



DEPARTMENT OF PLANNING & ZONING  
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

**AGENDA**  
**WASHINGTON COUNTY PLANNING COMMISSION**  
**100 W Washington Street, Room 2000**  
**August 7, 2023, 7:00 PM**

**CALL TO ORDER AND ROLL CALL**

**MINUTES**

1. July 10, 2023 Planning Commission public input meeting and regular meeting \* **Discussion/Action**

**OLD BUSINESS**

1. **RZ-23-003 – Text Amendment – Truck Stops – Recommendation** – Jennifer Kinzer **Discussion/Action**

**NEW BUSINESS**

**PRELIMINARY CONSULTATIONS**

1. **PC-23-005 – Tidal Wave Hagerstown** – Heather Williams \* **Information/Discussion**  
Concept plan for a proposed car wash located at 10408 Sharpsburg Pike; Zoning: HI (Highway Interchange)

**ORDINANCE MODIFICATIONS**

1. **Dennis Minnick [OM-23-009]** – Heather Williams \* **Discussion/Action**  
Ordinance modification to allow a lot created 35 years ago for agricultural purposes to be permitted to go through the development plat process without road frontage; Zoning: EC (Environmental Conservation)
2. **PFCU Robinwood Lot 2 [OM-23-007]** – Scott Stotemyer \* **Discussion/Action**  
Ordinance modification to allow a lot to be created without fully functional road frontage at 11067 Robinwood Drive; Zoning: BL (Business Local)

**FOREST CONSERVATION**

1. **Crosspoint Residential – Townes at Rockspring [PSP-22-001]** – Travis Allen \* **Discussion/Action**  
Request to utilize the fee-in-lieu of payment option to satisfy 5.55 acres of overall planting requirement and request to remove one specimen tree from the site
2. **12001 Hopewell Road [SP-22-028]** – Travis Allen \* **Discussion/Action**  
Request to remove 13 specimen trees at 12032 Hopewell Road

**SITE PLANS**

1. **Crosspoint Residential – Townes at Rockspring [PSP-22-001]** – Scott Stotemyer \* **Discussion/Action**  
Proposed 123 lot townhouse development at 11133 Raintree Drive; Zoning: RS/RM (Residential Suburban/Residential Multi-family)
2. **12001 Hopewell Road [SP-22-028]** - Scott Stotemyer \* **Discussion/Action**  
Site plan for a proposed warehouse with office at 12032 Hopewell Road; Zoning: IG (Industrial General)

**OTHER BUSINESS**

1. **Martin and Colleen Katz [RZ-23-005]** – Travis Allen \* **Discussion/Action**  
Request to terminate the Rural Business (RB) floating zone previously applied to property located at 8524 Fahrney Church Road; Zoning: A(R) (Agricultural Rural)
2. **Forest Conservation Easement Candidates** – Travis Allen and Dee Price \* **Discussion/Action**
3. **Update of Projects Initialized** – Jennifer Kinzer \* **Information/Discussion**
4. **Comprehensive Plan Update** – Jennifer Kinzer \* **Information/Discussion**

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## **ADJOURNMENT**

## **UPCOMING MEETINGS**

1. Monday, September , 2023, 7:00 p.m. – Washington County Planning Commission regular meeting

\*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



**WASHINGTON COUNTY PLANNING COMMISSION  
PUBLIC INPUT MEETING AND REGULAR MEETING  
July 10, 2023**

The Washington County Planning Commission held a public input meeting and its regular monthly meeting on Monday, July 10, 2023 at 7:00 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

Planning Commission members present were: David Kline, Vice Chairman, BJ Goetz, Denny Reeder and Jeff Semler. Staff members present were: Washington County Department of Planning & Zoning: Jill Baker, Director; Jennifer Kinzer, Deputy Director; Lisa Kelly, Senior Planner; Heather Williams, Planner; and Debra Eckard, Administrative Assistant.

**CALL TO ORDER AND ROLL CALL**

The Vice-Chairman called the meeting to order at 7:00 pm.

**PUBLIC INPUT MEETING**

**Troy and Elisabeth Jernigan [RZ-23-004 and CP-23-001]**

**Staff Presentation**

Ms. Baker presented a map amendment and comprehensive plan amendment application for Troy and Elisabeth Jernigan. The property is located at 23226 Fruit Tree Drive in Smithsburg and is currently zoned Residential Transition (RT) in a low-density residential land use policy area. The applicant is requesting a change in zoning and land use policy area to Agricultural Rural (AR). The subject parcel is 22.4 acres in size and is currently improved with a historic single-family dwelling and several outbuildings.

As part of the evaluation of the property, staff analyzed the change in population. Election District #7 (Smithsburg) has increased approximately 45.8% (1.5% per year) in population while the County has increased by 27.4% (0.91% per year) during the same period. Staff also analyzed the availability of public facilities for this site. The property is delineated in the Water and Sewerage Plan with priority service areas of W7/S-7. This designation means there are no planned public water or sewerage services to the property.

Ms. Baker noted the parcel is located approximately 1 mile from the Smithsburg Volunteer Fire Company and Smithsburg Emergency Medical Services. It is located within the Smithsburg school district. The current RT zoning designation allows a residential density of 4.02 dwelling units per acre, while the proposed change to the AR zoning district would allow one dwelling unit per five acres. Therefore, the impact to schools from residential development would be minimal.

Traffic data from MD SHA was retrieved for three major intersections along MD 64. Traffic counts over time have not increased significantly in the area. Ms. Baker noted that public transit is available for the Smithsburg area; however, it does not include this site. Compatibility with existing and proposed development was analyzed. The subject property is bounded on the north, east and south sides by agricultural properties while a small portion of the northeast boundary is located next to a parcel zoned Business General. On the west side of the property, which lies across MD 64, the zoning is residential; however, the land is undeveloped.

**Applicant's Presentation**

Mr. Ed Schreiber of Frederick, Seibert & Associates, the consultant, explained that the applicant believes a mistake was made during the 2013 comprehensive rezoning and that several factors were not taken into consideration at that time. The applicant's justification for this request is the following:

- The property is not within a State approved Priority Funding Area (PFA) which is necessary to obtain public facilities which are required under the RT zoning designation.
- The RT zoning designation requires public water facilities for development; this property is within a W7/S7 designation with no planned public services in the future.
- The designated land use policy area in the County's adopted Comprehensive Plan is not consistent with the designated policy area in the Smithsburg Comprehensive Plan.
- The property is bisected with a stream and contains environmentally sensitive areas that would limit development under the RT designation standards.
- There are considerable access limitations along MD 64 due to MD SHA controls.
- Impacts on the school district would be minimal.
- There is no public transit available to the property.

#### **Public Comments**

- Matthew Harsh, 13220 Edgemont Road and 23340 Fruit Tree Drive, Smithsburg – Mr. Harsh submitted two letters into the record, one from 2013 and one from 2016. He owns two properties, which he currently farms, next to the subject parcel and he is in favor of the rezoning. He expressed his opinion that the property is not suitable for residential development due to the following: streams and large power lines running through the property; no public water or sewer facilities to the site; traffic has significantly increased at the intersection with MD 64; and sight distance is minimal.

The public input meeting closed at 7:18 p.m.

**Motion and Vote:** Mr. Reeder made a motion to recommend approval of the proposed map amendment and comprehensive plan amendment as presented. The motion was seconded by Mr. Semler and unanimously approved.

#### **MINUTES**

**Motion and Vote:** Mr. Semler made a motion to approve the minutes of the June 5, 2023 meeting as presented. The motion was seconded by Mr. Reeder and unanimously approved with Mr. Goetz abstaining from the vote.

#### **OLD BUSINESS**

##### **RZ-23-003 – Text Amendment – Truck Stops – Recommendation**

**Motion and Vote:** Mr. Goetz made a motion to table the discussion and vote on the proposed truck stop text amendment because there is a lack of Commission members present at this evening's meeting. The motion was seconded by Mr. Semler and unanimously approved.

#### **NEW BUSINESS**

## **PRELIMINARY CONSULTATION**

### **PC-23-004 – Heffner Property**

Ms. Williams presented for review and comment a concept plan for a proposed retail store on 3.078 acres located at 19112 Keep Tryst Road near the Guide House Grill. The property is currently zoned Rural Village (RV). The concept plan shows a small retail building with drive-thru for a baked goods store. A preliminary consultation was held on May 10, 2023 and a copy of the summary was provided to Commission members. The site plan will be expected to meet the requirements of all applicable County ordinances.

## **ORDINANCE MODIFICATIONS**

### **Cascade Town Centre Lot 2 [OM-23-006]**

Ms. Baker presented an ordinance modification request to allow 22 individual lots to be created without public road frontage. The property is located at 14203 Cushman Avenue and is currently zoned SED (Special Economic Development). An ordinance modification was previously approved to create Lot 2 without public road frontage. The developer is now requesting a modification to subdivide each townhome lot (22) for individual sale. This request was sent to the County's Engineering Department; a copy of their comments was provided to Commission members. Both the Engineering Department and Planning staff have expressed grave concerns about allowing this many lots without public road frontage. Ms. Baker noted that it would be very costly for the homeowners to maintain the private road leading into their homes. Typically, developers are required to upgrade the roads to County standards and then convey the roads to the County. Ms. Baker pointed out there would not be a Homeowner's Association or any type of entity to oversee the maintenance of the roadways until they are upgraded and turned over to the County.

**Discussion and Comments:** Mr. Gordon Poffenberger of Fox & Associates, Inc. as well as the property owner, Mr. Joe Lee, were present at the meeting. Mr. Poffenberger clarified that the dwelling units are duplexes, not townhomes. He explained that the owner would upgrade the roads and convey them to the County; however, the cost is prohibitive at this time and the developer would like to sell the duplexes in order to acquire the funds for the upgrades. Mr. Kline asked why the developer would not be responsible for the maintenance of the roads until the time they are upgraded and turned over to the County. Mr. Poffenberger stated the developer would be responsible for the maintenance and snow removal until the roads are upgraded and the County has accepted them. Language to that effect would be included in the contracts with buyers.

There was a brief discussion regarding a road bond. Mr. Poffenberger stated that the developer is willing to provide a road bond; however, there is a lot of investigative work that needs to be done to determine what is needed to bring the roads up to County standards.

**Motion and Vote:** Mr. Semler made a motion to table this agenda item until the property owner provides a copy of the contract (approved by the County Attorney's Office) that will be presented to home buyers regarding the maintenance of the roads. The motion was seconded by Mr. Reeder and unanimously approved.

### **Codee and Kaylie Reese [OM-23-008]**

Ms. Baker presented an ordinance modification request from Section 15.1.A of the Forest Conservation Ordinance to vacate an existing forest conservation easement without replacement mitigation. The

property is located at 21695 Jefferson Boulevard and is part of a six-lot subdivision (Overdale Estates) that was approved in 2015. Ms. Baker provided a brief timeline of events beginning with the approval of the subdivision plat and Forest Conservation Easement Plan for Overdale Estates in 2015. As part of the subdivision process, the developer was required to mitigate for forest conservation resources in accordance with the State Forest Conservation Act and the County's Forest Conservation Ordinance. The developer chose to mitigate 4.04 acres of forest on-site with an easement established on Lots 1 and 3 thru 6. In 2017, the developer was notified that the forest conservation mitigation had not been met and they must work with the County to resolve this issue. In the Spring of 2018, the developer implemented the approved Forest Conservation Plan by completing the initial planting. The property remained under the required three-year maintenance period to ensure the plantings met the milestones for survivability. In June of 2021, several months after Mr. and Mrs. Reese had purchased Lot 1, the final inspection was completed and was found to meet the requirements of the Forest Conservation Plan for survivability rates; therefore, the bond was released back to the developer.

Multiple e-mails and telephone conversations began in August of 2021 with the new owners (Codee & Kaylie Reese) regarding the easement. They were notified that the easement was permanent, that the area should be maintained and left to grow as a natural forest area. In November of 2022, the Department of Planning & Zoning was notified that the trees, tree tubes and protective fencing had been removed from the easement area. A notice was sent to the property owners that the easement area had been violated. Included in the compliance notice were deadlines for the property owners to re-establish the easement to bring the property back into compliance with the Forest Conservation Ordinance. In February of 2023, a meeting was held with the Mr. and Mrs. Reese and their attorney at which time they were made aware of opportunities to either move the easement or make a payment-in-lieu of planting to satisfy the Forest Conservation Ordinance requirements.

At this time, Mr. and Mrs. Reese do not intend to comply with the Forest Conservation Ordinance and are seeking a variance to waive all requirements. They acknowledge in their correspondence that they saw the plat showing the Forest Conservation Easement area and were fully aware there was an encumbrance on the property. Staff believes they were given ample time to complete their due diligence with regard to the easement area. Staff strongly recommends that the Planning Commission deny the request to vacate the easement without replacement mitigation. It is Staff's opinion if this modification is granted, it will set a precedence for future property owners who do not wish to maintain a forest conservation easement.

**Discussion and Comments:** Mr. Reeder expressed his opinion that new property owners should be given direction on how to care for a forest conservation easement area. There was a brief discussion using various scenarios if the trees are removed or if they die several years later. Ms. Baker stated it is the property owners' responsibility to replace the trees or to allow natural regeneration to occur in the conservation easement area. Mr. Kline stated he is a big proponent of natural regeneration.

**Applicant's Response:** Ms. Kaylie Reese explained that the property was purchased during the COVID pandemic in 2020 and all correspondence was handled electronically. She stated that a letter was received from Weed Control (in 2020) pertaining to the Johnson grass growing in the area. Mr. Reese contacted Mr. Allen with the Dept. of Planning & Zoning who informed him to contact the developer, Mr. Shaool, who should take care of the problem. Ms. Reese expressed her opinion that less than half the trees were surviving and most of the area was covered in shrubs, not trees.

**Motion and Vote:** Mr. Reeder made a motion to approve the modification request to allow the property owners to vacate the easement without replacement mitigation due to extenuating circumstances and lack of communication during the Pandemic. The motion was seconded by Mr. Semler and unanimously approved.

### **SITE PLANS**

### **Paramount Cell [SP-23-012]**

Ms. Kelly presented a site plan for a proposed fenced compound with a 140-foot monopole style wireless telecommunications facility at 19224 Longmeadow Road. Setback variances were approved by the Board of Appeals (AP-2023-005). The site will use an existing entrance on Longmeadow Road. No water or sewer services will be required. Lighting and signage will not be present on the site. The site is exempt from Forest Conservation requirements due to the site having less than 20,000 sq. ft. of disturbed area. All agency approvals have been received.

**Motion and Vote:** Mr. Goetz made a motion to approve the site plan as presented. The motion was seconded by Mr. Semler and unanimously approved.

### **Dual Highway Sheetz [SP-22-044]**

Ms. Kelly presented for review and approval a proposed 6,139 sq. ft. Sheetz store and gas station located at 1333 Dual Highway, at the corner of Dual Highway and Mt. Aetna Road. A variance of state highway setbacks was granted by the Board of Appeals (AP2023-023) on June 23, 2023. There will be two access points, one from Dual Highway and one from Mt. Aetna Road. Water will be provided by the City of Hagerstown and sewer will be provided by Washington County. Lighting will be pole mounted and building mounted. Signage will be building mounted, awning mounted and freestanding. Forty-three parking spaces are proposed; 42 spaces are required. Hours of operation will be 24 hours per day, 7 days per week. Forest Conservation Ordinance requirements will be met using the payment-in-lieu of planting method. All agency approvals have been received.

**Motion and Vote:** Mr. Reeder made a motion to approve the proposed site plan as presented. The motion was seconded by Mr. Semler and approved by Mr. Semler, Mr. Reeder and Mr. Kline with Mr. Goetz abstaining from the vote.

### **OTHER BUSINESS**

#### **Update of Projects Initialized**

Ms. Kinzer provided a written report for the land development plan review projects initialized during the month of May including 4 site plans, 4 forest stand delineations, and 3 preliminary-final plats. She noted that activity has remained consistent and there has been more non-residential activity than residential activity.

Ms. Kinzer noted that since the County has moved to electronic plan review, staff is ready to begin distributing electronic agenda packets as well. After a brief discussion with Commission members who were in favor of the electronic agenda packets, it was decided that we will begin this process with the August agenda. Members will no longer receive paper packets through the mail.

#### **Comprehensive Plan Update**

Ms. Baker stated that the final three chapters were distributed to members this evening. She will e-mail a copy of the Land Use Map and Septic Tiers Map. She announced that the drop day to the public will be July 25<sup>th</sup>. The Public Relations Department is working on finalizing the document. PR will use constant contact (e-mail blast) to announce the release of the draft document. The document will be posted on the internet as well as hard copies in the libraries and the Planning office. There was a brief discussion about having a virtual input meeting; members were not interested in a virtual meeting. Comments can be

received in our offices by e-mail or mail. Staff will begin working on dates for the public input meetings which we should begin holding in early September. We briefly discussed areas around the County where meetings will be held and the format to be used during these meetings. Members agreed that meetings should start at 6 pm.

**UPCOMING MEETINGS**

1. Washington County Planning Commission regular meeting, August 7, 2023 at 7:00 p.m.

**ADJOURNMENT**

Mr. Reeder made a motion to adjourn the meeting at 8:50 p.m. The motion was seconded by Mr. Semler and so ordered by the Vice Chairman.

Respectfully submitted,

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David Kline, Vice-Chairman

## Preliminary Consultation for Tidal Wave Car Wash

Presented is a Preliminary Consultation for a Tidal Wave Car Wash.

The subject site is located at 10320-10400 Sharpsburg Pike. It is in front of Walmart and along the northern property line of the future Wawa site. Zoning is Highway Interchange. Total disturbed acreage is 1.39 acres and the concept plan shows a full size car wash plus individual vacuum and towel stations.

The attached minutes are the result of a Preliminary Consultation meeting held on June 29, 2023 with the consultant, and various affected county agencies. The future site plan for this proposal will be expected to meet the requirements of the county ordinances, including the Zoning, Adequate Public Facilities, and Stormwater Management ordinances.

This information is being shared with you as part of the preliminary consultation process. There is no need to vote on anything at this time. The purpose of this stage is to familiarize you with the project and to give you an opportunity to provide your input.

PRELIMINARY CONSULTATION  
PC-23-005 – Tidal Wave Hagerstown

A preliminary consultation was held on June 29, 2023 at 10 a.m. in the Washington County Administrative Annex at 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for a proposed car wash at 10408 Sharpsburg Pike. The property is currently zoned Highway Interchange (HI).

The following were in attendance: Heather Williams, Planner; Jennifer Kinzer, Deputy Director; Adam Tressler, GIS Technician; and Debra Eckard, Administrative Assistant, Washington County Department of Planning & Zoning; Brian Hopkins, Plan Reviewer, Washington County Division of Engineering; Anthony Mace and Karen Flook, Washington County Department of Water Quality; Dee Price, Washington County Soil Conservation District; Allen Kujenga, MDOT SHA; and Jennifer Bass, Bohler Engineering.

**Washington County Soil Conservation District**

Ms. Price stated that a soils map with the project boundaries delineated and sensitive areas identified must be provided. Because this site is being redeveloped, there are water quality concerns regarding underground tanks, contaminated soils, etc. If an environmental report has been completed, it must be submitted to the Soil Conservation District.

**State Highway Administration**

Mr. Kujenga noted that a Traffic Impact Study was submitted and comments have been sent to the developer; however, until the Traffic Impact Study has been approved, no other approvals will be given by SHA.

**Addressing**

Mr. Tresler explained that he has reviewed and approved the preliminary plans that were submitted; however, he will not assign an address until the site plan stage due to the possibility of access changes. Because there were previously homes on the site, it is very likely that one of those addresses will be reused.

**Department of Water Quality**

Mr. Mace asked if the developer is planning to connect to the existing sewer. Ms. Bass stated that the plan is to connect to and use the existing public utilities. The developer is coordinating with other developments in the area and has questions regarding accurate information on EDUs allocated for this site. Ms. Flook clarified that existing EDUs for developments in the area cannot be shared by other developers; they are allocated and assigned for specific parcels. EDUs must be purchased separately for this development. Ms. Bass stated that typically the Tidal Wave car wash requires 10,000 gallons of water per day with a reclaim system so less is flowing into the sewer system. She asked if there would be any concerns with the car wash using that amount of water per day. Mr. Mace stated he will need to run calculations using this information but he did not think there would be any issue. Ms. Flook explained that EDUs are based on 200 gallons per day at a cost of \$7,600 per EDU. All fees must be paid prior to approval by the Department of Water Quality. Ms. Bass asked if there is public service in the area or would service need to be extended to the property. Mr. Mace noted there is a manhole that stops directly in front of the existing car wash that is north of the property. The developer, at his cost, will either need to extend the line or use a low pressure main. The property owner, not the County, will be responsible for



maintenance of the pump or the line. Ms. Flook noted that water would be provided by the City of Hagerstown and the developer will need to work with the City for water allocation.

**Department of Planning & Zoning**

Ms. Williams stated there are multiple parcels for this development that must be merged together as part of the site plan process. She noted that Parcels 10320-10406 are shown as being owned by Sharpsburg Pike Real Estate but Parcel 10408 is shown as being owned by Sherry Valentine. Ownership needs to be verified. Ms. Bass stated that Mr. Brian Scott, the property owner, is responsible for consolidation of the parcels and she will confirm ownership with him.

Ms. Williams stated that the developer is proposing a front yard setback of 10 feet, a side yard setback of 7.1 feet and a rear yard setback of 3.2 feet. This would require a variance through the Board of Appeals, which the developer can go ahead and apply for at any time. Ms. Bass believes that a variance for a free-standing sign will also be needed and asked if the process for both can run concurrently with submission of the site plan. Ms. Williams stated it could be submitted at the same time as the site plan; however, the plan could not proceed through the site plan process until the Board of Appeals decision has been made. If multiple variances are being requested, they could be submitted together.

**Division of Engineering**

Mr. Hopkins explained that because access to the site is proposed from MD 65, SHA MDOT approval and a permit will be required. In accordance with the County's "Policy for Determining Adequacy of Existing Highways", a Traffic Impact Study will be required for the project. A Scoping Form must be submitted to the Division of Engineering. Mr. Hopkins stated that the proposed entrance location must be coordinated with the entrance for the Sharpsburg Pike PSP-21-002 project. The project must comply with the Washington County's current Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance. A Conceptual Stormwater Management plan must be submitted, reviewed, and approved prior to site plan submittal.

**Forest Conservation**

Ms. Kinzer stated that forest conservation will need to be addressed on the site plan. There is a pending site plan from 2019 that required forest mitigation; however, the site plan has been stalled and forest mitigation will need to be met with this site plan.

**Closing Comments**

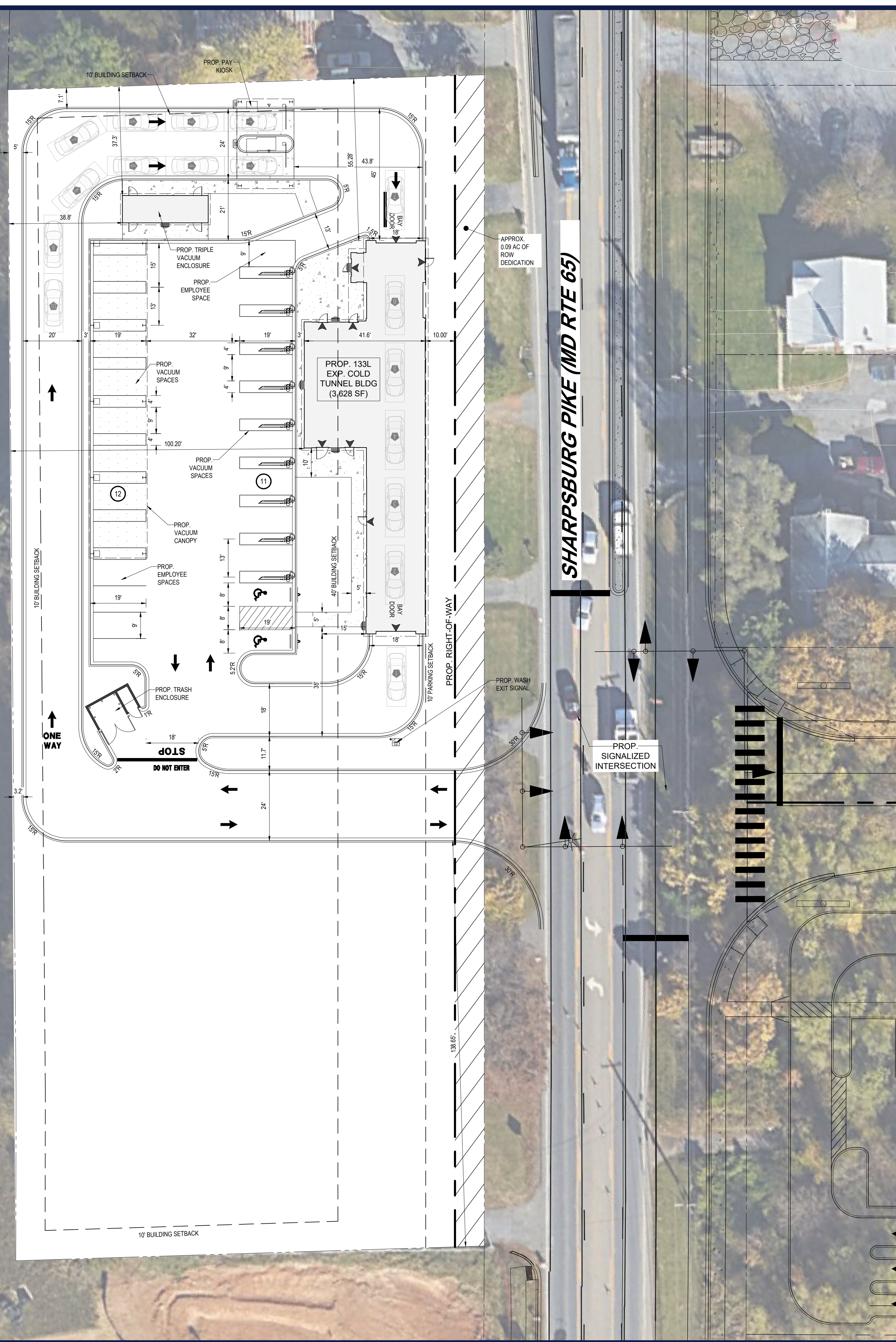
All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "Heather Williams".

Heather Williams, Planner  
Washington County Department of  
Planning & Zoning





1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON AERIAL IMAGERY AND CAD FILES PROVIDED BY PIEDMONT.

2. THE CONCEPT DEPICTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING SOLELY FROM LAZYOUT PREFERENCE AND DUE DILIGENCE DICTATED AND IDENTIFIED SOLELY BY THE CLIENT. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED, AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF APPLICABLE REQUIREMENTS AND AFTER THE PROCUREMENT OF ALL NECESSARY JURISDICTIONAL APPROVALS.

3. THIS CONCEPTUAL PLAN IS NOT INTENDED FOR CONCEPTUAL PRESENTATION PURPOSES, ONLY, AND IS NOT INTENDED TO BE USED AND SHOULD NOT BE UTILIZED AS A ZONING OR CONSTRUCTION DOCUMENT.

4. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS PROVIDED TO THE ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE OWNER AND OTHERS NOT UNDER THE ENGINEER'S CONTROL, AND IS SUBJECT TO CHANGE AFTER PERFORMANCE OF ADDITIONAL DUE DILIGENCE, FIELD SURVEY OR BOTH.

5. IT IS STRONGLY RECOMMENDED THAT A ZONING CONFORMANCE ANALYSIS BE PERFORMED TO DETERMINE AND EVALUATE IF THERE ARE ANY RESTRICTIONS AND/OR ZONING ISSUES, CONCERN OR RESTRICTIONS THAT MAY OR COULD IMPACT THE FEASIBILITY OF THIS PROJECT, AS THE OWNER HAS DESCRIBED IT.

<h1 style="text-align: center;">ZONING TABLE</h1>			
<p style="text-align: center;">ZONE: HI (HIGHWAY INTERCHANGE DISTRICT) USE: CAR WASH (PERMITTED)</p>			
<h2 style="text-align: center;">APPLICANT/ OWNER INFORMATION</h2>			
<p>APPLICANT:</p>		<p>TIDAL WAVE AUTO SPA 115 E. MAIN STREET, PO DRAWER 311 THOMASTON, GA 30206</p>	
<h2 style="text-align: center;">BULK REQUIREMENTS</h2>			
ITEM	CODE	PERMITTED	PROPOSED
MIN. LOT AREA	ARTICLE 19	NONE	60,479 SF
MIN. LOT WIDTH	ARTICLE 19	NONE	400'
MIN. FRONT YARD	ARTICLE 19	40'	10.0'
MIN. SIDE YARD	ARTICLE 19	10'	7.1'
MIN. REAR YARD	ARTICLE 19	10'	3.2'
MAX. BUILDING HEIGHT	ARTICLE 19	75'	COMPLIES
MAX IMPERVIOUS SURFACE	ARTICLE 19	85%	60%
			<p style="text-align: center;"><b>VARIANCE REQUIRED</b></p>

<b>PARKING REQUIREMENTS</b>			
<b>ITEM</b>	<b>CODE</b>	<b>PERMITTED</b>	<b>PROPOSED</b>
MIN. STALL SIZE	ARTICLE 22 - DIVISION 1	9' X 20'	9' X 20' (STALLS) 13' X 20' (VACUUM)
MIN. AISLE WIDTH	ARTICLE 22 - DIVISION 1	10' (ONE-WAY) 22' (TWO-WAY)	15' (ONE WAY) 22' (TWO-WAY)
LOADING REQUIREMENTS	ARTICLE 22 - DIVISION 1	1 SPACE	1 SPACE
MIN. NUMBER OF STALLS	ARTICLE 22 - DIVISION 1	5 SPACES	23 (16 VACUUM, 5 EMPLOYEE AND 2 ADA)
MIN. STACKING SPACES	ARTICLE 22 - DIVISION 1	21 SPACES	26 SPACES
MIN. PARKING SETBACK	ARTICLE 22 - DIVISION 1	FRONT- 10' SIDE 0' REAR: 0'	FRONT: 10' SIDE: 7.1' REAR: 3.2'
MIN. PARKING SETBACK TO ROW	ARTICLE 22 - DIVISION 1	10'	10'

**PARKING REQUIREMENTS:**  
 $2 \text{ SPACES PER SERVICE LANE} + 1 \text{ SPACE PER EMPLOYEE}$   
 $(2 \text{ SPACES/SERVICE LANE} \times 1 \text{ SERVICE LANE}) + (1 \text{ SPACE/EMPLOYEE} \times 3 \text{ EMPLOYEES}) = 5 \text{ SPACES}$

**STACKING REQUIREMENTS:**  
 $\text{CAR WASH (ATTENDANT)}: 3 \text{ SPACES PER WASH STATION} + 2 \text{ SPACES PER DRYING STATION} + 1 \text{ PER VACUUM/DETAIL STATION}$   
 $(3 \text{ SPACES/WASH STATION} \times 1 \text{ WASH STATION}) + (2 \text{ SPACES/DRYING STATION} \times 1 \text{ DRYING STATION}) + (1 \text{ SPACES/ VACUUM STATION} \times 16 \text{ VACUUM STATIONS}) = 21 \text{ SPACES}$

FREESTANDING SIGNS			
ITEM	CODE	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	ARTICLE 22 - DIVISION 2	1 PER FRONTAGE	1
MIN. SIGN SETBACK FROM ROW	ARTICLE 22 - DIVISION 2	25'	<25'
MAX. HEIGHT	ARTICLE 22 - DIVISION 2	35'	25'

WALL SIGNS			
ITEM	CODE	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	ARTICLE 22 - DIVISION 2	NOT SPECIFIED	5 (1 BLDG. & 4 CANOPY)
MAX. SIGN AREA (PER SIGN)	ARTICLE 22 - DIVISION 2	800 SF	56.67 SF (BUILDING) 27.38 SF (CANOPY)
MAX. PROJECTION FROM BLDG	ARTICLE 22 - DIVISION 2	4'	TBD

SIGN AREA:  
25' MONUMENT SIGN = 98.3 SF  
BLDG SIGN = 56.67 SF  
CANOPY SIGN = 27.38 SF

MAX. SIGN AREA (PER SIGN): 2 SF PER 1 LF OF BUILDING FRONT  
2 SF/ 1 LF X 400 LF OF FRONTAGE = 800 SF

TOTAL SIGNAGE NOT TO EXCEED 600 SF:  
TOTAL SIGNAGE = 98.3 + 56.67 + (4 x 27.38) = 264.49 SF < 600 SF



1" = 2,000'  
SOURCE: ADC THE MAP PEOPLE®

## REVISIONS

[illegible]

ALWAYS CALL 811  
It's fast. It's free. It's the law.

FOR CONCEPT  
PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY  
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION  
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MDA230082.00  
DRAWN BY: RLB  
CHECKED BY: MCC  
DATE: 5/15/23  
CAD I.D.: CPTB-PROP-06

PROJECT:

## CONCEPT PLAN

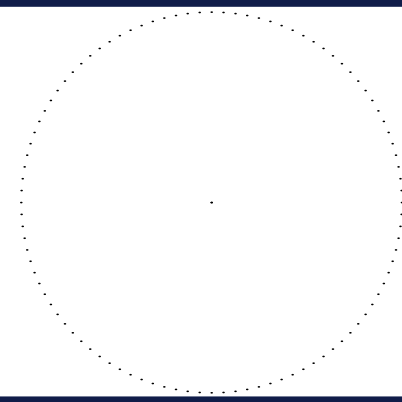
- FOR -



PROPOSED  
DEVELOPMENT  
SITE #128  
10320-10408 SHARPSBURG PIKE  
MD RTE 65  
HAGERSTOWN, MD 21740  
WASHINGTON COUNTY

**BOHLER //**

**901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21204**  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
***MD@BohlerEng.com***



SHEET TITLE:

## CONCEPT PLAN

SHEET NUMBER:

1

ORG. DATE - 5/15/23



**OM-23-009**

Presented is a Subdivision Ordinance and an Adequate Public Facilities Ordinance Modification to allow the development of a lot that does not meet the 25-foot road frontage requirements of these ordinances. (Section 405.11.B of the Subdivision Ordinance and Article IV of the APFO)

The site is located at 0 Pleasant Valley Road, in Smithsburg, behind 12345 Pleasant Valley Road. The property is zoned Environmental Conservation and is currently owned by Joyce and Douglas Minnick.

Proposed is the development of a single-family home on a 5-acre lot, which has been designated as agricultural use only, since the lot was created over 30-years ago. The agricultural property is accessed by a private driveway owned by Joyce and Douglas Minnick. This driveway is utilized by the Minnick family for three of their properties (1-acre residential use; 12335 Pleasant Valley Road residential use owned by Dennis & Jean Minnick; the 5-acre lot being discussed tonight) and by another property owner at 12331 Pleasant Valley Road. In their application, the owners indicated that they would be downsizing to a smaller house on this 5-acre lot and selling their existing home, 12335 Pleasant Valley Road, to their son. The development plat will be required to meet all other requirements of the ordinances.

Given the history of the property and the intended use, staff is recommending approval of the modification.

# Frederick Seibert & Associates, Inc.

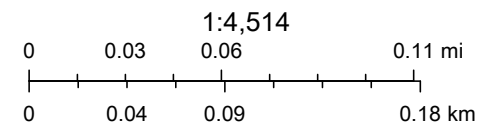


6/19/2023, 7:25:31 AM

World Transportation

Parcels

MD\_SixInchImagery



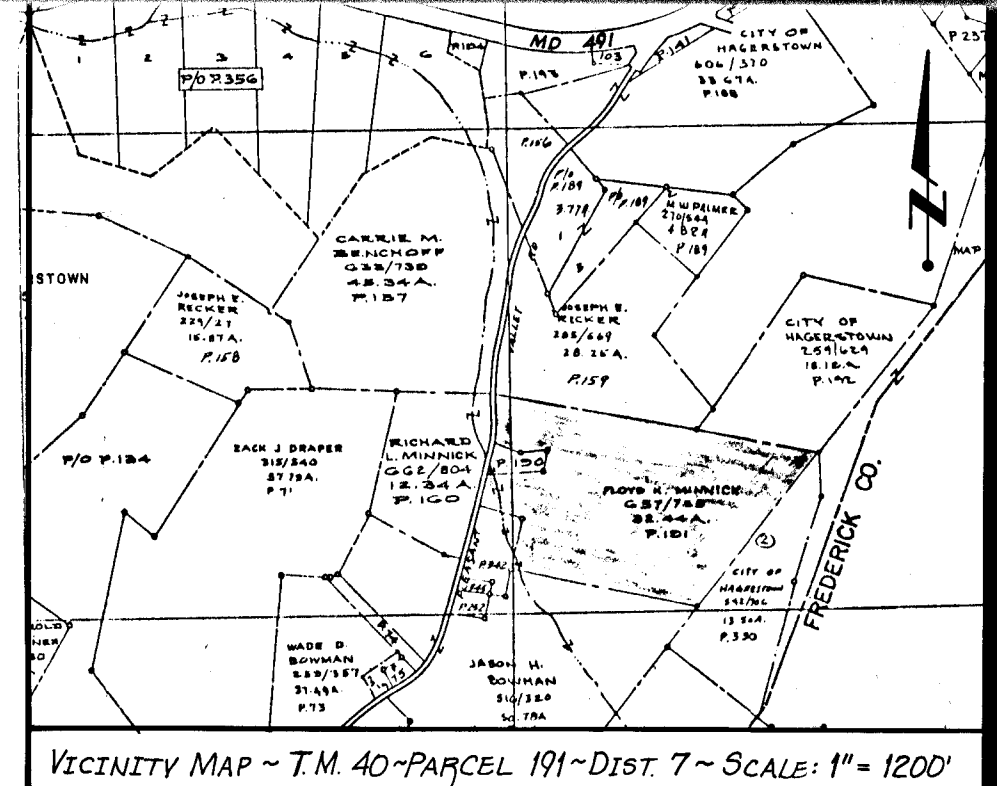
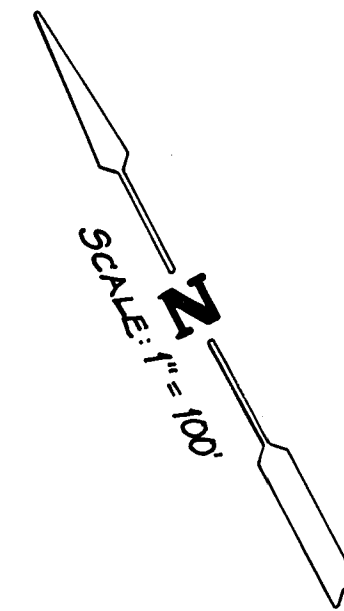
Esri, HERE, iPC, Esri Community Maps Contributors, Frederick County, WashCo MD, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph,

Web AppBuilder for ArcGIS

Maxar | MD iMAP, DoIT | Hagerstown MD | Washington County Planning Department | Source: USDA NRCS, Esri | MD iMAP, USDA | Esri, HERE, iPC | Esri Community Maps Contributors, Frederick County, WashCo MD, © OpenStreetMap, Microsoft, Esri, HERE,







NOTE: AFTER SUBDIVISION THERE WILL BE NO REMAINING LANDS.

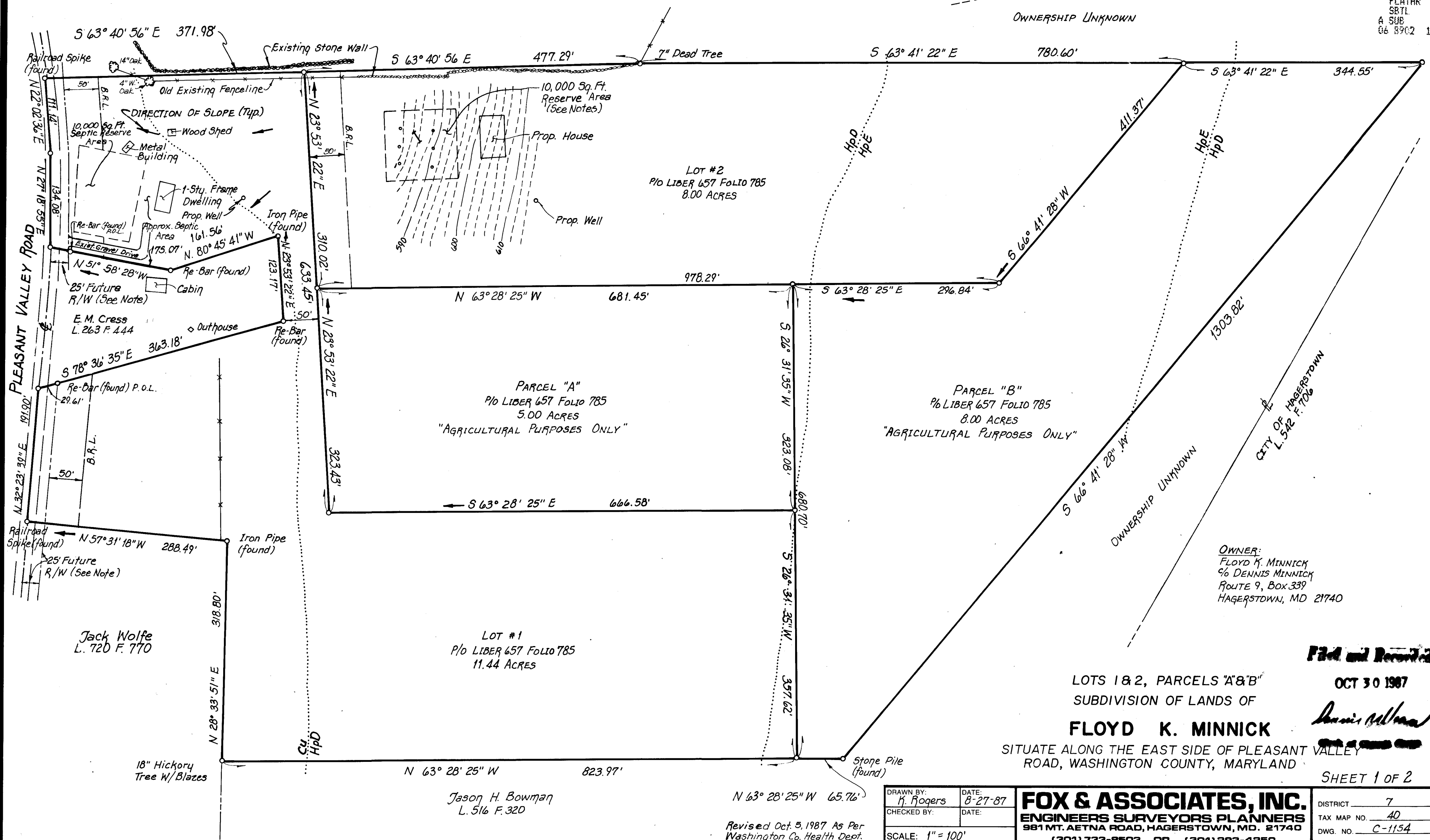
Soil Types  
Cu ~ Chewacla stony silt loam  
HpD ~ Highfield very stony loam, 5-30 % slopes  
HpE ~ Highfield very stony loam, 30-45 % slopes

Joseph E. Recker  
L. 285 F. 569

CITY OF HAGERSTOWN  
L. 259 F. 629

OWNERSHIP UNKNOWN

A - T2  
PLAT  
SRTL  
A SUB  
06 8902 10  
P1:58



OWNER:  
FLOYD K. MINNICK  
96 DENNIS MINNICK  
ROUTE 9, BOX 339  
HAGERSTOWN, MD 21740

Filed and Recorded

OCT 30 1987

*Dennis Minnick*

LOTS 1 & 2, PARCELS "A" & "B"  
SUBDIVISION OF LANDS OF

FLOYD K. MINNICK

SITUATE ALONG THE EAST SIDE OF PLEASANT VALLEY  
ROAD, WASHINGTON COUNTY, MARYLAND

SHEET 1 OF 2

**FOX & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS PLANNERS  
981 MT. AETNA ROAD, HAGERSTOWN, MD. 21740  
(301) 733-8503 OR (301) 293-4250

DRAWN BY:  
K. Rogers  
CHECKED BY:  
DATE:  
8-27-87  
DATE:  
SCALE: 1" = 100'

Revised Oct. 5, 1987 As Per  
Washington Co. Health Dept.

Jason H. Bowman  
L. 516 F. 320

18" Hickory  
Tree W/Blazes

Stone Pile  
(found)

N 63° 28' 25" W 65.76'

N 63° 28' 25" W 823.97'

N 28° 33' 51" E 318.80'

N 57° 31' 18" W 288.49'

N 32° 23' 30" E 191.90'

N 51° 58' 28" W 175.07'

N 80° 45' 41" W 161.56'

N 23° 53' 22" E 123.17'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'

N 23° 53' 22" E 310.02'



OWNERS' STATEMENT FOR PARCELS A AND B

APPLICATION IS HEREBY MADE FOR YOUR APPROVAL OF THE INDICATED TRANSFER OF LAND FOR CONVEYANCE OF LAND FOR AGRICULTURAL PURPOSES ONLY AND NOT FOR DEVELOPMENT. ANY DEVELOPMENT OF THIS LAND WILL BE SUBMITTED IN THE REGULAR MANNER FOR APPROVAL IN ACCORDANCE WITH THE PROVISIONS OF THE EXISTING SUBDIVISION REGULATIONS.

DATE 9-6-87 Floyd K. Minnick  
FLOYD K. MINNICK

APPROVED AS A DIVISION OF LAND NOT FOR DEVELOPMENT WITH THE STIPULATION THAT THE FOREGOING STATEMENT BE PART OF THE DEED OF CONVEYANCE.

OWNER'S CERTIFICATE

WE CERTIFY THAT IT IS OUR INTENT TO TRANSFER THE LAND ONLY TO MEMBERS OF THE IMMEDIATE FAMILY; AND WE EXPRESSLY WARRANT THAT NO CONVEYANCE OF THE LOTS WILL BE MADE TO ANYONE NOT A MEMBER OF THE IMMEDIATE FAMILY FOR A PERIOD OF FIVE (5) YEARS WITHOUT THE APPROVAL OF THE PLANNING COMMISSION; AND WE ABSOLVE THE COUNTY FROM RESPONSIBILITY FOR ACCEPTANCE OR MAINTENANCE OF THE PRIVATE ROAD OR RIGHT-OF-WAY.

DATE 9-6-87 Floyd K. Minnick  
FLOYD K. MINNICK

WITNESS Floyd K. Minnick

NOTES:

1. AN EIGHT (8) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE TO BE RESERVED ON THE INTERIOR OF EACH SIDE AND REAR LOT LINE. A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES TO BE RESERVED ALONG THE FRONT LOT LINE. (THESE EASEMENTS AFFECT ONLY LOT NO. 1 AND 2.)
2. BEARINGS AND DISTANCES IN AGREEMENT WITH A RECENT SURVEY BY FOX & ASSOCIATES, INC.
3. RESERVED - 10,000 SQ. FT. WASTE DISPOSAL SYSTEM: NO CONSTRUCTION, DRIVEWAYS, UTILITIES, SWIMMING POOLS OR PHYSICAL STRUCTURES PERMITTED. (LOTS 1 AND 2 ONLY)
4. ZONING - CONSERVATION.
5. SLOPES DO NOT EXCEED 25 PERCENT UNLESS SHOWN.
6. PLEASANT VALLEY ROAD - LOCAL ROAD.
7. A RIGHT-OF-WAY TWENTY-FIVE (25) FEET IN WIDTH WHEN MEASURED FROM THE CENTERLINE IS DEDICATED FOR THE PURPOSE OF THE POSSIBLE FUTURE WIDENING OF SAID ROAD, ALONG THE FRONTAGE OF LOT 1 ONLY.
8. CONTOURS TAKEN FROM ACTUAL FIELD SURVEY BY FOX & ASSOCIATES, INC. (ASSUMED DATUM).
9. A RIGHT-OF-WAY IS RESERVED FOR INGRESS AND EGRESS ACROSS LOT NO. 1 TO LOT NO. 2, PARCEL A AND B.
10. APPROVAL WAS GRANTED BY THE WASHINGTON COUNTY PLANNING COMMISSION IN MARCH 1987 TO SUBDIVIDE LANDS FOR AGRICULTURAL PURPOSES ONLY IN A CONSERVATION ZONE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS A SUB-DIVISION OF ALL OF THE LANDS CONVEYED BY FLOYD K. MINNICK AND MILDRED C. MINNICK, TO FLOYD K. MINNICK BY DEED DATED APRIL 4, 1978 AND RECORDED IN LIBER 657, FOLIO 785; AND ALSO BEING ALL OF PARCEL 1 AS SHOWN ON A PLAT OF "DIVISION OF LAND FOR FLOYD K. MINNICK AND MILDRED C. MINNICK" RECORDED AT PLAT FOLIO 892, BOTH OF WHICH ARE RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

DATE 9-21-87 Timothy G. Wither  
MARYLAND REG. NO. 319 R.P.L.S.

OWNER'S DEDICATION

I/WE DO HEREBY CERTIFY, FOR OURSELVES AND OUR PERSONAL REPRESENTATIVES, HEIRS, AND ASSIGNS THAT I/WE ARE THE LEGAL AND TRUE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN AND THAT I/WE HEREBY ADOPT THE PLAN OF SUBDIVISION SHOWN HEREON, HEREBY ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES SHOWN HEREON, HEREBY DEDICATE TO PUBLIC USE ALL UTILITY AND DRAINAGE EASEMENT AREAS AND ALL ALLEY, STREET AND ROAD RIGHTS-OF-WAY DESIGNATED ON THIS PLAT, HEREBY AGREE TO KEEP OPEN ALL SPACES AND RECREATION AREAS SHOWN HEREON AND HEREBY AGREE THAT SAID DEDICATIONS SHALL NOT IMPOSE ANY RESPONSIBILITY ON THE BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY REGARDING THE SUBJECTS OF SUCH DEDICATIONS UNTIL LEGAL ACCEPTANCE THEREOF BY SAID BOARD, AND I/WE HEREBY RESERVE THE FEE SIMPLE TITLE TO THE LAND UNDERLYING SAID EASEMENTS, RIGHTS-OF-WAY, OPEN SPACES, AND RECREATION AREAS AND, WITH REGARD TO THE LAND UNDERLYING SAID EASEMENTS AND RIGHTS-OF-WAY, HEREBY AGREE TO CONVEY THE SAME TO SAID BOARD FOR THE USE OF SAID WASHINGTON COUNTY, WITHOUT CONSIDERATION, UPON THE LEGAL ACCEPTANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY BY SAID BOARD.

THIS DEED AND AGREEMENT OF DEDICATION SHALL BE BINDING UPON MY/OUR GRANTEEES, ASSIGNS, SUCCESSORS, HEIRS AND PERSONAL REPRESENTATIVES.

WITNESS OUR HANDS AND SEALS THIS 6<sup>th</sup> DAY OF September, 1987

Floyd K. Minnick  
FLOYD K. MINNICK

WITNESS Floyd K. Minnick

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS OR RIGHTS-OF-WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION EXCEPT THE FOLLOWING:  
AND ALL PARTIES HAVING AN INTEREST THEREIN HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT TO THIS PLAN OF SUBDIVISION.

I/WE DO HEREBY ASSENT TO THIS PLAN OF SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS 6<sup>th</sup> DAY OF September, 1987

Floyd K. Minnick  
FLOYD K. MINNICK

WITNESS Floyd K. Minnick

IN COMPLIANCE WITH COMAR 10.17.01.05.B (1) AND (2), THE INDIVIDUAL WATER SUPPLY AND/OR SEWER SYSTEM IS HEREBY PERMITTED ON A TEMPORARY INTERIM BASIS. FUTURE LOT OWNERS ARE ADVISED THAT THE INDIVIDUAL SYSTEMS SERVING THE LOT INDICATED ON THIS PLAT ARE OF A TEMPORARY INTERIM NATURE AND THAT CONNECTION TO A FUTURE COMMUNITY SYSTEM SHALL BE MADE WITHIN ONE (1) YEAR OR LESS AFTER THE SYSTEM BECOMES AVAILABLE.

DATE 9-6-87 Floyd K. Minnick  
FLOYD K. MINNICK

I HEREBY CERTIFY THAT THE MINIMUM OWNERSHIP AREA COMPLIES WITH THE MINIMUM WIDTH AND MINIMUM AREA REQUIREMENTS SPECIFIED IN COMAR 10.17.03.03. SUCH MINIMUM OWNERSHIP SHALL REMAIN EQUAL TO THE MINIMUM WIDTH AND MINIMUM AREA SET FORTH IN COMAR 10.17.03.A (2) UNTIL COMMUNITY SEWERAGE AND WATER HAVE BEEN MADE AVAILABLE. NOT MORE THAN ONE PRINCIPAL BUILDING MAY BE ERRECTED OR CONSTRUCTED ON A LOT, OR LOTS, CONTAINED IN THE MINIMUM OWNERSHIP AREA AS ESTABLISHED BY COMAR 10.17.03.A (2) UNTIL COMMUNITY SEWERAGE HAS BEEN MADE AVAILABLE.

DATE OCTOBER 22, 1987 SIGNATURE: Col. Phyllis H. H.  
COUNTY HEALTH OFFICER

CERTIFICATE OF APPROVAL

FINAL APPROVAL GRANTED FOR ALL PARCELS

DATE Oct 26, 1987

WASHINGTON COUNTY PLANNING COMMISSION

BY James J. Magner  
EXECUTIVE DIRECTOR

DRAWN BY: K. Rogers DATE: 8-28-87  
CHECKED BY: DATE:  
SCALE: None

**FOX & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS PLANNERS  
981 MT. AETNA ROAD, HAGERSTOWN, MD. 21740  
(301) 733-8503 OR (301) 293-4250

DISTRICT 7  
TAX MAP NO. 40  
DWG. NO. C-1154

LOTS 1 & 2, PARCELS "A" & "B"  
SUBDIVISION OF LANDS OF

**FLOYD K. MINNICK**

SITUATE ALONG THE EAST SIDE OF PLEASANT VALLEY ROAD, WASHINGTON COUNTY, MARYLAND

SHEET 2 OF 2

Filed and Recorded

OCT 30 1987

Per al

Out of Office

DISTRICT 7

TAX MAP NO. 40

DWG. NO. C-1154

PLAT  
FLATNR  
SBTL  
A SUB 11  
06 3903 10-3 P1:59

2.50  
2.50  
5.00  
1.00  
P1:59

**OM-23-007 PFCU Lot 2**

- Presented is an Ordinance Modification to allow for a new lot to be created without fully functional road frontage
- The site is located at 11067 Robinwood Drive, Hagerstown, MD 21742
- Proposed is an Ordinance Modification of Subdivision Ordinance article 405.11(B) to allow creation of a lot without fully functional road frontage
- Proposed lot will share existing access with lot 1, PFCU
- All required approvals received





# WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

## ORDINANCE MODIFICATION STAFF REPORT

### BASE INFORMATION

SITE NAME.....: PFCU Robinwood Lot 2  
NUMBER.....: OM-23-007  
  
OWNER.....: PATRIOT FEDERAL CREDIT UNION  
LOCATION.....: 11067 ROBINWOOD Drive  
HAGERSTOWN, MD 21742  
DESCRIPTION.....: Ordinance modification to allow a lot to be created without fully functional road frontage.  
  
ZONING.....: Business, Local  
COMP PLAN LU.....: Low Density Residential  
PARCEL.....: 18048647  
PLANNING SECTOR.....: 1  
ELECTION DISTRICT.....: 18  
  
TYPE.....:  
GROSS ACRES.....: 2.23  
DWELLING UNITS.....:  
TOTAL LOTS.....: 1  
DENSITY.....: N/L Units Per Acre  
  
PLANNER.....: Scott A Stotemyer  
ENGINEER.....:  
RECEIVED.....: June 12, 2023

### SITE ENGINEERING

#### HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No  
WETLANDS.....: None  
WATERSHED.....: Antietam Creek  
ENDANGERED SPECIES.....: None  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: None

### SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Eastern	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

### PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: FUNKSTOWN  
AMBULANCE DISTRICT.....: HAGERSTOWN

### WATER & SEWER INFORMATION

WATER

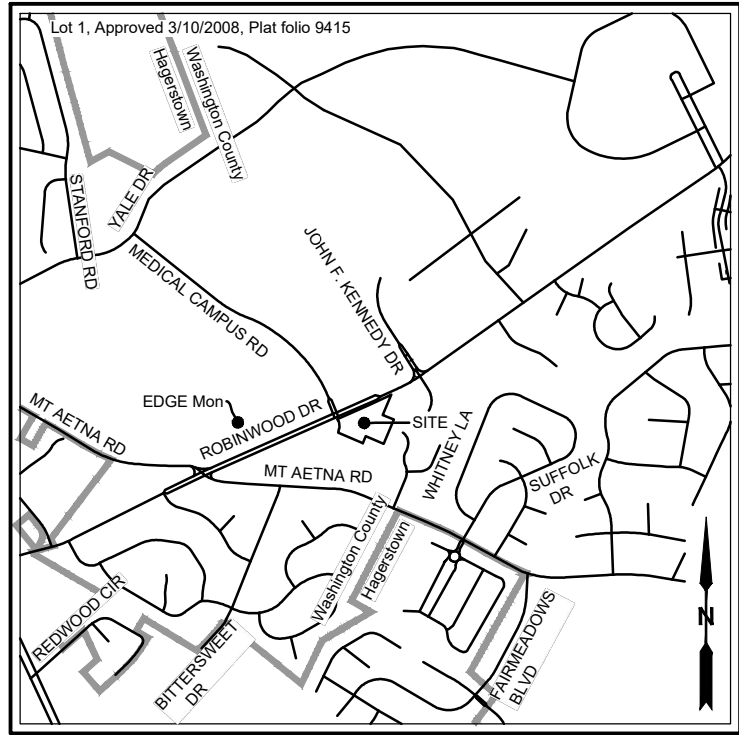
SEWER



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

METHOD.....:	City	City
SERVICE AREA.....:	City	City
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

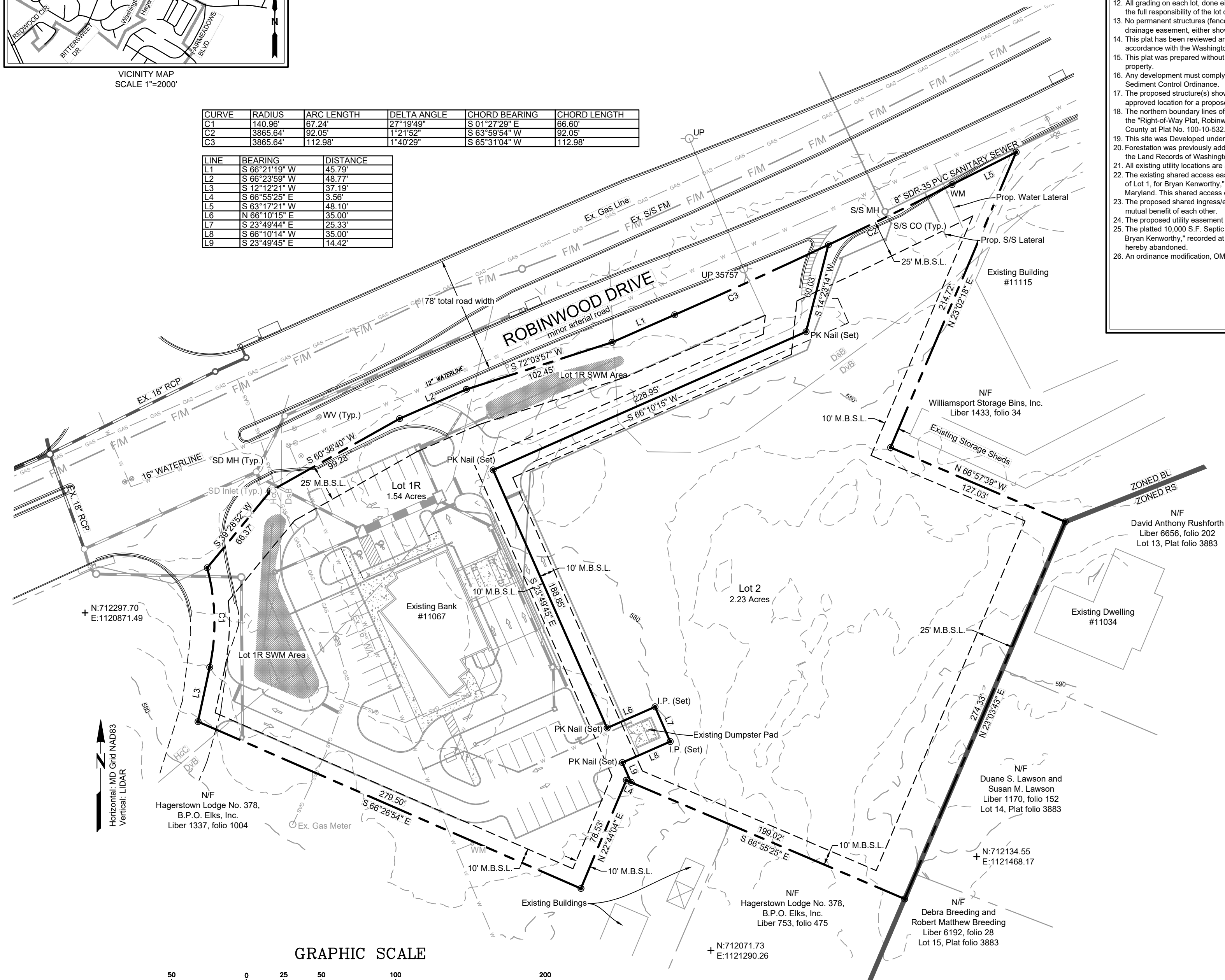


VICINITY MAP  
SCALE 1"=2000'

LEGEND	
---	= PROPERTY LINE
- - - - -	= PROPOSED PROPERTY LINE
.....	= PROPERTY LINE TO BE VACATED
- - - - -	= RIGHT OF WAY
●	= PROPERTY CORNER
⊙	= FIRE HYDRANT
○	RCP = REINFORCED CONCRETE PIPE
○	SD = STORM DRAIN
○	S/S = SANITARY SEWER
○	FM = FORCEMAIN

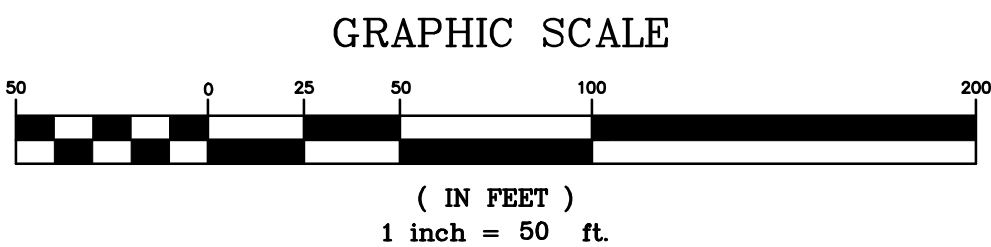
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	140.96'	67.24'	27°19'49"	S 01°27'29" E	66.60'
C2	3865.64'	92.05'	1°21'52"	S 63°59'54" W	92.05'
C3	3865.64'	112.98'	1°40'29"	S 65°31'04" W	112.98'

LINE	BEARING	DISTANCE
L1	S 66°21'19" W	45.79'
L2	S 66°23'59" W	48.77'
L3	S 12°12'21" W	37.19'
L4	S 66°55'25" E	3.56'
L5	S 63°17'21" W	48.10'
L6	N 66°10'15" E	35.00'
L7	S 23°49'44" E	25.33'
L8	S 66°10'14" W	35.00'
L9	S 23°49'45" E	14.42'



- General Notes
- There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and utilities easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
  - Lot 2 to be served by Public Water and Public Sewer from the City of Hagerstown.
  - Bearings, distances and coordinates are based on MD Grid NAD83.
  - Soil types are as shown hereon.
  - Minimum Building Setbacks: front yard-25', side yard-10' (25' when adjoining RR, RT, RS, RU, or RM zoning district), rear yard-10' (25' when adjoining RR, RT, RS, RU, or RM zoning district). Minimum Building Setback Lines are based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory structures are not permitted without the placement of the principal permitted structure. Zoned BL - Business, Local.
  - Total upstream watershed affecting this subdivision: is less than 400 Acres.
  - This parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24043C0306D dated August 15, 2017, Flood Zone X.
  - Contours based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc.
  - There are no floodplains, streams, steep slopes, or other related buffers, or habitat of threatened or endangered species as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (C&D) of the Washington County Zoning Ordinance. This subdivision is not within 1000' of the Appalachian Trail.
  - This subdivision is not within the Edgemont Reservoir Watershed, Smithsburg Reservoir Watershed, or the Upper Beaver Creek Drainage Basin per Washington County Watershed Mapper.
  - No other wells or septic systems lie within 100 feet of the Lot Lines except as shown hereon.
  - All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
  - No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement, either shown or described, on the Final Plat of Subdivision.
  - This plat has been reviewed and approved per the BL Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
  - This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on this property.
  - Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
  - The proposed structure(s) shown hereon is for general purposes only and are not to be construed as the only approved location for a proposed structure(s).
  - The northern boundary lines of Lots 1R and 2 coincide with the existing right of way line of Robinwood Drive per the "Right-of-Way Plat, Robinwood Drive - Corridor II," recorded among the Right of Way Plats of Washington County at Plat No. 100-10-532.
  - This site was Developed under SP-17-017, Robinwood Patriot FCU.
  - Foreclosure was previously addressed via Payment-in-Lieu of Foreclosure, approved March 10, 2008, recorded in the Land Records of Washington County, Maryland in Plat folio 9415.
  - All existing utility locations are approximate.
  - The proposed shared access easement shown hereon was established on the "Preliminary/Final Plat of Subdivision of Lot 1, for Bryan Kenworthy," recorded at Plat folio 9415 among the Land Records of Washington County, Maryland. This shared access easement is not for the benefit of Lot 2 and remains over and for benefit of Lot 1R.
  - The proposed shared ingress/egress and maintenance easement shown hereon is over Lots 1R and 2 for the mutual benefit of each other.
  - The proposed utility easement shown hereon is over Lot 2 for the benefit of Lot 1R.
  - The platted 10,000 S.F. Septic Reserve Area shown on the "Preliminary/Final Plat of Subdivision of Lot 1, for Bryan Kenworthy," recorded at Plat folio 9415 among the Land Records of Washington County, Maryland is hereby abandoned.
  - An ordinance modification, OM-\_\_\_\_\_, was granted allowed Lot 2 to be created without usable road frontage.

Owner:  
Patriot Federal Credit Union  
800 Wayne Avenue  
PO Box 778  
Chambersburg PA 17201



Sheet Index

Sheet 1 - Plan and General Notes

Sheet 2 - Signatures, and Easements

PLAT NO \_\_\_\_\_

DATE \_\_\_\_\_

WASHINGTON COUNTY

**FSA**

FREDERICK, SEIBERT & ASSOCIATES, INC. © 2023

CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

138 SOUTH ROTOMAG STREET  
HAGERSTOWN, MD 21740  
301.791.3500

20 WEST BALTIMORE STREET  
CARLEISLE, PA 17013  
717.701.8111

505 SOUTH HANOVER STREET  
NEWELCOMBED, PA 17208  
717.275.7531

fsa-inc.com

PRELIMINARY/FINAL PLAT OF SUBDIVISION  
OF  
LOT 2  
FOR  
PATRIOT FEDERAL CREDIT UNION  
SITUATE ALONG THE SOUTHEAST SIDE OF ROBINWOOD DRIVE  
HAGERSTOWN  
WASHINGTON COUNTY, MARYLAND

PROJECT NO. 5066.P	
DWN BY LEJ	DATE 5.17.2023
PROJECT MANAGER JTD	
EMAIL JDoty@fsa-inc.com	
ELECTION DISTRICT 18	
PROPERTY INFORMATION 50-15-1748	
ACCOUNT NO. 18-048647	
SCALE 1" = 50'	
SHEET TITLE	

PLAT OF  
SUBDIVISION





DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

# MEMORANDUM

---

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: August 7, 2023

RE: Preliminary Forest Conservation Plan Approval for Crosspoint Townhouse Development (PSP-22-001)

---

Attached you will find supporting documentation for two requests to meet preliminary forest conservation requirements for this project. The first request is to utilize the fee-in-lieu of payment option to satisfy 5.55 acres of the overall planting requirement for the residential development located at 11133 Raintree Drive, south of Target, in Hagerstown. The second request is to remove 1 specimen tree from the site as a part of its development.

Enclosed for your review are three documents in support of the applicant's request. These include the forest conservation plan; which shows the location of the offsite easement and depicts the specimen tree proposed for removal, and two justification letters from Qualified Professional Clint Rock that make their case for both of these requests.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

The removal of specimen trees requires that approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Comprehensive Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

---

WWW.WASHCO-MD.NET





981 Mt Aetna Rd  
Hagerstown, MD 21740  
Phone: 301-733-8503  
Fax: 301-733-1853

December 9, 2022

Washington County  
Planning & Zoning Department  
100 West Washington Street, Suite 2600  
Hagerstown, Maryland 21740

Attention: Travis Allen, Comprehensive Planner

**Re: Crosspoint Residential, Towns at Rockspring (PSP-22-001)  
Specimen Tree Variance Request**

Mr. Allen,

We are requesting a variance under Article 15 of the Washington County Forest Conservation Ordinance on behalf of our client, Hekbel, LLC, for the removal of a specimen American Sycamore tree within the proposed limit of disturbance associated with the above-referenced property in Washington County. This specimen tree cannot be saved due to grading limitations associated with the stormwater management Pond No. 2/Sediment Basin #2.

A site visit was conducted in June of 2022 to collect sampling data for the approved Forest Stand Delineation prepared for the property (FS-22-020). This site visit confirmed the location and condition of specimen tree, noted above. The tree in question is an American Sycamore (*Platanus occidentalis*) approximately 38" in Diameter at Breast Height (DBH) and appears to be in good health.

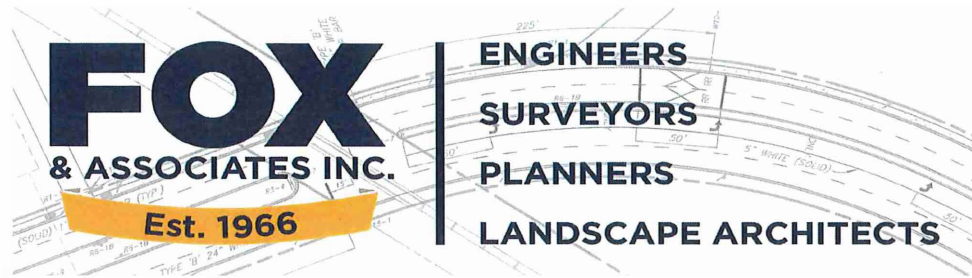
The development of the property proposes 123 townhouse building lots with related infrastructure, roadways, and stormwater management. The observed specimen tree is located within a naturally occurring low area of the subject property, making it the most suitable location to provide stormwater management. Considerable excavation will be necessary in this area for the construction of the stormwater management facility required to adequately comply with Washington County Stormwater regulations. This excavation will result in the removal of the specimen tree. Attempts to preserve this tree would limit the developable area of the site and create a hardship for the property owner.

We appreciate your consideration of this request. If you have any questions or require additional information, please feel free to contact me.

Sincerely,

Clint Rock, RLA  
Landscape Architect  
FOX & ASSOCIATES, INC.

J:\Fox Project Documentation\Forest\crosspoint update 2022\Crosspoint Residential - Specimen Tree Waiver.doc



981 Mt Aetna Rd  
Hagerstown, MD 21740  
Phone: 301-733-8503  
Fax: 301-733-1853

March 20, 2023

Washington County Maryland Planning & Zoning Department  
100 West Washington Street, Suite 2600  
Hagerstown, Maryland 21740

Attention: Travis M. Allen, Comprehensive Planner

**Re: Crosspoint Residential, Townes at Rockspring – Forest Mitigation**

Mr. Allen,

We have prepared and submitted a Forest Conservation & Landscape Plan as part of the Preliminary Site Plan for Crosspoint Residential – Townes at Rockspring (PSP-22-001).

The subject property is 17.23 acres in size and contains 16.34 acres of qualified forest (95% of the total acreage). The Forest Conservation & Landscape Plan proposes that 1.88 acres of the existing forest cover on the subject property be retained and placed within a Forest Conservation Easement.

The Forest Conservation Worksheet found on Sheet 39 of 41 calculates the total forest mitigation requirement to be 6.36 acres based on the amount of qualified forest that would be disturbed by the improvements proposed by PSP-22-001. The Site Plan proposes 81 street trees to be planted along all suitable road frontage in the community which would account for 0.81 acres of the required mitigation, leaving a remaining obligation of 5.55 acres.

The site has been designed to limit the amount of disturbance to existing qualified forest as much as possible. However, for the property owner to efficiently develop the property and provide the required stormwater facilities in accordance with County Stormwater regulations, there is not sufficient remaining planting area to meet the afforestation requirement on-site. As such, the developer is proposing to provide the remaining 5.55 acres of mitigation by means of Payment in Lieu (PIL) in the amount of \$72,527.40 (based on \$0.30 per sq ft).

We ask that the Planning Commission approve this request to address the required mitigation by the implementation of on-site retention and street tree planting with the remaining afforestation requirement met by payment in lieu. Thank you for your consideration. Please feel free to contact me with any questions.

Sincerely,

FOX & ASSOCIATES, INC.

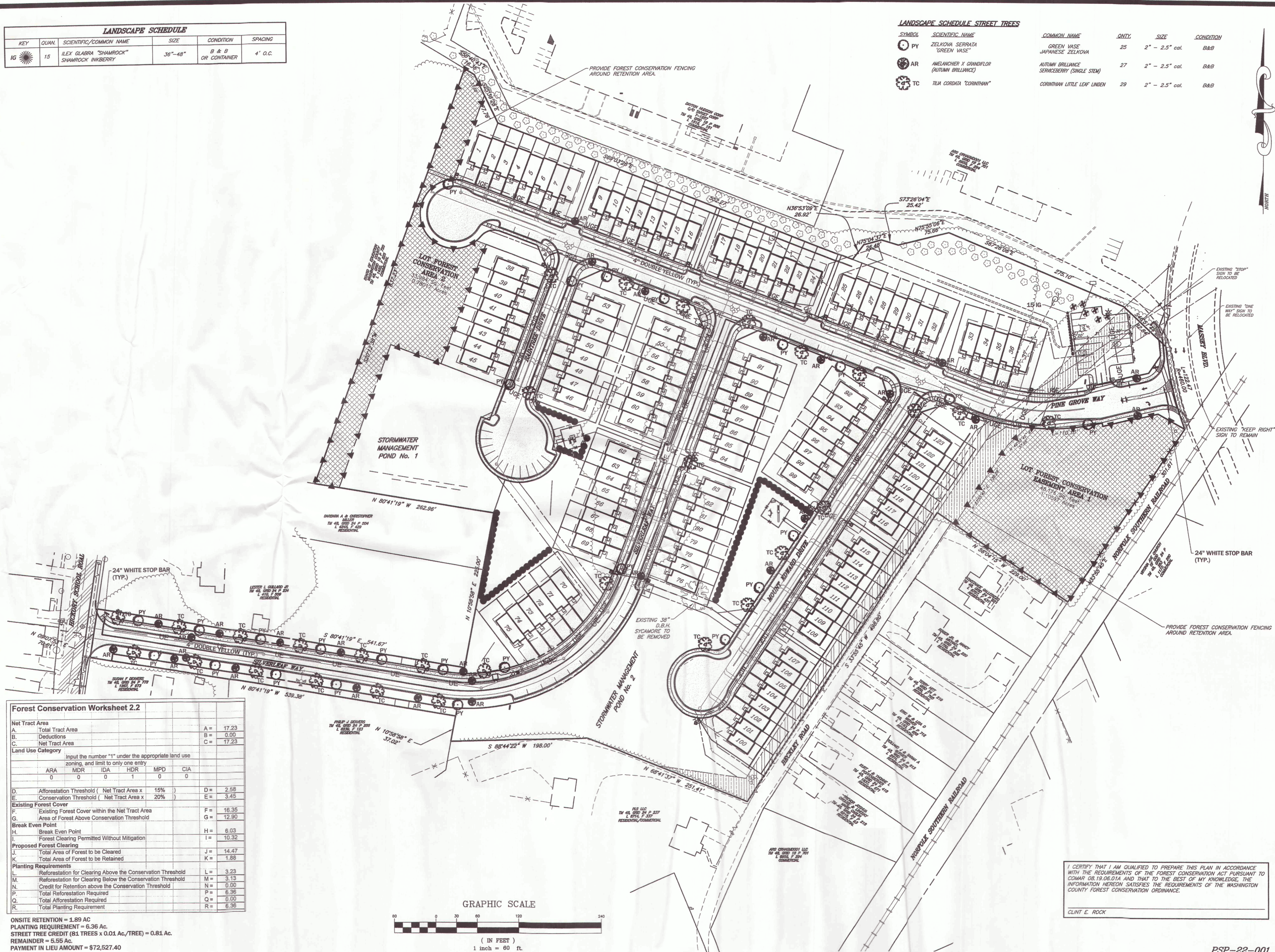
Clint Rock, RLA  
Landscape Architect



LANDSCAPE SCHEDULE					
KEY	QUAN.	SCIENTIFIC/Common NAME	SIZE	CONDITION	SPACING
IG	15	ILEX GLABRA "SHAMROCK" SHAMROCK INKBERRY	36"-48"	B & B OR CONTAINER	4' O.C.

# LANDSCAPE SCHEDULE STREET TREES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QNTY	SIZE	CONDITION
PY	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	25	2" - 2.5" cal.	B&B
AR	AMELANCHIER X GRANDIFLOR (AUTUMN BRILLIANCE)	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM)	27	2" - 2.5" cal.	B&B
TC	TELA CORDATA "CORINTHIAN"	CORINTHIAN LITTLE LEAF LINDEN	29	2" - 2.5" cal.	B&B



## Forest Conservation Worksheet 2.2

Net Tract Area							
A.	Total Tract Area					A =	17.23
B.	Deductions					B =	0.00
C.	Net Tract Area					C =	17.23
Land Use Category							
Input the number "1" under the appropriate land use zoning, and limit to only one entry							
	ARA	MDR	IDA	HDR	MPD	CIA	
	0	0	0	1	0	0	
D.	Afforestation Threshold ( Net Tract Area x 15% )					D =	2.58
E.	Conservation Threshold ( Net Tract Area x 20% )					E =	3.45
Existing Forest Cover							
F.	Existing Forest Cover within the Net Tract Area					F =	16.35
G.	Area of Forest Above Conservation Threshold					G =	12.90
Break Even Point							
H.	Break Even Point					H =	6.03
I.	Forest Clearing Permitted Without Mitigation					I =	10.32
Proposed Forest Clearing							
J.	Total Area of Forest to be Cleared					J =	14.47
K.	Total Area of Forest to be Retained					K =	1.88
Planting Requirements							
L.	Reforestation for Clearing Above the Conservation Threshold					L =	3.23
M.	Reforestation for Clearing Below the Conservation Threshold					M =	3.13
N.	Credit for Retention above the Conservation Threshold					N =	0.00
P.	Total Reforestation Required					P =	6.36
Q.	Total Afforestation Required					Q =	0.00
R.	Total Planting Requirement					R =	6.36

ONSITE RETENTION = 1.89 AC  
 PLANTING REQUIREMENT = 6.36 Ac.  
 STREET TREE CREDIT (81 TREES x 0.01 Ac./TREE) = 0.81 Ac.  
 REMAINDER = 5.55 Ac.  
 PAYMENT IN LIEU AMOUNT = \$72,527.40

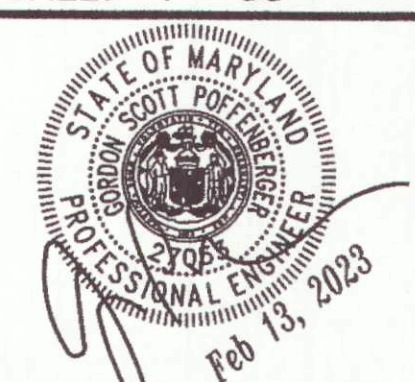
**FOX & ASSOCIATES, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT  
 SUITE 10  
 FREDERICK, MD. 21701  
 PHONE: (301) 685-0880  
 FAX: (301) 283-6009  
 Email: foxassoc@foxassociatesinc.com

981 MT. AETNA ROAD  
 HAGERSTOWN, MD. 21740  
 PHONE: (301) 733-5553  
 or (301) 416-2330  
 FAX: (301) 733-1853  
 www.foxassociatesinc.com

**FOREST CONSERVATION & LANDSCAPE PLAN**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
 SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
 & WEST SIDE OF MASSEY BLVD.  
 ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 27053 Exp. Date: 1/25/24

PROJECT NO. 22-51199  
 DRAWING NO. D-9041  
 DATE: AUGUST 2022  
 DRAWN BY: RLW  
 CHECKED BY: GSP

SHEET 39 OF 41



ESD PRACTICES SUMMARY TABLE						
CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION)						
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)						
TYPE	NO.	DA TO STRUCTURE (AC)	IMPERVIOUS (AC)	WQY (AC-FT)	ESD (AC-FT)	PE ADDRESSED (N)
M-6	1	0.52	0.29		0.06	2.53
FILTERBA BOX	1,2,3,4	1.01	0.51		0.005	0.12
NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)						
TYPE	NO.	STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQY (AC-FT)	ESD (AC-FT)	PE ADDRESSED (N)
W-2	1	7.57	3.26		0.64	2.32
W-2	2	7.64	3.65		0.43	1.40

Stormwater Management Narrative

This Project is being designed to meet the new Maryland Stormwater Act of 2007 which supplements the original 2000 Maryland Design Manual. Environmental Site Design (ESD) techniques must now be provided through structural and non-structural practices at the source to the maximum extent practical (MEP).

Chapter 3 Structural and Chapter 5 Structural practices will provide 100% of the site's WQY and the ESD's. These structures will provide all of the Rev and the required Phosphorus Load Reduction.

Quantity control for the 2- and 10-year storm events will be provided by the proposed Chapter 3 Structural practices. These facilities will also provide the Cpv (channel protection volume).

GENERAL CONSTRUCTION NOTES

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE WASHINGTON COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE LATEST EDITION OF WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS, THE WASHINGTON COUNTY PLUMBING CODE, THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT PROCEDURES AND REGULATIONS, AND THE STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION BOOK OF STANDARDS.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTACT THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT 240-313-2460; FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- IN CONFORMANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A NOTICE OF INTENT TO CONSIDER WITH THE GENERAL PERMIT STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY - (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND THE CODE OF MARYLAND REGULATIONS COMAR 26.08.04.05A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MD010) HAS BEEN ISSUED BY MDE.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE LOT/PARCEL OWNER.
- WATERSHED CODE: CONOCOCHIEGUE CREEK 02140504

ESTIMATED PROJECT SCHEDULE

SITE PLAN APPROVAL.....	JULY 2023
GRADING PERMIT ISSUANCE.....	AUGUST 2023
START SITE CONSTRUCTION.....	SEPTEMBER 2023
COMPLETE SITE CONSTRUCTION.....	JULY 2024
BUILDING OCCUPANCY.....	FALL 2024

OWNER:

HEXBEL LLC  
305 MAIN ST  
P.O. BOX 667  
HACKENSACK, NJ 070602

DEVELOPER:

DR HORTON  
181 HARRY S. TRUMAN PARKWAY, SUITE 250  
ANNAPOLIS, MD 21401  
443-924-4947  
ATTENTION: DEVIN URGO

DATE	REVISION	DRAWN BY

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD  
HAGERSTOWN, MD. 21740  
PHONE: (301)733-8503  
or (301)416-7250  
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82 WORMANS MILL COURT  
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FREDERICK, MD. 21701  
PHONE: (301)695-0880  
FAX: (301)293-8009

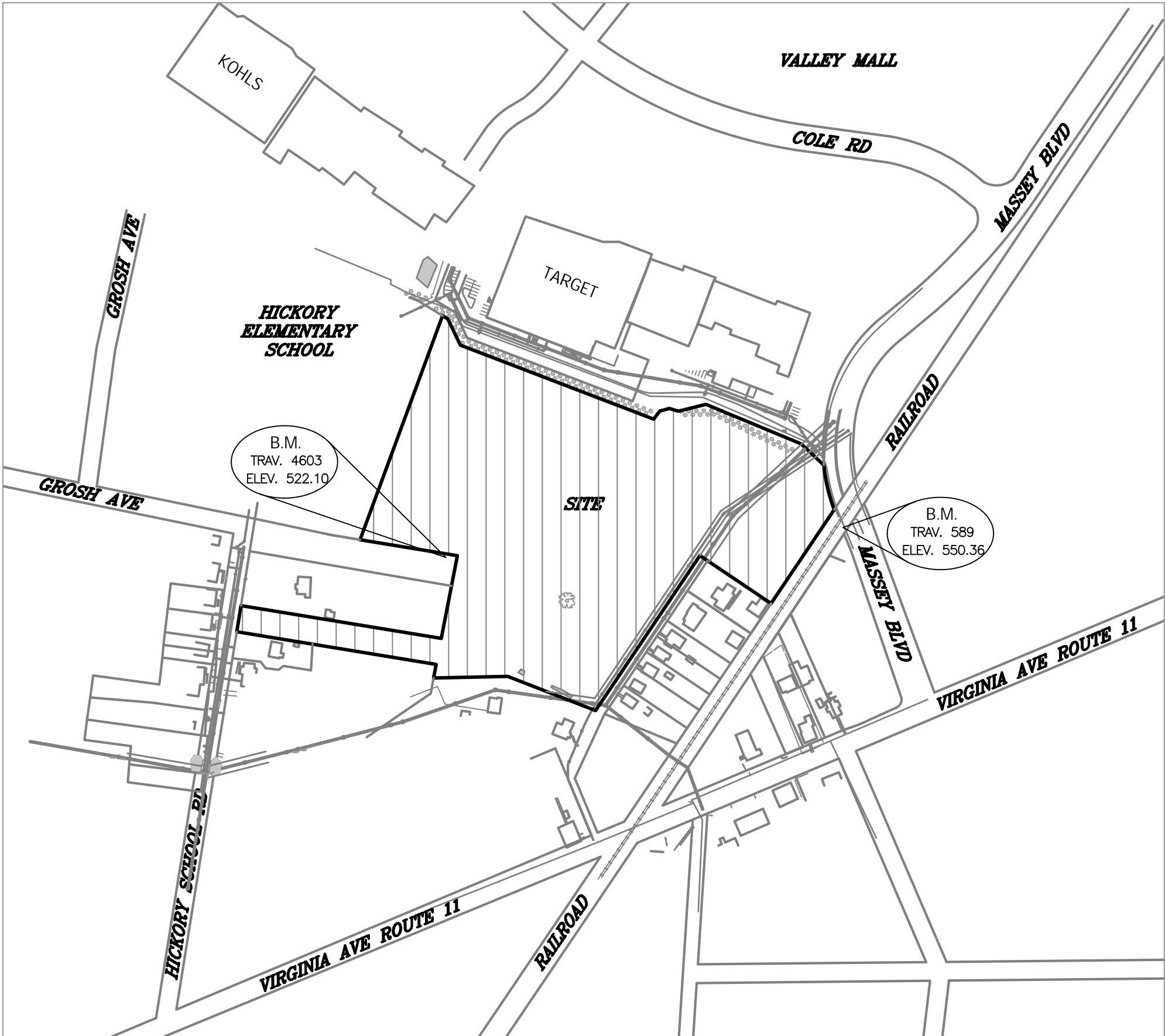


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Email: foxassoc@foxassociatesinc.com

PRELIMINARY PLAT and RESIDENTIAL SITE PLAN  
CROSSPOINT RESIDENTIAL  
TOWNES AT ROCKSPRING  
123 TOWNHOME LOTS  
SITUATE AT ON THE EAST SIDE OF HICKORY SCHOOL RD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 26  
WASHINGTON COUNTY, MARYLAND



PLAN VIEW

SCALE: 1" = 300'

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SURVEYOR CERTIFICATION

I, GEORGE E. NAGEL, A REGISTERED SURVEYOR OF THE STATE OF MARYLAND, DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED LAND SUBDIVISION AND FURTHER THAT THIS PLAT WAS PERSONALLY REVIEWED AND/OR PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON. ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

DATE: \_\_\_\_\_ REGISTERED SURVEYORS' SIGNATURE: \_\_\_\_\_  
MARYLAND REG. NO. 21052 EXP. 8/24/24

ENGINEER'S STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION, THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN, AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE BY THE CONSULTANT.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

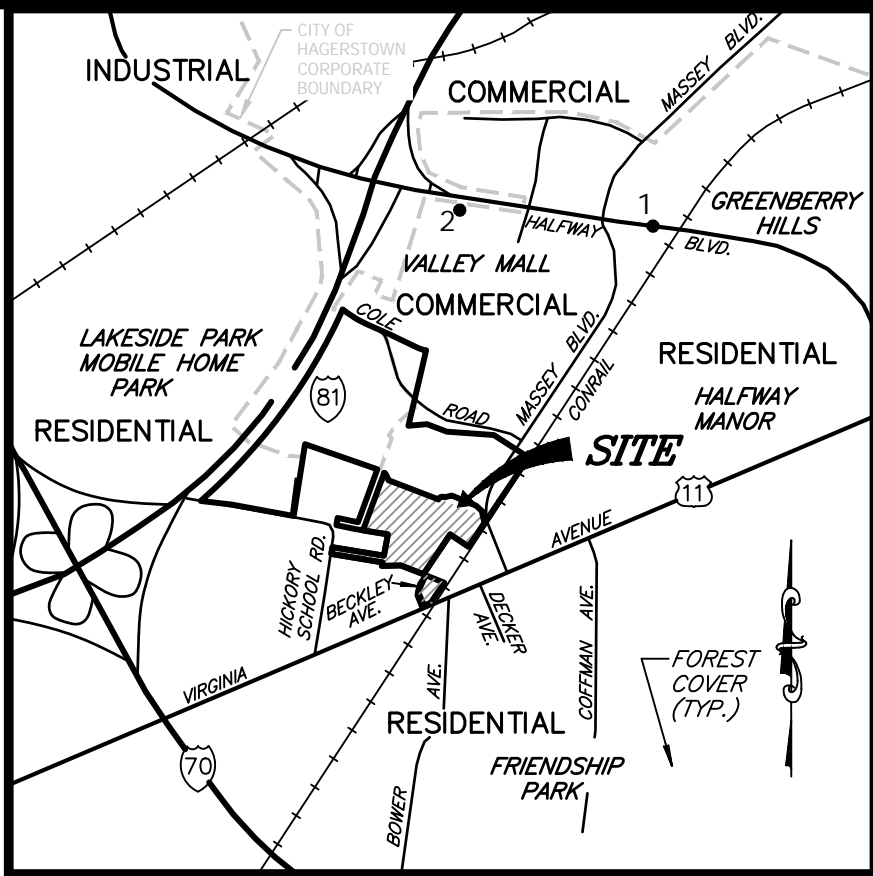
THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY \_\_\_\_\_ DATE \_\_\_\_\_

COORDINATES AND WASHINGTON COUNTY SURVEY MONUMENTS  
1 - "KMART" 39° 37' 35.729872" (N)  
77° 45' 49.307351" (W)  
ELEV. 606.27  
2 - "MALL" 39° 37' 38.29544" (N)  
77° 46' 16.51472" (W)  
ELEV. 596.02



ADC MAP 20  
GRID 9 F & G

VICINITY MAP  
SCALE: 1" = 2000'  
TAX MAP 43 PARCEL 950  
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 20403134

AGENCY & UTILITY CONTACTS

COUNTY ENGINEERING DEPT.	(240) 313-2460
WASHINGTON COUNTY DEPT. OF WATER QUALITY (SEWER)	(240) 313-2600
WASH. CO. SCD	DENISE PRICE (301) 797-6821 X 3
ANITEM CABLE	LESLIE CURRY (240) 420-2084
VERIZON	JOE LUDWIG (301) 780-7135
POTOMAC EDISON	RICK USARY (301) 582-5210
COLUMBIA GAS	VONDA GRIFFIN (800) 440-6111

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 15.30 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 40,380 C.Y. OF EXCAVATION AND 44,130 C.Y. OF FILL.

- THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.
- EARTHWORK QUANTITIES HAVE BEEN COMPUTED FROM PROPOSED SURFACE TO EXISTING SURFACE AND DOES NOT TAKE INTO ACCOUNT TOPSOIL STRIP OR PAVING DEPTHS.

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

NAME: \_\_\_\_\_ LICENSE No. 27053 EXPIRATION DATE 1/25/24

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE \_\_\_\_\_ REG. NO. \_\_\_\_\_ SIGNATURE \_\_\_\_\_

OWNER/DEVELOPER CERTIFICATION - DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE \_\_\_\_\_ PRINTED NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE FOR THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE \_\_\_\_\_ PRINTED NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY: \_\_\_\_\_

DATE: \_\_\_\_\_  
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

WASHINGTON COUNTY DIVISION OF ENGINEERING GRADING & STORMWATER MANAGEMENT APPROVAL

SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_



**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT

**FOX & ASSOCIATES, INC.**

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82 WORMANS MILL COURT  
SUITE "C"  
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or (301)116-7250  
FAX: (301)233-1853  
Email: foxassoc@foxassocinc.com  
www.foxassocinc.com

DATE

REVISION

DRAWN BY

OVERALL PRELIMINARY PLAT & PHASING PLAN

**CROSSPOINT RESIDENTIAL  
TOWNES AT ROCKSPRING**

SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 7/25/24

PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
DRAWN BY: RLB  
CHECKED BY: GSP

**SHEET 3 OF 41**

PSP-22-001

**SOILS**

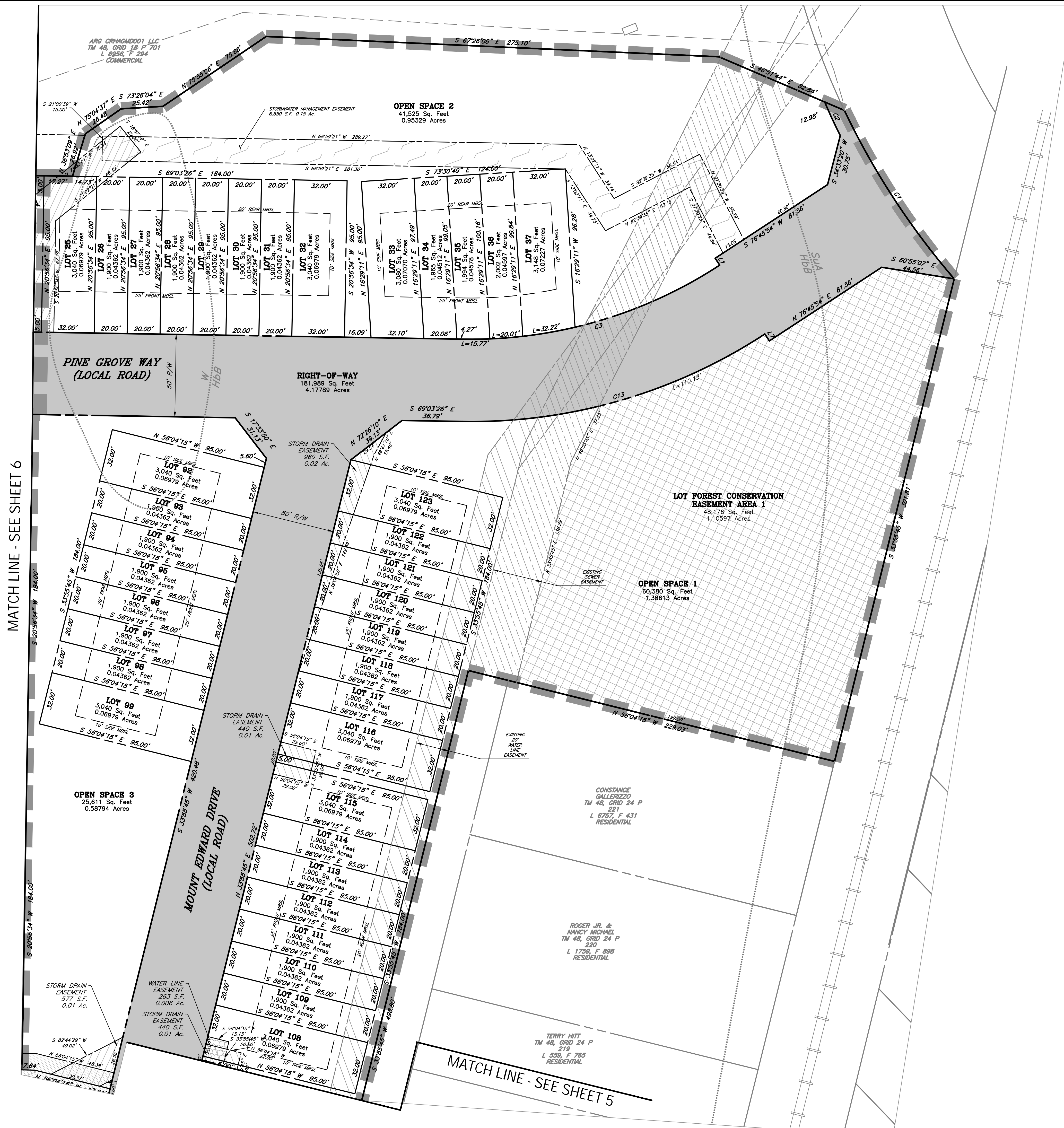
Fa..... FAIRPLAY (MARL) SILT LOAM / HYDRIC  
HdB..... HAGERSTOWN SILT LOAM 3-8% SLOPES  
HbB..... HAGERSTOWN SILTY CLAY LOAM 3-8% SLOPES VERY ROCKY  
HbC..... HAGERSTOWN SILTY CLAY 8-15% SLOPES VERY ROCKY  
SWA..... SWANPOND-FUNKSTOWN-URBAN LAND COMPLEX 0 TO 3 PERCENT SLOPES  
W..... WATER / HYDRIC









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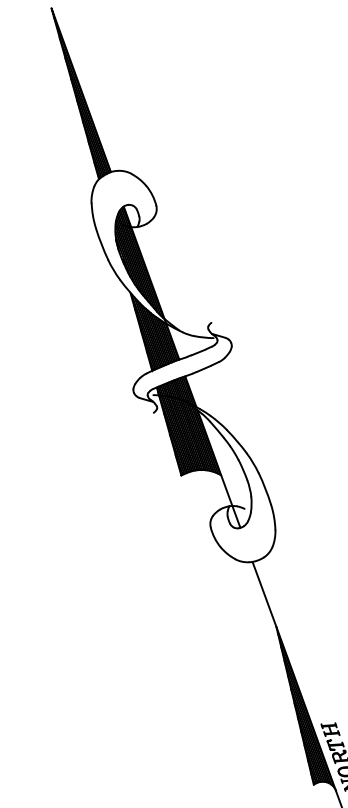


( IN FEET )  
1 inch = 60 ft.





- |   |  |
|---|--|
|  | PROPOSED PUBLIC STREET RIGHT-OF-WAY                            |
|  | PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT |
|  | PROPOSED FOREST CONSERVATION EASEMENT                          |
|  | PROPOSED SEWER EASEMENT  |
|  | PROPOSED WATER EASEMENT  |
|  | PROPOSED DRAINAGE EASEMENT                                     |
|  | EXISTING WATER EASEMENT  |
|  | EXISTING SEWER EASEMENT  |



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981 MT. AETNA ROAD  
HAGERSTOWN, MD. 21740  
PHONE: (301)733-8503  
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www.foxassocdeltainc.com  
E-mail: foxassoc@foxassocdeltainc.com

DRAWN BY

REVISION

DATE \_\_\_\_\_

*PRELIMINARY PLAT  
CROSSPOINT RESIDENTIAL  
TOWNES AT ROCKSPRING  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND*

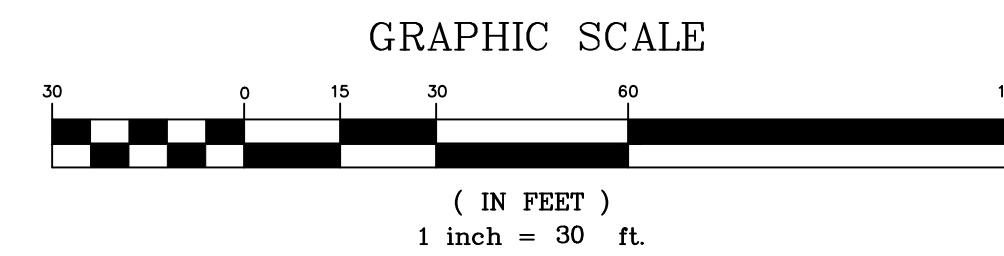
**SCALE: 1" = 30'**



I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.

PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
DRAWN BY: RLB  
CHECKED BY: GSP

SHEET 4 OF 41





**PRELIMINARY PLAT**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
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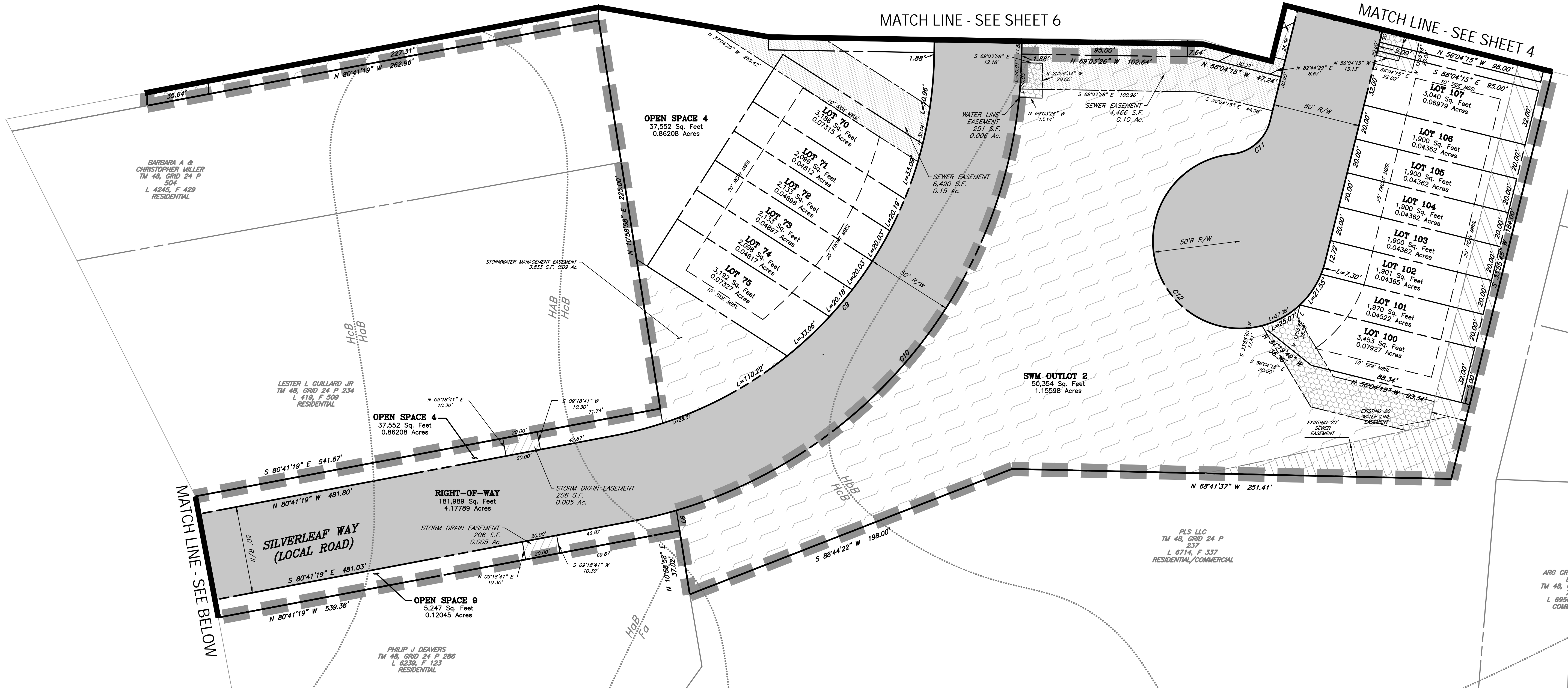
SCALE: 1" = 30'

STATE OF MARYLAND  
JUL 10, 2023  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.  
LICENSE NO.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
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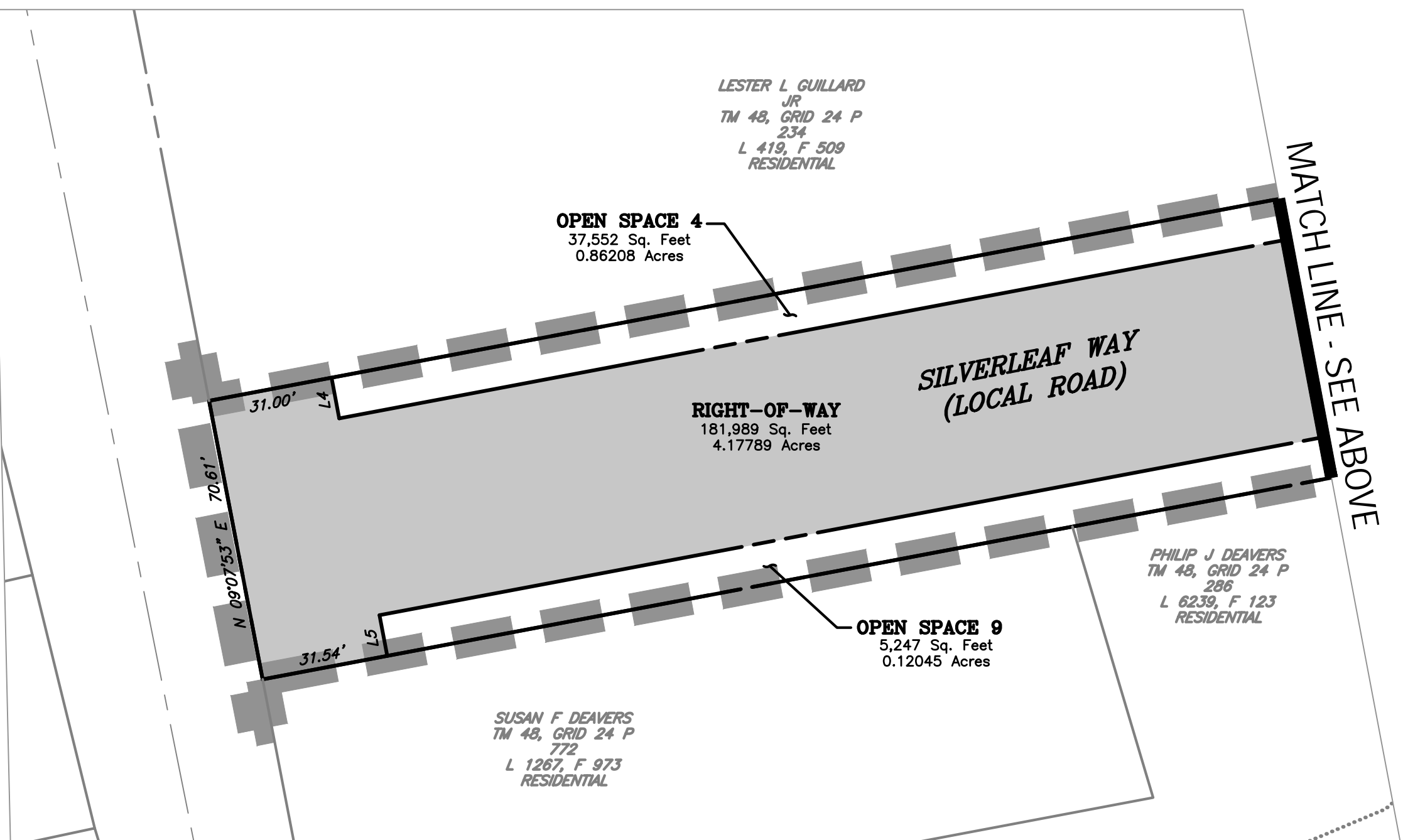
MATCH LINE - SEE SHEET 6

MATCH LINE - SEE SHEET 4

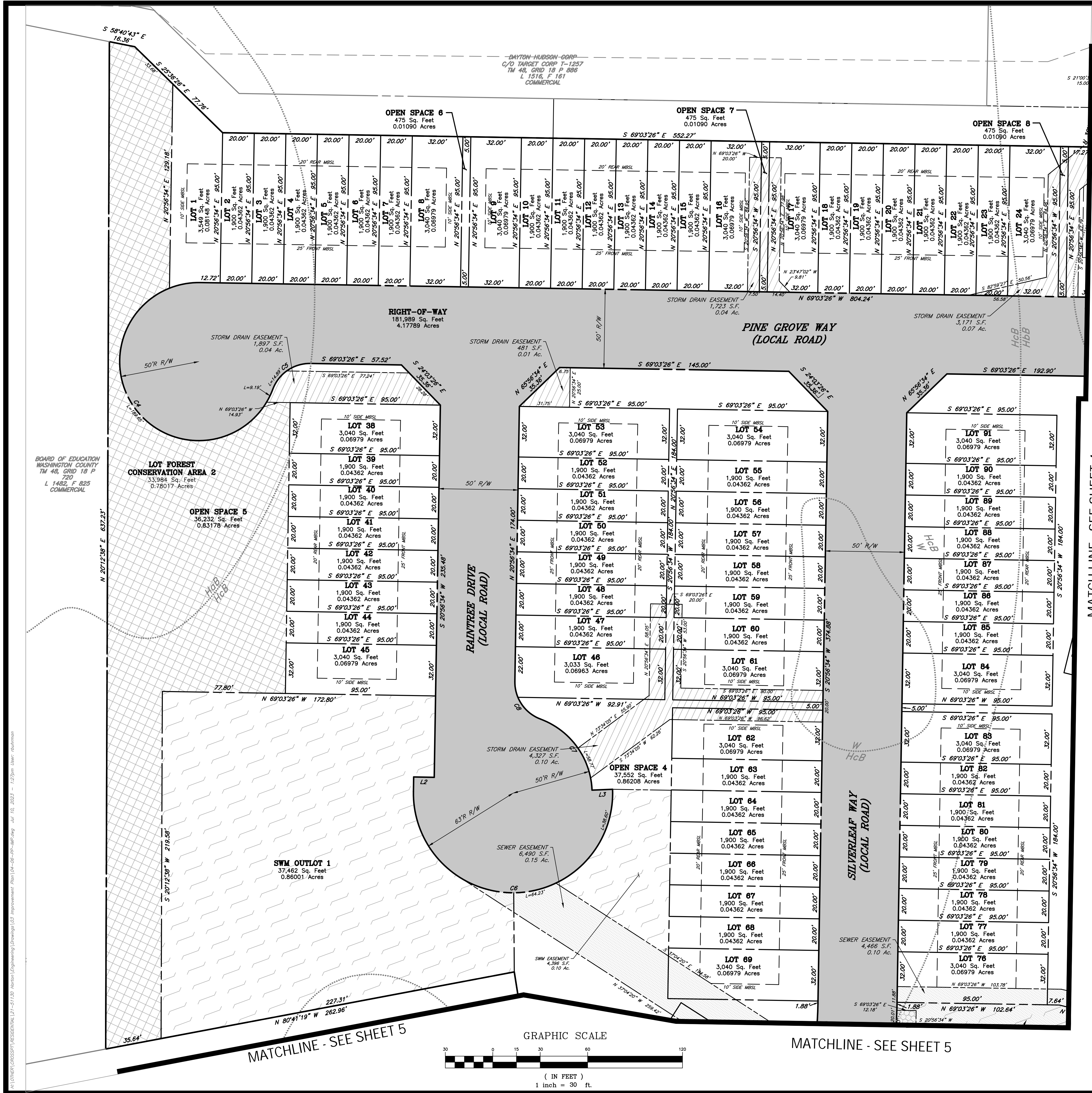


**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT
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**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
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- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING WATER EASEMENT
- EXISTING SEWER EASEMENT

**PROPERTY ADDRESSES**

LOT #	HOUSE #	STREET	LOT #	HOUSE #	STREET
LOT 1	17100	PINE GROVE WAY	LOT 80	11175	RAINTREE DRIVE
LOT 2	17102	PINE GROVE WAY	LOT 81	11177	RAINTREE DRIVE
LOT 3	17104	PINE GROVE WAY	LOT 82	11179	RAINTREE DRIVE
LOT 4	17106	PINE GROVE WAY	LOT 83	11181	RAINTREE DRIVE
LOT 5	17108	PINE GROVE WAY	LOT 84	11183	RAINTREE DRIVE
LOT 6	17110	PINE GROVE WAY	LOT 85	11185	RAINTREE DRIVE
LOT 7	17112	PINE GROVE WAY	LOT 86	11187	RAINTREE DRIVE
LOT 8	17114	PINE GROVE WAY	LOT 87	11189	RAINTREE DRIVE
LOT 9	17116	PINE GROVE WAY	LOT 88	11191	RAINTREE DRIVE
LOT 10	17118	PINE GROVE WAY	LOT 89	11193	RAINTREE DRIVE
LOT 11	17120	PINE GROVE WAY	LOT 90	11195	RAINTREE DRIVE
LOT 12	17122	PINE GROVE WAY	LOT 91	11197	RAINTREE DRIVE
LOT 13	17124	PINE GROVE WAY	LOT 92	*	MOUNT EDWARD DRIVE
LOT 14	17126	PINE GROVE WAY	LOT 93	11096	MOUNT EDWARD DRIVE
LOT 15	17128	PINE GROVE WAY	LOT 94	11098	MOUNT EDWARD DRIVE
LOT 16	17130	PINE GROVE WAY	LOT 95	11099	MOUNT EDWARD DRIVE
LOT 17	17132	PINE GROVE WAY	LOT 96	11099	MOUNT EDWARD DRIVE
LOT 18	17134	PINE GROVE WAY	LOT 97	11099	MOUNT EDWARD DRIVE
LOT 19	17136	PINE GROVE WAY	LOT 98	11099	MOUNT EDWARD DRIVE
LOT 20	17138	PINE GROVE WAY	LOT 99	11099	MOUNT EDWARD DRIVE
LOT 21	17140	PINE GROVE WAY	LOT 100	11099	MOUNT EDWARD DRIVE
LOT 22	17142	PINE GROVE WAY	LOT 101	11099	MOUNT EDWARD DRIVE
LOT 23	17144	PINE GROVE WAY	LOT 102	11099	MOUNT EDWARD DRIVE
LOT 24	17146	PINE GROVE WAY	LOT 103	11099	MOUNT EDWARD DRIVE
LOT 25	17148	PINE GROVE WAY	LOT 104	11099	MOUNT EDWARD DRIVE
LOT 26	17150	PINE GROVE WAY	LOT 105	11099	MOUNT EDWARD DRIVE
LOT 27	17152	PINE GROVE WAY	LOT 106	11099	MOUNT EDWARD DRIVE
LOT 28	17154	PINE GROVE WAY	LOT 107	11099	MOUNT EDWARD DRIVE
LOT 29	17156	PINE GROVE WAY	LOT 108	11099	MOUNT EDWARD DRIVE
LOT 30	17158	PINE GROVE WAY	LOT 109	11099	MOUNT EDWARD DRIVE
LOT 31	17160	PINE GROVE WAY	LOT 110	11099	MOUNT EDWARD DRIVE
LOT 32	17162	PINE GROVE WAY	LOT 111	11099	MOUNT EDWARD DRIVE
LOT 33	17164	PINE GROVE WAY	LOT 112	11099	MOUNT EDWARD DRIVE
LOT 34	17166	PINE GROVE WAY	LOT 113	11099	MOUNT EDWARD DRIVE
LOT 35	17168	PINE GROVE WAY	LOT 114	11099	MOUNT EDWARD DRIVE
LOT 36	17170	PINE GROVE WAY	LOT 115	11099	MOUNT EDWARD DRIVE
LOT 37	17172	PINE GROVE WAY	LOT 116	11099	MOUNT EDWARD DRIVE
LOT 38	17174	PINE GROVE WAY	LOT 117	11099	MOUNT EDWARD DRIVE
LOT 39	17176	PINE GROVE WAY	LOT 118	11099	MOUNT EDWARD DRIVE
LOT 40	17178	PINE GROVE WAY	LOT 119	11099	MOUNT EDWARD DRIVE
LOT 41	17180	PINE GROVE WAY	LOT 120	11099	MOUNT EDWARD DRIVE
LOT 42	17182	PINE GROVE WAY	LOT 121	11099	MOUNT EDWARD DRIVE
LOT 43	17184	PINE GROVE WAY	LOT 122	11099	MOUNT EDWARD DRIVE
LOT 44	17186	PINE GROVE WAY	LOT 123	*	MOUNT EDWARD DRIVE
LOT 45	17188	PINE GROVE WAY			
LOT 46	17190	PINE GROVE WAY			
LOT 47	17192	PINE GROVE WAY			
LOT 48	17194	PINE GROVE WAY			
LOT 49	17196	PINE GROVE WAY			
LOT 50	17198	PINE GROVE WAY			
LOT 51	17200	PINE GROVE WAY			
LOT 52	17202	PINE GROVE WAY			
LOT 53	17204	PINE GROVE WAY			
LOT 54	17206	PINE GROVE WAY			
LOT 55	17208	PINE GROVE WAY			
LOT 56	17210	PINE GROVE WAY			
LOT 57	17212	PINE GROVE WAY			
LOT 58	17214	PINE GROVE WAY			
LOT 59	17216	PINE GROVE WAY			
LOT 60	17218	PINE GROVE WAY			
LOT 61	17220	PINE GROVE WAY			
LOT 62	17222	PINE GROVE WAY			
LOT 63	17224	PINE GROVE WAY			
LOT 64	17226	PINE GROVE WAY			
LOT 65	17228	PINE GROVE WAY			
LOT 66	17230	PINE GROVE WAY			
LOT 67	17232	PINE GROVE WAY			
LOT 68	17234	PINE GROVE WAY			
LOT 69	17236	PINE GROVE WAY			
LOT 70	17238	PINE GROVE WAY			
LOT 71	17240	PINE GROVE WAY			
LOT 72	17242	PINE GROVE WAY			
LOT 73	17244	PINE GROVE WAY			
LOT 74	17246	PINE GROVE WAY			
LOT 75	17248	PINE GROVE WAY			
LOT 76	17250	PINE GROVE WAY			
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LOT 80	17258	PINE GROVE WAY			
LOT 81	17260	PINE GROVE WAY			
LOT 82	17262	PINE GROVE WAY			
LOT 83	17264	PINE GROVE WAY			
LOT 84	17266	PINE GROVE WAY			
LOT 85	17268	PINE GROVE WAY			
LOT 86	17270	PINE GROVE WAY			
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LOT 88	17274	PINE GROVE WAY			
LOT 89	17276	PINE GROVE WAY			
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LOT 101	17300	PINE GROVE WAY			
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LOT 104	17306	PINE GROVE WAY			
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LOT 106	17310	PINE GROVE WAY			
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LOT 108	17314	PINE GROVE WAY			
LOT 109	17316	PINE GROVE WAY			
LOT 110	17318	PINE GROVE WAY			
LOT 111	17320	PINE GROVE WAY			
LOT 112	17322	PINE GROVE WAY			
LOT 113	17324	PINE GROVE WAY			
LOT 114	17326	PINE GROVE WAY			
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LOT 117	17332	PINE GROVE WAY			
LOT 118	17334	PINE GROVE WAY			
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LOT 124	17346	PINE GROVE WAY			
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LOT 131	17360	PINE GROVE WAY			
LOT 132	17362	PINE GROVE WAY			
LOT 133	17364	PINE GROVE WAY			
LOT 134	17366	PINE GROVE WAY			
LOT 135	17368	PINE GROVE WAY			
LOT 136	17370	PINE GROVE WAY			
LOT 137	17372	PINE GROVE WAY			
LOT 138	17374	PINE GROVE WAY			
LOT 139	17376	PINE GROVE WAY			
LOT 140	17378	PINE GROVE WAY			
LOT 141	17380	PINE GROVE WAY			
LOT 142	17382	PINE GROVE WAY			
LOT 143	17384	PINE GROVE WAY			
LOT 144	17386	PINE GROVE WAY			
LOT 145	17388	PINE GROVE WAY			
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LOT 147	17392	PINE GROVE WAY			
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LOT 151	17400	PINE GROVE WAY			
LOT 152	17402	PINE GROVE WAY			
LOT 153	17404	PINE GROVE WAY			
LOT 154	17406	PINE GROVE WAY			
LOT 155	17408	PINE GROVE WAY			
LOT 156	17410	PINE GROVE WAY			
LOT 157	17412	PINE GROVE WAY			
LOT 158	17414	PINE GROVE WAY			
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LOT 161	17420	PINE GROVE WAY			
LOT 162	17422	PINE GROVE WAY			
LOT 163	17424	PINE GROVE WAY			
LOT 164	17426	PINE GROVE WAY			
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LOT 170	17438	PINE GROVE WAY			
LOT 171	17440	PINE GROVE WAY			
LOT 172	17442	PINE GROVE WAY			
LOT 173	17444	PINE GROVE WAY			
LOT 174	17446	PINE GROVE WAY			
LOT 175	17448	PINE GROVE WAY			
LOT 176	17450	PINE GROVE WAY			
LOT 177	17452	PINE GROVE WAY			
LOT 178	17454	PINE GROVE WAY			
LOT 179	17456	PINE GROVE WAY			
LOT 180	17458	PINE GROVE WAY			
LOT 181	17460	PINE GROVE WAY			
LOT 182	17462	PINE GROVE WAY			
LOT 183	17464	PINE GROVE WAY			
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LOT 185	17468	PINE GROVE WAY			
LOT 186	17470	PINE GROVE WAY			
LOT 187	17472	PINE GROVE WAY			
LOT 188	17474	PINE GROVE WAY			
LOT 189	17476	PINE GROVE WAY			
LOT 190	17478	PINE GROVE WAY			
LOT 191	17480	PINE GROVE WAY			
LOT 192	17482	PINE GROVE WAY			
LOT 193	17484	PINE GROVE WAY			
LOT 194	17486	PINE GROVE WAY			
LOT 195	17488	PINE GROVE WAY			
LOT 196	17490	PINE GROVE WAY			
LOT 197	17492	PINE GROVE WAY			
LOT 198	17494	PINE GROVE WAY			
LOT 199	17496	PINE GROVE WAY			
LOT 200	17498	PINE GROVE WAY			

**LINE BEARING DISTANCE**

LINE	BEARING	DISTANCE
L1	S 13°14'06" E	5.00'
L2	N 69°03'26" E	15.00'
L3	N 72°14'32" W	13.00'
L4	N 69°18'41" E	10.30'
L5	N 69°18'41" E	10.30'
L6	S 10°58'58" W	11.65'
L7	S 13°14'06" E	5.00'

**CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	122.47'	460.00'	52°12'13"	S 13°06'10" E	122.13'	61.60'
C2	22.50'	309.76'	4°08'43"	S 04°53'20" E	22.50'	11.26'
C3	164.04'	275.00'	34°10'40"	S 86°08'46" E	161.62'	84.54'
C4	218.63'	50.00'	280°31'44"	S 14°19'18" E	81.65'	70.71'
C5	30.77'	25.00'	70°31'44"	S 75°40'42" W	28.87'	17.68'
C6	258.42'	183.1700'	N 15°54'51" W	55.44'	226.18'	53.31'
C7	58.77'	50.00'	67°20'38"	N 15°54'51" W	55.44'	53.31'
C8	30.77'	25.00'	70°31'44"	S 14°19'18" E	28.87'	17.68'
C9	301.75'	225.00'	78°22'07"	N 60°07'38" E	284.32'	183.40'
C10	376.14'	275.00'	78°22'07"	N 60°07'38" E	347.50'	224.16'
C11	38.77'	25.00'	70°31'44"	N 69°11'33" E	28.87'	17.68'
C12	218.63'	50.00'	280°31'44"	S 25°48'23" E	81.65'	70.71'
C13	193.87'	325.00'	34°10'40"	S 86°08'46" E	191.01'	99.91'

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Est. 1966  
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82 WORMANS MILL COURT  
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FREDERICK, MD 21701  
PHONE: (301) 895-0880  
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**PRELIMINARY PLAT**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1" = 30'**

**ADDRESS NOTES**

- ADDRESSES ARE NOT FINAL UNTIL THE PLAT IS APPROVED.
- EACH ADDRESS IS BASED ON THE ENTRANCE LOCATION AS SHOWN ON THE PLAN. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION, THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER/DEVELOPER OF THE LOT MUST REAPPLY TO WASHINGTON COUNTY PLANNING AND ZONING DEPARTMENT FOR A NEW ADDRESS ASSIGNMENT.
- CORNER LOTS WILL BE ASSIGNED ADDRESSES AT TIME OF BUILDING PLAN APPROVAL.

**PROJECT NO. 22-51199**  
**DRAWING NO. D-9041**  
**DATE: AUGUST 2022**  
**DRAWN BY: RLB**  
**CHECKED BY: GSP**

**SHEET 6 OF 41**

N:\GIMMICK\CROSSPOINT RESIDENTIAL\22-51199\22-51199-06.dwg Plot Date: 8/10/2023 12:21pm User: rluettman



# **SITE DATA**

ZONING: RM & RS  
 TAX MAP: 48  
 PARCEL: 950  
 PARCEL AREA: 17.23 Ac.  
 MAX. BUILDING HEIGHT: 40 FT.  
 NUMBER OF PROPOSED TOWNHOME LOTS: 123  
 PROPOSED DENSITY: 7.14 UNITS/AC.  
 MINIMUM LOT SIZE: 20' x 95' = 1,900 S.F.  
 AVERAGE LOT SIZE: 2,217 S.F.  
 MINIMUM LOT SIZE PER SECTION 10.5 OF ZONING ORD.: 1,600 S.F.  
 MAXIMUM DENSITY PER SECTION 10.5 OF ZONING ORD.: 3,500 S.F./UNIT  
 DENSITY PROVIDED: (6.26 Ac. + 4.77 Ac.) x 43,560 SF/123 UNITS = 3,906 S.F./UNIT

**AREA TABULATION**  
 AREA OF LOTS: 6.26 Ac. = 36.3%  
 AREA OF R/W DEDICATION: 4.18 Ac. = 24.3%  
 AREA OF OPEN SPACE: 4.77 Ac. = 27.7%  
 AREA OF STORMWATER MANAGEMENT PARCELS: 2.02 Ac. = 11.7%  
 TOTAL: 17.23 Ac. = 100.0%

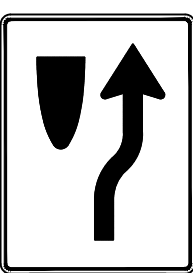
PLAY AREA REQ'D. (SECT. 4.17) 225 + 12(123-18) = 1,485 S.F.  
 PLAY AREA PROVIDED: 2  
 TOTAL PLAY AREA PROVIDED: 2 x 900 = 1,800 S.F.

PARKING REQUIRED: 123 x 2 = 246 SPACES  
 PARKING PROVIDED: DRIVEWAY 2/LOT = 246 SPACES  
 COMMON PARKING LOTS = 16 SPACES  
 ON-STREET PARKING = 67 SPACES  
 TOTAL = 329 SPACES = 2.67 SPACES/LOT

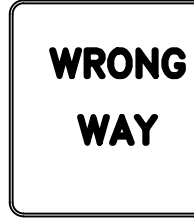
RV PARKING SPACES REQUIRED: 6  
 RV PARKING SPACES PROVIDED: 6

## **SIGN LEGEND**

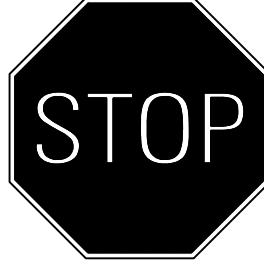
SEE SIGNPOST DETAIL SHEET 24A



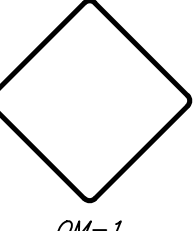
R4-7  
24' x 30'  
2 REQ'D.



W1  
36' x 24'  
1 REQ'D.

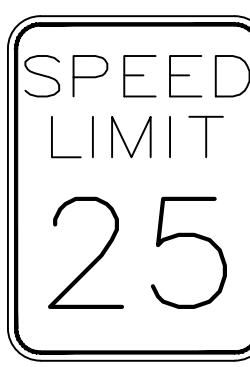


R1-1  
30' x 30'  
9 REQ'D.



OM-1  
18' x 18' (YELLOW)  
2 REQ'D.

STREET NAME HERE



R2-1  
24' x 30'  
5 REQ'D.



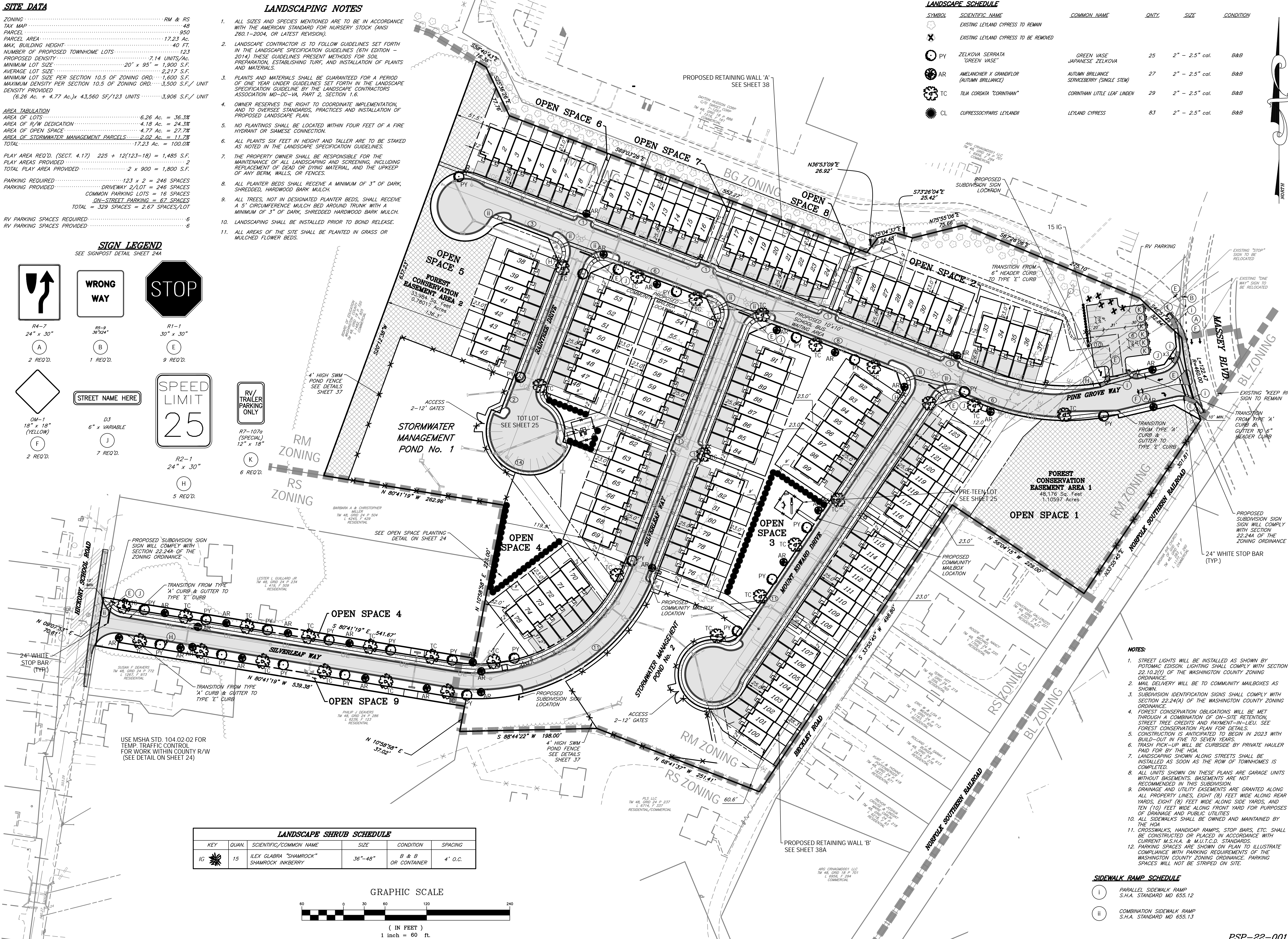
R7-107b (SPECIAL)  
12' x 18'  
6 REQ'D.

## **LANDSCAPING NOTES**

- ALL SIZES AND SPECIES MENTIONED ARE TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004, OR LATEST REVISION).
- LANDSCAPE CONTRACTOR IS TO FOLLOW GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINES (6TH EDITION - 2014) THESE GUIDELINES PRESENT METHODS FOR SOIL PREPARATION, ESTABLISHING TURF, AND INSTALLATION OF PLANTS AND MATERIALS.
- PLANTS AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR UNDER GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINE BY THE LANDSCAPE CONTRACTORS ASSOCIATION MO-02-14, PART 2, SECTION 1.6.
- OWNER RESERVES THE RIGHT TO COORDINATE IMPLEMENTATION, AND TO OVERSEE STANDARDS, PRACTICES AND INSTALLATION OF PROPOSED LANDSCAPE PLAN.
- NO PLANTINGS SHALL BE LOCATED WITHIN FOUR FEET OF A FIRE HYDRANT OR SIAMEN CONNECTION.
- ALL PLANTS SIX FEET IN HEIGHT AND TALLER ARE TO BE STAKED AS NOTED IN THE LANDSCAPE SPECIFICATION GUIDELINES.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND SCREENING, INCLUDING REPLACEMENT OF DEAD OR DYING MATERIAL, AND THE UKEEP OF ANY BERM, WALLS, OR FENCES.
- ALL PLANTER BEDS SHALL RECEIVE A MINIMUM OF 3" OF DARK, SHREDDED, HARDWOOD BARK MULCH.
- ALL TREES, NOT IN DESIGNATED PLANTER BEDS, SHALL RECEIVE A 5" CIRCUMFERENCE MULCH BED AROUND TRUNK WITH A MINIMUM OF 3" OF DARK, SHREDDED HARDWOOD BARK MULCH.
- LANDSCAPING SHALL BE INSTALLED PRIOR TO BOND RELEASE.
- ALL AREAS OF THE SITE SHALL BE PLANTED IN GRASS OR MULCHED FLOWER BEDS.

## **LANDSCAPE SCHEDULE**

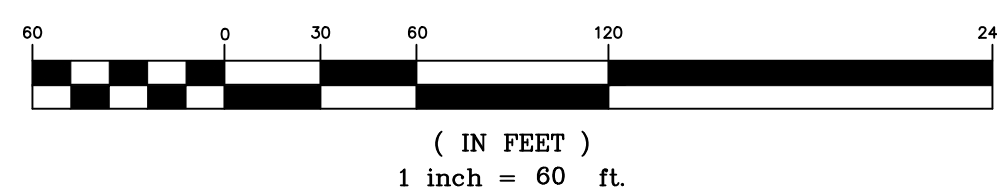
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QNTY	SIZE	CONDITION
☆	EXISTING LEYLAND CYPRESS TO REMAIN				
✕	EXISTING LEYLAND CYPRESS TO BE REMOVED				
PY	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	25	2" - 2.5" cal.	B&B
AR	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM)	27	2" - 2.5" cal.	B&B
TC	TILIA CORDATA 'CORINTHIAN'	CORINTHIAN LITTLE LEAF LINDEN	29	2" - 2.5" cal.	B&B
CL	CUPRESSODIOPSIS LEYLANDII	LEYLAND CYPRESS	83	2" - 2.5" cal.	B&B



## **LANDSCAPE SHRUB SCHEDULE**

KEY	QUAN.	SCIENTIFIC/COMMON NAME	SIZE	CONDITION	SPACING
IG	15	ILEX GLABRA "SHAMROCK" SHAMROCK INKBERRY	36"-48"	B & B OR CONTAINER	4' O.C.

## **GRAPHIC SCALE**



## **NOTES:**

- STREET LIGHTS WILL BE INSTALLED AS SHOWN BY POTOMAC EDISON. LIGHTING SHALL COMPLY WITH SECTION 22.24(A) OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- MAIL DELIVERY WILL BE TO COMMUNITY MAILBOXES AS SHOWN.
- SUBDIVISION IDENTIFICATION SIGNS SHALL COMPLY WITH SECTION 22.24(A) OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- FOREST CONSERVATION OBLIGATIONS WILL BE MET THROUGH A COMBINATION OF ON-SITE RETENTION, STREET TREE CREDITS AND PAYMENT-IN-LIEU. SEE FOREST CONSERVATION PLAN FOR DETAILS.
- CONSTRUCTION IS ANTICIPATED TO BEGIN IN 2023 WITH BUILD-OUT IN FIVE TO SEVEN YEARS.
- TRASH PICK-UP WILL BE CURBSIDE BY PRIVATE HAULER PAID FOR BY THE HOA.
- LANDSCAPING SHOWN ALONG STREETS SHALL BE INSTALLED AS SOON AS THE ROW OF TOWNHOMES IS COMPLETED.
- ALL UNITS SHOWN ON THESE PLANS ARE GARAGE UNITS WITHOUT BASEMENTS. BASEMENTS ARE NOT RECOMMENDED IN THIS SUBDIVISION.
- DRAINAGE AND UTILITY EASEMENTS ARE GRANTED ALONG ALL PROPERTY LINES, EIGHT (8) FEET WIDE ALONG REAR YARDS, EIGHT (8) FEET WIDE ALONG SIDE YARDS, AND TEN (10) FEET WIDE ALONG FRONT YARD FOR PURPOSES OF DRAINAGE AND PUBLIC UTILITIES.
- ALL SIDEWALKS SHALL BE OWNED AND MAINTAINED BY THE HOA.
- CROSSWALKS, HANDICAP RAMPS, STOP BARS, ETC. SHALL BE CONSTRUCTED OR PLACED IN ACCORDANCE WITH CURRENT M.S.H.A. & M.U.T.C.D. STANDARDS.
- PARKING SPACES ARE SHOWN ON PLAN TO ILLUSTRATE COMPLIANCE WITH PARKING REQUIREMENTS OF THE WASHINGTON COUNTY ZONING ORDINANCE. PARKING SPACES WILL NOT BE STRIPED ON SITE.

## **SIDEWALK RAMP SCHEDULE**

- PARALLEL SIDEWALK RAMP  
S.H.A. STANDARD MD 655.12
- COMBINATION SIDEWALK RAMP  
S.H.A. STANDARD MD 655.13

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 Est. 1966

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82 WORMANS MILL COURT  
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 FREDERICK, MD. 21701  
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 or (301) 16-7250  
 FAX: (301) 293-6009  
 Email: foxassoc@foxassocinc.com  
 www.foxassocinc.com

DRAWN BY

REVISION

DATE

**SITE, LANDSCAPE, SIGNAGE, & STRIPING PLAN**

**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**

SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
 & WEST SIDE OF MASSEY BLVD.  
 ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1"=60'**




I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE No.: 27053 EXP. DATE: 7/25/24

PROJECT NO. 22-51199  
 DRAWING NO. D-9041  
 DATE: AUGUST 2022  
 DRAWN BY: RLB  
 CHECKED BY: GSP

**SHEET 7 OF 41**

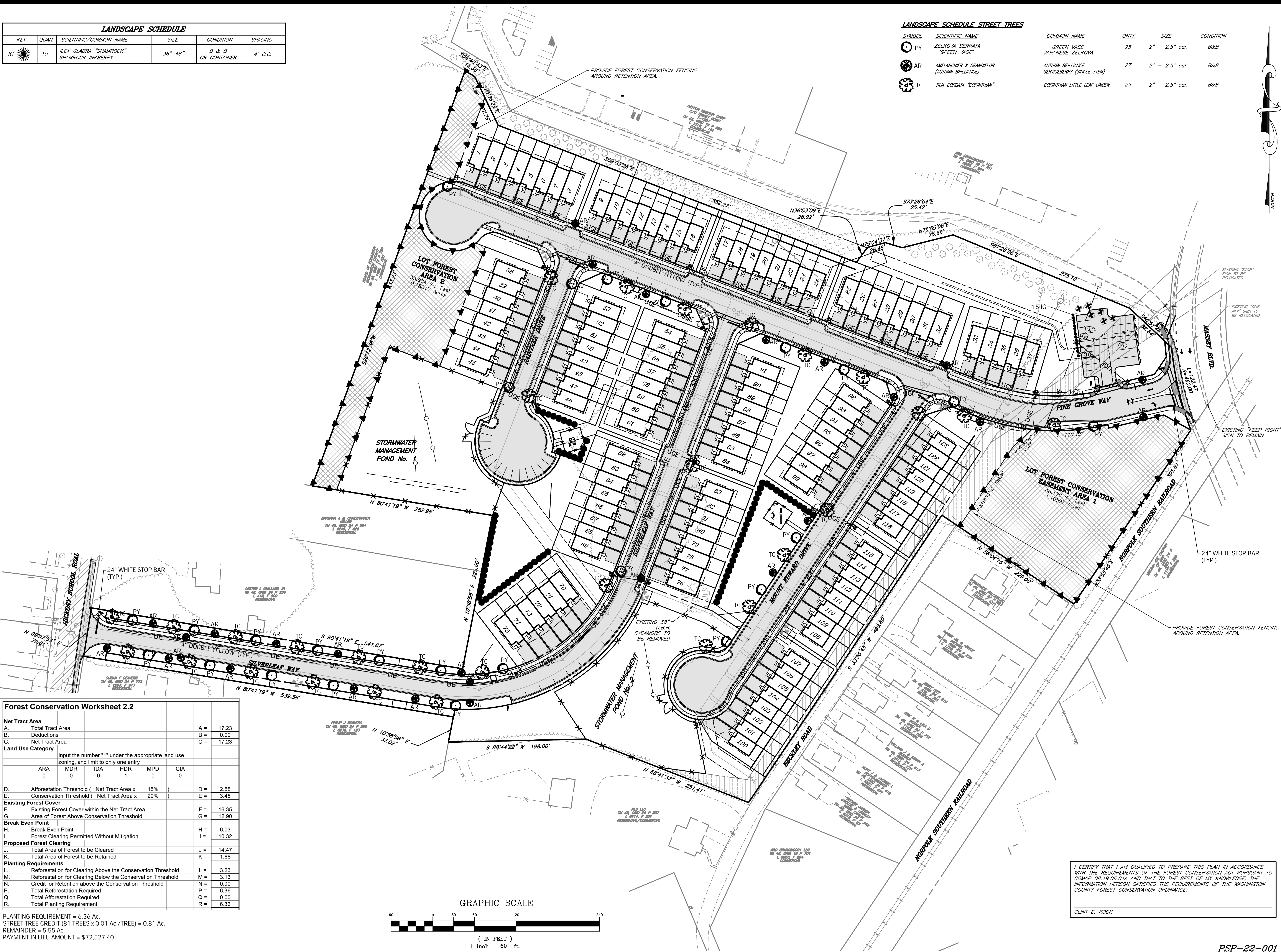
PSP-22-001



LANDSCAPE SCHEDULE					
KEY	QUAN.	SCIENTIFIC/Common NAME	SIZE	CONDITION	SPACING
IG 	15	ILEX GLABRA "SHAMROCK" SHAMROCK INKBERY	36"-48"	B & B OR CONTAINER	4' O.C.

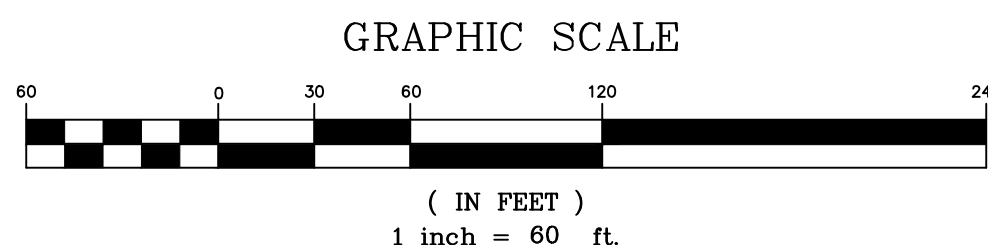
# LANDSCAPE SCHEDULE STREET TREES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QNTY.	SIZE	CONDITION
 PY	ZELKOVA SERRATA "GREEN VASE"	GREEN VASE JAPANESE ZELKOVA	25	2" - 2.5" col.	B&B
 AR	AMELANCHIER X GRANDIFLOR (AUTUMN BRILLIANCE)	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM)	27	2" - 2.5" col.	B&B
 TC	TILIA CORDATA "CORINTHAN"	CORINTHAN LITTLE LEAF LINDEN	29	2" - 2.5" col.	B&B




Forest Conservation Worksheet 2.2					
<b>Net Tract Area</b>					
A.	Total Tract Area			A =	17.23
B.	Deductions			B =	0.00
C.	Net Tract Area			C =	17.23
<b>Land Use Category</b>					
Input the number "1" under the appropriate land use zoning, and limit to only one entry					
	ARA	IDA	HDR	MPD	CIA
	0	0	1	0	0
D.	Afforestation Threshold ( Net Tract Area x 15% )			D =	2.58
E.	Conservation Threshold ( Net Tract Area x 20% )			E =	3.45
<b>Existing Forest Cover</b>					
F.	Existing Forest Cover within the Net Tract Area			F =	16.35
G.	Area of Forest Above Conservation Threshold			G =	12.90
<b>Break Even Point</b>					
H.	Break Even Point			H =	6.03
I.	Forest Clearing Permitted Without Mitigation			I =	10.32
<b>Proposed Forest Clearing</b>					
J.	Total Area of Forest to be Cleared			J =	14.47
K.	Total Area of Forest to be Retained			K =	1.88
<b>Planting Requirements</b>					
L.	Reforestation for Clearing Above the Conservation Threshold			L =	3.23
M.	Reforestation for Clearing Below the Conservation Threshold			M =	3.13
N.	Credit for Retention above the Conservation Threshold			N =	0.00
P.	Total Reforestation Required			P =	6.36
Q.	Total Afforestation Required			Q =	0.00
R.	Total Planting Requirement			R =	6.36

PLANTING REQUIREMENT = 6.36 Ac.  
STREET TREE CREDIT (81 TREES x 0.01 Ac./TREE) = 0.81 Ac.  
REMAINDER = 5.55 Ac.  
PAYMENT IN LIEU AMOUNT = \$72,527.40



I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

CLINT E. ROCK



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or (301) 116-7250  
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Email: foxassoc@foxassocinc.com  
www.foxassocinc.com

DATE	REVISION	DRAWN BY

**FOREST CONSERVATION & LANDSCAPE PLAN**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1"=60'**



Jul 10, 2023

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/24

**PROJECT NO. 22-51199**  
**DRAWING NO. D-9041**  
**DATE: AUGUST 2022**  
**DRAWN BY: RLB**  
**CHECKED BY: GSP**

**SHEET 39 OF 41**





DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

# MEMORANDUM

---

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: August 7, 2023

RE: Specimen Tree Variance Request for 12001 Hopewell Road Warehouse (SP-22-028)

---

Attached you will find supporting documentation for a request to remove 13 specimen trees as part of the development of the site located at the above address. Enclosed for your review are two documents in support of the applicant's request. These include the forest conservation plan, which shows the specimen trees to be affected by site development and the location of the forest easement. A justification letter from Qualified Professional Michael Bacon also elaborates on the reasoning for this request.

The removal of specimen trees requires the approval of a variance under Article 15 of the Forest Conservation Ordinance. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Comprehensive Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)





**ECS MID-ATLANTIC, LLC**

*"Setting the Standard for Service"*

Geotechnical • Construction Materials • Environmental • Facilities

June 15, 2023

To: Washington County Planning Commission

CC: Travis Allen

ECS Project No. 47:12827-A

Reference: Specimen Tree Removal Variance, 12001 Hopewell Road, Washington County, Maryland

Mr. Allen:

The subject site is located at 12001 Hopewell Road in Hagerstown, Washington County, Maryland. The site consists of one parcel identified as Parcel Identification Number (PIN) 24-001741 totaling 46.93 acres. Of the 46.93 acres on the subject property, 24.06 acres are proposed for clearing and include 13 specimen trees.

The subject property is zoned Industrial, General District. Of the 13 specimen trees to be removed, 12 are identified as Osage Orange (*Maclura pomifera*) trees, which is considered an invasive species. The trees are also aligned in a straight line which appears to be a planted property boundary; and therefore, does not convey environmental significance. Without the removal of these trees the project could not occur due to their location and space limitations. It is not anticipated that water quality will be impacted due to the adherence to all applicable erosion and sediment control plans. On behalf of the property owner, I request a variance for the removal of 13 specimen trees due to the need to remove invasive species and the other hardships listed above. If you have any questions or need additional information, please contact us at the below email addresses.

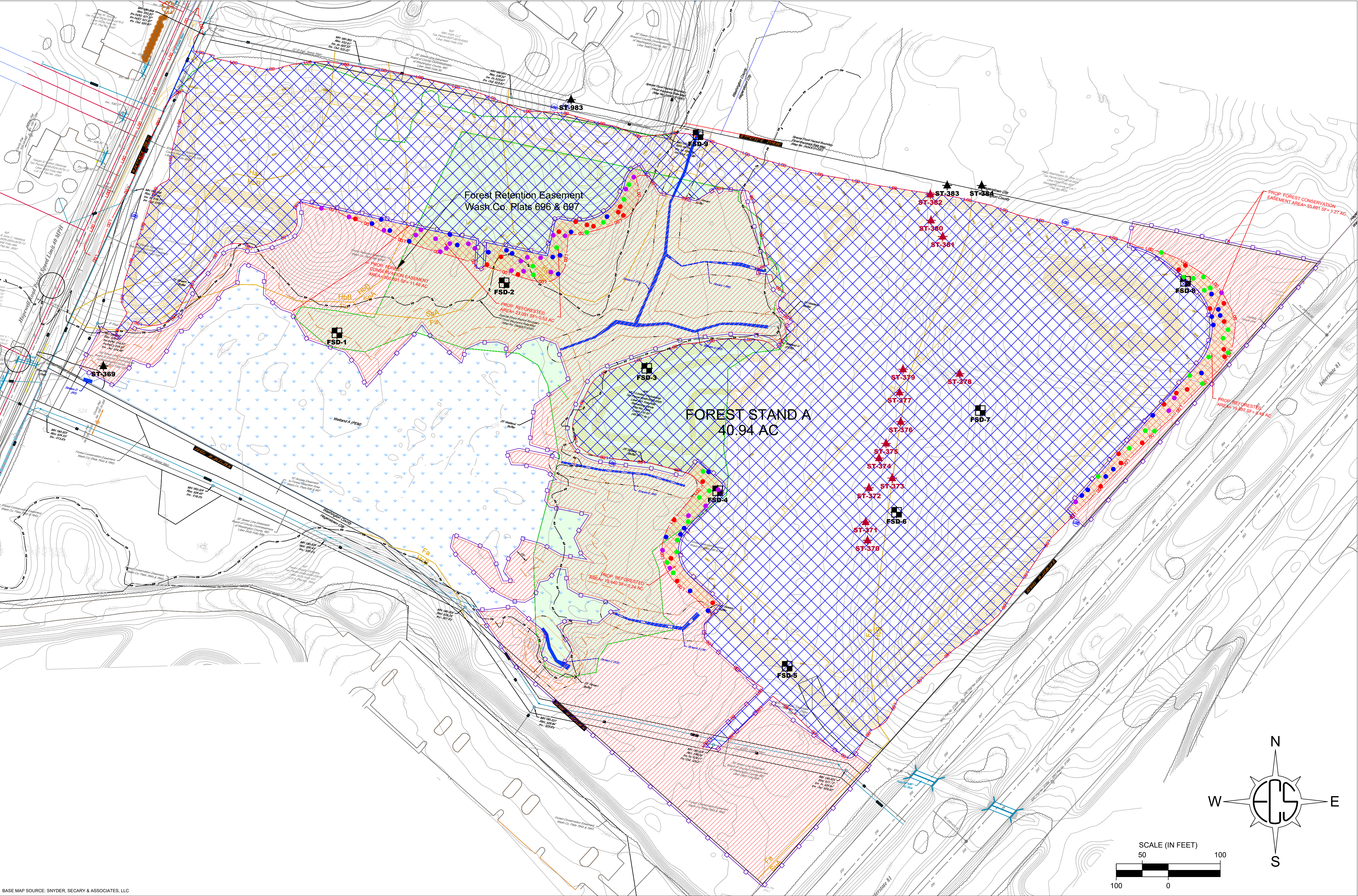
Respectfully submitted,

**ECS MID-ATLANTIC, LLC**

Emily Grimes  
Assistant Staff Project Manager  
[EGrimes@ecslimited.com](mailto:EGrimes@ecslimited.com)

Michael Bacon, QP  
Environmental Project Manager  
[MBacon@ecslimited.com](mailto:MBacon@ecslimited.com)





BASE MAP SOURCE: SNYDER, SECARY & ASSOCIATES, LLC

Soil Summary				
Map Unit Symbol	Map Unit Name	Hydric Criteria	Natural Drainage Class	K-Value
Fa	Fairplay silt loam, 0 to 3 percent slopes	Yes	Very poorly drained	0.37
HsA	Hagerstown silt loam, 0 to 3 percent slopes	No	Well drained	0.37
HsB	Hagerstown silt loam, 3 to 8 percent slopes	No	Well drained	0.37
HsC	Hagerstown Rock outcrop complex, 3 to 8 percent slopes	No	Well drained	0.37
HsD	Hagerstown Buffed urban land complex, 0 to 8 percent slopes	No	Well drained	0.37
SpA	Swampy silt loam, 0 to 3 percent slopes	No	Moderately well drained	0.49
SuA	Swampy funktown urban land complex, 0 to 3 percent slopes	No	Moderately well drained	0.49

This Afforestation Plan has been prepared in accordance with all State and local ordinances which were in effect as of the date shown below. The undersigned is a qualified professional in accordance with COMAR 08.19.06.01.

  
Michael Bacon

#### FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- All temporary protection devices and/or permanent devices shall be put into place.
  - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
  - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
  - All temporary fencing shall be in place prior to any grading or land clearing.
  - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
  - Attachment of signs or any other objects to trees is prohibited.
  - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.


















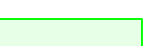





#### PLANTING AND MAINTENANCE NOTES

- Owner is to complete all planting work and preparation using his/her own resources and equipment or qualified contractor.
- Plant material is to be purchased by the owner from a nursery within one hundred miles of the site. A list of two potential nursery sources is:
  - The Dutch Plant Farm  
151 Baughman's Lane  
Frederick, MD 21702
  - Stadler Nurseries  
5504 Mt. Zion Road  
Frederick, MD 21703
- The cost estimate for bonding purposes is \$16,001.40. This is based on 1.22 AC (53,338 SF) of planting at the rate of \$0.30 per square foot.
- The plantings shown herein will be planted by Spring 2024. If the areas to be planted with trees are overgrown with weeds or tall grasses and invasive plants, this area will need to be bush hogged and/or an herbicide shall be applied two weeks prior to planting. No clearing or mowing is allowed in wetland areas.
- The trees are to be protected with "Tubex" tree shelters or approved equal when planted. Tree shelters are to be placed on every other tree. Note that a tree shelter will necessitate more frequent watering.
- Owner is to water trees and to prevent the spread of invasive plants throughout the forest planting area for the three year maintenance period. Recommended type of watering is with a soaker hose.
- It is the owner's or developer's responsibility to notify the Washington County Planning and Zoning Department when the planting has been completed. The Department will make an inspection and issue a report to the owner or developer. The three year maintenance period will begin when the Department determines that the planting has been completed in accordance with the Forest Conservation Ordinance requirements.
- The owner or developer shall make an effort to maintain a 65% survival of the original planting at all times. The owner or developer can replant in order to maintain the 65% survival rate during the three year period with advance notice to the Washington County Planning and Zoning department. If the final inspection determines there is less than 65% survival, it will be the owner's or developer's responsibility to correct the deficiencies and possibly provide an additional maintained period.

#### SITE-SPECIFIC NOTES

- Property boundaries depicted were provided by Snyder, Secary & Associates, LLC.
- Forest stand delineation field work was conducted by ECS on August 16, 2021. Forest stand data points and specimen tree locations were located using a sub-meter accuracy GPS unit.
- Water features were observed by ECS on December 19, 2019 and located using a sub-meter accuracy GPS unit. Environmental features were verified by Matt Radcliffe at the MDE on December 7, 2021.
- According to MERLIN, historic buildings identified as part of "Hager's long hickory" (site number WA-I-351) were once located onsite based on a survey performed in 1977. These buildings do not appear to be included in the registry of historic places. Additionally, these buildings were not observed during the field investigation. No additional historic or cultural resources are identified onsite (source: MERLIN and MEDUSA).
- No steep slopes (>25%) are present onsite. All soils onsite have k-values >0.35.
- According to USFWS and MD DNR, no critical habitat or threatened and endangered species are located onsite.
- An existing easement is located on site totaling 9.95 AC. An additional 1.59 AC will be added to the forest conservation from existing forest and an additional 1.22 AC will be planted on site for a total of 12.76 AC of conservation on site.
- A 100-year flood plain is present on site totaling 8.79 ac.
- The total 8.79 AC of the flood plain is forested. 6.8 AC of forest will be removed from the flood plain and has been subtracted from the FCP total.
- The previous easement is being relocated on site, the previous easement extended through the property in the north central portion through the property to the south-southwest in the north central portion of the site and contained portions of the existing flood plain and the wetland buffer area. The new easement follows the contours of the LOD and the wetland buffer area. Both easements total 12.76 AC.

#### LEGEND

-  **ST-#** SPECIMEN TREES TO BE REMOVED
-  **ST-#** SPECIMEN TREE
-  **FSD-#** FOREST STAND DATA POINT
-  STUDY AREA (46.93 AC)
-  FOREST TO BE REMOVED (24.06 AC)
-  **BcA** SOIL UNITS
-  PALUSTRINE EMERGENT (PEM) WETLAND (6.88 AC)
-  ELEVATION CONTOURS (EXISTING)
-  ELEVATION CONTOURS (PROPOSED)
-  PRELIMINARY STREAM BUFFER (VARIABLE WIDTH)
-  PRELIMINARY 25-FOOT WETLAND BUFFER
-  LIMITS OF DISTURBANCE (24.6 AC)
-  PERENNIAL STREAM CHANNEL (R3)
-  EPHEMERAL STREAM CHANNEL (R6)
-  100-YEAR FLOODPLAIN (8.79 AC)
-  NEW FOREST CONSERVATION EASEMENT - EXISTING FOREST (11.54 OF 12.76 AC)
-  NEW FOREST CONSERVATION EASEMENT - TO BE REFORESTED (1.22 OF 12.76 AC)
-  PREVIOUS FOREST CONSERVATION EASEMENT (9.95 AC)
-  TEMPORARY FENCE WITH PERMANENT FOREST CONSERVATION AREA SIGNAGE EVERY 50'
-  RED MAPLE (*Acer rubrum*)
-  EASTERN BLACK WALNUT (*Juglans nigra*)
-  COMMON HACKBERRY (*Celtis occidentalis*)
-  WASHINGTON HAWTHORN (*Crataegus phaenopyrum*)

Deciduous Species				
Scientific Name	Common Name	Planting Stock Type	Size	Total Number Planted
<i>Acer rubrum</i>	Red maple	Container	1.5'-2'	30
<i>Juglans nigra</i>	Eastern black walnut	Container	1.5'-2'	30
<i>Celtis occidentalis</i>	Common hackberry	Container	1.5'-2'	31
<i>Crataegus phaenopyrum</i>	Washington hawthorn	Container	1.5'-2'	31
Alternate Species				
Evergreen Species				
Scientific Name	Common Name	Planting Stock Type	Size	
<i>Ilex opaca</i>	American holly	Container	1.5'-2'	24
Deciduous Species				
<i>Cornus florida</i>	Flowering dogwood	Container	1.5'-2'	24
<i>Quercus alba</i>	White oak	Container	1.5'-2'	24
<i>Populus deltoides</i>	Eastern cottonwood	Container	1.5'-2'	24
<i>Nyssa sylvatica</i>	Black gum	Container	1.5'-2'	25

#### PLANTING QUANTITY CALCULATION

1.22-ac x 100 containers/ac = 122 poles

#### Forest Conservation Worksheet 2.2

Net Tract Area					
A.	Total Tract Area			A =	46.93
B.	Deductions			B =	8.79
C.	Net Tract Area			C =	38.14
Land Use Category					
	Input the number "1" under the appropriate land use zoning, and limit to only one entry				
	ARA	MDR	IDA	HDR	MPD
	0	0	0	0	1
D.	Afforestation Threshold ( Net Tract Area x 15% )			D =	5.72
E.	Conservation Threshold ( Net Tract Area x 15% )			E =	5.72
Existing Forest Cover					
F.	Existing Forest Cover within the Net Tract Area			F =	32.15
G.	Area of Forest Above Conservation Threshold			G =	26.43
Break Even Point					
H.	Break Even Point			H =	11.01
I.	Forest Clearing Permitted Without Mitigation			I =	21.14
Proposed Forest Clearing					
J.	Total Area of Forest to be Cleared			J =	17.26
K.	Total Area of Forest to be Retained			K =	12.76
Planting Requirements					
L.	Reforestation for Clearing Above the Conservation Threshold			L =	0.00
M.	Reforestation for Clearing Below the Conservation Threshold			M =	0.00
N.	Credit for Retention above the Conservation Threshold			N =	0.00
P.	Total Reforestation Required			P =	0.00
Q.	Total Afforestation Required			Q =	0.00
R.	Total Planting Requirement			R =	0.00







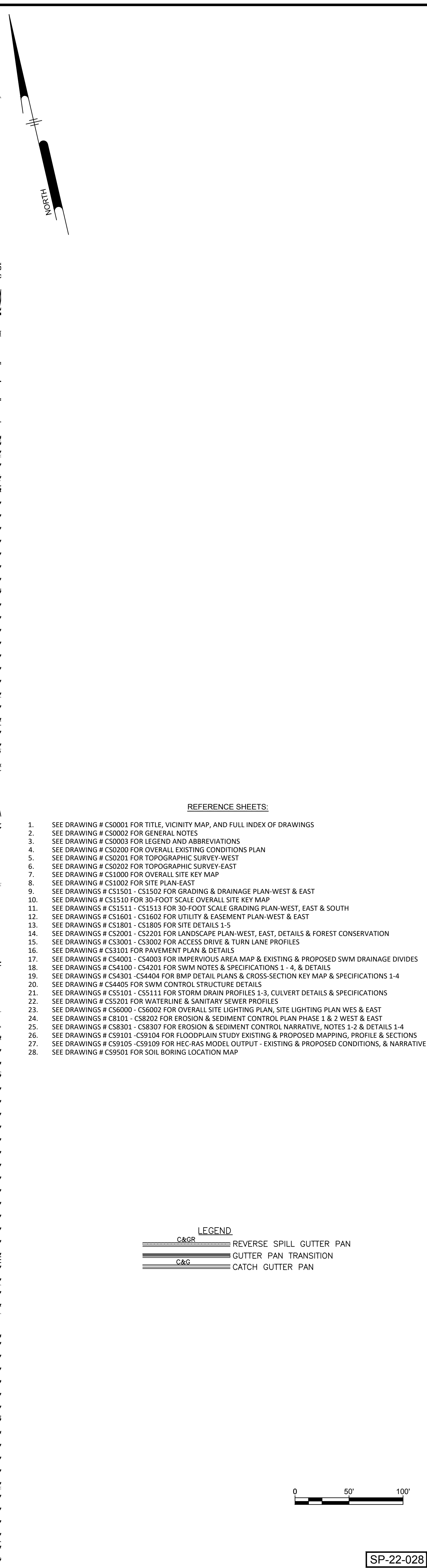


OVERALL UTILITY &amp; EASEMENT PLAN GENERAL NOTES

**CS1000**  
SHEET 7 OF 74

The seal of the Professional Engineer for the State of Maryland. It features a circular design with "STATE OF MARYLAND" at the top and "PROFESSIONAL ENGINEER" at the bottom. In the center is the coat of arms of Maryland, flanked by two figures. Below the coat of arms is the year "1918". The words "REGISTERED" and "PAID DUES" are also visible within the seal's border. A date stamp "6/9/2023" is printed below the seal.

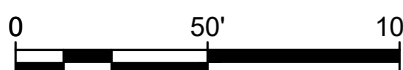




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PROJECT. THEY ARE NOT INTENDED OR REPRESENTED  
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON ANY OTHER  
PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION  
OF PENNONS ASSOCIATES OR PENNONS ASSOCIATES FOR THE  
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS  
SOLE RISK AND WITHOUT LIABILITY TO PENNONS ASSOCIATES  
OR PENNONS ASSOCIATES. PENNONS ASSOCIATES AND OWNER  
SHALL JOINTLY AND SEVERALLY HOLD HARMLESS EACH OTHER  
ASSOCIATED FROM ALL CLAIMS, DAMAGES, LOSSES AND  
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	INDBG22001
DATE	2022-10-18
DRAWING SCALE	1"=50'
DRAWN BY	NB/MR
APPROVED BY	PN/MR
CS	
SHEET	8 OF 74





COPIES MUST BE VERIFIED BY CO-OWNER MUST BE NOTIFIED OF # & DATES BEFORE PROCEEDING WITH PROJECT



12001 HOPEWELL ROAD SITE PLAN  
12001 HOPEWELL ROAD  
WASHINGTON COUNTY, MARYLAND  
SITE LAYOUT PLAN - EAST  
INDUSTRIAL BUILDING GROUP, LLC

[illegible]

ALL DOCUMENTS PREPARED BY PENNONT ASSOCIATES AND INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT, THEY ARE NOT NOTED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONT ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONT ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONT ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING ALTHOUGH OR RESULTING THEREFROM.

PROJECT	INDBG22001
DATE	2022-10-18
DRAWING SCALE	1"=50'
DRAWN BY	NB/MR
APPROVED BY	PN/MR

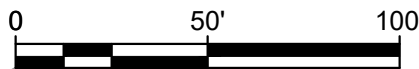
**CS1002**  
SHEET 9 OF 74

SP-22-028









INDUSTRIAL BUILDING GROUP, LLC



6/9/2023

**Pennoni**

**PENNONI ASSOCIATES INC.**  
1602 Village Market Blvd, SE  
Suite 330  
Leesburg, VA 20175  
T 703.449.6700 F 703.449.6713

[illegible]

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES AND INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT, THEY ARE NOT INTENDED OR REPRESENT TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS' SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	INDBG22001
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DATE	2022-10-18
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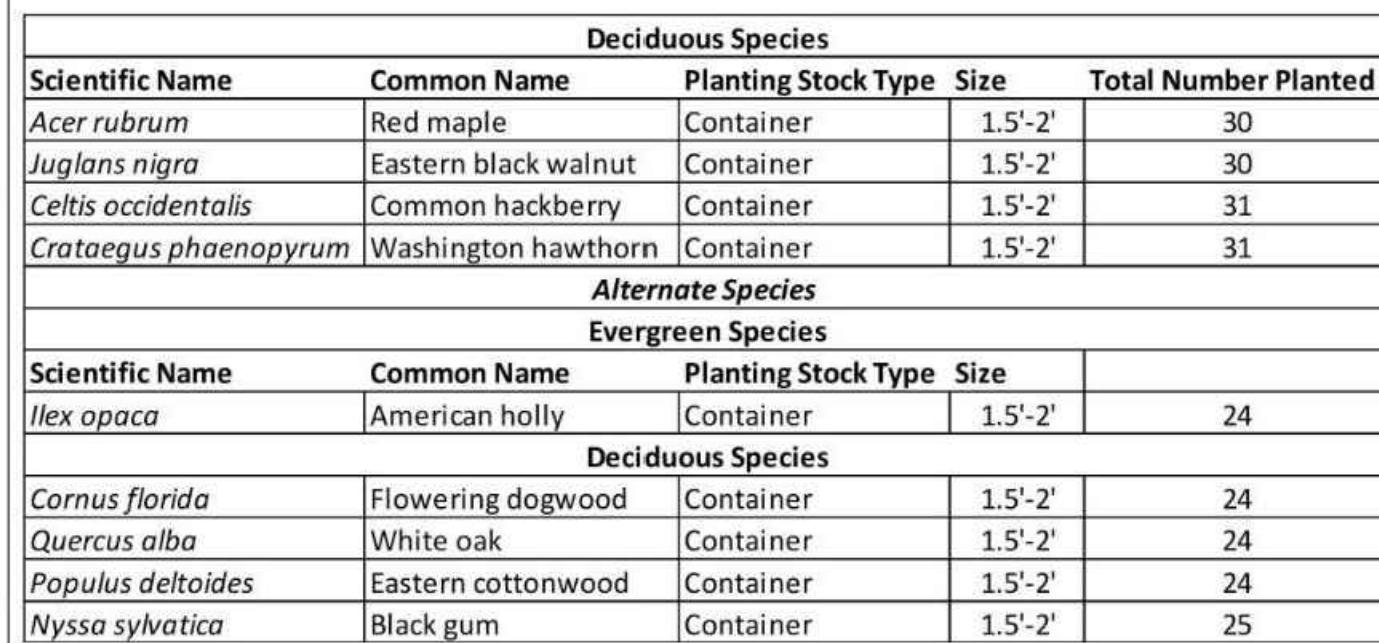
DRAWING SCALE	1"=50'
DRAWN BY	MR

APPROVED BY \_\_\_\_\_ PN \_\_\_\_\_

# CS2001

SHEET 23 OF 74





## Forest Conservation Worksheet 2.2

<div> <div> FOREST CO PLANT INDUSTRIAL </div> </div>	
ECS REVISIONS	
ENGINEER AMM	DRAFTING TJW
SCALE 1" = 100'	
PROJECT NO. 47:12827-E	
SHEET 1 OF 2	
DATE	22 MAY 2023

**HAGERSTOWN MD SPEC  
12001 HOPEWELL ROAD  
HAGERSTOWN, WASHINGTON COUNTY, MARYLAND**

**FOREST CONSERVATION PLAN  
PLANTING PLAN  
INDUSTRIAL BUILDING GROUP**

2001 HOPEWELL ROAD SITE PLAN

12001 HOPEWELL ROAD  
WASHINGTON COUNTY, MARYLAND

FOREST CONSERVATION PLAN

INDUSTRIAL BUILDING GROUP, LLC

633 DIVISION STREET  
ELIZABETH, NJ 07201

[illegible]

ALL DOCUMENTS PREPARED BY PENNCO ASSOCIATES  
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE  
PROJECT. THEY ARE NOT INTENDED OR RESPECTED  
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON  
THE EXTENSION OF THE PROJECT OR ON ANY OTHER  
PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION  
OF PENNCO ASSOCIATES WILL BE AT THE USER'S  
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS  
RISK AND WITHOUT LIABILITY TO OR FROM  
PENNCO ASSOCIATES, AND OWNER SHALL BE  
SOLELY RESPONSIBLE AND HOLD HARMLESS FROM  
PENNCO ASSOCIATES FOR ALL CLAIMS, DAMAGES, LOSSES AND  
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT **INDBG22001**

DATE **2022-10-18**

DRAWING SCALE **1"=100'**

DRAWN BY **NB/MR**

APPROVED BY **PN/MR**

**SHEET 26A OF 74**

U:\Account\INBG\INBG02201 - Industrial Building Group, LLC\DESIGN\_SHEETS\CS2201.dwg PLOTTED: 6/6/2023 3:21 PM BY: Marro B. Rielino PLOTSTYLE: Penroll.NCS.ctb PROJECT STATUS: —



## Preliminary Plat/Site Plan for Crosspoint Residential – Towns of Rockspring

Presented is a Preliminary Plat and Site Plan for Towns of Rockspring Townhouse Development.

The subject site is located on the westside of Massey Boulevard and the eastside of Hickory School Road. Zoning is Residential Multi family and Residential Suburban.

The developer is proposing to create 123 Townhouse lots on a 17.23 acre parcel. Proposed density will be 7 dwellings on 1 acre. Average lot sizes will be 2,200 square feet. All lots will have access to newly constructed public streets. There will be one access to Halfway Blvd and one to Hickory School Road.

Each lot will have 2 parking spaces with parking along the street permitted. There will also be a common parking lot that will provide for some RV parking. These areas will provide a total of 329 parking spaces for the development. A total of 246 spaces are required.

All lots will be served by public water & sewer.

Open space will be 4.77 acres in size. Two play areas will be provided at a total of 1800 square feet.

Street lights are to be installed along the street and in common areas.

Landscaping is to be placed in open space areas and along the boundary with the Business General property adjacent to the north.

Forestation will be met by retaining forest onsite of 1.89 acres; street tree credit of .81 acres and 5.55 acres paid in lieu for a total amount of \$72,527.40.

All approvals have been received.



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

PRELIMINARY PLAT SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Crosspoint Residential - Townes at Rockspring  
NUMBER.....: PSP-22-001  
  
OWNER.....: HEKBEL LLC  
LOCATION.....: South of Hickory School Rd & South of Cole Rd  
DESCRIPTION.....: Proposed 123 lot townhouse development  
  
ZONING.....: RS; RM Refer to Map  
COMP PLAN LU.....: Low Density Residential  
PARCEL.....: 26065261  
PLANNING SECTOR.....: 1  
ELECTION DISTRICT.....: 26  
  
TYPE.....: Town House  
GROSS ACRES.....: 17.23  
DWELLING UNITS.....: 123  
TOTAL LOTS.....:  
DENSITY.....: 7.1387 Units Per Acre  
  
PLANNER.....: Lisa A Kelly  
ENGINEER.....: FOX & ASSOCIATES INC  
RECEIVED.....: October 4, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No  
WETLANDS.....: Yes  
WATERSHED.....: Conococheague Creek  
ENDANGERED SPECIES.....: None  
STEEP SLOPES.....: No  
STREAM BUFFER.....: No  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: None

Staff Comments:

*Not Applicable*





WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

*SITE DESIGN*

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
		4.77
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
		inside waste collection
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
329	2	
Parking Spaces - Minimum Required	Recreational Parking Provided	
246	Yes	

NEW ROAD CONSTRUCTION: Yes

ACCESS SPACING VARIANCE NEEDED: No

*SCHOOL INFORMATION*

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Hickory	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT	960		
MAXIMUM CAPACITY	1094		

*PUBLIC FACILITIES INFORMATION*

FIRE DISTRICT.....:	HALFWAY
AMBULANCE DISTRICT.....:	HALFWAY

*WATER & SEWER INFORMATION*

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Conococheague



ESD PRACTICES SUMMARY TABLE						
CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION)						
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)						
TYPE	NO.	DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQY (AC-FT)	ESDV (AC-FT)	PE ADDRESSED (N)
M-6	1	0.52	0.29		0.06	2.53
FILTERBA BOX	1,2,3,4	1.01	0.51		0.005	0.12
NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)						
TYPE	NO.	STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQY (AC-FT)	ESDV (AC-FT)	PE ADDRESSED (N)
W-2	1	7.57	3.26		0.64	2.32
W-2	2	7.64	3.65		0.43	1.40

Stormwater Management Narrative

This Project is being designed to meet the new Maryland Stormwater Act of 2007 which supplements the original 2000 Maryland Design Manual. Environmental Site Design (ESD) techniques must now be provided through structural and non-structural practices at the source to the maximum extent practical (MEP).

Chapter 3 Structural and Chapter 5 Structural practices will provide 100% of the site's WQv and the ESDv. These structures will provide all of the Rev and the required Phosphorus Load Reduction.

Quantity control for the 2- and 10-year storm events will be provided by the proposed Chapter 3 Structural practices. These facilities will also provide the Cpv (channel protection volume).

GENERAL CONSTRUCTION NOTES

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE WASHINGTON COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE LATEST EDITION OF WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS, THE WASHINGTON COUNTY PLUMBING CODE, THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT PROCEDURES AND REGULATIONS, AND THE STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION BOOK OF STANDARDS.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTACT THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT 240-313-2460; FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- IN CONFORMANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A NOTICE OF INTENT TO CONSIDER WITH THE GENERAL PERMIT STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY - (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND THE CODE OF MARYLAND REGULATIONS COMAR 26.08.04.05A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MD010) HAS BEEN ISSUED BY MDE.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE LOT/PARCEL OWNER.
- WATERSHED CODE: CONOCOCHAGUE CREEK 02140504

ESTIMATED PROJECT SCHEDULE

SITE PLAN APPROVAL.....	JULY 2023
GRADING PERMIT ISSUANCE.....	AUGUST 2023
START SITE CONSTRUCTION.....	SEPTEMBER 2023
COMPLETE SITE CONSTRUCTION.....	JULY 2024
BUILDING OCCUPANCY.....	FALL 2024

OWNER:

HEXBEL LLC  
305 MAIN ST  
P.O. BOX 667  
HACKENSACK, NJ 070602

DEVELOPER:

DR HORTON  
181 HARRY S. TRUMAN PARKWAY, SUITE 250  
ANNAPOLIS, MD 21401  
443-924-4947  
ATTENTION: DEVIN URG0

DATE REVISION DRAWN BY

FOX & ASSOCIATES, INC.  
ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD  
HAGERSTOWN, MD. 21740  
PHONE: (301)733-8503  
or (301)416-7250  
FAX: (301)733-1853

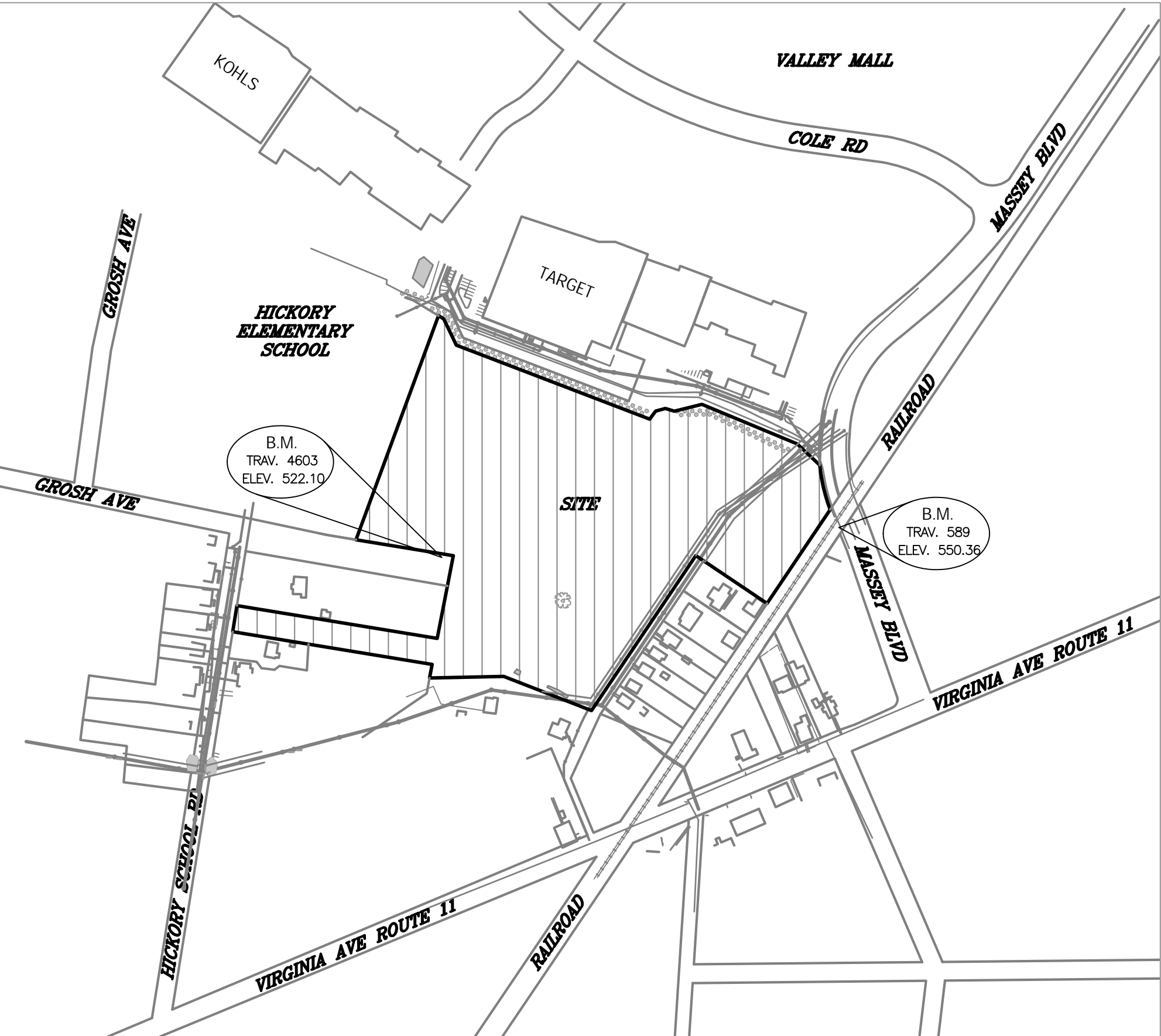
82 WORMANS MILL COURT  
SUITE "G"  
FREDERICK, MD. 21701  
PHONE: (301)695-0880  
FAX: (301)293-8009



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PRELIMINARY PLAT and RESIDENTIAL SITE PLAN  
CROSSPOINT RESIDENTIAL  
TOWNES AT ROCKSPRING  
123 TOWNHOME LOTS  
SITUATE AT ON THE EAST SIDE OF HICKORY SCHOOL RD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 26  
WASHINGTON COUNTY, MARYLAND



PLAN VIEW

SCALE: 1" = 300'

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SURVEYOR CERTIFICATION

I, GEORGE E. NAGEL, A REGISTERED SURVEYOR OF THE STATE OF MARYLAND, DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED LAND SUBDIVISION AND FURTHER THAT THIS PLAT WAS PERSONALLY REVIEWED AND/OR PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED HEREON. ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

DATE: \_\_\_\_\_ REGISTERED SURVEYORS' SIGNATURE: \_\_\_\_\_  
MARYLAND REG. NO. 21052 EXP. 8/24/24

ENGINEER'S STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION, THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN, AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE BY THE CONSULTANT.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

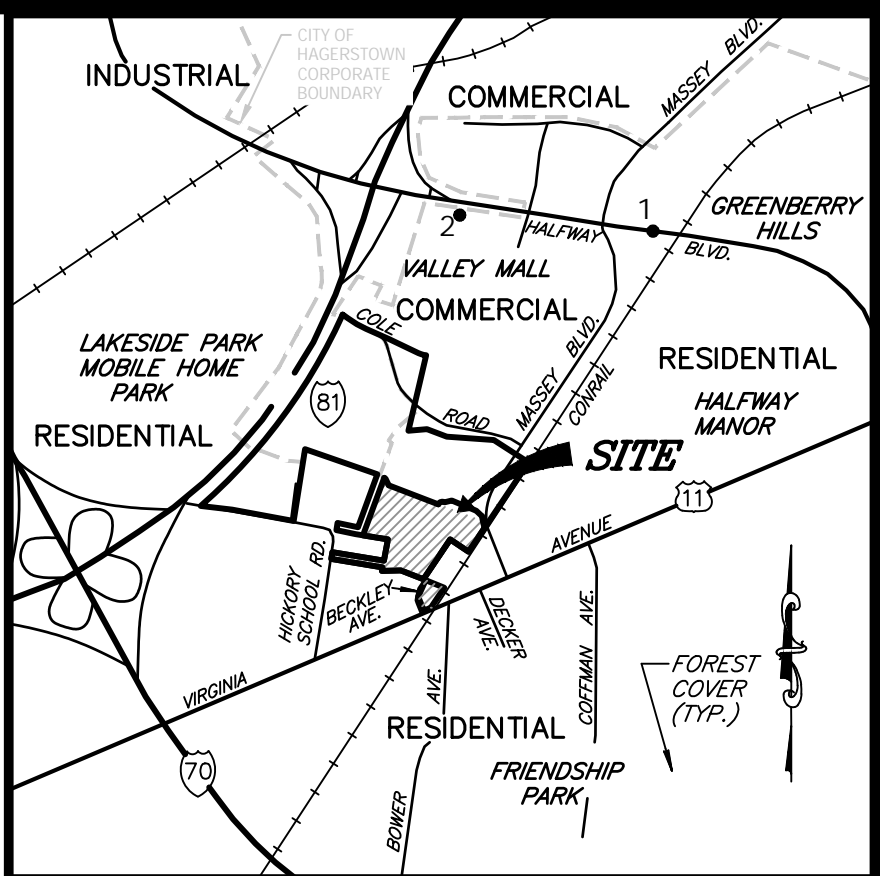
THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

COORDINATES AND WASHINGTON COUNTY SURVEY MONUMENTS  
1 - "KMART" 39° 37' 35.729872" (N)  
77° 45' 49.307351" (W)  
ELEV. 606.27  
2 - "MALL" 39° 37' 38.29544" (N)  
77° 46' 16.51472" (W)  
ELEV. 596.02



ADC MAP 20  
GRID 9 F & G

VICINITY MAP  
SCALE: 1" = 2000'  
TAX MAP 43 PARCEL 950  
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 20403134

AGENCY & UTILITY CONTACTS

COUNTY ENGINEERING DEPT.	(240) 313-2460
WASHINGTON COUNTY DEPT. OF WATER QUALITY (SEWER)	(240) 313-2600
WASH. CO. SCD	DENISE PRICE (301) 797-6821 X 3
ANITEM CABLE	LESLIE CURRY (240) 420-2084
VERIZON	JOE LUDWIG (301) 780-7135
POTOMAC EDISON	RICK USARY (301) 582-5210
COLUMBIA GAS	VONDA GRIFFIN (800) 440-6111

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 15.30 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 40,380 C.Y. OF EXCAVATION AND 44,130 C.Y. OF FILL.

- THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.
- EARTHWORK QUANTITIES HAVE BEEN COMPUTED FROM PROPOSED SURFACE TO EXISTING SURFACE AND DOES NOT TAKE INTO ACCOUNT TOPSOIL STRIP OR PAVING DEPTHS.

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

NAME: \_\_\_\_\_ LICENSE No. 27053 EXPIRATION DATE 1/25/24

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE \_\_\_\_\_ REG. NO. \_\_\_\_\_ SIGNATURE \_\_\_\_\_

OWNER/DEVELOPER CERTIFICATION - DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE \_\_\_\_\_ PRINTED NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE FOR THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE \_\_\_\_\_ PRINTED NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY: \_\_\_\_\_

DATE: \_\_\_\_\_  
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

WASHINGTON COUNTY DIVISION OF ENGINEERING GRADING & STORMWATER MANAGEMENT APPROVAL

SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_



**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT

**FOX & ASSOCIATES, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
82 WORMANS MILL COURT  
SUITE "C"  
FREDERICK, MD. 21701  
PHONE: (301)733-8503  
or (301)16-7250  
FAX: (301)233-1853  
www.foxassocinc.com  
Email: foxassoc@foxassocinc.com

DATE

REVISION

DRAWN BY

**OVERALL PRELIMINARY PLAT & PHASING PLAN**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.  
LICENSE No.: 27053 EXP. DATE: 7/25/24  
PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
DRAWN BY: RLB  
CHECKED BY: GSP

**SHEET 3 OF 41**

PSP-22-001

**SOILS**

Fa..... FAIRPLAY (MARL) SILT LOAM / HYDRIC  
HdB..... HAGERSTOWN SILT LOAM 3-8% SLOPES  
HbB..... HAGERSTOWN SILTY CLAY LOAM 3-8% SLOPES VERY ROCKY  
HbC..... HAGERSTOWN SILTY CLAY 8-15% SLOPES VERY ROCKY  
SWA..... SWANPOND-FUNKSTOWN-URBAN LAND COMPLEX 0 TO 3 PERCENT SLOPES  
W..... WATER / HYDRIC

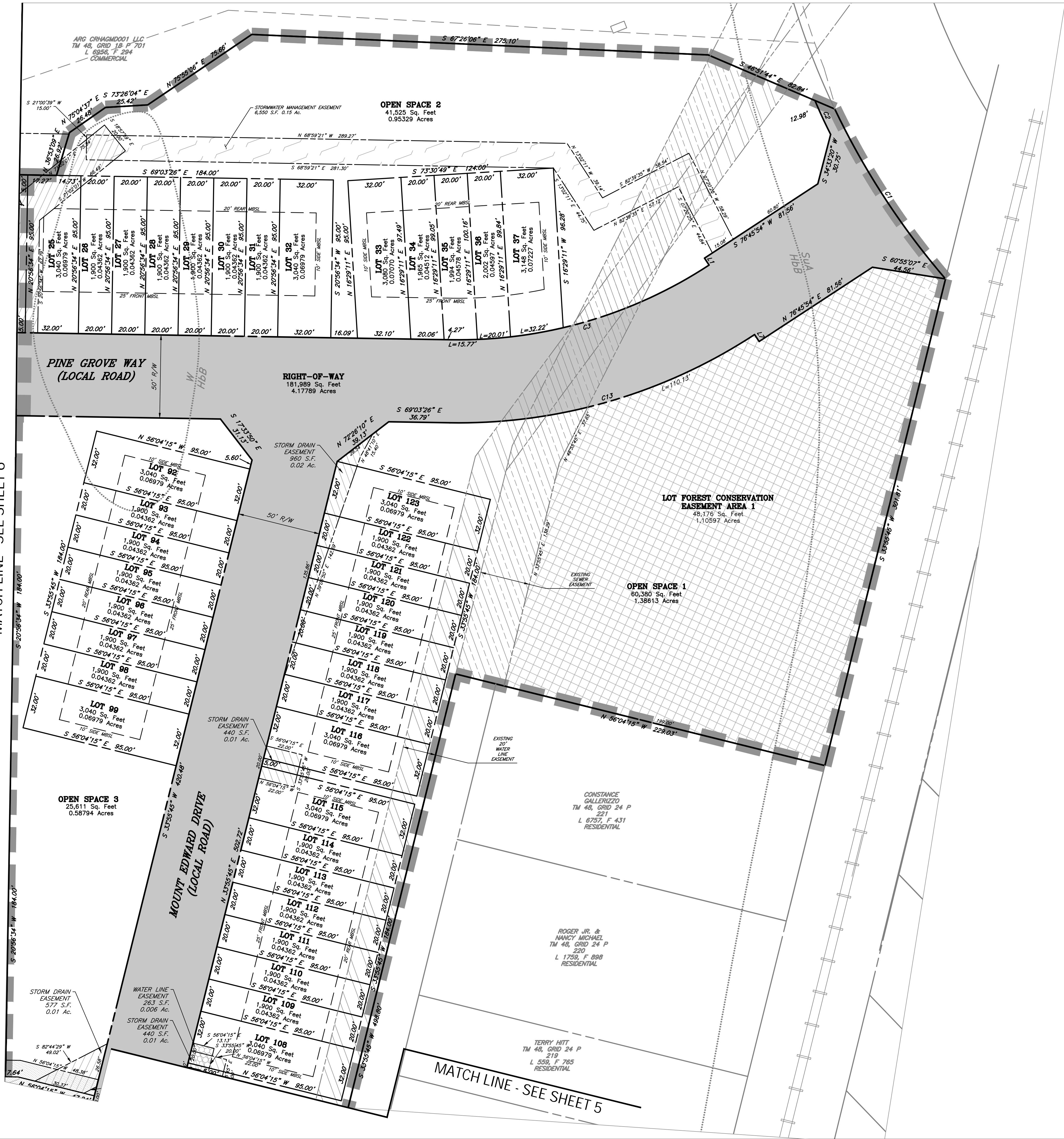
**GRAPHIC SCALE**



( IN FEET )  
1 inch = 60 ft.

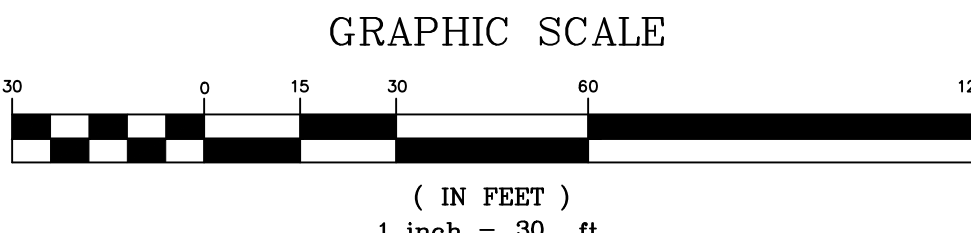
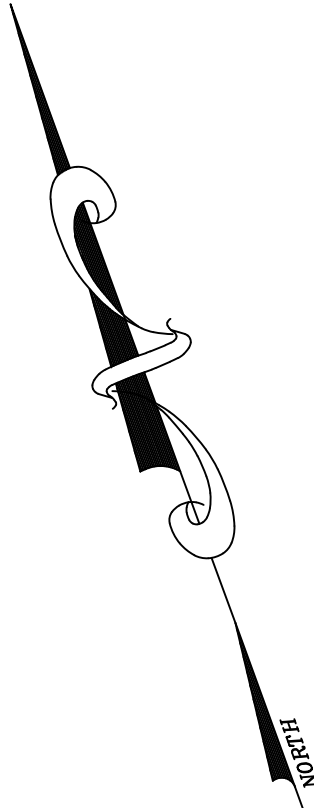


MATCH LINE - SEE SHEET 6



**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING WATER EASEMENT
- EXISTING SEWER EASEMENT



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82 WORMANS MILL COURT  
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FREDERICK, MD. 21701  
PHONE: (301) 895-0880  
FAX: (301) 293-6009  
Email: foxassoc@foxassocinc.com  
www.foxassocinc.com

REVISION

DATE

DRAWN BY

**PRELIMINARY PLAT**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

SCALE: 1" = 30'

I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.  
LICENSE NO.: 27053 EXP. DATE: 7/25/24

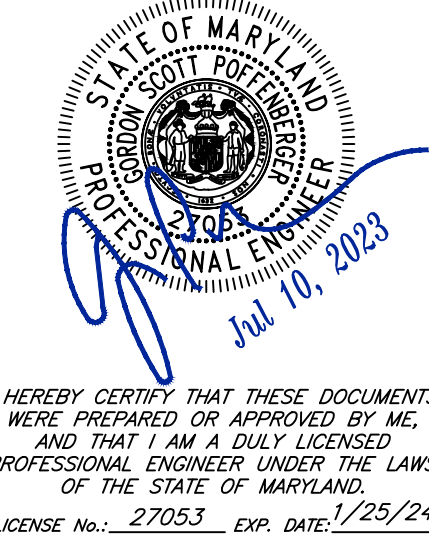
PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
DRAWN BY: RLB  
CHECKED BY: GSP

**SHEET 4 OF 41**



**PRELIMINARY PLAT**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

SCALE: 1" = 30'



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AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS  
OF THE STATE OF MARYLAND.  
LICENSE NO.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 22-51199  
DRAWING NO. D-9041  
DATE: AUGUST 2022  
DRAWN BY: RLB  
CHECKED BY: GSP

**SHEET 5 OF 41**

MATCH LINE - SEE SHEET 6

MATCH LINE - SEE SHEET 4

MATCH LINE - SEE BELOW

MATCH LINE - SEE ABOVE

**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
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- PROPOSED SEWER EASEMENT
- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING WATER EASEMENT
- EXISTING SEWER EASEMENT

**OPEN SPACE 4**  
37,552 Sq. Feet  
0.86208 Acres

**LOT 70**  
3,168 Sq. Feet  
0.07315 Acres

**LOT 71**  
3,006 Sq. Feet  
0.04812 Acres

**LOT 72**  
2,183 Sq. Feet  
0.04986 Acres

**LOT 73**  
2,183 Sq. Feet  
0.04987 Acres

**LOT 74**  
3,192 Sq. Feet  
0.07337 Acres

**LOT 75**  
3,192 Sq. Feet  
0.07337 Acres

**SWM OUTLET 2**  
50,354 Sq. Feet  
1.15598 Acres

**LOT 107**  
3,040 Sq. Feet  
0.06979 Acres

**LOT 108**  
1,900 Sq. Feet  
0.04362 Acres

**LOT 105**  
1,900 Sq. Feet  
0.04362 Acres

**LOT 104**  
1,900 Sq. Feet  
0.04362 Acres

**LOT 103**  
1,900 Sq. Feet  
0.04362 Acres

**LOT 102**  
1,901 Sq. Feet  
0.04365 Acres

**LOT 101**  
1,970 Sq. Feet  
0.04522 Acres

**LOT 100**  
3,453 Sq. Feet  
0.07927 Acres

**OPEN SPACE 4**  
37,552 Sq. Feet  
0.86208 Acres

**RIGHT-OF-WAY**  
181,989 Sq. Feet  
4.17789 Acres

**OPEN SPACE 9**  
5,247 Sq. Feet  
0.12045 Acres

**PHILIP J DEAVERS**  
TM 48, GRID 24 P 286  
L 6239, F 123  
RESIDENTIAL

**LESTER L GUILLARD JR**  
TM 48, GRID 24 P 234  
L 419, F 509  
RESIDENTIAL

**OPEN SPACE 4**  
37,552 Sq. Feet  
0.86208 Acres

**RIGHT-OF-WAY**  
181,989 Sq. Feet  
4.17789 Acres

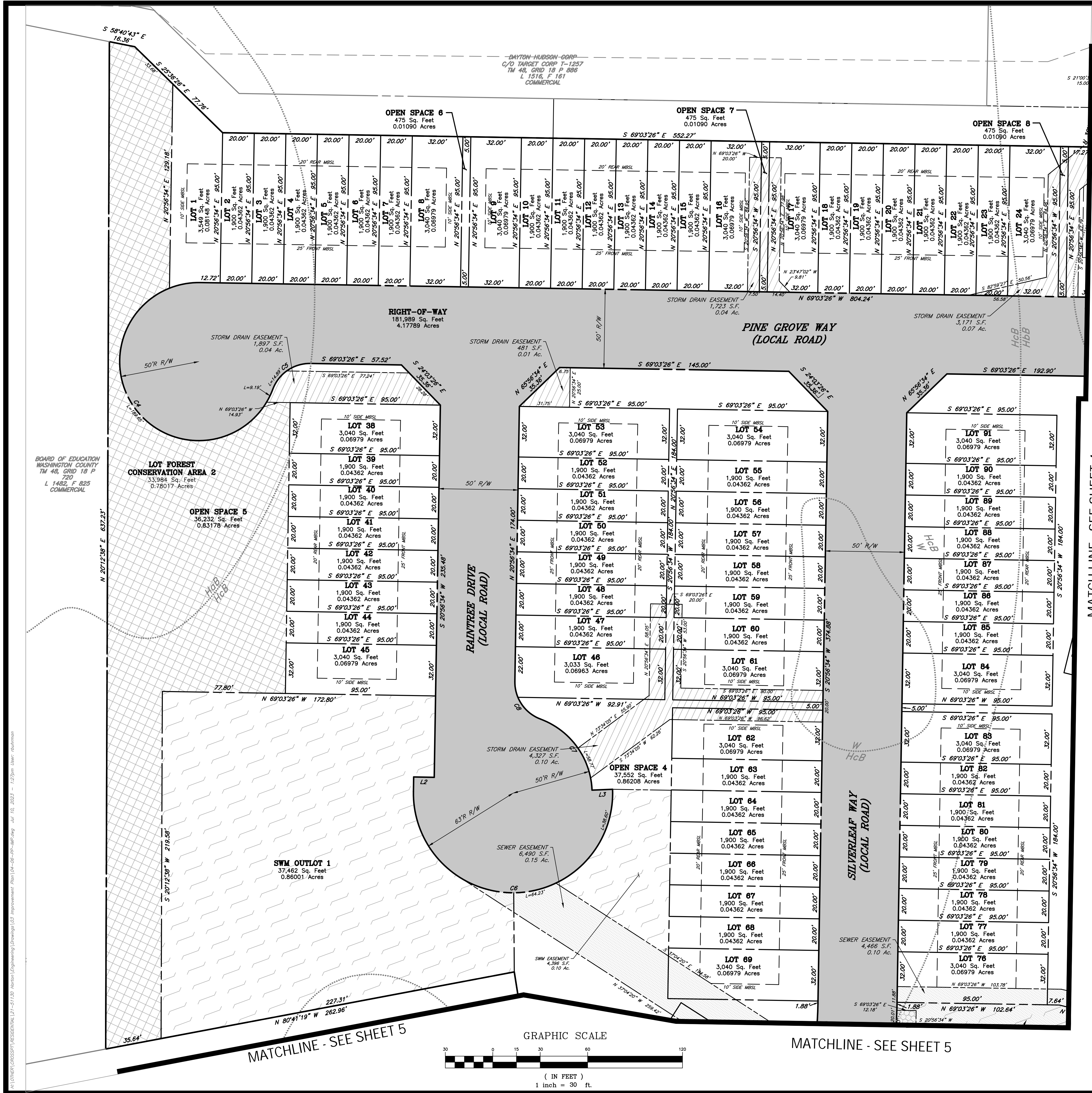
**OPEN SPACE 9**  
5,247 Sq. Feet  
0.12045 Acres

**SUSAN F DEAVERS**  
TM 48, GRID 24 P 772  
L 1267, F 973  
RESIDENTIAL

**PLS LLC**  
TM 48, GRID 24 P 237  
L 6714, F 337  
RESIDENTIAL/COMMERCIAL

**ARG ORR**  
TM 48, GRID 24 P 7  
L 6956  
COMMERCIAL





**HATCH LEGEND**

- PROPOSED PUBLIC STREET RIGHT-OF-WAY
- PROPOSED STORMWATER MANAGEMENT MAINTENANCE AND ACCESS EASEMENT
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- PROPOSED WATER EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING WATER EASEMENT
- EXISTING SEWER EASEMENT

**PROPERTY ADDRESSES**

LOT #	HOUSE #	STREET	LOT #	HOUSE #	STREET
LOT 1	17100	PINE GROVE WAY	LOT 80	11175	RAINTREE DRIVE
LOT 2	17102	PINE GROVE WAY	LOT 81	11177	RAINTREE DRIVE
LOT 3	17104	PINE GROVE WAY	LOT 82	11179	RAINTREE DRIVE
LOT 4	17106	PINE GROVE WAY	LOT 83	11181	RAINTREE DRIVE
LOT 5	17108	PINE GROVE WAY	LOT 84	11183	RAINTREE DRIVE
LOT 6	17110	PINE GROVE WAY	LOT 85	11185	RAINTREE DRIVE
LOT 7	17112	PINE GROVE WAY	LOT 86	11187	RAINTREE DRIVE
LOT 8	17114	PINE GROVE WAY	LOT 87	11189	RAINTREE DRIVE
LOT 9	17116	PINE GROVE WAY	LOT 88	11191	RAINTREE DRIVE
LOT 10	17118	PINE GROVE WAY	LOT 89	11193	RAINTREE DRIVE
LOT 11	17120	PINE GROVE WAY	LOT 90	11195	RAINTREE DRIVE
LOT 12	17122	PINE GROVE WAY	LOT 91	11197	RAINTREE DRIVE
LOT 13	17124	PINE GROVE WAY	LOT 92	*	MOUNT EDWARD DRIVE
LOT 14	17126	PINE GROVE WAY	LOT 93	11096	MOUNT EDWARD DRIVE
LOT 15	17128	PINE GROVE WAY	LOT 94	11098	MOUNT EDWARD DRIVE
LOT 16	17130	PINE GROVE WAY	LOT 95	11099	MOUNT EDWARD DRIVE
LOT 17	17132	PINE GROVE WAY	LOT 96	11099	MOUNT EDWARD DRIVE
LOT 18	17134	PINE GROVE WAY	LOT 97	11099	MOUNT EDWARD DRIVE
LOT 19	17136	PINE GROVE WAY	LOT 98	11099	MOUNT EDWARD DRIVE
LOT 20	17138	PINE GROVE WAY	LOT 99	11099	MOUNT EDWARD DRIVE
LOT 21	17140	PINE GROVE WAY	LOT 100	11099	MOUNT EDWARD DRIVE
LOT 22	17142	PINE GROVE WAY	LOT 101	11099	MOUNT EDWARD DRIVE
LOT 23	17144	PINE GROVE WAY	LOT 102	11099	MOUNT EDWARD DRIVE
LOT 24	17146	PINE GROVE WAY	LOT 103	11099	MOUNT EDWARD DRIVE
LOT 25	17148	PINE GROVE WAY	LOT 104	11099	MOUNT EDWARD DRIVE
LOT 26	17150	PINE GROVE WAY	LOT 105	11099	MOUNT EDWARD DRIVE
LOT 27	17152	PINE GROVE WAY	LOT 106	11099	MOUNT EDWARD DRIVE
LOT 28	17154	PINE GROVE WAY	LOT 107	11099	MOUNT EDWARD DRIVE
LOT 29	17156	PINE GROVE WAY	LOT 108	11099	MOUNT EDWARD DRIVE
LOT 30	17158	PINE GROVE WAY	LOT 109	11099	MOUNT EDWARD DRIVE
LOT 31	17160	PINE GROVE WAY	LOT 110	11099	MOUNT EDWARD DRIVE
LOT 32	17162	PINE GROVE WAY	LOT 111	11099	MOUNT EDWARD DRIVE
LOT 33	17164	PINE GROVE WAY	LOT 112	11099	MOUNT EDWARD DRIVE
LOT 34	17166	PINE GROVE WAY	LOT 113	11099	MOUNT EDWARD DRIVE
LOT 35	17168	PINE GROVE WAY	LOT 114	11099	MOUNT EDWARD DRIVE
LOT 36	17170	PINE GROVE WAY	LOT 115	11099	MOUNT EDWARD DRIVE
LOT 37	17172	PINE GROVE WAY	LOT 116	11099	MOUNT EDWARD DRIVE
LOT 38	17174	PINE GROVE WAY	LOT 117	11099	MOUNT EDWARD DRIVE
LOT 39	17176	PINE GROVE WAY	LOT 118	11099	MOUNT EDWARD DRIVE
LOT 40	17178	PINE GROVE WAY	LOT 119	11099	MOUNT EDWARD DRIVE
LOT 41	17180	PINE GROVE WAY	LOT 120	11099	MOUNT EDWARD DRIVE
LOT 42	17182	PINE GROVE WAY	LOT 121	11099	MOUNT EDWARD DRIVE
LOT 43	17184	PINE GROVE WAY	LOT 122	11099	MOUNT EDWARD DRIVE
LOT 44	17186	PINE GROVE WAY	LOT 123	*	MOUNT EDWARD DRIVE
LOT 45	17188	PINE GROVE WAY			
LOT 46	17190	PINE GROVE WAY			
LOT 47	17192	PINE GROVE WAY			
LOT 48	17194	PINE GROVE WAY			
LOT 49	17196	PINE GROVE WAY			
LOT 50	17198	PINE GROVE WAY			
LOT 51	17200	PINE GROVE WAY			
LOT 52	17202	PINE GROVE WAY			
LOT 53	17204	PINE GROVE WAY			
LOT 54	17206	PINE GROVE WAY			
LOT 55	17208	PINE GROVE WAY			
LOT 56	17210	PINE GROVE WAY			
LOT 57	17212	PINE GROVE WAY			
LOT 58	17214	PINE GROVE WAY			
LOT 59	17216	PINE GROVE WAY			
LOT 60	17218	PINE GROVE WAY			
LOT 61	17220	PINE GROVE WAY			
LOT 62	17222	PINE GROVE WAY			
LOT 63	17224	PINE GROVE WAY			
LOT 64	17226	PINE GROVE WAY			
LOT 65	17228	PINE GROVE WAY			
LOT 66	17230	PINE GROVE WAY			
LOT 67	17232	PINE GROVE WAY			
LOT 68	17234	PINE GROVE WAY			
LOT 69	17236	PINE GROVE WAY			
LOT 70	17238	PINE GROVE WAY			
LOT 71	17240	PINE GROVE WAY			
LOT 72	17242	PINE GROVE WAY			
LOT 73	17244	PINE GROVE WAY			
LOT 74	17246	PINE GROVE WAY			
LOT 75	17248	PINE GROVE WAY			
LOT 76	17250	PINE GROVE WAY			
LOT 77	17252	PINE GROVE WAY			
LOT 78	17254	PINE GROVE WAY			
LOT 79	17256	PINE GROVE WAY			
LOT 80	17258	PINE GROVE WAY			
LOT 81	17260	PINE GROVE WAY			
LOT 82	17262	PINE GROVE WAY			
LOT 83	17264	PINE GROVE WAY			
LOT 84	17266	PINE GROVE WAY			
LOT 85	17268	PINE GROVE WAY			
LOT 86	17270	PINE GROVE WAY			
LOT 87	17272	PINE GROVE WAY			
LOT 88	17274	PINE GROVE WAY			
LOT 89	17276	PINE GROVE WAY			
LOT 90	17278	PINE GROVE WAY			
LOT 91	17280	PINE GROVE WAY			
LOT 92	17282	PINE GROVE WAY			
LOT 93	17284	PINE GROVE WAY			
LOT 94	17286	PINE GROVE WAY			
LOT 95	17288	PINE GROVE WAY			
LOT 96	17290	PINE GROVE WAY			
LOT 97	17292	PINE GROVE WAY			
LOT 98	17294	PINE GROVE WAY			
LOT 99	17296	PINE GROVE WAY			
LOT 100	17298	PINE GROVE WAY			

**CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	122.47'	460.00'	52°12'13"	S 13°00'10" E	122.13'	61.60'
C2	22.50'	309.76'	4°08'43"	S 04°53'20" E	22.50'	11.26'
C3	164.04'	275.00'	34°10'40"	S 86°08'46" E	161.62'	84.54'
C4	218.63'	50.00'	280°31'44"	S 14°19'18" E	81.65'	70.71'
C5	30.77'	25.00'	70°31'44"	S 75°40'42" W	28.87'	17.68'
C6	253.42'	183.1700'	N 15°54'51" W	55.44'	125.96'	53.31'
C7	58.77'	50.00'	67°20'38"	N 15°54'51" W	55.44'	53.31'
C8	30.77'	25.00'	70°31'44"	S 14°19'18" E	28.87'	17.68'
C9	301.75'	225.00'	78°22'07"	N 60°07'38" E	284.32'	183.40'
C10	376.14'	275.00'	78°22'07"	N 60°07'38" E	347.50'	224.16'
C11	38.77'	25.00'	70°31'44"	N 69°11'33" E	28.87'	17.68'
C12	218.63'	50.00'	280°31'44"	S 14°19'18" E	81.65'	70.71'
C13	193.87'	325.00'	34°10'40"	S 86°08'46" E	191.01'	99.91'

- ADDRESS NOTES**
- ADDRESSES ARE NOT FINAL UNTIL THE PLAT IS APPROVED.
  - EACH ADDRESS IS BASED ON THE ENTRANCE LOCATION AS SHOWN ON THE PLAN. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION, THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER/DEVELOPER OF THE LOT MUST REPLY TO WASHINGTON COUNTY PLANNING AND ZONING DEPARTMENT FOR A NEW ADDRESS ASSIGNMENT.
  - CORNER LOTS WILL BE ASSIGNED ADDRESSES AT TIME OF BUILDING PLAN APPROVAL.

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**PRELIMINARY PLAT**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1" = 30'**

**ADDRESS NOTES**

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- EACH ADDRESS IS BASED ON THE ENTRANCE LOCATION AS SHOWN ON THE PLAN. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION, THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER/DEVELOPER OF THE LOT MUST REPLY TO WASHINGTON COUNTY PLANNING AND ZONING DEPARTMENT FOR A NEW ADDRESS ASSIGNMENT.
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**PROJECT NO. 22-51199**  
**DRAWING NO. D-9041**  
**DATE: AUGUST 2022**  
**DRAWN BY: RLB**  
**CHECKED BY: GSP**

**SHEET 6 OF 41**



# **SITE DATA**

ZONING: RM & RS  
 TAX MAP: 48  
 PARCEL: 950  
 PARCEL AREA: 17.23 Ac.  
 MAX. BUILDING HEIGHT: 40 FT.  
 NUMBER OF PROPOSED TOWNHOME LOTS: 123  
 PROPOSED DENSITY: 7.14 UNITS/AC.  
 MINIMUM LOT SIZE: 20' x 95' = 1,900 S.F.  
 AVERAGE LOT SIZE: 2,217 S.F.  
 MINIMUM LOT SIZE PER SECTION 10.5 OF ZONING ORD.: 1,600 S.F.  
 MAXIMUM DENSITY PER SECTION 10.5 OF ZONING ORD.: 3,500 S.F./UNIT  
 DENSITY PROVIDED: (6.26 Ac. + 4.77 Ac.) x 43,560 SF/123 UNITS = 3,906 S.F./UNIT

**AREA TABULATION**  
 AREA OF LOTS: 6.26 Ac. = 36.3%  
 AREA OF R/W DEDICATION: 4.18 Ac. = 24.3%  
 AREA OF OPEN SPACE: 4.77 Ac. = 27.7%  
 AREA OF STORMWATER MANAGEMENT PARCELS: 2.02 Ac. = 11.7%  
 TOTAL: 17.23 Ac. = 100.0%

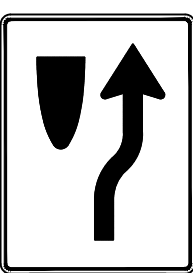
PLAY AREA REQ'D. (SECT. 4.17) 225 + 12(123-18) = 1,485 S.F.  
 PLAY AREA PROVIDED: 2  
 TOTAL PLAY AREA PROVIDED: 2 x 900 = 1,800 S.F.

PARKING REQUIRED: 123 x 2 = 246 SPACES  
 PARKING PROVIDED: DRIVEWAY 2/LOT = 246 SPACES  
 COMMON PARKING LOTS = 16 SPACES  
 ON-STREET PARKING = 67 SPACES  
 TOTAL = 329 SPACES = 2.67 SPACES/LOT

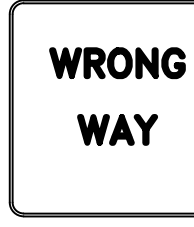
RV PARKING SPACES REQUIRED: 6  
 RV PARKING SPACES PROVIDED: 6

## **SIGN LEGEND**

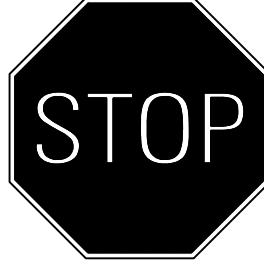
SEE SIGNPOST DETAIL SHEET 24A



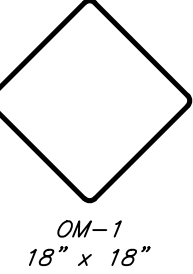
R4-7  
24' x 30'  
2 REQ'D.



W1  
36"x24"  
1 REQ'D.

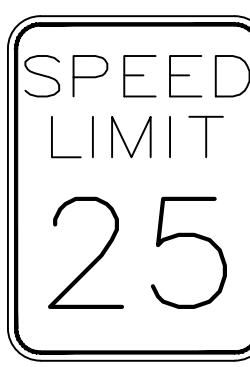


R1-1  
30' x 30'  
9 REQ'D.



OM-1  
18' x 18' (YELLOW)  
2 REQ'D.

STREET NAME HERE



R2-1  
24' x 30'  
5 REQ'D.



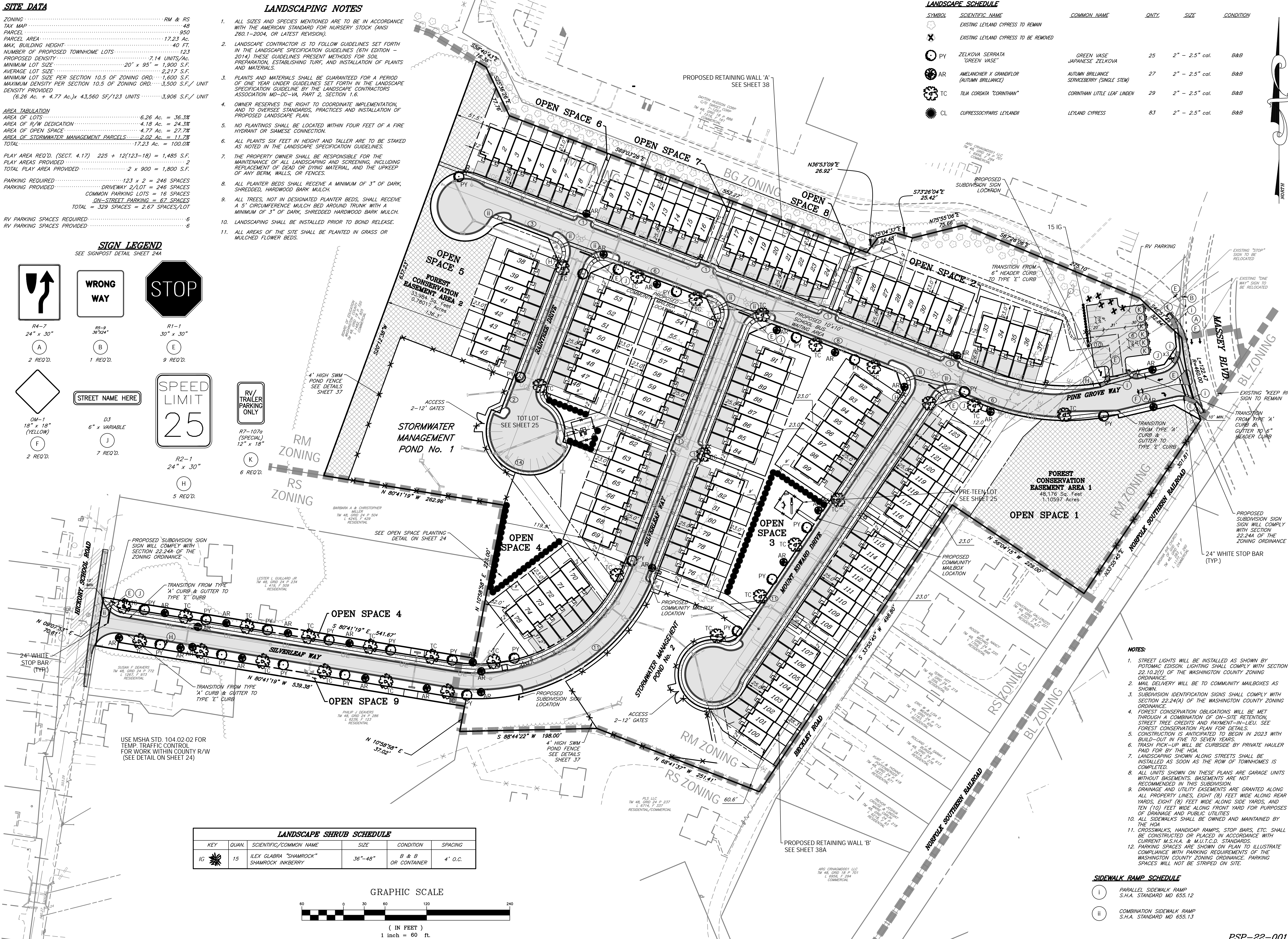
R7-107a (SPECIAL)  
12' x 18'  
6 REQ'D.

## **LANDSCAPING NOTES**

- ALL SIZES AND SPECIES MENTIONED ARE TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004, OR LATEST REVISION).
- LANDSCAPE CONTRACTOR IS TO FOLLOW GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINES (6TH EDITION - 2014) THESE GUIDELINES PRESENT METHODS FOR SOIL PREPARATION, ESTABLISHING TURF, AND INSTALLATION OF PLANTS AND MATERIALS.
- PLANTS AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR UNDER GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINE BY THE LANDSCAPE CONTRACTORS ASSOCIATION MO-02-14, PART 2, SECTION 1.6.
- OWNER RESERVES THE RIGHT TO COORDINATE IMPLEMENTATION, AND TO OVERSEE STANDARDS, PRACTICES AND INSTALLATION OF PROPOSED LANDSCAPE PLAN.
- NO PLANTINGS SHALL BE LOCATED WITHIN FOUR FEET OF A FIRE HYDRANT OR SIAMEN CONNECTION.
- ALL PLANTS SIX FEET IN HEIGHT AND TALLER ARE TO BE STAKED AS NOTED IN THE LANDSCAPE SPECIFICATION GUIDELINES.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND SCREENING, INCLUDING REPLACEMENT OF DEAD OR DYING MATERIAL, AND THE UPKEEP OF ANY BERM, WALLS, OR FENCES.
- ALL PLANTER BEDS SHALL RECEIVE A MINIMUM OF 3" OF DARK, SHREDDED, HARDWOOD BARK MULCH.
- ALL TREES, NOT IN DESIGNATED PLANTER BEDS, SHALL RECEIVE A 5" CIRCUMFERENCE MULCH BED AROUND TRUNK WITH A MINIMUM OF 3" OF DARK, SHREDDED HARDWOOD BARK MULCH.
- LANDSCAPING SHALL BE INSTALLED PRIOR TO BOND RELEASE.
- ALL AREAS OF THE SITE SHALL BE PLANTED IN GRASS OR MULCHED FLOWER BEDS.

## **LANDSCAPE SCHEDULE**

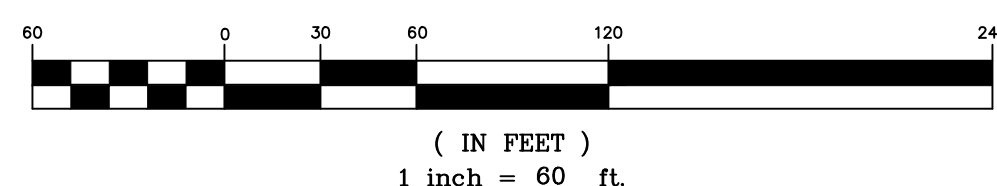
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QNTY.	SIZE	CONDITION
☆	EXISTING LEYLAND CYPRESS TO REMAIN				
✕	EXISTING LEYLAND CYPRESS TO BE REMOVED				
PY	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	25	2" - 2.5" cal.	B&B
AR	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM)	27	2" - 2.5" cal.	B&B
TC	TILIA CORDATA 'CORINTHIAN'	CORINTHIAN LITTLE LEAF LINDEN	29	2" - 2.5" cal.	B&B
CL	CUPRESSODIOPSIS LEYLANDII	LEYLAND CYPRESS	83	2" - 2.5" cal.	B&B



## **LANDSCAPE SHRUB SCHEDULE**

KEY	QUAN.	SCIENTIFIC/COMMON NAME	SIZE	CONDITION	SPACING
IG	15	ILEX GLABRA "SHAMROCK" SHAMROCK INKBERRY	36"-48"	B & B OR CONTAINER	4' O.C.

## **GRAPHIC SCALE**



## **NOTES:**

- STREET LIGHTS WILL BE INSTALLED AS SHOWN BY POTOMAC EDISON. LIGHTING SHALL COMPLY WITH SECTION 22.24(A) OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- MAIL DELIVERY WILL BE TO COMMUNITY MAILBOXES AS SHOWN.
- SUBDIVISION IDENTIFICATION SIGNS SHALL COMPLY WITH SECTION 22.24(A) OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- FOREST CONSERVATION OBLIGATIONS WILL BE MET THROUGH A COMBINATION OF ON-SITE RETENTION, STREET TREE CREDITS AND PAYMENT-IN-LIEU. SEE FOREST CONSERVATION PLAN FOR DETAILS.
- CONSTRUCTION IS ANTICIPATED TO BEGIN IN 2023 WITH BUILD-OUT IN FIVE TO SEVEN YEARS.
- TRASH PICK-UP WILL BE CURBSIDE BY PRIVATE HAULER PAID FOR BY THE HOA.
- LANDSCAPING SHOWN ALONG STREETS SHALL BE INSTALLED AS SOON AS THE ROW OF TOWNHOMES IS COMPLETED.
- ALL UNITS SHOWN ON THESE PLANS ARE GARAGE UNITS WITHOUT BASEMENTS. BASEMENTS ARE NOT RECOMMENDED IN THIS SUBDIVISION.
- DRAINAGE AND UTILITY EASEMENTS ARE GRANTED ALONG ALL PROPERTY LINES, EIGHT (8) FEET WIDE ALONG REAR YARDS, EIGHT (8) FEET WIDE ALONG SIDE YARDS, AND TEN (10) FEET WIDE ALONG FRONT YARD FOR PURPOSES OF DRAINAGE AND PUBLIC UTILITIES.
- ALL SIDEWALKS SHALL BE OWNED AND MAINTAINED BY THE HOA.
- CROSSWALKS, HANDICAP RAMPS, STOP BARS, ETC. SHALL BE CONSTRUCTED OR PLACED IN ACCORDANCE WITH CURRENT M.S.H.A. & M.U.T.C.D. STANDARDS.
- PARKING SPACES ARE SHOWN ON PLAN TO ILLUSTRATE COMPLIANCE WITH PARKING REQUIREMENTS OF THE WASHINGTON COUNTY ZONING ORDINANCE. PARKING SPACES WILL NOT BE STRIPED ON SITE.

## **SIDEWALK RAMP SCHEDULE**

I	PARALLEL SIDEWALK RAMP S.H.A. STANDARD MD 655.12
II	COMBINATION SIDEWALK RAMP S.H.A. STANDARD MD 655.13



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ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT  
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 or (301) 16-7250  
 FAX: (301) 293-6009  
 Email: foxassoc@foxassoc.com  
 www.foxassoc.com

DRAWN BY

REVISION

DATE

**SITE, LANDSCAPE, SIGNAGE, & STRIPING PLAN**

**CROSSPOINT RESIDENTIAL**

**TOWNES AT ROCKSPRING**

SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
 & WEST SIDE OF MASSEY BLVD.  
 ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1"=60'**




I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE No.: 27053 EXP. DATE: 7/25/24

PROJECT NO. 22-51199  
 DRAWING NO. D-9041  
 DATE: AUGUST 2022  
 DRAWN BY: RLB  
 CHECKED BY: GSP

**SHEET 7 OF 41**

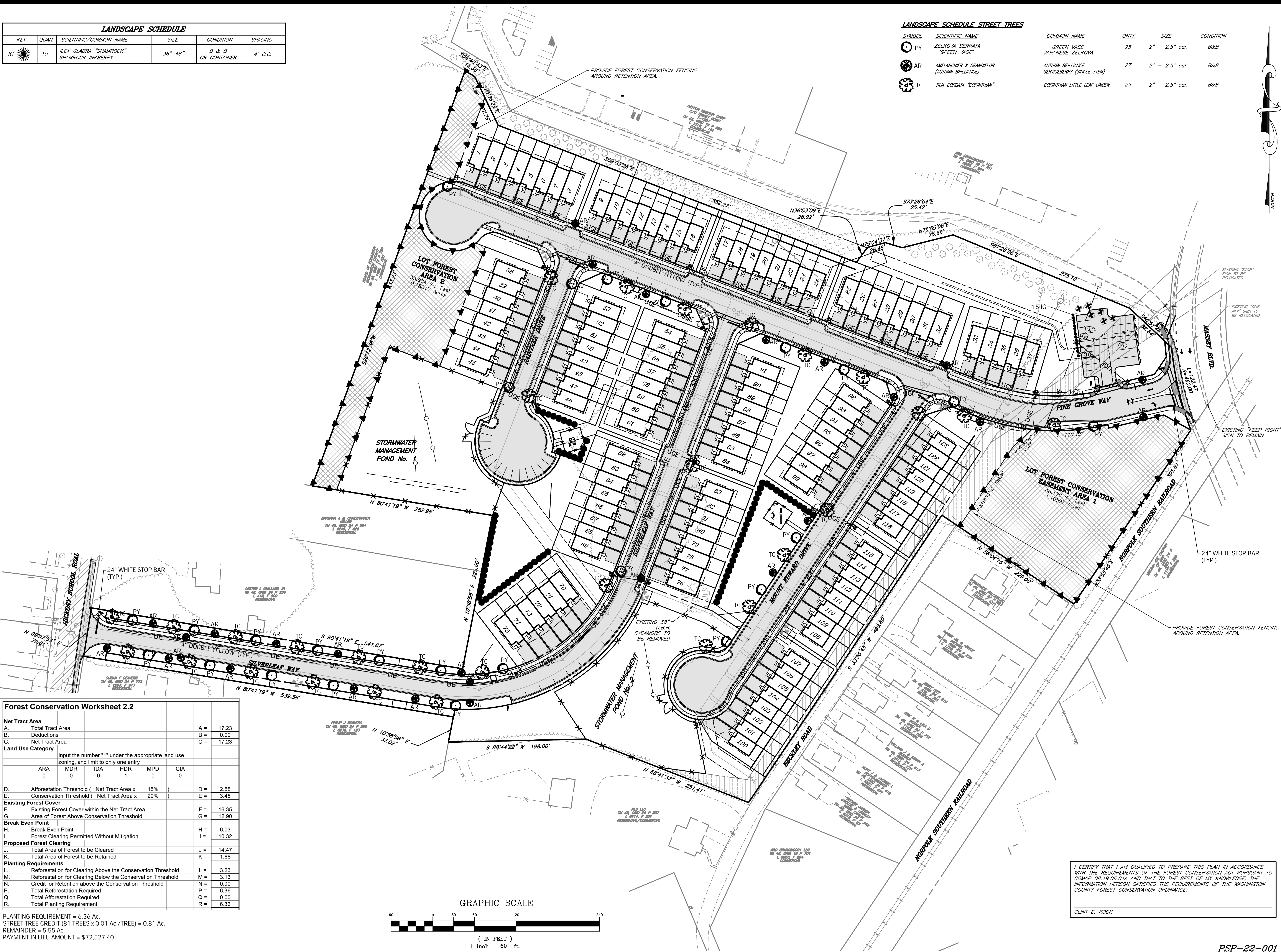
PSP-22-001



LANDSCAPE SCHEDULE					
KEY	QUAN.	SCIENTIFIC/Common NAME	SIZE	CONDITION	SPACING
IG 	15	ILEX GLABRA "SHAMROCK" SHAMROCK INKBERY	36"-48"	B & B OR CONTAINER	4' O.C.

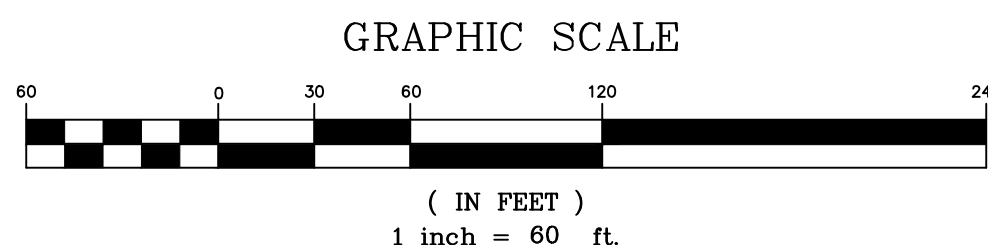
# LANDSCAPE SCHEDULE STREET TREES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QNTY.	SIZE	CONDITION
	ZELKOVA SERRATA "GREEN VASE"	GREEN VASE JAPANESE ZELKOVA	25	2" - 2.5" col.	B&B
	AMELANCHIER X GRANDIFLOR (AUTUMN BRILLIANCE)	AUTUMN BRILLIANCE SERVICEBERRY (SINGLE STEM)	27	2" - 2.5" col.	B&B
	TILIA CORDATA "CORINTHAN"	CORINTHAN LITTLE LEAF LINDEN	29	2" - 2.5" col.	B&B




Forest Conservation Worksheet 2.2					
<b>Net Tract Area</b>					
A.	Total Tract Area			A =	17.23
B.	Deductions			B =	0.00
C.	Net Tract Area			C =	17.23
<b>Land Use Category</b>					
Input the number "1" under the appropriate land use zoning, and limit to only one entry					
	ARA	IDA	HDR	MPD	CIA
	0	0	1	0	0
D.	Afforestation Threshold ( Net Tract Area x 15% )			D =	2.58
E.	Conservation Threshold ( Net Tract Area x 20% )			E =	3.45
<b>Existing Forest Cover</b>					
F.	Existing Forest Cover within the Net Tract Area			F =	16.35
G.	Area of Forest Above Conservation Threshold			G =	12.90
<b>Break Even Point</b>					
H.	Break Even Point			H =	6.03
I.	Forest Clearing Permitted Without Mitigation			I =	10.32
<b>Proposed Forest Clearing</b>					
J.	Total Area of Forest to be Cleared			J =	14.47
K.	Total Area of Forest to be Retained			K =	1.88
<b>Planting Requirements</b>					
L.	Reforestation for Clearing Above the Conservation Threshold			L =	3.23
M.	Reforestation for Clearing Below the Conservation Threshold			M =	3.13
N.	Credit for Retention above the Conservation Threshold			N =	0.00
P.	Total Reforestation Required			P =	6.36
Q.	Total Afforestation Required			Q =	0.00
R.	Total Planting Requirement			R =	6.36

PLANTING REQUIREMENT = 6.36 Ac.  
STREET TREE CREDIT (81 TREES x 0.01 Ac./TREE) = 0.81 Ac.  
REMAINDER = 5.55 Ac.  
PAYMENT IN LIEU AMOUNT = \$72,527.40



I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

CLINT E. ROCK



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**ENGINEERS • SURVEYORS • PLANNERS**

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or (301) 116-7250  
FAX: (301) 293-6009  
Email: foxassoc@foxassocinc.com  
www.foxassocinc.com

DATE	REVISION	DRAWN BY

**FOREST CONSERVATION & LANDSCAPE PLAN**  
**CROSSPOINT RESIDENTIAL**  
**TOWNES AT ROCKSPRING**  
SITUATE ON THE EAST SIDE OF HICKORY SCHOOL ROAD  
& WEST SIDE OF MASSEY BLVD.  
ELECTION DISTRICT 24, WASHINGTON COUNTY, MARYLAND

**SCALE: 1"=60'**



Jul 10, 2023

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/24

**PROJECT NO. 22-51199**  
**DRAWING NO. D-9041**  
**DATE: AUGUST 2022**  
**DRAWN BY: RLB**  
**CHECKED BY: GSP**

**SHEET 39 OF 41**



## Site Plan for 12001 Hopewell Road Warehouse

Presented for review is a site plan for 12001 Hopewell Road Warehouse.

The subject site is located on the east side of Hopewell Road, north of its intersection with Halfway Blvd. Zoning of the site is Industrial General.

The developer is proposing to construct a 208,000 square foot warehouse on a 46 acre parcel. Building height will be 46 feet.

There will be one access point onto Hopewell Road.

The site will be served by public water and sewer.

Hours of operation will be 24 hours per day 7 days a week.

There is a projection of 60 employees.

There will be a ground mounted sign at the entrance.

Lighting will be pole mounted in parking lots and building mounted.

Landscaping is to be planted throughout parking lot, around the building and at the entrance.

Forestation requirements will be met by retaining 11.48 acres of existing forest and the planting of .77 acres of trees.

All approvals have been received.





WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

SITE NAME.....: 12001 Hopewell Road  
NUMBER.....: SP-22-028  
  
OWNER.....: M L D LIMITED PARTNERSHIP  
LOCATION.....: 12001 Hopewell Rd Hagerstown MD 21740  
DESCRIPTION.....: Proposed Warehouse with office  
  
ZONING.....: Industrial, General  
COMP PLAN LU.....: Industrial  
PARCEL.....: 24001741  
PLANNING SECTOR.....: 1  
ELECTION DISTRICT.....: 24  
  
TYPE.....: Commercial  
GROSS ACRES.....: 46.9  
DWELLING UNITS.....:  
TOTAL LOTS.....: 1  
DENSITY.....: 0 Units Per Acre  
  
PLANNER.....: Lisa A Kelly  
ENGINEER.....: Paul Noursi  
RECEIVED.....: July 20, 2022

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: Yes  
WETLANDS.....: Yes  
WATERSHED.....: Conococheague Creek  
ENDANGERED SPECIES.....: None  
STREAM BUFFER.....: Yes  
HISTORIC INVENTORY.....: No Resources Present  
EASEMENTS PRESENT.....: CNTY-17-696

Staff Comments:

*Not Applicable*



**WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING**

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

**SITE DESIGN**

<b>Impervious Area Plan</b>	<b>Impervious Maximum Allowed</b>	<b>Open Space Area Planned</b>
37		
<b>Open Space Minimum Required</b>	<b>Residential Amenity Plans</b>	<b>Solid Waste Disposal Plans</b>
		Internal Collection
<b>Materials Stored on Site</b>	<b>Buffer Design Meets Requirements</b>	<b>Landscaping Meets Requirements</b>
	Yes	Yes
<b>Lighting Plan Meets Requirements</b>	<b>Pedestrian Access is Adequate</b>	<b>Bus Stop is Within Walking Distance</b>
Yes		
<b>Loading Area Meets Requirements</b>		
		<b>Not Fast Track</b>
<b>Parking Spaces - Total Planned</b>	<b>Parking Spaces - Per Dwelling Unit</b>	
165		
<b>Parking Spaces - Minimum Required</b>	<b>Recreational Parking Provided</b>	
165	No	

**ACCESS SPACING VARIANCE NEEDED: No****SCHOOL INFORMATION**

	<b>ELEMENTARY</b>	<b>MIDDLE</b>	<b>HIGH</b>
<b>SCHOOL DISTRICT</b>	Jonathan Hager	Springfield	Williamsport
<b>PUPIL YIELD</b>			
<b>CURRENT ENROLLMENT</b>			
<b>MAXIMUM CAPACITY</b>			

**PUBLIC FACILITIES INFORMATION**

<b>FIRE DISTRICT.....:</b>	HAGERSTOWN
<b>AMBULANCE DISTRICT.....:</b>	HALFWAY

**WATER & SEWER INFORMATION**

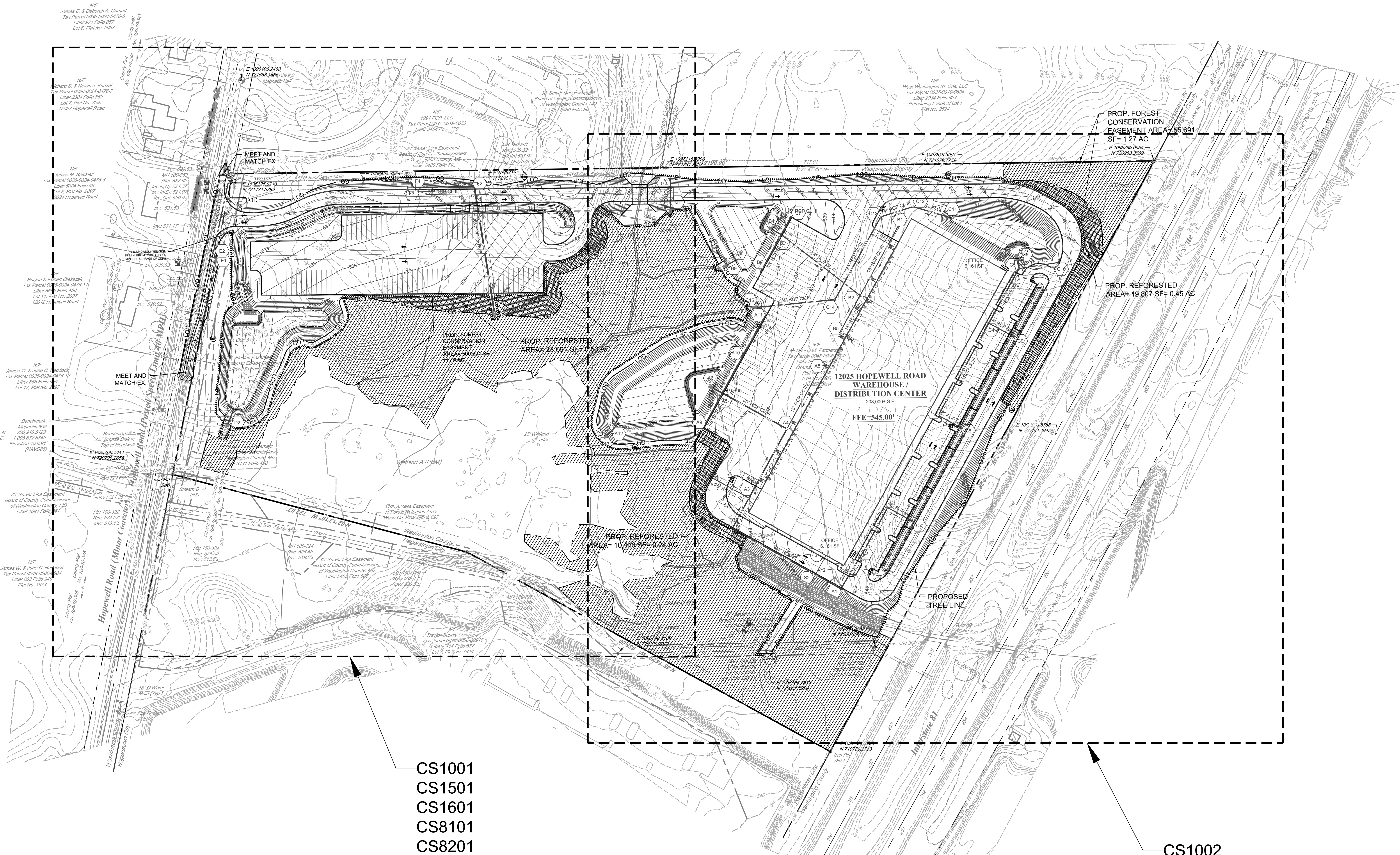
	<b>WATER</b>	<b>SEWER</b>
<b>METHOD.....:</b>	City	County
<b>SERVICE AREA.....:</b>	City	County
<b>PRIORITY.....:</b>	1-Existing Service	3-Programmed Service
<b>NEW HYDRANTS.....:</b>		
<b>GALLONS PER DAY SEWAGE...:</b>		
<b>PLANT INFO.....:</b>		Conococheague







\\cam\mnt\proj\2021\12001 HOPEWELL ROAD\SP-22-028.dwg PLOT DATE: 06/20/2024 10:41 AM BY: NAB & BARRON PROJECT STATUS: —



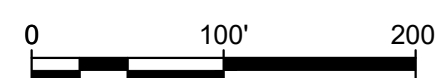
OVERALL SITE PLAN GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DESIGN OF A 208,000± S.F. WAREHOUSE/DISTRIBUTION FACILITY AND RELATED SITE IMPROVEMENTS.
2. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES.
3. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURES. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR LAND DEVELOPMENT APPROVAL PURPOSES ONLY. REFERENCE BUILDING ARCHITECTURAL DRAWINGS APPROVED AS PART OF THE BUILDING PERMIT PROCESS FOR EXACT BUILDING DIMENSIONS AND CONTROLS.
5. ALL LINE STRIPING SHALL BE IN ACCORDANCE WITH WASHINGTON COUNTY AND MDSHA STANDARDS.
6. MINIMUM CURB LINE RADII SHALL BE 5 FEET UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
8. THE SIDEWALK SYSTEMS AND ACCESS POINTS INTO THE BUILDING AS SHOWN ON THIS PLAN ARE CONCEPTUAL AND ARE FOR LAND DEVELOPMENT PLANNING PURPOSES ONLY.
9. NO SIGNS HAVE BEEN APPROVED BY THIS PLAN. ALL PROPOSED SIGNAGE WILL BE APPROVED AT A LATER DATE AND SHALL CONFORM TO WASHINGTON COUNTY AND MDSHA REQUIREMENTS.
10. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS PREPARED BY PENNONI ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF WASHINGTON COUNTY, AND IN ACCORDANCE WITH MDSHA STANDARDS, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
11. THE MSE RETAINING WALL DEPICTED ON THIS PLAN IS PRELIMINARY AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
12. ALL TRAILER STORAGE PARKING SPACES SHALL BE 12' X 60' AS SHOWN ON THE PLAN.
13. CONTRACTOR SHALL REFER TO THE BUILDING ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF THE BUILDING EXIT DOORS, EXIT RAMPS, TRUCK RAMP RETAINING WALL DETAILS, BOLLARDS, AND RELATED ITEMS.
14. ALL TRUCK COURT AND PARKING LOT PAVEMENT SHALL BE IN ACCORDANCE WITH THE SITE PAVEMENT DETAILS.

OVERALL GRADING & DRAINAGE PLAN GENERAL NOTES:

15. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED PAVEMENT OR GROUND SURFACE UNLESS OTHERWISE INDICATED.
16. ALL FINAL SITE GRADING SHALL BE SMOOTH AND EVEN AND WITHOUT ABRUPT BREAKS OR CHANGES IN GRADE. FINISHED EARTHEN SLOPES SHALL BE ROUNDED TO PROVIDE A UNIFORM AND AESTHETIC LANDSCAPE. GRADING SHALL TIE INTO EXISTING GRADES NO CLOSER THAN 3 FEET FROM ANY PROPERTY LINE UNLESS OTHERWISE AUTHORIZED.
17. NO WORK SHALL OCCUR OUTSIDE OF THE PROPERTY OR RIGHT-OF-WAY LINES UNLESS COVERED BY GRADING OR CONSTRUCTION EASEMENTS.
18. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. PROVIDE MISS UTILITY NOTIFICATION OF UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-410-712-0056 AND OBTAIN MISS UTILITY CLEARANCE PRIOR TO START OF CONSTRUCTION. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.

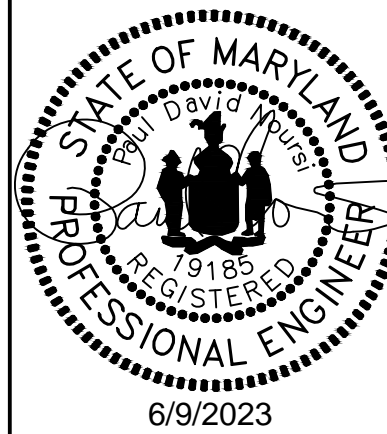
19. ALL EXISTING TREES, VEGETATION, PAVEMENTS, BUILDINGS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
  20. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
  21. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
  22. REFERENCE IS MADE TO THE PROJECT'S GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC, DATED DECEMBER 2, 2021, FOR INFORMATION RELATED TO SUBSURFACE CONDITIONS AND FOR RECOMMENDATIONS ON SITE CONSTRUCTION.
  23. ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T180A STANDARDS.
  24. DUE TO KARST LIMESTONE GEOLOGY AND KARST-RELATED FEATURES WERE OBSERVED DURING THE GEOTECHNICAL EXPLORATION ON THE SITE, THERE IS INCREASED RISK OF SINKHOLE DEVELOPMENT ON THIS SITE. IF ENCOUNTERED, CONTACT A GEOTECHNICAL ENGINEER TO PREPARE REMEDIATION PLAN.
  25. A 15-FOOT CLEARING BUFFER MUST BE PROVIDED AROUND ALL POND EMBANKMENTS.
- OVERALL UTILITY & EASEMENT PLAN GENERAL NOTES:
26. PER THE WASHINGTON CO. INSPECTION AND MAINTENANCE AGREEMENT, THE OWNER GRANTS TO THE COUNTY OR ITS AGENTS AND CONTRACTORS THE RIGHT OF ENTRY AT REASONABLE TIMES AND IN A REASONABLE MANNER FOR THE PURPOSE OF INSPECTING, OPERATING, INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, OR REPAIRING THE STORMWATER MANAGEMENT FACILITIES WITH THE SITE FACILITY MANAGER.
  27. NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAN OF SUBDIVISION.



12001 HOPEWELL ROAD SITE PLAN

12001 HOPEWELL ROAD  
WASHINGTON COUNTY, MARYLAND  
OVERALL SITE KEY MAP  
INDUSTRIAL BUILDING GROUP, LLC  
635 DIVISION STREET  
ELLSWORTH, NJ 07821

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
DISCREPANCIES BEFORE PROCEEDING WITH WORK



**Pennonni**  
PENNONI ASSOCIATES INC.  
1602 Village Market Blvd. SE  
Suite 330  
Leesburg, VA 20175  
T 703.449.0700 F 703.449.6713

NO.	DATE	REVISIONS	BY

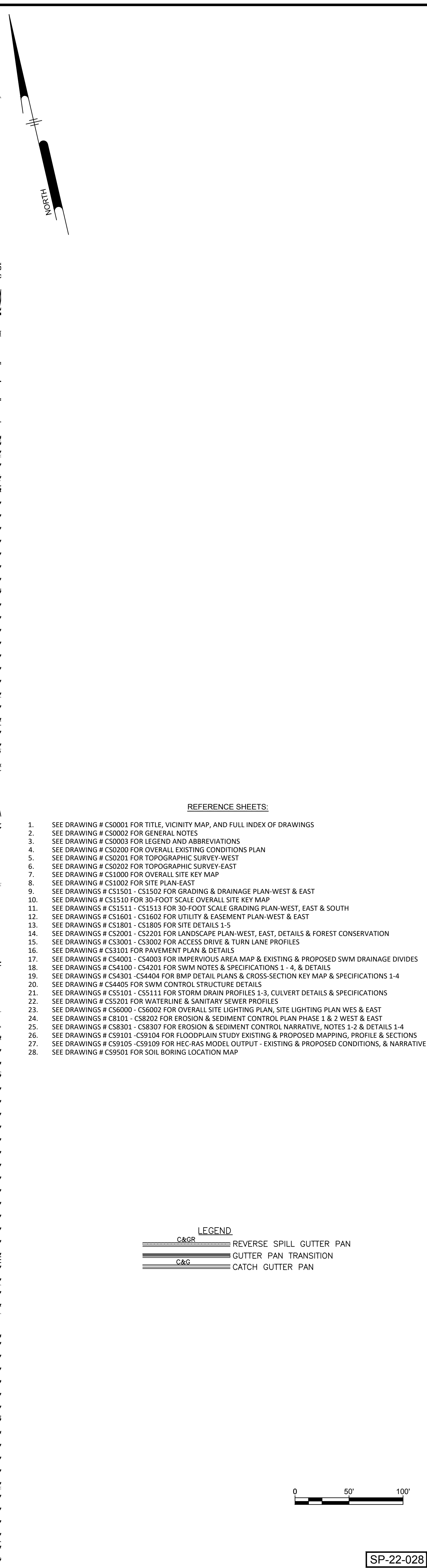
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXISTENCE OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ASSUMPTION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: INDBG22001  
DATE: 2022-10-18  
DRAWING SCALE: 1"=100'  
DRAWN BY: NB  
APPROVED BY: PN

**CS1000**  
SHEET 7 OF 74

SP-22-028

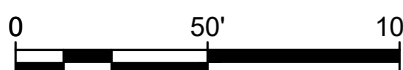




ALL DOCUMENTS PREPARED BY PENNONS ASSOCIATES  
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE  
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED  
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON ANY OTHER  
PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION  
OF PENNONS ASSOCIATES OR PENNONS ASSOCIATES FOR THE  
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS  
SOLE RISK AND WITHOUT LIABILITY TO PENNONS ASSOCIATES  
OR PENNONS ASSOCIATES. PENNONS ASSOCIATES AND OWNER  
SHALL JOINTLY AND SEVERALLY HOLD HARMLESS EACH OTHER  
ASSOCIATED FROM ALL CLAIMS, DAMAGES, LOSSES AND  
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	INDBG22001
DATE	2022-10-18
DRAWING SCALE	1"=50'
DRAWN BY	NB/MR
APPROVED BY	PN/MR
CS	
SHEET	8 OF 74





COPIES MUST BE VERIFIED BY CO-OWNER MUST BE NOTIFIED OF # & DATES BEFORE PROCEEDING WITH PROJECT



12001 HOPEWELL ROAD SITE PLAN  
12001 HOPEWELL ROAD  
WASHINGTON COUNTY, MARYLAND  
SITE LAYOUT PLAN - EAST  
INDUSTRIAL BUILDING GROUP, LLC

[illegible]

ALL DOCUMENTS PREPARED BY PENNONT ASSOCIATES AND INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT, THEY ARE NOT NOTED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONT ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONT ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONT ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING ALTHOUGH OR RESULTING THEREFROM.

PROJECT	INDBG22001
DATE	2022-10-18
DRAWING SCALE	1"=50'
DRAWN BY	NB/MR
APPROVED BY	PN/MR

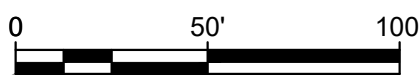
**CS1002**  
SHEET 9 OF 74

SP-22-028







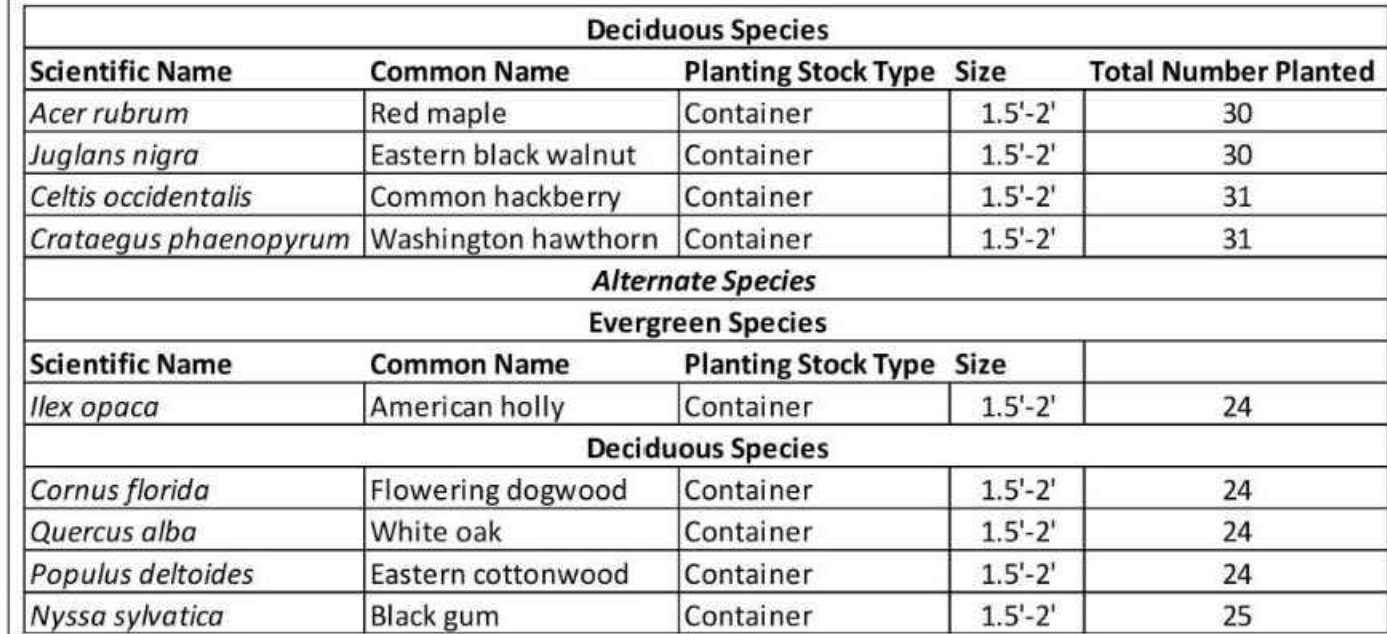


6/9/2023

[illegible]

SHEET 23 OF 74




$$1.22\text{-ac} \times 100 \text{ containers/ac} = 122 \text{ poles}$$

<b>F</b>	<b>O</b>	<b>R</b>	<b>E</b>	<b>S</b>	<b>T</b>	<b>C</b>
<b>P</b>	<b>L</b>	<b>A</b>	<b>N</b>	<b>E</b>	<b>E</b>	<b>D</b>
<b>I</b>	<b>N</b>	<b>D</b>	<b>U</b>	<b>S</b>	<b>T</b>	<b>R</b>
<b>ECS REVISIONS</b>						
<b>ENGINEER</b>			<b>DRAFTING</b>			
<b>AMM</b>			<b>TJW</b>			
<b>SCALE</b>			<b>1" = 100'</b>			
<b>PROJECT NO.</b>			<b>47:12827-E</b>			
<b>SHEET</b>			<b>1 OF 2</b>			
<b>DATE</b>			<b>22 MAY 2023</b>			

**FOREST CONSERVATION PLAN**

**PLANTING PLAN**

**INDUSTRIAL BUILDING GROUP**

12001 HOPEWELL ROAD SITE PLAN  
12001 HOPEWELL ROAD  
WASHINGTON COUNTY, MARYLAND

FOREST CONSERVATION PLAN

INDUSTRIAL BUILDING GROUP, LLC  
633 DIVISION STREET  
ELIZABETH, NJ 07201

[illegible]

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS RISK AND WITHOUT LIABILITY TO PENNONI ASSOCIATES. EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	INDBG22001
DATE	2022-10-18
DRAWING SCALE	1"=100'
DRAWN BY	NB/MR
APPROVED BY	PN/MR
<div style="text-align: center;"> <h1>CS2201</h1> <p>SHEET 26A OF 74</p> </div>	

SP-22-028



July 14, 2023

Dear members of the Washington Co. MD Planning Commission and the Washington Co. MD Board of Commissioners,

We are writing this letter to you to request that the zoning overlay RB be removed from our property located at 8524 Fahrney Church Rd. Boonsboro, MD 21713.

The property was previously owned by San Mar Children's Home in Boonsboro and when they subdivided the land the RB overlay was not removed. As it is now a residential property we are requesting the overlay be removed.

Thank you for your time,

Martin and Colleen Katz  
8524 Fahrney Church Rd.  
Boonsboro, MD 21713  
(301) 651-4625



## Application for Map Amendment Staff Report and Analysis

Property Owner(s)	:	Martin and Colleen Katz
Applicant(s)	:	Martin and Colleen Katz
Location	:	8524 Fahrney Church Road, Boonsboro
Election District	:	#6 – Boonsboro
Comprehensive Plan		
Designation	:	Agriculture
Zoning Map	:	63
Parcel(s)	:	P. 328
Acreage	:	9.39 acres
Existing Zoning	:	RB – Rural Business
Requested Zoning	:	A(R) – Agricultural, Rural
Date of Meeting	:	August 7, 2023

### I. Background Information

#### a. Location and Description of Subject Properties



The proposed rezoning site is located at 8524 Fahrney Church Road, immediately south of San Mar Children's Home and west of Fahrney Keedy Senior Living Community. The total acreage of the parcel is currently given the Rural Business floating zone (RB) designation atop a base zoning of Agricultural Rural (AR).

The property is currently improved by a single-family dwelling and contains woodlands with an intermittent stream, and agricultural land. A 2-acre forest conservation easement encumbers the southernmost portion of the woodland.



**a. Rural Business Floating Zone Removal Criteria**

The applicant is requesting a full termination of the Rural Business (RB) floating zone previously applied to the property in 2015 (RZ-14-002). Section 5E.8 of the Zoning Ordinance describes the criteria for the full removal of the floating zone:

**b) Full Termination**

*An individual property owner may submit a written request to the Planning Commission to remove the entire RB floating zone district from their property at any time. The Planning Commission shall review such a request at one of their regular meetings and make a recommendation to the Board of County Commissioners as to whether or not to grant the request. The Board of County Commissioners may then approve or deny the request without a public hearing. Should the Board of County Commissioners approve the property owner's request to remove the RB floating district, the land will be restored to its underlying zoning district.*

**II. Staff Analysis and Conclusion:**

The applicant has met the criteria described above for the partial termination of the existing RB through the submission of letter dated July 14, 2023, describing their request. The letter details the circumstances which lead to the creation of Lot 3, as it was subdivided off from San Mar Children's Home in 2022 and sold to the current owner. The applicant intends to construct an addition to the property to house their parents.

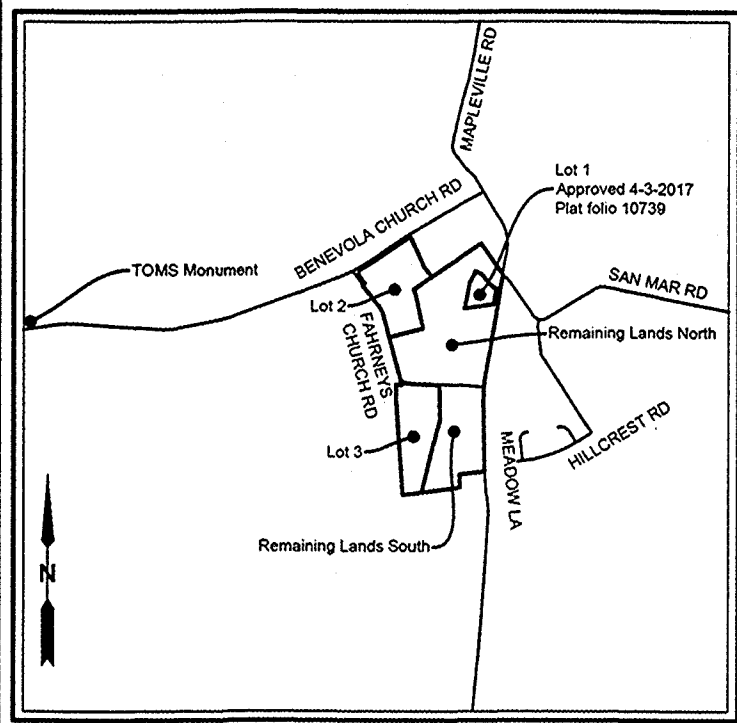
Most residential uses are not permitted by the current RB Zoning applied to the property, including the proposed addition. The full termination of the existing RB district would therefore enable the intended expansion of the residential use to occur. The applicant would merely need to meet the requirements of the underlying Agricultural Rural (AR) zoning already affixed to the property in expanding the existing residential use at this location.

The requested change would therefore constitute a voluntary downzoning to a less intensive land use on the existing parcel. Accordingly, this intended switch to a less intensive use would be unlikely to negatively impact neighborhood character or public infrastructure in the area.

Respectfully Submitted,

Travis Allen  
Comprehensive Planner





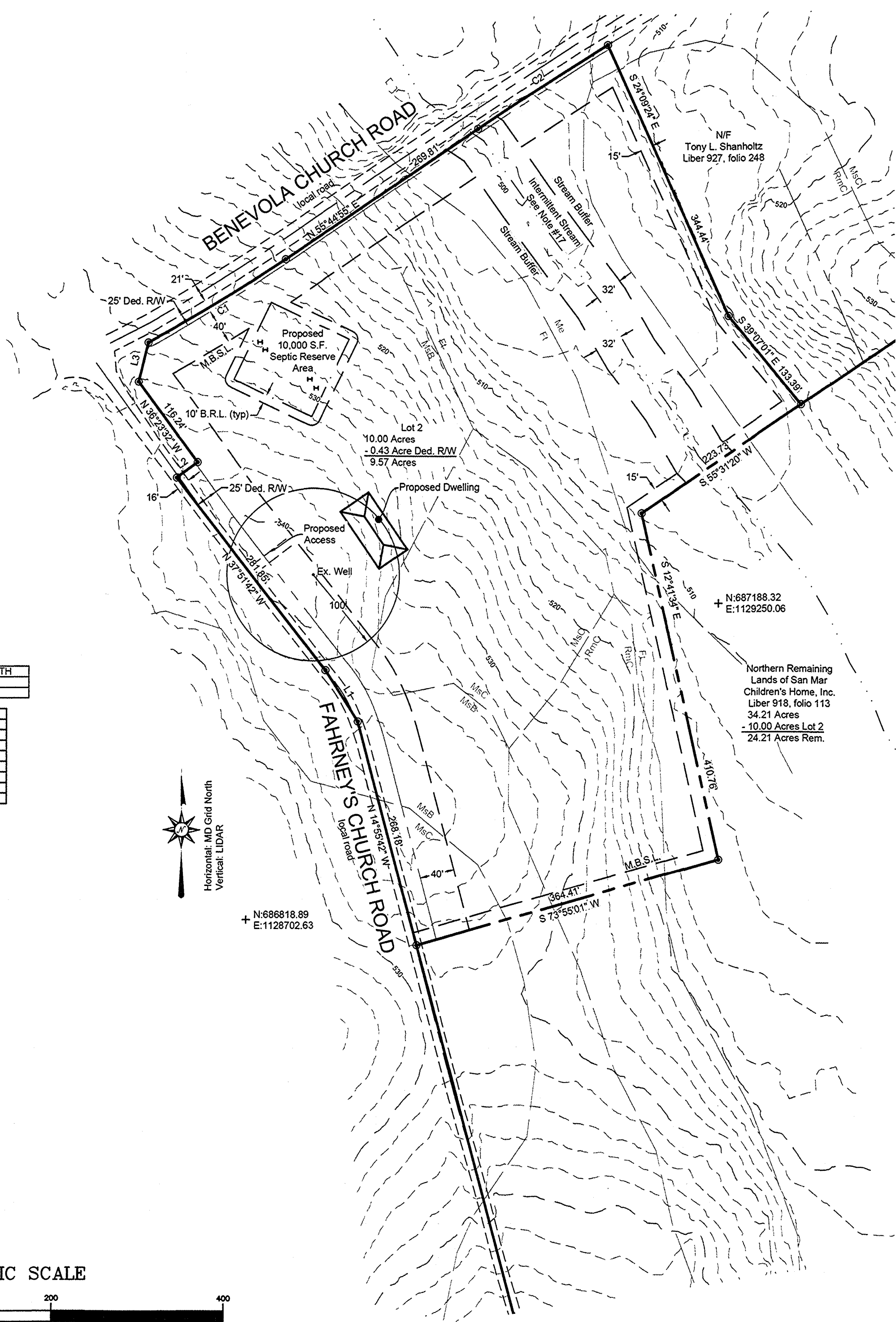
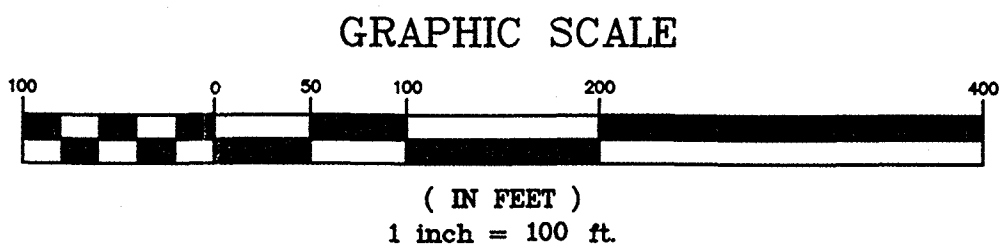
VICINITY MAP  
SCALE 1"=2000'

Sheet Index	
Sheet 1	Lot 2 Plan
Sheet 2	Lot 3 Plan
Sheet 3	Notes and Signatures

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1929.86'	186.94'	5°33'00"	N 58°31'25" E	186.86'
C2	5709.58'	179.65'	1°48'10"	N 56°39'00" E	179.64'

LINE	BEARING	DISTANCE
L1	N 32°29'07" W	70.12'
L2	N 53°41'32" E	30.00'
L3	N 13°50'59" E	47.16'
L4	N 59°26'29" W	49.13'
L5	S 83°27'20" E	57.75'
L6	N 14°55'42" W	46.71'

LINE	BEARING	DISTANCE
F1	N 54°03'04" E	177.38'
F2	N 08°34'20" E	204.13'
F3	N 20°00'39" E	66.26'
F4	S 84°57'04" E	134.94'
F5	S 15°09'45" W	54.34'
F6	S 13°36'14" W	461.35'
F7	S 82°20'07" W	197.91'
F8	N 04°02'33" W	171.80'



PLAT NO **11366**  
DATE **JAN 14 2022**  
WASHINGTON COUNTY

Preliminary/Final Subdivision  
OF  
Lots 2 and 3  
FOR  
San Mar Children's Home, Inc.  
SITUATE ALONG BOTH SIDES OF FAHREY CHURCH ROAD  
BOONSBORO  
WASHINGTON COUNTY, MARYLAND

PROJECT NO.	1608.2
DWN BY	DATE
LEJ	10.7.2021
PRJ. MANAGER	EMAIL
EJS	ESchreiber@isa-inc.com

66-024963  
63-24-117  
SCALE  
1" = 100'

SHEET TITLE

PLAT OF  
SUBDIVISION

**S-21-048**  
SHEET 01 OF 03

Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.  
License # 10791  
Expiration Date 11/15/2024

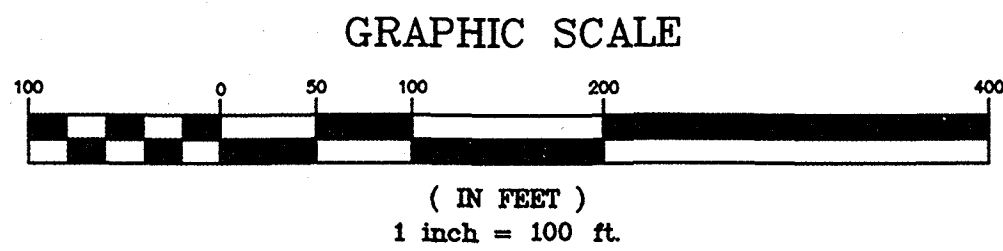
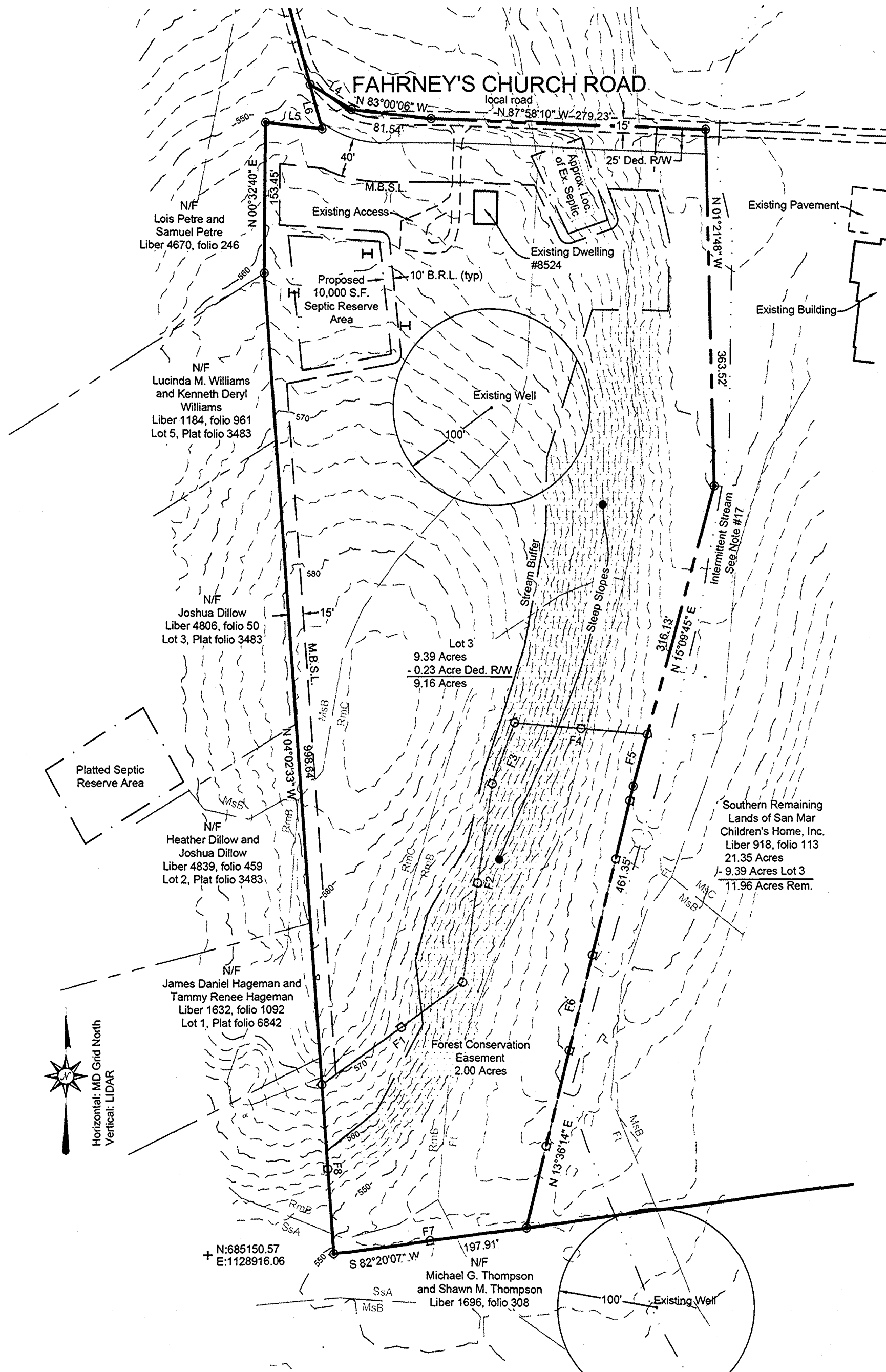
**FSA**  
FREDERICK, SEIBERT & ASSOCIATES, INC.  
© 2021  
128 SOUTH POTOMAC STREET  
PACERSVILLE, PA 17251  
717.537.1107  
20 WEST BALTIMORE STREET  
GREENSBORO, PA 17225  
717.537.1107  
5801 SPRING ROAD  
SEWANDALE, PA 17020  
717.567.3800  
isa-inc.com





LP - Plat Fee - 5.00  
Subdivision Name: San  
Mar  
Ref: 11367  
01/17/2022 10:05 C021-R  
#15701942 C00403 -  
Washington  
County C004 03.04 -  
Register 04

Owner:  
San Mar Children's Home, Inc  
8504 Mapleville Road  
Boonsboro MD 21713



PLAT NO **11367**  
DATE **JAN 14 2022**  
WASHINGTON COUNTY

Preliminary/Final Subdivision  
OF  
Lots 2 and 3  
FOR  
San Mar Children's Home, Inc.  
SITUATE ALONG BOTH SIDES OF FAHRNEY CHURCH ROAD  
BOONSBORO  
WASHINGTON COUNTY, MARYLAND

PROJECT NO. 1608.2  
DWN BY LEJ DATE 10.7.2021  
PRJ. MANAGER EJS EMAIL ESchreiber@fisa-inc.com

06-024963  
63-24-117  
SCALE 1" = 100'

SHEET TITLE

PLAT OF  
SUBDIVISION  
**S-21-048**  
SHEET 02 OF 03

Professional Certification:  
I hereby certify that these documents were prepared  
or approved by me, and that I am a duly licensed  
professional under the laws of the State of  
Maryland.  
Expiration Date 1.18.2024

**FSA**  
FREDERICK, SEIBERT & ASSOCIATES, INC.  
© 2021  
128 SOUTH POTOMAC STREET  
HAGERSTOWN, MD 21740  
301.791.3600  
20 WEST BALTIMORE STREET  
GREENCASTLE, PA 17225  
717.507.1007  
505 SOUTH HANOVER STREET  
CARLEISLE, PA 17033  
717.701.8111  
5301 SPRING ROAD  
SEWAMAR, PA 17380  
717.501.3800  
fisa-inc.com





**Forestation General Notes:**

- Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.
- This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.
- The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

**Forest Conservation Sequence of Construction**

- All temporary protection devices and/or permanent devices shall be put into place.
  - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
  - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
  - All temporary fencing shall be in place prior to any grading or land clearing.
  - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
  - Attachment of signs or any other objects to trees is prohibited.
  - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

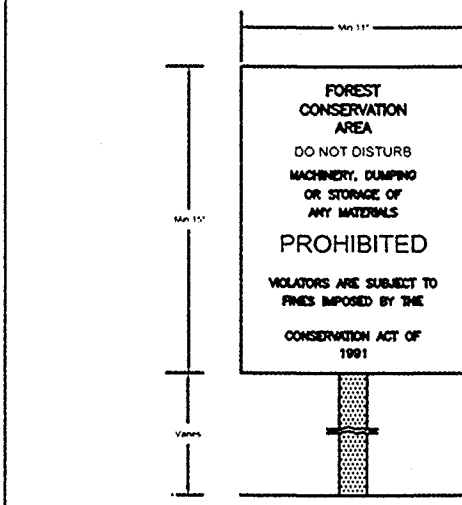
**Forestation Qualified Professional**

I certify that I am a qualified professional per requirements of COMAR 08.18.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Easement Plat is accurate and complete.

*Shannon Stotler*

**FOREST CONSERVATION WORKSHEET 2.2 (Lot 2)**

<b>NET TRACT AREA</b>	
A. Total Tract Area	= 10.00 Ac.
B. Deductions	= 0.00 Ac.
C. Net Tract Area	= 10.00 Ac.
<b>LAND USE CATEGORY AREA</b>	
D. Afforestation Threshold (Net Tract Area x 20%)	= 2.00 Ac.
E. Conservation Threshold (Net Tract Area x 50%)	= 5.00 Ac.
<b>EXISTING FOREST COVER</b>	
F. Existing Forest Cover within the Net Tract Area	= 0.00 Ac.
G. Area of Forest Above Conservation Threshold	= 0.00 Ac.
<b>BREAK EVEN POINT</b>	
H. Break Even Point	= 0.00 Ac.
I. Forest Clearing Permitted Without Mitigation	= 0.00 Ac.
<b>PROPOSED FOREST CLEARING</b>	
J. Total Area of Forest to be Cleared	= 0.00 Ac.
K. Total Area of Forest to be Retained	= 0.00 Ac.
<b>PLANTING REQUIREMENTS</b>	
L. Reforestation for Clearing Above the Conservation Threshold	= 0.00 Ac.
M. Reforestation for Clearing Below the Conservation Threshold	= 0.00 Ac.
N. Credit for Retention above the Conservation Threshold	= 0.00 Ac.
P. Total Reforestation Required	= 0.00 Ac.
Q. Total Afforestation Required	= 2.00 Ac.
R. Total Planting Requirement	= 2.00 Ac.



**REFORESTATION PROTECTIVE MEASURES SHALL BE INSTALLED WITHIN 30 DAYS OF SUBDIVISION PLAT APPROVAL. AFTER INSTALLED NOTIFY PLANNING DEPARTMENT (240-313-2430) FOR AN INSPECTION.**

Construction Signs and Permanent Signs

**Tracking Notes**

- This residential subdivision plat is subject to all applicable local, state and federal laws and regulations. Any further potential of subdivision of any lots or remaining lands created by this subdivision is subject to the requirements of the Maryland Annotated Code, Environment Article, Section 9-206 and all applicable local, state and federal laws and regulations.
- In accordance with the requirements of the Maryland Annotated Code, Environment Article, Section 9-206, upon recordation of this plat, a total of 2 residential lots, plots, building sites, or other divisions of land have been created from the parent parcel or tract since October 1, 2012. In accordance with Maryland Annotated Code, Environment Article, Section 9-206, and subject to all other applicable local, state and federal laws, there are not more than 5 (remaining) residential lots, plots, building sites, or other divisions of land allowed as a subdivision.
- This residential minor subdivision may not be resubdivided or further subdivided into an additional building lot(s). Please note, for a simplified plat, notes 1 and 2 will apply. However, any new lot created under a simplified plat and denoted "not for development" will not be counted toward the 7 lot limit until such lot is submitted as a residential subdivision final plat.

**Maryland State Endangered Species Notice**

The Maryland DNR Wildlife and Heritage Service has determined that habitat of state-listed rare, threatened or endangered species occur in the immediate vicinity of this project site. Present and future property owners are encouraged to undertake the following voluntary protection measures to ensure protection of this habitat:

**PROTECTION MEASURES FOR AQUATIC HABITATS SUPPORTING RARE, THREATENED AND ENDANGERED SPECIES**

- Pursue environmentally sensitive design to address stormwater runoff by promoting the use of nonstructural best management practices to the maximum extent. The goal is to mimic natural infiltration patterns across the site in order to maintain natural hydrology.
- Methods to pursue include the use of sheet flow to buffers, vegetated channels to convey road runoff (i.e. roadside swales), disconnection of roof and non-roof runoff, methods of bioretention such as rain gardens.
- Reduce impervious cover as outlined in the MDE stormwater management manual section 5, which is available online at their website. In addition to these methods, options to pursue include the use of shared parking/driveways and pervious materials wherever possible.
- Locate impervious surfaces as far as possible from permanent and intermittent streams and their floodplains.
- In order to minimize risk of sedimentation in the aquatic and wetland habitats and to minimize changes to the hydrology of these habitats:
- Minimize clearing and retain forest. The limits of disturbance should be the minimum needed to build homes, allow access and provide fire protection. Conduct clearing and construction in phases in order to avoid having large areas cleared at one time. Pursue clustered development in order to allow retention of large blocks of contiguous upland forest along streams and wetlands.
- Stabilize soil - Stabilization should occur immediately (within 24 hours). Special effort should be made to retain fine particle silt, sand and clay sediments including the incorporation of redundant/additional control measures in the sediment and erosion control plan to ensure maximum filtration of any sediment-laden runoff (e.g., accelerated stabilization, two rows of silt fence spaced 8 ft apart or more, super silt fence instead of silt fence, etc.).
- Inspect frequently - All measures should be inspected daily to ensure that they are functional from the very initial stages through final construction, and any problems should be corrected immediately.
- Provide a minimum 100 ft undisturbed forested upland buffer to permanent and intermittent streams and non tidal wetlands. Avoid disturbing steep slopes (15% slope or greater) and areas of highly erodible soils.

**General Notes**

- 10,000 square feet is hereby reserved for sewage disposal. No permanent physical objects are permitted in this area.
- There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and utilities easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
- Bearings, distances and coordinates are based on MD Grid NAD83.
- Soil types are as shown hereon.
- Minimum Building Setbacks: front yard-40'; side yard-15'; rear yard-50'. Minimum Building Setback Lines are based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory Structures are not permitted without the placement of the principal permitted structure. Zoned A(R) - Agricultural (Rural).
- Total upstream watershed affecting this subdivision: is less than 400 Acres.
- This parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24043C0320D dated August 15, 2017, Flood Zone X.
- Contours based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc.
- There are no floodplains and other related buffers as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (c&d) of the Washington County Zoning Ordinance. This subdivision is not within 1000' of the Appalachian Trail.
- No other wells or septic lines within 100 feet of the Lot Lines.
- All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
- No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement, either shown or described, on the Final Plat of Subdivision.
- This plat has been reviewed and approved per the A(R) Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
- This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on this property.
- Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- The remaining lands are not legally established lots under COMAR 26.04.03 and may not be considered for development until such time as either the parcels can be served by a community sewage disposal system or evaluation of the parcels demonstrates that the parcels meet the provisions set forth in the Code of Maryland Regulations for subdivision of land in place at the time the proposal is submitted. Furthermore, development must be consistent with applicable State and County Codes, regulations, and laws, and the parcel may not be served by non-convention means of on-site sewage disposal.
- The intermittent streams shown hereon are subject to 32' and 64' stream buffers based on 8% and 16% slopes, respectively. On Lot 3, the stream buffer shown is larger than normal due to steep slopes adjacent to the stream. If steep slopes were not present, the stream buffer would be 64' from the western bank.

**SENSITIVE AREA NOTICE**

The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

**ADDRESS ASSIGNMENTS:**

Lot 2 - 8656 Fahney's Church Road

Note: Each address is based on the entrance as shown on this plat. If the driveway is constructed at a different location from that shown hereon, the address listed above may VOID and the owner/developer of the lot must reapply to the Planning Commission for a new address assignment.

**Soil Table**

Soil	Area (Ac.)	%
Ft	3.6	19
Me	1.6	8
MsB	6.2	32
MsC	1.7	9
RmB	1.8	9
RmC	4.4	23
SsA	0.1	<1

**Dedication for Corporations**

We, Ryan Lampton, President and Mark Halsey, Vice President, of San Mar Children's Home, Inc., do hereby certify that the corporation is a legal and true owner of the property shown and described on this plat and that the corporation does adopt this Plan of Subdivision, establish the minimum building restriction lines, dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, agree to keep open all spaces and recreation areas shown and agree that the dedications shall not impose any responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and we hereby reserve the fee simple area to the land underlying said easements, rights of way, open spaces, and recreation areas, and with regard to the said easements and rights of way, hereby agree to convey the same to said Board, for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board.

This deed and agreement of dedication shall be binding upon the corporation's grantees, assigns, and successors.

Witness our hands and seals this 10/14/21 day of October, 2021.

*Ryan Lampton, President* (Seal)  
*Mark Halsey, Vice President* (Seal)

**Interim Facilities Provision Certification**

In compliance with C.O.M.A.R. 26.03.01.05 B.(1) and (2), the individual water supply and individual sewer systems are hereby permitted on a temporary interim basis. Future lot owners are advised that the individual systems serving the lot(s) indicated on this plat are of a temporary interim nature and that connection to a future community system shall be made within one (1) year or less after the system become available.

*Carl E. Spence* (Seal)  
County Health Officer

**Certificate of Approval of Individual Water Supply and Individual Sewer System**

I hereby certify that the minimum ownership area complies with the minimum width and minimum area requirements specified in C.O.M.A.R. 26.04.03.03. Such minimum ownership shall remain equal to the minimum width and minimum area set forth in C.O.M.A.R. 26.04.03.03 (2) until community sewerage and water have been made available. Not more than one principle building may be erected or constructed on a lot or lots contained in the minimum ownership areas established by C.O.M.A.R. 26.04.03.03 (2) until community sewerage has been made available.

Date: 11/1/2022

**Land Surveyor's Certification**

I hereby certify that the plan shown hereon is correct; that it is a subdivision of part of the lands conveyed by Milton McKann, Susan E. Beaver, Paul H. Fryer, Mary Fitzwater, Lois Harrison, Florence Graff, Leona Gruber, John R. Hershey, Jr., Leonard Humelstine, Joseph O. Gardenhour, Joann Snyder, and Marilyn Harper, as all of the surviving members of the last known Board of Directors of the Peter Gray Orphans' Home and Mechanical Institute of Washington County, Maryland, Incorporated, to San Mar Children's Home, Inc., by deed dated June 5, 1989, and recorded in the Land Records of Washington County, Maryland in Liber No. 918, folio 113; and that stones marked D and/or bars marked O have been placed as indicated.

I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the Laws of the State of Maryland, License No. LS-10731 Expiration Date 1/16/2024.

*Carl E. Spence* (Seal)  
Professional Land Surveyor

Date: 11-10-2022

**Real Estate Transfer Declaration of Intent (Lot 3)**

Account # 06-024963 District 06 Map 63 Grid 24 Parcel 117

Name(s): San Mar Children's Home, Inc.

Location: 8524 Fahney Church Road, Boonsboro 21713

Current Deed Reference(s): Liber 918 Folio 113

I (We), San Mar Children's Home, Inc., the Owner(s) of the real property located at 8524 Fahney Church Road, and described in the above referenced deed(s) hereby declare my (our) intention to invoke the real estate transfer exemption for the above property, in accordance with the provisions of the Washington County Forest Conservation Program and COMAR 08.18.01.04, for a period of at least five (5) consecutive full taxable years following this date.

This declaration grants an exemption for a real estate transfer to provide a security, threshold or other legal or equitable interest, including a transfer of title, of a portion of a lot or parcel based on the Washington County Forest Conservation Program. If the Owner makes application for an activity regulated under the Forest Conservation Program, clears more than 20,000 square feet of forest, or violates the requirements of a previous Forest Conservation Plan on all or part of the parcel within the five (5) year period, Washington County may require the owner to meet the forest conservation threshold established in the Forest Conservation Program and COMAR 08.18.03, and may also assess a noncompliance fee for forested areas out in violation of this exemption.

I (We) declare, under the penalties of law, that this declaration, including any accompanying forms and statements, has been examined by me (us) and the information contained herein, to the best of my (our) knowledge, information, and belief, is true, correct and complete.

Signature(s): *[Signature]*

Owner: Ryan Lampton, President, San Mar Children's Home, Inc.

Date: 10/14/21

**Certificate of Approval**

**FINAL APPROVAL GRANTED**

DATE: 11/6/2022

By: *[Signature]*

Washington County Planning Commission  
Final Approval good for one hundred eighty (180) days from above date

PLAT NO 11368  
DATE JAN 14 2022  
WASHINGTON COUNTY

**Professional Certification**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland, License # 10731, Expiration Date 1/16/2024.

*[Signature]*

**FSA**  
FREDERICK SEIBERT & ASSOCIATES, INC.  
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301 SPRING ROAD  
SHERMAN DALE PA 17009  
717.567.3880

555 SOUTH HANOVER STREET  
CARLE PA 17013  
717.701.8111

20 WEST BALTIMORE STREET  
GREENSBORO PA 17225  
717.537.1007

128 SOUTH HANOVER STREET  
HAGERSTOWN MD 21740  
301.791.3860

**Preliminary/Final Subdivision OF Lots 2 and 3 FOR San Mar Children's Home, Inc. SITUATE ALONG BOTH SIDES OF FAHNEY CHURCH ROAD BOONSBORO WASHINGTON COUNTY, MARYLAND**

PROJECT NO. 1608.2  
DWN BY LEJ DATE 10.7.2021  
PRJ. MANAGER EJS EMAIL ESchreiber@fse-inc.com  
06-024963  
63-24-117  
SCALE 1" = 100'  
SHEET TITLE

**PLAT OF SUBDIVISION**

**S-21-048**

**SHEET 03 OF 03**







## WASHINGTON COUNTY SOIL CONSERVATION DISTRICT

1260 Maryland Avenue, Suite 101 • Hagerstown, MD 21740  
(301)797-6821, Ext. 3

facebook.com/wcscd  
www.conservationplace.com

TO: Jill Baker, Director  
Travis Allen, Comprehensive Planner  
Department of Planning and Zoning

FROM: Dee Price, CESSWI, CSI, District Manager   
Mark Kendle, CSI, Programs Technician / Office Coordinator 

DATE: July 19, 2023

SUBJECT: FCA Candidate

We have attached information regarding two landowners who have expressed interest in moving forward with creating a Forest Conservation Easement on their properties. The parcels were evaluated and scored using the adopted ranking criteria for existing forested sites.

We have provided the information below for the sites, as well as, a summary spreadsheet with our cost-estimates and ranking scores:

1. Map of subject properties
2. Descriptive paragraph for each property prepared by the DNR County Forester, Robert Schwartz
3. Project Ranking Sheet
4. Cost-Estimate Spreadsheet

We look forward to presenting these candidates for consideration at the August Planning Commission Meeting and will be happy to answer any questions and provide any further information prior to and/or at that time.

Please contact our office at 301-797-6821, Ext. 3 if you have any questions.

### District Board of Supervisors

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Treasurer

Janet Stiles Fulton  
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Supervisor

Boyd Michael  
Associate

J. Tyler Harp  
Associate

Kirk E. Winders  
Associate



# Proposed Forest Conservation Easement

Philip Baker-Shank  
6720 Remsburg Road  
Sharpsburg, MD 21782

MPV: 22-12-000634





Landowner: Bakershenk

Prepared by: Robert Schwartz, Forester

The potential easement encompasses 6.87 acres on a single parcel (Tax Map 72, Parcel 117) located between Remsburg Road and the C&O Canal National Historical Park (C&O Canal NHP). The existing vegetation consists of high-quality, low-elevation cove hardwoods dominated by sugar maple, chinkapin oak, black walnut, and American basswood though numerous other species also grow on the property. Cove hardwoods are species that thrive in high-nutrient, often alkaline soil types with adequate moisture. These forests often form in “coves” where sediment accumulates and are generally rare on the landscape as many have been converted to agriculture. The understory is primarily a mixture of pawpaw and spicebush thickets. The groundlayer of these forests often have numerous wildflowers and/or ferns with this property being no exception. Jack-in-the-pulpit, Christmas fern, Virginia wildrye, bottlebrush rye, smooth avens, Philadelphia fleabane, spring beauty, and other spring ephemeral wildflowers are all found here. In general, there are a number of invasive species on the property but their prevalence is low. Ailanthus is growing near the disturbed boundary with another property while several invasive species including shrubs, vines, and herbaceous species are surviving in the shade but are being suppressed by the healthy native species’ growth.

This forest type represents an older forest community, and is in contrast to much of the surrounding area. Rather than being cleared for agriculture, it is likely this stand was logged in the distant past but was used primarily for grazing, or simply allowed to grow, more recently as it is far more developed and diverse than nearby properties. Forest successional dynamics still operate here mostly unimpeded, as well. As an example, a large red oak fell several years ago creating a gap in the forest canopy. While these gaps often fill with fast-growing invasive species nowadays, this stand has filled in with primarily sunlight-dependent native species such as oaks, hickories, and grasses as would have happened without invasive species pressure. Additionally, several large, “wolf” or open-grown trees are located on the property lines. Given their size, these trees may date from around the time of the Civil War when the area was primarily open, having been cleared for agriculture.

On a landscape level, the potential easement connects several hundred acres of other proposed Forest Conservation Easement properties with the C&O Canal NHP. This connection to an important wildlife travel corridor in the C&O Canal NHP improves the functionality of these FCA easements for wildlife, making them all more valuable pieces of conservation property.



**Maryland Forest Service**

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**WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE  
PAYMENT IN LIEU PROGRAM  
EXISTING FOREST PROJECT RANKING CRITERIA**

**PROJECT NAME**                      **Phil & Charlotte Bakershenk - 6720 Remsburg Road, Sharpsburg, MD 21782**

**TO BE CONSIDERED FOR PROGRAM INCLUSION, THE EXISTING FOREST MUST MEET THE DEFINITION OF "FOREST" CONTAINED IN THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE**

Ranking Factor		Description	Maximum Total Points	Score	Notes
1	Adjacent to perennial or intermittent stream	Perennial stream (10 pts.), Intermittent (5 pts.), No stream (0 pts.)	10	10	Potomac River
2	Connects forest "Islands" creating forested corridors	Forested corridor is at least 300' wide (10 pts.), 200' wide (5 pts.), does not create corridor (0 pts.)	10	10	
3	Adjacent to critical habitat	Adjacent to Class III Trout Waters with natural populations of trout (10 pts.), within Class III watershed (5 pts), wetlands (3 pts.), No critical habitats (0 pts.)	10	3	Will protect entirety of main stormwater drainage channel to the Potomac River.
4	Contiguous forest cover	Easement will increase forest to 100 acre block (5pts.), 50 acres(3 pts.), will not adjoin existing forest (0 pts.)	5	0	
5	100 year floodplain	Easement will cover 100% of 100 year floodplain (5 pts.), 50% (3 pts.), 0% (0 pts.)	5	5	Encompasses entire reach of 100 year floodplain on the property.
6	Site access	Easily accessible , maintenance and long term monitoring, (10 pts)	10	10	
7	Site conditions, including control of non-native/invasive plant species	Adequately stocked forest of predominately native tree and shrub species of good health and vigor(10 pts.), over or under stocked forest with no greater than 20% non-native/invasive species and landowner has demonstrated commitment to control (5 pts.), requires extensive invasive control (0 pts.)	10	10	
8	Total existing forest area	> 5 acres (10 pts.), 2-5 acres (5 pts.), < 2 acres (1 pt.)	10	10	6.87 Acres
	Watershed location	Located in Antietam or Conococheague watershed (10 pts.)	10	0	
9	Sensitive species Identified	Sensitive species area Identified for site and no adverse effects from project (5pts.), no sensitive species area Identified for site, (0pts.)	5	0	
<b>TOTAL POINTS POSSIBLE</b>			<b>85</b>	<b>58</b>	

\*Connects to C&O canal property owned by National Park Service.\*

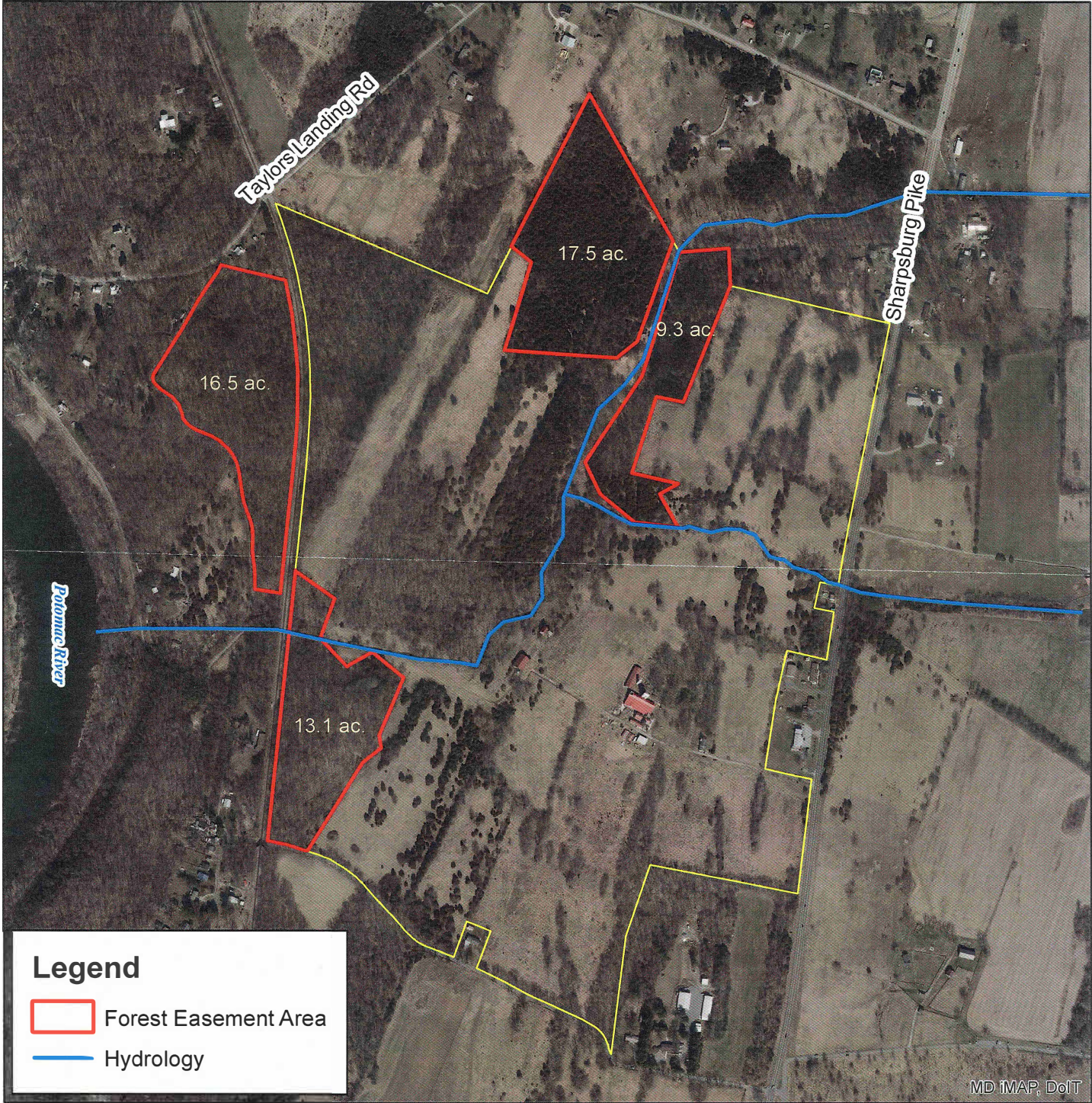
\*Wolf / Witness trees observed on site\*



# Foltz Property Forest Conservation Easement

DAVID A. FOLTZ  
6500 Sharpsburg Pike  
Sharpsburg, MD 21782  
MPV: 22-01-010549

Total Acres: 249.25  
Total Approximate Acres in Forest Conservation Easement: 56.4



MD 1MAP, DoIT



Landowner: Foltz

Prepared by: Robert Schwartz, Forester

The potential easement encompasses four existing forest areas totaling approximately 56.4 acres adjacent to a small, unnamed tributary to the Potomac River on the Foltz property. This potential easement is contained on one parcel (Tax map 72 Parcel 004) along the west side of Sharpsburg Pike.

The existing forest on the southern, 13.1 acre, and western, 16.5 acre, sections of proposed easement, surrounding the CSX Railroad tracks, are the highest quality on the property. These areas feature a middle aged to older oak-hickory forest dominated by white oak, chinkapin oak, shagbark hickory, hackberry, and other native species. Several species of spring ephemeral wildflowers were noted including cutleaf toothwort, mayapple, and jack-in-the-pulpit. The midstory contains native tree species regeneration, spicebush, and invasive shrub species. The invasive shrubs can be controlled through good forest stewardship and do not threaten the long-term prospects for this forest remaining as forest. The 16.5 acre western forest area also contains several 'wolf' trees. These wolf trees grew up along property lines during a period when the surrounding landscape was largely cleared for agriculture, thus retaining their lower limbs and avoiding being felled due to potential property disputes. Based on their size, several of these trees began growing around the time of the Civil War and may have witnessed the Battle of Antietam.



*Figure 1: Wolf oak located on the 16.5 acre section of existing forest.*

The existing forest on the northern, 17.5 acre, section of proposed easement is primarily eastern red cedar thicket mixed with mid-successional hardwood species. Eastern red cedar thickets are early-successional forests utilized by numerous wildlife species during the year. In the winter, these areas provide much needed thermal cover while in the spring and summer they provide nesting material as well as cool respite from the heat. Areas of this forest are beginning to succeed into middle-aged hardwoods such as black walnut, oak, and red maple. Some invasive species are present, including autumn olive, but the deep shade cast by the eastern red cedar mostly precludes them.

The fourth, eastern-most section of proposed easement is 9.3 acres in size. Part of this area was planted through the Conservation Reserve and Enhancement Program (CREP) many years ago for water-quality benefits and has developed into a very successful riparian forest buffer. Riparian forest buffers protect and shade streams to keep the water cold and clear of excess nutrients and so these patches of forest are highly beneficial on the landscape. Areas with more open canopy have dense populations of wingstem, New York ironweed, and other wildflowers near the unnamed tributary to the Potomac River.



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Wes Moore, Governor  
Aruna Miller, Lt. Governor  
Josh Kurtz, Secretary  
David Goshorn, Deputy Secretary

Young oaks, hickories, hackberry, red maple, and black maple dominate other, previously existing areas of forest in the uplands near the CREP planting. This is also the only documented location of October Ladies' Tresses orchid (*Spiranthes ovalis erostellata*) on private land in Washington County, per the Maryland Biodiversity Project and iNaturalist, with the only other location being Antietam National Battlefield.

Surrounding land uses are mostly composed of agricultural and forest land. These particular pieces of forest are important on the landscape, however, as they connect several other large blocks of forest, improving the quality of habitat for wildlife species, and preserving the landscape in a historic nature for nearby C&O Canal National Historical Park and Antietam National Battlefield visitors.



Figure 2: October Ladies' Tresses orchid supports a number of unique pollinator species.



#### Maryland Forest Service

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**WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE  
PAYMENT IN LIEU PROGRAM  
EXISTING FOREST PROJECT RANKING CRITERIA**

**PROJECT NAME**

**David Foltz - 6500 Sharpsburg Pike, Sharpsburg, MD 21782**

**TO BE CONSIDERED FOR PROGRAM INCLUSION, THE EXISTING FOREST MUST MEET THE DEFINITION OF "FOREST" CONTAINED IN THE  
WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE**

Ranking Factor		Description	Maximum Total Points	Score	Notes
1	Adjacent to perennial or intermittent stream	Perennial stream (10 pts.), Intermittent (5 pts.), No stream (0 pts.)	10	10	Perennial Unnamed Tributaries to the Potomac River
2	Connects forest "Islands" creating forested corridors	Forested corridor is at least 300' wide (10 pts.), 200' wide (5 pts.), does not create corridor (0 pts.)	10	10	
3	Adjacent to critical habitat	Adjacent to Class III Trout Waters with natural populations of trout (10 pts.), within Class III watershed (5 pts), wetlands (3 pts.), No critical habitats (0 pts.)	10	3	Easement will protect perennial unnamed tributaries to the Potomac River
4	Contiguous forest cover	Easement will increase forest to 100 acre block (5pts.), 50 acres(3 pts.), will not adjoin existing forest (0 pts.)	5	0	
5	100 Year Floodplain	Easement will cover 100% of 100 year floodplain (5 pts.), 50% (3 pts.), 0% (0 pts.)	5	0	No 100 Year Floodplain on property.
6	Site access	Easily accessible , maintenance and long term monitoring, (10 pts)	10	10	
7	Site conditions, including control of non-native/invasive plant species	Adequately stocked forest of predominately native tree and shrub species of good health and vigor(10 pts.), over or under stocked forest with no greater than 20% non-native/invasive species and landowner has demonstrated commitment to control (5 pts.), requires extensive invasive control (0 pts.)	10	10	
8	Total existing forest area	> 5 acres (10 pts.), 2-5 acres (5 pts.), < 2 acres (1 pt.)	10	10	56.4 Acres
	Watershed location	Located in Antietam or Conococheague watershed (10 pts.)	10	0	
9	Sensitive species Identified	Sensitive species area Identified for site and no adverse effects from project (5pts.), no sensitive species area Identified for site, (0pts.)	5	5	October Ladies' Tresses Orchid
<b>TOTAL POINTS POSSIBLE</b>			<b>85</b>	<b>58</b>	

\*Several Wolf / Witness Trees located on the property.\*



## Foltz and Bakershenk FCA Cost-Estimates

			FOLTZ		BAKERSHENK	TOTALS
EXISTING FOREST, ACRES PROTECTED			56.4		6.87	63.27
PLANTING ACRES 300'			0		0	0
PLANTING ACRES +300'			0		0	0
PLANTING COST ESTIMATE			\$0		\$0	\$0
PAYMENT TO LANDOWNER			\$84,600		\$10,305	\$94,905
PAYMENT TO SCD			\$50,760		\$6,183	\$56,943
SURVEY/PLAT COSTS			\$4,500.00		\$2,000.00	\$6,500
TITLE SEARCH COST			\$200		\$200	\$400
LEGAL FEES			\$1,500		\$1,500	\$3,000
TOTAL			\$141,560		\$20,188	\$161,748
FOREST CONSERVATION FUND BALANCE					7/19/2023	\$370,616
BALANCE FOR ADDITIONAL PROJECTS/MAINTENANCE						\$208,868



# Plan Review Projects Initialized - June 01, 2023 - June 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-23-023	Final Plat	Pending	09-Jun-23	TOWNES AT ROCKSPRING PHASE 1 FINAL PLAT	11049 MOUNT EDWARD DRIVE HAGERSTOWN, MD 21740		HEKBEL LLC
S-23-024	Final Plat	In Review	14-Jun-23	ELMWOOD FARM SECT 5B FINAL PLAT	10033 WILKES DRIVE WILLIAMSPORT, MD 21795		
FP-23-002	Forest Conservation Plan	In Review	15-Jun-23	FKHV FOREST CONSERVATION PLAN	8507 MAPLEVILLE ROAD BOONSBORO, MD 21713		FAHRNEY KEEDY MEMORIAL HOME INC.
FS-23-015	Forest Stand Delineation	Approved	14-Jun-23	FAHRNEY KEEDY HOME & VILLAGE UPDATED FOREST STAND DELINEATION	8507 MAPLEVILLE ROAD BOONSBORO, MD 21713		FAHRNEY KEEDY MEMORIAL HOME INC.
FS-23-016	Forest Stand Delineation	Approved	14-Jun-23	FOREST STAND DELINEATION FOR THE BOWMAN GROUP, LLC	16425 NATIONAL PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN GROUP LLC THE
FS-23-017	Forest Stand Delineation	In Review	19-Jun-23	TERRY DOYLE	9721 MEADOW ROCK DRIVE HAGERSTOWN, MD 21740		DOYLE TERRY W
FS-23-018	Forest Stand Delineation	Approved	22-Jun-23	SIMPLIFIED FOREST STAND DELINEATION FOR TONY MCLEAN	1433 OAKMONT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	TNT PROPERTIES OAKMONT LLC
FS-23-019	Forest Stand Delineation	In Review	26-Jun-23	JAMES AND CORINA MILLS		APEX LAND SOLUTIONS LLC	MILLS JAMES LEE MILLS CORINA SUE
FS-23-020	Forest Stand Delineation	Approved	29-Jun-23	THACKER FSD	7371 MOUNTAIN LAUREL ROAD BOONSBORO, MD 21713		THACKER DEWEY RALPH THACKER BETTY JEAN
SIM23-038	IMA	Active	05-Jun-23	18926 REIDTOWN ROAD HN	18926 REIDTOWN ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SHOWALTER JEFFREY LEE
SIM23-039	IMA	Active	05-Jun-23	SHEETZ - MT AETNA & DUAL HIGHWAY	1333 DUAL HIGHWA HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
SIM23-040	IMA	Active	05-Jun-23	13723 PARADISE CHURCH ROAD HN	13723 PARADISE CHURCH ROAD HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	RYAN DANIEL
SIM23-041	IMA	Requested	08-Jun-23	16801 SPRECHER ROAD SH	16801 SPRECHER ROAD SHARPSBURG, MD 21782	TRIAD ENGINEERING	HOUSER CURTIS HOUSER CARL
SIM23-042	IMA	Active	08-Jun-23	14923 WHITE OAK RIDGE HK	14923 WHITE OAK RIDGE HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	ROBERTS DWAYNE
SIM23-043	IMA	Active	20-Jun-23	SHOPS AT SHARPSBURG PIKE LOTS 4-8	10306 EZRA DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	SHARPSBURG PIKE HOLDING LLC
SIM23-044	IMA	Active	27-Jun-23	21113 WINCHESTER DRIVE HN	21113 WINCHESTER DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	WAYMIRE JAMES DAVID HENDERSHOT WAYMIRE KERI ANN
OM-23-007	Ordinance Modification	In Review	12-Jun-23	PFCU ROBINWOOD LOT 2	11067 ROBINWOOD DRIVE HAGERSTOWN, MD 21742		PATRIOT FEDERAL CREDIT UNION
OM-23-008	Ordinance Modification	Approved	22-Jun-23	CODEE & KAYLIE REESE	21695 JEFFERSON BOULEVARD	FOX & ASSOCIATES INC	REESE CODEE REESE KAYLIE
OM-23-009	Ordinance Modification	Recommend Approval	22-Jun-23	DENNIS MINNICK			MINNICK DOUGLAS E & JOYCE E
S-23-025	Preliminary-Final Plat	In Review	15-Jun-23	PEARL L WEAVER ESTATE, LOTS 1 & 2	13720 POPLAR GROVE ROAD HAGERSTOWN, MD 21742		WEAVER PEARL L SLAYMAN LARRY &



# Plan Review Projects Initialized - June 01, 2023 - June 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-23-026	Preliminary-Final Plat	In Review	19-Jun-23	JAY SUN PROPERTIES, LLC LOTS 147 A & 147 B	17429 A VIRGINIA AVENUE HAGERSTOWN, MD 21740		JAY SUN PROPERTIES LLC
S-23-027	Preliminary-Final Plat	In Review	20-Jun-23	JAY SUN PROPERTIES, LLC LOTS 186 A & 186 B	916 A HARWOOD ROAD HAGERSTOWN, MD 21740		JAY SUN PROPERTIES LLC
S-23-029	Preliminary-Final Plat	In Review	30-Jun-23	LOT 1, HARRY MARTIN KEADLE AND PAMELA SUE BERGER	10945 MCCOYS FERRY ROAD CLEAR SPRING, MD 21722		KEADLE HARRY MARTIN II ETAL
PWA2023-004	PWA	Active	05-Jun-23	SHEETZ - MT AETNA & DUAL HIGHWAY	1333 DUAL HIGHWA HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	GHTTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
SP-07-052.R01	Redline Revision	Approved	08-Jun-23	FT. RITCHIE LLC- EXISTING BLDGS REDLINE REVISION	WEST OF MACFEEHILL RD AT MILITARY RD	FREDERICK SEIBERT & ASSOCIATES	FORT RITCHIE, LLC C/O COPT PROPERTY MGMNT SERVICES, LLC
S-22-050.R01	Redline Revision	Pending	12-Jun-23	EZ HOMES LLC	13038 LITTLE ANTIETAM RD HAGERSTOWN MD 21742	R LEE ROYER & ASSOCIATES	KLINE MARGARET C
SP-98-010.R01	Redline Revision	Approved	12-Jun-23	TACO BELL MAUGANS AVE REDLINE REVISION	NORTH SIDE MAUGANS AVENUE EAST OF I-81 A	INGRAM-HAGEN & CO., P.L.C.	BURGERBUSTERS 302 HICKMAN ROAD
SP-05-005.R01	Redline Revision	Approved	15-Jun-23	REDLINE FOR 2400 S.F. BUILDING AND GRAVEL PARKING LOT	NORTH SIDE OF HUNTERS GREEN PARKWAY	FREDERICK SEIBERT & ASSOCIATES	TIGER DEVELOPMENT II LTD PARTNERSHIP 2250 HICKORY ROAD
SP-12-025.R01	Redline Revision	Approved	23-Jun-23	REDLINE REDUCING HANGAR BUILDING SIZE	SOUTHSIDE OF AIRPARK ROAD	FOX & ASSOCIATES INC	WASHINGTON COUNTY COMMISSIONERS 100 W.WASHINTON STREET
SP-23-018	Site Plan	In Review	12-Jun-23	SITE PLAN FOR CREEKSTONE LANDSCAPING	13236 NATIONAL PIKE CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	LEIZEAR STEPHEN W LEIZEAR JANEEN M
SP-23-019	Site Plan	In Review	19-Jun-23	SITE PLAN FOR THE WEDDING NICHE	19420 KEEP TRYST ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	JACOB THOMAS NALANI HALL LISA MARIE
SP-23-020	Site Plan	In Review	20-Jun-23	SITE PLAN FOR TONY MCLEAN	1433 OAKMONT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	TNT PROPERTIES OAKMONT LLC
GP-23-009	Site Specific Grading Plan	In Review	08-Jun-23	COLONIAL DRIVE GAS LINE REPLACEMENT	46 SO COLONIAL DRIVE HAGERSTOWN, MD 21740	C.S. DAVIDSON, INC.	MURRAY WAYSON SR
GP-23-010	Site Specific Grading Plan	Pending	16-Jun-23	CROSS CREEK COMMERCIAL			CROSS CREEK BUILDERS LLC
SGP-23-033	Standard Grading Plan	Approved	02-Jun-23	WAYMIRE 21113 WINCHESTER DRIVE	21113 WINCHESTER DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	WAYMIRE JAMES DAVID HENDERSHOT WAYMIRE KERI ANN
SGP-23-034	Standard Grading Plan	Approved	13-Jun-23	NICK BAKER		FREDERICK SEIBERT & ASSOCIATES	BAKER BRIAN E BAKER TERI M
SGP-23-035	Standard Grading Plan	Approved	15-Jun-23	JEFF AND KELSEY MARTIN	726 WEVERTON ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	HEWETT AMBER RENEE MARTIN JEFFREY ARNOLD
SGP-23-036	Standard Grading Plan	Approved	20-Jun-23	TANYA PHILLIPS	9170 STOTTLEMYER ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	Jason M Adkins & Tanya M Phillips
SGP-23-037	Standard Grading Plan	In Review	21-Jun-23	HARPER PARK LOT 6	19128 GRAINARY DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	HARPER PARK LLC
SGP-23-039	Standard Grading Plan	Approved	22-Jun-23	DEVON PETRE	14331 CLEAR SPRING ROAD WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	PETRE JARED L PETRE RACHEL A
SGP-23-040	Standard Grading Plan	Approved	22-Jun-23	JOHN DURCHO	13210 EXLINE ROAD HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	DURCHO JOHN



# Plan Review Projects Initialized - June 01, 2023 - June 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SGP-23-041	Standard Grading Plan	Approved	27-Jun-23	21-23 E MAPLE ST, FUNKSTOWN	21 EA MAPLE STREET FUNKSTOWN, MD 21734		CRAMPTON PAUL N JR
SGP-23-042	Standard Grading Plan	In Review	28-Jun-23	17111 STERLING ROAD	17117 STERLING ROAD WILLIAMSPORT, MD 21795	UNGER SURVEYING & CONSTRUCTION	CJ'S PROPERTIES LLC
SWCP23-016	Stormwater Concept Plan	In Review	26-Jun-23	JAMES AND CORINA MILLS			MILLS JAMES LEE MILLS CORINA SUE
SWCP23-017	Stormwater Concept Plan	In Review	27-Jun-23	BOWMAN HUYETT'S ACCESS DRIVE	16425 NATIONAL PIKE HAGERSTOWN, MD 21740		BOWMAN GROUP LLC THE
SWCP23-018	Stormwater Concept Plan	In Review	30-Jun-23	MERITUS MEDICAL SCHOOL CAMPUS MULTI-FAMILY DEVELOPMENT	1311 YALE DRIVE HAGERSTOWN, MD 21742	HRG	BOARD OF EDUCATION
SSWP23-027	Stormwater Standard Plan	Approved	02-Jun-23	WAYMIRE 21113 WINCHESTER DRIVE	21113 WINCHESTER DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	WAYMIRE JAMES DAVID HENDERSHOT WAYMIRE KERI ANN
SSWP23-028	Stormwater Standard Plan	Approved	13-Jun-23	NICK BAKER	8005 BARNES ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	BAKER BRIAN E BAKER TERI M
SSWP23-029	Stormwater Standard Plan	Approved	14-Jun-23	JEFF AND KELSEY MARTIN	726 WEVERTON ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	HEWETT AMBER RENEE MARTIN JEFFREY ARNOLD
SSWP23-030	Stormwater Standard Plan	Approved	20-Jun-23	TANYA PHILLIPS	9170 STOTTLEMYER ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	Jason M Adkins & Tanya M Phillips
SSWP23-031	Stormwater Standard Plan	Approved	22-Jun-23	DEVON PETRE	14331 CLEAR SPRING ROAD WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	PETRE JARED L PETRE RACHEL A
SSWP23-032	Stormwater Standard Plan	Approved	22-Jun-23	JOHN DURCHO	13210 EXLINE ROAD HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	DURCHO JOHN
SSWP23-033	Stormwater Standard Plan	Approved	23-Jun-23	HARTLE AG STRUCTURE	20512 RENO MONUMENT ROAD BOONSBORO, MD 21713		HARTLE RICHARD J & HARTLE KATHRYN M
SSWP23-034	Stormwater Standard Plan	In Review	28-Jun-23	17111 STERLING ROAD	17117 STERLING ROAD WILLIAMSPORT, MD 21795	UNGER SURVEYING & CONSTRUCTION	CJ'S PROPERTIES LLC
SSWP23-035	Stormwater Standard Plan	Approved	29-Jun-23	21-23 E MAPLE ST, FUNKSTOWN	21 EA MAPLE STREET FUNKSTOWN, MD 21734		CRAMPTON PAUL N JR
S-23-028	Subdivision Replat	In Review	20-Jun-23	AUSTIN ABRAHAM, REPLAT LOT 1	11800 INDIAN LANE HAGERSTOWN, MD 21742		ABRAHAM AUSTIN
S-23-030	Subdivision Replat	In Review	30-Jun-23	REPLAT FOR LOTS 1A THROUGH 4A S&H LLC	13808 WEAVER AVENUE MAUGANSVILLE, MD 21767		WEAVER AVENUE JOINT VENTURE, LLC
TIS-23-004	Traffic Impact Study	Scoping Letter Sent	15-Jun-23	MERITUS MEDICAL SCHOOL CAMPUS MULTI-FAMILY DEVELOPMENT	1546 MOUNT AETNA ROAD HAGERSTOWN, MD 21742	JON SEITZ	BOARD OF EDUCATION
TIS-23-005	Traffic Impact Study	Pending	26-Jun-23	VILLAGE AT VALENTIA RIDGE		TRAFFIC SOLUTIONS INC.	ROULETTE RICHARD E TRUSTEE L & E TRUST
TYU-23-011	Two Year Update	In Review	09-Jun-23	BIG SPRING SOLAR LLC - REVISED	BIG POOL AND ASHTON ROADS	FOX & ASSOCIATES INC	SHIRK CHARLES A TRUSTEE RESIDUARY TRUST OF CHARLES E SHIRK
TYU-23-012	Two Year Update	In Review	30-Jun-23	LANDMARK INDUSTRIES LLC	MD ROUTE 58 E/S	FREDERICK SEIBERT & ASSOCIATES	LANDMARK INDUSTRIES LLC



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Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
GPT-23-056	Type 2 Grading Plan	Approved	04-Jun-23	GAVER MEADOWS - LOT 32	51 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	NVR INC
GPT-23-057	Type 2 Grading Plan	Approved	04-Jun-23	GAVER MEADOWS - LOT 57	118 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-058	Type 2 Grading Plan	Approved	04-Jun-23	GAVER MEADOWS - LOT 58	114 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-059	Type 2 Grading Plan	Approved	04-Jun-23	GAVER MEADOWS - LOT 39	79 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-060	Type 2 Grading Plan	Approved	04-Jun-23	GAVER MEADOWS - LOT 46	103 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-061	Type 2 Grading Plan	Approved	13-Jun-23	GAVER MEADOWS - LOT 53	135 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-062	Type 2 Grading Plan	Approved	23-Jun-23	ELMWOOD LOT139 - 10021 WILKES DR	10021 WILKES DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	FELIXS FOLLY LLC
GPT-23-063	Type 2 Grading Plan	Approved	27-Jun-23	GAVER MEADOWS LOT 62	105 RAYMOND CROSSI HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	
GPT-23-064	Type 2 Grading Plan	Approved	27-Jun-23	GAVER MEADOWS - LOT 64	113 RAYMOND CROSSI HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	
GPT-23-065	Type 2 Grading Plan	Approved	27-Jun-23	GAVER MEADOWS LOT 70	106 RAYMOND CROSSI HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	



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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2023-02984	Entrance Permit	In Progress	01-Jun-23	STICK BUILT HOME	S-18-033 18246 PETWORTH CIRCLE, LOT 713		DRB GROUP MID ATLANTIC LLC
2023-02992	Entrance Permit	In Progress	01-Jun-23	STICK BUILT HOME	S-17-025 20311 BEAVER CREEK ROAD, LOT 1	BRAVO DESIGN & BUILD LLC	BAY RIDGE BUILDERS LLC
2023-03010	Entrance Permit	Approved	02-Jun-23	STICK BUILT HOME	S-21-025 21113 WINCHESTER DRIVE, LOT 13	SL KOONTZ CONTRACTORS, LLC	WAYMIRE JAMES DAVID HENDERSHOT WAYMIRE KERI ANN
2023-03049	Entrance Permit	Approved	06-Jun-23	STICK BUILT HOME	S-22-012 13811 PULASKI DRIVE, LOT 67	MANOR HOUSE BUILDERS, LLC	PARADISE HEIGHTS LAND
2023-03051	Entrance Permit	In Progress	06-Jun-23		LOR EXLINE ROAD		DURCHO JOHN
2023-03120	Entrance Permit	In Progress	09-Jun-23	2 FAMILY DWELLING	S-92-214 14113 MAUGANSVILLE ROAD, LOT 1, LEFT AND RIGHT SIDE		Azad Simin
2023-03164	Entrance Permit	Approved	12-Jun-23	STICK BUILT HOME	S-18-035 9317 ALLOWAY DRIVE, LOT 85		DRB GROUP MID ATLANTIC LLC
2023-03190	Entrance Permit	In Progress	13-Jun-23	STICK BUILT HOME	S-17-025 20315 BEAVER CREEK ROAD, LOT 2	BRAVO DESIGN & BUILD LLC	BAY RIDGE BUILDERS LLC
2023-03231	Entrance Permit	Approved	15-Jun-23	MODULAR HOME	S-22-015 8005 BARNES ROAD, LOT 1	HOMES BY KEYSTONE INC	BAKER NICHOLAS MARSHALL BAKER DANIELLE MICHELLE
2023-03247	Entrance Permit	Approved	15-Jun-23	STICK BUILT HOME	S-22-045 744 WEVERTON ROAD, LOT 1	SMOKER STEVIE E	WENNER CALVIN J
2023-03330	Entrance Permit	In Progress	21-Jun-23	STICK BUILT HOME	S-20-030 19128 GRAINARY DRIVE, LOT 6	PAUL CRAMPTON CONTRACTORS INC	HARPER PARK LLC
2023-03405	Entrance Permit	In Progress	23-Jun-23	STICK BUILT HOME	S-21-019 10021 WILKES DRIVE, LOT 139		FELIXS FOLLY LLC
2023-03443	Entrance Permit	In Progress	27-Jun-23	SEMI-DETACHED HOME	S-20-013 19546 COSMOS STREET, LOT 127		DAN RYAN BUILDERS MID ATLANTIC INC
2023-03450	Entrance Permit	In Progress	27-Jun-23	SEMI-DETACHED HOME	S-20-013 19544 COSMOS STREET, LOT 128		DAN RYAN BUILDERS MID ATLANTIC INC
2023-03173	Entrance Permit	Review	12-Jun-23	STICK BUILT HOME	S-03-167 2219 KAETZEL ROAD, LOT 2		CAREY AUSTIN D JR
2023-03355	Floodplain Permit	Approved	22-Jun-23	GRADING	6819 MONROE ROAD		BOONSBORO MAYOR & COUNCIL
2023-02985	Grading Permit	In Progress	01-Jun-23	WESTFIELDS LOT 713	S-18-033 18246 PETWORTH CIRCLE, LOT 713		DRB GROUP MID ATLANTIC LLC
2023-02993	Grading Permit	In Progress	01-Jun-23	STICK BUILT HOME	S-17-025 20311 BEAVER CREEK ROAD, LOT 1	BRAVO DESIGN & BUILD LLC	BAY RIDGE BUILDERS LLC
2023-03004	Grading Permit	In Progress	02-Jun-23	2 FAMILY DWELLING	SP-23-007 8404 SYMPHONY DRIVE, RIGHT SIDE	WAGMAN CONSTRUCTION INC	FAHRNEY KEEDY MEMORIAL HOME INC.
2023-03009	Grading Permit	Approved	02-Jun-23	STICK BUILT HOME	LOR 1928 REED ROAD	J.M. BERGER LLC -DBA JMB HOMES	TARLETON FRANCIS D JR TARLETON DOLORES T
2023-03021	Grading Permit	Approved	04-Jun-23	GAVAR MEADOWS LOT 32 GRADING	TWN-19-007 51 CHARLOTTE STREET, LOT 32		NVR INC
2023-03022	Grading Permit	Approved	04-Jun-23	GAVAR MEADOWS LOT 57 GRADING	TWN-19-007 118 CHARLOTTE STREET, LOT 57		DAVID C LYLES DEVELOPERS LLC
2023-03023	Grading Permit	Approved	04-Jun-23	GAVAR MEADOWS LOT 58 GRADING	TWN-19-007 114 CHARLOTTE STREET, LOT 58		DAVID C LYLES DEVELOPERS LLC
2023-03024	Grading Permit	Approved	04-Jun-23	GAVAR MEADOWS LOT 39 GRADING	TWN-19-007 79 CHARLOTTE STREET, LOT 39		DAVID C LYLES DEVELOPERS LLC
2023-03025	Grading Permit	Approved	04-Jun-23	GAVAR MEADOWS LOT 46 GRADING	TWN-19-007 103 CHARLOTTE STREET, LOT 46		DAVID C LYLES DEVELOPERS LLC
2023-03050	Grading Permit	Approved	06-Jun-23	STICK BUILT HOME	S-22-012 13811 PULASKI DRIVE, LOT 67	MANOR HOUSE BUILDERS, LLC	PARADISE HEIGHTS LAND



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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2023-03060	Grading Permit	Approved	06-Jun-23	STICK BUILT HOME	S-21-025 21113 WINCHESTER DRIVE, LOT 13	SL KOONTZ CONTRACTORS, LLC	WAYMIRE JAMES DAVID HENDERSHOT WAYMIRE KERI ANN
2023-03166	Grading Permit	Approved	12-Jun-23	WESTFIELDS LOT 85	S-18-035 9317 ALLOWAY DRIVE, LOT 85		DRB GROUP MID ATLANTIC LLC
2023-03191	Grading Permit	In Progress	13-Jun-23	STICK BUILT HOME	S-17-025 20315 BEAVER CREEK ROAD, LOT 2	BRAVO DESIGN & BUILD LLC	BAY RIDGE BUILDERS LLC
2023-03194	Grading Permit	Approved	13-Jun-23	GAVER MEADOWS LOT 53 GRADING	TWN-19-007 135 CHARLOTTE STREET, LOT 53		DAVID C LYLES DEVELOPERS LLC
2023-03232	Grading Permit	Approved	15-Jun-23	MODULAR HOME	S-22-015 8005 BARNES ROAD, LOT 1	HOMES BY KEYSTONE INC	BAKER NICHOLAS MARSHALL BAKER DANIELLE MICHELLE
2023-03248	Grading Permit	Approved	15-Jun-23	STICK BUILT HOME	S-22-045 744 WEVERTON ROAD, LOT 1	SMOKER STEVIE E	WENNER CALVIN J
2023-03320	Grading Permit	In Progress	20-Jun-23	MODULAR HOME	LOR EXLINE ROAD	ANTRIM HOMES INC	DURCHO JOHN
2023-03331	Grading Permit	In Progress	21-Jun-23	STICK BUILT HOME	S-20-030 19128 GRAINARY DRIVE, LOT 6	PAUL CRAMPTON CONTRACTORS INC	HARPER PARK LLC
2023-03404	Grading Permit	In Progress	23-Jun-23	ELMWOOD 139 10021 WILKES DR	S-21-019 10021 WILKES DRIVE, LOT 139		FELIXS FOLLY LLC
2023-03406	Grading Permit	In Progress	23-Jun-23	NEIL SCHUSTER	6927 MONROE ROAD		BOONSBORO MAYOR & COUNCIL
2023-03446	Grading Permit	In Progress	27-Jun-23	ROSEHILL MANOR LOT #127	S-20-013 19546 & 19544 COSMOS STREET, LOT 127 & 128		DAN RYAN BUILDERS MID ATLANTIC INC
2023-03462	Grading Permit	Approved	27-Jun-23	GAVER MEADOWS LOT 62 GRADING	TWN-19-007 105 RAYMOND CROSSING, LOT 62		
2023-03464	Grading Permit	Approved	27-Jun-23	GAVER MEADOWS LOT 64 GRADING	TWN-19-007 113 RAYMOND CROSSING, LOT 64		
2023-03465	Grading Permit	Approved	27-Jun-23	GAVER MEADOWS LOT 70 GRADING	TWN-19-007 106 RAYMOND CROSSING, LOT 70		
2023-03211	Grading Permit	Approved	14-Jun-23	CAVETOWN STORAGE GRADING	SP-20-017 12121 MAPLEVILLE ROAD		BUSHEY GEORGE M & SONS CO
2023-03354	Grading Permit	Approved	22-Jun-23	TOWN OF BOONSBORO WWTP STREAM RESTORATION	6819 MONROE ROAD		
2023-03394	Non-Residential Ag Certificate	Review	23-Jun-23	FARM BUILDING	LOR 20526 BENEVOLA CHURCH ROAD		MARTZ MICHAEL D
2022-04726.R01	Revision	Approved	12-Jun-23		LOR 6532 DAM 4 ROAD		TEUNIS MARK R & TEUNIS TERESA A
2022-04196.R01	Revision	Approved	12-Jun-23	ELMWOOD 50, 9863 RIPPLE DRIVE	S-21-019 9863 RIPPLE DRIVE, LOT 50	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2023-03073	Utility Permit	Approved	07-Jun-23	POTOMAC EDISON	1939 HOFFMASTER ROAD	POTOMAC EDISON	WINDSOR AUDREY GOLDEN GARY
2023-03285	Utility Permit	Approved	19-Jun-23	COMCAST	10851 ARCHER LANE		KINDLE CASEY L
2023-03289	Utility Permit	Approved	19-Jun-23	COMCAST	16840 CAVALRY DRIVE		SHOEMAKER CRISTA R & RAY E JR
2023-03290	Utility Permit	Approved	19-Jun-23	COMCAST	10705 HERSHEY DRIVE		BANK US TRUST NATIONAL ASSOCIATION
2023-03380	Utility Permit	Approved	23-Jun-23	POTOMAC EDISON	18910 REIDTOWN ROAD	POTOMAC EDISON	SHOWALTER JEFFREY LEE



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	Type	Total
<b>LandDev</b> <b>Total by Group:</b> <b>71</b>	Final Plat	2
	Forest Conservation Plan	1
	Forest Stand Delineation	6
	IMA	7
	Ordinance Modification	3
	Preliminary-Final Plat	4
	PWA	1
	Redline Revision	5
	Site Plan	3
	Site Specific Grading Plan	2
	Standard Grading Plan	9
	Stormwater Concept Plan	3
	Stormwater Standard Plan	9
	Subdivision Replat	2
	Traffic Impact Study	2
	Two Year Update	2
	Type 2 Grading Plan	10
<b>Permits</b> <b>Total by Group:</b> <b>50</b>	Entrance Permit	15
	Floodplain Permit	1
	Grading Permit	26
	Non-Residential Ag Certificate	1
	Revision	2
	Utility Permit	5
<b>Total</b>		<b>121</b>