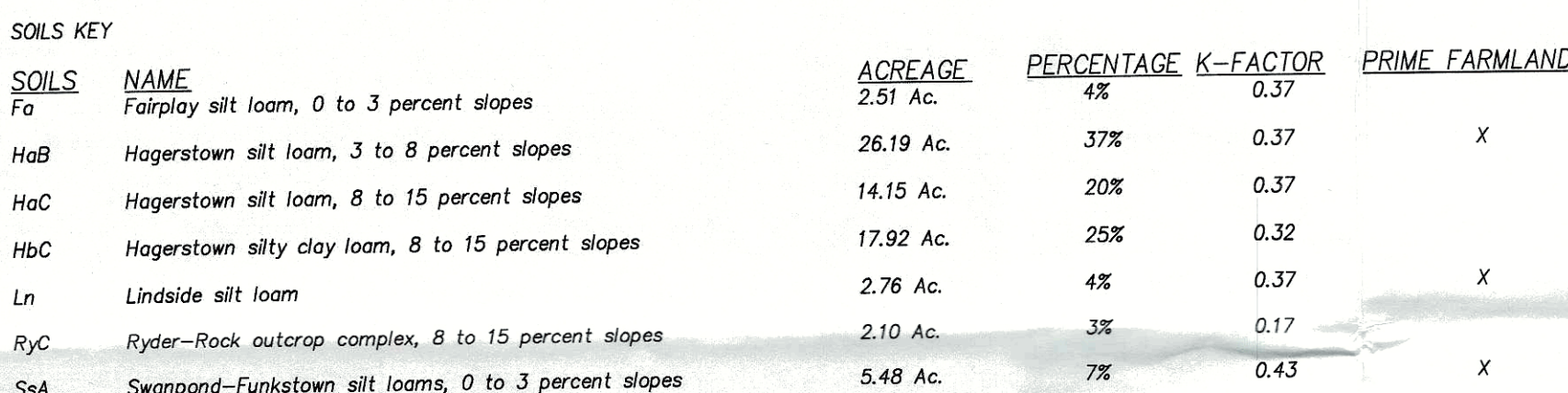
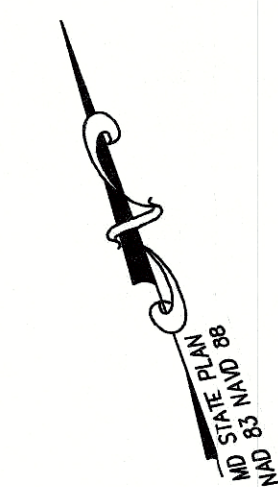


Sh St 3-13-202
Shannon Stotler Date

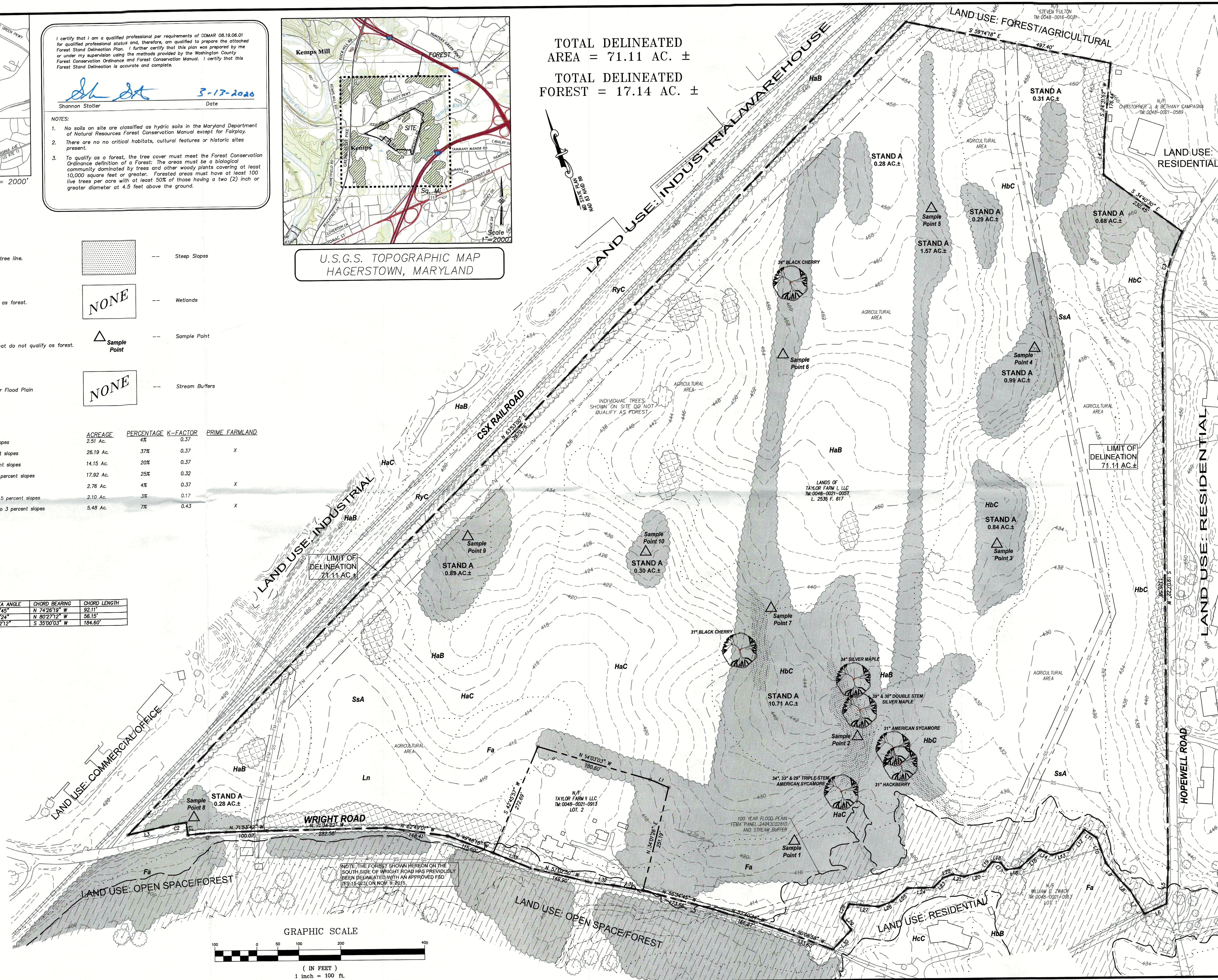
1. No soils on site are classified as hydric soils in the Maryland Department of Natural Resources Forest Conservation Manual except for Fairplay.
2. There are no critical habitats, cultural features or historic sites present.
3. To qualify as a forest, the tree cover must meet the Forest Conservation Ordinance definition of a Forest: The areas must be a biologically diverse community dominated by trees and other woody plants covering at least 10,000 square feet or greater. Forested areas must have at least 100 live trees per acre with at least 50% of those having a two (2) inch or greater diameter at 4.5 feet above the ground.



TOTAL DELINEATED
FOREST = 17.14 AC. \pm



LINE	BEARING	DISTANCE
L1	N 4724°47' W	48.21'
L2	N 82°00' E	30.00'
L3	N 82°56'24" W	85.49'
L4	S 25°43'29" W	88.80'
L5	S 54°54'24" W	106.48'
L6	S 80°05'39" W	57.87'
L7	N 11°32'04" W	64.35'
L8	N 24°42'13" W	35.30'
L9	N 00°08'49" W	52.64'
L10	N 20°00'23" E	63.17'
L11	N 24°42'13" W	35.30'
L12	S 56°45'40" W	59.57'
L13	N 86°58'44" W	43.95'
L14	N 45°42'28" W	30.78'
L15	S 67°24'52" W	64.27'
L16	N 15°43'43" W	104.54'
L17	N 16°55'38" W	20.96'
L18	N 64°17'06" W	20.31'
L19	S 88°56'20" W	27.48'
L20	N 85°34'34" W	51.60'
L21	N 60°18'30" W	30.33'
L22	N 3°12'12" W	64.41'
L23	N 64°33'27" W	32.20'
L24	N 71°59'43" W	62.41'
L25	S 68°52'05" W	47.20'
L26	S 89°56'23" W	35.57'
L27	N 80°00'00" W	70.30'
L28	S 46°39'27" W	37.08'
L29	S 12°20'19" E	35.16'
L30	S 83°33'05" W	63.69'
L31	N 60°16'50" W	71.55'
L32	N 63°02'20" W	54.05'
L33	N 40°01'00" W	56.88'



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ALE, PA 17090
67.3680

[illegible][illegible]

RECEIVED
MAY 15 2020
WASHINGTON COUNTY
ANALYSIS REVIEW DEPARTMENT

PROJECT NO.	
4564.1	
DWN BY	DATE
DWH	2/29/2020
CHK BY	DATE
TAX MAP--GRID--PARCEL	
0048-0021-0057	
SCALE	
1" = 100'	
SHEET TITLE	

FOREST STAND
DELINEATION

C-101
SHEET 1 OF 1

FS-20-005