



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION

December 6, 2021, 7:00 PM
Washington County Administrative Complex
100 WEST WASHINGTON STREET
2ND FLOOR, PUBLIC MEETING ROOM #2000

CALL TO ORDER AND ROLL CALL

MINUTES

1. October 4, 2021 Planning Commission regular meeting minutes * **Discussion/Action**

NEW BUSINESS

MODIFICATIONS

- 1A. **CR Semler LLC – Lot 1R – Charles & Rose Cline Subdivision, Parcels A, B, C, D and 2R [OM-21-007]** – Ordinance modification to allow the creation of a single lot comprised of 3 existing lots to be utilized as a Conservation parcel at 22247 Jefferson Boulevard; Zoning: BL -Business Local and RT - Residential Transition; Planner: Scott Stotemyer * **Discussion/Action**
- 1B. **Forest Conservation Charles Semler** – Proposed Forest Conservation easement candidate for expenditure of Payment-In-Lieu (PIL) funds; property is located on the south side of Jefferson Boulevard approximately .4 miles west of Mapleville Road; Planner: Travis Allen * **Discussion/Action**
2. **Kimberly Sylvester [OM-21-006]** – Modification to panhandle requirements for property located at 13029 Spickler Road; Zoning: A(R) – Agricultural Rural; Planner: Lisa Kelly * **Discussion/Action**

SITE PLANS

1. **Fix N Go Truck Repair [SP-21-003]** – Proposed tractor trailer repair facility located at 16001 Lappans Road; Zoning: HI – Highway Interchange; Planner: Lisa Kelly * **Discussion/Action**

FOREST CONSERVATION

1. **Project Cypress [FP-21-005]** – Request to establish two off-site forest easements to satisfy the 16.60 acre planting requirement for property located at 11901 Greencastle Pike; Zoning: HI – Highway Interchange; Planner: Travis Allen * **Discussion/Action**

OTHER BUSINESS

1. **Update of Staff Approvals** – Rebecca Calimer * **Information/Discussion**
2. **Comprehensive Plan Update** – Comments on Chapter 12 (Agriculture and Forestry), Chapter 13 (Sensitive Areas) and Chapter 14 (Mineral Resources); Planner: Jill Baker **Discussion/Comment**

CLOSED SESSION

To discuss potential candidates to be recommended to the Board of County Commissioners for appointment to the Planning Commission to fill two upcoming vacancies.

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, January 10, 2022, 7:00 p.m. – Washington County Planning Commission regular meeting

****a t t a c h m e n t s***

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

OM-21-007

- Presented is an Ordinance Modification to allow for a forest conservation lot
- The site is located at 22247 Jefferson Blvd., near Smithsburg
- Proposed is an Ordinance Modification of Subdivision Ordinance article 318.1 to allow creation of a single lot comprised of 3 existing lots to be utilized as a Conservation parcel
- All agency approvals received



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: C R Semler LLC - Lot 1R - Charles & Rose Cline Subdivision Par A,B,C,D & 2R
NUMBER.....: OM-21-007

OWNER.....: CR SEMLER LLC
LOCATION.....: 22247 JEFFERSON Boulev
SMITHSBURG, MD 21783

DESCRIPTION.....: Ordinance Modification to allow creation of a single lot comprised of 3 existing
lots to be utilized as a Conservation Parcel

ZONING.....: BL; RT Refer to Map
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 07002696
PLANNING SECTOR.....: 4
ELECTION DISTRICT.....: 07

TYPE.....:
GROSS ACRES.....: 6
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Scott A Stotelmyer
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: October 15, 2021

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: IV069
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Old Forge	Smithsburg	Smithsburg
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: SMITHSBURG
AMBULANCE DISTRICT.....: SMITHSBURG

WATER & SEWER INFORMATION

WATER

SEWER



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	3-Programmed Service	5-Long Term Planned Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Smithsburg

APPLICANT

TELEPHONE _____
(home) (work) (cell)

TELEPHONE _____
 (home) (work) (cell)

TELEPHONE _____

ZONING DISTRICT RT ROAD FRONTAGE(FT) 396 ft

[illegible]

LOCATION / ADDRESS

22247 Jefferson Blvd, Smithsburg, MD which is located along the south side of MD 64 across from Old Georgetown Rd

EXISTING AND PROPOSED USE OF PROPERTY Floodplain and Farm Field existing. Proposed conservation parcel to be used by the Washington County Soil Conservation District to plant forest with funds allocated from the Forest Conservation Payment in Lieu fund. An easement preventing development will also be placed in the deed of conveyance to remain in the chain of title.

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER NO

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 318.1

MODIFICATION IS TO ALLOW Creation of a single lot that is comprised of 3 existing lots/parcels that will utilized as a Conservation Parcel.

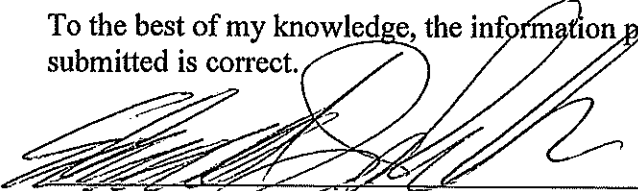
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

If made to create this Ag or Conservation parcel by way of a Preliminary-Final Plat the Washington County Health Department would require an approved well and septic prior to approval. The expense of those items could easily total \$20,000. Since the majority of the parcel is 100 year floodplain it is highly likely the land would not perc.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.


Applicant's Signature
10/12/2021
Date
AGENT FOR OWNER/APPLICANT

Property Owner's Signature

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

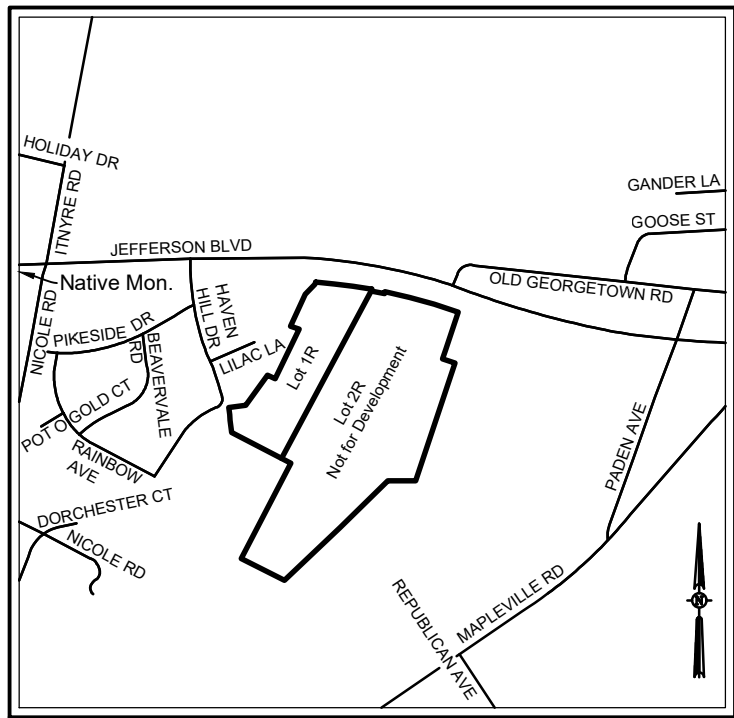
NUMBER: _____

MEETING DATE: _____

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00. Make check payable to: Washington County Treasurer. Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. dimensions & shape of proposed lot with acreage;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. size & location of existing and/or future structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. existing/proposed roadways and associated access right of way or easements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. existing/proposed entrance/exit to property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. natural or topographic peculiarities of the lot in question.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.



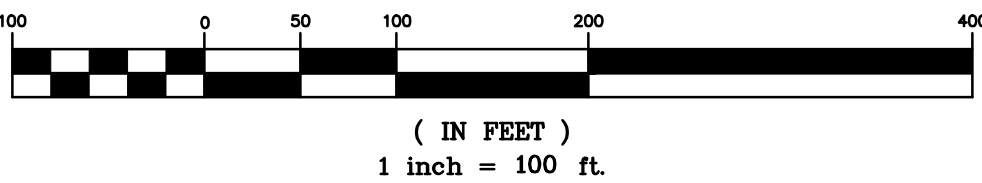
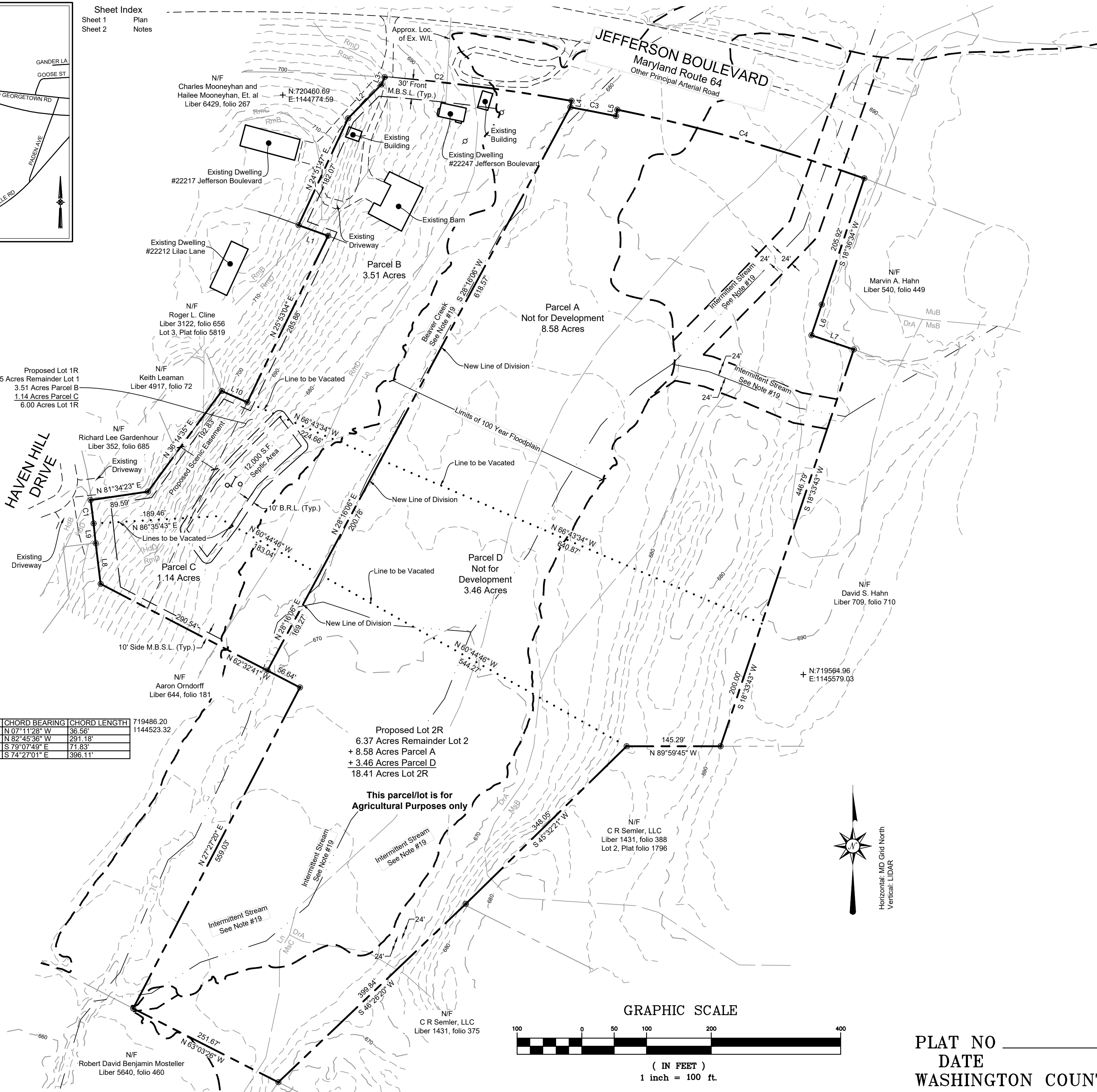
VICINITY MAP
SCALE 1"=1000'

Sheet 1	Plan
Sheet 2	Notes

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	850.00'	36.56'	2°27'52"	N 07°11'28" W	36.56'
C2	2867.95'	291.31'	5°49'11"	N 62°45'36" W	291.18'
C3	2867.95'	71.83'	1°26'24"	S 73°07'49" E	71.83'
C4	2867.95'	396.43'	7°55'11"	S 74°27'01" E	396.11'


LINE	BEARING	DISTANCE
L1	N 70°00'59" W	48.45'
L2	N 44°35'54" E	73.43'
L3	N 23°10'38" E	12.32'
L4	S 10°08'59" W	10.00'
L5	N 11°35'23" E	10.00'
L6	S 18°36'34" W	50.00'
L7	S 71°26'19" E	69.10'
L8	N 06°56'12" W	63.38'
L9	N 05°57'32" W	30.57'
L10	S 66°04'46" E	43.18'

Owner:
CR Semler, LLC
C/O Charlie Semler
11664 Mapleville Road
Smithsburg MD 21783



PLAT NO _____
DATE _____
WASHINGTON COUNTY

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland, License # 10731.
Expiration Date 1/16/2022



FREDERICK, SEIBERT & ASSOCIATES, INC.
© 2021
fse-inc.com

5307 SPRING ROAD
SHERMAN DALE, PA 17090
717.567.3680

505 SOUTH HANOVER STREET
CARLISLE, PA 17013
717.791.8111

20 WEST BALTIMORE STREET
GREENCASTLE, PA 17225
717.597.1007

128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3500

Reallocation of Lots 1 and 2
of
Charles and Rose Cline Subdivision
to become
Lots 1R
and
Simplified Plat of Subdivision of Parcel A, B, C, D, & 2R
for
CR Semler, LLC
Situate along the south side of Jefferson Boulevard (Maryland Route 64) and
the east side of Haven Hill Drive
WASHINGTON COUNTY, MARYLAND

PROJECT NO.	7707
DWN BY	BMD/LEJ
DATE	8.2.2021
PROJECT MANAGER	EJS
EMAIL	ESchreiber@fse-inc.com
51-5-96/644	
SCALE	1" = 100'
SHEET TITLE	

SUBDIVISION
PLAN

P:\SHARED FILES\6569\PROJECTS\2017\DWG\7707 3.60\DWG\2021\DWG 11/16/2021

SENSITIVE AREA NOTICE
The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

Soil Table		
Soil	Area (Ac.)	%
DrA	6.1	24.8
HdD	0.3	1.1
Ln	10.4	42.7
MsB	3.4	14.0
MsC	0.6	2.3
RmB	<0.1	0.1
RmC	0.2	1.0
RmD	3.4	14.0

Real Estate Transfer Declaration of Intent (Parcel B)
Account # 07-002696 District 07 Map 51 Grid 5 Parcel 96
Name(s): C R Semler, LLC
Location: 22247 Jefferson Boulevard, Smithsburg, Maryland
Current Deed Reference(s): Liber 6501 Folio 6
I (We), C R Semler, LLC, the Owner(s) of the real property located at the aforesaid address and described in the above referenced deed(s) hereby declare my (our) intention to invoke the real estate transfer exemption for the above property, in accordance with the provisions of the Washington County Forest Conservation Program and COMAR 08.19.01.04, for a period of at least five (5) consecutive full taxable years following this date.
This declaration grants an exemption for a real estate transfer to provide a security, leasehold or other legal or equitable interest, including a transfer of title, of a portion of a lot or parcel based on the Washington County Forest Conservation Program. If the Owner makes application for an activity regulated under the Forest Conservation Program, clears more than 20,000 square feet of forest, or violates the requirements of a previous Forest Conservation Plan on all or part of the parcel within the five (5) year period, Washington County may require the owner to meet the forest conservation threshold established in the Forest Conservation Program and COMAR 08.19.03, and may also assess a noncompliance fee for forested areas cut in violation of this exemption.
I (We) declare, under the penalties of law, that this declaration, including any accompanying forms and statements, has been examined by me (us) and the information contained herein, to the best of my (our) knowledge, information, and belief, is true, correct and complete.

Signature(s): _____
Owner: C R Semler, LLC (Seal)

Dedication for Individuals
I/we do hereby certify, for ourselves and our personal representatives, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby adopt the plan of subdivision shown hereon, hereby establish the minimum building restriction lines shown hereon, hereby dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, hereby agree to keep open all spaces and recreation areas shown hereon and hereby agree that said dedication shall not impose and responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and I/we hereby reserve the fee simple title to the land underlying said easements, rights of way, open spaces and recreation areas and with regard to said easements and rights of way, hereby agree to convey the same to said Board for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board.
This deed and agreement of dedication shall be binding upon my/our grantees, assigns, successors, heirs, and personal representatives.
There are no suits, actions at law, leases, liens, mortgages, trusts, easements, or rights of way affecting the property included on this plan of subdivision except the following:
and all parties having an interest therein have here unto affixed their signatures, indicating their assent to this plan of subdivision.
I/We do hereby assent to this plan of subdivision.

Owner's Statement (Parcels A and D)
Application is hereby made for approval of the indicated transfer of land for enlargement purposes only and not for development except as indicated hereon. Any development of this land other than for permitted accessory uses or any future separation of the parcels combined hereon will be submitted in the regular manner for approval in accordance with the provision of the existing Washington County Subdivision Ordinance.

Witness our hands and seals this 20 day of SEPTEMBER, 2021.

Chris R Semler, LLC (Seal)
Edward Schreiber (Seal)
Witness _____

Interim Facilities Provision Certification
In compliance with C.O.M.A.R. 26.03.01.05 B.(1) and (2), the individual water supply and individual sewer systems are hereby permitted on a temporary interim basis. Future lot owners are advised that the individual systems serving the lot(s) indicated on this plat are of a temporary interim nature and that connection to a future community system shall be made within one (1) year or less after the system become available.

Chris R Semler, LLC (Seal)
Owner: C R Semler, LLC

Certificate of Approval of Individual Water Supply and Individual Sewage System
I hereby certify that the minimum ownership area complies with the minimum width and minimum area requirements specified in C.O.M.A.R. 26.04.03.03. Such minimum ownership shall remain equal to the minimum width and minimum area set forth in C.O.M.A.R. 26.04.03.A (2) until community sewerage and water have been made available. Not more than one principle building may be erected or constructed on a lot or lots contained in the minimum ownership areas established by C.O.M.A.R. 26.04.03.A (2) until community sewerage has been made available.

Date: _____ County Health Officer

Land Surveyor's Certification
I hereby certify that the plan shown hereon is correct; that it is a subdivision of part of the lands conveyed by Roger L. Cline, to C R Semler, LLC, by deed dated December 21, 2020, and recorded in the Land Records of Washington County, Maryland in Liber No. 6481, folio 285, and of part of the lands conveyed by Roger L. Cline, to C R Semler, LLC, by deed dated January 20, 2021, and recorded in the Land Records of Washington County, Maryland in Liber No. 6501, folio 6; and that stones marked C and/or bars marked O have been placed as indicated.
I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the Laws of the State of Maryland, License No. LS-10731 Expiration Date 1/16/2022.

Date: Sept. 21, 2021
Professional Land Surveyor

General Notes
1. 12,000 square feet is hereby reserved for sewage disposal. No permanent physical objects are permitted in this area.
2. There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and utilities easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
3. Bearings, distances and coordinates are based on MD Grid NAD83.
4. Soil types are as shown hereon.
5. Minimum Building Setbacks: front yard-30'; side yard-10'; rear yard-40'. Minimum Building Setback Lines are based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory Structures are not permitted without the placement of the principal permitted structure. Zoned RT - Residential, Transition.
6. Total upstream watershed affecting this subdivision: is less than 400 Acres.
7. A portion of this parcel does lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24043C0165D, dated August 15, 2017, Flood Zone A.
8. Contours based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc.
9. There are no steep slopes and other related buffers, or habitat of threatened or endangered species as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (C&D) of the Washington County Zoning Ordinance. This subdivision is not within 1000' of the Appalachian Trail.
10. No other wells or septic lie within 100 feet of the Lot Lines.
11. All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
12. No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement, either shown or described, on the Final Plat of Subdivision.
13. This plat has been reviewed and approved per the RT Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
14. This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on this property.
15. Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
16. As to Parcels A and D, no development shall mean that building or zoning permits, including residential, will not be issued until such a time as a development plat is submitted in accordance with the provision of all applicable ordinances and approved by the Washington County Planning Commission.
17. As to Parcels A and D, accessory structures would be permitted in accordance with Section 318.1 of the Washington County Subdivision Ordinance.
18. The purpose of this plat is to reconfigure Lots 1, 2, and the Remaining Lands of the Charles R. & Rose M. Cline Subdivision (Plat folio 3646).
19. Beaver Creek is subject to 24' buffers based on <6% slopes. The stream buffers are greater than required due to the 100 year floodplain. The intermittent streams shown hereon have drainage areas of greater than 100 acres and do meet the requirements for a stream buffer set forth in the Washington County Subdivision Ordinance. They are subject to 24' buffers based on <6% slopes. In certain areas, the stream buffers are greater than required due to the 100 year floodplain.

Certificate of Approval (Parcels A, D and 2R)
FINAL APPROVAL GRANTED

DATE: _____

By: _____

Washington County Planning Commission
Final Approval good for one hundred eighty (180) days from the above date

Approved as a division of land not for development with the stipulation that the foregoing Owner's Statement be made a part of the deed conveyance

Certificate of Approval (Lot 1R)
FINAL APPROVAL GRANTED

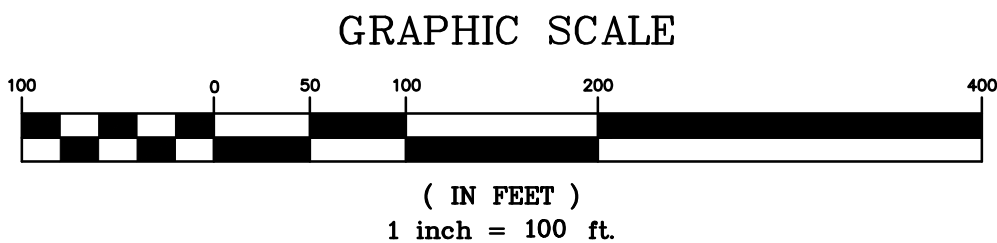
DATE: _____

By: _____

Washington County Planning Commission
Final Approval good for one hundred eighty (180) days from the above date

PLAT NO _____
DATE _____
WASHINGTON COUNTY

Owner:
CR Semler, LLC
C/O Charlie Semler
11664 Mapleville Road
Smithsburg MD 21783



STATE OF MARYLAND
FREDERICK MARK FREDERICK
PROFESSIONAL LAND SURVEYOR
LS 10731
REGISTERED

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland, License # 10731.
Expiration Date 1/16/2022

FSA
FREDERICK, SEIBERT & ASSOCIATES, INC.
© 2021

5301 SPRING ROAD
SHERMAN DALE PA 17090
717.597.3680

505 SOUTH HANOVER STREET
CARLISLE PA 17013
717.701.8111

20 WEST BALTIMORE STREET
GREENCASTLE PA 17225
717.597.1007

128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3500

Reallotment of Lots 1 and 2
of
Charles and Rose Cline Subdivision
to become
Lots 1R
and
Simplified Plat of Subdivision of Parcel A, B, C, D, & 2R
for
CR Semler, LLC
Situate along the south side of Jefferson Boulevard (Maryland Route 64) and the east side of Haven Hill Drive
WASHINGTON COUNTY, MARYLAND

PROJECT NO.	
7707	
DWN BY	DATE
BMD/LEJ	8.2.2021
PROJECT MANAGER	EMAIL
EJS	ESchreiber@fsa-inc.com
07-002696/07-028636/07-028644	
51-5-96/644	
SCALE	
1" = 100'	
SHEET TITLE	

SUBDIVISION
NOTES

SHEET 02 OF 02



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission
FROM: Travis Allen, Comprehensive Planner
DATE: December 6, 2021
RE: Easement Candidate for Expenditure of Payment In Lieu (PIL) Funds

Attached you will find supporting documentation from the Washington County Soil Conservation District (SCD) and Maryland Forest Service (MFS) about a candidate for the expenditure of PIL funds. PIL funds are collected in a dedicated account managed by the County from development projects that cannot meet their forest mitigation requirements through other options outlined in Article 10.1 of the County's Forest Conservation Ordinance. The SCD works to expend these accrued funds by engaging willing landowners to create permanent forest easements on their property.

Enclosed for your review of the easement candidate is an informational packet compiled by the SCD. It includes maps of the areas proposed for planting and retention, a forest stewardship plan prepared by the MFS which describes recommended sustainable forestry practices for these lands which meet landowner objectives, project ranking sheets, and a cost breakdown of the project to be deducted from available funds.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Comprehensive Planner
(240) 313-2432
tallen@washco-md.net



WASHINGTON COUNTY SOIL CONSERVATION DISTRICT

1260 Maryland Avenue, Suite 101 • Hagerstown, MD 21740

(301)797-6821, Ext. 3

facebook.com/wcscd

www.conservationplace.com

TO: Jill Baker, Director
Travis Allen, Comprehensive Planner
Department of Planning and Zoning

FROM: Elmer D. Weibley, CPESC, District Manager
Dee Price, CESSWI, CSI, Assistant Manager

DATE: November 15, 2021

SUBJECT: FCA Candidate

A handwritten signature in blue ink, appearing to be "EDW", is written over the "FROM:" line of the letter.

We have attached information regarding a landowner, who have expressed interest in moving forward with creating Forest Conservation Easements, on his property. Both parcels were evaluated and scored using the adopted ranking criteria for planting and existing forested sites.

We have provided the information below for each site, as well as, a summary spreadsheet with our cost estimates and ranking scores:

1. Map of subject property
2. Descriptive paragraph/planting plan for each property prepared by the DNR County Forester, Aaron Cook
3. Project Ranking Sheet

We hope to present this project in conjunction with Frederick, Seibert & Associates, Inc. (FSA's) plat presentation (SI-21-020) for these parcels. Please see the attached email to Scott Stotemyer for further clarification.

We look forward to presenting this candidate for consideration at the December Planning Commission Meeting and will be happy to answer any questions and provide any further information prior to and/or at that time.

Please contact our office at 301-797-6821, Ext. 3 if you have any questions.

District Board of Supervisors

Harry E. Strite
Chair

J.D. Rinehart
Vice Chair

J. Scott Shank, III
Treasurer

Janet Stiles Fulton
Supervisor

Edward C. Wurmb, D.V.M.
Supervisor

Boyd Michael
Associate

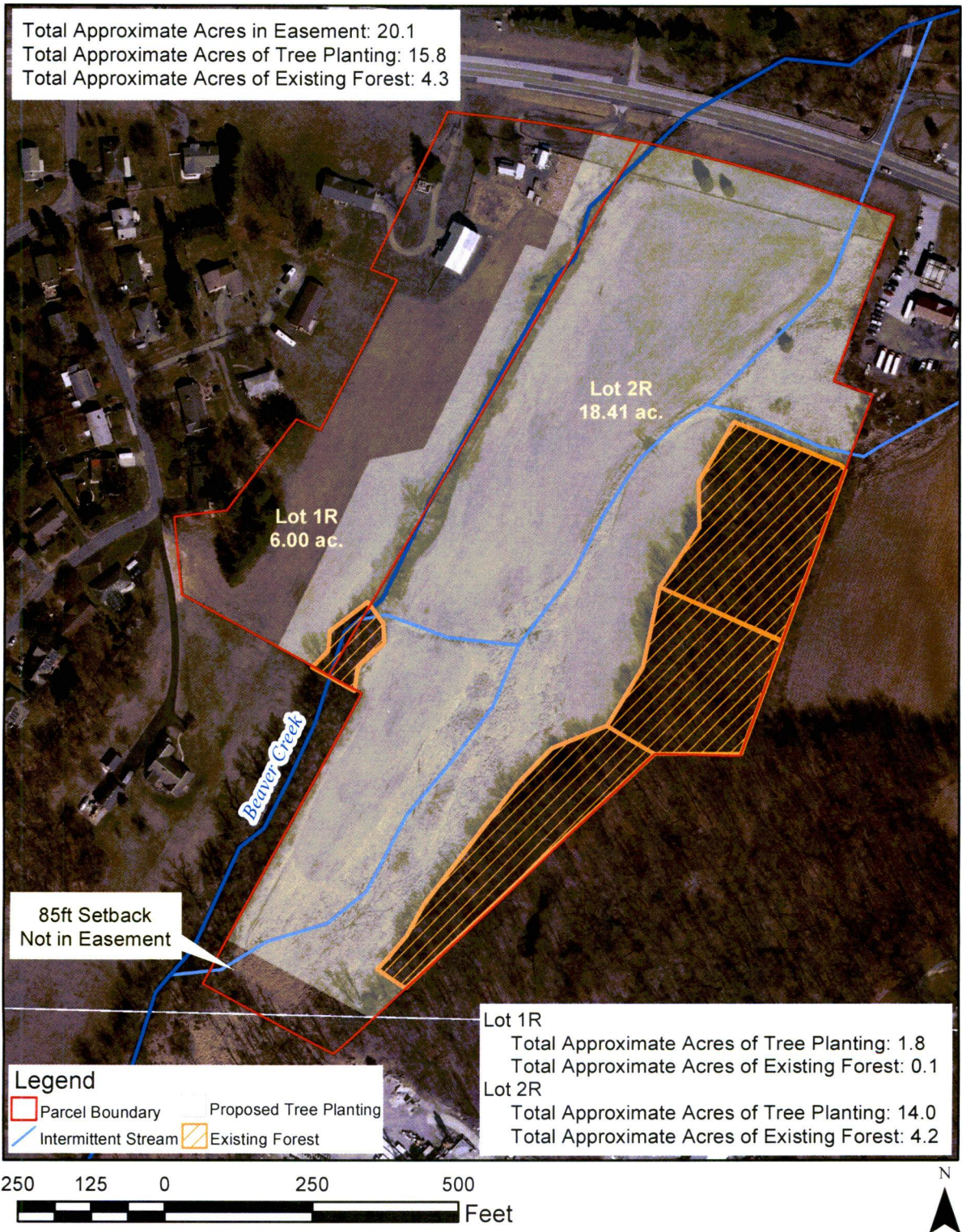
J. Tyler Harp
Associate

Kirk E. Winders
Associate

Proposed Forest Conservation Easement

Client(s): Charles Semler

Total Acres: 24.41 ac.



FOREST STEWARDSHIP PLAN
Forest Planting Plan

For

CR Semler, LLC
c/o Charlie Semler
11664 Mapleville Road
Smithsburg, MD 21783

Location

Jefferson Boulevard, Smithsburg, MD 21783
On the south side of Jefferson Boulevard, approximately 0.4 miles west of Mapleville Road.

Geographic Coordinates

Latitude – 39° 38' 30"
Longitude – -77° 35' 41"

Tax Record

Map – 51
Parcel – 1R

Maryland Eight Digit Watershed

Antietam Creek – 02140502

In

Washington County

On

1.8 acres of tree planting
0.1 acres of existing forest

Prepared by

Aaron M. Cook, Forester
Maryland Forest Service
14038 Blairs Valley Road, Clear Spring, MD 21722
301 – 791 – 4733
aaron.cook@maryland.gov





Legend

- Property Boundary
- Planting Area
- 1 Stand Number
- Road
- Stream
- Intermittent Stream
- FORI

330 165 0 330 660 Feet

This map is for planning purposes only.
This map is not a boundary survey.



Tree Planting Map
for
CR Semler c/o C. Semler
Acres: 1.8
County: Washington
Scale: 1" = 330'
Prepared by: A. Cook
October 2021



PROPERTY DESCRIPTION AND LANDOWNER OBJECTIVE

PROPERTY DESCRIPTION

The site is located on the south side of Jefferson Boulevard, approximately 0.4 miles west of Mapleville Road, in northeastern Washington County. A mixture of agriculture and residential uses dominate the area. Topography is primarily level within the area to be planted. The area to be planted is comprised of one field, adjacent to Beaver Creek.

The site consists of two soil types, Lindside silt loam occupies the majority of the floodplain area, while Ryder-Duffield channery silt loams underlie the more upland edges of the planting area. Lindside soils are very deep and moderately well drained. These soils formed from weathered limestone on adjacent uplands that has been deposited by floodwaters over time. Ryder-Duffield soils are moderately deep and well drained. These soils are derived from weathered from calcareous shale and limestone and are common on uplands in the Hagerstown Valley. Both of these soil types are considered to be of excellent productivity with limitations to productivity caused by flooding in lower areas.

LANDOWNER OBJECTIVES

The Washington County Soil Conservation District, potential easement holder for the conservation area, desires to plant trees in the delineated planting site to establish riparian forest buffer along Beaver Creek. Additionally, these planted trees will enhance wildlife habitat benefits, future forest growth potential, and soil and water quality. These plantings will be accomplished under the program guidelines of the Washington County Forest Resource Ordinance.

FORESTS OF RECOGNIZED IMPORTANCE

This property was checked for the presence of Forests of Recognized Importance (FORI) as part of the Forest Stewardship Planning process. FORI are areas of woodland that have been identified at a larger landscape level which contain exceptional, social, cultural or biological resource values. In Maryland, FORI have been defined as those streamside woodland areas (also known as riparian woodland areas) which are of special importance to protecting the water quality of the Chesapeake Bay. Specifically, these important riparian woodland areas are identified using specific data sets from the Maryland Biological Stream Survey, the Maryland Department of the Environment, and the Maryland Fisheries Services. Collectively, the woodland areas adjacent to these high-quality stream areas – that is, within a 100-foot stream buffer area – are defined as Forests of Recognized Importance. Your woodland was checked for the presence of FORI as part of the Forest Stewardship Planning process and a FORI area was identified in your woodland. The FORI is identified on the map included with this plan. When planning any forest management activities within this FORI area, you should work with a professional forester to ensure that the planned forest management activity does not harm or diminish the high-quality stream resource that designates this as a FORI.

CULTURAL AND HISTORIC RESOURCES

The property was checked for cultural and historic resources as part of the Forest Stewardship Planning process using data provided by the Maryland Historic Trust (MHT), and no resources were noted as being located on the property.

RARE, THREATENED, AND ENDANGERED SPECIES

Based on nontidal wetland maps; rare, threatened and endangered species guidance maps, and a review of the State Natural Heritage database; no threatened or endangered species are found on the property.

SPECIAL SITES

Special sites are those areas in a woodland that offer unique historical, archeological, cultural, geological, biological or ecological value. From this definition, it can be noted that special sites include a wide variety of features. Based on a review of the relevant information available, no special sites were noted as being present on your property.

DEFINITION OF TERMS

STAND: A basic forest management unit. A grouping of trees which are uniform in species composition, age arrangement, and condition, and are distinguishable.

DOMINANT SPECIES: Those tree species which dominate the stand.

DEVELOPMENT STAGE: The size class of the trees which are predominant in the stand.

These classes include:

Seedling - Up to 0.9" in caliper (Diameter measured 6" above ground level)

Sapling - 1" to 5.9" DBH (Diameter measured 4 ½ feet above ground level)

Pole - 6" to 10.9" DBH

Sawtimber - 11" DBH and larger

AGE: A system of classifying stands based on the arrangement of the ages of the trees in the stand.

Even-aged - Trees have relatively small differences in age. (80% of the trees are no more than 10-20 years different in age.)

Uneven-aged - Three or more age classes of trees represented.

Two-aged - Two distinct age classes of trees present. (Twenty or more years different in age.)

All-aged - All, or almost all, age classes of trees represented.

STOCKING: The number of trees growing in a stand.

High - too many trees, diameter growth rate is below normal.

Adequate - an optimum number of trees which have sufficient room to grow at an acceptable rate.

Low - an insufficient number of trees; the stand is not producing at full potential.

DESIRABLE - UNDESIRABLE: The percentage of desirable or undesirable trees. Desirability of a tree is based on the form of the tree (straight, crooked), species depending on the owner's objective, local markets, and the presence of disease or insects.

SITE GROWTH POTENTIAL: The inherent capacity of the site, which is made up of soil, moisture, topography and other environmental factors for tree growth. This is expressed in the terms: excellent, good, average, fair, poor. It is based on site index which is a standard based on the height a dominant tree reaches at age 50.

RECOMMENDATIONS: The practices which you as a landowner should follow to obtain your management objectives. Specific descriptions are included with the report.

BASAL AREA: A measure of density of stocking. It is the area of the cross-section of tree stems including bark at breast height, measured in square feet.

RESIDUAL STAND: The stand remaining after a partial harvest, such as a thinning or other treatment.

MAST: Collective name for fruits, nuts, and seeds produced by trees and shrubs. Mast can be hard or soft, e.g., acorns and hickory nuts vs. black cherries and dogwood berries

RECOMMENDATIONS/PRACTICES

STAND 1

This stand, 1.8 acres, encompasses the entire area to be planted on the property. This area has been maintained as a hay field. Site preparation does not need to be performed here to make the area ready for planting and to facilitate early seedling growth. For optimum seedling survival, planting should occur between March 1 and April 15.

The planting will consist of a minimum of at least three large growing tree species and two shrub/ small tree species suited to the growing conditions of the site. All tree species are to be planted at a rate of 435 seedlings per acre, equivalent to a 10' x 10' spacing. Upland small flowering trees should be planted along the upland edges of the planting area for added visual softening and increased wildlife value, while wet site shrubs should be planted in the first row adjacent to Beaver Creek. Upland oaks should be planted amongst the upland small flowering trees, while remaining large growing trees should be planted in rows in the remaining open areas. Large growing deciduous tree species suitable for this planting include red maple, hackberry, black walnut, yellow-poplar, sycamore, white oak, black cherry, swamp white oak, and black oak. Finally, suitable small tree species include eastern redbud, hawthorn, persimmon, Chickasaw plum, silky dogwood, and blackhaw. A recommended list of tree and shrub species suitable to the site has been included in the packet.

The planting in this stand will consist of approximately 450 large growing deciduous trees and 200 deciduous small trees. Only native species will be planted here. Five-foot tree shelters, with protective bird mesh, are recommended to be placed over all planted deciduous tree seedlings. Please refer to the enclosed information on tree shelter use. This stand will require 650 tree shelters and stakes total.

Existing Invasive Woody Vegetation

Unfortunately, the existing areas of forest along Beaver Creek also support nonnative invasive plants such as ailanthus, or tree-of-heaven, multiflora rose, and callery pear. Many of these plants are aggressive invaders which can readily dominate a site at the expense of more desirable native vegetation, arresting the normal process of forest succession. Small concentrations of multiflora rose are present in the understory. Ailanthus and callery pear were less common, being mostly observed along the northern boundary of the property and the levee of Beaver Creek.

Ailanthus and callery pear are nonnative trees which thrive on disturbance and grows faster than most native trees if provided openings. Worse yet, ailanthus is allelopathic. This term describes the tree's ability to produce toxins in the soil around the tree, preventing other plants from growing and competing with the tree. It is important to note that in the case of Ailanthus, simply cutting the trees down creates a "hydra" effect in that the cut tree will produce hundreds of root suckers, each

capable of becoming as big or bigger than the original tree thus compounding the original problem. To address this problem, herbicide application by basal bark method is usually done on established tree-of-heaven and callery pear trees from early summer (late June) until October, with a follow up foliar spray applied in the following summer to ensure that any root suckers of the tree-of-heaven are killed. The basal bark method involves applying a systemic herbicide (Pathfinder II) to the bark of the tree. This herbicide translocates through the bark and into the root system of the tree, killing it. Good control can also be achieved using the basal bark method in mid-winter months when it is easier to access the main stem of the tree. This control will also need to continue in the future on an as needed basis as more Ailanthus trees regenerate from seed.

Multiflora rose is a non-native plant that invades abandoned farmland and woodlots. This climbing shrub can pull down and choke out native plants, offering little benefit to wildlife. Chemical control using a targeted application of a nonselective herbicide foliar spray is effective at controlling this invasive plant. Information regarding control of these plants has been included.

Continuous Management and Maintenance

In order to help ensure adequate levels of plantation survival and growth, maintenance of the practice will be necessary until the trees are considered established. This includes control of competing vegetation, monitoring and limiting the spread of invasive species, monitoring for insects and disease, and maintenance of tree shelters.

Competing vegetation to all new tree seedlings will need to be controlled for three to five years after planting. In the first year of planting, a strip application, or a spot spray application of both a nonselective and preemergent herbicide will need to be applied along each planting row approximately one month after planting. Thereafter, herbaceous competition control can be accomplished by monthly strip mowing between the rows during the growing season; by spring strip herbicide applications between rows followed by mowing in late August through October; or by 3' minimum width strip spraying or 2' minimum radial spot spraying within the planted rows coupled with mowing between the planted rows in the late spring and late summer. Where herbicides are used, all seedlings must be protected by either tree shelters or some other physical barrier so as to prevent damage to them. In addition to vegetation control around the planted trees, vole predation should be monitored, and rodenticide applied if damage from rodent herbivory is at unacceptable levels.

Woody and herbaceous tree and vine competition control within the shelters themselves may also become necessary. Invasive woody species seeds are often transported into the tree shelters by birds, where they become established and compete with the planted tree inside the shelter. Coupled with annual shelter maintenance, the landowner should examine shelters for the presence of undesirable shrub and vine species within the shelter. In most cases, noxious woody weeds inside the shelter can be hand pulled by loosening the zip ties and lifting the shelter. Be sure to properly reinstall the shelter and retighten the zip ties after removal. Noxious shrub and vine species growing outside the shelter, but in competition with the planted tree, can be managed through cutting, hand pulling, or with a foliar herbicide application in accordance with the previously mentioned recommendations.

Maintenance should continue until the planting is considered established and free of harmful competition from surrounding vegetation. Annual tree shelter inspection and maintenance, as needed, is also recommended. Tree shelters can be removed when the trees are larger than 2" in diameter where they emerge from the top of the shelter. However, trees can remain in the shelters to protect them from deer rubbing until they start to split the shelters themselves. If bark rot becomes an issue from water pooling inside the shelter against the tree stem, promptly remove the shelters from affected trees and those similar to them. Fertilization of the seedlings is neither recommended nor required for this planting. Further maintenance activities are left to the discretion of the landowner. Information regarding regular maintenance activities, timing, and execution has been included in the packet.

ADDITIONAL COMMENTS

The Maryland Forest Service offers a wide variety of seedlings annually for conservation plantings. Due to limited quantities, landowners are encouraged to place orders as soon as possible. Orders are generally taken from November through February. A mechanical tree planter and planting bars are also available for rental on a first come-first served basis from the Forest Service. Please contact the Forest Service for additional assistance in selecting trees and reserving tree planting equipment.

Many natural areas in Maryland are negatively impacted by a variety of nonnative plants, insects, and diseases. Collectively known as invasive species, these nonnative organisms have the ability to invade natural areas and take over their ecosystems at the expense of native plants and animals. Mile-a-minute, ailanthus, autumn olive, Canada thistle, Japanese stilt grass, garlic mustard, gypsy moth, emerald ash borer, multiflora rose, callery pear, and kudzu are some well known invasive species found throughout the region. Such invasive plants and insects can become quite problematic for forest landowners. From vines that take over disturbed areas and forest edges and canopies, to insects that defoliate and girdle trees, to diseases that kill desirable tree species, these invasives not only have the ability to decimate the natural ecosystem, but they are also difficult to control. Identifying invasive species that may be present in your woodland and minimizing their spread is an important activity toward maintaining a healthy forest. If any invasive species were observed during the development of this Forest Stewardship Plan, they will be noted in the Stand recommendations. Since these invasives can become established at anytime, however, you should continually monitor your woodland for any encroachment of invasive species. Most invasive species can be controlled with persistent efforts, but you need to know the correct approaches so as to avoid wasted effort and money. Contact the MD DNR Forest Service for further assistance if you note any occurrence of invasive species on your property. Information sheets on selected forest invasive species can be found on the DNR Forest Service website at: <http://www.dnr.maryland.gov/forests/programapps/pests.asp>. Additional information on invasive species, as well as many other useful and informative web links related to this topic can be found on the DNR Wildlife and Heritage website at: <http://www.dnr.state.md.us/invasives/index.asp>. Please utilize these web links to improve your knowledge in identifying and controlling invasive species in your woodland.

Riparian forest buffers, or strips of forest bordering waterways, are complex ecosystems that provide vital stream related habitats along with water quality improvements. Riparian forests can remove many nonpoint source pollutants (e.g. - excess nutrients, sediment, and toxics) from surface runoff and shallow groundwater by filtering overland and subsurface flow through the sponge-like forest floor. Their canopies shade streams, helping to optimize light and temperature conditions for a variety of aquatic plants and animals, and their root systems stabilize stream banks

and prevent erosion. Riparian forests also directly provide organic particulate matter that serves as the building block of the aquatic food chain. Many species of wildlife depend upon riparian forests for their entire life cycles, while others are dependent upon them as travel corridors between habitat types. Riparian areas are also often highly productive growing sites that can result in quality timber stands. These benefits can be realized here through the sound management of the riparian forests being established on the property.

MANAGEMENT PRACTICE SCHEDULE

COMPLETION DATE	PRACTICE	STAND	ACRES
Fall/ Winter 2021	Field delineate planting area.	1	1.8
March-April 2022	Plant seedlings.	1	1.8
Summer 2022	Plantation maintenance to include strip spraying, mowing, controlling competing vegetation, and shelter maintenance.	1	1.8
Summer 2022	Control invasive woody plant vegetation in existing areas of forest.	1	0.25
March-April 2023	Reinforcement planting, if necessary	1	1.8
2023	Plantation maintenance to include strip spraying, mowing, controlling competing vegetation, and shelter maintenance.	1	1.8
Annually	Any plantation maintenance needed to ensure planting survival and growth until trees are well established: Control of competing vegetation, monitor and limit the spread of invasive plant species, tree shelter maintenance, monitor for damage from insects and disease.	1	1.8
2036	Update Plan	1	2

To provide you further assistance and advice in carrying out the recommended practices, please contact
Aaron Cook, Forester.

Telephone Numbers

Forestry – 301-791-4733

Suggested planting list

CR Semler, LLC
c/o Washington County Soil Conservation District

Location: Jefferson Boulevard, Smithsburg, MD 21783
On the south side of Jefferson Boulevard, approximately 0.4 miles west of
Mapleville Road.

Latitude – 39° 38' 30"
Longitude – -77° 35' 41"

Forest Conservation Easement Planting

1.8 acres
Trees= 650

Shelters & Stakes= 650

Spot or strip spray planted rows, post-planting – nonselective with pre-emergent.
Approximately, ¼ acre of invasive woody vegetation control (Hack & Squirt or
basal bark Bradford Pear/ Ailanthus, non-selective spot spray multiflora rose) in
existing areas of forest along Beaver Creek.

Red maple	25
Hackberry	50
Black walnut	50
Yellow-poplar	50
American Sycamore	25
White oak*	50
Black cherry	50
swamp white oak	75
Black oak*	75
eastern redbud*	25
hawthorn*	25
persimmon*	25
chicksaw plum*	25
Silky dogwood**	50
Blackhaw**	50

*Along upland edges of planting.

**First row adjacent to Beaver Creek.

FOREST STEWARDSHIP PLAN

Forest Planting Plan

For

CR Semler, LLC
c/o Charlie Semler
11664 Mapleville Road
Smithsburg, MD 21783

Location

Jefferson Boulevard, Smithsburg, MD 21783
On the south side of Jefferson Boulevard, approximately 0.4 miles west of Mapleville Road.

Geographic Coordinates

Latitude – 39° 38' 28"
Longitude – -77° 35' 36"

Tax Record

Map – 51
Parcel – 2R

Maryland Eight Digit Watershed

Antietam Creek – 02140502

In

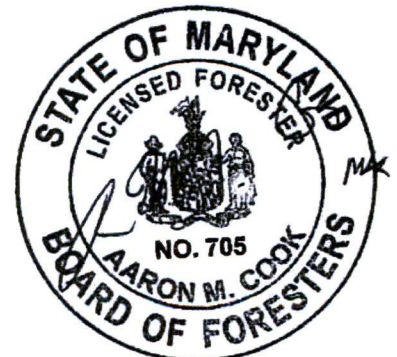
Washington County

On

14 acres of tree planting
4.2 acres of existing forest

Prepared by

Aaron M. Cook, Forester
Maryland Forest Service
14038 Blairs Valley Road, Clear Spring, MD 21722
301 – 791 – 4733
aaron.cook@maryland.gov





Legend

- Property Boundary
- Planting Area
- ① Stand Number
- Road
- Stream
- Intermittent Stream

FORI

330 165 0 330 660 Feet

This map is for planning purposes only.
This map is not a boundary survey.



Tree Planting Map
for
CR Semler c.o C. Semler
Acres: 14
County: Washington
Scale: 1" = 330'
Prepared by: A. Cook
October 2021



MARYLAND
DEPARTMENT OF
NATURAL RESOURCES



PROPERTY DESCRIPTION AND LANDOWNER OBJECTIVE

PROPERTY DESCRIPTION

The site is located on the south side of Jefferson Boulevard, approximately 0.4 miles west of Mapleville Road, in northeastern Washington County. A mixture of agriculture and residential uses dominate the area. Topography is primarily level within the area to be planted. The area to be planted is comprised of one field, broken into two stands delineated by their proximity to Beaver Creek and an unnamed intermittent stream.

The site consists of three soil types, Lindside silt loam occupies the majority of the floodplain area adjacent to Beaver Creek, while Dryrun gravelly loam underlies the areas surrounding the intermittent stream. Lastly, Murrill gravelly loam occupies the more upland edges of the planting area and adjacent existing forest. Lindside soils are very deep and moderately well drained. These soils formed from weathered limestone on adjacent uplands that has been deposited by floodwaters over time. Dryrun soils are also very deep and moderately well drained, but with slow permeability that causes wetland conditions. These soils are derived from old floodplain deposits eroded from the surrounding mountains over weathered limestone. They are common along drainageways. Murrill soils are very deep and well drained, having been formed from weathered acidic sandstone, deposited by gravity from surrounding mountains, over weathered limestone. Both Lindside and Dryrun soil types are considered to be of excellent productivity with limitations to productivity caused by flooding in lower areas, while Murrill soils are more droughty and considered of average fertility.

LANDOWNER OBJECTIVES

The Washington County Soil Conservation District, potential easement holder for the conservation area, desires to plant trees in the delineated planting site to establish riparian forest buffer along Beaver Creek. Additionally, these planted trees will enhance wildlife habitat benefits, future forest growth potential, and soil and water quality. These plantings will be accomplished under the program guidelines of the Washington County Forest Resource Ordinance.

FORESTS OF RECOGNIZED IMPORTANCE

This property was checked for the presence of Forests of Recognized Importance (FORI) as part of the Forest Stewardship Planning process. FORI are areas of woodland that have been identified at a larger landscape level which contain exceptional, social, cultural or biological resource values. In Maryland, FORI have been defined as those streamside woodland areas (also known as riparian woodland areas) which are of special importance to protecting the water quality of the Chesapeake Bay. Specifically, these important riparian woodland areas are identified using specific data sets from the Maryland Biological Stream Survey, the Maryland Department of the Environment, and the Maryland Fisheries Services. Collectively, the woodland areas adjacent to these high-quality stream areas – that is, within a 100-foot stream buffer area – are defined as Forests of Recognized Importance. Your woodland was checked for the presence of FORI as part of the Forest Stewardship Planning process and a FORI area was identified in your woodland. The FORI is identified on the map included with this plan. When planning any forest management activities within this FORI area, you should work with a professional forester to ensure that the planned forest management activity does not harm or diminish the high-quality stream resource that designates this as a FORI.

CULTURAL AND HISTORIC RESOURCES

The property was checked for cultural and historic resources as part of the Forest Stewardship Planning process using data provided by the Maryland Historic Trust (MHT), and no resources were noted as being located on the property.

RARE, THREATENED, AND ENDANGERED SPECIES

Based on nontidal wetland maps; rare, threatened and endangered species guidance maps, and a review of the State Natural Heritage database; no threatened or endangered species are found on the property.

SPECIAL SITES

Special sites are those areas in a woodland that offer unique historical, archeological, cultural, geological, biological or ecological value. From this definition, it can be noted that special sites include a wide variety of features. Based on a review of the relevant information available, no special sites were noted as being present on your property.

DEFINITION OF TERMS

STAND: A basic forest management unit. A grouping of trees which are uniform in species composition, age arrangement, and condition, and are distinguishable.

DOMINANT SPECIES: Those tree species which dominate the stand.

DEVELOPMENT STAGE: The size class of the trees which are predominant in the stand. These classes include:

Seedling - Up to 0.9" in caliper (Diameter measured 6" above ground level)

Sapling - 1" to 5.9" DBH (Diameter measured 4 ½ feet above ground level)

Pole - 6" to 10.9" DBH

Sawtimber - 11" DBH and larger

AGE: A system of classifying stands based on the arrangement of the ages of the trees in the stand.

Even-aged - Trees have relatively small differences in age. (80% of the trees are no more than 10-20 years different in age.)

Uneven-aged - Three or more age classes of trees represented.

Two-aged - Two distinct age classes of trees present. (Twenty or more years different in age.)

All-aged - All, or almost all, age classes of trees represented.

STOCKING: The number of trees growing in a stand.

High - too many trees, diameter growth rate is below normal.

Adequate - an optimum number of trees which have sufficient room to grow at an acceptable rate.

Low - an insufficient number of trees; the stand is not producing at full potential.

DESIRABLE - UNDESIRABLE: The percentage of desirable or undesirable trees. Desirability of a tree is based on the form of the tree (straight, crooked), species depending on the owner's objective, local markets, and the presence of disease or insects.

SITE GROWTH POTENTIAL: The inherent capacity of the site, which is made up of soil, moisture, topography and other environmental factors for tree growth. This is expressed in the terms: excellent, good, average, fair, poor. It is based on site index which is a standard based on the height a dominate tree reaches at age 50.

RECOMMENDATIONS: The practices which you as a landowner should follow to obtain your management objectives. Specific descriptions are included with the report.

BASAL AREA: A measure of density of stocking. It is the area of the cross-section of tree stems including bark at breast height, measured in square feet.

RESIDUAL STAND: The stand remaining after a partial harvest, such as a thinning or other treatment.

MAST: Collective name for fruits, nuts, and seeds produced by trees and shrubs. Mast can be hard or soft, e.g., acorns and hickory nuts vs. black cherries and dogwood berries

RECOMMENDATIONS/PRACTICES

STAND 1

This stand, 8.5 acres, encompasses three fields to be planted on the property. These fields have been maintained as hay field. Site preparation does not need to be performed here to make the area ready for planting and to facilitate early seedling growth. For optimum seedling survival, planting should occur between March 1 and April 15.

The planting will consist of a minimum of at least three large growing tree species and two shrub/ small tree species suited to the growing conditions of the site. All tree species are to be planted at a rate of 435 seedlings per acre, equivalent to a 10' x 10' spacing. Upland small flowering trees should be planted along the open upland edges of the planting area for added visual softening and increased wildlife value, while wet site shrubs should be planted in the first row adjacent to Beaver Creek. Upland oaks should be planted amongst the upland small flowering trees, while remaining large growing trees should be planted in rows in the remaining open areas. Large growing deciduous tree species suitable for this planting include red maple, hackberry, black walnut, yellow-poplar, sycamore, eastern cottonwood, white oak, black cherry, swamp white oak, pin oak, chinkapin oak, sassafras, swamp chestnut oak, northern red oak, red elm, and black oak. Finally, suitable small tree species include eastern redbud, hawthorn, persimmon, Chickasaw plum, silky dogwood, and blackhaw. A recommended list of tree and shrub species suitable to the site has been included in the packet.

The planting in this stand will consist of approximately 2,925 large growing deciduous trees and 350 deciduous small trees. Only native species will be planted here. Five-foot tree shelters, with protective bird mesh, are recommended to be placed over all planted deciduous tree seedlings. Please refer to the enclosed information on tree shelter use. This stand will require 3,275 tree shelters and stakes total.

Existing Invasive Woody Vegetation

Unfortunately, the existing areas of forest along Beaver Creek also support nonnative invasive plants such as ailanthus, or tree-of-heaven, multiflora rose, and callery pear. Many of these plants are aggressive invaders which can readily dominate a site at the expense of more desirable native vegetation, arresting the normal process of forest succession. Small concentrations of multiflora rose are present in the understory. Ailanthus and callery pear were less common, being mostly observed along the northern boundary of the property and the levee of Beaver Creek.

Ailanthus and callery pear are nonnative trees which thrive on disturbance and grows faster than most native trees if provided openings. Worse yet, ailanthus is allelopathic. This term describes the tree's ability to produce toxins in the soil around

the tree, preventing other plants from growing and competing with the tree. It is important to note that in the case of *Ailanthus*, simply cutting the trees down creates a "hydra" effect in that the cut tree will produce hundreds of root suckers, each capable of becoming as big or bigger than the original tree thus compounding the original problem. To address this problem, herbicide application by basal bark method is usually done on established tree-of-heaven and callery pear trees from early summer (late June) until October, with a follow up foliar spray applied in the following summer to ensure that any root suckers of the tree-of-heaven are killed. The basal bark method involves applying a systemic herbicide (Pathfinder II) to the bark of the tree. This herbicide translocates through the bark and into the root system of the tree, killing it. Good control can also be achieved using the basal bark method in mid-winter months when it is easier to access the main stem of the tree. This control will also need to continue in the future on an as needed basis as more *Ailanthus* trees regenerate from seed.

Multiflora rose is a non-native plant that invades abandoned farmland and woodlots. This climbing shrub can pull down and choke out native plants, offering little benefit to wildlife. Chemical control using a targeted application of a nonselective herbicide foliar spray is effective at controlling this invasive plant. Information regarding control of these plants has been included.

Continuous Management and Maintenance

In order to help ensure adequate levels of plantation survival and growth, maintenance of the practice will be necessary until the trees are considered established. This includes control of competing vegetation, monitoring and limiting the spread of invasive species, monitoring for insects and disease, and maintenance of tree shelters.

Competing vegetation to all new tree seedlings will need to be controlled for three to five years after planting. In the first year of planting, a strip application, or a spot spray application of both a nonselective and preemergent herbicide will need to be applied along each planting row approximately one month after planting. Thereafter, herbaceous competition control can be accomplished by monthly strip mowing between the rows during the growing season; by spring strip herbicide applications between rows followed by mowing in late August through October; or by 3' minimum width strip spraying or 2' minimum radial spot spraying within the planted rows coupled with mowing between the planted rows in the late spring and late summer. Where herbicides are used, all seedlings must be protected by either tree shelters or some other physical barrier so as to prevent damage to them. In addition to vegetation control around the planted trees, vole predation should be monitored, and rodenticide applied if damage from rodent herbivory is at unacceptable levels.

Woody and herbaceous tree and vine competition control within the shelters themselves may also become necessary. Invasive woody species seeds are often transported into the tree shelters by birds, where they become established and compete with the planted tree inside the shelter. Coupled with annual shelter maintenance, the landowner should examine shelters for the presence of undesirable shrub and vine species within the shelter. In most cases, noxious woody weeds inside the shelter can be hand pulled by loosening the zip ties and lifting the shelter. Be sure to properly reinstall the shelter and retighten the zip ties after removal. Noxious shrub and vine species growing outside the shelter, but in competition with the planted tree, can be managed through cutting, hand pulling, or

with a foliar herbicide application in accordance with the previously mentioned recommendations.

Maintenance should continue until the planting is considered established and free of harmful competition from surrounding vegetation. Annual tree shelter inspection and maintenance, as needed, is also recommended. Tree shelters can be removed when the trees are larger than 2" in diameter where they emerge from the top of the shelter. However, trees can remain in the shelters to protect them from deer rubbing until they start to split the shelters themselves. If bark rot becomes an issue from water pooling inside the shelter against the tree stem, promptly remove the shelters from affected trees and those similar to them. Fertilization of the seedlings is neither recommended nor required for this planting. Further maintenance activities are left to the discretion of the landowner. Information regarding regular maintenance activities, timing, and execution has been included in the packet.

RECOMMENDATIONS/PRACTICES

STAND 2

This stand, 5.5 acres, encompasses the wetland areas to be planted adjacent to an unnamed intermittent stream on the property. This area has been maintained as a hay field, with the wettest areas remaining fallow and occupied by wet site indicators, sweet flag and cattail. Site preparation does not need to be performed in the areas that have been hayed, while the wet areas could be mowed when the ground is frozen in winter months prior to planting to make the area ready for planting and to facilitate early seedling growth. For optimum seedling survival, planting should occur between March 1 and April 15.

The planting will consist of a minimum of at least three large growing tree species and two shrub/ small tree species suited to the growing conditions of the site. All tree species are to be planted at a rate of 435 seedlings per acre, equivalent to a 10' x 10' spacing. Hydric tolerant small flowering trees should be planted along the edges of the planting area for added visual softening and increased wildlife value, while wet site shrubs should be planted in the first row adjacent to Beaver Creek and unnamed tributary. Wet site tolerant large trees should be planted amongst the remaining open areas, in rows where feasible. Large growing deciduous tree species suitable for this planting include black willow, baldcypress, eastern cottonwood, and American sycamore. Finally, suitable small tree species include hazel-alder, silky dogwood, buttonbush, and hazelnut. A recommended list of tree and shrub species suitable to the site has been included in the packet.

The planting in this stand will consist of approximately 1075 large growing deciduous trees and 700 deciduous small trees. Only native species will be planted here. Five-foot tree shelters, with protective bird mesh, are recommended to be placed over all planted deciduous tree seedlings. Please refer to the enclosed information on tree shelter use. This stand will require 1,775 tree shelters and stakes total.

Continuous Management and Maintenance

In order to help ensure adequate levels of plantation survival and growth, maintenance of the practice will be necessary until the trees are considered established. This includes control of competing vegetation, monitoring and limiting the spread of invasive species, monitoring for insects and disease, and maintenance of tree shelters.

Competing vegetation to all new tree seedlings will need to be controlled for three to five years after planting. In the first year of planting, a strip application, or a spot spray application of both a nonselective and preemergent herbicide will need to be applied along each planting row approximately one month after planting. Thereafter, herbaceous competition control can be accomplished by monthly strip mowing between the rows during the growing season; by spring strip herbicide applications between rows followed by mowing in late August through October; or by

3' minimum width strip spraying or 2' minimum radial spot spraying within the planted rows coupled with mowing between the planted rows in the late spring and late summer. Where herbicides are used, all seedlings must be protected by either tree shelters or some other physical barrier so as to prevent damage to them. In addition to vegetation control around the planted trees, vole predation should be monitored, and rodenticide applied if damage from rodent herbivory is at unacceptable levels.

Woody and herbaceous tree and vine competition control within the shelters themselves may also become necessary. Invasive woody species seeds are often transported into the tree shelters by birds, where they become established and compete with the planted tree inside the shelter. Coupled with annual shelter maintenance, the landowner should examine shelters for the presence of undesirable shrub and vine species within the shelter. In most cases, noxious woody weeds inside the shelter can be hand pulled by loosening the zip ties and lifting the shelter. Be sure to properly reinstall the shelter and retighten the zip ties after removal. Noxious shrub and vine species growing outside the shelter, but in competition with the planted tree, can be managed through cutting, hand pulling, or with a foliar herbicide application in accordance with the previously mentioned recommendations.

Maintenance should continue until the planting is considered established and free of harmful competition from surrounding vegetation. Annual tree shelter inspection and maintenance, as needed, is also recommended. Tree shelters can be removed when the trees are larger than 2" in diameter where they emerge from the top of the shelter. However, trees can remain in the shelters to protect them from deer rubbing until they start to split the shelters themselves. If bark rot becomes an issue from water pooling inside the shelter against the tree stem, promptly remove the shelters from affected trees and those similar to them. Fertilization of the seedlings is neither recommended nor required for this planting. Further maintenance activities are left to the discretion of the landowner. Information regarding regular maintenance activities, timing, and execution has been included in the packet.

ADDITIONAL COMMENTS

The Maryland Forest Service offers a wide variety of seedlings annually for conservation plantings. Due to limited quantities, landowners are encouraged to place orders as soon as possible. Orders are generally taken from November through February. A mechanical tree planter and planting bars are also available for rental on a first come-first served basis from the Forest Service. Please contact the Forest Service for additional assistance in selecting trees and reserving tree planting equipment.

Many natural areas in Maryland are negatively impacted by a variety of nonnative plants, insects, and diseases. Collectively known as invasive species, these nonnative organisms have the ability to invade natural areas and take over their ecosystems at the expense of native plants and animals. Mile-a-minute, ailanthus, autumn olive, Canada thistle, Japanese stilt grass, garlic mustard, gypsy moth, emerald ash borer, multiflora rose, callery pear, and kudzu are some well known invasive species found throughout the region. Such invasive plants and insects can become quite problematic for forest landowners. From vines that take over disturbed areas and forest edges and canopies, to insects that defoliate and girdle trees, to diseases that kill desirable tree species, these invasives not only have the ability to decimate the natural ecosystem, but they are also difficult to control. Identifying invasive species that may be present in your woodland and minimizing their spread is an important activity toward maintaining a healthy forest. If any invasive species were observed during the development of this Forest Stewardship Plan, they will be noted in the Stand recommendations. Since these invasives can become established at anytime, however, you should continually monitor your woodland for any encroachment of invasive species. Most invasive species can be controlled with persistent efforts, but you need to know the correct approaches so as to avoid wasted effort and money. Contact the MD DNR Forest Service for further assistance if you note any occurrence of invasive species on your property. Information sheets on selected forest invasive species can be found on the DNR Forest Service website at: <http://www.dnr.maryland.gov/forests/programapps/pests.asp>. Additional information on invasive species, as well as many other useful and informative web links related to this topic can be found on the DNR Wildlife and Heritage website at: <http://www.dnr.state.md.us/invasives/index.asp>. Please utilize these web links to improve your knowledge in identifying and controlling invasive species in your woodland.

Riparian forest buffers, or strips of forest bordering waterways, are complex ecosystems that provide vital stream related habitats along with water quality improvements. Riparian forests can remove many nonpoint source pollutants (e.g.- excess nutrients, sediment, and toxics) from surface runoff and shallow groundwater by filtering overland and subsurface flow through the sponge-like forest floor. Their canopies shade streams, helping to optimize light and temperature conditions for a variety of aquatic plants and animals, and their root systems stabilize stream banks

and prevent erosion. Riparian forests also directly provide organic particulate matter that serves as the building block of the aquatic food chain. Many species of wildlife depend upon riparian forests for their entire life cycles, while others are dependent upon them as travel corridors between habitat types. Riparian areas are also often highly productive growing sites that can result in quality timber stands. These benefits can be realized here through the sound management of the riparian forests being established on the property.

MANAGEMENT PRACTICE SCHEDULE

COMPLETION DATE	PRACTICE	STAND	ACRES
Fall/ Winter 2021	Field delineate planting area.	1,2	14
March-April 2022	Plant seedlings.	1,2	14
Summer 2022	Plantation maintenance to include strip spraying, mowing, controlling competing vegetation, and shelter maintenance.	1,2	14
Summer 2022	Control invasive woody plant vegetation in existing areas of forest.	--	4.2
March-April 2023	Reinforcement planting, if necessary	1,2	14
2023	Plantation maintenance to include strip spraying, mowing, controlling competing vegetation, and shelter maintenance.	1,2	14
Annually	Any plantation maintenance needed to ensure planting survival and growth until trees are well established: Control of competing vegetation, monitor and limit the spread of invasive plant species, tree shelter maintenance, monitor for damage from insects and disease.	1,2	14
2036	Update Plan	1	2

To provide you further assistance and advice in carrying out the recommended practices, please contact
Aaron Cook, Forester.

Telephone Numbers

Forestry – 301-791-4733

Suggested planting list

CR Semler, LLC
c/o Washington County Soil Conservation District

Location: Jefferson Boulevard, Smithsburg, MD 21783
On the south side of Jefferson Boulevard, approximately 0.4 miles west of
Mapleville Road.

Latitude – 39° 38' 28"
Longitude – -77° 35' 36"

Forest Conservation Easement Planting

14 acres

Trees= 5,050

Shelters & Stakes= 5,050

Spot or strip spray planted rows, post-planting – nonselective with pre-emergent.
Approximately, 2 acres of invasive woody vegetation control (Hack & Squirt or
basal bark Bradford Pear/ Ailanthus, non-selective spot spray multiflora rose) in
existing areas of forest along Beaver Creek and east side of planting.

Red maple	250
Hackberry	225
Black walnut	225
Yellow-poplar	175
American sycamore	250
Eastern cottonwood	250
Black cherry	225
White oak*	150
Swamp white oak	200
Pin oak	200
Chinkapin oak	250
Sassafras	75
Swamp chestnut oak	200
Red elm	150
Northern red oak	100
Black oak*	300
Black willow**	425

Baldcypress**	350
eastern redbud*	50
hawthorn*	50
persimmon*	75
chicksaw plum*	75
Silky dogwood**	150
Blackhaw**	50
Hazel-alder**	350
Buttonbush**	100
Arrowwood**	100
Hazelnut**	50

**Along upland edges of planting.*

***Stand 2 and areas adjacent to Beaver Creek.*

**WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE
PAYMENT IN LIEU PROGRAM
EXISTING FOREST PROJECT RANKING CRITERIA**

PROJECT NAME

Charlie Semler - Lot 1R & 2R

**TO BE CONSIDERED FOR PROGRAM INCLUSION, THE EXISTING FOREST MUST MEET THE DEFINITION OF "FOREST" CONTAINED IN THE
WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE**

Ranking Factor		Description	Maximum Total Points	Score	Notes
1	Adjacent to perennial or intermittent stream	Perennial stream (10 pts.), Intermittent (5 pts.), No stream (0 pts.)	10	10	
2	Connects forest "Islands" creating forested corridors	Forested corridor is at least 300' wide (10 pts.), 200' wide (5 pts.), does not create corridor (0 pts.)	10	0	
3	Adjacent to critical habitat	Adjacent to Class III Trout Waters with natural populations of trout (10 pts.), within Class III watershed (5 pts), wetlands (3 pts.), No critical habitats (0 pts.)	10	10	
4	Contiguous forest cover	Easement will increase forest to 100 acre block (5pts.), 50 acres(3 pts.), will not adjoin existing forest (0 pts.)	5	1	Will adjoin proposed planting area.
5	100 year floodplain	Easement will cover 100% of 100 year unforested floodplain (5 pts.), 50% (3 pts.), 0% (0 pts.)	5	5	Encompasses entire reach of 100 year floodplain extending into the forested area.
6	Site access	Easily accessible , maintenance and long term monitoring, (10 pts)	10	10	
7	Site conditions, including control of non-native/invasive plant species	Adequately stocked forest of predominately native tree and shrub species of good health and vigor(10 pts.,) over or under stocked forest with no greater than 20% non-native/invasive species and landowner has demonstrated commitment to control (5 pts.), requires extensive invasive control (0 pts.)	10	10	
8	Total existing forest area	> 5 acres (10 pts.), 2-5 acres (5 pts.), < 2 acres (1 pt.)	10	5	4.3 Acres
	Watershed location	Located in Antietam or Conococheague watershed (10 pts.)	10	10	Antietam Watershed
9	Sensitive species Identified	Sensitive species area Identified for site and no adverse effects from project (5pts.), no sensitive species area Identified for site, (0pts.)	5	0	
TOTAL POINTS POSSIBLE			85	61	

*DNR Targeted Ecological Area

**WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE
PAYMENT IN LIEU PROGRAM
PLANTING PROJECT RANKING CRITERIA**

PROJECT NAME					
Charlie Semler - Lot 1R & 2R					
Ranking Factor		Description	Maximum Total Points	Score	Notes
1	Adjacent to perennial or intermittent stream	Perennial stream (10 pts.), Intermittent (5 pts.), No stream (0 pts.)	10	10	Beaver Creek
2	Connects forest "Islands" creating forested corridors	Forested corridor is at least 300' wide (5 pts.), 200' wide (3 pts.), does not create corridor (0 pts.)	5	5	
3	Adjacent to critical habitat	Adjacent to Class III Trout Waters with natural populations of trout (10 pts.), within Class III watershed (5 pts), wetlands (3 pts.), No critical habitats (0 pts.)	10	10	
4	Contiguous forest cover	Planting will increase forest to 100 acre block (5pts.), 50 acres(3 pts.), will not adjoin existing forest (0 pts.)	5	1	20 Acre Contiguous Block
5	100 year floodplain	Planting will cover 100% of 100 year unforested floodplain (5 pts.), 50% (3 pts.), 0% (0 pts.)	5	5	
6	Site access	Easily accessible for planting, maintenance and long term monitoring, (10 pts)	10	10	
7	Site preparation, including control of invasive plant species	Site is free of invasives and requires standard site preparation (10 pts.), site requires minimal control of invasives and standard site preparation (5 pts.), requires extensive invasives control and extensive site preparation (0 pts.)	10	5	
8	Total afforestation area	> 5 acres (10 pts.), 2-5 acres (5 pts.), < 2 acres (1 pt.)	10	10	15.8 Acres
9	Watershed location	Located in Antietam or Conococheague watershed (10 pts.)	10	10	Antietam Watershed
10	Sensitive species Identified	Sensitive species area Identified for site and no adverse effects from project (5pts.), no sensitive species area Identified for site, (0pts.)	5	0	
TOTAL POINTS POSSIBLE			80	66	
*DNR Targeted Ecological Area					

2021 FOREST CONSERVATION ACT PROGRAM PROJECT COST ESTIMATES

	SEMLER	TOTALS
EXISTING FOREST, ACRES PROTECTED	4.3	4.3
PLANTING ACRES 300'	15.8	15.8
PLANTING ACRES +300'	0	0
PLANTING COST ESTIMATE	\$54,510	\$54,510
PAYMENT TO LANDOWNER	\$38,050	\$38,050
PAYMENT TO SCD	\$18,090	\$18,090
SURVEY/PLAT COSTS	\$3,000	\$3,000
TITLE SEARCH COST	\$200	\$200
LEGAL FEES	\$1,500	\$1,500
TOTAL	\$115,350	\$115,350
FOREST CONSERVATION FUND BALANCE	9/21/2021	\$234,496
BALANCE FOR ADDITIONAL PROJECTS/MAINTENANCE		\$119,146

Semler SI-21-020 and OM-21-007

Ed J. Schreiber <ESchreiber@fsa-inc.com>

Fri 11/5/2021 10:37 AM

To: Stotelmyer, Scott <scstotelmyer@washco-md.net>

Cc: Dee <dee@conservationplace.com>; Mark Kendle <Mark@conservationplace.com>; Elmer Weibley <elmer@conservationplace.com>; Baker, Jill <JBaker@washco-md.net>

Hello Scott,

Would it be possible to have the above reference OM placed on the December PC meeting? The Simplified plat associated with the OM is being created for an conservation easement that SCS would like to make a presentation on at the Dec meeting. It would make sense to have the OM and SCS presentation at the same time.

Thanks

Ed Schreiber

Project Coordinator

FREDERICK, SEIBERT & ASSOCIATES, INC.

CIVIL ENGINEERING | LAND SURVEYING | LANDSCAPE ARCHITECTURE

128 S. Potomac St, Hagerstown, MD 21740

O: [301.791.3650](tel:301.791.3650) C: [301.992.6436](tel:301.992.6436)

www.fsa-inc.com

HAGERSTOWN, MD | CARLISLE, PA | GREENCASTLE, PA | NEW BLOOMFIELD, PA

Modification for Kimberlyn Sylvester

Presented is a modification for Kimberlyn Sylvester.

The subject site is located along the east side of Spickler Road, north of National Pike. Zoning is Agriculture.

The applicant wishes to subdivide a parcel for a building lot on her uncle's property. She does not fit the definition of an immediate family member so modifications for her lot are required. Her father owns an adjacent lot that was previously subdivided from her uncle's property in 1994.

The proposed lot for Ms. Sylvester would be approximately 1.10 acres in size.

Remaining lands would be approximately 3.0 acres.

An existing panhandle that is owned and serves her uncle's property (and father's lot) would need to be divided in half for a total of 12.6 feet for her lot and 12.6 for the remaining lands. The panhandle would exceed 400 feet in length. Lastly, the creation of this lot would create a stacking of more than 2 lots.

The Modification request is from Section 405.11 G 1, 4, and 5 of the Subdivision Ordinance which requires that panhandle lengths be no longer than 400 feet; that panhandles be a minimum of 25 feet in width; and that there be no more than 2 tiers of lots from the public road (proposing a stacking of 3 lots).



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SUBDIVISION MODIFICATION REPORT

Date: 11-16-2021

Record Number : OM-21-006
Type : Regular
Reason : Modification to create a lot that does not meet the panhandle requirements of the Subdivision Ordinance
Owner : SYLVESTER ROY A
Applicant : FREDERICK SEIBERT & ASSOCIATES
Location : 13029 SPICKLER Road
Clear Spring, MD 21722
Parcel : 23013509
Zoning : Agricultural, Rural
Land Use : Agriculture

Proposal:

Lots : 1
Acres : 1.0
Remainder : 3.0
Panhandles : 2
Land Use : Residential

MODIFICATION(S):

405.11.G 1,4,5: Modification to reduce panhandle width from 25 feet to 12.75 feet; to allow for the stacking of more than two lots; and to allow a panhandle length of more than 400 feet.

CONDITIONS:

Not Applicable

LAK/LAK



Washington County

M A R Y L A N D

RECEIVED

NOV 3 2021

DIVISION OF
PLAN REVIEW & PERMITTING

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

WASHINGTON COUNTY PLANNING COMMISSION
APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Kimberlyn Sylvester
MAILING ADDRESS 17043 Potter Bell Way Hagerstown MD 21740
TELEPHONE N/A 301 582 1665 240 500 9912
(home) (work) (cell)

PROPERTY OWNER

NAME Roy Sylvester
MAILING ADDRESS 13029 Spickler Rd Clear Spring MD 21722
TELEPHONE N/A 301 582 1665 301 331 7476
(home) (work) (cell)

CONSULTANT

NAME Frederick Seibert + Associates Inc - Ed
ADDRESS 124 S. Potomac Street Hagerstown MD 21740
TELEPHONE 301 791 3650

DESCRIPTION OF PROPERTY

TAX ACCOUNT ID # (Required) 52-1190002
PARCEL REFERENCE: MAP 0035 GRID 0004 PARCEL 0483
PROPOSED LOT ACREAGE 1 TOTAL SITE ACREAGE 4
ZONING DISTRICT 23 ROAD FRONTAGE (FT) 0 - Requesting 12.75

LOCATION / ADDRESS

13029 Sprickler rd Clear spring MD 21782

EXISTING AND PROPOSED USE OF PROPERTY Single family home

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER NO

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION See sections below

MODIFICATION IS TO ALLOW Modification to Section 405.11.6.1 to reduce the panhandle width from 25ft to 12.75 feet. Modification to Section 405.11.6.4 to allow stacking of more than 2 tiers of lots. Modification to Section 405.11.6.5 to allow a panhandle more than the maximum 400ft length.

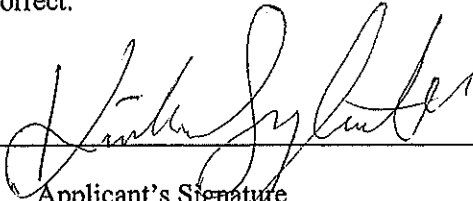
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

Subdivide 1 acre lot from a 4 acre lot parcel
for 1 single family home to brother and niece
for future care of mother and father of niece.

(Attach additional sheets if necessary)

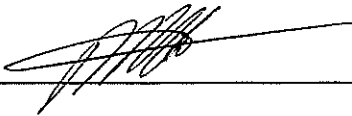
In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.


Applicant's Signature

11/02/21

Date


Property Owner's Signature

11/02/21

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

Real Property Data Search

Search Result for WASHINGTON COUNTY

View Map		View GroundRent Redemption				View GroundRent Registration					
Special Tax Recapture: None						District - 23 Account Number - 013509					
Account Identifier:						Owner Information					
Owner Name:		SYLVESTER ROY A				Use:		RESIDENTIAL			
Mailing Address:		15136 NATIONAL PIKE HAGERSTOWN MD 21740-2129				Principal Residence:		YES			
						Deed Reference:		/01179/ 00092			
Location & Structure Information											
Premises Address:		13029 SPICKLER RD CLEAR SPRING 21722-0000				Legal Description:		LOT 8 4.0 ACRES 13029 SPICKLER RD			
Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:		
0035	0004	0483	23010027.22	0000			8	2021	838		
Town: None								Plat Ref:			
Primary Structure Built		Above Grade Living Area		Finished Basement Area		Property Land Area		County Use			
1987		1,711 SF		1500 SF		4.0000 AC					
Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements				
Split Foyer	YES	SPLIT FOYER	SIDING/	4	3 full	1Att/1Det					
Value Information						Value Information					
Base Value		Value		Phase-in Assessments							
As of		As of		As of							
01/01/2021		01/01/2021		07/01/2021		As of 07/01/2022					
Land:		85,000		85,000							
Improvements		270,200		354,400							
Total:		355,200		439,400		383,267		411,333			
Preferential Land:		0		0							
Transfer Information						Transfer Information					
Seller: SYLVESTER ROY A		Date: 09/20/1994		Price: \$0							
Type: NON-ARMS LENGTH OTHER		Deed1: /01179/ 00092		Deed2:							
Seller: SYLVESTER ROY A & PATSY A		Date: 04/19/1994		Price: \$0							
Type: NON-ARMS LENGTH OTHER		Deed1: /01152/ 00182		Deed2:							
Seller: SYLVESTER ROY A & PATSY A		Date: 10/30/1991		Price: \$0							
Type: NON-ARMS LENGTH OTHER		Deed1: /01014/ 00308		Deed2:							

Exemption Information

Partial Exempt Assessments:	Class	07/01/2021	07/01/2022
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00
Special Tax Recapture: None			

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date:

Kelly, Lisa

From: Kelly, Lisa
Sent: Monday, November 15, 2021 10:58 AM
To: Hopkins, Brian
Cc: Calimer, Rebecca
Subject: RE: OM-21-006 Kimberlyn Sylvester 13029 SPICKLER Road CL

Thanks!

From: Hopkins, Brian <bhopkins@washco-md.net>
Sent: Monday, November 15, 2021 10:58 AM
To: Kelly, Lisa <lkelly@washco-md.net>
Cc: Calimer, Rebecca <rcalimer@washco-md.net>
Subject: RE: OM-21-006 Kimberlyn Sylvester 13029 SPICKLER Road CL

Hi Lisa, I reviewed the Ordinance Modification (OM-21-006) at 13029 SPICKLER Road CL for the request to modify to panhandle requirements - more than two stacking, reduction in panhandle width, and panhandle length. I have no comments on this request and marked the engineering review folder in accela completed.

Brian Hopkins, Plan Reviewer, Division of Engineering
80 W. Baltimore Street - Hagerstown, MD 21740
P: (240) 313-2406 - www.washco-md.net

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Site Plan for Fix N Go Truck Repair

Presented is a site plan for Fix n Go Truck Repair.

The subject site is located along the southwest side of Lappan's Road. Zoning is Highway Interchange (HI).

The developer is proposing to construct an approximately 32,000 square foot Tractor Trailer Truck Repair shop on his 10.77 acre property. There will also be a 10,000 square foot storage shed constructed on site as well. Building will be surrounded by a 6 foot chain link fence. A total of 10 service bays will be part of the building.

The site will be served by individual well and septic.

There will be one access point onto Lappan's Road.

Hours of operation will be 9 to 5 Monday thru Friday.

Projected employees is 5.

Deliveries will be daily.

Lighting is to be building mounted.

No signage is proposed.

Forestation will be met by planting/retaining 1.35 acres of forest on-site.

The Planning Commission granted approval to this development the ability to use well and septic in an HI District with Health Department approval.

All approvals have been received by our office.



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Fix N Go Truck Repair
NUMBER.....: SP-21-003

OWNER.....: AKHMEDOV IZMIR A
LOCATION.....: Southwest side of Lappans Road
DESCRIPTION.....: Site Plan for proposed tractor trailer repair facility

ZONING.....: Highway Interchange
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 02019949
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 02

TYPE.....: Commercial
GROSS ACRES.....: 10.77
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: February 25, 2021

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Potomac River WA Cnty
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE DESIGN

Impervious Area Plan

Impervious Maximum Allowed

Open Space Area Planned

Open Space Minimum Required

Residential Amenity Plans

Solid Waste Disposal Plans

Materials Stored on Site

Buffer Design Meets Requirements

Landscaping Meets Requirements

Lighting Plan Meets Requirements

Pedestrian Access is Adequate

Bus Stop is Within Walking Distance

Loading Area Meets Requirements

Not Fast Track

Parking Spaces - Total Planned

Parking Spaces - Per Dwelling Unit

Parking Spaces - Minimum Required

Recreational Parking Provided

ACCESS SPACING VARIANCE NEEDED: No

NUMBER OF ACCESS POINTS: 1

SCHOOL INFORMATION

ELEMENTARY

MIDDLE

HIGH

SCHOOL DISTRICT

Fountain Rock

Springfield

Williamsport

PUPIL YIELD

CURRENT ENROLLMENT

MAXIMUM CAPACITY

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:

WILLIAMSPORT

AMBULANCE DISTRICT.....:

WILLIAMSPORT

WATER & SEWER INFORMATION

WATER

SEWER

METHOD.....:

County

County

SERVICE AREA.....:

County

County

PRIORITY.....:

5-Long Term Planned Service

5-Long Term Planned Service

NEW HYDRANTS.....:

GALLONS PER DAY SEWAGE...:

PLANT INFO.....:

Conococheague

APPROVALS

MD-ENG-6A
1/89

USDA
SCS

UTILITY NOTIFICATION

The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 9.6 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 2.94 CU. YDS. OF EXCAVATION AND APPROXIMATELY 25.031 CU. YDS. OF FILL.

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

By: _____
Date: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

APPROVED:
WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

SIGNATURE

DATE

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION
"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

SIGNATURE

DATE

SEAL

OWNER / DEVELOPERS CERTIFICATION

"I/We certify all any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

DATE

PRINTED NAME

SIGNATURE

OWNER / DEVELOPERS CERTIFICATION

"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

DATE

PRINTED NAME

SIGNATURE

ENGINEER / ARCHITECT DESIGN CERTIFICATION

I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

DATE

REG. NO.

SIGNATURE

SITE PLAN

FOR

FIX N' GO TRUCK REPAIR

SITUATED ALONG THE SOUTHWESTERN SIDE OF LAPPANS ROAD (MARYLAND ROUTE 68)

EAST OF SPIELMAN ROAD (MARYLAND ROUTE 63) AND WEST OF PROSPERITY LANE

WASHINGTON COUNTY, MARYLAND



OWNER/DEVELOPER:
FIX N' GO, LLC, IZMIR AKHMEDOV
10977 SASSAN LANE
HAGERSTOWN, MD 21742

ATTN: ALEX AKHMEDOV
EMAIL: FIXNGOTRUCKREPAIR@GMAIL.COM
PHONE: (240)-329-2500

CIVIL ENGINEER / SURVEYOR:
FSA INC.
128 S. POTOMAC ST.
HAGERSTOWN, MD 21740

PROJECT MANAGER: ADAM HAGER
EMAIL: ADAM@FSA-MD.COM
PHONE: (301)-791-3650

MDSHA NOTES

The following standards (construction and temporary traffic control) are required for this project:	
MD - 605.10 MD - 605.22 MD-104.00-01 - MD-104.00-18 MD-104.01-01 - MD-104.01-81 MD-104.02-01 MD-104.02-09	Traffic Barrier End Treatment (Type K)  Traffic Barrier W Beam Single Face General Notes Sign Placement and Misc. Standards Shoulder Work/2-Lane, 2-Way Greater than 40 MPH Flagging Operation / 2-Lane, 2-Way Greater than 40 MPH 
For all standards referred to on the plans the contractor must go to the book of standards which will have the most current version. the book of standards can be accessed at: http://apps.roads.maryland.gov/businesswithsha/bizstdspecs/demanualstdpub/publicationsonline/ohd/bookstd/index.asp All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.	

VICINITY MAP

SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 04	GRADING, EROSION & SEDIMENT CONTROL PLAN
C-103	SHEET 05	SITE & DIMENSION PLAN
C-104	SHEET 06	STATE HIGHWAY PAVEMENT & DIMENSIONING PLAN
C-301	SHEET 07	STORMWATER MANAGEMENT PLAN & PROFILES
C-302	SHEET 08	STORMWATER MANAGEMENT DETAILS & NOTES
C-401	SHEET 09	STATE HIGHWAY CROSS SECTIONS
C-501	SHEET 10	CONSTRUCTION DETAILS & NOTES - E & S CONTROLS
C-503	SHEET 11	CONSTRUCTION DETAILS & NOTES - SITE
C-105	SHEET 12	AFFORESTATION PLANTING PLAN

P:\SANDY\ALANS\PROJECTS\2020\791\791-000\CONSTRUCTION\SET\915-10-20\COVER SHEET.dwg 1/20/2021

Non - ESD Practices (Chapter 3 - Structural Practices)							
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	WQv (Ac.-Ft.)	ESDv (Ac.-Ft.)	PE Addressed (In)
West Bio Pond	3	9.60 Ac	3.95 Ac	98	0.82 acft	0.82 acft	2

Watershed #1 ESD Practices (Chapter 5 - Structural & Non-Structural)							
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	WQv (ac-ft)	ESDv (ac-ft)	Pe Addressed (In)
Center Bio Pond	2	1.21 Ac	1.00 Ac	98	0.09 acft	0.09 acft	2
East Bio Pond	2	0.60	0.39 Ac	98	0.07 acft	0.07 acft	2
ROOFTOP DISCONNECTION	3	x	0.2 Ac	98	0.04 acft	0.04 acft	1
Grass Swale	1	0.69 Ac	0.24 Ac	98	0.01 acft	0.01 acft	1
Grass Swale	2	4.11 Ac	0.55 Ac	98	0.02 acft	0.02 acft	1
Grass Swale	3	0.60 Ac	0.39 Ac	98	0.01 acft	0.01 acft	1

SWM Narrative:

This stormwater management design plan is for the construction of a truck repair business. The site is located on the south side of Lappans Road Williamsport, Maryland. The property is currently owned by Fix N Go LLC and is 10.77 acres and is identified in the land records of Washington County on tax map 56, grid 20, and parcel 1038. The zoning for the property is HI-Highway Interchange.

Past, Present and Proposed Land Use

The site has historically been used for agricultural purposes. Currently, the site is undeveloped with agricultural fields and woods. The site is bordered by an agricultural use and the Western Maryland Railroad. There are no stream, floodplains, wetlands, or other sensitive areas within the disturbed area.

The proposed land cover includes a 21,600sf Garage and a 10,320sf storage building with associated gravel and paved parking. The drainage from the site will discharge into grass swales, stone diaphragms, 3 bio retention ponds and be discharged to stabilized areas outside of the work area.

Summary

The stormwater runoff from this development will be treated and releases through on-site BMPs. The BMPS provide a Pe equal to 1.8 inches which meets the ESDv requirement of 1.8 inches. The peak discharge where the flows leaves the property will not increase as the pre and post development runoff curve numbers remain at 61.

Professional Certification
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland.
MARYLAND License # 20091
Expiration Date 08-25-2021

FSA INC.
FREDERICK, SEBET & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
102 WEST BALTIMORE STREET
HAGERSTOWN, MD 21740
801.791.3650
FSA-MD.COM
791.3650

DATE	REVISION	DESCRIPTION
4/27/2021	10/2/2021	REVISED PER SHA COMMENTS

NO FOR CONSTRUCTION

FIX N' GO TRUCK REPAIR
SITUATED ALONG THE SOUTHWESTERN SIDE OF LAPPANS ROAD (MARYLAND ROUTE 68)
EAST OF SPIELMAN ROAD (MARYLAND ROUTE 63) AND WEST OF PROSPERITY LANE
WASHINGTON COUNTY, MARYLAND
IZMIR AKHMEDOV, FIX N' GO, LLC
20851 WOODBRIDGE DR. HAGERSTOWN, MD 21742
(240)329-2500

PROJECT NO. 7676.1	
DWN BY DWH	DATE 08-27-2020
PROJECT MANAGER A. HAGER	EMAIL adam@fssa-md.com
TAX MAP GRID PARCEL 0056-0020-1038	
SCALE VARIES	
SHEET TITLE	

COVER SHEET

C-001
SHEET 01 OF 12

SP-21-003

1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, etc. conditions on or near any other area. Contractor shall be responsible for determining any subsurface findings.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to verify location and depth of all above and below ground utilities prior to construction.
4. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
5. All utility poles to be cleared of vegetation within 1'-0". All utility poles shall be repaired to a minimum of 2'-0" or tunneled if required.
6. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Benchmarks to be established by FSA prior to the start of construction.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and cultural resources during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Conservation plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
14. The contractor shall be aware that in the event of discrepancies between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
16. Please refer to Geotechnical Report completed by Hillis Carner for load bearing fills, etc.
17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
19. All handpaved parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
20. The existing site contours shown hereon are LIDAR 2' contours and field checked by FSA in June 2019. (Contour accuracy is to plus or minus one half the contour interval).
21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
22. Exterior lighting will consist of banded mounting lights.
23. Applicant to provide as built mylars at the completion of the project.
24. This project has a projected start date of April 2021 and a completion date of December 2021.
25. There are no Board of Zoning Appeals Cases for this property.
26. Proposed SWM will consist of on-site bio-retention facilities, non-rooftop disconnections, and grass swales.
27. All existing drainage culverts and drainage easements are to be maintained and unaltered.
28. No outdoor storage of materials except for trailer parking is allowed on the site.
29. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Construction.
30. This project will require a third party qualified engineer to be present at the preconstruction meeting scheduled with Washington County Division of Construction and the Washington County Soil Conservation District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Procedures" dated October 17, 2008.
31. Developer/Contractor must contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
32. A performance bond or stormwater management performance bond in accordance with Washington County, a Performance Security and executed Maintenance Agreement shall be required from the Developer prior to issuance of any building or grading permit for construction per these plans.

ZONING DISTRICT _____ HI - HIGHWAY INTERCHANGE
BUILDING HEIGHT _____ 75 FT
MINIMUM YARD SETBACK:
FRONT _____ 40 FT.
SIDE _____ 10 FT.
REAR _____ 10 FT.

*EXCEPT WHEN ADJACENT TO RESIDENTIAL DEVELOPMENT, IT SHALL BE 25 FEET.

BOARD OF ZONING APPEALS' CASE _____ NONE

TAX MAP - GRID - PARCEL	0056-0020-1038
ELECTION DISTRICT	02
ACCOUNT NUMBER	019949
LIBER / FOLIO	06035 / 00413
PLAT NUMBER	NONE
AREA SUMMARY:	
PARCEL	10.77 AC.
DISTURBED AREA	9.6 AC.
EXISTING IMPERVIOUS	0 SF / 0.0 AC (0%)
PROPOSED TOTAL IMPERVIOUS	188,519 S.F. / 4.33 AC (40%)
BUILDING SUMMARY:	
SERVICE GARAGE	21,600 S.F.
STORAGE SPACE	10,320 S.F.
HEIGHT	35 FT
PROPOSED USE	TRACTOR TRAILER REPAIR (Auto Repair)
HOURS OF OPERATION	9AM - 5PM MONDAY - FRIDAY
EMPLOYEE SUMMARY:	5
NUMBER OF SERVICE BAYS:	10
DELIVERIES:	TRACTOR TRAILER DAILY
WATER & SEWER USAGE:	
WATER PROVIDED	PRIVATE WELL
SEWER PROVIDED	PRIVATE SEPTIC
WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: TRASH CAN
RECYCLE REMOVAL	PRIVATE HAULER: TRASH CAN
SITE LIGHTING:	
EXISTING	NONE
PROPOSED	BUILDING MOUNTED
SITE SIGNAGE:	
EXISTING	NONE
PROPOSED	NONE
ADDRESS ASSIGNMENT	16001 LAPPANS ROAD WILLIAMSPORT, MD 21795
ROAD CLASSIFICATION:	
MAJOR COLLECTOR	LAPPANS ROAD
WAIVER AND/OR VARIANCE	NONE
FOREST CONSERVATION	ON-SITE RETENTION/AFFORESTATION EASEMENT, 1.35 AC.
WATERSHED:	
NAME	POTOMAC RIVER WASHINGTON COUNTY
NUMBER	02-14-05-01
FEMA PANEL #	24043C0279D

USE	REQUIREMENT	CALCULATION	REQUIRED
AUTO SERVICE	2 SPACES PER SERVICE BAY PLUS 1 SPACE PER EMPLOYEE	2 x 10 SERVICE BAYS 5 EMPLOYEES	20 SPACES 5 SPACES
TOTAL REQUIRED SPACES			25 SPACES
TOTAL PROVIDED PARKING SPACES			25 SPACES

	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		
BUILDING		
MAIL BOX		
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)		
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION		
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		
EVERGREEN TREES		
		SEE LANDSCAPE SHEET FOR LEGEND
SANITARY SEWER		
GRAVITY LINE		
FORCE MAIN LINE		
LATERAL		
MANHOLE		
CLEANOUT		
VALVE		
WATER		
COLD WATER LINE		
HOT WATER LINE		
MANHOLE		
FIRE HYDRANT		
VALVE		
METER		
WELL		
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE		
INLETS		
CLEANOUT		
UTILITIES		
GAS LINE		
ELECTRICAL LINE		
FIBER OPTIC LINE		
COMMUNICATION LINE		
OVERHEAD LINES		
MANHOLE		
PEDS. BOX, & ETC		
POLE		
LIGHT POLE		
GAS METER		
GAS VALVE		

ASHTO	AMERICAN ASSOCIATION OF STATE	OC	ON CENTER
	HIGHWAY AND TRANSPORTATION OFFICIALS	PC	POINT OF CURVE
ADS	ADVANCED DRAINAGE SYSTEM	PCC	POINT OF COMPOUND CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND	PR	PROPOSED GRADE LINE
	MATERIAL	PRC	POINT OF REVERSE CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PT	POINT OF TANGENT
BLDG	BUILDING	PVC	POINT OF VERTICAL CURVE
BOT	BOTTOM	PVI	POINT OF VERTICAL INTERSECTION
PIP	CAST IRON PIPE	PVT	POINT OF VERTICAL TANGENT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	SAN	SANITARY
CO	SANITARY SEWER CLEAN-OUT	SCE	STABILIZED CONSTRUCTION ENTRANCE
COMM	COMMUNICATION	SDR	STANDARD DIMENSION RATIO
CONC	CONCRETE	SIP	SET IRON PIN
	DRAINAGE AREA	SD	S/D FORM DRAINAGE
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
EGL	EXISTING GRADE LINE	SF	SQUARE FEET
EX	EXISTING	SS	SANITARY SEWER
EIP	EXISTING IRON PIN	SSMH	SANITARY SEWER MANHOLE
FF	FINISH FLOOR ELEVATION	STA	STATION
FH	FIRE HYDRANT	STD	STANDARD
GV	GATE VALVE	SY	SQUARE YARDS
HGL	HYDRAULIC GRADE LINE	TAN	TYPE AS NOTED
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
INV	INVERT	TS	TOP OF STRUCTURE
LF	LINEAR FEET	TG	TOP OF GRATE
MAX	MAXIMUM	TR	TOP OF RIM
MB	MAIL BOX	TYP	TYPICAL
MIN	MINIMUM	U/P	UTILITY POLE
MJ	MECHANICAL JOINT	VIF	VERIFY IN FIELD
NO	NUMBER	WL	WATERLINE
NIC	NOT IN CONTRACT	WM	WATER METER
NTS	NOT TO SCALE	WV	WATER VALVE
OAC	OR APPROVED EQUAL		

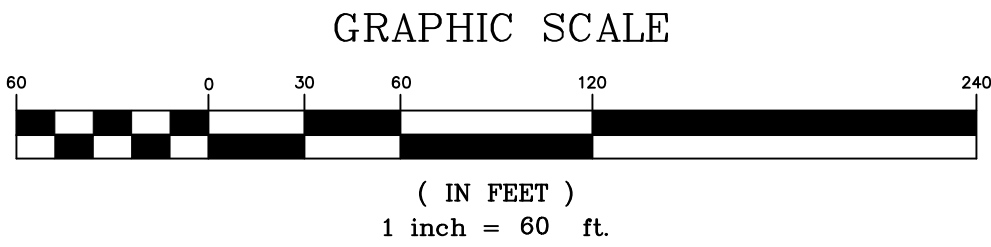
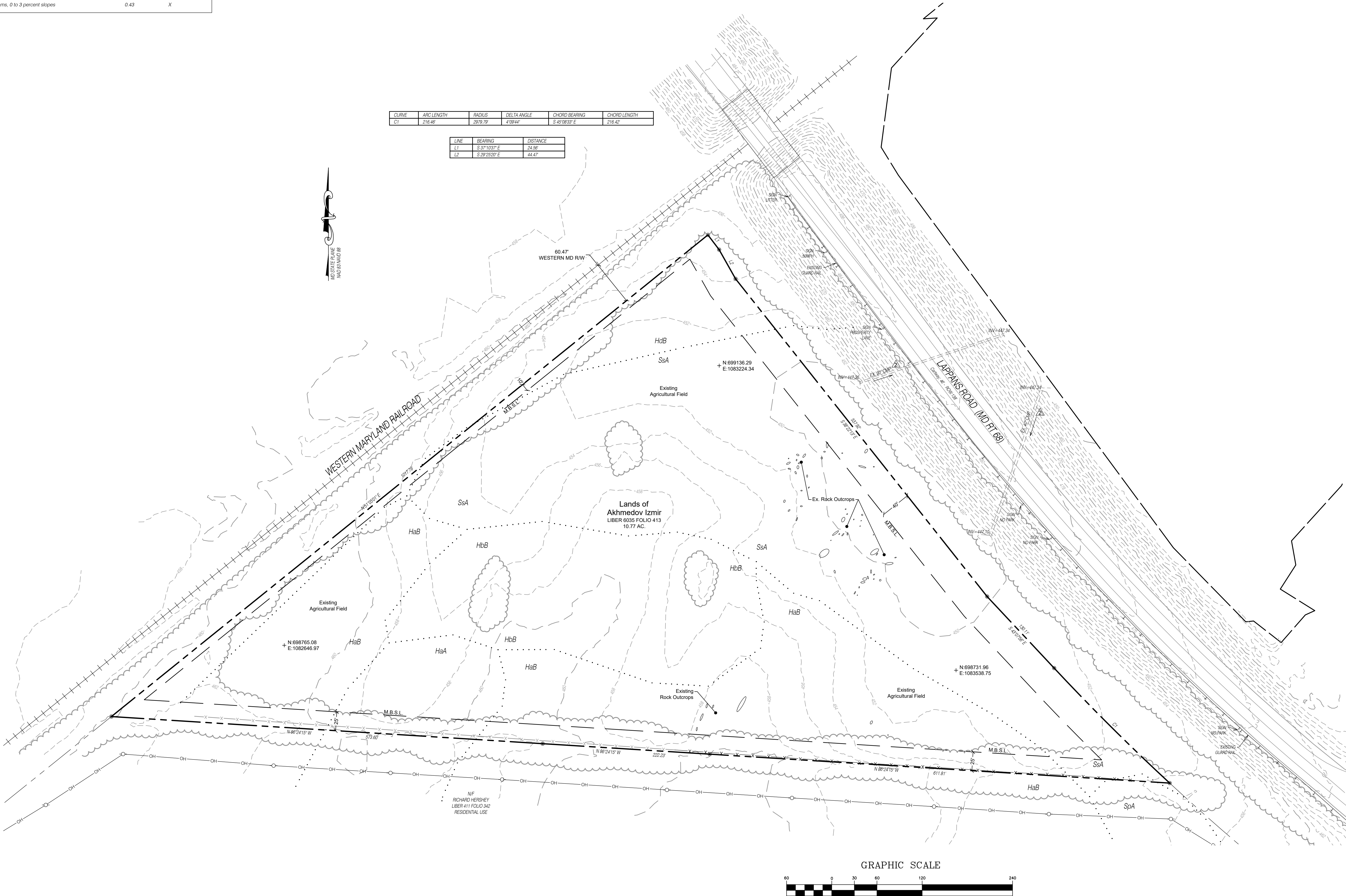
C-002
HEET 02 OF

SOILS KEY

SOILSNAME	K-FACTOR	PRIME FARM LAND
HaA Hagerstown silt loam, 0 to 3 percent slopes	0.37	X
HaB Hagerstown silt loam, 3 to 8 percent slopes	0.37	X
HbB Hagerstown silty clay loam, 3 to 8 percent slopes, very rocky	0.32	
HdB Hagerstown silty clay loam, 3 to 8 percent slopes, very rocky	0.37	
SpA Swarponed silt loam, 0 to 3 percent slopes	0.43	X
SsA Swarponed-Funkstown silt loams, 0 to 3 percent slopes	0.43	X

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	216.46	2979.79	438.44°	S 45°08'30" E	216.42

LINE	BEARING	DISTANCE
L1	S 37°10'37" E	24.48'
L2	S 29°25'20" E	44.47'



Professional Certification
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland.
MARIAND License # 49800
Expiration Date 10/08/2021

FS&P
FREDERICK SEBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
1000 SPRINGFIELD DRIVE
FREDERICK, MD 21701
TEL: 301.777.8111
FAX: 301.777.8111
666 SOUTH HANOVER STREET
BALTIMORE, MD 21201
TEL: 410.777.8111
FAX: 410.777.8111

DATE	3/24/2021
REVISIONS	
DESCRIPTION	
REVIEWED PER ENGINEERING COMMENTS	
MARK	

NO APPROVED FOR

PROJECT NO.	7676.1
DWN BY	DWH
DATE	08-27-2020
PROJECT MANAGER	A. HAGER
EMAIL	adam@fsa-md.com
TAX MAP GRID PARCEL	0056-0020-1038
SCALE	1" = 60'

EXISTING
CONDITIONS

C-101
SHEET 03 OF 12



Professional Certification
I hereby certify that these documents were prepared
or approved by me and that I am a duly licensed
professional engineer in the State of
Maryland. License # 20091
Expiration Date 10/26/2021

FS&A
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
10200 WOODBRIDGE DRIVE, SUITE 200
HAGERSTOWN, MARYLAND 20636
P: 410.326.2500
F: 410.326.2501
E: info@fsa-md.com
W: www.fsa-md.com

MARK	DESCRIPTION	REVIEWED PER COUNTY AGENCIES	DATE
Δ	PROPOSED		3/18/2021

NO APPROVED FOR

PROJECT NO.	7676.1
DWN BY	DWH
DATE	09-23-2020
PROJECT MANAGER	A. HAGER
EMAIL	adam@fsa-md.com
TAX MAP GRID PARCEL	0056-0020-1038
SCALE	1" = 60'
SHEET TITLE	

SITE &
DIMENSIONING PLAN

C-103
SHEET 05 OF 12

SP-21-003

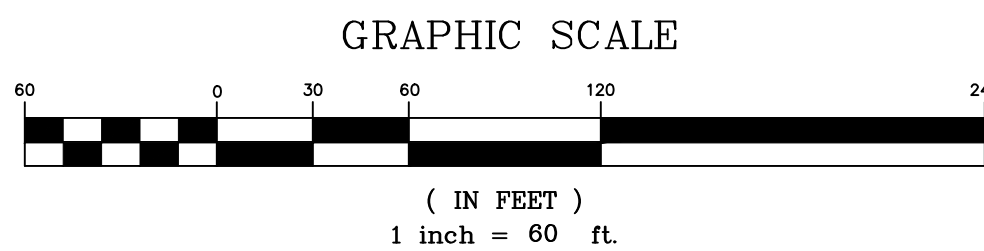
FIX N' GO TRUCK REPAIR
SITING ALONG THE SOUTH WESTER SIDE OF LIPANS ROAD, MARYLAND ROUTE 68
EAST OF SHELIMAN ROAD, MARYLAND ROUTE 63 AND WEST OF PROSPERITY LANE
WASHINGTON COUNTY, MARYLAND
IZMIR AHMEDOV, FIX N' GO, LLC
2081 WOODBRIDGE DRIVE, HAGERSTOWN, MD 21742
(240) 326-2500

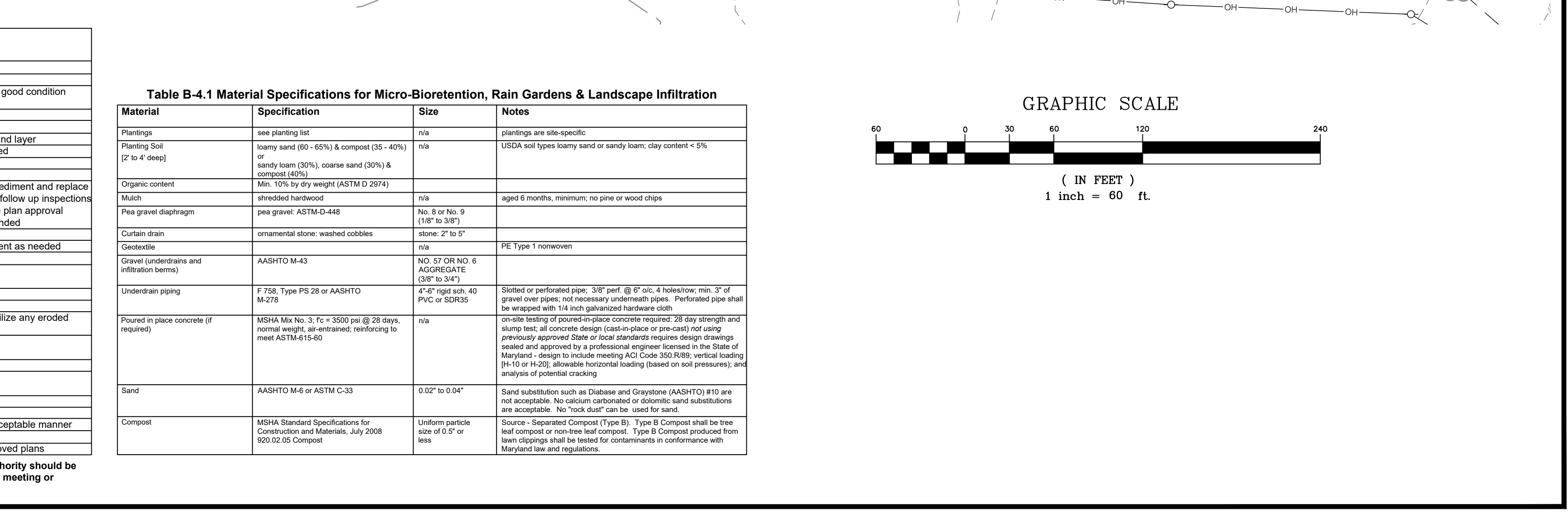
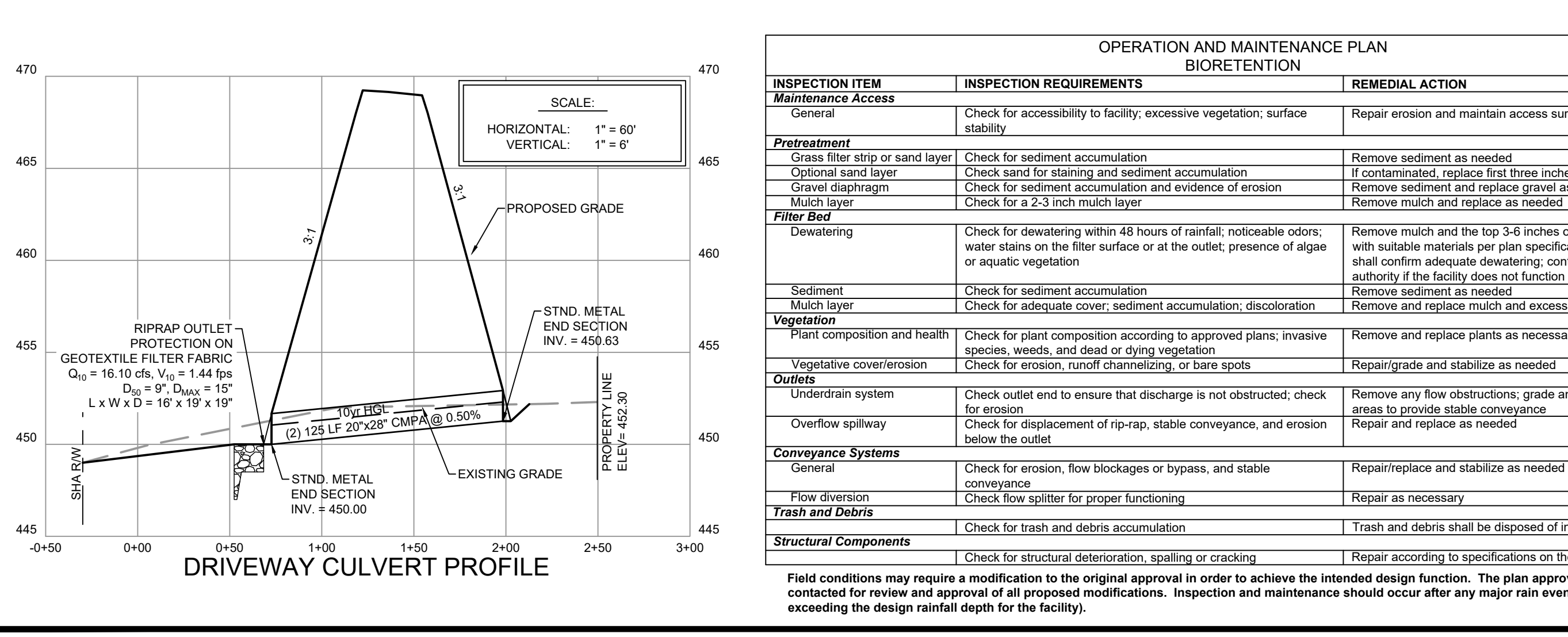
HATCH LEGEND

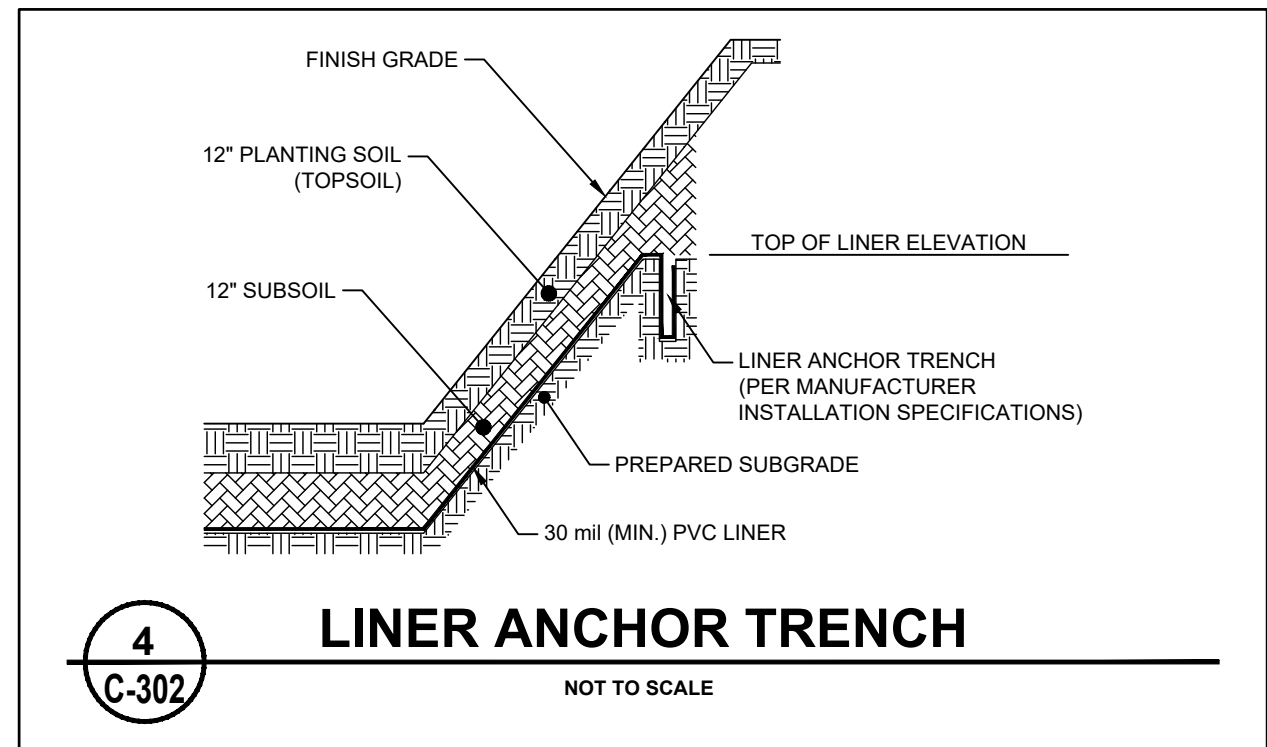
- 1 C-502 PROPOSED SITE PAVEMENT
- 2 C-502 PROPOSED GRAVEL
- 4 C-502 6 C-502 PROP. SIDEWALK AND CONCRETE
- FOREST CONSERVATION EASEMENT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	216.46	2979.79	4°09'44"	S 43°08'33" E	216.42

LINE	BEARING	DISTANCE
L1	S 37°10'33" E	24.56
L2	S 29°25'20" E	44.47



[illegible]



NOTE: THESE SOIL LOGS ARE BASED SOLELY ON FIELD OBSERVATION, AND ARE VALID ONLY FOR THE LOCATIONS INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED TESTING AND CLASSIFICATION TO DETERMINE THE EXTENT OF SOILS ON SITE THAT MEET THE REQUIREMENTS OF MD-378. FOR SOIL LOG DESCRIPTIONS AND RECOMMENDATIONS REFER TO THE GEOTECHNICAL REPORT.

(IN FEET)
1 inch = 60 ft.

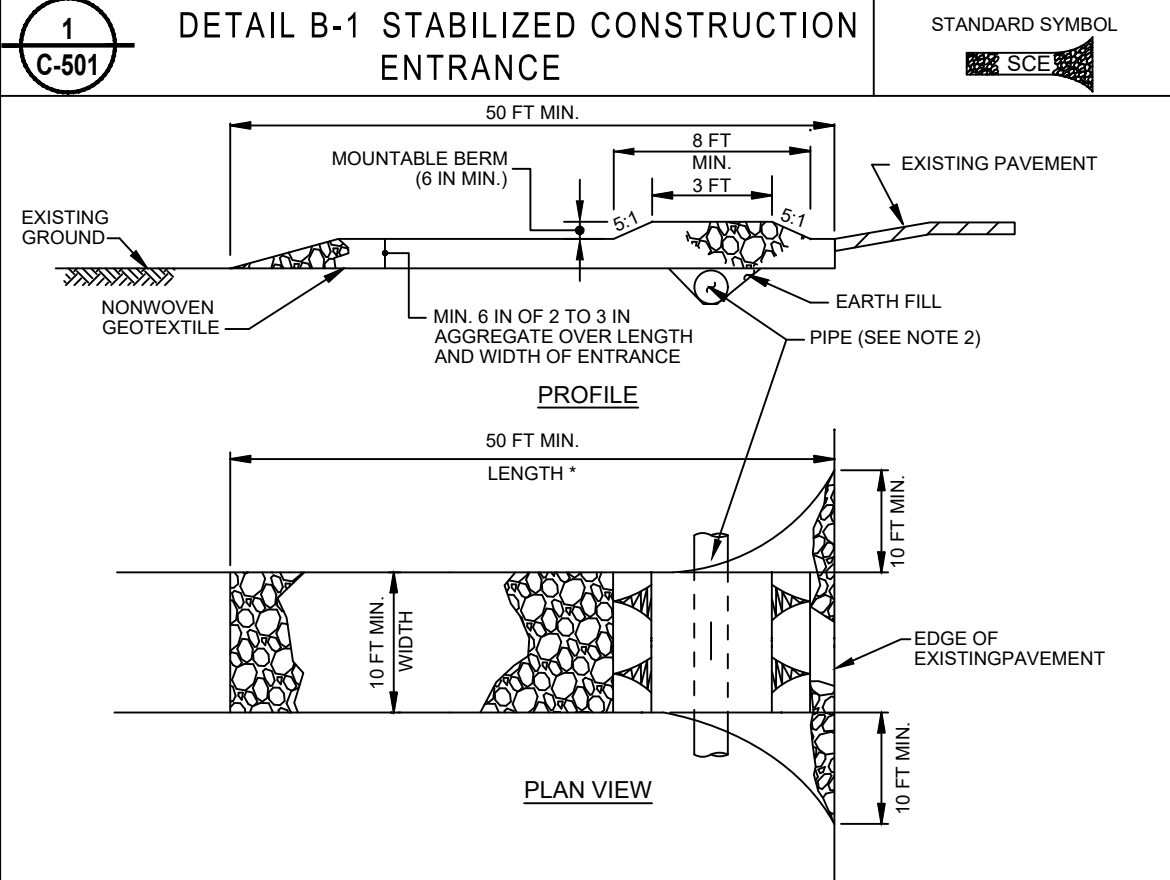
(c) Excavation will be measured and paid for at the Contract unit price per cubic yard for Class 2 Excavation.



SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES	
1.	All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
2.	All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
3.	All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
4.	A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
5.	For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within: <ol style="list-style-type: none"> Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
6.	Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
7.	All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
8.	All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
9.	Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
10.	No slope shall be greater than 2:1.
11.	As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization," is defined as 85 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.
<p>For sites 1.0 acre or more, the following are required:</p> <p>A. Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDCR, State Discharge Permit Number 14GP, or an Individual Permit.</p> <p>B. The Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI) application and permit shall be posted and/or available on-site at all times.</p> <p>C. During construction, all soil erosion and sediment control practices (BMP's) shall be inspected and recorded on the "Standard Inspection Form," "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI).</p> <p>D. Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination- NOT.</p>	

Sequence of Construction

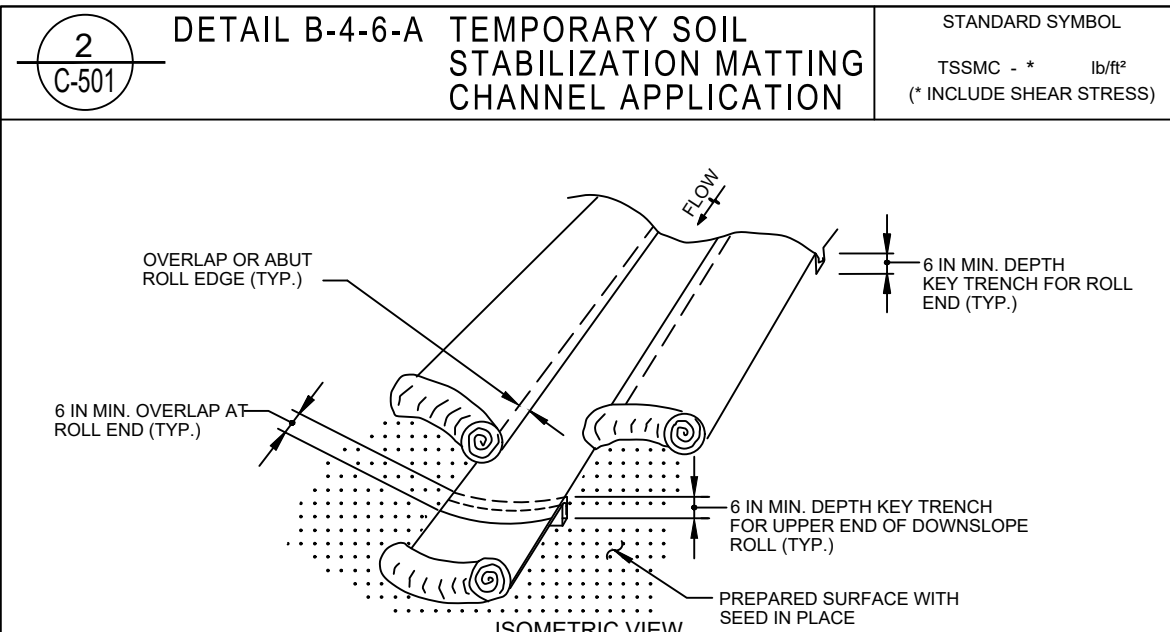
- Contractor to contact FSA, Inc. (301) 791-3650, WCSD (301) 797-6921 ext.3, the Washington County Division of Construction (240) 313-2400 at least five (5) days prior to the start of any earthwork to schedule a pre construction meeting.
- Contractor shall install the stabilized construction entrance at the temporary site access to enter/exit site.
- Contractor shall install all filter logs and smart fence 42.
- Contractor to strip topsoil, place on stockpile on the uphill side of the 12" filter log and seed and mulch.
- Contractor shall start rough grading starting with bringing the proposed entrance to grade. During the fill construction of the proposed entrance, the driveway culvert shall be installed along with outlet protection.
- Once rough grading at the proposed entrance is complete, install a stabilized construction entrance. The temporary site access shall be removed and no longer be used. Continue rough grading the remaining site. When constructing the swales, start at the downhill side and work uphill.
- When rough grading has been completed, contractor shall start the construction of the gravel, pavement and buildings.
- Stabilize all disturbed areas with seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
- Contact Frederick Seibert, and Assoc. (301)791-3650, 2 days prior to bio-retention and pretreatment construction. Contractor shall have site area stabilize and contact WCSD (301) 797-6921 ext.3 and the Washington County Division of Construction (240) 313-2400 before excavating the bio-retention areas. After bio-retention areas have been stabilized, contact Washington County Division of Construction (240) 313-2400 for an interim inspection and approval to install the bio-materials.
- Construct bio-retention areas, stabilize with seed, mulch and plantings upon completion. Note that construction vehicles are prohibited from traveling over bio-retention areas.
- Contractor shall finalize grading then seed and mulch.
- Contractor to contact WCSD (301) 797-6921, ext. 3 and the Washington County Division of Construction at (240) 313-2400 at least 5 days prior to the removal of any sediment control features to schedule a final site close out review and meeting. Contractor to gain final approval from WCSD prior to removal of erosion and sediment controls.
- Remove sediment and erosion control measures, and stabilize accordingly.



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 8 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

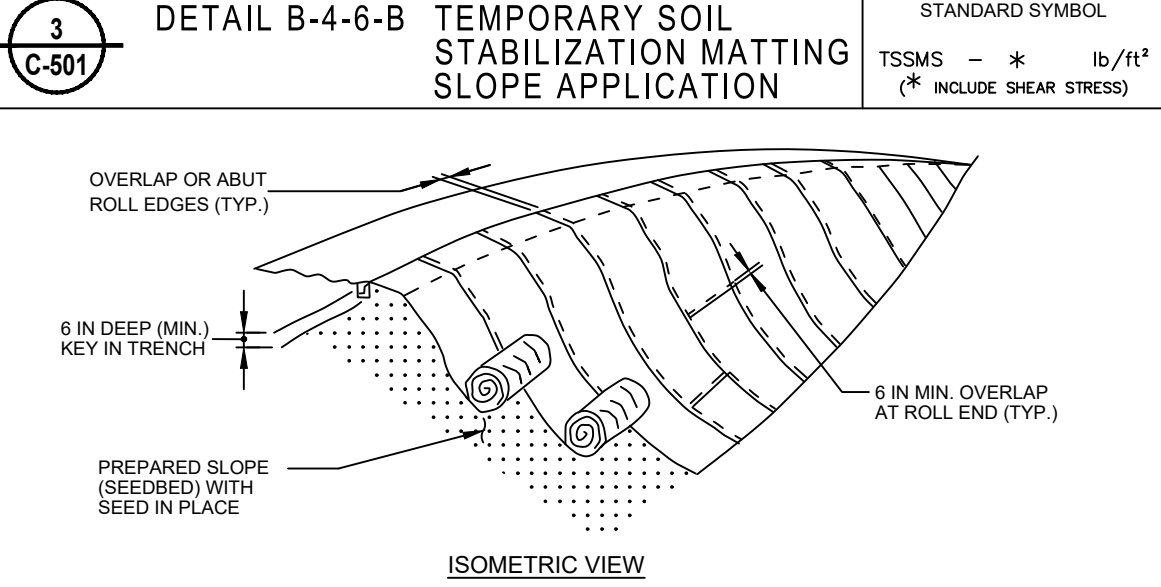
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SHOULDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/4 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MAT SMOOTHLY AND FIRMLY ON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- KEY-IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING. PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END.
- OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

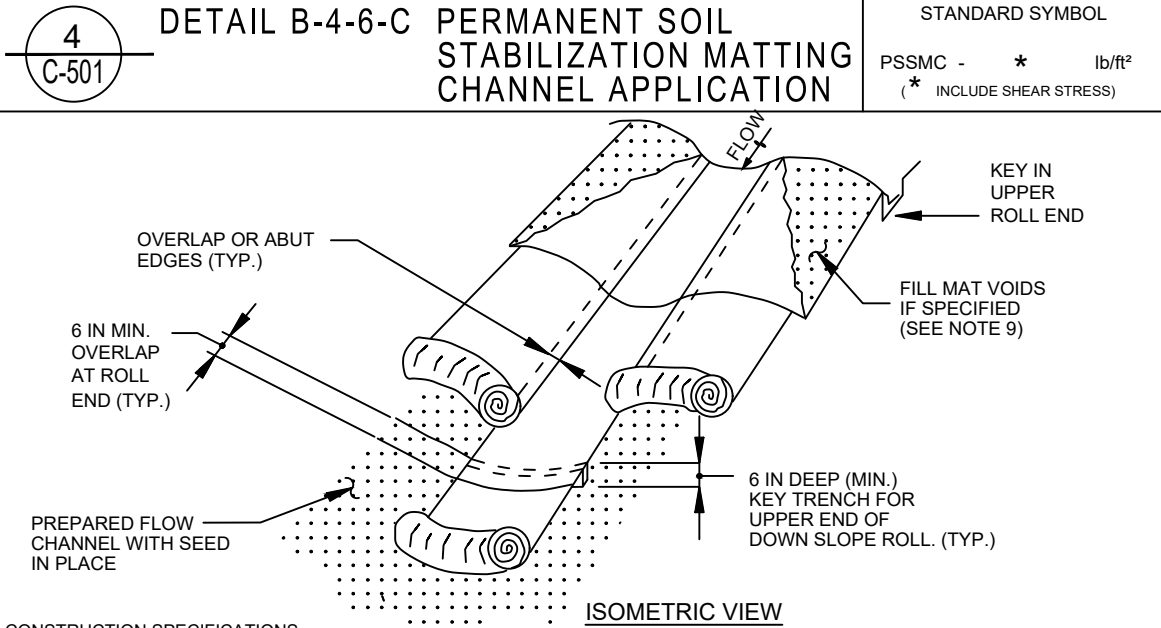
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
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CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SHOULDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/4 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH. PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/4 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH. PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEPT AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL, AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SMARTfence® 42 is NTEP Compliant

GTX-2018-01-187

ACF ENVIRONMENTAL

800.448.3636
aconfenv.com

SMARTfence 42"

INSTALLATION INSTRUCTIONS

STEP 1: Excavate trench a maximum of 4" wide and 6" deep. The trench shall be hand-cleaned following excavation to remove bulky debris such as rocks, sticks, and soil clods from the trench. Drive studded metal T-posts with anchor plates having a minimum weight of 1.25 lb/ft and a minimum 5' length. Drive post into ground a minimum of 18" depth. Post spacing must be no greater than 6 ft maximum.

STEP 2: Lay out SMARTfence® 42 along proposed fence line next to anchor trench. Locate one end of the SMARTfence® 42 and position near the initial post. Position SMARTfence® 42 vertically along the initial post.

STEP 3: For the initial post, place the end of SMARTfence® 42 along the post height and rotate the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with steel wire or nylon ties per Step 4.

STEP 4: For fastening SMARTfence® 42 to studded metal T-posts using one of the following methods:

- Method 1 (T-Post): 16-gauge wire- attach SMARTfence® 42 to metal T-posts using the 16-gauge 304 SS wire with mitered ends, securing the fence to the post using safety pliers.
- Method 1 (T-Post): 8" nylon heavy-duty, UV-stabilized, cable ties (zip-ties) with minimum 120-lb tensile strength. Puncture two 0.25" openings, spaced at a width apart that is roughly equivalent to the post width, and secure the fence to the post.

STEP 5: Drive the initial post with the attached fence into the ground to a 18" depth.

STEP 6: Drive the interior T-posts of the fence system into the ground at least 18".

STEP 7: Move to the next T-post while pulling SMARTfence® 42 tightly. Position the SMARTfence® 42 in front of the adjacent T-post in preparation for fastening the fence to the post. Fasten fence to post at all four (4) orange-colored band locations as instructed in Step 4.

STEP 8: After the interior posts have been fastened to the SMARTfence® 42, secure the fence to the final post by pulling the final section of fencing taut, then rotating the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with the steel wire or nylon ties per Step 4.

STEP 9: Place bottom 8" of fabric into the trench. Backfill trench (overfill) with soil placed around fabric. Compact soil backfill with either manual tamping (or other manual means) or via mechanical equipment such as the front wheel of a tractor, skid steer, roller, or other device (per Note 5 of ASTM D 6462 Standard Practice for Silt Fence Installation). Do not damage the fabric during compaction (damaged fabric shall be replaced).

Please contact our team at 800-448-3636 or info@aconfenv.com with any questions regarding the installation process.

LET'S GET IT DONE!™

SMARTfence

For more information, contact our Inside Sales team at 800.448.3636 or email at info@aconfenv.com

NOTE: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation of the seedling season will necessitate the application of temporary stabilization.

Incremental Stabilization of Embankments - Fill Slopes

- Embankments shall be constructed in lifts as prescribed on the plans.
- Slopes shall be stabilized immediately when the vertical height of the multiple lifts reach 15', or when the grading operation ceases as prescribed in the plans.
- At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.

Construction Sequence

- Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct Slope Silt Fence on low side of fill as shown above, unless other methods shown on the plans address this area.
- Place Phase 1 embankment, dress and stabilize
- Place Phase 2 embankment, dress and stabilize.
- Place Final Phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

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INCREMENTAL STABILIZATION - FILL

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

DETAIL D-4-1-A

ROCK OUTLET PROTECTION I

CONSTRUCTION SPECIFICATIONS

- RRIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (¾ TO 1½ INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RRIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RRIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF THE RRIPRAP.
- CONSTRUCT RRIPRAP OUTLET TO FOLLOW COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RRIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RRIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLOADED RRIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

CONSTRUCTION SPECIFICATIONS

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

DETAIL E-6

FILTER LOG

CONSTRUCTION SPECIFICATIONS

- PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATER THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF FILTER LOG.
- FILL LOG NETTING UNIFORMLY WITH COMPOST (IN ACCORDANCE WITH SECTION H-1 MATERIALS), OR OTHER APPROVED BIODEGRADABLE MATERIAL TO DESIRED LENGTH SUCH THAT LOGS DO NOT DEFORM.
- INSTALL FILTER LOGS PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND END OF THE INSTALLATION POINTING SLOPELY UP THE SLOPE CREATING A "Z" SHAPE AT EACH END TO PREVENT BYPASS.
- FOR UNTRENCHED INSTALLATION BLOW OR HAND PLACE MULCH OR COMPOST ON UPHILL SIDE OF THE SLOPE ALONG LOG.
- STAKE FILTER LOG EVERY 4 FEET OR CLOSER ALONG ENTIRE LENGTH OF LOG OR TRENCH LOG INTO GROUND A MINIMUM OF 4 INCHES AND STAKE LOG EVERY 8 FEET OR CLOSER.
- USE STAKES WITH A MINIMUM NOMINAL CROSS SECTION OF 2X2 INCH AND OF SUFFICIENT LENGTH TO ATTAIN A MINIMUM OF 12 INCHES INTO THE GROUND AND 3 INCHES PROTRUDING ABOVE LOG.
- WHEN MORE THAN ONE LOG IS NEEDED, OVERLAP ENDS 12 INCHES MINIMUM AND STAKE.
- REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO A DEPTH OF ½ THE EXPOSED HEIGHT OF LOG AND REPLACE MULCH. REPLACE FILTER LOGS UPON REMOVAL. IF FILTER LOGS ARE UNDERMINING OR DISLODGING OCCURS, REPAIR AND CLOSURED FILTER LOGS. FOR PERMANENT APPLICATIONS, ESTABLISH AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

CONSTRUCTION SPECIFICATIONS

U.S. DEPARTMENT OF AGRICULTURE
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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

SWALE #	Q10	V10	DEPTH	SLOPE	WIDTH	TOP WIDTH
1	2.54 cfs	1.93 fps	0.27'	3'	4'	5.62'
2	5.74 cfs	2.93 fps	0.59'	2'	2'	4.36'
3	3.25 cfs	2.51 fps	0.39'	3'	2'	4.34'

NOTE:

- ALL SWALES TO BE LINED WITH EROSION CONTROL MATTING. TO DESIGN FLOW DEPTH.
- ALL DIMENSIONS LABELED AS MIN. ON THIS DETAIL MAY BE SUPERSEDED BY GREATER DIMENSIONS WHICH WOULD BE NOTED DIRECTLY ON PLAN, IF NECESSARY.

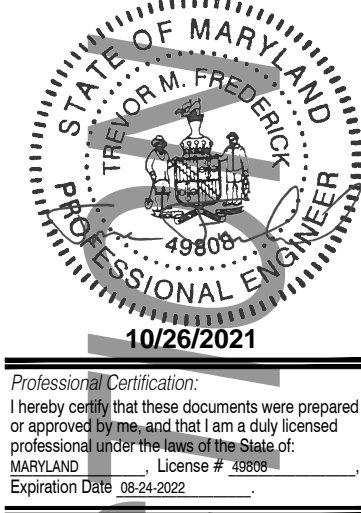
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SWALE DETAIL

NOT TO SCALE

TEMPORARY SEEDING SUMMARY						
HARDINESS ZONE (FIGURE B-3): 6a & 6b				FERTILIZER RATE (10-20-20)		LIME RATE
SEED MIXTURE (TABLE B.1)						
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS		
1	Barley	96	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1"	436 lb/ac. (10 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)

PERMANENT SEEDING SUMMARY								
HARDINESS ZONE (FIGURE B-3): 6a & 6b				FERTILIZER RATE (10-20-20)			LIME RATE	
SEED MIXTURE (TABLE B.1)								
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTH	N	P205	K20	
6	Tall Fescue	40	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1/4"-1/2"	45 lb/ac. (1 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	90 lb/ac. (2 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)
	Perennial Ryegrass	25						
	White Clover	5						



Professional Certification
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland.
FREDERICK SEIBERT & ASSOCIATES, INC.
10000 WOODBRIER DRIVE, SUITE 200
GREENBELT, MARYLAND 20770
PHONE: 301.271.9000
FAX: 301.271.9000
E-MAIL: fseibert@fseibert.com
LICENSE # 28891
Expiration Date: 05-31-2025

DATE:	3/18/2021
REVIEWED PER COUNTY AGENCIES COMMENTS:	
MARK:	
DESCRIPTION:	

NOISE WALL

FIX N' GO TRUCK REPAIR

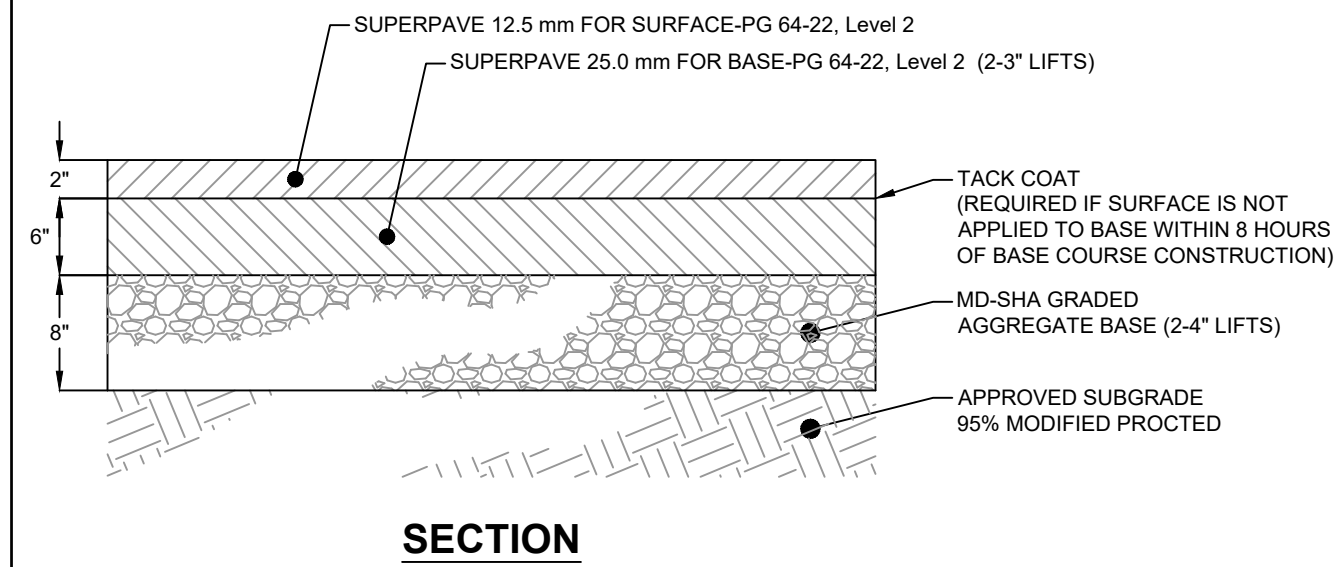
SITING ALONG THE SOUTH-WEST CORNER OF DUNN ROAD, MARYLAND ROUTE 68 EAST OF SHELMAN ROAD, MARYLAND ROUTE 68 AND WEST OF PROSPERITY LANE

WASHINGTON COUNTY, MARYLAND

IZMIR AHMEDOV, FSN-50, LLC
2081 WOODBRIER DR. HAGERSTOWN, MD 21742
(240) 294-2500

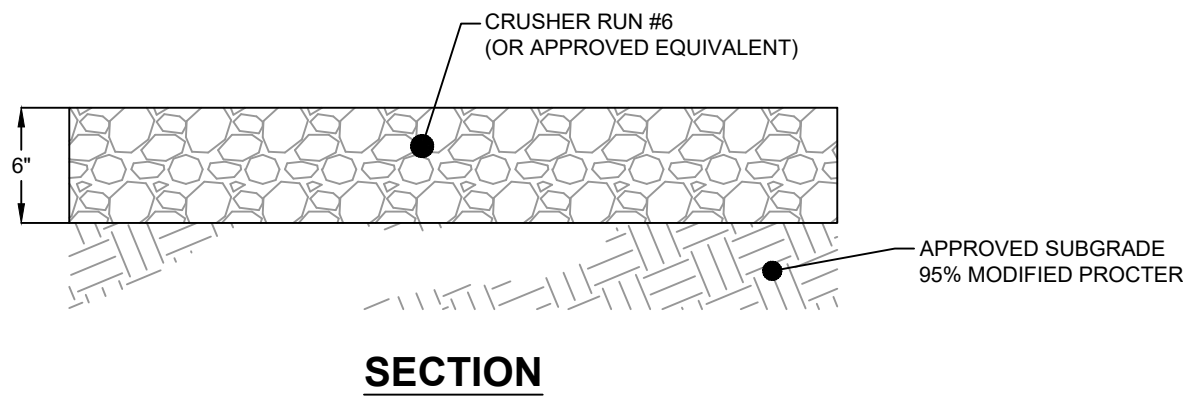
PROJECT NO.	7676.1</
-------------	----------

P:\SIGNED\CONTRACTS\2019\19-000\CONSTRUCTION\DETAILS\NOTES SHEET.DWG 10/26/2021

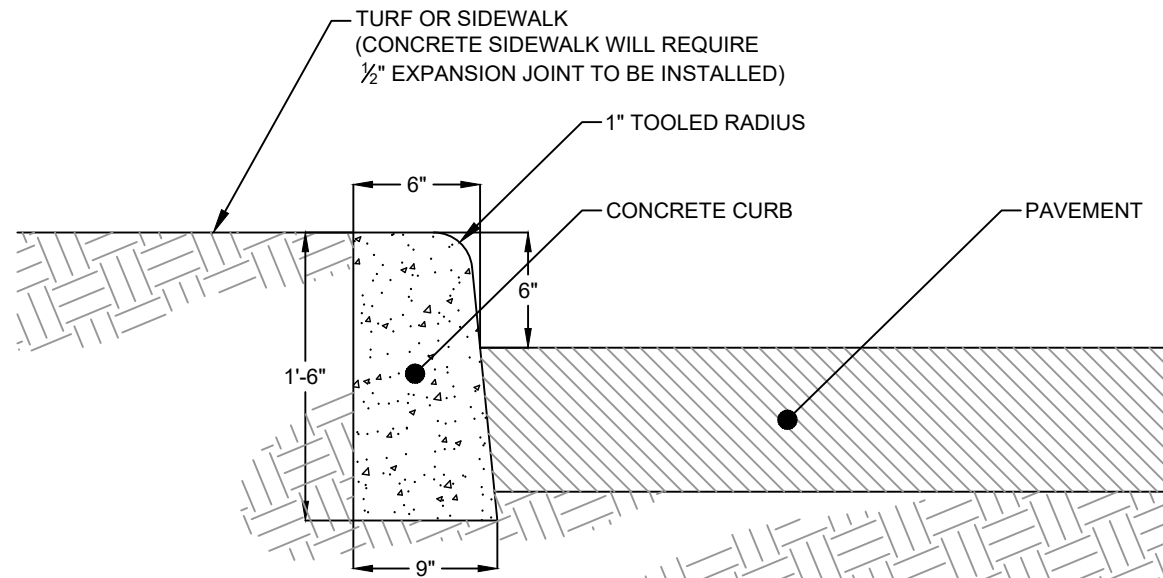


NOTES:
The Asphalt Binder shall conform to AASHTO MP1-93 Table 1, Standard Specification for Performance Graded Asphalt Binder. Superpave mix designs shall be in conformance with AASHTO PP28-95, Standard Practice for Superpave Volumetric Design for HMA. The Performance Grading shall be achieved by the use of Neat Asphalt with polymer modification when needed.

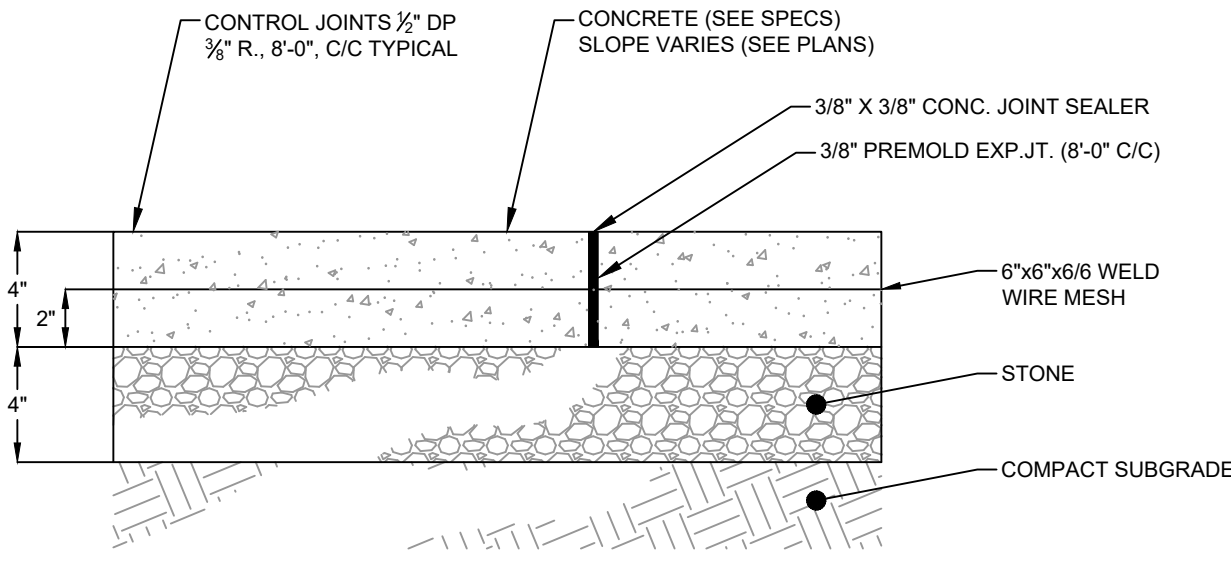
1
C-502
PAVEMENT - TRUCK
NOT TO SCALE



2
C-502
PAVEMENT - GRAVEL
NOT TO SCALE

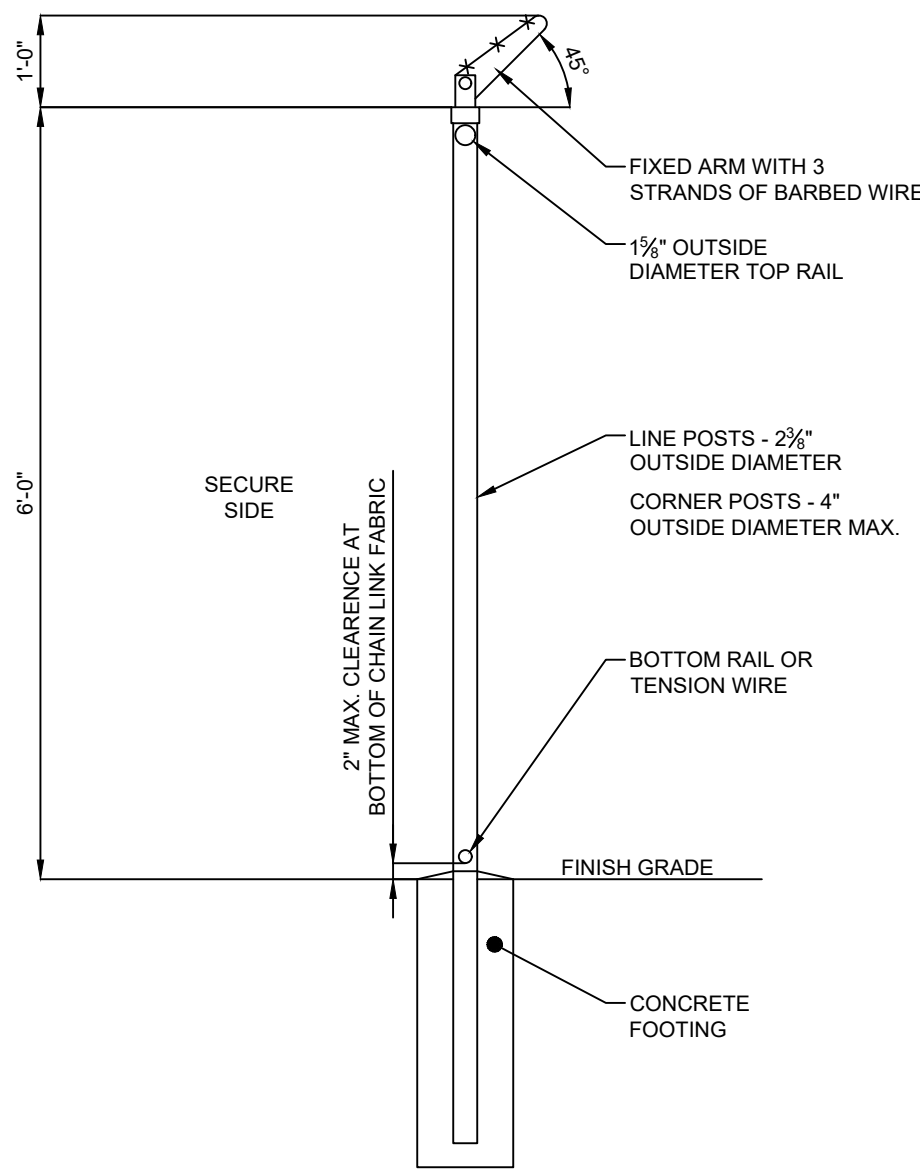


3
C-502
CURB - CONCRETE
NOT TO SCALE



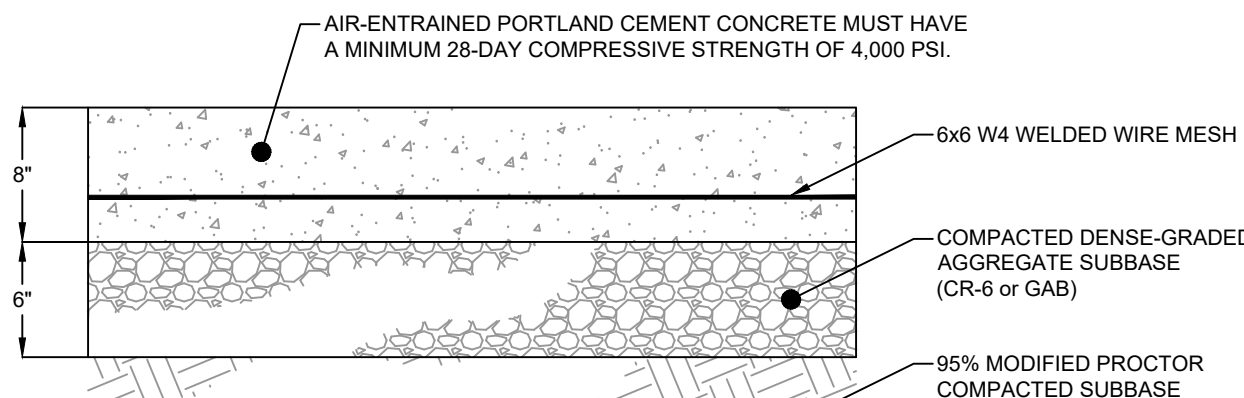
NOTES:
1. CLASS P-I AIR ENTRAINED CONCRETE
2. SIDEWALK TO HAVE 3/8" CONTRACTION JOINTS SCORED AT 5'-0" INTERVALS.
3. CONSTRUCT 3/8" EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT.
4. SIDEWALK TO BE BRUSH FINISHED

4
C-502
SIDEWALK - CONCRETE
NOT TO SCALE



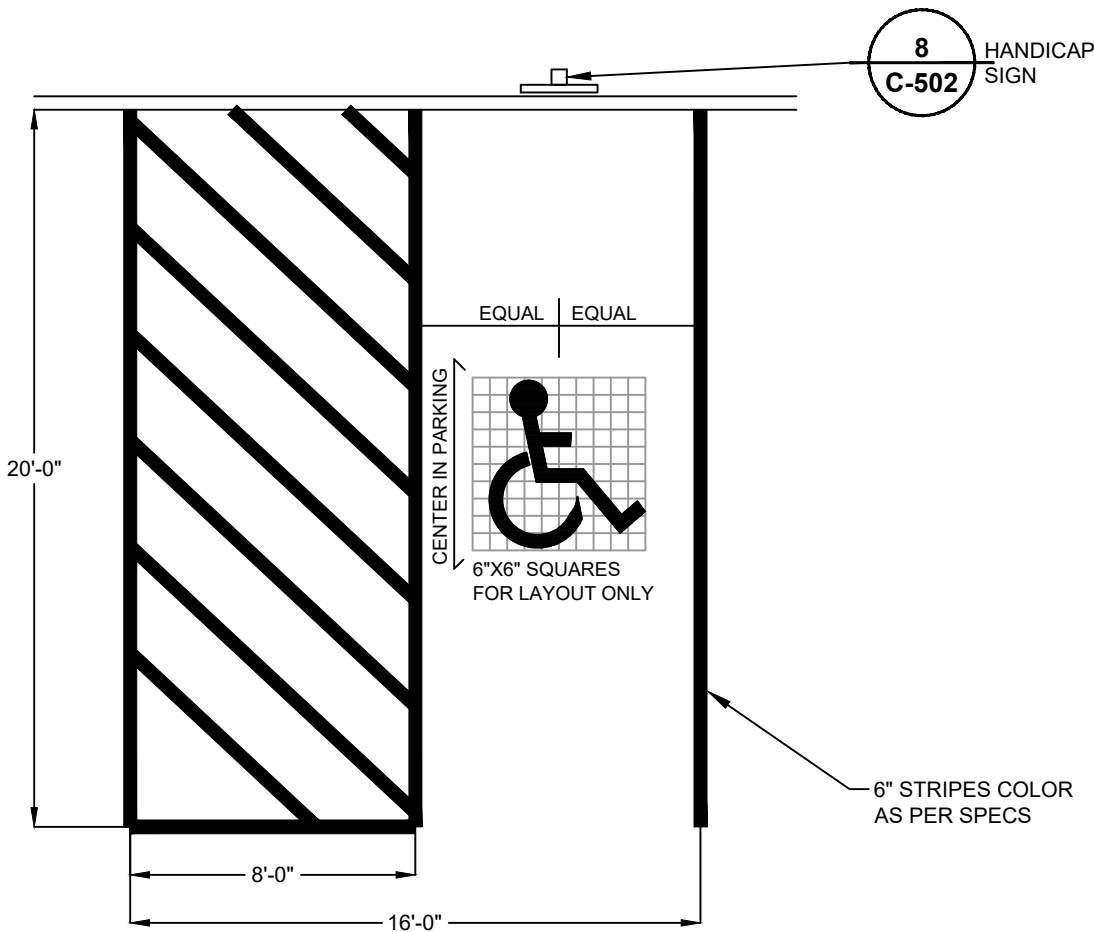
NOTES:
Galvanized or Vinyl coated Chain Link Fence (or approved equivalent per Architect).

5
C-502
PERIMETER FENCE (6ft High Security)
NOT TO SCALE

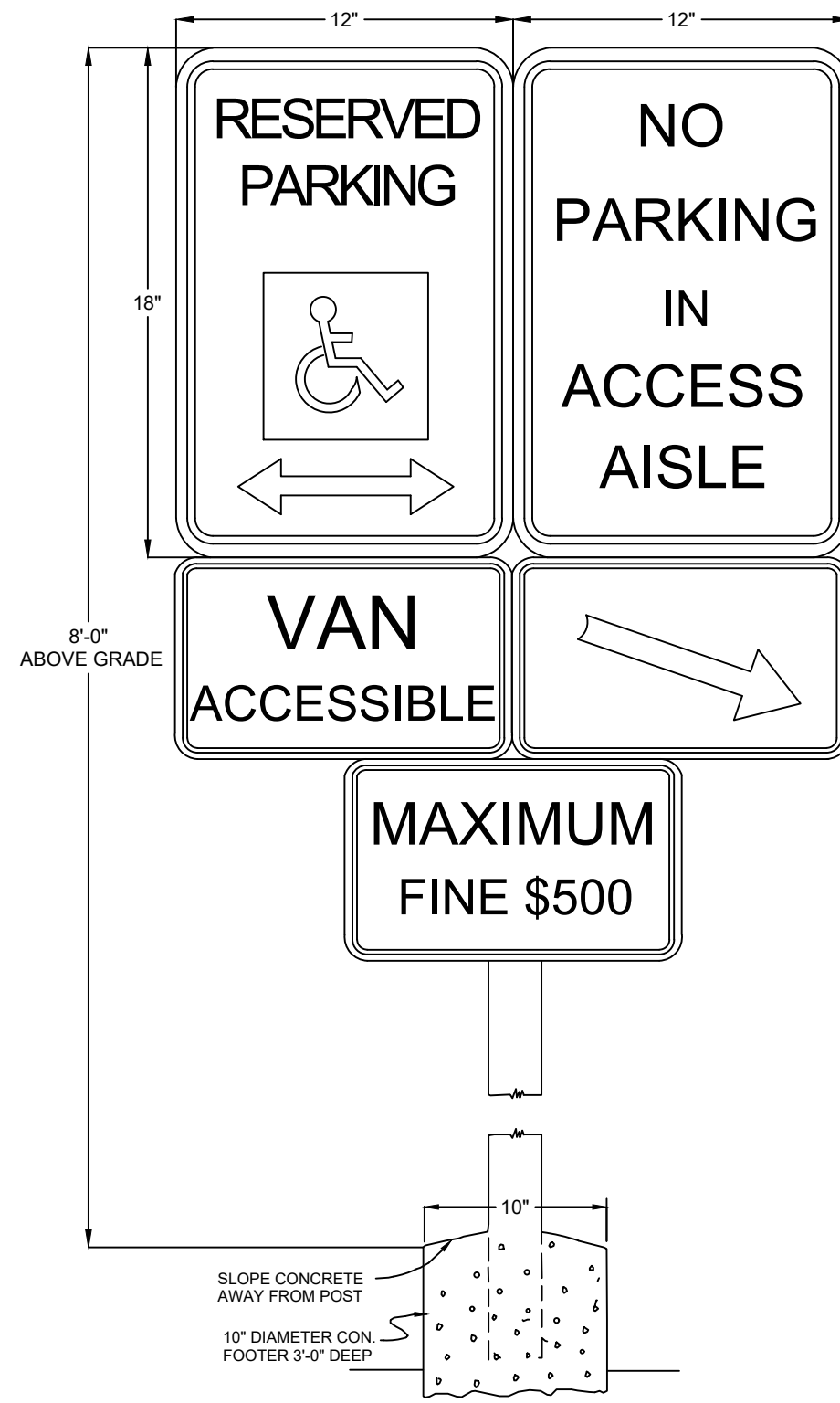


NOTES:
Geotechnical Engineer shall specify location of expansion and control joints. Detail of expansion and control joints to be specified by site Geotechnical Engineer.

6
C-502
PAVEMENT - CONCRETE
NOT TO SCALE

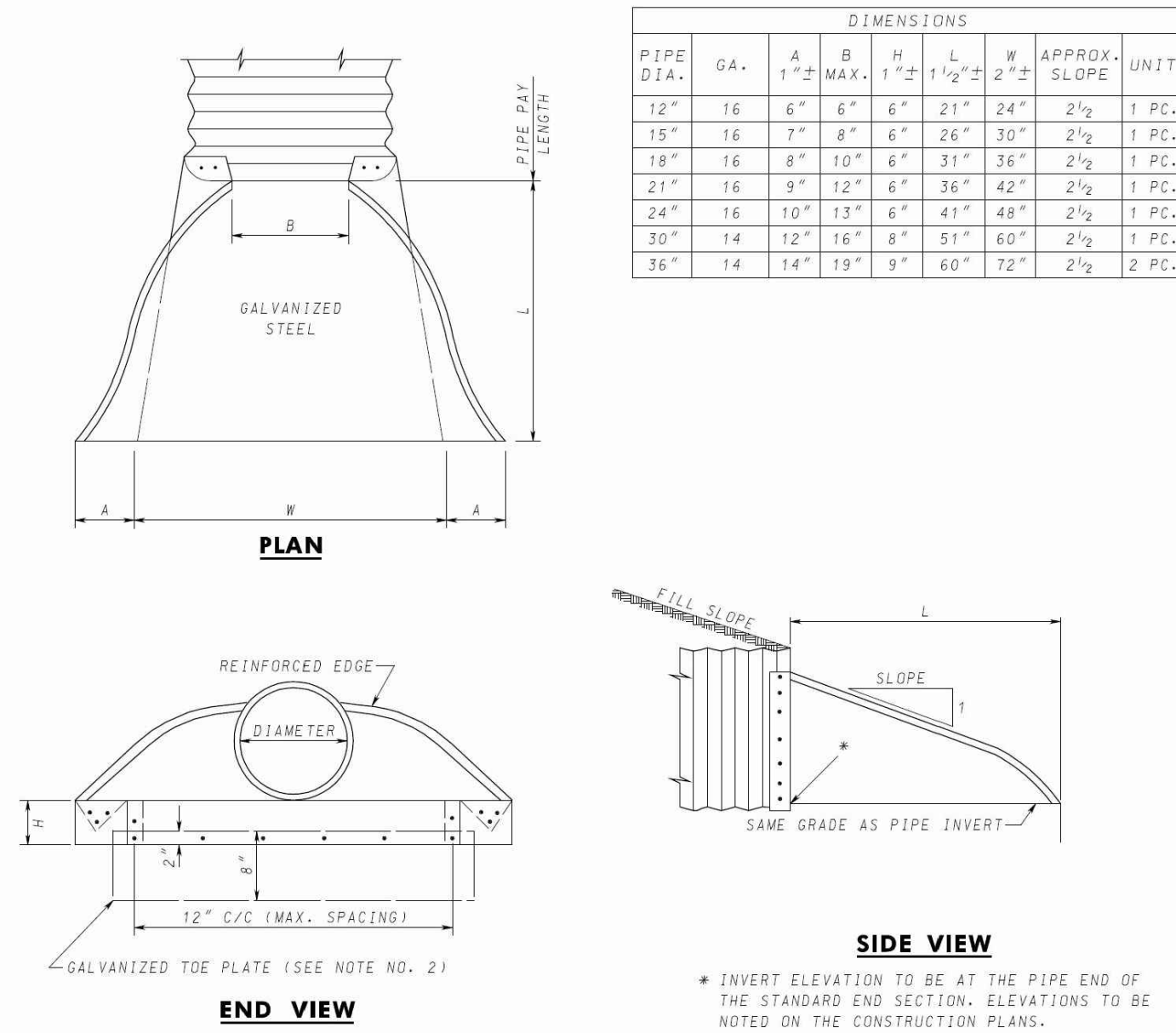


7
C-502
HANDICAP PARKING
NOT TO SCALE



NOTES:
Use appropriate arrow plate.
Colors: Background (white), Text & Boarder (green), Symbol (white on a blue background).
Reference state of Maryland standard highway sign booklet.
Department of Transportation P.O. Box 717-707 N. Calbert St. Baltimore, Maryland 21203

8
C-502
HANDICAPPED - SIGNAGE - MD
NOT TO SCALE



NOTES
1. METAL END SECTIONS SHALL BE GAGE 16 FOR PIPES RANGING FROM 15" THRU 24", AND GAGE 14 FOR PIPES RANGING FROM 30" THRU 36". MULTIPLE PANEL UNITS TO HAVE LAP SEAMS WHICH ARE TO BE TIGHTLY JOINED BY 3/8" DIAMETER GALVANIZED RIVETS OR BOLTS.
2. THE PLATES SHALL BE USED WHEN SPECIFIED ON THE PLANS. THICKNESS OF END PLATE TO BE SAME AS END SECTION. COST OF THE PLATE TO BE INCIDENTAL TO THE BID PRICE PER EACH OF METAL END SECTION.

SPECIFICATION	CATEGORY	CODE	ITEMS
303			
APPROVED			<i>K.E.G. Moseley</i>
	DIRECTOR -	OFFICE OF	HIGHWAY DEVELOPMENT
	APPROVAL -	SHA	REVISIONS
	APPROVAL -	FEDERAL	REVISIONS
	APPROVAL -	8-28-86	12-12-86
	REVIEWED -	10-11-01	7-27-09
	REVIEWED -	7-11-09	
	REVIEWED -		

Maryland Department of Transportation
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
STANDARD METAL END SECTION
ROUND METAL PIPE
STANDARD NO. MD 370.01

9
C-502
NOT TO SCALE



Professional Engineer
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland.
License # 20091
Expiration Date 09-25-2021
FREDERICK SEBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
1000 SPRINGFIELD DRIVE
FREDERICK, MARYLAND 21704
717.467.2800
1000 SPRINGFIELD DRIVE
FREDERICK, MARYLAND 21704
717.467.2800

MARK	DESCRIPTION	REVISION	DATE
			4/27/2021

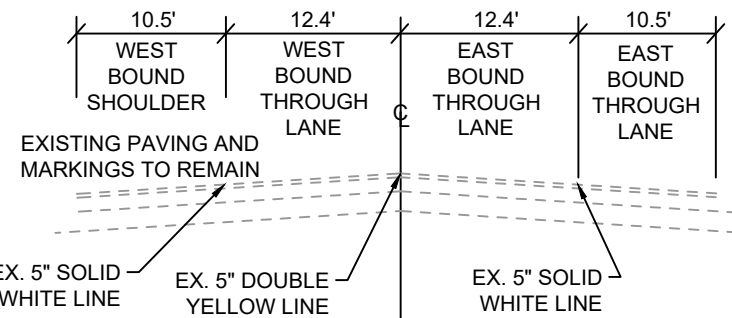
FIX N' GO TRUCK REPAIR
SITING ALONG THE SOUTH WESTERLY SIDE OF SPANNS ROAD, MARYLAND ROUTE 68
EAST OF SPANNS ROAD AND MARYLAND ROUTE 68 AND WEST OF PROSPERITY LANE
WASHINGTON COUNTY, MARYLAND
IZMIR AHMEDOV, FRYN SO, LLC
20031 WOODBRIDGE DR. HAGERSTOWN, MD 21742
(240) 325-2500

PROJECT NO.	7676.1
DWN BY	DWH
DATE	09-25-2020
PROJECT MANAGER	A. HAGER
EMAIL	adam@fss-mid.com
TAX MAP GRID/PARCEL	0056-0020-1038
SCALE	NTS
SHEET TITLE	

CONSTRUCTION
DETAILS & NOTES: SITE

C-502
SHEET 09 OF 12

- SHA General Notes
1. The Contractor shall be responsible for all coordination with all utility companies.
 2. All line striping and sign modification will be done by the Developer/Contractor's expense.
 3. Posted performance security will not be released until all work is completed to the satisfaction of the State Highway Administration.
 4. HMA shall be milled into all adjoining existing paved sections a minimum 2" depth. Feathering of HMA will not be allowed.
 5. All material incorporated into the work (ie, HMA, aggregate, seed, etc.) shall meet all applicable SHA specifications.
 6. Contractor shall contact SHA at least 5 business days before starting work.
 7. Contractor must get SHA approval before making any changes to approved plans.
 8. Before beginning work, the Contractor must obtain a State Highway Access Permit.
 9. The Contractor shall contact Miss Utility a minimum of 72 hours before starting work.
 10. Contractor shall notify all adjoining property owners at least 2 business days before starting work.
 11. Any damage to adjoining roads, utilities, private property, etc. caused by the Contractor will be repaired or replaced in kind by the Contractor to the satisfaction of the State Highway Administration.
 12. Anything that needs to be removed or relocated to complete the work as shown will be the Contractor's responsibility.
 13. Traffic control shall be the responsibility of the Contractor and shall be done in accordance with the approved plans and the latest MdMUTCD. Use MD -104.02-01 and 104.02-09 for traffic control.
 14. All saw cuts shall be painted in the field by the Contractor and approved by SHA before any cutting is permitted.
 15. At the end of each work shift, contractor to place safety wedge (MD 104.01-28).
 16. All pavement markings shall be spotted by the permittee and approved by A.D.E. Traffic for district 6 S.H.A. engineer prior to actual placement of markings. SHA shall be notified 3 work days in advance of the permanent striping to review spotting.
 17. All proposed signs are to be no less than the 'standard' size according to the S.H.A. sign book. No signs are to be placed using the minimum size. The permittee or contracting representative shall meet with the S.H.A. inspector prior to ordering and placing signs to ensure the proper size is used for the permit.
 18. The S.H.A. permit inspector needs to be notified 3 work days in advance of the line striping to be placed.
 19. Signs are to be ground mounted in 4"x4" posts at a minimum height of 7 feet measured from the bottom of the sign.
 20. Proposed slope grading and traffic barriers will need to be completed prior to removing existing guardrail.
 21. Eradication of pavement markings shall be done by water blasting method only.



1 TYP. EXISTING ROAD SECTION (MD RTE. 68)

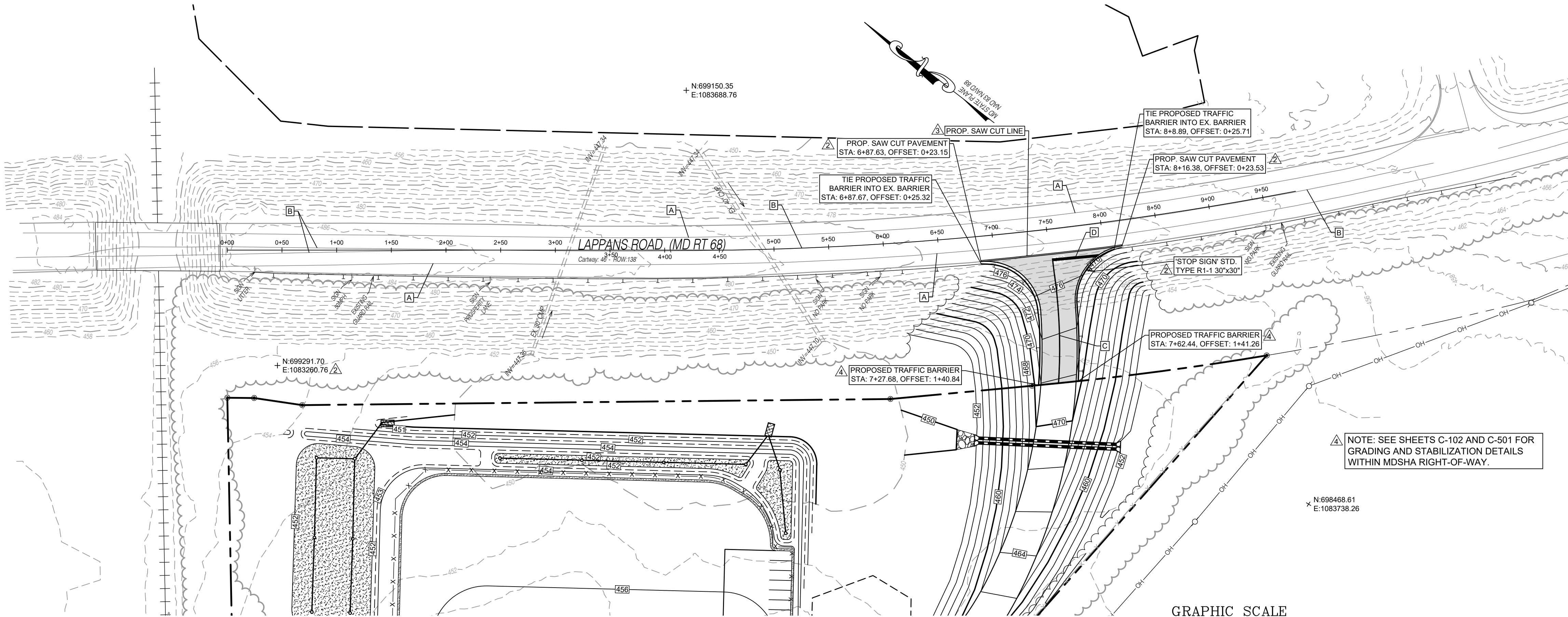
NOT TO SCALE



R1-1 (TYPICAL)
△ (30"x30")

2 Stop Sign Detail

NOT TO SCALE



NOTE: SEE SHEETS C-102 AND C-501 FOR GRADING AND STABILIZATION DETAILS WITHIN MDSA RIGHT-OF-WAY.

GRAPHIC SCALE



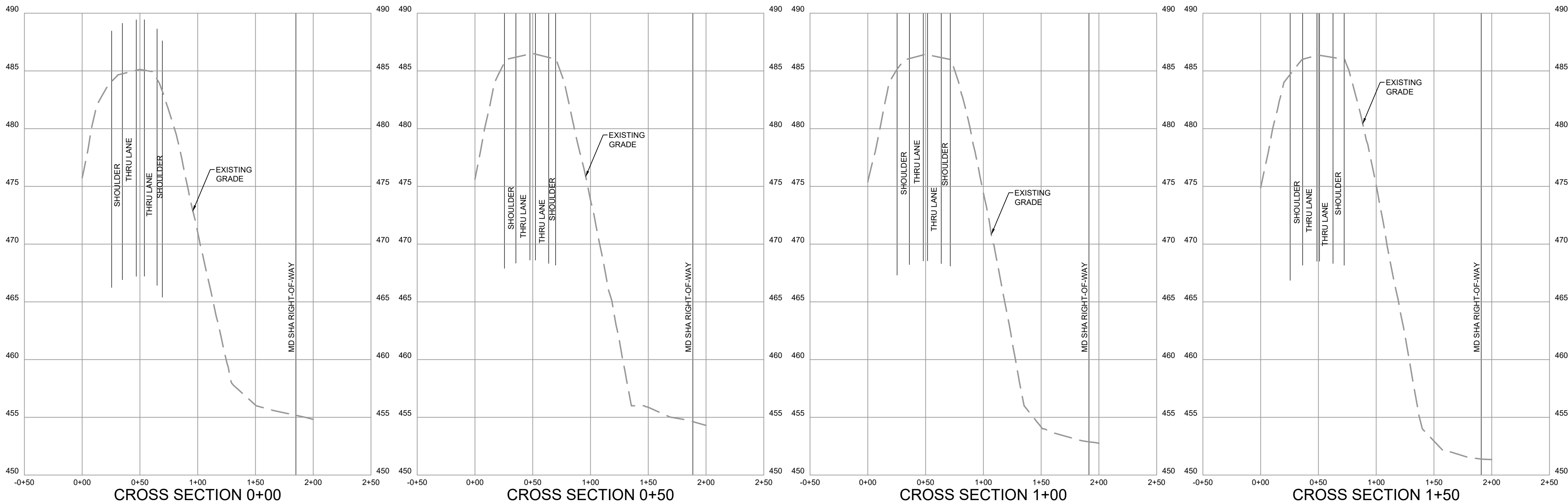
(IN FEET)
1 inch = 60 ft.

Striping Legend	
A	Existing 5" solid white line
B	Existing 5" solid double yellow line
C	Proposed 5" double yellow line - thermoplastic
D	Proposed 24" wide solid white stop bar

-SHA STD. FULL DEPTH PAVEMENT △

- 2" Superpave Asphalt Mix 12.5 mm for Surface - PG 64S-22, Level 2
- 6" Superpave Asphalt Mix 25.0 mm for Base - PG 64S-22, Level 2 (2-3" lifts)
- 8" Graded Aggregate base (2-4" lifts)

Note: All new pavement marking to be hot applied 40 mil thermoplastic.



SCALE:

HORIZONTAL: 1" = 60'
VERTICAL: 1" = 6'



Professional Certification
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland.
MARIANA License # 2889
Expiration Date 05-31-2025

FS&P
FREDERICK SEBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
1000 W. BALTIMORE STREET, SUITE 200
BALTIMORE, MD 21201
TEL: 410.538.1111
FAX: 410.538.1112
WWW.FSAPROFES.COM

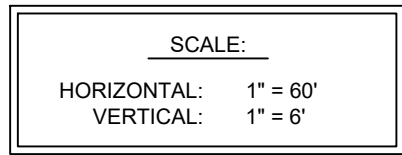
DATE	DESCRIPTION	REVIEWED PER SHA & ENGINEERING COMMENTS	REVISED PER SHA COMMENTS
3/24/2021			4/27/2021
10/26/21			10/26/21

NO IMPROVED
FIX N' GO TRUCK REPAIR
SITING ALONG THE SOUTH WESTER SIDE OF LAPPANS ROAD, NEAR MD ROUTE 68
EAST OF SPELMAN ROAD, MARYLAND ROUTE 68 AND WEST OF PROSPERITY LANE
WASHINGTON COUNTY, MARYLAND
IZMIR AHMEDOV, FIX N' GO, LLC
20051 WOODBRIDGE DR. HAGERSTOWN, MD 21742
(240) 328-2500

PROJECT NO.	7676.1
DWN BY	DWH
DATE	09-25-2020
PROJECT MANAGER	A. HAGER
EMAIL	adam@fsa-md.com
TAX MAP-GRID-PARCEL	0056-0020-1038
SCALE	1" = 60'
SHEET TITLE	

SHA PAVEMENT &
DIMENSION PLAN

C-104
SHEET 10 OF 12





DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission
FROM: Travis Allen, Comprehensive Planner
DATE: December 6, 2021
RE: Forest Conservation Mitigation Approval for Project Cypress (FP-21-005)

Attached you will find supporting documentation for a request to meet forest conservation requirements for this project. The applicant is requesting to establish two offsite forest easements to satisfy the 16.60-acre planting requirement for the Project Cypress development located on Greencastle Pike south of Huyett's Crossroads.

Enclosed for your review are two documents in support of the applicant's request. These include the forest conservation plan; which shows the location of on and offsite easements to be established, and a justification letter from Qualified Professional Shannon Stotler that makes their case for this request.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of preferred techniques for forest mitigation ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Comprehensive Planner
(240) 313-2432
tallen@washco-md.net

MEMO — Offsite Mitigation

SUBJECT — Project Cypress(SP-21-033)

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

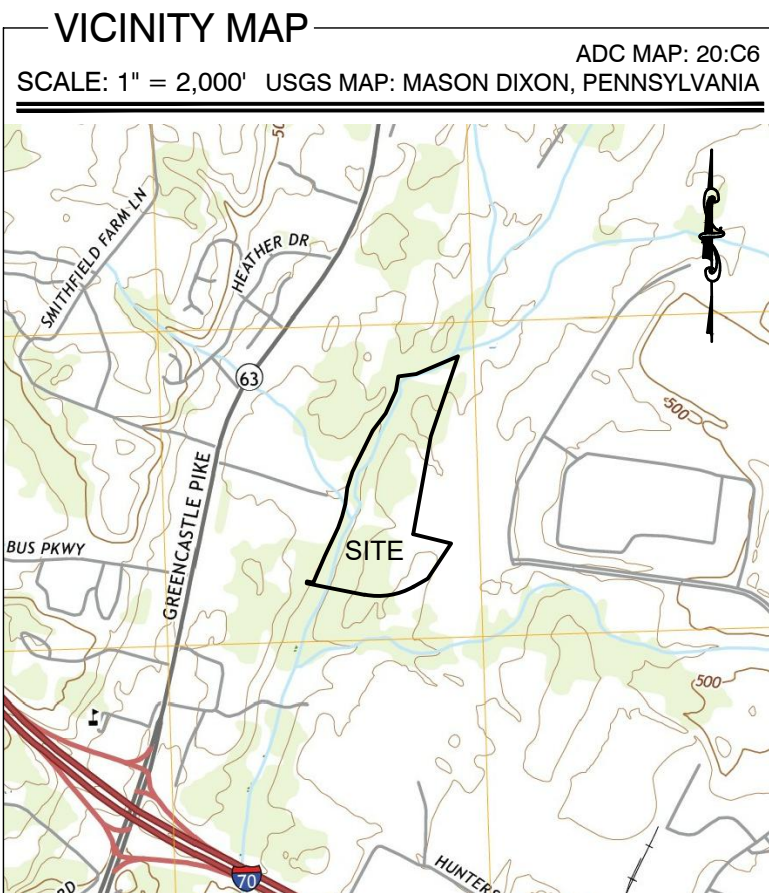
REMARKS:

To meet the necessary requirements of forestation for the Site Plan for Project Cypress, the owner is requesting to provide forest mitigation off-site at two locations. The remaining area of Lot 1 that is not being developed is being locked up in a forest conservation easement. The remaining lands does have qualified forest, however the entire remaining lands is earmarked for development with the Halfway Boulevard Extension. I am formally requesting forestation be addressed by off-site retention at a 2:1 ratio.

Respectfully submitted,



Shannon Stotler



FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA	
A. Total Tract Area	= 40.20 Ac.
B. Deductions	= 0.00 Ac.
C. Net Tract Area	= 40.20 Ac.
LAND USE CATEGORY CIA	
D. Afforestation Threshold (Net Tract Area x 15%)	= 6.03 Ac.
E. Conservation Threshold (Net Tract Area x 15%)	= 6.03 Ac.
EXISTING FOREST COVER	
F. Existing Forest Cover within the Net Tract Area	= 24.17 Ac.
G. Area of Forest Above Conservation Threshold	= 18.14 Ac.
BREAK EVEN POINT	
H. Break Even Point	= 9.66 Ac.
I. Forest Clearing Permitted Without Mitigation	= 14.51 Ac.
PROPOSED FOREST CLEARING	
J. Total Area of Forest to be Cleared	= 24.17 Ac.
K. Total Area of Forest to be Retained	= 0.00 Ac.
PLANTING REQUIREMENTS	
L. Reforestation for Clearing Above the Conservation Threshold	= 4.54 Ac.
M. Reforestation for Clearing Below the Conservation Threshold	= 12.06 Ac.
N. Credit for Retention above the Conservation Threshold	= 0.00 Ac.
P. Total Reforestation Required	= 16.60 Ac.
Q. Total Afforestation Required	= 0.00 Ac.
R. Total Planting Requirement	= 16.60 Ac.
or 723,096.0 S.F.	

FORESTATION TABLE

FOREST REQUIRED	16.60 AC.±
FOREST PROVIDED(ON-SITE):	
RETENTION	1.12 AC.±
PLANTING	1.53 AC.±
TOTAL (ON-SITE)	2.65 AC.±
REMAINING FOREST REQUIRED	13.95 AC.±
AT 2:1 RATIO (OFF-SITE)	27.90 AC.±
FOREST PROVIDED (OFF-SITE):	
EASEMENT #1 (SHEET 2)	6.88 AC.±
EASEMENT #2 (SHEET 2)	2.76 AC.±
EASEMENT #3 (SHEET 3)	11.59 AC.±
EASEMENT #4 (SHEET 3)	6.67 AC.±
TOTAL (OFF-SITE)	27.90 AC.±

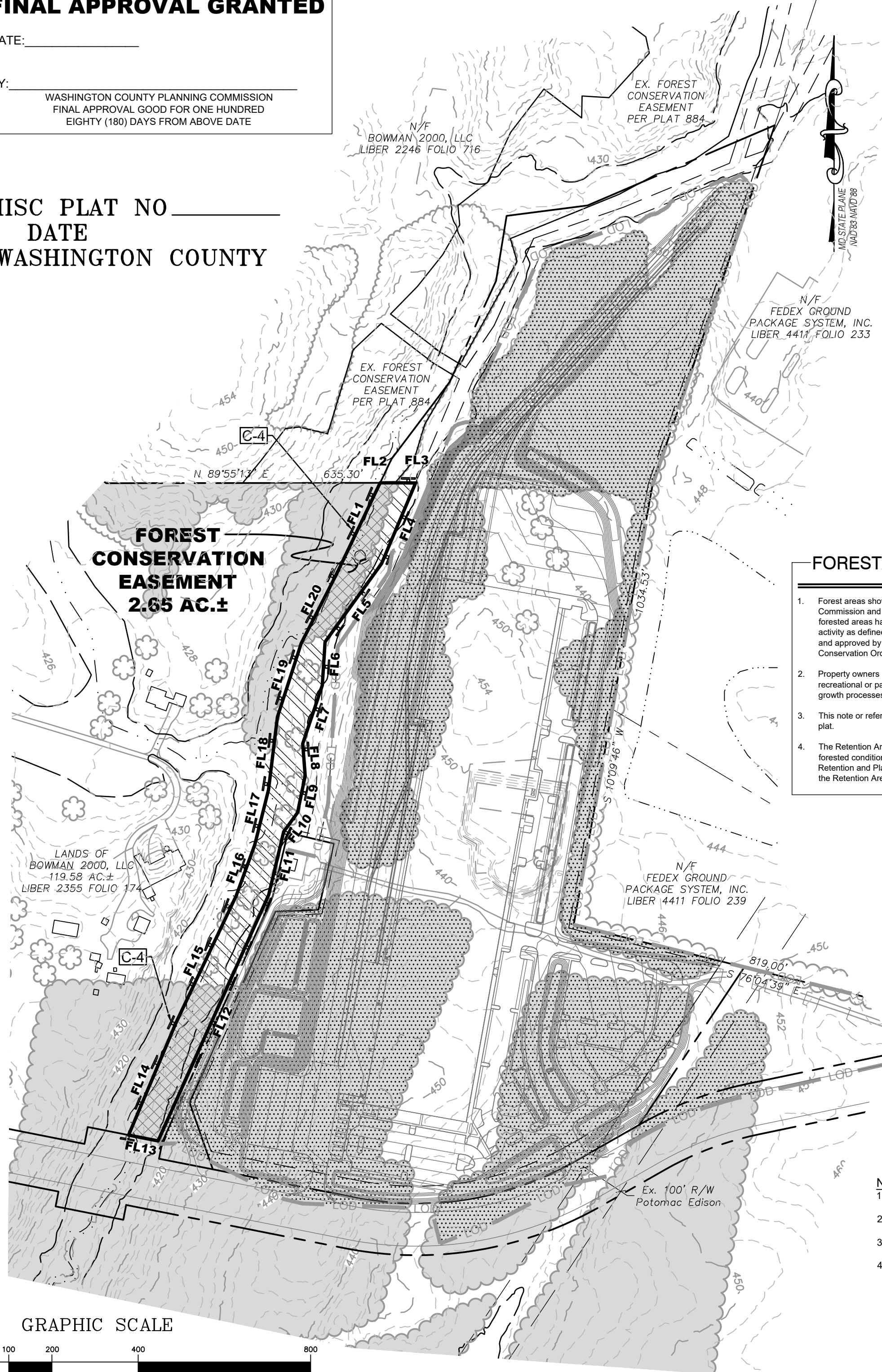
LINE	BEARING	DISTANCE
FL1	N 25°32'17" E	234.08'
FL2	N 89°55'13" E	34.65'
FL3	S 89°24'23" E	47.55'
FL4	S 22°52'05" W	203.15'
FL5	S 35°50'39" W	223.44'
FL6	S 03°41'19" W	100.98'
FL7	S 18°36'15" W	142.48'
FL8	S 04°23'31" E	74.69'
FL9	S 11°41'42" W	87.32'
FL10	S 36°01'30" W	54.61'
FL11	S 13°20'55" W	150.20'
FL12	S 24°13'01" W	625.50'
FL13	N 78°48'51" W	69.49'
FL14	N 22°53'27" E	284.89'
FL15	N 25°22'35" E	323.25'
FL16	N 20°00'58" E	125.87'
FL17	N 14°00'07" E	131.48'
FL18	N 06°58'40" E	169.87'
FL19	N 17°53'43" E	180.05'
FL20	N 27°04'45" E	180.03'

CERTIFICATE OF APPROVAL
FINAL APPROVAL GRANTED

DATE: _____

BY: _____
WASHINGTON COUNTY PLANNING COMMISSION
FINAL APPROVAL GOOD FOR ONE HUNDRED
EIGHTY (180) DAYS FROM ABOVE DATE

MISC PLAT NO _____
DATE _____
WASHINGTON COUNTY



HATCH LEGEND

	-- Existing tree line.
	-- Areas that do not qualify as forest.
	-- Areas that qualify as forest.
	-- 100 Year Flood Plain
	-- Forest Clearing 24.17 Ac.
	-- Forest Planting 1.53 Ac.
	-- Forest Retention 1.12 Ac.

FORESTATION NOTES

- Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.
- This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.
- The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

QUALIFIED PROFESSIONAL

I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

Shannon Stotler

8-30-21
Date

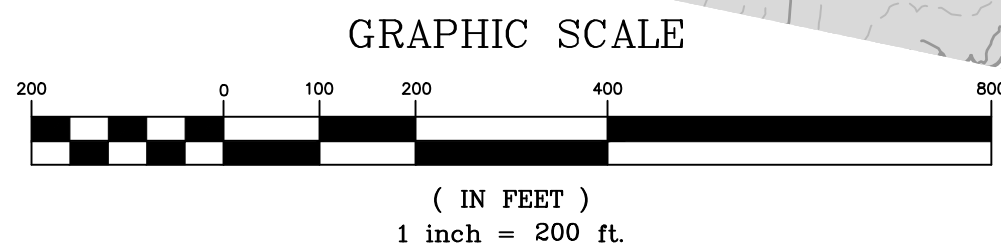
LONG TERM PROTECTION NOTES

Long term protection for land shown hereon as Existing Forest or Afforestation Areas shall be provided by way of a perpetual conservation easement. This deed restriction, recorded with the land records of this property, limits the use of the existing forest and afforestation areas to those activities which are consistent with the conservation of forest such as recreational activities, forest management, and wildlife management. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of forest, or inhibition of its natural growth are permitted in the forest areas. The County or its agents are authorized to inspect the Forest Conservation and Afforestation Easement Areas. A Proposed 15 foot Right-of-way to serve as access for the purpose of ingress and egress of the Existing Forest and Afforestation Areas.

NOTES:

- The purpose of this Forest Conservation Easement Plat is to provide forest mitigation for the Site Plan for Project Cypress, SP-21-033.
- The remaining forest mitigation required for the development of this site is being provided off-site at two locations with forest retention easements, as shown on sheets C-102 and C-103.
- As the forest mitigation requirement is being provided off-site, a 2:1 ratio of forest retention is being provided.
- The Washington County Planning Commission has granted approval of off-site forest easements to satisfy forest mitigation requirements for the Site Plan for Project Cypress at the meeting on _____, 2021.

OWNER:
BOWMAN 2000, LLC
10228 GOVERNOR LANE
BLVD. SUITE 3002
WILLIAMSPORT, MD 21795



FSA CONSULTING
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
1206 SOUTH FOTOMAS STREET
PACERVILLE, MD 21740
301.791.8850
15 EAST MAIN STREET
NEW BLOOMFIELD, PA 17068
717.275.0371

PROJECT CYPRESS

SITUATE ALONG THE EASTERN SIDE OF GREENCASTLE PIKE MARYLAND ROUTE 83
WEST OF NEW GATE BOULEVARD AND HALFWAY BOULEVARD

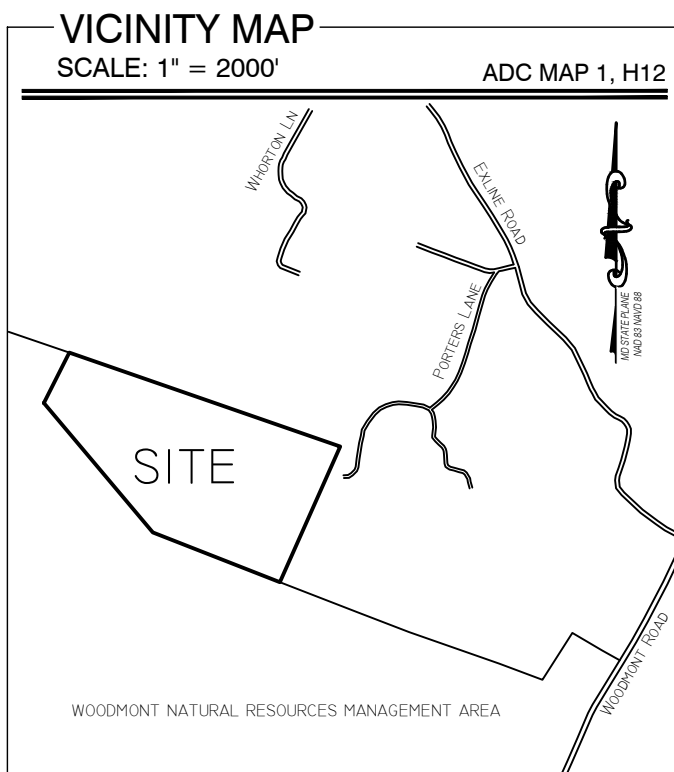
WASHINGTON COUNTY, MARYLAND

CPRE - ADVISORY & TRANSACTION SERVICES
600 GRANT ST. 48TH FLOOR PITTSBURGH, PA 15219
(412)-394-9800

PROJECT NO. 4630.1	
DWN BY DWH	DATE 08-28-2021
PROJECT MANAGER DAVE TROSTLE	EMAIL dtrostle@fsa-inc.com
TAX MAP GRID-PARCEL 0048-0003-0001	
SCALE 1" = 200'	
SHEET TITLE	

FOREST CONSERVATION
EASEMENT PLAT

C-101
SHEET 01 OF 03



FORESTATION TABLE

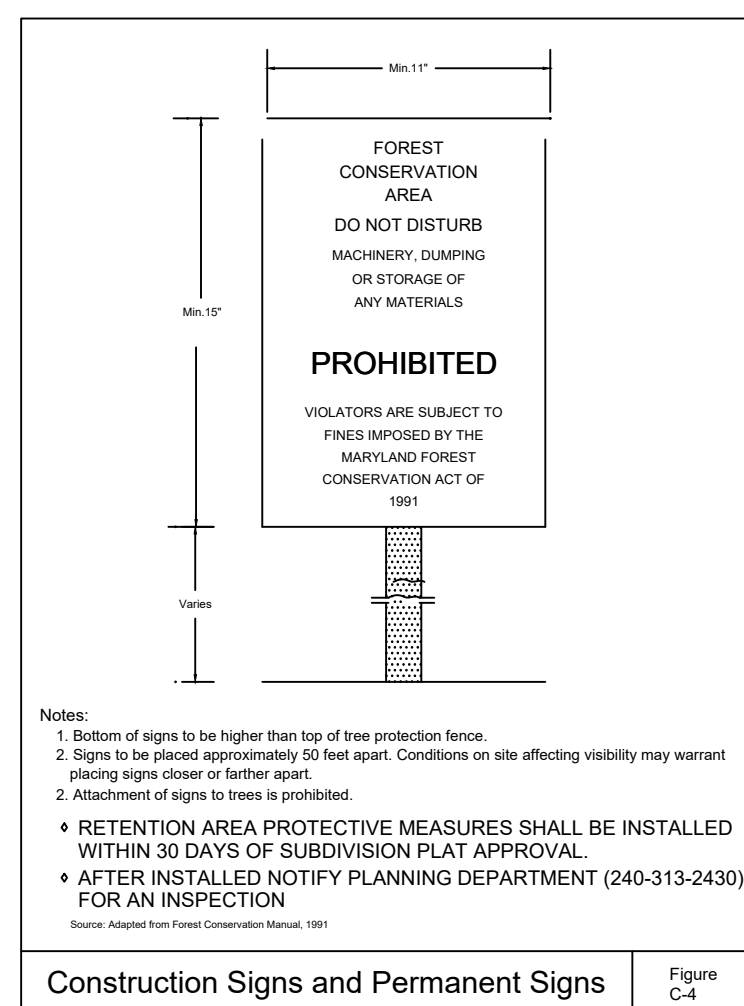
FOREST REQUIRED	16.60 AC.±
FOREST PROVIDED(ON-SITE):	
RETENTION	1.12 AC.±
PLANTING	1.53 AC.±
TOTAL (ON-SITE)	2.65 AC.±
REMAINING FOREST REQUIRED AT 2:1 RATIO (OFF-SITE)	13.95 AC.±
FOREST PROVIDED (OFF-SITE):	
EASEMENT #1 (SHEET 2)	6.88 AC.±
EASEMENT #2 (SHEET 2)	2.76 AC.±
EASEMENT #3 (SHEET 3)	11.59 AC.±
EASEMENT #4 (SHEET 3)	6.67 AC.±
TOTAL (OFF-SITE)	27.90 AC.±

NOTES:

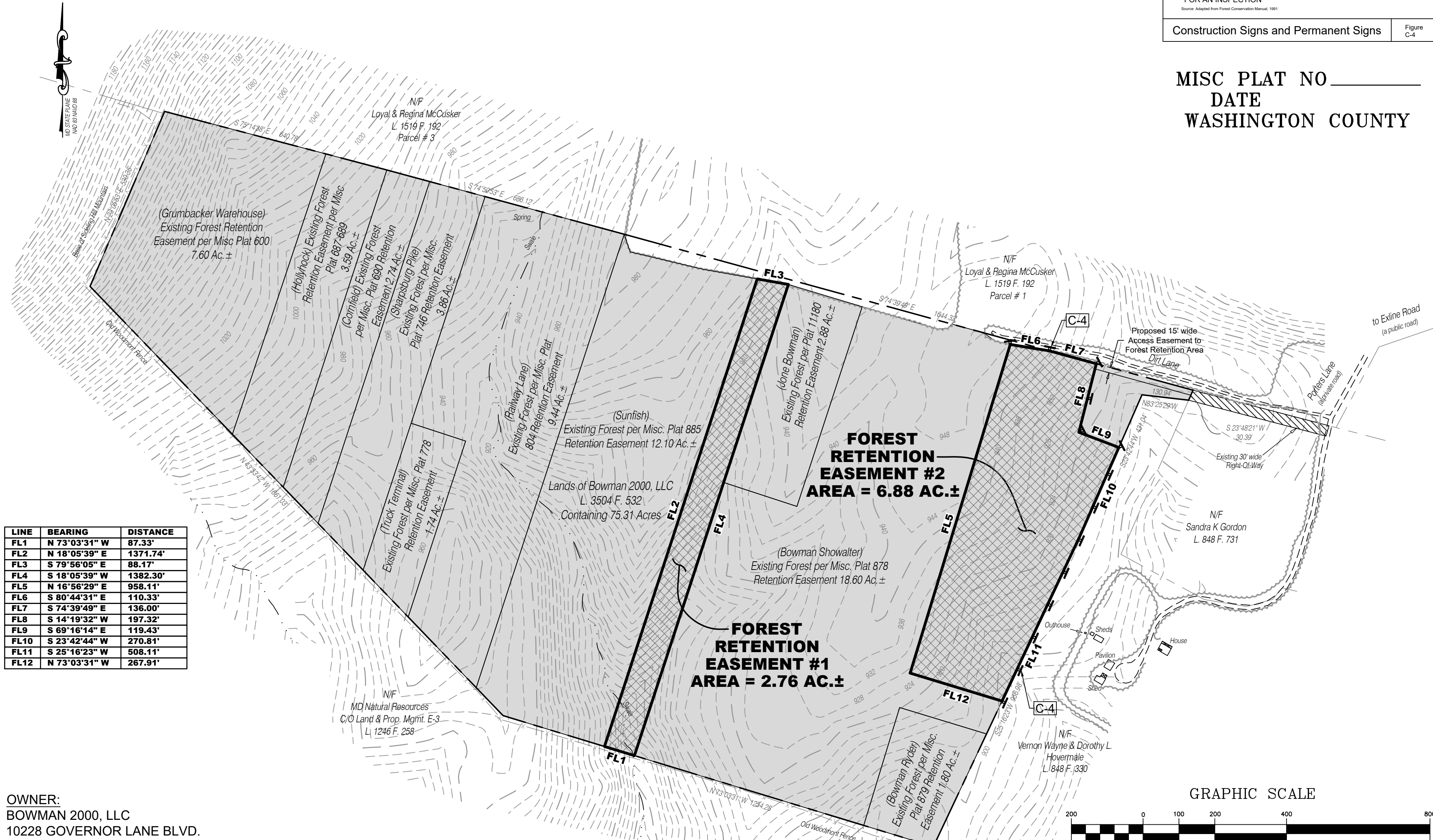
- The purpose of this Forest Conservation Easment Plat is to provide forest mitigation for the Site Plan for Project Cypress, SP-21-033.
- The remaining forest mitigation required for the development of this site is being provided off-site at two locations with forest retention easements, as shown on sheets C-102 and C-103.
- As the forest mitigation requirement is being provided off-site, a 2:1 ratio of forest retention is being provided.
- The Washington County Planning Commission has granted the variance of off-site forest easements to satisfy forest mitigation requirements for the Site Plan for Project Cypress at the meeting on _____, 2021.

FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA	
A. Total Tract Area.....	= 40.20 Ac.
B. Deductions.....	= 0.00 Ac.
C. Net Tract Area.....	= 40.20 Ac.
LAND USE CATEGORY CIA	
D. Afforestation Threshold (Net Tract Area x 15%).....	= 6.03 Ac.
E. Conservation Threshold (Net Tract Area x 15%).....	= 6.03 Ac.
EXISTING FOREST COVER	
F. Existing Forest Cover within the Net Tract Area.....	= 24.17 Ac.
G. Area of Forest Above Conservation Threshold.....	= 18.14 Ac.
BREAK EVEN POINT	
H. Break Even Point.....	= 9.66 Ac.
I. Forest Clearing Permitted Without Mitigation.....	= 14.51 Ac.
PROPOSED FOREST CLEARING	
J. Total Area of Forest to be Cleared.....	= 24.17 Ac.
K. Total Area of Forest to be Retained.....	= 0.00 Ac.
PLANTING REQUIREMENTS	
L. Reforestation for Clearing Above the Conservation Threshold.....	= 4.54 Ac.
M. Reforestation for Clearing Below the Conservation Threshold.....	= 12.06 Ac.
N. Credit for Retention above the Conservation Threshold.....	= 0.00 Ac.
P. Total Reforestation Required.....	= 16.60 Ac.
Q. Total Afforestation Required.....	= 0.00 Ac.
R. Total Planting Requirement.....	= 16.60 Ac.
or 723,096.0 S.F.	

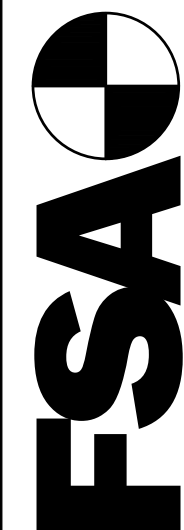


MISC PLAT NO _____
DATE _____
WASHINGTON COUNTY



LINE	BEARING	DISTANCE
FL1	N 73°03'31" W	87.33'
FL2	N 18°05'39" E	1371.74'
FL3	S 79°56'05" E	88.17'
FL4	S 18°05'39" W	1382.30'
FL5	N 16°56'29" E	958.11'
FL6	S 80°44'31" E	110.33'
FL7	S 74°39'49" E	136.00'
FL8	S 14°19'32" W	197.32'
FL9	S 69°16'14" E	119.43'
FL10	S 23°42'44" W	270.81'
FL11	S 25°16'23" W	508.11'
FL12	N 73°03'31" W	267.91'

OWNER:
BOWMAN 2000, LLC
10228 GOVERNOR LANE BLVD.
SUITE 3002
WILLIAMSPORT, MD 21795



PROJECT CYPRESS

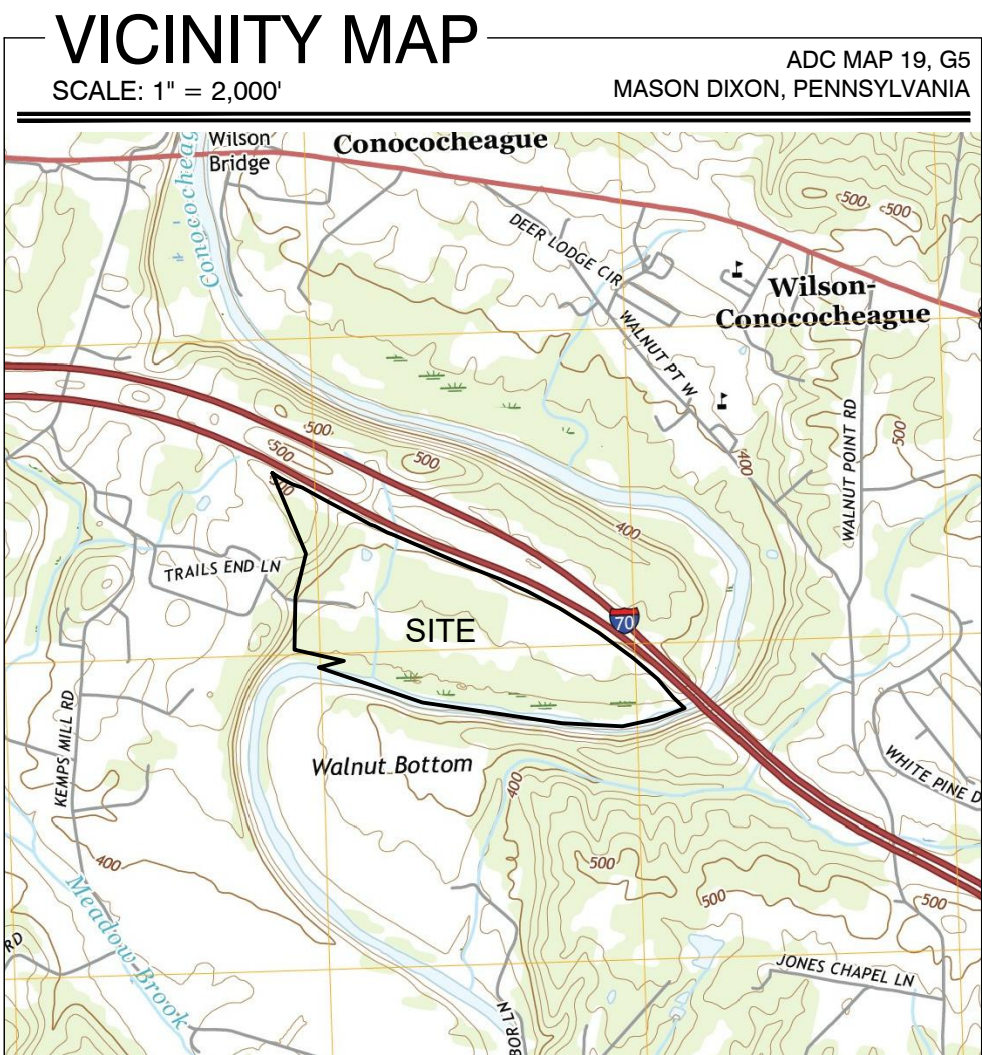
SITUATE ALONG THE WESTERN SIDE OF PORTERS LANE AND EXLINE ROAD
EAST OF RISER ROAD, SOUTH OF NATIONAL PIKE US ROUTE 40

WASHINGTON COUNTY, MARYLAND
DONALD BOWMAN
10228 GOVERNOR LANE BLVD. SUITE 3002 WILLIAMSPORT, MD 21795

PROJECT NO. 5598	
DWN BY DWH	DATE 08-28-2021
PROJECT MANAGER DAVE TROSTLE	EMAIL dtrostle@fsc-inc.com
TAX MAP GRID PARCEL 0015-0023-0032	
SCALE 1" = 200'	
SHEET TITLE	

FOREST RETENTION
EASEMENT PLAT

C-102
SHEET 02 OF 03



FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA	
A. Total Tract Area.....	= 40.20 Ac.
B. Deductions.....	= 0.00 Ac.
C. Net Tract Area.....	= 40.20 Ac.
LAND USE CATEGORY CIA	
D. Afforestation Threshold (Net Tract Area x 15%).....	= 6.03 Ac.
E. Conservation Threshold (Net Tract Area x 15%).....	= 6.03 Ac.
EXISTING FOREST COVER	
F. Existing Forest Cover within the Net Tract Area.....	= 24.17 Ac.
G. Area of Forest Above Conservation Threshold.....	= 18.14 Ac.
BREAK EVEN POINT	
H. Break Even Point.....	= 9.66 Ac.
I. Forest Clearing Permitted Without Mitigation.....	= 14.51 Ac.
PROPOSED FOREST CLEARING	
J. Total Area of Forest to be Cleared.....	= 24.17 Ac.
K. Total Area of Forest to be Retained.....	= 0.00 Ac.
PLANTING REQUIREMENTS	
L. Reforestation for Clearing Above the Conservation Threshold.....	= 4.54 Ac.
M. Reforestation for Clearing Below the Conservation Threshold.....	= 12.06 Ac.
N. Credit for Retention above the Conservation Threshold.....	= 0.00 Ac.
P. Total Reforestation Required.....	= 16.60 Ac.
Q. Total Afforestation Required.....	= 0.00 Ac.
R. Total Planting Requirement.....	= 16.60 Ac.
or 723,096.0 S.F.	

FORESTATION TABLE

FOREST REQUIRED	16.60 AC.±
FOREST PROVIDED(ON-SITE):	
RETENTION	1.12 AC.±
PLANTING	1.53 AC.±
TOTAL (ON-SITE)	2.65 AC.±
REMAINING FOREST REQUIRED	13.95 AC.±
AT 2:1 RATIO (OFF-SITE)	27.90 AC.±
FOREST PROVIDED (OFF-SITE):	
EASEMENT #1 (SHEET 2)	6.88 AC.±
EASEMENT #2 (SHEET 2)	2.76 AC.±
EASEMENT #3 (SHEET 3)	11.59 AC.±
EASEMENT #4 (SHEET 3)	6.67 AC.±
TOTAL (OFF-SITE)	27.90 AC.±

- NOTES:
- The purpose of this Forest Conservation Easment Plat is to provide forest mitigation for the Site Plan for Project Cypress, SP-21-033.
 - The remaining forest mitigation required for the development of this site is being provided off-site at two locations with forest retention easements, as shown on sheets C-102 and C-103.
 - As the forest mitigation requirement is being provided off-site, a 2:1 ratio of forest retention is being provided.
 - The Washington County Planning Commission has granted the variance of off-site forest easements to satisfy forest mitigation requirements for the Site Plan for Project Cypress at the meeting on _____, 2021.

LINE	BEARING	DISTANCE
FL1	S 62°51'00" E	150.05'
FL2	S 68°09'55" E	50.36'
FL3	S 74°49'06" E	51.42'
FL4	S 61°19'21" E	312.16'
FL5	S 62°10'02" E	340.78'
FL6	S 59°44'00" E	50.53'
FL7	S 11°26'13" W	97.38'
FL8	S 46°48'37" W	130.94'
FL9	S 09°40'06" E	76.83'
FL10	S 37°38'24" W	78.17'
FL11	S 31°48'42" W	113.81'
FL12	S 12°49'04" W	96.17'
FL13	S 21°15'36" W	174.34'
FL14	S 61°24'06" W	105.06'
FL15	S 85°59'07" W	176.69'
FL16	N 51°14'49" W	119.55'
FL17	N 13°54'00" E	185.56'
FL18	N 56°35'42" E	56.94'
FL19	N 09°02'41" W	99.05'
FL20	N 12°38'55" W	109.79'
FL21	N 22°00'56" W	184.10'
FL22	N 24°34'38" W	472.45'
FL23	N 17°07'24" W	121.93'
FL24	S 58°12'31" E	65.93'
FL25	N 00°57'12" E	479.99'
FL26	S 33°50'27" E	41.59'
FL27	S 11°05'57" E	43.97'
FL28	S 38°01'33" E	84.47'
FL29	S 02°26'28" E	135.86'
FL30	S 05°39'26" W	73.50'
FL31	N 63°26'47" E	46.98'
FL32	S 68°04'17" E	56.24'
FL33	N 62°57'01" E	174.54'
FL34	N 14°34'22" E	95.93'
FL35	N 55°49'38" E	46.86'
FL36	S 34°07'04" E	224.30'
FL37	S 03°46'48" E	77.66'
FL38	S 74°21'03" E	135.30'
FL39	N 15°46'45" W	47.41'
FL40	N 73°04'45" E	73.40'
FL41	N 10°29'32" E	108.61'
FL42	N 49°31'28" E	84.00'
FL43	S 32°33'54" E	99.83'
FL44	S 48°46'01" E	255.44'
FL45	S 61°52'58" E	92.45'
FL46	S 17°28'36" W	202.27'
FL47	N 70°11'57" W	592.00'
FL48	S 00°11'57" E	82.50'
FL49	N 77°11'57" W	528.00'

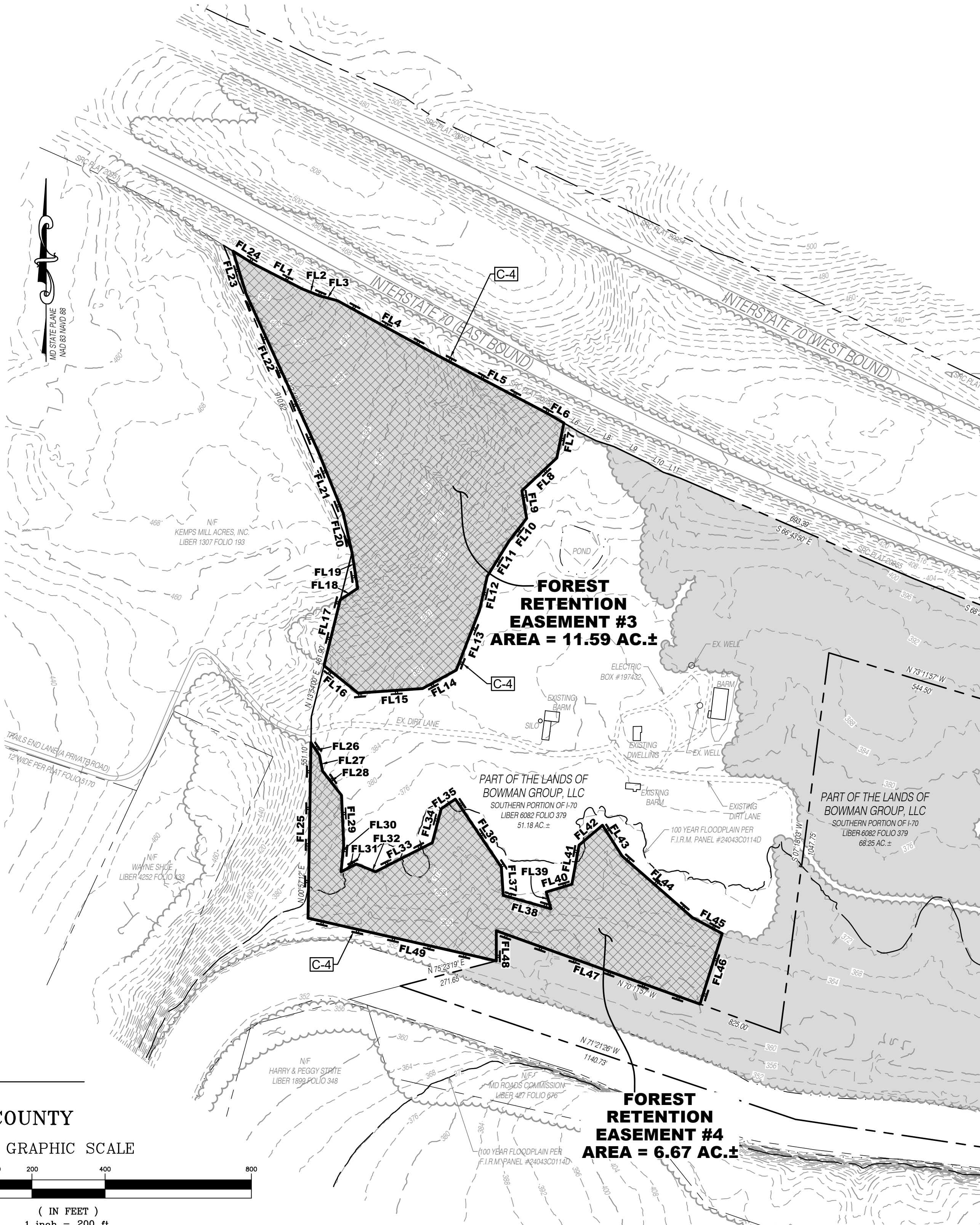
MISC PLAT NO _____
DATE _____
WASHINGTON COUNTY

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

OWNER:
BOWMAN GROUP, LLC
10228 GOVERNOR LANE BLVD. SUITE 3002
WILLIAMSPORT, MD 21795



PROJECT CYPRESS

SITUATE AT THE END OF TRAILS END LANE, WEST OF KEMPS MILL ROAD
SOUTH OF INTERSTATE 70 AND NORTHEAST OF THE CONOCOCHIEGUE CREEK

WASHINGTON COUNTY, MARYLAND

THE BOWMAN GROUP, LLC
10228 GOVERNOR LANE BOULEVARD, SUITE 3002
WILLIAMSPORT, MD 21795

PROJECT NO. 6207	
DWN BY DWH	DATE 08-28-2021
PROJECT MANAGER DAVE TROSTLE	EMAIL dtrostle@fsa-inc.com
TAX MAP GRID: PARCEL 0035-0024-0034/0246	
SCALE 1" = 200'	
SHEET TITLE	

FOREST RETENTION
EASEMENT PLAT

C-103
SHEET 03 OF 03



FREDERICK, SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

125 SOUTH POTOMAC STREET
FARMERSVILLE, MD 21740
301.791.8860

20 WEST BALTIMORE STREET
GREENBELT, MD 21725
717.871.1007

505 SOUTH HANOVER STREET
CARLETON, PA 17228
717.770.6111

15 EAST MAIN STREET
NEW BLOOMSBURG, PA 17068
717.775.1351

Plan Review Projects Initialized - October 01, 2021 - October 31, 2021

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
FS-21-021	Boonsboro Forest Stand Delineation	Approved	07-Oct-21	DEAN SOUTH - COURTNEY - FLETCHERS GROVE		B&R DESIGN GROUP	DEAN 8486 LLC
FS-21-022	Boonsboro Forest Stand Delineation	Approved	07-Oct-21	DEAN NORTH-FLETCHERS GROVE		B&R DESIGN GROUP	DEAN 8486 LLC
FS-21-023	Boonsboro Forest Stand Delineation	Approved	07-Oct-21	RINGLEY LLC PROPERTY - FLETCHERS GROVE	7505 OLD NATIONAL PIKE BOONSBORO, MD 21713	B&R DESIGN GROUP	RINGLEY LLC
TWN-21-004	Boonsboro Improvement Plan	In Review	15-Oct-21	BATTLEFIELD ESTATES - 48 TOWNHOUSES	NORTH SIDE OF ORCHARD DRIVE WITHIN CORPORATE LIMITS OF BOONSBORO	FOX & ASSOCIATES INC	BATTLEFIELD EST LLC
SWCP21-025	Boonsboro Stormwater Concept Plan	In Review	26-Oct-21	FLETCHERS GROVE - DEAN SOUTH		B&R ENGINEERING GROUP	DEAN 8486 LLC
2021-04750	County Non-Residential Electrical Permit	Issued	19-Oct-21	INDUSTRIAL	SP-21-006 16220 WRIGHT ROAD	TRAVIS GRIMES	TAYLOR FARM I LLC
SWCP21-024	County Stormwater Concept Plan	In Review	15-Oct-21	FXG HAGERSTOWN - PARKING EXPANSION	11824 NEWGATE BOULEV HAGERSTOWN, MD 21740	LARSEN DESIGN GROUP	FEDEX GROUND PACKAGE SYSTEM INC
2021-04257	Entrance Permit	Pending	05-Oct-21	STICK BUILT HOME	S-21-002 21106 WINCHESTER DRIVE, LOT 11	HURD BUILDERS	MCCLANAHAN 2006 LLC C/O GEORGE MANGER
2021-04343	Entrance Permit	Pending	06-Oct-21	SEMI-DETACHED HOME	S-19-039 11422 ISAAC COURT LOT 151	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC 1741 DUAL HWY STE B
2021-04347	Entrance Permit	Pending	06-Oct-21	SEMI-DETACHED HOME	S-19-039 11420 ISAAC COURT LOT 150	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04453	Entrance Permit	Approved	06-Oct-21	SEMI-DETACHED HOME	S-19-039 11408 ISAAC COURT, LOT 146	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04474	Entrance Permit	Applied	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11404 ISAAC COURT LOT 145	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04477	Entrance Permit	Approved	07-Oct-21	STICK BUILT HOME	LOR MT. TABOR ROAD, LOT 8	OLIVER HOMES INC	TEDRICK PATSY A
2021-04480	Entrance Permit	Approved	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11410 ISAAC COURT, LOT 147	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04483	Entrance Permit	Applied	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11402 ISAAC COURT LOT 144	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04486	Entrance Permit	Pending	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11414 ISSAC COURT, LOT 148	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC 1741 DUAL HWY STE B
2021-04490	Entrance Permit	Pending	07-Oct-21	STICK BUILT HOME	S-18-032 18109 GRACEHILL COURT, LOT 668	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC 7420 HAYWARD RD STE 203
2021-04493	Entrance Permit	Pending	07-Oct-21	SEMI-DETACHED HOME	S-18-016 10209 RASHTI COURT LOT 13	DAN RYAN BUILDERS INC	WASHCO ARNETT FARM LLC
2021-04499	Entrance Permit	Pending	07-Oct-21	SEMI-DETACHED HOME	S-18-016 10211 RASHTI COURT, LOT 14	DAN RYAN BUILDERS INC	WASHCO ARNETT FARM LLC
2021-04507	Entrance Permit	Approved	08-Oct-21	STICK BUILT HOME	S-21-001 10009 ROULETTE DRIVE, LOT 238	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04528	Entrance Permit	Approved	08-Oct-21	STICK BUILT HOME	S-21-001 10013 ROULETTE DRIVE, LOT 239	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04537	Entrance Permit	Pending	08-Oct-21	SEMI-DETACHED HOME	S-19-039 11414 ISSAC COURT, LOT 149	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC 1741 DUAL HWY STE B
2021-04613	Entrance Permit	Pending	11-Oct-21	STICK BUILT HOME	S-18-033 18254 PETWORTH CIRCLE, LOT 715	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2021-04633	Entrance Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10017 ROULETTE DRIVE, LOT 240	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04639	Entrance Permit	Pending	12-Oct-21	STICK BUILT HOME	S-21-001 CORNER OF MAIDS FANCY WAY AND FORSYTH COURT, LOT 228	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2021-04643	Entrance Permit	Pending	12-Oct-21	STICK BUILT HOME	S-89-255 9747 REDAMAR DRIVE LOT 15	PROACTIVE DESIGN AND BUILDING SYSTEMS	MOJIBOLA ADEYINKA MOJIBOLA HELEN DUPE

Plan Review Projects Initialized - October 01, 2021 - October 31, 2021

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2021-04646	Entrance Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10021 ROULETTE DRIVE, LOT 241	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04649	Entrance Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10029 ROULETTE DRIVE, LOT 243	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04653	Entrance Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10025 ROULETTE DRIVE, LOT 242	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04728	Entrance Permit	Pending	18-Oct-21	SEMI-DETACHED HOME	S-20-013 19552 COSMOS STREET, LOT 125	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2021-04732	Entrance Permit	Pending	18-Oct-21	SEMI-DETACHED HOME	S-20-013 19550 COSMOS STREET, LOT 126	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2021-04756	Entrance Permit	Approved	19-Oct-21	STICK BUILT HOME	S-15-009 10843 HERSHEY DRIVE LOT 572	OLIVER HOMES INC	DOWNEY RICHMOND LEE
2021-04828	Entrance Permit	Pending	25-Oct-21	SEMI-DETACHED HOME	S-15-022 13949 PATRIOT WAY, LOT 144	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2021-04829	Entrance Permit	Pending	25-Oct-21	SEMI-DETACHED HOME	S-15-022 17835 STRIPES DRIVE, LOT 143	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2021-04854	Entrance Permit	Pending	25-Oct-21	SEMI-DETACHED HOME	S-04-093 13853 IDEAL CIRCLE, LOT 43	MT. TABOR BUILDERS	R LEE DOWNEY LLC 10818 HERSHEY DR
2021-04871	Entrance Permit	Pending	26-Oct-21	SEMI-DETACHED HOME	S-04-093 13857 IDEAL CIRCLE, LOT 42	MT. TABOR BUILDERS	R LEE DOWNEY LLC 10818 HERSHEY DR
2021-04905	Entrance Permit	Pending	27-Oct-21	STICK BUILT HOME	S-18-032 18108 GRACEHILL COURT, LOT 666	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2021-04753	Floodplain Permit	Review	19-Oct-21	RESIDENTIAL ADDITION	LOR 13357 LITTLE ANTIETAM ROAD	BILLY J FISHER	BYRD PETER BYRD SHANNA
FP-21-005	Forest Conservation Plan	In Review	15-Oct-21	PROJECT CYPRESS	WEST OF HOPEWELL ROAD AND EAST OF GREENCASTLE PIKE	FREDERICK SEIBERT & ASSOCIATES	BOWMAN 2000 LLC
FS-21-024	Forest Stand Delineation	In Review	28-Oct-21	SAN MAR CHILDREN'S HOME INC	8503 FAHRNEY CHURCH ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	SAN MAR CHILDRENS HOME INC
2021-04856	Grading Permit	Review	25-Oct-21		SP-21-018 19530 BEAVER CREEK ROAD		BEAVER CREEK INVESTMENTS LLC
2021-04258	Grading Permit	Pending	05-Oct-21	STICK BUILT HOME	S-21-002 21106 WINCHESTER DRIVE, LOT 11	HURD BUILDERS	MCCLANAHAN 2006 LLC C/O GEORGE MANGER
2021-04273	Grading Permit	Pending	05-Oct-21	STICK BUILT HOME	S-20-008 16313 SHAFFER ROAD LOT 5		AKERS RYAN LEE ROANE ELIZABETH ASHLEY
2021-04344	Grading Permit	Pending	06-Oct-21	SEMI-DETACHED HOME	S-19-039 11420 ISAAC COURT LOT 150 & 11422 ISAAC COURT LOT 151	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC 1741 DUAL HWY STE B
2021-04397	Grading Permit	Pending	06-Oct-21	COMMERCIAL	TWN-21-002 11 SOUTH STREET		
2021-04454	Grading Permit	Approved	06-Oct-21	SEMI-DETACHED HOME	S-19-039 11408 ISAAC COURT, LOT 146	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04475	Grading Permit	Applied	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11404 ISAAC COURT LOT 145 AND 11402 ISAAC COURT LOT 144	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC
2021-04478	Grading Permit	Approved	07-Oct-21	STICK BUILT HOME	LOR MT. TABOR ROAD, LOT 8	OLIVER HOMES INC	TEDRICK PATSY A
2021-04487	Grading Permit	Pending	07-Oct-21	SEMI-DETACHED HOME	S-19-039 11414 ISAAC COURT, LOT 148 & 11416 ISAAC COURT, LOT 149	DAN RYAN BUILDERS INC	ROSEWOOD VILLAGE PHASE II C LLC 1741 DUAL HWY STE B
2021-04491	Grading Permit	Pending	07-Oct-21	STICK BUILT HOME	S-18-032 18109 GRACEHILL COURT, LOT 668	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC 7420 HAYWARD RD STE 203
2021-04494	Grading Permit	Pending	07-Oct-21	SEMI-DETACHED HOME	S-18-016 10209 RASHTI COURT LOT 13 & 10211 RASHTI COURT LOT 14	DAN RYAN BUILDERS INC	WASHCO ARNETT FARM LLC
2021-04508	Grading Permit	Approved	08-Oct-21	STICK BUILT HOME	S-21-001 10009 ROULETTE DRIVE, LOT 238	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04529	Grading Permit	Approved	08-Oct-21	STICK BUILT HOME	S-21-001 10013 ROULETTE DRIVE, LOT 239	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN

Plan Review Projects Initialized - October 01, 2021 - October 31, 2021

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2021-04614	Grading Permit	Pending	11-Oct-21	STICK BUILT HOME	S-18-033 18254 PETWORTH CIRCLE, LOT 715	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2021-04634	Grading Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10017 ROULETTE DRIVE, LOT 240	LGI HOMES-MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04640	Grading Permit	Pending	12-Oct-21	STICK BUILT HOME	S-21-001 CORNER OF MAIDS FANCY WAY AND FORSYTH COURT, LOT 227 AND 228	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2021-04644	Grading Permit	Pending	12-Oct-21	STICK BUILT HOME	S-89-255 9747 REDAMAR DRIVE LOT 15	PROACTIVE DESIGN AND BUILDING SYSTEMS	MOJIBOLA ADEYINKA MOJIBOLA HELEN DUPE
2021-04647	Grading Permit	Pending	12-Oct-21	STICK BUILT HOME	S-21-001 10021 ROULETTE DRIVE, LOT 241	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04650	Grading Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10029 ROULETTE DRIVE, LOT 243	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04654	Grading Permit	Approved	12-Oct-21	STICK BUILT HOME	S-21-001 10025 ROULETTE DRIVE, LOT 242	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC C/O S CASTILLO AP TAX ADMIN
2021-04663	Grading Permit	Pending	12-Oct-21	COMMERCIAL	SP-21-007 10312 & 10314 AUTO PLACE		SHEEHY HAGERSTOWN PROPERTY LLC
2021-04690	Grading Permit	Pending	14-Oct-21	STICK BUILT HOME	LOR FOXVILLE ROAD, LOT 4	GROSSNICKLE CONSTRUCTION LLC	KIRK CAREN S 14450 STOTTEMYER RD
2021-04729	Grading Permit	Pending	18-Oct-21	SEMI-DETACHED HOME	S-20-013 19552 & 19550 COSMOS STREET, LOT 125 & LOT 126	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2021-04757	Grading Permit	Approved	19-Oct-21	STICK BUILT HOME	S-15-009 10843 HERSHEY DRIVE LOT 572	OLIVER HOMES INC	DOWNEY RICHMOND LEE
2021-04830	Grading Permit	Pending	25-Oct-21	SEMI-DETACHED HOME	S-15-022 17835 STRIPES DRIVE, LOT 143	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2021-04855	Grading Permit	Pending	25-Oct-21	SEMI-DETACHED HOME	S-04-093 13853 & 13857 IDEAL CIRCLE, LOT 42 & 43	MT. TABOR BUILDERS	R LEE DOWNEY LLC 10818 HERSHEY DR
2021-04941	Grading Permit	Pending	29-Oct-21	STICK BUILT HOME	S-18-032 18108 GRACEHILL COURT, LOT 666	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2021-04214	Grading Permit	Approved	01-Oct-21		2 N CONOCOCHIEGUE STREET		WILLIAMSPORT TOWN OF
SIM21-071	IMA	Active	11-Oct-21	EASTERDAY POST OFFICE	6822 OSTERTAG PASS BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	PRESERVE AT FOX GAP LLC
SIM21-072	IMA	Active	28-Oct-21	16404 MOUNT TABOR ROAD HN	16404 MOUNT TABOR ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	TEDRICK PATSY A
SIM21-073	IMA	Active	28-Oct-21	ELMWOOD FARM 4 & 5A		FOX & ASSOCIATES INC	FELIXS FOLLY LLC
2021-04662	Non-Residential Addition-Alteration Permit	Review	12-Oct-21	COMMERCIAL	SP-21-007 10312 & 10314 AUTO PLACE		SHEEHY HAGERSTOWN PROPERTY LLC
2021-04395	Non-Residential New Construction Permit	Review	06-Oct-21	COMMERCIAL	PSP-99-002 17213 COLE ROAD, LOT 1		DAYTON HUDSON CORPORATION C/O TARGET CORP T-1257
2021-04872	Non-Residential New Construction Permit	Approved	26-Oct-21	COMMERCIAL	SP-19-028 13302 PENNSYLVANIA AVENUE		MACK TRUCKS INC C/O MS ECHENIQUE
OM-21-007	Ordinance Modification	Recommend Approval	15-Oct-21	C R SEMLER LLC - LOT 1R - CHARLES & ROSE CLINE SUBDIVISION PAR A,B,C,D & 2R	22247 JEFFERSON BOULEV SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	CR SEMLER LLC
S-21-044	Preliminary-Final Plat	In Review	14-Oct-21	FRANCESCO WILLIAM AND JANE SCOTTO DICARLO	EAST SIDE OF DAM NO 5 ROAD	FREDERICK SEIBERT & ASSOCIATES	CARLO FRANCESCO WILLIAM SCOTTO DI CARLO SARAH JANE SCOTTO DI

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Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-21-048	Preliminary-Final Plat	In Review	28-Oct-21	SAN MAR CHILDREN'S HOME INC - LOTS 2 & 3	8656 FAHRNEY CHURCH RD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	SAN MAR CHILDRENS HOME INC
PWA2021-008	PWA	Active	28-Oct-21	ELMWOOD FARM 4 & 5A		FOX & ASSOCIATES INC	FELIXS FOLLY LLC
SP-09-024.R01	Redline Revision	Approved	08-Oct-21	VAN FLEET MIKE	SHEPHERDSTOWN PIKE NORTH SIDE OF JUST SOUTH OF BOONSBORO	FREDERICK SEIBERT & ASSOCIATES	AGAPE PET SERVICES 19712 SHEPHERDSTOWN PIKE
PSP-07-001.R01	Redline Revision	Approved	27-Oct-21	ROSEWOOD VILLAGE PH IIA-REV	WEST SIDE OF ROBINWOOD DR	KELLER ENGINEERS	SHAOOL MANSOOR E. & JANET E. 1741 DUAL HIGHWAY
SI-21-020	Simplified Plat	In Review	07-Oct-21	C R SEMLER LLC - LOT 1R - CHARLES & ROSE CLINE SUBDIVISION PAR A,B,C,D & 2R	22247 JEFFERSON BOULEV SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	CR SEMLER LLC 11664 MAPLEVILLE RD
SI-21-021	Simplified Plat	Waiting for Final Paper Copies	07-Oct-21	BARBARA & JAMES STARLIPER, SARAH BETH & NICHOLAS BOINOVYCH - LOTS 2 & 4	NORTH SIDE OF SALEM CHURCH ROAD	FREDERICK SEIBERT & ASSOCIATES	STARLIPER JAMES F & BARBARA A
SI-21-022	Simplified Plat	In Review	14-Oct-21	CHARLES & MARTHA WILES - LOTS 2 & 3	14715 BIG BEND WAY WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	WILES CHARLES A
SI-21-023	Simplified Plat	Approval Letter Issued	26-Oct-21	VIRGINIA AVENUE BAPTIST CHURCH - PARCEL A	17424 A VIRGINIA AVE, UNIT# A HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	17424 VIRGINIA AVENUE LLC C/O VIRGINIA AVE BAPTIST CHRCH 17426 VIRGINIA AVE
SI-21-024	Simplified Plat	Final Copies Due	27-Oct-21	ERIE INSURANCE COMPANY - PARCEL A	NORTH SIDE OF BREEZE HILL DRIVE	FREDERICK SEIBERT & ASSOCIATES	GANESH III LLC
SP-21-027	Site Plan	Pending	04-Oct-21	AC&T COMPANY INC - DRIVE-THRU & PARKING ADDITION	1449 SO POTOMAC STREET HAGERSTOWN, MD 21740	TRIAD ENGINEERING	SOUTH HAGERSTOWN LLC
SP-21-028	Site Plan	In Review	14-Oct-21	55 WEST OAK RIDGE DRIVE	55 WE OAK RIDGE DRIVE HAGERSTOWN, MD 21740	HDR ENGINEERING INC	HAGERSTOWN INDUSTRIAL PROPERTIES L
SP-21-029	Site Plan	In Review	19-Oct-21	JT REPAIRS	EAST SIDE OF OAK RIDGE DRIVE HAGERSTOWN MD	FREDERICK SEIBERT & ASSOCIATES	OAK RIDGE INVESTMENTS LLC 920 ELDRIDGE DRIVE
SP-21-030	Site Plan	In Review	26-Oct-21	CASCADE TOWNE CENTRE - MJ CAFE	MALBROOK STREET AT CASCADE TOWN CENTER	FOX & ASSOCIATES INC	CASCADE TOWN CENTRE DEVELOPMENT LL
SP-21-031	Site Plan	In Review	28-Oct-21	SHEETZ #145 - HAGERSTOWN - SITE RENOVATION	18717 LONGMEADOW ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	PENNSYLVANIA AVENUE 2003 LLC
GP-21-024	Site Specific Grading Plan	In Review	11-Oct-21	WESTERN MARYLAND PARKWAY WAREHOUSE MASS GRADING	WESTERN MARYLAND PARKWAY AND ROUTE 144	FOX & ASSOCIATES INC	ACH LLC
GP-21-025	Site Specific Grading Plan	In Review	26-Oct-21	NATIONAL PIKE LOGISTICS CENTER	16822 NATIONAL PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DICKINSON FAMILY LIMITED PARTNERSHIP ET AL
GP-21-026	Site Specific Grading Plan	In Review	28-Oct-21	FT. RITCHIE EASTERN AREA REDEVELOPMENT	BARRICK AVENUE AT FORT RITCHIE	FREDERICK SEIBERT & ASSOCIATES	WASH CO COMMISSIONERS BOARD OF
FP-21-004	Smithsburg Forest Conservation Plan	In Review	05-Oct-21	CLOVERLY - TOWN OF SMITHSBURG	12305 SMITHSBURG PIKE SMITHSBURG, MD 21783	FOX & ASSOCIATES INC	CLOVERLY HILL LLC

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Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SWCP21-023	Smithsburg Stormwater Concept Plan	In Review	13-Oct-21	VETERANS PARK DRIVEWAY EXTENSION		CIVILLER LLC	SMITHSBURG TOWN OF PO BOX 237 / 21 WEST WATER STREET
SGP-21-073	Standard Grading Plan	Approved	04-Oct-21	ADEYINKA MOJIBOLA	9747 REDAMAR DRIVE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	MOJIBOLA ADEYINKA MOJIBOLA HELEN DUPE
SGP-21-074	Standard Grading Plan	In Review	06-Oct-21	CRUZ	MT TABOR RD HAGERSTOWN MD 21742	FREDERICK SEIBERT & ASSOCIATES	TEDRICK PATSY A
SGP-21-075	Standard Grading Plan	Approved	18-Oct-21	CAREN KIRK - LOT 4	FOXVILLE RD, SMITHSBURG MD 21783	FREDERICK, SEIBERT & ASSOCIATES, INC.	KIRK CAREN S
SGP-21-076	Standard Grading Plan	In Review	18-Oct-21	RICHMOND LEE DOWNEY - VAN LEAR MANOR - LT 572 - SECT 17	10843 HERSHEY DRIVE WILLIAMSPORT MD 21795	TRIAD ENGINEERING	DOWNEY RICHMOND LEE
SGP-21-077	Standard Grading Plan	Approved	18-Oct-21	ELVIN LEE WEBER - LT 1	7312 SHARPSBURG PK BOONSBORO MD 21713	TRIAD ENGINEERING	WEBER ELVIN LEE WEBER ESTHER LOUISE
SGP-21-078	Standard Grading Plan	In Review	21-Oct-21	PAUL JORDAN	11515 ORANGE BLOSSOM CT SMITHSBURG MD 21783	FREDERICK, SEIBERT & ASSOCIATES, INC.	JORDAN PAUL ROBERT JR JORDAN KAREN ANITA
SGP-21-079	Standard Grading Plan	Approved	21-Oct-21	FREEDOM HILLS - LTS 143 & 144	13947 & 13949 PATRIOT WAY HAGERSTOWN MD	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
SGP-21-080	Standard Grading Plan	In Review	26-Oct-21	R LEE DOWNEY LLC	13853 IDEAL CIRCLE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	R LEE DOWNEY LLC
SSWP21-057	Stormwater Standard Plan	Approved	04-Oct-21	ADEYINKA MOJIBOLA	9747 REDAMAR DRIVE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	MOJIBOLA ADEYINKA MOJIBOLA HELEN DUPE
SSWP21-058	Stormwater Standard Plan	Approved	06-Oct-21	CRUZ	MT TABOR RD HAGERSTOWN MD 21742	FREDERICK SEIBERT & ASSOCIATES	TEDRICK PATSY A
SSWP21-059	Stormwater Standard Plan	Approved	18-Oct-21	CAREN KIRK - LOT 4	FOXVILLE RD, SMITHSBURG MD 21783	FREDERICK, SEIBERT & ASSOCIATES, INC.	KIRK CAREN S
SSWP21-060	Stormwater Standard Plan	Approved	18-Oct-21	RICHMOND LEE DOWNEY - VAN LEAR MANOR - LT 572 - SECT 17	10843 HERSHEY DRIVE WILLIAMSPORT MD 21795	TRIAD ENGINEERING	DOWNEY RICHMOND LEE
SSWP21-061	Stormwater Standard Plan	Approved	18-Oct-21	ELVIN LEE WEBER - LT 1	7312 SHARPSBURG PK BOONSBORO MD 21713	TRIAD ENGINEERING	WEBER ELVIN LEE WEBER ESTHER LOUISE
SSWP21-062	Stormwater Standard Plan	Approved	21-Oct-21	PAUL JORDAN	11515 ORANGE BLOSSOM CT SMITHSBURG MD 21783	FREDERICK, SEIBERT & ASSOCIATES, INC.	JORDAN PAUL ROBERT JR JORDAN KAREN ANITA
S-21-045	Subdivision Replat	Final Copies Due	15-Oct-21	SHERRY & PATRICK L TONEY - LT. 1	SOUTH SIDE OF KEADLE ROAD	FREDERICK SEIBERT & ASSOCIATES	TONEY PATRICK L & TONEY SHERRY
S-21-046	Subdivision Replat	In Review	19-Oct-21	JT REPAIRS	EAST SIDE OF OAK RIDGE PLACE	FREDERICK SEIBERT & ASSOCIATES	OAK RIDGE INVESTMENTS LLC 920 ELDRIDGE DRIVE
S-21-047	Subdivision Replat	In Review	26-Oct-21	MARK ANDREW GROVE - PARCEL B - LEWIS W FORSYTHE ESTATE SUBDIVISION	SOUTH SIDE OF DRY RUN ROAD	SHELLY, WITTER & FOX	GROVE MARK ANDREW
2021-04765	Utility Permit	Review	19-Oct-21		12628 MCDADE ROAD	EVERSTREAM SOLUTIONS	WOLFE BOBBY L
2021-04231	Utility Permit	Approved	04-Oct-21		20726 TROVINGER MILL ROAD	UNLIMITED COMMUNICATIONS LLC	DURBIN WAYNE F DURBIN SHIRLEY S

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	Type	Total
LandDev	Boonsboro Forest Stand Delineation	3
	Boonsboro Improvement Plan	1
	Boonsboro Stormwater Concept Plan	1
	County Stormwater Concept Plan	1
	Forest Conservation Plan	1
	Forest Stand Delineation	1
	IMA	3
	Ordinance Modification	1
	Preliminary-Final Plat	2
	PWA	1
	Redline Revision	2
	Simplified Plat	5
	Site Plan	5
	Site Specific Grading Plan	3
	Smithsburg Forest Conservation Plan	1
	Smithsburg Stormwater Concept Plan	1
	Standard Grading Plan	8
	Stormwater Standard Plan	6
	Subdivision Replat	3
Permits	County Non-Residential Electrical Permit	1
	Entrance Permit	30
	Floodplain Permit	1
	Grading Permit	28
	Non-Residential Addition-Alteration Permit	1
	Non-Residential New Construction Permit	2
	Utility Permit	2
Total		114