

DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

REVISED AGENDA

WASHINGTON COUNTY PLANNING COMMISSION June 7, 2021, 7:00 PM VIRTUAL MEETING ONLY

Access to County buildings is currently restricted due to the Governor's State of Emergency declaration due to the COVID-19 pandemic. Therefore, the general public may not attend the physical meeting but will have access to the meeting through the County's Facebook live stream or the Washington County Commissioners' YouTube channel.

CALL TO ORDER AND ROLL CALL

PUBLIC REZONING INFORMATION MEETING

 RZ-21-004 – Washington County Planning Commission – Text amendment to Section 4.26 of the Washington County Zoning Ordinance to deter placement of solar arrays on productive agricultural land in rural areas; Planner: Jill Baker *

MINUTES

1. May 3, 2021 Planning Commission public rezoning information meeting and regular meeting minutes *

OLD BUSINESS

 RZ-21-001 – Calvert Energy LLC – Recommendation for the proposed text amendment to Section 4.26 of the Washington County Zoning Ordinance to allow Solar Energy Generating Systems (SEGS) within Priority Preservation Areas that have an Industrial Mineral (IM) zoning designation; Planner: Travis Allen *

NEW BUSINESS

MODIFICATIONS

 OM-21-005 – Emerald Pointe PUD – Phase 4 – Section 1 – Lot 242 – Modification request to reduce front yard setback from 20 feet to 10.4 feet and 16.1 feet along secondary frontage of corner lot; Property located at 13306 Diamond Pointe Drive; Zoning: RT (PUD) – Residential, Transition Planned Unit Development; Planner: Rebecca Calimer *

SITE PLANS

- 1. <u>SP-20-021 BFS Foods</u> Proposed construction of a service station, a convenience store and two restaurants, a detached fast food restaurant with drive-thru, and 43 semi-truck parking spaces at 436 East Main Street, Hancock; Zoning: BG (Business General); Planner: Ashley Holloway *
- 2. <u>SP-20-016 Bowman Sunfish</u> Proposed construction of an 480,000 square foot warehouse with office on 55 acre parcel located at 12000 Greencastle Pike; Zoning: HI (Highway Interchange); Planner: Lisa Kelly *
- 3. <u>SP-21-002 Bowman Showalter Warehouse</u> Proposed construction of an 801,000 square foot warehouse with office on 86 acres located at 13850 Crayton Boulevard; Zoning: HI (Highway Interchange); Planner: Lisa Kellv *
- 4. <u>SP-21-004 Bowman Ryder Trailer Parking</u> Proposed construction of 109 tractor trailer parking spaces on 5.2 acres; Zoning: PI (Planned Industrial); Planner: Lisa Kelly *

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

FOREST CONSERVATION

- SP-20-016 Bowman Sunflish Proposed on-site and off-site Forest Conservation Ordinance mitigation and removal of a specimen tree for property being developed at 12000 Greencastle Pike; Planner: Travis Allen *
- 2. <u>SP-20-014 Creekside Logistics</u> Variance request for the removal of a specimen tree for property located at 12524 Greencastle Pike; Planner: Travis Allen *

OTHER BUSINESS

- SP-21-003 Fix N' Go Waiver request from Section 19.9(i) of the Washington County Zoning Ordinance from the requirement to provide public water and sewer for a tractor trailer repair shop located at 16001 Lappans Road; Zoning: HI (Highway Interchange); Planner: Lisa Kelly *
- 2. <u>SP-21-008 Fix n' Go</u> Waiver request from Section 19.9(i) of the Washington County Zoning Ordinance from the requirement to provide public water and sewer for a tractor trailer repair shop located on the south side of Bentwood Drive, east of the CSX Railroad; Zoning: HI (Highway Interchange); Planner: Rebecca Calimer *
- 3. **Annual Report** Jill Baker
- 4. **Update of Staff Approvals** Ashley Holloway
- 5. Comprehensive Plan Update Jill Baker

ADJOURNMENT

UPCOMING MEETINGS

- 1. Monday, June 14, 2021, 6:30 p.m. Washington County Planning Commission public information meeting
- 2. Monday, July 12, 2021, 7:00 p.m. Washington County Planning Commission regular meeting

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



FOR PLANNING COMMISSION USE ONLY Rezoning No. 163-21-004
Date Filed:

WASHINGTON COUNTY PLANNING COMMISSION ORDINANCE TEXT AMENDMENT APPLICATION

Washington County Planning Commission	supplies (Mean of supplies (Mean of supplies of supplies (Mean of supplies of supplies (Mean of supp	
Washington County Flatining Commission	□Property Owner	□Contract Purchaser
Applicant	□Attorney	□Consultant
100 W. Washington St., Suite 2600, Hagerstown MD 21740		
Address		
Jill Baker	240-313-2430	
Primary Contact	Phon	ie Number
	jbaker@washco-m	nd.net
Address	E-ma	nil Address
☐ Adequate Public Facilities Ordinance	□ Water and Sewer I	Plan
☐ Forest Conservation Ordinance	■ Zoning Ordinance	
□ Subdivision Ordinance	□ Other	···
□ Solid Waste Plan		
4.26 Section No		
Please provide the proposed text on a separate should be used for deletions [deletions], unchang should be underlined [new wording].		
	Applica	int's Signature
	V	
Subscribed and sworn before me thisday	/ of	, 20
My commission expires on		THE RESIDENCE OF THE PROPERTY
	Notar	ry Public
FOR PLANNING COMN	VISSION USE ONLY	
☐ Application Form	☐ Proposed Text Cha	inges
□ Fee Worksheet	☐ 30 copies of compl	•
□ Application Fee		



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

April 2021

RZ-21-004

APPLICATION FOR TEXT AMENDMENT WASHINGTON COUNTY ZONING ORDINANCE

STAFF REPORT AND ANALYSIS

Proposal: Application is being made to amend Section 4.26 (Solar Energy Generating Systems) of the Washington County's zoning ordinance to deter placement of solar arrays on productive agricultural land in rural areas.

Staff Report: In June 2009, Washington County took its first steps in allowing for alternative and renewable energy sources such as wind and solar energy by amending and including Sections 4.24 and 4.25 to the Zoning Ordinance to allow for generating systems for on-site residential and commercial usage. The primary purpose of these amendments was to provide commercial and residential property owners the ability to establish alternative energy generating systems specifically for consumption on the installation site of the generating system.

In 2011 the County expanded its position on the renewable energy movement but including a new section of the Zoning Ordinance (Section 4.26) that recognized the advancements in renewable energy systems, specifically those associated with utility scale solar energy generating systems (SEGS). These new regulations focused on the location and appearance of these new uses by promoting them in urbanized areas and limiting them in rural areas. Limitation focused on deterring these types of uses from being located within existing land preservation program areas such as Rural Legacy and Priority Preservation Areas (PPAs). It was also decided to only allow SEGS through a special exception process in the rural zoning districts.

Since 2011 there have been numerous requests to install these types of uses within the rural areas of the County. As planned, no SEGS have been located within the County designated PPAs or Rural Legacy areas. However, as interest continues to increase in locating these types of uses in Washington County, concerns have arisen over the amount of agricultural land being taken out of production and converted into acres of solar arrays. Concern is growing that farms with high quality soil categories (Class 1 and 2 soils per the National Resource Conservation Service Soil Survey) that are located outside of designated land preservation areas are being converted at rate that will negatively impact the agricultural economy in the County.

To reverse these trends of losing productive agricultural land, amendments are proposed by the Planning Commission to deter new SEGS from locating in areas where there are identified Class 1 and/or Class 2 soils. The amendment is proposed as follows:

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

Section 4.26 Solar Energy Generating Systems

[Paragraph 2]

SEGS shall be permitted as a land use as specified in Sections 3.3 and 21.42 of this ordinance. However, SEGS shall be prohibited as a use in defined Priority Preservation Areas, Rural Legacy Areas, and Antietam Overlay Areas. In addition, the developer of a SEGS shall, to the degree practicable, avoid disturbing Class 1 & 2 prime agricultural soils outside of designated growth areas.

Staff Recommendation: Staff recommends approval of the proposed amendments.

Respectfully Submitted,

Jill Baker

Director

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING



AMBULANCE DISTRICT....:

METHOD....:

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

ORDINANCE MODIFICATION STAFF REPORT

`	DRUINANCE MODIFICATION	I STAFF KLFOKT	
	BASE INFORMAT	ΓΙΟΝ	
SITE NAME:	Emerald Pointe PUD - Phas	e 4 - Section 1 - Lot 242	
NUMBER:	OM-21-005		
OWNER:	EMERALD POINTE INC		
LOCATION:	Emerald Pointe PUD		
DESCRIPTION:		nt yard setback from 20 feet age of corner lot, Emerald Po	
ZONING:	Residential, Transition PUD)	
COMP PLAN LU:	Low Density Residential		
PARCEL:	18066403		
PLANNING SECTOR:	1		
ELECTION DISTRICT:	18		
TYPE:			
GROSS ACRES:	0.16		
DWELLING UNITS:			
TOTAL LOTS:	1		
DENSITY:	N/L Units Per Acre		
PLANNER:	Rebecca A Calimer		
ENGINEER:	FOX & ASSOCIATES INC		
RECEIVED:	June 1, 2021		
	SITE ENGINEER	ING	
HYDROG	GRAPHY, SENSITIVE & ENVIRO	NMENTAL INFORMATION	
FLOOD ZONE:	No		
WETLANDS:	None		
WATERSHED:	Antietam Creek		
ENDANGERED SPECIES:	None		
HISTORIC INVENTORY:	No Resources Present		
EASEMENTS PRESENT:	None		
	SCHOOL INFORMA		
Staff Comments: SCHOOL DISTRICT NOT APPLICABILE PUPIL VIELD	Paramount	MIDDLE Northern	HIGH false
CURRENT ENROLLMENT MAXIMUM CAPACITY			
	PUBLIC FACILITIES INFO	RMATION	
FIRE DISTRICT .	LONG MEADOW		

MAUGANSVILLE

WATER & SEWER INFORMATION
WATER

City

SEWER

County Line - City Treatment



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SERVICE AREA:	City	County Line - City Treatment
PRIORITY:	1-Existing Service	1-Existing Service
NEW HYDRANTS:		
GALLONS PER DAY SEWAGE:		
PLANT INFO:		Hagesrstown (City)



DIVISION OF PLAN REVIEW & PERMITTING

WASHINGTON COUNTY PLANNING COMMISSION APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT
NAME FOX + ASSOC., INC. ATTN: GORDON POFFENSERGEN
MAILING ADDRESS 981 MT. METNA RO. HAG. MO 21740
TELEPHONE 301 733 8 503
TELEPHONE
PROPERTY OWNER
NAME EMERAD POINTE INC.
MAILING ADDRESS 222 E. OAK PIOGE DR. 5TE 100 HAG., MO 21740
TELEPHONE (work) (cell)
CONSULTANT
NAME SAME AS APPLICANT
ADDRESS
TELEPHONE
DESCRIPTION OF PROPERTY
TAX ACCOUNT ID # (Required) /8 - 066403
PARCEL REFERENCE: MAP 25 GRID 19 PARCEL 832 WT 242
PROPOSED LOT ACREAGE 0.10 TOTAL SITE ACREAGE 0.16
ZONING DISTRICT PT W ROAD FRONTAGE (FT) 158 (TWO FRANCE)
9/24/18 Page 1 of 7
OVERLEY

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

LOCATION/ADDRESS 13306 DIAMOND POINTE DR.
MG. MO 21742
EXISTING AND PROPOSED USE OF PROPERTY EX. 548011516
(DUPLEX LOT)
LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER
SUBDIVISION MODIFICATION INFORMATION
MODIFICATION TO SUBDIVISION ORDINANCE SECTION 404
MODIFICATION IS TO ALLOW PROJECT FRONT YARD SCTOPEK FROM 20 TO 10.4 + 16.1 (SEE ATTACHED DWG.)
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification - i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship other
SEE ATTACKED
(Attach additional sheets if necessary)

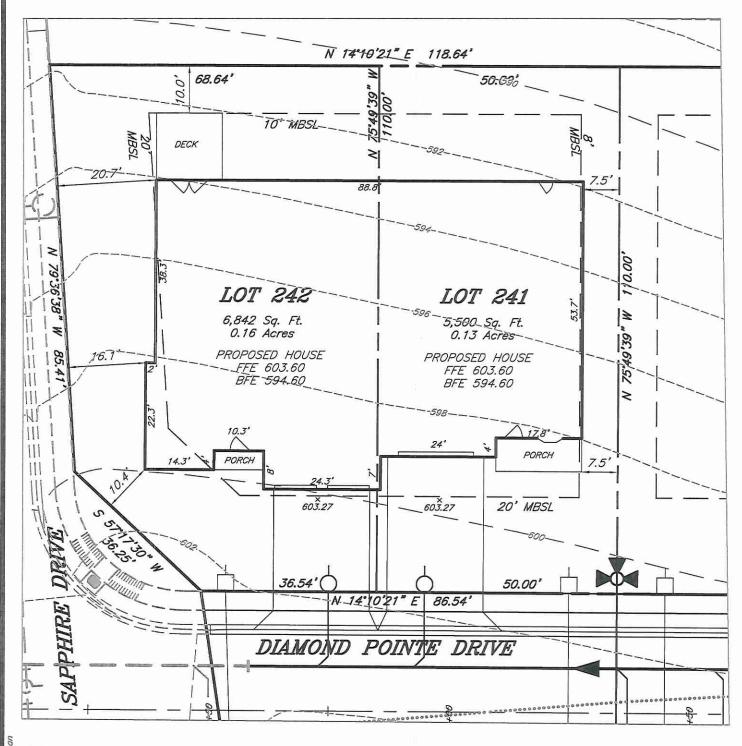
In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

correct.		
Applicant's Signature	5/28/21 Date	
Applicant's Signature	Date	
Property Owner's Signature	Date	
STAFF USE ONLY:		
STAFF PLANNER:	DATE RECEIVED:	
NUMBER:		
MEETING DATE:	_	

To the best of my knowledge, the information provided in this application and other material submitted is

JUSTIFICATION STATEMENT

This lot was shown and approved on the preliminary plat with a front yard and an eight foot side yard. When the lot was final platted, the error was found and corrected. However, the preliminary plat files were provided to the owner and architect. The lot has been sold to a buyer who selected the larger Emerald Pointe duplex unit which according to the approved preliminary plat would fit. With the two front yards, the proposed footprint encroaches into the front yard setback for the side street only. The stop condition at the adjoining intersection will not be affected. Sight distance will NOT be affected. Since this is the duplex side next to the public street, there will not be an affected adjoining lot owner.



M.B.S.L. DENOTES MINIMUM BUILDING SETBACK LINE.

NOTE: PARCEL SHOWN HEREON BEING ALL OF LOTS 241 AND 242 AS SHOWN ON A FINAL PLAT OF EMERALD POINTE, PHASE 4, SECTION 1 AND RECORDED AT PLAT No. 11150 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

NOTE: PARCEL SHOWN HEREON IS NOT WITHIN ANY 100 YEAR FLOOD PLAIN AS SHOWN ON WASHINGTON COUNTY FLOOD INSURANCE RATE MAP 24043C0137D, EFFECTIVE DATE AUGUST 15, 2017



STANDARD GRADING PLAN
FOR

EMERALD POINTE P.U.D. LOT 241 - 242

SITUATE AT #13306 & #13308 DIAMOND POINTE DRIVE WASHINGTON COUNTY, MD

SHEET No. 1 OF 1

DRAWN BY: DATE:

RLB MAY 2021

CHECKED BY: DATE:

GSP MAY 2021

SCALE:

1" = 20'

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD, HAGERSTOWN, MD. 21740 PHONE: (301)733-8503 email:foxassoc@foxassociatesinc.com

BFS Foods Planning Commission Hearing 6/7/2021

- Site is located at 434 E. Main Street, Hancock.
- Proposal is to construct a gas station with convenient store and restaurant, along with a separate drive-thru restaurant and semi-truck parking.
- Six petroleum gasoline stations and three diesel fuel stations.
- 42 semi-truck parking spaces.
- Town of Hancock water and sewer.
- An Administrative Adjustment was granted for freestanding sign to be 20 feet from right-of-way on May 5, 2021 (case no. ADJ2021-001).
- A large portion of the property is in the floodplain. No building construction is taking place in the floodplain. All the semi-truck parking is in the floodplain.
- Forest Conservation is exempted due to proposal is not increasing the impervious surface.
- Wall signage will be applied for separately by tenants.

#68 BFS FOODS - SITE PLAN

987,111.447 741,335.272 FEET

987,512.630 741,064.031 FEET

PROJECT LOCATION

LOD / ESD

FORD DRIVE

LOCATION MAP:

VICINITY MAP:

DWIGHT EISENHOWER HIGHWAY

POTOMAC RIVER —

WASHINGTON COUNTY

SURVEY CONTROL BENCH

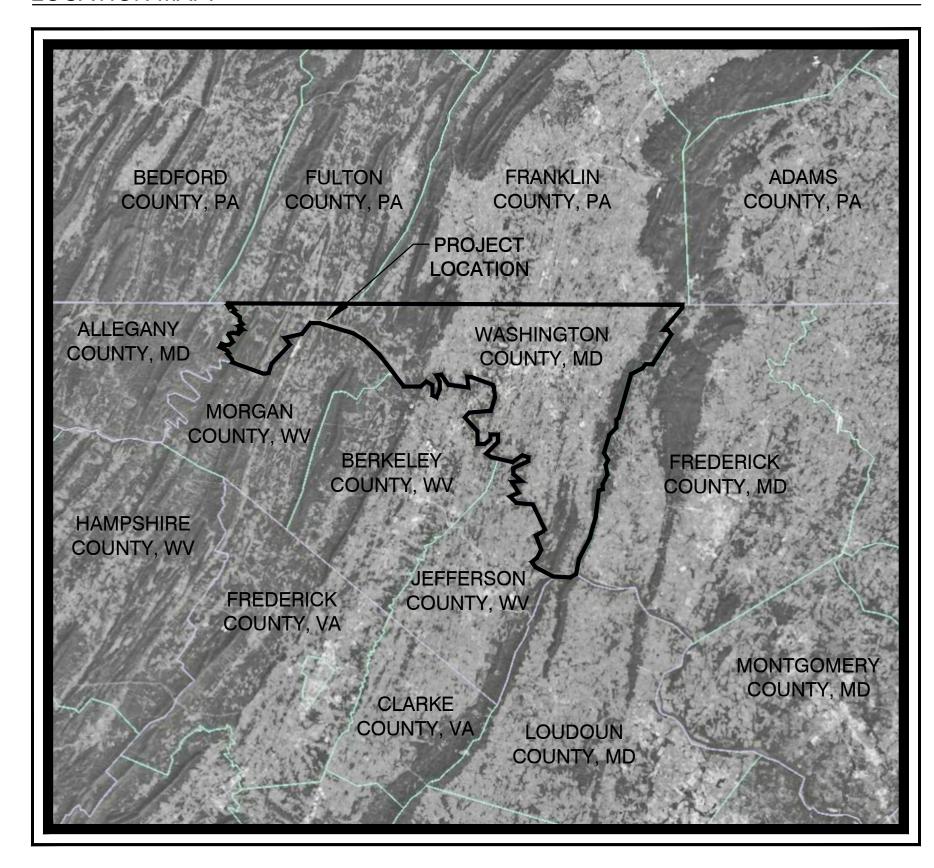
MARK DISK LOCATION

LAT: 39.6947222222

LONG: -78.1558333333

ONOLOWAY CREEK

E MAIN STREET



PROJECT INFORMATION:

- BOUNDARY INFORMATION AS SHOWN HEREON, WAS OBTAINED FROM A PLAT OF SURVEY PREPARED BY GREENLEAF SURVEYING COMPANY DATED JUNE 24, 2013. THE SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A COMPLETE LAWYERS TITLE REPORT AND THEREFOR MAY NOT REFLECT ALL EXCEPTIONS, RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS OR ANY AND ALL ENCUMBRANCES ON THE PROPERTY. VERTICAL POSITIONS INDICATED HEREON ARE RELATIVE OF THE NORTH AMERICAN VERTICAL DATUM OF 1983 (NAVD83), HORIZONTAL POSITIONS INDICATED HEREON ARE RELATIVE OF MARYLAND STATE PLANE 1983 GRID NORTH (MD SP 83)
- TOPOGRAPHIC SURVEY DATA (1 FOOT CONTOUR INTERVALS). AS SHOWN HEREON. WAS OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY GREENLEAF SURVEY COMPANY DATED AUGUST 20, 2019.
- A PORTION OF THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE AE AS WELL AS AN IDENTIFIED 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP (FIRM), DFIRM ID NUMBER 24043C, PANEL NUMBERS 24043C0033D AND 24043C0034D, LOCATED IN WASHINGTON COUNTY, MARYLAND, DFIRM EFFECTIVE DATE AUGUST, 2017.
- SUBJECT PARCEL IS LOCATED WITHIN DISTRICT 5, ON TAX MAP 17, PARCEL 24, ELECTION DISTRICT 1-C, WITH THE LAST INSTRUMENT IN THE CHAIN OF TITLE BEING LOCATED AT DEED BOOK 4632 PAGE 111 PER WASHINGTON COUNTY TAX ASSESSMENT. SUBJECT PARCEL 24 IS SPLIT INTO TWO PIECES OF LAND ON EITHER SIDE OF FORD DRIVE; PARCEL 24 WEST (17.03 ACRES) AND PARCEL 24 EAST (1.78 ACRES).
- PROPERTIES SHOWN HEREON ARE SUBJECT ZONING REGULATIONS PER WASHINGTON COUNTY, MARYLAND.
- THE PROJECT SITE IS LOCATED WITHIN THE GROWTH AREA BOUNDARIES OF WASHINGTON COUNTY, MARYLAND
- THE TOTAL PROJECT CONSTRUCTION LIMITS CONTAIN ± 260,206.90 SQUARE FEET OR ±5.97 ACRES OF LAND.
- PROPOSED USE: GASOLINE SERVICE STATION/CONVENIENCE STORE WITH ATTACHED RESTAURANT, STAND ALONE FAST FOOD RESTAURANT AND RELATED SITE PARKING.

SITE DATA:

6. AREAS OF LOD:

7. FOREST CONSERVATION:

PER WASHINGTON COUNTY:

1. PHYSICAL ADDRESS: 434 E MAIN STREET HANCOCK, MD 21750 2. ZONING: "BG" BUSINESS, GENERAL DISTRICT DIMENSIONAL RESTRICTIONS FRONT YARD DEPTH = 40'

SIDE YARD = 10' REAR YARD = 10' LOT AREA = NONE LOT WIDTH = NONE BUILDING HEIGHT = 75'

4. PARKING REQUIREMENTS: COMMERCIAL RETAIL SALES (C-STORE) = 5 SPACE PER 1000 SQFT OF GLA (4,595 SF) RESTAURANTS WITH/WITHOUT DRIVE THRU SERVICE (IHOP) = 1 SPACE PER 75 SQFT OF GFA (3,152 SF)

TOTAL REQUIRED = 66 **TOTAL PROVIDED= 68** REQUIRED ACCESSIBLE SPACES = 2 PROVIDED ACCESSIBLE SPACES = 2

RESTAURANTS WITH/WITHOUT DRIVE THRU SERVICE (BK) = 1 SPACE PER 75 SQFT OF GFA (3,383 SF) REQUIRED = 46

TRIAD HAS SUBMITTED A REQUEST FOR EXEMPTION OF THE FOREST CONSERVATION ORDINANCE

EXISTING IMPERVIOUS = 2.64 ACRES

PROVIDED = 46 REQUIRED ACCESSIBLE SPACES = 2 PROVIDED ACCESSIBLE SPACES = 2

5. WATERSHED CODE: 02140501 - POTOMAC RIVER WA CNTY; 02140507 - TONOLOWAY CREEK

EXISTING IMPERVIOUS = 3.18 ACRES

ESD / LOD - LIMITS OF DISTURBANCE SD / LOD - LIMITS OF NEW DISTURBANC FOR MILL AND OVERLAY OF EXISTING & RECONSTRUCTION/ PAVEMENT/GRAVEL AREA ENVIRONMENTAL SITE DESIGN TOTAL = 3.18 ACRES OTAL = 2.79 ACRES

PURSUANT TO SECTION 3.2:Q "NEW DEVELOPMENT AS THE RESULT OF A TEARDOWN AND REBUILDING ON THE SAME FOOTPRINT WITH NO INCREASE IN THE AREA OF THE TRACT'S IMPERVIOUS SURFACES."

8. LIGHTING: BUILDING MOUNTED ILLUMINATED LOGO SIGNAGE; EXTERIOR RECESSED LIGHTING EXISTING AND PROPOSED POLE MOUNTED SITE LIGHTING

FREESTANDING FLAG POLE-STYLE SIGNAGE; BUILDING MOUNTED LOGO SIGNAGE SIGNAGE: 10. WATER / SEWER: PROVIDED BY THE TOWN OF HANCOCK - SEE BELOW PROJECT CONTACTS

11. PROPOSED BUILDING HEIGHTS: BFS: 24' - 1 ¹/₈" MAX. **BURGER KING: 24' MAX**

TOWN OF HANCOCK

HANCOCK, MD 21750

ROBERT MUNDAY

301.331.7095

UNKNOWN

126 WEST HIGH STREET

SENSITIVE AREA NOTICE:

THE STREAM BUFFERS SHOWN HEREON ARE ESTABLISHED PURSUANT TO THE REQUIREMENTS OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE, ARTICLE IV, SECTION 409. IN AN EFFORT TO PRESERVE OR IMPROVE WATER QUALITY, THE PROPERTY OWNER IS REQUIRED TO ESTABLISH AND THEREAFTER MAINTAIN IN PERPETUITY VEGETATIVE GROUND COVER IN ACCORDANCE WITH URBAN BEST MANAGEMENT PRACTICES RECOMMENDED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. NO PERMANENT STRUCTURES OR CONSTRUCTION ARE PERMITTED WITHIN THE STREAM BUFFER EXCEPT THOSE DESIGNED TO IMPROVE WATER QUALITY OR FLOW AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, LAWS AND POLICIES. NO SEPTIC SYSTEM SHALL BE CONSTRUCTED WITHIN THE BUFFER NOR SHALL ANY RESERVE AREA BE ESTABLISHED WITHIN THE BUFFER.

PROJECT CONTACTS:

PHONE NUMBER-

E-MAIL-

CONTACT-

110000	11171010.		
WNER:	BFS FOODS, INC.	ELECTRIC COMPANY:	POTOMAC EDISON
DDRESS-	116 SHANNON DRIVE MORGANTOWN, WV 26508	ADDRESS-	PO BOX 3616 AKRON, OH 44309
HONE NUMBER-	304.291.6980	PHONE NUMBER-	1.800.686.0011
-MAIL-	jfeathers@bfscompanies.com	E-MAIL-	UNKNOWN
CONTACT-	JONATHAN FEATHERS	CONTACT-	UNKNOWN
NGINEER:	TRIAD ENGINEERING, INC.	GAS COMPANY:	COLUMBIA GAS OF MARYLANI
DDRESS-	1097 CHAPLIN ROAD	ADDRESS-	PO BOX 2318
	MORGANTOWN, WV 26501		COLUMBUS, OH 43216
HONE NUMBER-	304.296.2562	PHONE NUMBER-	1.888.460.4332
-MAIL-	jgardner@triadeng.com	E-MAIL-	UNKNOWN
CONTACT-	JACKSON GARDNER	CONTACT-	UNKNOWN
VATER PROVIDER:	TOWN OF HANCOCK	PHONE COMPANY:	AT&T
DDRESS-	126 WEST HIGH STREET HANCOCK, MD 21750	ADDRESS-	UNKNOWN
HONE NUMBER-	301.331.7095	PHONE NUMBER-	1.888.388.4249
-MAIL-	UNKNOWN	E-MAIL-	UNKNOWN
ONTACT-	ROBERT MUNDAY	CONTACT-	UNKNOWN
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SHEET INDEX:

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STORMWATER MANAGEMENT - DETAILS	<u> </u>
CONSTRUCTION DETAILS I	
CONSTRUCTION DETAILS II	·
CONSTRUCTION DETAILS III	
PHOTOMETIC PLAN (BY OTHERS)	

CERTIFICATIONS:

"I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)."	WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL BY: DATE: (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL
<u> </u>	DISTURBED AREA QUANTITIES
APPROVED: WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING	THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY <u>5.97 AC.</u> AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY <u>2,799 C.Y.</u> OF EXCAVATION AND <u>507 C.Y.</u> OF FILL.
SIGNATURE DATE	NOTE: THE QUANTITIES SHOWN ARE APPROXIMATE AND SHOULD NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.
ENGINEER'S STORM WATER MANAGEMENT CERTIFICATION	OWNER/DEVELOPER'S CERTIFICATION
FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE	I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT. 4/9/21
l '	ENGINEER/ARCHITECT DESIGN CERTIFICATION
	I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. 4/8/202/ MD - 22724

WASHINGTON COUNTY STANDARD **GENERAL NOTES FOR SITE PLANS:**

- 1. IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF 1. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH N.F.P.A. WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS
- 2. THE STORMWATER SYSTEM AND PUBLIC ROAD SYSTEM SHOWN ON THIS PLAN IS AN APPROXIMATION OF ITS ULTIMATE SIZE AND SHAPE. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN DESIGNED AND ITS SIZE AND SHAPE MAY CHANGE ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS DEVELOPMENT
- 3. THE DEVELOPER AGREEMENT FOR ROADS AND/OR STORMWATER MANAGEMENT SHALL BE EXECUTED BEFORE THE GRADING PERMIT CAN BE ISSUED FOR THIS DEVELOPMENT. THE COST ESTIMATE FOR ROADS, DRAINAGE AND STORMWATER MANAGEMENT SHALL BE SUBMITTED TO THE WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS - ENGINEERING AND CONSTRUCTION PRIOR TO GRADING PERMIT APPLICATION.
- 4. A MAINTENANCE OF TRAFFIC PLAN IS REQUIRED TO BE SUBMITTED FOR REVIEW FOR ALL PUBLIC ROAD IMPROVEMENTS PROPOSED FOR THIS DEVELOPMENT
- 5. A TRAFFIC CONTROL AND STRIPING PLAN IS REQUIRED TO BE SUBMITTED FOR ALL PUBLIC ROAD IMPROVEMENTS PROPOSED FOR THIS DEVELOPMENT
- 6. PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A "NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" (N.O.I.). THE NOI IS REQUIRED UNDER THE 5. IN SPRINKLERED BUILDINGS, THE FIRE DEPARTMENT CONNECTION(s) CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (M.D.E.). THE N.O.I. IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO M.D.E. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY CAN PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY M.D.E.
- 7. THIS PROJECT WILL REQUIRE A THIRD PARTY QUALIFIED PROFESSIONAL TO BE PRESENT AT THE PRECONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES" DATED OCTOBER 17, 2008.
- 8. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF PUBLIC WORKS.

FIRE DEPARTMENT NOTICE:

- 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF N.F.P.A. 1, UNIFORMED FIRE CODE. NO OPEN AIR BURNING SHALL OCCUR WITHOUT A PERMIT FROM THE WASHINGTON COUNTY HEALTH DEPARTMENT AND NOTIFICATION TO THE WASHINGTON COUNTY EMERGENCY COMMUNICATIONS CENTER AT 240-313-2910.
- 2. NEW AND EXISTING BUILDINGS SHALL HAVE THE APPROVED ADDRESS NUMBERS, PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, (N.F.P.A. 1-10.12.1.1)
- 3. FIRE DEPARTMENT ACCESS BOXES ARE REQUIRED BY THE HANCOCK FIRE & EMERGENCY SERVICES. THE BOX WILL BE REQUIRED TO CONTAIN KEYS TO THE BUILDING, GATES AND OTHER AREAS AS REQUESTED BY THE FIRE DEPARTMENT. (N.F.P.A. 1-18.2.2.1) THE FIRE DEPARTMENT ACCESS BOX ORDERING INFORMATION CAN BE OBTAINED FROM THE HANCOCK FIRE & EMERGENCY SERVICES OR ON-LINE AT www.knoxbox.com. THE RESPONSIBLE FIRE DEPARTMENT FOR THIS SITE AT THIS TIME IS HANCOCK VOLUNTEER FIRE COMPANY, INC. (301-678-7739).
- 4. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDINGS ARE HEREINAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION. (N.F.P.A. 1-18.3.1)
- (F.D.C.) SHALL BE INSTALLED ON THE FRONT OF THE BUILDING UNLESS OTHERWISE APPROVED BY THIS DEPARTMENT. THE F.D.C. SHALL BE EQUIPPED WITH NATIONAL HOSE THREADS (N.H.T.) WITH LOCKING CAPS THE CAPS CAN BE PURCHASED AS NOTED IN ITEM #3. A WATER SUPPLY TO SUPPORT THE AUTOMATIC SPRINKLER SYSTEM SHALL BE AVAILABLE WITHIN 100 ft. OF THE F.D.C. (NO CLOSER THAN 40 ft. FROM THE **BUILDING) UNLESS OTHERWISE APPROVED**
- INSTALLED IN ACCORDANCE WITH N.F.P.A. 24, "PRIVATE SERVICE MAINS AND THEIR APPURTENANCES". FIRE HYDRANTS INSTALLED ON PRIVATE MAINS SHALL MEET THE STANDARDS OF THE TOWN OF HANCOCK WATER DEPARTMENT. FIRE HYDRANTS SHALL BE DISTRIBUTED THROUGHOUT THE SITE IN ORDER TO PROVIDE A WATER SUPPLY TO ALL SIDES OF EACH STRUCTURE. FIRE HYDRANT PLACEMENT SHALL BE NO GREATER THAN 350 FEET SPACING WITH BUILDINGS 100,000 sq. ft. OR GREATER AND 500 FEET WITH BUILDINGS THAT ARE LESS THAN 100,000 sg. ft. WITH FIRE HYDRANTS PLACED AT INTERSECTIONS WHENEVER POSSIBLE.

6. WATER MAINS SUPPLYING FIRE PROTECTION SYSTEMS SHALL BE

Tries.	CADD FILE:		1	11/18/20	11/18/20 WASHCO SOIL CONSERVATION DISTRICT COMMENTS	JTG	
SHIPS			-	11/19/20	WASHCO PLAN REVIEW & PERMITTING COMMENTS	JTG	•
P. 2	C-01.COVER SHEET	SHEET.DWG	2	03/26/21	WASHCO SOIL CONSERVATION DISTRICT COMMENTS	JTG	
			2	03/26/21	WASHCO SOIL CONSERVATION DISTRICT COMMENTS	JTG	
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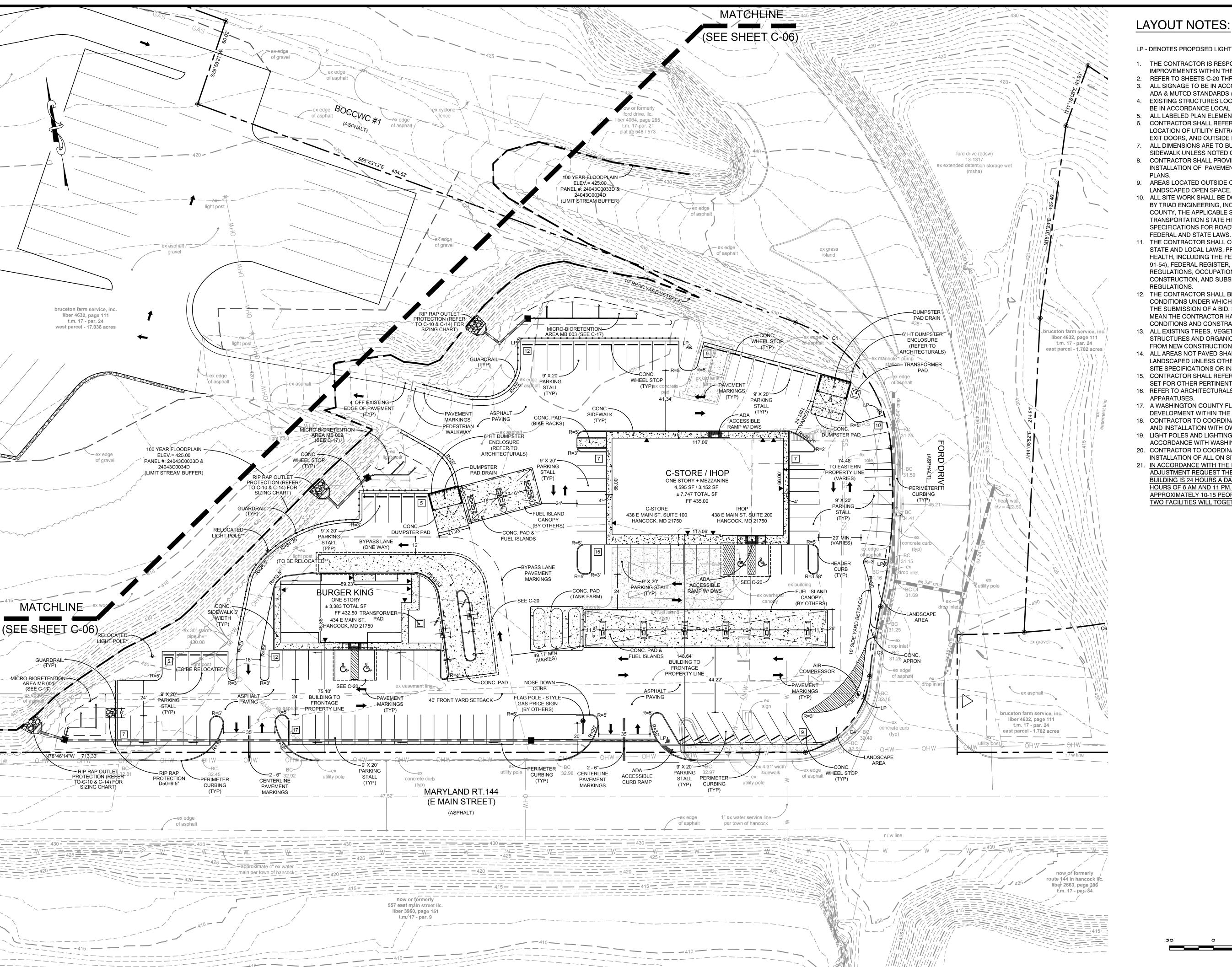
engineer under the laws of the State Maryland. Licence No. 22724 Expiration Date: 05/28/2022



www.triadeng.com SHEET NUMBER:

JOB NO.: 01-19-0363

SCALE: 1" = 2000' ADC MAP No.: 3 GRID: K-8



LAYOUT NOTES:

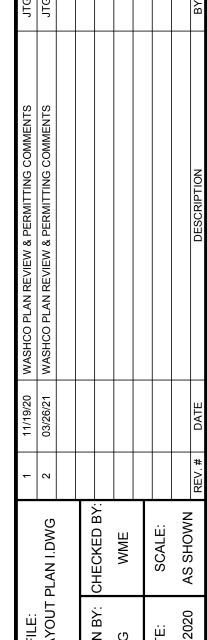
LP - DENOTES PROPOSED LIGHT POLE

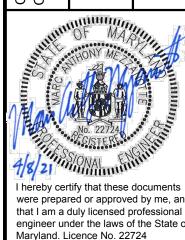
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT, GRADING, AND UTILITY IMPROVEMENTS WITHIN THE LOD/ESD AND LOC AS SHOWN.
- REFER TO SHEETS C-20 THROUGH C-21 FOR SITE CONSTRUCTION DETAILS.
- ADA & MUTCD STANDARDS (LATEST EDITIONS).
- ALL LABELED PLAN ELEMENTS ARE PROPOSED UNLESS OTHERWISE NOTED.
- EXIT DOORS, AND OUTSIDE EQUIPMENT.
- SIDEWALK UNLESS NOTED OTHERWISE.

- 10. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED COUNTY, THE APPLICABLE SECTIONS OF THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD
- . THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE
- CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- 13. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED
- 14. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS,
- 15. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION
- 16. REFER TO ARCHITECTURALS FOR BK DRIVE-THRU ORDERING SYSTEM
- 17. A WASHINGTON COUNTY FLOODPLAIN PERMIT IS REQUIRED FOR ALL
- 18. CONTRACTOR TO COORDINATE LIGHT POLES AND LIGHTING FIXTURES DESIGN
- INSTALLATION OF ALL ON SITE SIGNAGE.
- 21. IN ACCORDANCE WITH THE REQUIREMENTS FOR FILING AN ADMINISTRATIVE ADJUSTMENT REQUEST THE HOURS OF OPERATION FOR THE BFS/IHOP BUILDING IS 24 HOURS A DAY. THE BURGER KING WILL OPERATE BETWEEN THE HOURS OF 6 AM AND 11 PM. THE EXISTING BUILDING CURRENTLY EMPLOYS

- ALL SIGNAGE TO BE IN ACCORDANCE WITH WASHINGTON COUNTY, MDSHA,
- EXISTING STRUCTURES LOCATED ONSITE AND NOTED TO BE REMOVED, SHALL BE IN ACCORDANCE LOCAL UTILITY AND WASHINGTON COUNTY STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS,
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION
- 9. AREAS LOCATED OUTSIDE OF PAVEMENT AND/OR CONCRETE SHALL BE
- BY TRIAD ENGINEERING, INC., THE CURRENT REQUIREMENTS OF WASHINGTON SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND
- FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
- SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- SET FOR OTHER PERTINENT INFORMATION.
- APPARATUSES.
- DEVELOPMENT WITHIN THE FLOODPLAIN.
- AND INSTALLATION WITH OWNER. 19. LIGHT POLES AND LIGHTING FIXTURES DESIGN SHALL BE INSTALLED IN
- ACCORDANCE WITH WASHINGTON COUNTY STANDARDS. 20. CONTRACTOR TO COORDINATE WITH OWNER FOR THE DESIGN AND
- APPROXIMATELY 10-15 PEOPLE. UPON COMPLETION OF CONSTRUCTION THE TWO FACILITIES WILL TOGETHER EMPLOY APPROXIMATELY 125 PEOPLE.

SCALE:1"=30



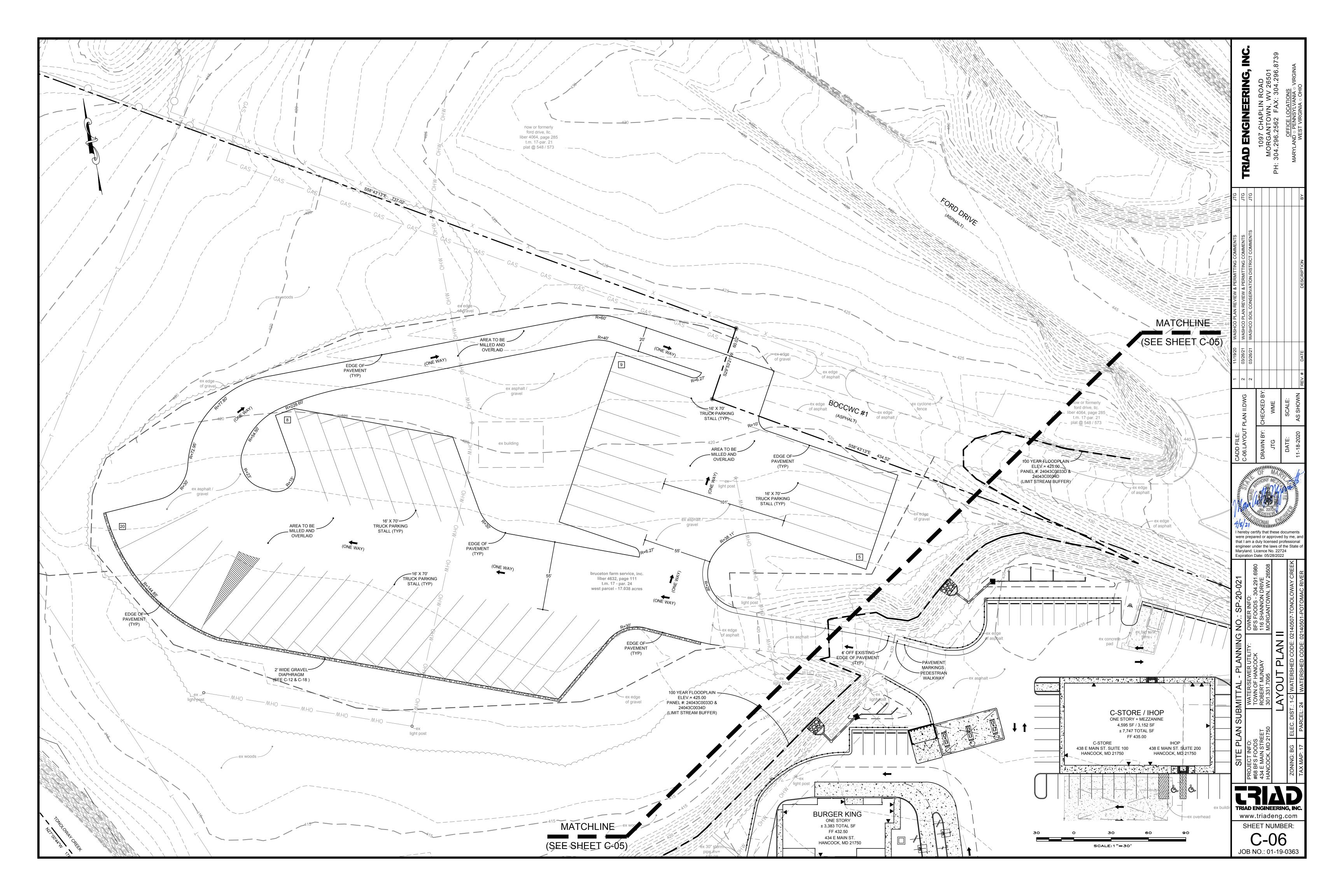


Expiration Date: 05/28/2022

_		- - - -		
AFO:		WATE	WATER/SEWER UTILITY:	OWNER INFO:
SOO		TOWN	TOWN OF HANCOCK	BFS FOODS - 304.291.6980
STREET	EET	ROBE	ROBERT MUNDAY	116 SHANNON DRIVE
MD 2	MD 21750	301.33	301.331.7095	MORGANTOWN, WV 26508
	_	_AY	LAYOUT PLAN I	
3G	ELEC. DIST	.: 1-C \	NATERSHED CODE: 02	3G ELEC. DIST.: 1-C WATERSHED CODE: 02140507-TONOLOWAY CREE
17	PARCEI	24	WATEPSHED CODE: 02	17 DARCEL 24 WATEBSHED CODE: 02140501 BOTOMAC BIVED



SHEET NUMBER: C-05 JOB NO.: 01-19-0363



Site Plan for Bowman Sunfish

Presented is a site plan for bowman Sunfish.

The subject site is located along the east side of Greencastle Pike south of Huyetts Crossroads. Zoning is Highway Interchange.

The developer is proposing to create a 480,000 square foot warehouse with office on their 55.00 acre parcel. 48,000 square feet of that will be office. It will have one main access onto Greencastle Pike.

The site will be served by public water and sewer.

Hours of operation – 24 hours a day, 7 days a week.

Employees – 130 proposed for warehouse; 30 proposed for office.

Solid waste will be provided by a roll off trash compactor in the bay.

Parking will be 275 spaces. 426 spaces are required, however, the developer was granted a modification by the Board of Appeals in March 2021 allowing for the reduction in required parking numbers (AP2021-007). Total trailer parking will have 199 spaces.

Site lighting will be pole and building mounted.

Signage will be building mounted.

Landscaping will be planted in the front of the building and along the border of the adjacent single family home.

Forest Conservation will be met by on site and off site forestation retention for a total of 22.24 acres.



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

) 80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME	Bowman Sunfish
NUMBER:	SP-20-016
OWNER::	BOWMAN 2000 LLC
LOCATION:	Eastside of Greencastle Pike south of Huyetts Crossroads
DESCRIPTION	Proposed warehouse and office

ZONING.....: Highway Interchange COMP PLAN LU...... Industrial/Flex

PARCEL...... 24000915

PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 24

TYPE...... Commercial

GROSS ACRES..... 55.93

DWELLING UNITS....:

TOTAL LOTS...... 1

DENSITY..... 0 Units Per Acre

PLANNER.....: Lisa A Kelly

ENGINEER..... FREDERICK SEIBERT & ASSOCIATES

RECEIVED.....: July 1, 2020

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes WETLANDS.....: None

WATERSHED.....: Conococheague Creek

ENDANGERED SPECIES.....: None **STEEP SLOPES.....:** No

HISTORIC INVENTORY...... No Resources Present

EASEMENTS PRESENT...... None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

	SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	d	Open Space Area Planned
46	.		
Open Space Minimum Required	Residential Amenity Plans		Solid Waste Disposal Plans
		_	Trash Compactor
Materials Stored on Site	Buffer Design Meets Requireme	nts La	ndscaping Meets Requirements
	Yes	_	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	e Bus	Stop is Within Walking Distance
Yes			
Loading Area Meets Requirements			
			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling U	nit	
275			
Parking Spaces - Minimum Required	Recreational Parking Provided	<u></u>	
426	No		
CHOOL DICTRICT	ELEMENTARY	MIDDLE	HIGH
CHOOL DISTRICT		Clear Spring	Clear Spring
UPIL YIELD	G	, 0	, 3
URRENT ENROLLMENT			
1AXIMUM CAPACITY			
	PUBLIC FACILITIES INFORMATION	ON	
IRE DISTRICT:	HALFWAY		
MBULANCE DISTRICT:	HALFWAY		
	WATER & SEWER INFORMATION	NC	
	WATER		SEWER
IETHOD:	City		County
ERVICE AREA:	City		County
RIORITY:	3-Programmed Service		3-Programmed Service
EW HYDRANTS:	3-r rogrammed service		3-r rogrammed service
ALLONS PER DAY SEWAGE:			
ALLONS PER DAT SEWAGE			
LANT INFO:			Conococheague

BEFORE THE BOARD OF APPEALS FOR WASHINGTON COUNTY, MARYLAND

BOWMAN 2000, LLC

Appeal No.: AP2021-007

Appellant

*

OPINION

Bowman 2000, LLC (hereinafter "Appellant") requests a variance from the offstreet parking requirements from 426 spaces to 275 spaces for construction of a warehouse at the subject property. The subject property is located at 12000 Greencastle Pike, Hagerstown, Maryland and is zoned Highway Interchange. The Board held a public hearing on the matter on March 31, 2021.¹

This appeal was heard pursuant to Article 25 of the Zoning Ordinance for Washington County and upon proper notice to the parties and general public as required.

Findings of Fact

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

- Appellant owns the subject property located at 12000 Greencastle Pike,
 Hagerstown, Maryland. The subject property is zoned Highway Interchange.
 - 2. The subject property consists of 55 acres, of which 38 acres is proposed to

¹ Due to the COVID-19 pandemic, in-person access and contact for public hearings has been limited, especially in County buildings. In December 2020, the County transitioned to conducting quasi-judicial hearings exclusively by remote virtual hearing. All participants and witnesses, including the Board members and staff appeared via Zoom and the public at large were permitted to participate by telephone/video. All notices for the hearing provided the information necessary to call in and/or participate remotely and those who wished to participate were encouraged to make written submissions as well.

be developed. A large portion of the subject property is unusable due to being in a flood plain and having wetlands areas and steep, sloping topography.

- 3. Appellant proposes to construct an approximately 480,000 square foot warehouse and distribution facility at the subject property. Appellant proposes to install 275 parking spaces and 199 trailer spaces.
- 4. Appellant expects the end user to have between 175 and 200 employees on any given shift. There will be minimal, if any, customer traffic to the property.
- 5. The City of Hagerstown is in the process of revising off-street parking requirements for warehouse facilities to require one (1) space for every 2,000 square feet as opposed to 1,500 square feet.
 - 6. There was no opposition presented to this appeal.

Rationale

The Board has authority to grant a variance upon a showing of practical difficulty or undue hardship. §§ 25.2(c) and 25.56.2 "Practical Difficulty" may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variance would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and (3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare. § 25.56(A).

² "When the terms unnecessary hardship (or one of its synonyms) and practical difficulties are framed in the disjunctive ("or"), Maryland courts generally have applied the more restrictive hardship standard to use variances, while applying the less restrictive practical difficulties standard to area variances because use variances are viewed as more drastic departures from zoning requirements." *Belvoir Farms Homeowners Ass'n, Inc. v. North*, 355 Md. 259, 276 n.10 (1999) (citations omitted).

Practical difficulty and undue hardship are the result of a property being unique. "'Uniqueness' of a property for zoning purposes requires that the subject property have an inherent characteristic not shared by other properties in the area, i.e., its shape, topography, subsurface condition, environmental factors, historical significance, access or non-access to navigable waters, practical restrictions imposed by abutting properties (such as obstructions) or other similar restrictions." *North v. St. Mary's Cnty.*, 99 Md. App. 502, 514 (1994).)

In this case, Appellants are again faced with the outdated parking mandates of the Zoning Ordinance. While they were clearly well-intentioned at the time of adoption, the parking requirements do not reflect the modernization of warehouses and distribution facilities. Increased automation and a reduction in personnel has led to a reduced need for on-site parking to accommodate employees and visitors. As a result, it is the application of the Ordinance requirements that render the property unique. The imposition of these requirements prohibits reasonable and meaningful development of the subject property, which is a characteristic unique to this property and proposed use.

It is vital to the operation that trucks be able to navigate loading areas and trailer drop areas which will occupy significant exterior space. In order to comply with the Ordinance requirements, Appellant would either need to reduce those vital areas or increase considerably, the paved surface area surrounding the facility. The former creates the likelihood for reduce efficiency and productivity from the intended use and the latter is environmentally irresponsible. In sum, strict compliance would increase adverse effects emanating from the operation or prevent a permitted use to occur on a portion of the property. Likewise, strict compliance would achieve little practical benefit, as it is overwhelmingly likely that most of the parking area will not be utilized. The application of the Ordinance parking requirements is unreasonably burdensome, creates a hardship and results in practical difficulty, namely the unnecessary choice of reducing warehouse

space or encroaching upon green space to achieve compliance. The variance request herein is the minimum necessary to ensure orderly development of the property and consistent with the spirit and intent of the Ordinance.

Accordingly, the request for a variance from the off-street parking requirements from 426 spaces to 275 spaces for construction of a warehouse at the subject property is GRANTED, by a vote of 5-0. The application is granted upon the condition that the proposed use be consistent with the testimony and evidence presented herein.

BOARD OF APPEALS

By: Paul Fulk, Chair

Date Issued: April 28, 2021

Notice of Appeal Rights

Any party aggrieved by a final order of the Authority in a contested case, whether such decision is affirmative or negative in form, is entitled to file a petition for judicial review of that order to the Circuit Court for Washington County within thirty (30) days of the date of the order.

- APPROVALS MD-ENG-6A "I/We certify all/any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan UTILITY NOTIFICATION and responsible personnel involved in the construction project will The Soil Conservation District makes no representation as to the have a Certificate of Training at a Maryland Dept. of the Environment existence or nonexistence of any utilities at the construction site. approved training program for the control of soil erosion and Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-777 **DISTURBED AREA QUANTITY** THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 38.0 ACRES AND THE TOTAL AMOUNT OF "I/we hereby certify that all clearing, grading, construction and/or **EXCAVATION AND FILL AS SHOWN ON THESE PLANS** development will be done pursuant to this plan and in accordance with HAS BEEN COMPUTED TO BE APPROXIMATELY the Stormwater Management Ordinance of Washington County and the 145,282 CU. YDS. OF EXCAVATION AND APPROXIMATELY policy on construction of subdivision infrastructure for acceptance and 207,053 CU. YDS. OF FILL. ownership by Washington County (S-3)." WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL) WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING I hereby certify this plan for soil erosion and segment source has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY Erosion and Sediment Control. This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility. **ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION** "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant.' SIGNATURE

OWNER / DEVELOPERS CERTIFICATION

SITE PLAN

FOR

BOWMAN SUNFISH

SITUATED ALONG THE EAST SIDE OF GREENCASTLE PIKE AND TO THE SOUTH OF THE INTERSECTIONOF US 40 AND GREENCASTLE PIKE WASHINGTON COUNTY, MARYLAND

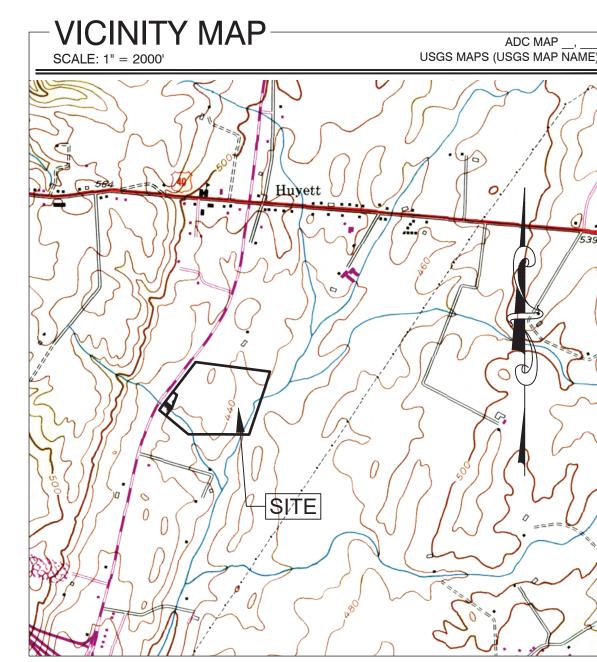
OWNER/DEVELOPER: BOWMAN DEVELOPMENT CORP. 10228 GOVERNOR LANE BLVD, SUITE 3002, WILLIAMSPORT, MD 21795

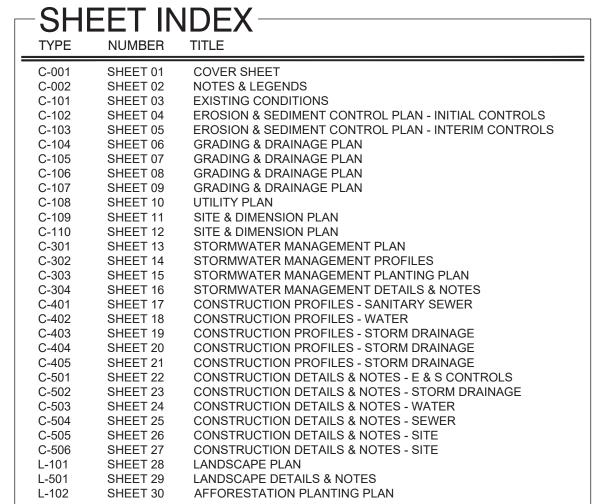
ATTN: JEFF TEDERICK PHONE: 301-582-1555 **EMAIL:** jtedrick@dmbowman.com

CIVIL ENGINEER/ SURVEYOR FREDERICK SEIBERT & ASSOCIATES, INC. 128 S. POTOMAC ST. HAGERSTOWN, MD 21740

> **ATTN: DAVID TROSTLE PHONE:** 301-791-3650 EMAIL: dave@fsa-md.com

INITIAL SUBMITTAL SET: 06/26/20 1ST RESUBMITTAL SET: 03/23/21 2ND RESUBMITTAL SET: 05/05/21





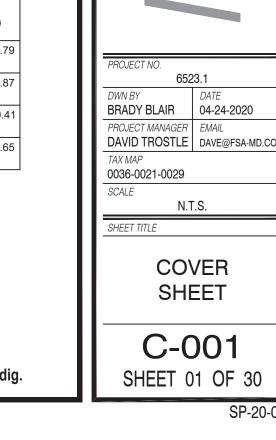
ESD Practices (Chapter 5 - Non - Structural)								
Туре	No.	D.A. (Acres) (To Structure)	Impervious D.A. (Acres) (To Structure)	ESDv (ac-ft)	WQv (ac-ft)	P.E. Addressed		
Sheetflow to C.A.	1	1.40	1.40	1.13	1.13	,		

Total DA (Site)

Chapter 5 - Structural								
Туре	No.	D.A. (Acres) (To Structure)	Impervious D.A. (Acres) (To Structure)	ESDv (ac-ft)	WQv (ac-ft)	P.E. Addressed		
Bioretention	1	1.20	0.62	0.08	0.08	2.33		
Bioretention	2	2.70	1.90	0.28	0.28	1.82		
Bioretention	3	4.20	3.30	0.62	0.62	2.32		
Bioretention 4		2.60	2.20	0.46	0.46	2.64		
Grass Swale	1	-	-	0.04	0.04	2.33		

Chapter 3 - Structural							
Туре	No.	D.A. (Acres) (To Structure)	Impervious D.A. (Acres) (To Structure)	ESDv (ac-ft)	WQv (ac-ft)		
Surface Sand Filter	1	6.60	5.10	0.79	0.79		
Surface Sand Filter	2	6.20	5.60	0.87	0.87		
Surface Sand Filter	3	3.70	2.80	0.41	0.4		
Surface Sand Filter	4	3.80	3.40	0.65	0.6		





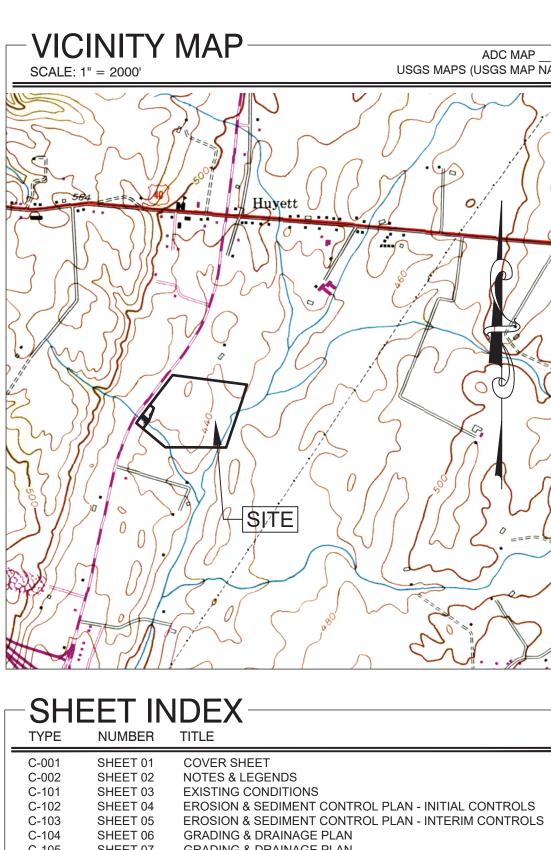
-STORMWATER NARRATIVE-

This site plan is for the development of a 480,300 square foot commercial warehouse and other associated infrastructure, located along the west side of Greencastle Pike (MD 63) approximately 0.5 miles south of its intersection with National Pike (US 40). This site is located within the review jurisdiction of the Washington County Plan Review Department and Washington County Soil Conservation District. The proposed warehouse will be constructed on two separate parcels both owned by Bowman Development Corporation. These parcels total 56.81 acres and contain 0.0 acres of existing impervious area. The development of these two parcels will cause 35.9 acres of land disturbance and create 25.51 acres of impervious cover. This equates to an ESDv of 175,424 cubic feet. The stormwater runoff created by the proposed development will be treated and controlled by sheetflow to conservation area, grass swales, four bio-retention ponds, and 4 surface sand filters that provide 189,186.47 cubic feet of treatment.

-SENSITIVE AREA NOTICE:

TITLE

The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.



—GENERAL NOTES-

- 1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor. 2. No subsurface investigation has been performed by Frederick, Seibert and Associates. Inc. to determine ground water, rock. sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings. 3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the
- best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. 4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities. 5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in
- areas where low hanging wires exist. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required. 7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:
- 1-800-255-3443 Potomac Edison Columbia Gas (Hagerstown) (301) 733-1010 Verizon (301) 790-7124 Antietam Cable (240) 420-2082 (240) 313-2600 Washington County Construction Division Washington County Department of Water Quality (240) 313-2600 City of Hagerstown Utilities Department (301) 739-8577 Ext. 650
- 8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- 9. Benchmarks to be established by FSA prior to the start of construction.

Washington County Soil Conservation District

10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions. 11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or

(301) 797-6821 Ext. 3

- constructing roadway and parking through base course before loading site with heavy vehicles. 12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A.
- 13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the
- compaction of fill. 14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- 15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- 16. Please refer to Geotechnical Report completed by XXXXXX for load bearing fills, etc. 17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- 18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- 19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped. 20. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in April 2020. (Contour accuracy is to plus
- or minus one half the contour interval).
- 21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- 22. Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the photometrics plans and utility plan. 23. The contractor shall provide MOSH safety assistance for City Utilities Department and Washington County Depart of Water Quality...
- 24. This project has a projected start date of August 2020 and a completion date of August 2021. 25. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other
- representative of Washington County or City of Hagerstown.
- 26. Proposed SWM will consist of on-site bio-retention facilities and surface sand filters. 27. This project will require a third party qualified professional to be present at the preconstruction meeting scheduled with Washington
- County Division of Construction and the Washington County Soil Conservation District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- 28. In fill areas, storm drain pipe shall be placed on 95% compacted fill according to AASHTO T-180A standard. 29. Developer/Contractor must contact the certifying engineer and Washington County at least 5 days prior to the start of construction of
- the stormwater management system to schedule and coordinate inspection time tables. 30. No permanent structures (e.g. fences, sheds, play equipment, retaining wall, etc) shall be permitted within any stormwater or storm
- 31. A building permit is required for any retaining wall if it is greater than three (3) feet in height and a global stability analysis if it is greater than ten (10) feet in height.

—SEQUENCE OF CONSTRUCTION-

Pre-Construction Notification - Contractor shall notify the Washington Co. Soil Conservation District (301-797-6821, ext. 3), Washington County Division of Construction (240-313-2600), Washington County Planning and Zoning (Travis Allen) (240-313-2430), and the Design Engineer (301-791-3650) at least five (5) days prior to start of any work shown on these plans to schedule a pre-construction

Phase #1 (Installation of Initial Sediment Erosion Controls and Striping of Topsoil):

- Before beginning construction, forest retention easement is to be staked and protection fence is to be installed.
- . Install a stabilized construction entrance off of Greencastle Pike as shown on C-102. 3. Contractor to install all perimeter erosion & sediment controls as shown on plans sheet C-102 and only clear areas necessary for
- control installation. Contractor to remediate any sink holes found during clearing before beginning further earth disturbance.
- 4. Contractor to install stormdrain system ES-5 to ES-6. Once ES-5 has been installed the contractor shall install riprap outflow protection downstream. Once the stormdrain system is install the contractor is to place a flow barrier as shown on sheet C-102 at
- 5. Contractor to strip topsoil and grade Swale #1 and Swale #2 areas only. Starting at the downstream point and working upstream stabilizing with permanent control matting as they work upstream. A stripped topsoil shall be placed on temporary topsoil stockpiles with silt fence installed on the downhill side.
- 6. Once all sediment erosion controls and graded as shown on sheet C-102 are constructed and installed the contractor may begin making preparations to strip topsoil.
- Contractor to strip topsoil and place on stockpile as shown on sheet C-102 & C-103. Place silt fence around the lower side of stockpile and stabilize per temporary seeding specifications. Contractor to implement incremental stabilization on all slopes greater than 15' in height. Stabilize with erosion control matting and seed & mulch as required.

Phase 2 (Site Grading and Construction):

- 8. After topsoil has been stripped the contractor may begin making preparation to grade the site by installing the perimeter controls as 9. Contractor to begin grading of building pad. The contractor may excavate the stormwater bmp's as borrow pits to use the material
- as fill for the building pad. Any additional fill that is brought to the site must come from a site that has a approved and current sediment erosion control plan. Also, any material that leaves the site must go to a site that has and approved and current sediment
- 10. Contractor to continue with the remainder of the site grading by working from the building pad to the perimeter as shown on the
- 11. Contractor to grade site and prepare building pad per Geotechnical Engineer's recommendations. Contractor to stabilize all swales, ditches, perimeter slopes and all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance and all other disturbed or graded areas within 7 calendar days.
- 12. Contractor can begin building construction as building pad is brought to grade.
- 13. Contractor to begin site utilities and stormdrain construction. A filter bag should be used for any trenching dewatering the may need
- 14. The contractor shall install stormdrains as shown starting on the downstream end and working upstream. As the inlets are installed the contractor must immediately place inlet protection around the inlets as shown on sheet C-103. The contractor shall maintain and repair the inlet protection for the duration of construction activities until the site has been sufficiently stabilized and approval has been given from Washington County Soil Conservation to remove the inlet protection. Once the each individual end-section has been installed the contractor shall install riprap outlet protection as shown on sheet C-103 before starting construction on the next stormdrain structure.
- 15. Contractor to fine grade parking areas, install curbs and place stone base in parking areas to stabilize. Install matting where
- required and seed & mulch lawn areas where required. 16. Spread topsoil, place necessary matting and stabilize per the permanent seeding specifications.
- 17. After site is stabilized, contact the Washington County Soil Conservation District (301-797-6821, ext. 3) to verify site is adequately stabilized before beginning final construction of the SWM BMP's. Contractor to flush all stormdrains, clean out the borrow pits of
- any sediment, and dispose of sediment at a site with an approved and current sediment and erosion control plan. 18. Contractor to setup inspection schedule required for the installation of the swm bmp's. Contact site engineer at least 2 days prior to
- 19. Contractor to excavate BMP's to proper depth, install underdrains, sand/planting soil, gravel diaghragm, mulch/topsoil and
- 20. Post-Construction Notification Notify the Washington County Soil Conservation District and Washington County Division of Construction at least five (5) days prior to the removal of any sediment control features to schedule a final site closeout review meeting after the site is 95% stabilized.
- 21. Once the Soil Conservation District approval is granted, perimeter controls can be removed and final stabilization in those areas shall be completed.

ZONING DATA

ZONING DISTRICT	HI- HIGHWAY INTERCHANGE DISTRICT	
MAX BUILDING HEIGHT	75 FT	
MINIMUM YARD SETBACK		
FRONT	40 FT.	
*SIDE	10 FT.	
*REAR	10 FT.	
*EXCEPT WHERE I	T AND PROPOSED USES ABUT AND REQUIRE ACCESS TO A RAILROAD OR RAILROAD SID)IN
THE SIDE OR REA	R YARD SETBACK ABUTTING THE RAILROAD OR RAILROAD SIDING SHALL NOT BE REQUIR	₹EC

*EXCEPT WHERE THE PROPOSED USES OR BUILDING ABUT A LOT IN A RR, RT, RS, RU OR RM DISTRICT, OR ANY LOT OCCUPIED BY A DWELLING, THE SIDE AND REAR SETBACKS SHALL BE 100'

BOARD OF ZONING APPEALS' CASE NONE

TAX MAP - GRID - PARCEL	0036-0021-0029
ELECTION DISTRICT	24
ACCOUNT NUMBER	000915
LIBER / FOLIO	02246 / 00716
PLAT NUMBER	NONE
AREA SUMMARY:	
PARCEL	55.93 AC
DISTURBED AREA	35.9 AC
EXISTING IMPERVIOUS	0.0 AC (0%)
PROPOSED TOTAL IMPERVIOUS	25.51 AC (46%)
BUILDING SUMMARY:	
FOOTPRINT	480,300 SF
OFFICE SPACE	48,000 SF
WAREHOUSE SPACE	432,300 SF
HEIGHT	30'
PROPOSED USE	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
EMPLOYEE SUMMARY:	
OFFICE	30
WAREHOUSE	130
WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	1,600 GPD
WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
FREIGHT & DELIVERY	TRACTOR TRAILER & BOX TRUCK DAILY
SITE LIGHTING:	
EXISTING	NONE
PROPOSED	POLE & BUILDING MOUNTED
SITE SIGNAGE:	NONE
EXISTING	NONE
PROPOSED_	BUILDING MOUNTED
ADDRESS ASSIGNMENT	12000 GREENCASTLE PIKE
ROAD CLASSIFICATION:	MA IOD COLLECTOR
GREENCASTLE PIKE WAIVER AND/OR VARIANCE	MAJOR COLLECTOR BZA CASE# AP-2021-007 DATED MARCH 31, 2021
	· · · · · · · · · · · · · · · · · · ·
FOREST CONSERVATION WATERSHED:	ONSITE AND OFFSITE FOREST RETENTION
WATERSHED: NAME	CONOCOCHEAGUE CREEK
NUMBER	CONOCOCHEAGUE CREEK 02-14-05-04
FEMA PANEL #	02-14-03-04 24043C0281D (LOMA #20-03-1003A DATED 06/03/20)

┌─PARKING, LOADING & BICYCLE DATA-

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	432,300 SF / 1,500 SF	288 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES AND/OR OFFICE SPACE	48,000 SF / 350 SF	138 SPACES
TOTAL REQUIRED	SPACES		426 SPACES
TOTAL PROVIDED	PARKING SPACES		275 SPACES*
TOTAL REQUIRED	BICYCLE SPACES		11 SPACES
TOTAL PROVIDED	BICYCLE SPACES		11 SPACES
TOTAL TRAILER	PARKING SPACE		199 SPACES

SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment
- Control" and the provisions of the approved plan. All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
- a) Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
- b) Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading. Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise
- specified on plans. Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified
- on plans. 10. No slope shall be greater than 2:1.
- 11. As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative
- Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

For sites 1.0 acre or more, the following are required:

- A. Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDRC, State Discharge Permit Number 14GP, or an Individual Permit.
- B. The Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI) application and permit shall be posted and/or available on-site at all times.
- C. During construction, all soil erosion and sediment control practices (BMP's) shall be inspected and recorded on the "Standard Inspection Form",

authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

"General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit Notice of Intent - NOI). D. Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions

of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the

	<u> </u>	<u></u>
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY	-	
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)	xxxxxxx	xxxxxx
FENCE (WOODEN)		
,		
ITCH (STREAM)	· · · _ · · · · · · _	
DGE OF WATER		
VETLAND		
LOODPLAIN		
OIL BOUNDARY	71:1111	
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
URB		
VALL		
SUARD RAIL		
DGE OF CONCRETE	1 - 4 - 24 / 2 - 4 - 24 / 2 - 4 - 4 - 2 - 2 - 2 - 2 - 2 - 2 - 2 -	
UILDING		A A A A
MAIL BOX	MB	MB
SIGN (ROAD)		<u>—</u>
SIGN (SITE)		
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TOPOGRAPHIC FEATURES	500	
CONTOUR (INDEX)	500	500
CONTOUR (INTERMEDIATE)	1 501.65 50 ₇	501.65
SPOTS ELEVATION	*	X X
EGETATION AREAS		
DECIDUOUS TREES	€)	SEE LANDSCAPE SHEET FOR LEGEND
EVERGREEN TREES		SEE LANDSCAPE SHEET FOR LEGEND
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COMMUNICATION LINE	COMM	COM M
OVERHEAD LINES		——————————————————————————————————————
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GAS METER	(3)	®
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PROPOSED

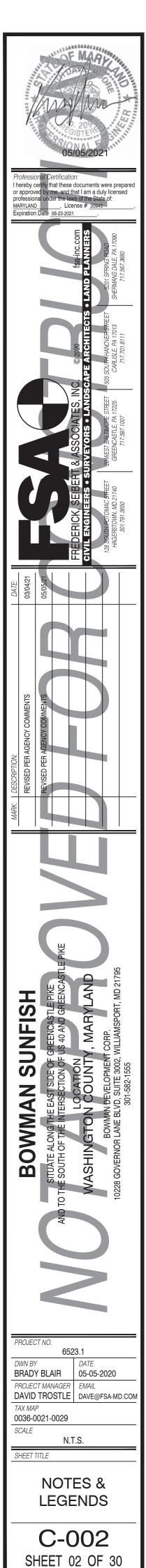
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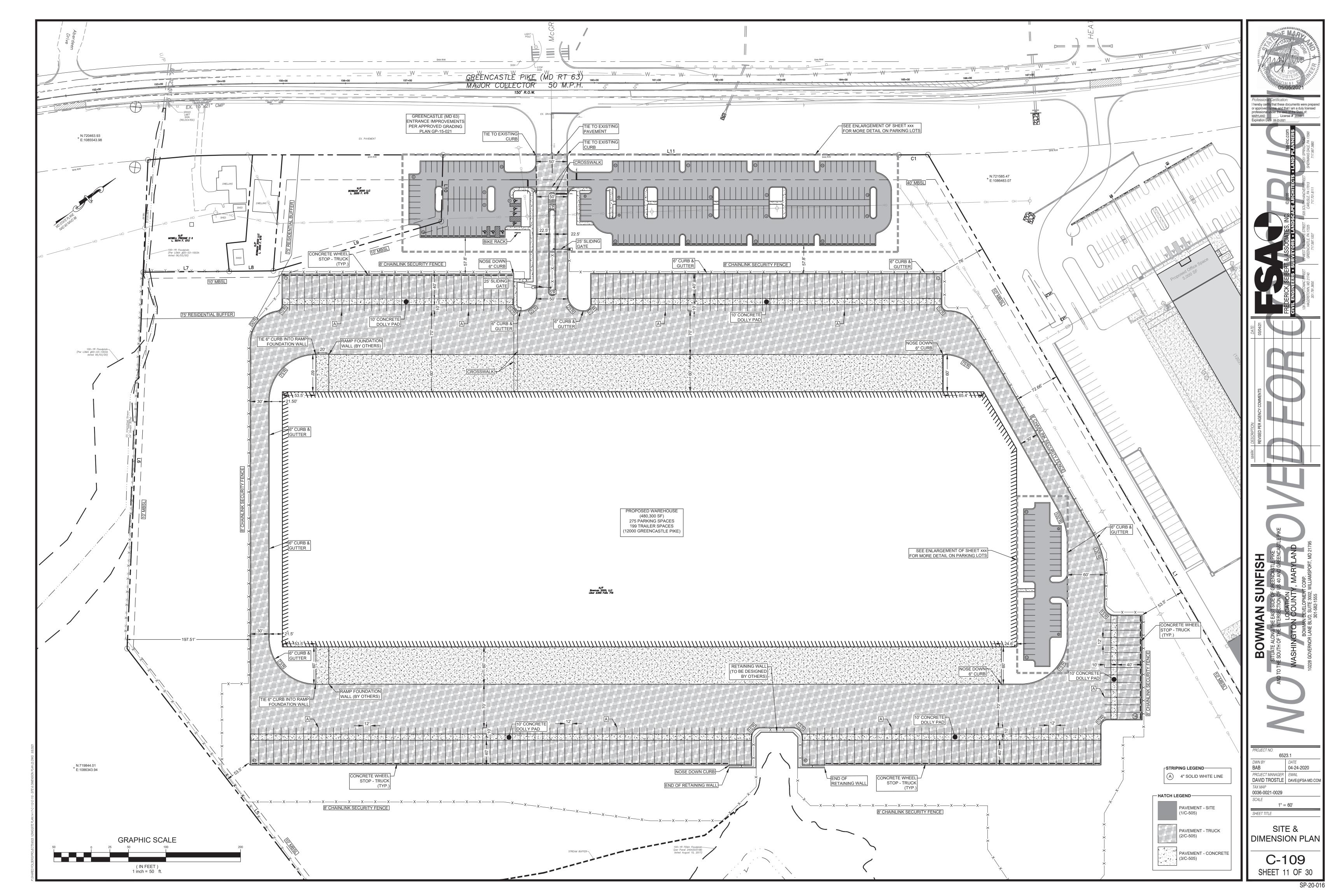
AASHTO AMERICAN ASSOCIATION OF STATE

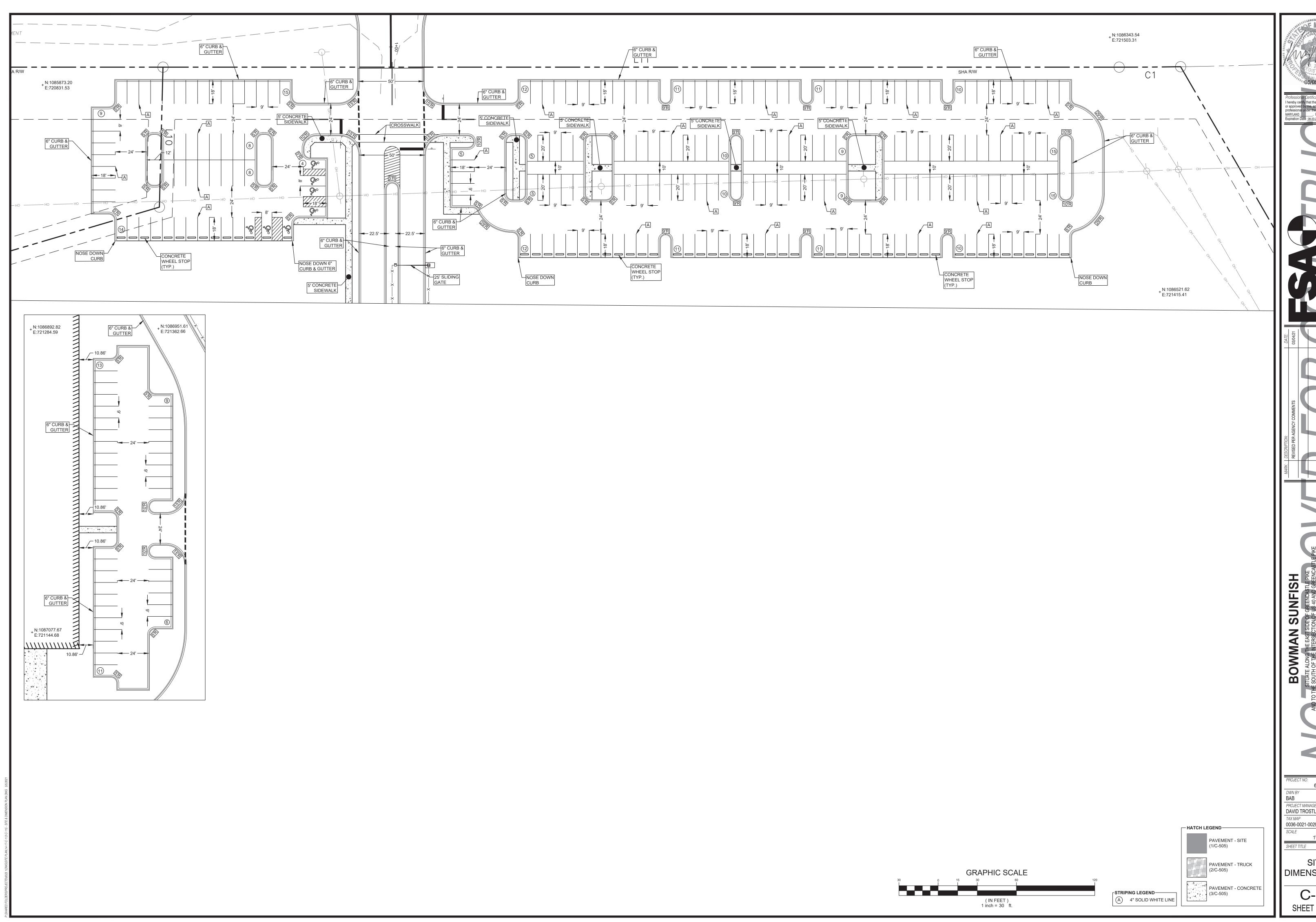
LEGEND-

	HIGHWAY AND TRANSPORTATION OFFICIALS	PC	POINT OF CURVE
ADS	ADVANCED DRAINAGE SYSTEM	PCC	POINT OF COMPOUND CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND	PGL	PROPOSED GRADE LINE
	MATERIAL	PRC	POINT OF REVERSE CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PT	POINT OF TANGENT
BLDG	BUILDING	PVC	POINT OF VERTICAL CURVE
BOT	BOTTOM	PVI	POINT OF VERTICAL INTERSECTION
CIP	CAST IRON PIPE	PVT	POINT OF VERTICAL TANGENT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	SAN	SANITARY
CO	SANITARY SEWER CLEAN-OUT	SCE	STABILIZED CONSTRUCTION ENTRANCE
COMM	COMMUNICATION	SDR	STANDARD DIMENSION RATIO
CONC	CONCRETE	SIP	SET IRON PIN
DA	DRAINAGE AREA	SD	STORM DRAINAGE
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
EGL	EXISTING GRADE LINE	SF	SQUARE FEET
EX	EXISTING	SS	SANITARY SEWER
EIP	EXISTING IRON PIN	SSMH	SANITARY SEWER MANHOLE
FFE	FINISH FLOOR ELEVATION	STA	STATION
FH	FIRE HYDRANT	STD	STANDARD
GV	GATE VALVE	SY	SQUARE YARDS
HGL	HYDRAULIC GRADE LINE	TAN	TYPE AS NOTED
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
INV	INVERT	TS	TOP OF STRUCTURE
LF	LINEAR FEET	TG	TOP OF GRATE
MAX	MAXIMUM	TR	TOP OF RIM
MB	MAIL BOX	TYP	TYPICAL
MIN	MINIMUM	U/P	UTILITY POLE
MJ	MECHANICAL JOINT	VIF	VERIFY IN FIELD
NO	NUMBER	WL	WATERLINE
NIC	NOT IN CONTRACT	WM	WATER METER
NTS	NOT TO SCALE	WV	WATER VALVE
OAC	OR APPROVED EQUAL		

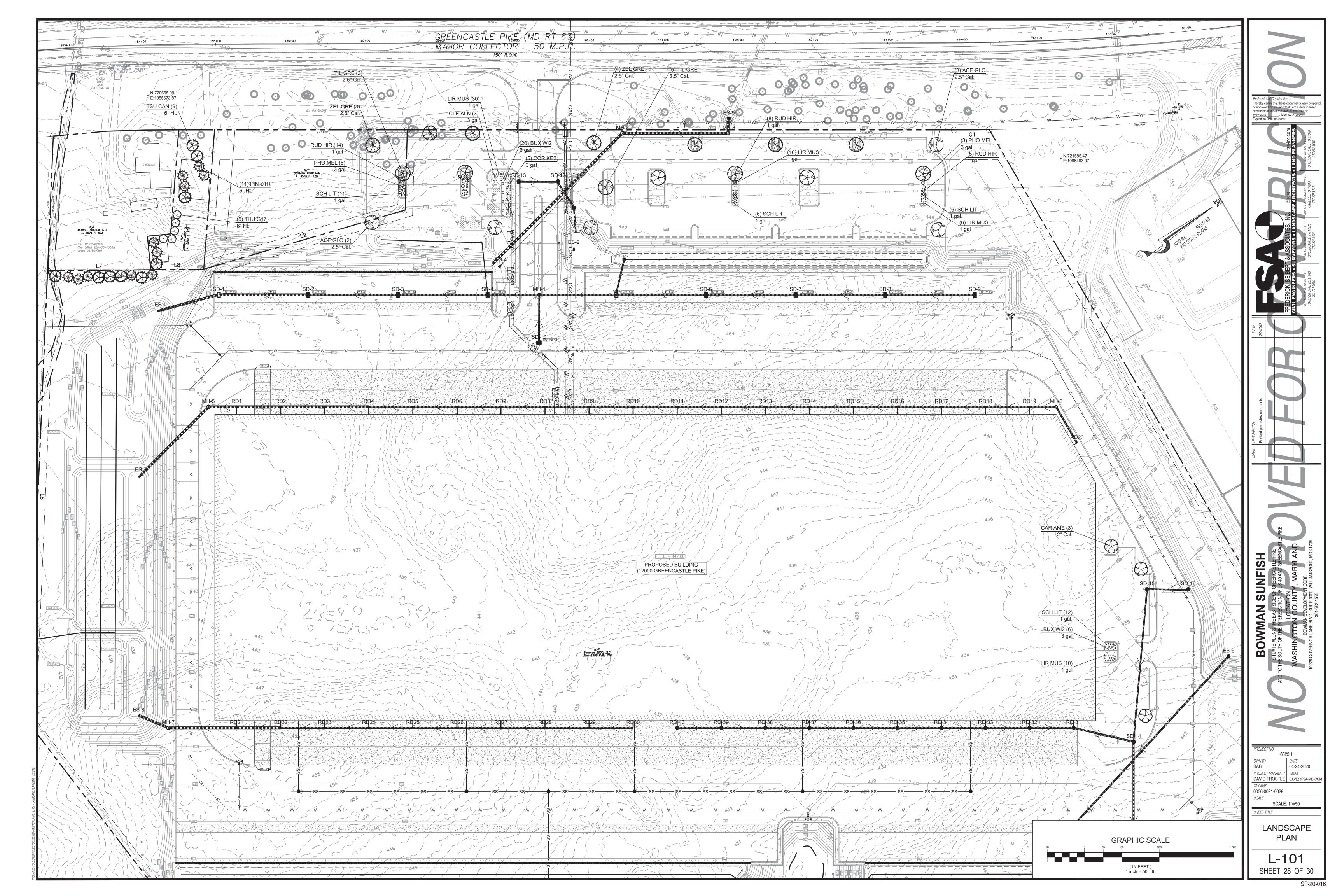
ON CENTER







6523.1 1" = 30' SITE & DIMENSION PLAN C-110 SHEET 12 OF 30



PLANT SCHEDULE

	TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
		ACE GLO	Acer rubrum `October Glory` TM	October Glory Maple	2.5" Cal.	B&B	5	2/L-501
	3	CAR AME	Carpinus caroliniana	American Hornbeam	2" Cal.	B&B	3	2/L-501
		PIN STR	Pinus strobus	White Pine	6` Ht.	B&B	11	4/L-501
White was	* A Landon William	THU G17	Thuja occidentalis `Green Giant`	Green Giant Arborvitae	6` Ht.	B&B	5	4/L-501
		TIL GRE	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	2.5" Cal.	B&B	7	2/L-501
)	TSU CAN	Tsuga canadensis	Canadian Hemlock	6` Ht.	B&B	9	4/L-501
		ZEL GRE	Zelkova serrata `Green Vase`	Sawleaf Zelkova	2.5" Cal.	B&B	7	2/L-501
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
		BUX WI2	Buxus microphylla japonica `Winter Gem`	Winter Gem Boxwood	3 gal		26	1/L-501
	\odot	CLE ALN	Clethra alnifolia	Summersweet Clethra	3 gal		3	1/L-501
	•	COR KE2	Cornus sericea `Kelseyi`	Kelseyi Dogwood	3 gal		5	1/L-501
	\odot	LIR MUS	Liriope muscari	Lily Turf	1 gal		57	1/L-501
	\bigcirc	PHO MEL	Photinia melanocarpa	Black Chokeberry	3 gal		9	1/L-501
	MUUULUU MAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA	RUD HIR	Rudbeckia hirta	Black-eyed Susan	1 gal		27	1/L-501
	*	SCH LIT	Schizachyrium scoparium	Little Bluestem Grass	1 gal.		36	1/L-501

GENERAL LANDSCAPE NOTES:

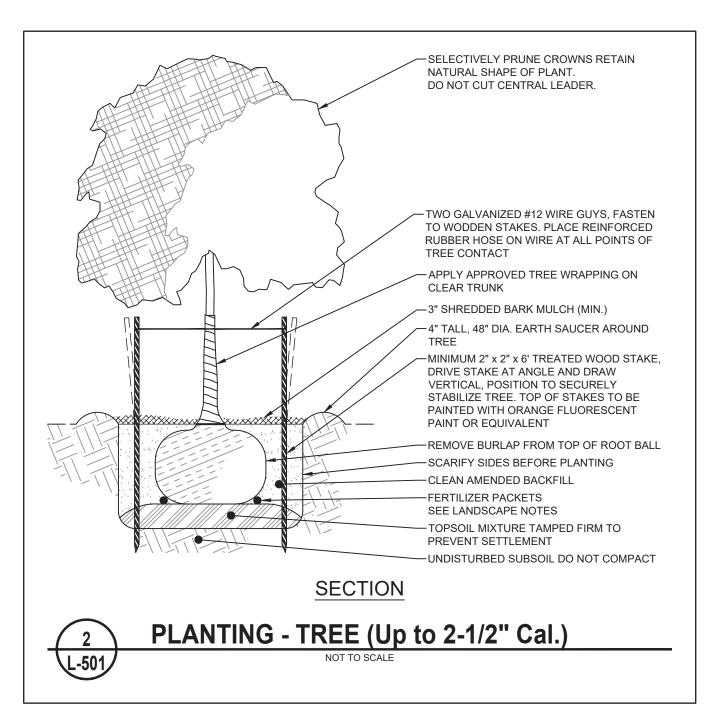
- . Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or
- 2. Landscape Contractor shall install all plant material in a timely fashion.
- 3. Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance. 4. NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed
- with plant sizes, types, and locations as important design elements.
- Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
- All plants shall be watered thoroughly during installation and prior to final acceptance. All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- 8. All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation
- 10. Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no
- 11. All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commune on the date of initial acceptance by the owner.
- 12. The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end
- of the warranty period. 13. Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- 14. Landscape is recommended to be installed during the two growing seasons. Spring: April 15-June 15, Fall:

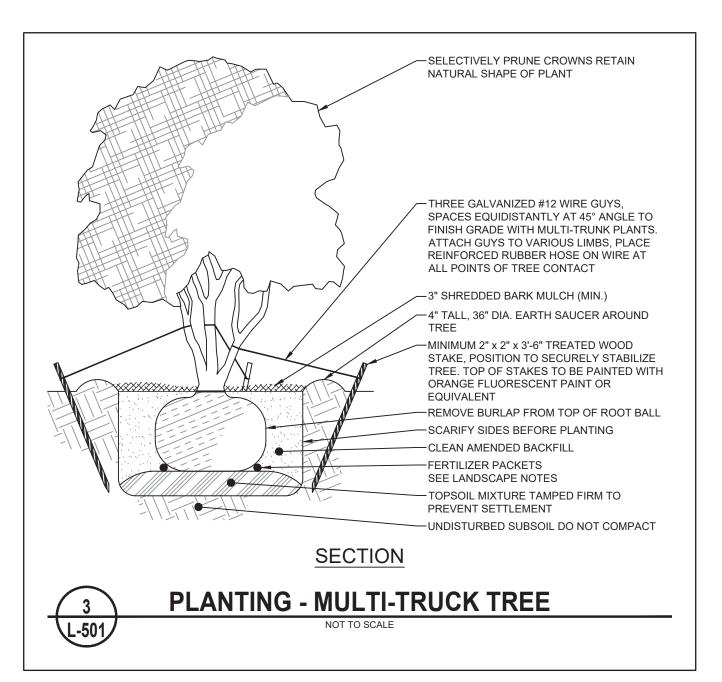
MAINTENANCE:

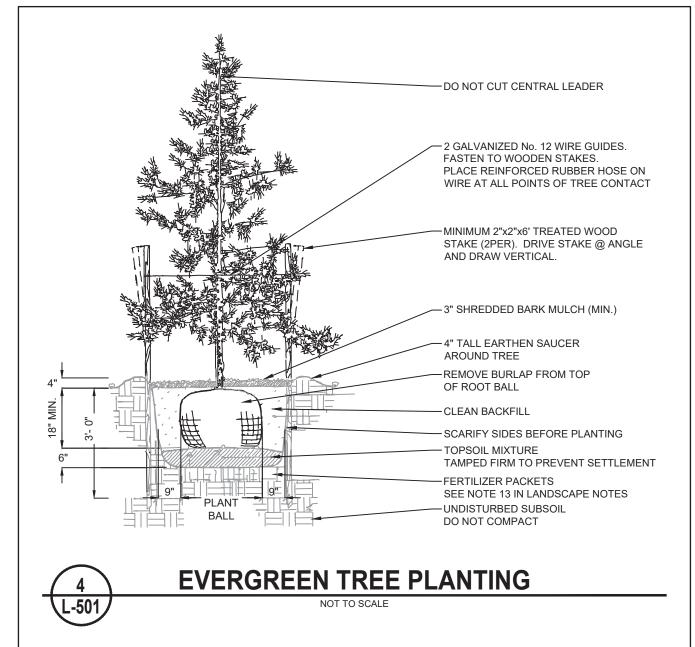
- Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the biorentention
- 2. All trash and debris should be removed from the top of the bioretention area as necessary. 3. Areas devoid of mulch shall be re-mulched on an annual basis.

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED LIGHTLY FOR UNIFORMITY - 3" SHREDDED BARK MULCH (MIN.) ─3" TALL, 24" DIA. EARTH SAUCER AROUND PLANT EXCAVATE SHRUB WELL 1-1/2 TIMES SIZE OF CONTAINER FILL WITH CLEAN AMENDED BACKFILL REMOVE CONTAINER & SCARIFY -FERTILIZER PACKETS SEE LANDSCAPE NOTES TOPSOIL MIXTURE TAMPED FIRM TO PREVENT SETTLEMENT -UNDISTURBED SUBSOIL DO NOT **SECTION**

CONTAINER PLANTING - SHRUB





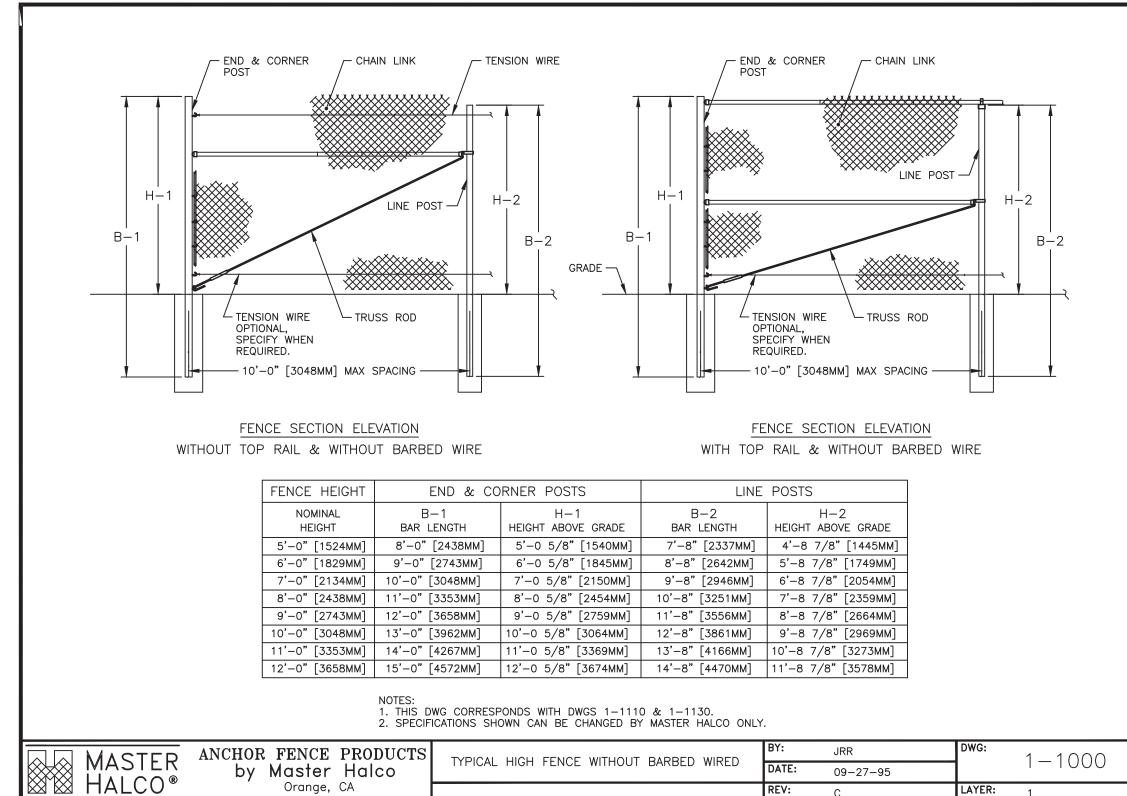


Orange, CA

Phone No.: 800-229-5615

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DIMENSIONS & SPECIFICATIONS

REV DATE: 08-04-06

SCALE: 1/4" = 1'-0"

L-501 SHEET 29 OF 30

6523.1

DAVID TROSTLE | DAVE@FSA-MD.COM

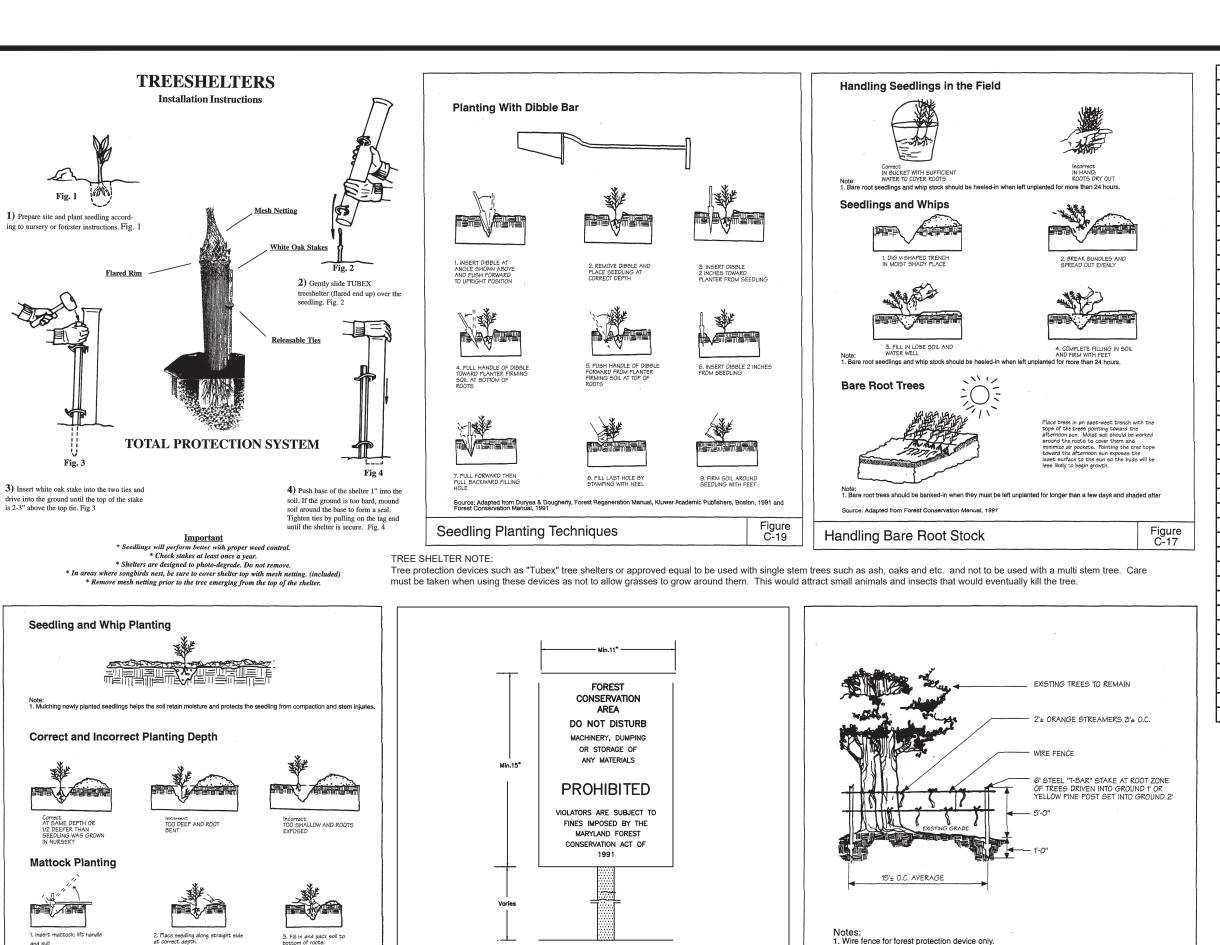
N.T.S.

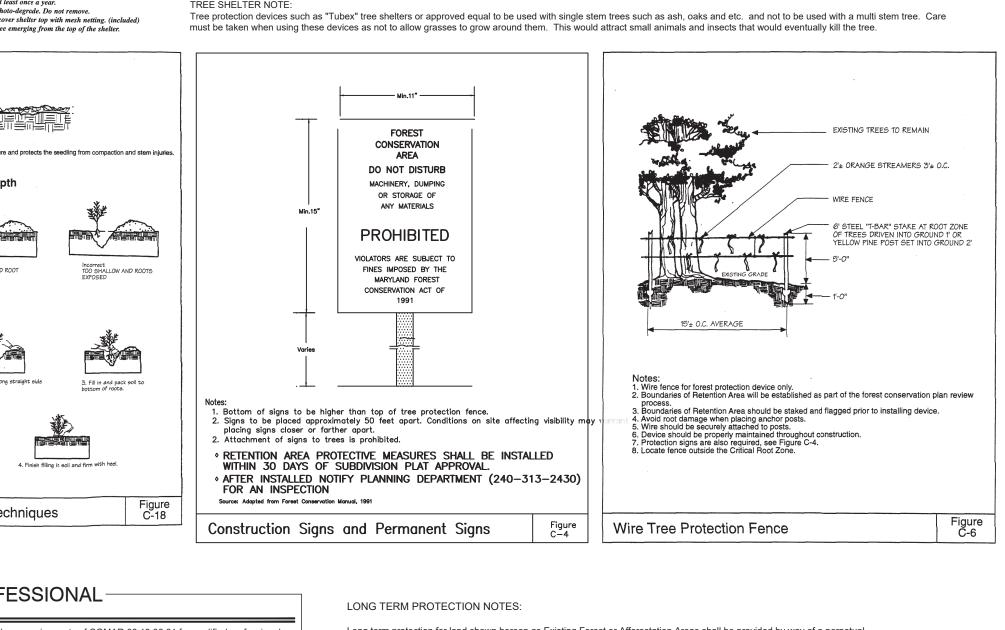
LANDSCAPE DETAILS & NOTES

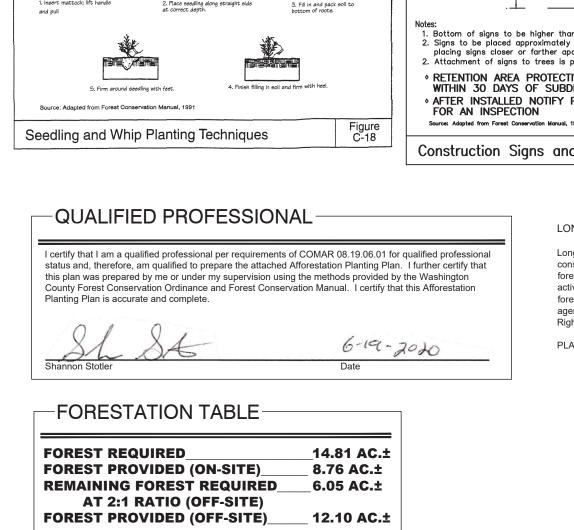
04-24-2020

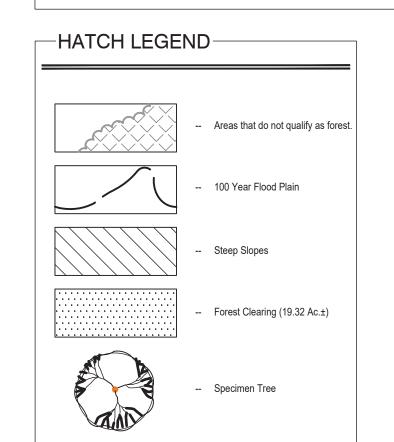
BAB

0036-0021-0029









A total of 14.81 acres of forest is required to be locked up into a Forest Conservation Easement for the Site Plan of Bowman Sunfish (SP-20-016). 8.76 acres of forest is being retained on site. The remaining forest mitigation shall be retained offsite at the ratio of 2:1

BOWMAN 2000, LLC 10228 GOVERNOR LANE BLVD. SUITE 3002 WILLIAMSPORT, MD 21795

Long term protection for land shown hereon as Existing Forest or Afforestation Areas shall be provided by way of a perpetual forest and afforestation areas to those activities which are consistent with the conservation of forest such as recreational activities, forest management, and wildlife management. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of forest, or inhibition of its natural growth are permitted in the forest areas. The County or its agents are authorized to inspect the Forest Conservation and Afforestation Easement Areas. A Proposed 15 foot Right-of-way to serve as access for the purpose of ingress and egress of the Existing Forest and Afforestation Areas.

PLANTING AND MAINTENANCE NOTES

1. Owner is to complete all planting work and preparation using his own resources and equipment or

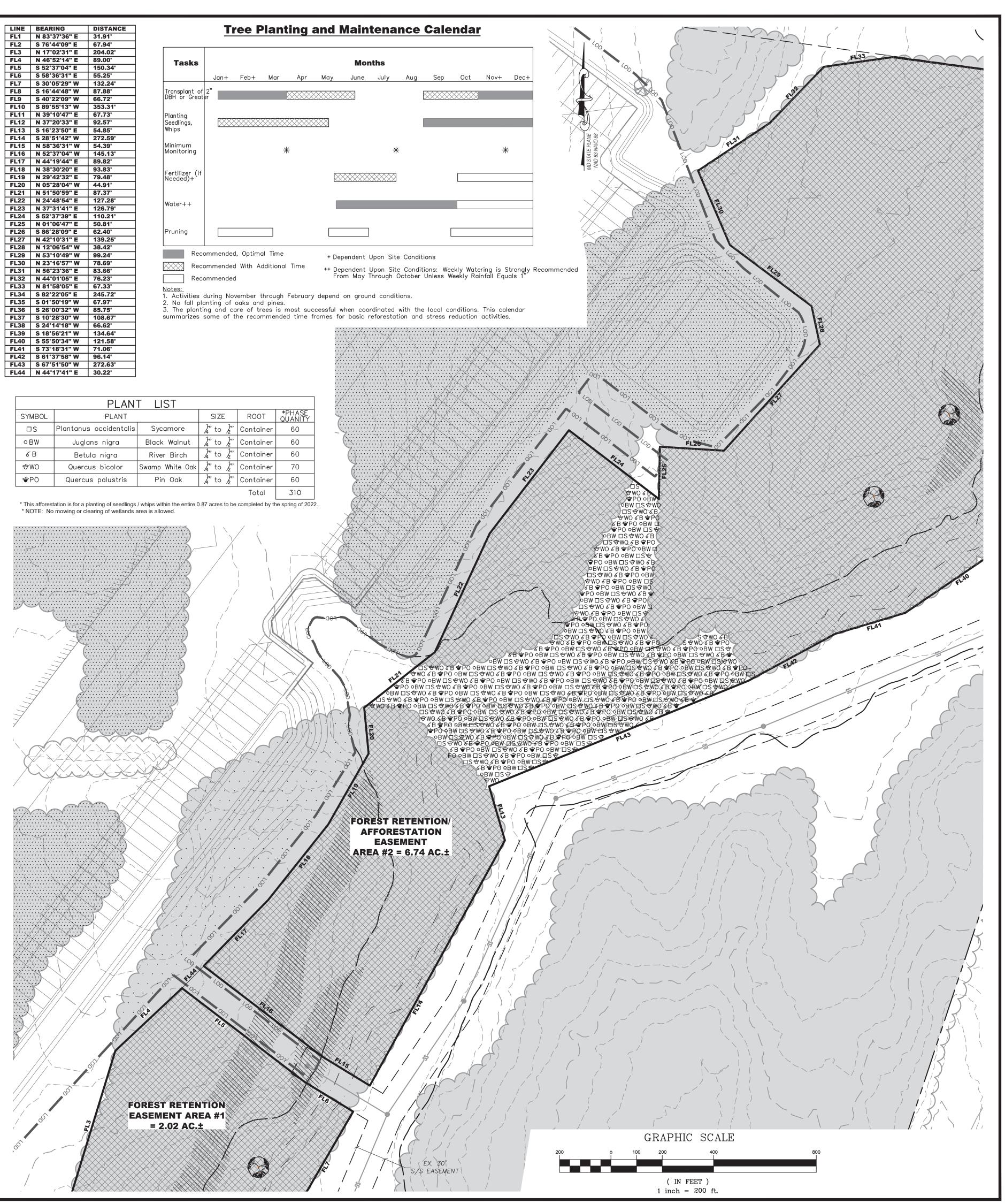
- 2. Plant material is to be purchased by the owner from a nursery within one hundred miles of the site. A list of two potential nursery sources is: A. East Coast Greens B. Svlva Native 2629 McDowell Road 3815 Roser Road Glen Rock, PA 17327 Saint Thomas, PA 17252 (717) 369-4995 (717) 227-0486
- 3. The cost estimate for bonding purposes is \$8,755.56 this is based on 30 cents per square foot of the Proposed Afforestation Area (0.67 Ac. or 29,185.20 Sq.Ft.).
- 4. The plantings shown hereron will be planted by the spring of 2022. If the areas to be planted with trees are overgrown with weeds or tall grasses and invasive plants, this area will need to be brush hogged and/or an herbicide shall be applied two weeks prior to planting. Note, no clearing or mowing is allowed in wetland areas. 1. Undisturbed sites: Disturbance of soils should be limited to the planting field for each plant. As shown in Figure C-18.
- 5. The trees are to be protected with "Tubex" tree shelters or approved equal when planted. "Tubex" tree shelters are to be placed on every other tree (See Tree Shelter Note). Note a tree shelter will necessitate more frequent watering.
- 6. Owner is to water trees and to prevent spread of invasive plants throughout the "forest" planting area for the three year maintenance period. Recommended type of watering is with a soaker hose to allow water
- 7. It is the owner or developers responsibility to notify the Washington County Planning and Zoning Department attention Travis Allen (240)313-2432 of when the planting has been completed. The Washington County Planning Department will make an inspection and issue a report to the owner or developer. The three year maintenance period will begin when the Washington County Planning and Zoning Department determines that the planting has been completed in accordance with the Forest Conservation Ordinance requirements.
- 8. The owner or developer shall make an effort to maintain a 65% survival of the original planting at all times. The owner or developer can replant in order to maintain the 65% survival rate during the three year period with advance notice to the Washington County Planning Department. If the final inspection determines there is less than 65% survival it will be the owner/developer's responsibility to correct the deficiencies and possibly provide an additional maintained period.

1. Tree location as shown on this afforestation plan are generalized to show a random planting to give a more natural look to the forest. Actual placement of trees may vary due to field conditions.

2. The minimum number of 450 trees per acre is required with approximate 10'x10' spacing and maintaining a 65% minimum survival rate. The tree selection used for this planting are species native to this physiographic region of the State of Marvland.

3. A mix of rapid growth to slow growth trees and trees with differing height at maturity are proposed to emulate natural growth patterns. Any species substitution would be allowed as long as the quantity is met. And the species are listed on the Washington County Forest Conservation Ordinance native tree and shrub list.

4. Within the 0.87 acres of proposed planting, 0.27 acres ± have existing tree cover that does not qualify as forest. The owner/developer shall plant whips/seedlings with approximate 15'x15' spacing and maintaining a 65% minimum survival rate. The whips/seedlings shall be sporadically placed within the existing trees.



or approved by me, and that I am a duly licensed

__, License # 20495

rofessional under the laws of the State of:

MARYLAND , License Expiration Date 08-23-2021

SUNFISH

OWMAN

 \mathbf{m}

6523.1

DAVID TROSTLE | DAVE@FSA-MD.CC

1" = 50'

AFFORESTATION PLANTING PLAN

PROJECT MANAGER | EMAIL

0036-0021-0029

04-09-2021

Site Plan for Bowman Showalter Warehouse

Presented is a site plan for Bowman Showalter Warehouse .

The subject site is located along the south side of Showalter Road and east of I-81.8 Zoning is Highway Interchange.

The developer is proposing to create a 801,000 square foot warehouse with office on their 86.0 acre parcel. A total of 48,000 square feet of that will be office. It will have one access to Showalter Road.

The site will be served by public water and sewer.

Hours of operation – 24 hours a day, 7 days a week.

Employees – 130 proposed for warehouse; 30 proposed for office.

Solid waste will be provided by a roll off trash compactor in the bay.

Parking will be 667 spaces - 640 spaces are required. Total trailer parking will have 188 spaces.

Site lighting will be pole and building mounted.

Signage will be building mounted.

Landscaping will be planted in the front of the building and along the drive lanes.

Forest Conservation will be met by offsite forestation retention for a total of 18.0 acres.



WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

) 80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME...... Bowman Showalter Warehouse

NUMBER..... SP-21-002

OWNER...... SHOWALTER FARM LLC
LOCATION...... South of Showalter Road

DESCRIPTION.....: Proposed warehouse & office

ZONING.....: Highway Interchange Airport Overlay

COMP PLAN LU...... Industrial/Flex PARCEL...... 13016593

PLANNING SECTOR...... 1
ELECTION DISTRICT...... 13

TYPE...... Commercial

GROSS ACRES....... 86.86

DWELLING UNITS.....

TOTAL LOTS...... 1

DENSITY..... 0 Units Per Acre

PLANNER.....: Lisa A Kelly

ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES

RECEIVED..... January 29, 2021

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE...... No

WETLANDS...... None

WATERSHED.....: Conococheague Creek

ENDANGERED SPECIES.....: None STEEP SLOPES.....: No STREAM BUFFER....: No HISTORIC INVENTORY....: 1471 EASEMENTS PRESENT...: None

Staff Comments:

Not Applicable

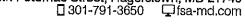


WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

	SITE DESIGN		
Impervious Area Plan	Impervious Maximum	Allowed	Open Space Area Planned
38			
Open Space Minimum Required	Residential Amenit	/ Plans	Solid Waste Disposal Plans
			Trash Compactor
Materials Stored on Site	Buffer Design Meets Red	quirements	Landscaping Meets Requirements
	Yes		Yes
Lighting Plan Meets Requirements	Pedestrian Access is A	dequate	Bus Stop is Within Walking Distance
Yes			
Loading Area Meets Requirements	······		
			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dw	elling Unit	
667			
Parking Spaces - Minimum Required	Recreational Parking	Provided	
640	No		
ACCESS SPACING VARIANCE NEEDED:	No		
	SCHOOL INFORMA	NTION	
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Maugansville	Western He	ights North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			
	PUBLIC FACILITIES INFO	RMATION	
FIRE DISTRICT:	MAUGANSVILLE		
AMBULANCE DISTRICT:	MAUGANSVILLE		
	WATER & SEWER INFO	RMATION	
	WATER		SEWER
METHOD:	City		County Line - City Treatment
SERVICE AREA:	City		County Line - City Treatment
PRIORITY:	1-Existing Servi	ce	1-Existing Service
NEW HYDRANTS			
GALLONS PER DAY SEWAGE:			
PLANT INFO:			Hagesrstown (City)

CIVIL ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE





MEMO — Offsite Mitigation

SUBJECT — Bowman Showalter Warehouse (SP-21-002)

TO — Washington County Planning Commission

CC — Travis Allen

FROM - Shannon Stotler

REMARKS:

To meet the necessary requirements of forestation for the Site Plan for Bowman Showalter Warehouse, the owner is requesting to provide forest mitigation off-site. There is no existing forest on site, and the majority of the site is being developed. There is little to no space for afforestation after all roads, buildings, utilities and stormwater management have been built. I am formally requesting forestation be addressed by off-site retention at a 2:1 ratio.

Respectfully submitted,

Shannon Stotler

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION
"I verify and affirm that the Construction for the Stormwater

specifications and referenced standards, and has been completed in

accordance with good construction practices. I also verify and affirm

that I have reviewed the construction inspection documentation and

Washington County requirements and at a level deemed necessary to

assure the Verification made herein; and all discrepancies between the

the as-built information: that it has been done in accordance with

as-built information and approved plans have been noted and are

Management Facilities as performed either meets or exceeds the

requirements and design intent of this plan, including all

considered acceptable to the Consultant."

SIGNATURE

SITE PLAN

FOR

BOWMAN SHOWALTER WAREHOUSE

& TO THE SOUTH OF SHOWALTER ROAD

WASHINGTON COUNTY, MARYLAND

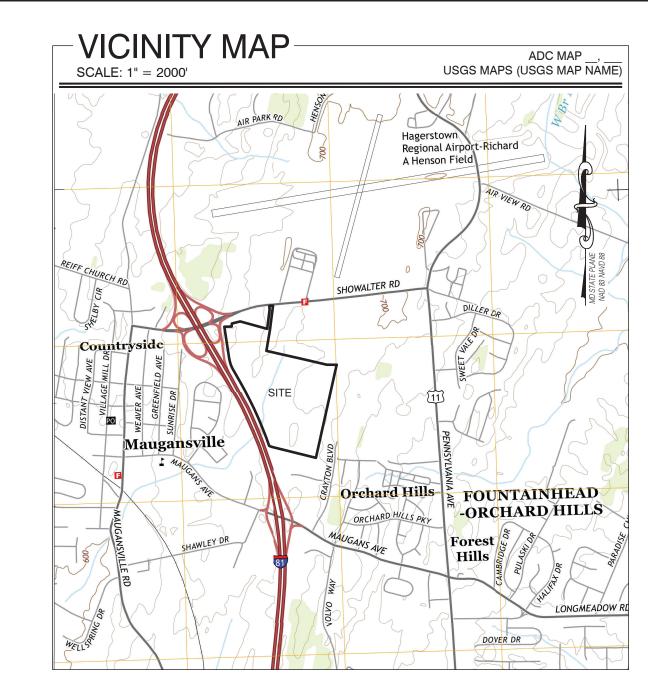
CLIENT/OWNER/DEVELOPER:
BOWMAN DEVELOPMENT CORPORATION
10228 GOVERNOR LANE BLVD, SUITE 3002,
WILLIAMSPORT, MD 21795

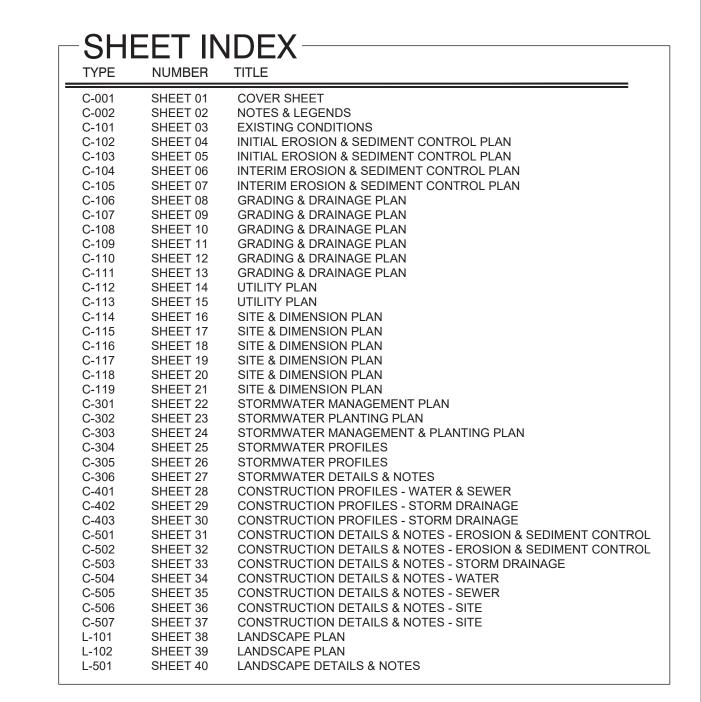
ATTN: JEFF TEDERICK EMAIL: jtedrick@dmbowman.com PHONE:301.582.1555 CIVIL ENGINEER / SURVEYOR:
FREDERICK SEIBERT & ASSOCIATES, INC
128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740

PROJECT MANAGER: DAVID TROSTLE EMAIL: dave@fsa-inc.com
PHONE: 301.791.3650

INITIAL SUBMITTAL SET: 01/19/21 CONTRACTOR BID SET: 04/01/21 1ST RESUBMITTAL SET: 04/13/21

-KEY MAP SCALE: 1" = 2000' LOVE'S TRAVEL STOPS & COUNTRY STORES INC L. 5206 F. 0395 PERINI INDUSTRIAL LAND LLC L:2396 F:346 SHOWALTER FARM LLC PERINI INDUSTRIAL LAND LLC L:1526 F:728 N75°57'39"W L2 S70°57'35"E L3 S29°43'48"E L4 S08°43'48"E N88°55'17"E S02°25'17"W N75°39'40"E S74°32'30"E S07°12'30"W N07°11'30"E N07°32'30"E S03°06'30"E N84°30'46"E L14 N84°30'46"E L16 S09°30'04"W L17 N09°31'48"E PROPERTIES LLC. L18 N77°13'56"W L:5905 F:360 L19 N76°43'47"W L20 S89°30'02"E L21 N12°32'34"E L22 N12°32'34"E L23 S12°32'35"W L24 N12°32'34"E CHORD BEARING CHORD LENGTH - FOUNTAINHEAD PROPERTIES MNGT INC. 10°40'31" S24°23'33"E GHATTAS ENTERPRISES MAUGANS L:1314 F:216 673.94' 21°00'00" S19°13'48"E AVE LIMITED PARTNERSHIP L:5413 F:453





	Total I	Total DA (Site)			60.0 Acres		
	Const	ruction Type (circle one)	New	Rede	velopment	Restoration	
		Chapter 3 - S	Structural				
Туре	No.	D.A. (Acres) (To Structure)	Impervious (Acres) (T Structure	Го	ESDv (ac-ft)	WQv (ac-ft)	
Surface Sand Filter	1	6.11		3.16	0.52	0.52	
Surface Sand Filter	2	18.39		18.39	3.45	3.45	

		Chapto	er 5 - Structural			
Туре	No.	D.A. (Acres) (To Structure)	Impervious D.A. (Acres) (To Structure)	ESDv (ac-ft)	WQv (ac-ft)	P.E. Addressed
Bioretention	1	1.62	1.22	0.21	0.10	2.20
Bioretention	2	1.43	0.96	0.21	0.08	2.20
Bioretention	3	6.22	5.05	0.89	0.41	2.20
Bioretention	4	2.14	1.27	0.20	0.10	2.00
Bioretention	5	1.57	1.25	0.24	0.10	2.20
Submerged Gravel Wetland	6	12.89	5.35	0.86	0.46	1.80
Grass Swales	7	1.78	0.75	0.14	0.06	1.80



04/16/2021

Professional Certification:

ASTITE PA 17255

SOCIATES, INC.

ORS. LANDSCAPE ARCHITECTS - LAND PLANNIBRS

To absolute the laws of the State of:

WELLINORE STREET

ORS. SOUTH HANOVER STREET

SALIMORE STREET

FREDERICK, SEIBERT & ASSOCIATES, INC

CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTE

128 SOUTH POTOMAC STREET

HAGERSTOWN, MD 21740

S01.791.3650

T17.597.1007

G 2020

G 2020

S 2020

CONTRACTOR BID SET

SHOWALTER WAREHOUSE

UATED ALONG THE EAST SIDE OF INTERSTATE 81

& TO THE SOUTH OF SHOWALTER ROAD

WASHINGTON COUNTY

DOWNWIND BLOOD COUNTY

SITUATED ALON & TO THE BOW BOW

PROJECT NO.

4331.1

DWN BY
BRADY BLAIR
10-23-2020

PROJECT MANAGER
DAVID TROSTLE dave@fsa-inc.cor

TAX MAP - GRID - PARCEL

0024 - 010 - 0503 SCALE

AS SHOWN

COVER

C-001HEET 01 OF 40

This stormwater narrative is for the ultimate development of an existing agricultural field into an 801,000 square foot warehouse, associated parking lots, drive isles, and access roads. The site is situated at 18245 Showalter Road Hagerstown, MD 21742. It is located within the review

STORMWATER NARRATIVE

jurisdictions of the Washington County Plan Review Department and the Washington County Soil Conservation District. The site is currently one parcel of un-developed farm land that is 86.86 acres. The development of this site will cause 60.0 acres of disturbance of which 38.1 acres will be turned to impervious cover. The stormwater runoff generated by this development will be treated and controlled in grass swales, bio-retention ponds, submerged gravel wetlands, and surface sand filters. There will be no impacts to downstream properties because the post-development runoff peak flows will be equal to or less than the pre-development conditions.

SHEET 01

-GENERAL NOTES-

areas where low hanging wires exist.

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the
- best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities. 5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison_	1-800-255-3443
Columbia Gas (Hagerstown)	(301) 733-1010
Verizon	(301) 790-7124
Antietam Cable_	(240) 420-2082
Washington County Construction Division_	(240) 313-2600
Washington County Department of Water Quality	(240) 313-2600
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 6
Washington County Soil Conservation District	(301) 797-6821 Ext. 3

- 8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- 9. Benchmarks to be established by FSA prior to the start of construction.
- 10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions. 11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- 12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- 13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the
- 14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- 15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- 16. Please refer to Geotechnical Report completed by Hillis-Carnes Engineering Associates for load bearing fills, etc. 17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and
- otherwise objectionable, non-complying and unsuitable soils and materials. 18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project
- shall not relieve the contractor of his responsibility to complete such work. 19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for
- the handicapped. 20. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in April 2020. (Contour accuracy is to plus
- or minus one half the contour interval). 21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- 22. Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the photometrics plans and utility plan. 23. The contractor shall provide MOSH safety assistance for City Utilities Department and Washington County Depart of Water Quality...
- 24. This project has a projected start date of August 2021 and a completion date of August 2022. 25. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County or City of Hagerstown.
- 26. Proposed SWM will consist of on-site grass swales, bio-retention facilities, a submerged gravel wetland, and surface sand filters.
- 27. A utility permit will be required for any proposed utility work located within Washington County Right-of-Way.
- 28. All grading for this project shall be the full responsibility of the property owner. 29. This project will require a third party qualified professional to be present at the pre-construction meeting scheduled with Washington
- County Division of Construction and the Washington County Soil Conservation District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- 30. Developer/Contractor must contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time schedules. 31. No permanent structures (e.g. fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm
- drainage easement of this property. 32. The developer agreement for stormwater management shall be executed and security obtained before the grading permit can be
- 33. An entrance permit and driveway entrance bond will be required for each entrance onto Crayton Boulevard. 34. A traffic study shall be approved, and appropriate mitigation measures provided as appropriate prior to site plan approval.
- 35. Retaining walls shall require a building permit if greater than 3 feet in height. A global stability analysis shall be provided for retaining walls greater than 10 feet.

-SEQUENCE OF CONSTRUCTION-

Pre-Construction Notification - The contractor shall notify the Washington County Soil Conservation District (301-797-6821, ext. 3), Washington County Division of Construction (240-313-2600), and Frederick Seibert & Associates (301-791-3650) at least 5 days prior to start of any work shown on these

Site Benchmark Notification - The contractor shall contact Frederick Seibert & Associates (301-791-3650) prior to any construction activities beginning at the site to verify the site benchmark.

Phase #1: Installation of Initial Sediment Erosion Controls, Haul Road, and Bypass Swales: (4.98 Acres of Disturbance)

- Install stabilized construction entrance and wash rack off of Crayton Boulevard. If any tracking of sediment or debris occurs on any public roadway the contractor shall immediately stop work and clean the roadway. The contractor shall at minimum clean the roadway at the end of each working day, or whenever tracking of sediment or debris occur.
- Contractor to install all perimeter erosion and sediment controls as shown on plans, only clearing areas necessary for control installation. Contractor shall remediate any sinkholes found on site before beginning further earth disturbance.
- Contractor to grade & install haul road & staging area. The staging area shall be graveled immediately.
- Contractor to strip topsoil and grade Swale #1 and Swale #2 areas only. Starting at the downstream point and working upstream stabilizing with the designated control matting as they work upstream. The contractor shall stabilize all disturbance at the end of each working day. All stripped topsoil shall be placed on temporary soil stockpiles with silt fence installed on the downhill side.
- Once Swale #1 and Swale #2 are fully graded and stabilized, the contractor shall install smart fence 42 on the uphill side of the swale to protect the bypass swales from dirty water contamination. The contractor may begin making preparations to strip topsoil for building pad installation and grading.

Phase #2: Installation, Grading, & Stabilization of Building Pad: (23.05 Acres of Disturbance)

- The contractor may begin making preparations to strip topsoil for the building pad installation and grading by checking all perimeter controls, and the stabilized construction entrance, and making any necessary repairs.
- Contractor to begin grading of building pad. The contractor may excavate the stormwater bmp's as borrow pits as necessary to use the material as fill for the building pat. Any additional fill that is brought to the site must come from a site that has an approved and current sediment erosion control plan. Also, any material that leaves the site must go to a site that has a approved and current sediment erosion control plan.
- The contractor shall prepare the building pad per Geotechnical Engineer's recommendations. Contractor to stabilize all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance, and all other disturbed or graded areas within 7 calendar days. As the building pad is brought to grade the contractor shall immediately stabilize the building pad and prepare for building construction.
- The contractor may begin building construction as the building pad is brought to grade and stabilized.
- Once the building pad has been brought to grade and stabilized, the contractor may begin making preparations to strip topsoil and grade the remainder of the site.

Phase #3: Site Grading & Construction: (31.97 Acres of Disturbance)

- Contractor to begin the remainder of the site work by striping topsoil and grading from the building pad to the perimeter of the site. Contractor to stabilize all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance, and all other disturbed or graded areas within 7 calendar days. Contractor to implement incremental stabilization on all slopes greater than 15' in height. Stabilize with erosion control matting and seed & mulch as required.
- Contractor to begin site construction by installing stormdrains and utilities. A filter bag should be used for any trench dewatering the may need to
- The contractor shall install stormdrains as shown on the plans starting on the downstream end and working upstream. As the inlets are installed the contractor must immediately place inlet protection around inlets. The contractor shall regular check and maintain all inlet protection making repairs as needed during the duration of construction activities until the site has been sufficiently stabilized and approval has been granted by the Washington
- County Soil Conservation District. 4. Once each individual stormdrain system has been installed the contractor shall install riprap outlet protection before starting work on the next
- stormdrain system. Contractor to bring parking areas and access roads to grade.
- Once parking areas and access roads are brought to grade the contractor shall fine grade those areas, install curb and place stone base to stabilize. The contractor shall install matting and seed & mulch areas where necessary.
- Contractor to install pavement in all parking areas and access roads. Contractor to fine grade the remainder of the site, spread topsoil, place necessary matting, and stabilize per the permanent seeding specifications. 9. After the site has been stabilized the contractor shall contact the Washington County Soil Conservation District (301-797-6821, ext. 3) to verify site is
- adequately stabilized before beginning final construction of the stormwater bmp's. 10. Contractor to flush all stormdrains, clean all sediment out of the borrow pits, and dispose of sediment at a site with an approved and current sediment and erosion control plan. 11. Contractor shall contact the Washington County Division of Construction (240-313-2600) and Frederick Seibert & Associates (301-791-3650) to

schedule required stormwater inspections during the construction of the stormwater bmp's. The contractor shall contact the design engineer and

Washington County Inspector at least 2 days prior to needing inspections. 12. Contractor to excavate stormwater bmp's to proper depth, install underdrains, stone, sand/planting media, mulch/topsoil and plantings as shown on the plans.

Post-Construction Notification - Notify the Washington County Soil Conservation District and Washington Division of Construction at least 5 days prior to the removal of any sediment control features to schedule a final site closeout inspection and meeting. Once final approval has been granted, perimeter controls can be removed, and final stabilization in those areas shall be completed.

—ZONING DATA-ZONING DISTRICT HI - HIGHWAY INTERCHANGE MAX BUILDING HEIGHT 75 FT MINIMUM YARD SETBACK: FRONT 40 FT *SIDE 25 FT *REAR 25 FT. *EXCEPT WHERE ADJACENT TO RESIDENTIAL DEVELOPMENT, IT SHALL BE 50 FEET. BOARD OF ZONING APPEALS' CASE____NONE

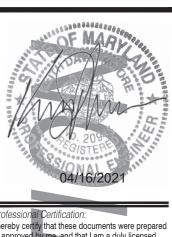
-SITE DATA-TAX MAP - GRID - PARCEL _0024 - 010 - 0503 **ELECTION DISTRICT** ACCOUNT NUMBER 016593 LIBER / FOLIO 02246 / 00722 AREA SUMMARY: 86.86 AC PARCEL DISTURBED AREA 60.0 AC EXISTING IMPERVIOUS 0.0 AC (0%) PROPOSED TOTAL IMPERVIOUS _38.1 AC (44%) **BUILDING SUMMARY:** 801,000 SF FOOTPRINT OFFICE SPACE 48,000 SF WAREHOUSE SPACE 753,000 SF HEIGHT PROPOSED USE WAREHOUSE & OFFICE (PERMITTED USE) HOURS OF OPERATION 24 HOURS A DAY / 7 DAYS A WEEK EMPLOYEE SUMMARY: OFFICE WAREHOUSE WATER & SEWER USAGE: CITY OF HAGERSTOWN WATER DIVISION WATER PROVIDED SEWER PROVIDED WASHINGTON COUNTY DEPT. OF WATER QUALITY **EXISTING ALLOCATION** 0 GPD PROPOSED ALLOCATION 2,200 GPD WASTE & RECYCLABLES: PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY SOLID WASTE REMOVAL PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY RECYCLE REMOVAL FREIGHT & DELIVERY TRACTOR TRAILERS & BOX TRUCKS DAILY SITE LIGHTING: **EXISTING** PROPOSED POLE & BUILDING MOUNTED SITE SIGNAGE: **EXISTING** PROPOSED BUILDING MOUNTED ADDRESS ASSIGNMENT **CRAYTON BOULEVARD** WAIVER AND/OR VARIANCE FOREST CONSERVATION OFFSITE FOREST RETENTION WATERSHED: NAME CONOCOCHEAGUE CREEK NUMBER 02-14-05-04 FEMA PANEL# 24043C0128D

PARKING, LOADING & BICYCLE DATA					
USE	REQUIREMENT	CALCULATION	REQUIRED		
WAREHOUSE	1 SPACE PER 1,500 SF GFA	753,000 SF / 1,500 SF	502 SPACES		
	PLUS 1 SPACE PER 350 GFA OF SALES AND/OR OFFICE SPACE	48,000 SF / 350 SF	138 SPACES		
TOTAL REQUIRED	D SPACES		640 SPACES		
TOTAL PROVIDED	PARKING SPACES		667 SPACES		
TOTAL TRAILER F	PARKING SPACE		188 SPACES		
TOTAL REQUIRED	D BICYCLE SPACES		25 SPACES		
TOTAL PROVIDED	D BICYCLE SPACES		25 SPACES		

			Stormdrain Pipe Schedul	е			
DN STRUCTURE	UP STRUCTURE	DOWN INVERT (FT)	UP INVERT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
ES-1	MH-1	661.50	666.33	241.50	2.000	HDPE	24.0
ES-2	MH-2	663.50	668.33	241.50	2.000	HDPE	24.0
ES-3	MH-3	661.50	666.37	241.50	2.017	HDPE	24.0
ES-4	MH-4	661.50	666.33	241.50	2.000	HDPE	24.0
ES-5	MH-5	661.50	662.96	152.73	0.956	HDPE	48.0
MH-5	SD-1	663.06	667.15	204.42	2.000	HDPE	18.0
MH-5	MH-6	663.06	666.16	620.35	0.500	HDPE	48.0
SD-1	SD-2	667.25	669.46	221.41	1.000	HDPE	18.0
MH-6	SD-4	666.16	676.06	164.93	6.000	HDPE	18.0
MH-6	SD-3	666.16	670.12	131.81	3.003	HDPE	18.0
ES-6	MH-7	661.50	663.05	310.36	0.500	HDPE	48.0
MH-7	MH-8	663.15	666.26	622.61	0.500	HDPE	48.0
ES-14	MH-9	668.00	668.64	127.21	0.500	HDPE	18.0
MH-9	MH-10	668.74	669.47	145.32	0.500	HDPE	18.0
MH-10	SD-6	669.47	670.28	162.66	0.500	HDPE	18.0
ES-13	ES-14	669.00	673.48	71.61	6.251	HDPE	18.0
ES-10	ES-11	672.42	672.74	63.70	0.502	HDPE	18.0
ES-8	ES-9	672.00	672.32	62.11	0.515	HDPE	18.0
ES-12	SD-7	669.00	669.13	26.93	0.483	HDPE	18.0
SD-7	SD-8	669.23	669.44	38.00	0.539	HDPE	18.0
ES-7	ES-15	672.00	675.00	76.81	3.906	HDPE	18.0

CLID ICCT DOLLAR ARY	EXISTING	PROPOSED
SUBJECT BOUNDARY		-
BUILDING SETBACK LINE		
RIGHT OF WAY		-
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)	—x — x — x — x — x — x — x	xxxxx
FENCE (WOODEN)		
DITCH (STREAM)	<u> </u>	·
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		A A A A
BUILDING		
MAIL BOX	MB	MB
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
- -	<u> </u>	У— Ц
TOPOGRAPHIC FEATURES	500	
CONTOUR (INDEX)	-500	[500]
CONTOUR (INTERMEDIATE)	1 ^{501.65}	501.65
SPOTS ELEVATION	*	* —
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		SEE LANDSCAPE SHEET FOR LEGEND
EVERGREEN TREES		SEE LANDSCAPE SHEET FOR LEGEND
SANITARY SEWER	pres.	
GRAVITY LINE	SSSSSS	ssssss
FORCE MAIN LINE		— FM — FM — FM —
LATERAL		
MANHOLE	(SS)	SS
CLEANOUT	⊗	⊗
VALVE	⊗	•
WATER		
<u>WATER</u> COLD WATER LINE		W
HOT WATER LINE		—— vv—— vv—— vv—— vv—— vv—— vv—— vv——
MANHOLE		
FIRE HYDRANT	(MH)	MH No.
VALVE		
METER	_	•
WELL	(i)	<u>@</u>
	O	0
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE	(SW)	
INLETS		
CLEANOUT	♦	⊗
UTILITIES		
GAS LINE	—— G ——— G ——— G ———	——G———G———G-
ELECTRICAL LINE	UGEUGE	UGEUGEUGE-
FIBER OPTIC LINE		
COMMUNICATION LINE	COMM-	COMM
OVERHEAD LINES	——ОН ——ОН ——ОН —	
MANHOLE	(MH)	(MH)
PEDS, BOX, & ETC		
POLE	Ø	<u>~</u>
LIGHT POLE		Ant Comment
GAS METER		३ √₹ ⊚
GAS VALVE	⊗	₩
	₩	₹

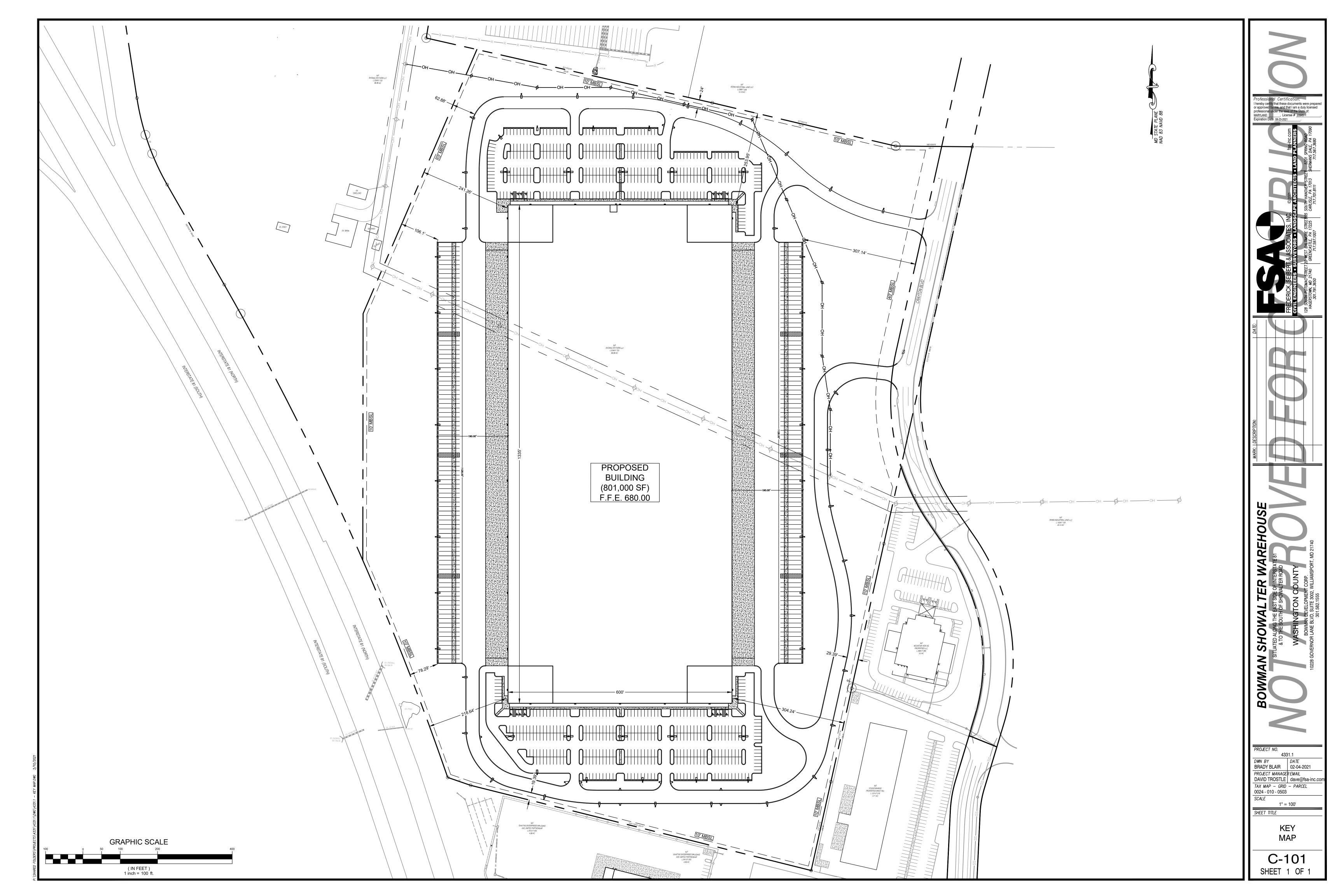
AASHTO	AMERICAN ASSOCIATION OF STATE	ОС	ON CENTER
_	HIGHWAY AND TRANSPORTATION OFFICIALS	PC	POINT OF CURVE
ADS	ADVANCED DRAINAGE SYSTEM	PCC	POINT OF COMPOUND CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND	PGL	PROPOSED GRADE LINE
	MATERIAL	PRC	POINT OF REVERSE CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PT	POINT OF TANGENT
BLDG	BUILDING	PVC	POINT OF VERTICAL CURVE
вот	BOTTOM	PVI	POINT OF VERTICAL INTERSECTION
CIP	CAST IRON PIPE	PVT	POINT OF VERTICAL TANGENT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	SAN	SANITARY
co	SANITARY SEWER CLEAN-OUT	SCE	STABILIZED CONSTRUCTION ENTRANCE
COMM	COMMUNICATION	SDR	STANDARD DIMENSION RATIO
CONC	CONCRETE	SIP	SET IRON PIN
DA	DRAINAGE AREA	SD	STORM DRAINAGE
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
EGL	EXISTING GRADE LINE	SF	SQUARE FEET
EX	EXISTING	SS	SANITARY SEWER
EIP	EXISTING IRON PIN	SSMH_	SANITARY SEWER MANHOLE
FFE	FINISH FLOOR ELEVATION	STA	STATION
FH	FIRE HYDRANT	STD	STANDARD
GV	GATE VALVE	SY	SQUARE YARDS
HGL	HYDRAULIC GRADE LINE	TAN	TYPE AS NOTED
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
INV	_INVERT	TS	TOP OF STRUCTURE
LF	LINEAR FEET	TG	TOP OF GRATE
MAX	MAXIMUM	TR	TOP OF RIM
MB	MAIL BOX	TYP	TYPICAL
MIN	MINIMUM	U/P	UTILITY POLE
MJ	MECHANICAL JOINT	VIF	VERIFY IN FIELD
NO	NUMBER	WL	WATERLINE
NIC	NOT IN CONTRACT	WM	WATER METER
NTS OAC	NOT TO SCALE	WV	WATER VALVE

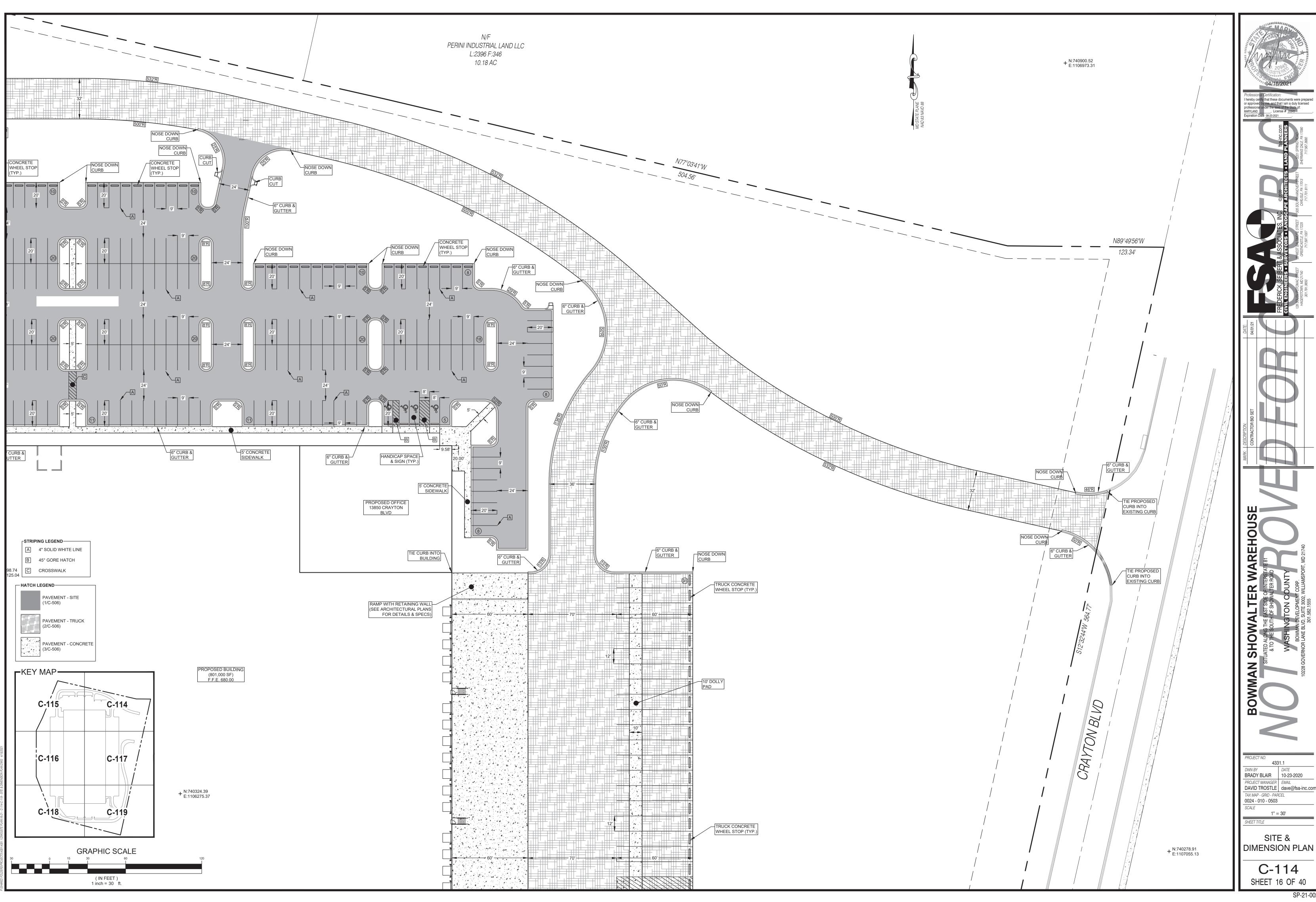


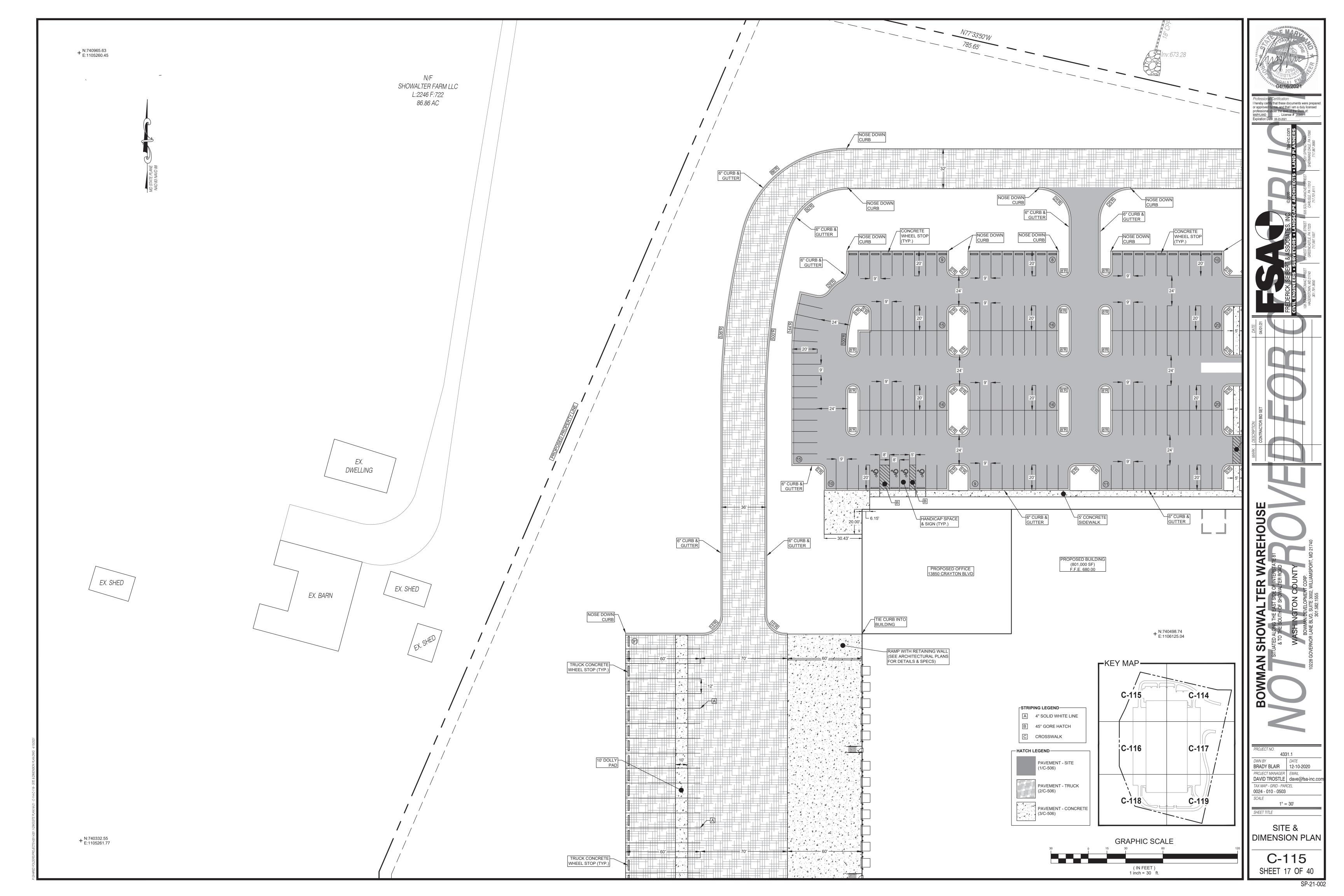
BRADY BLAIR 10-23-2020 DAVID TROSTLE | dave@fsa-inc.com

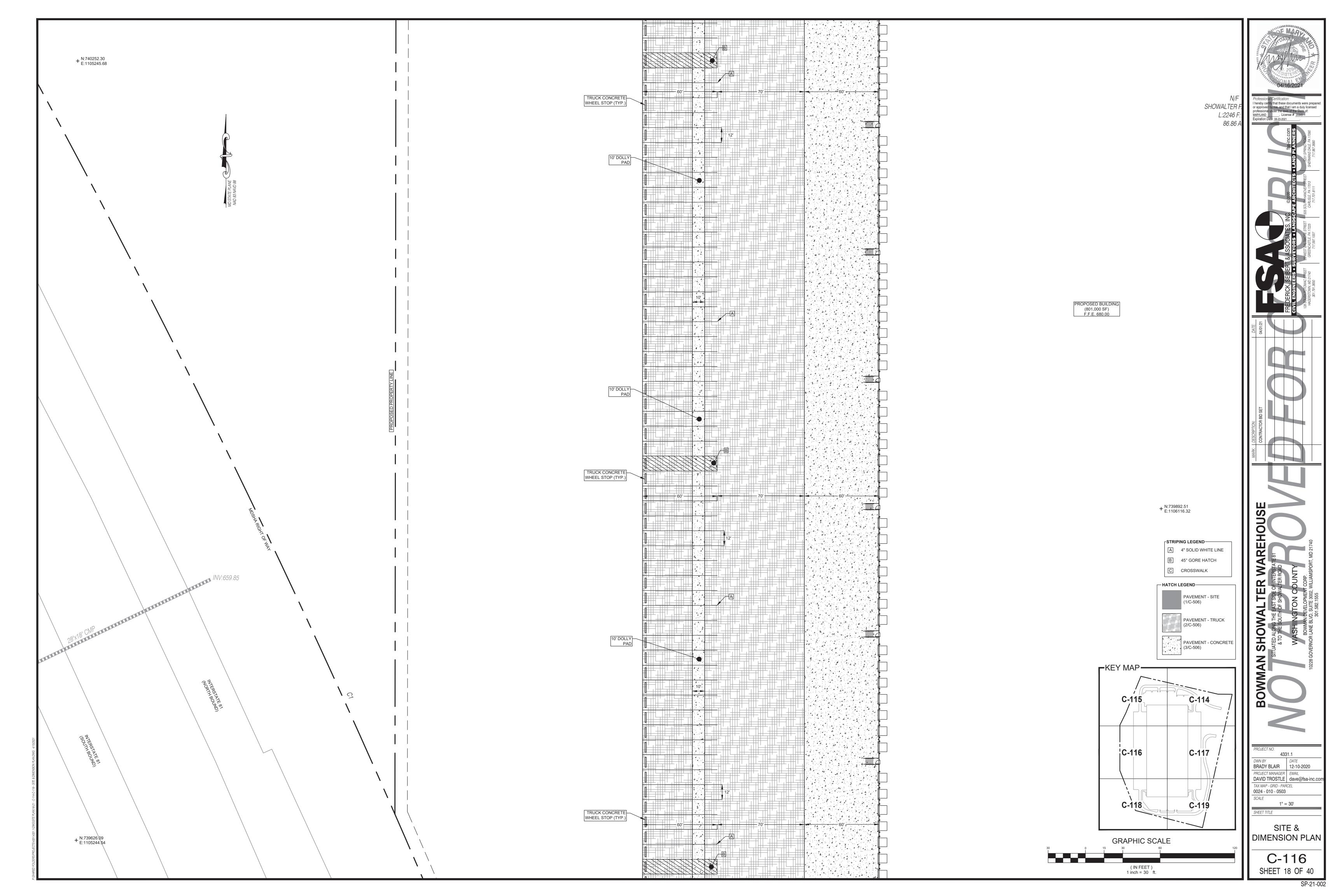
0024 - 010 - 0503 N.T.S.

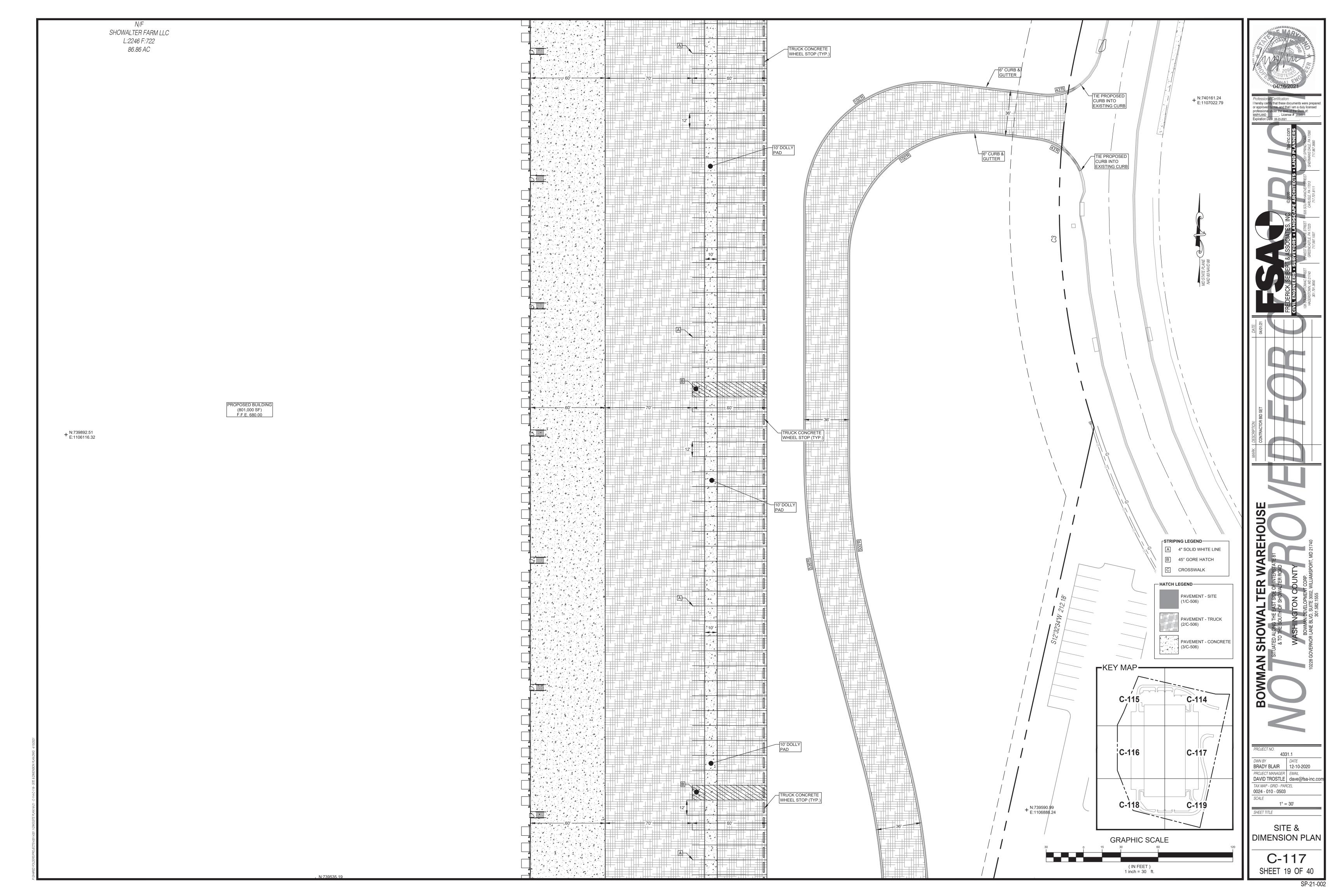
> NOTES & **LEGENDS**

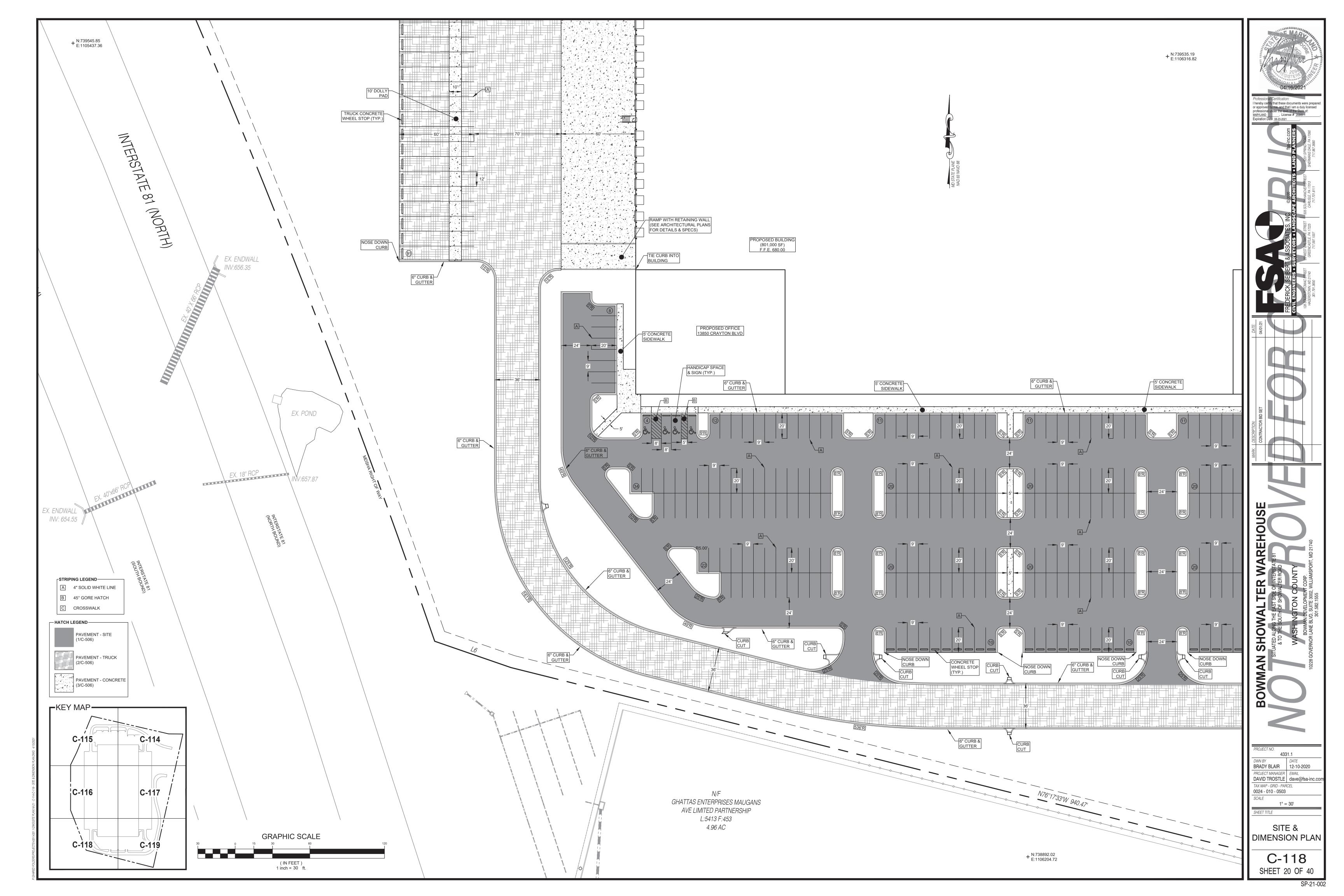


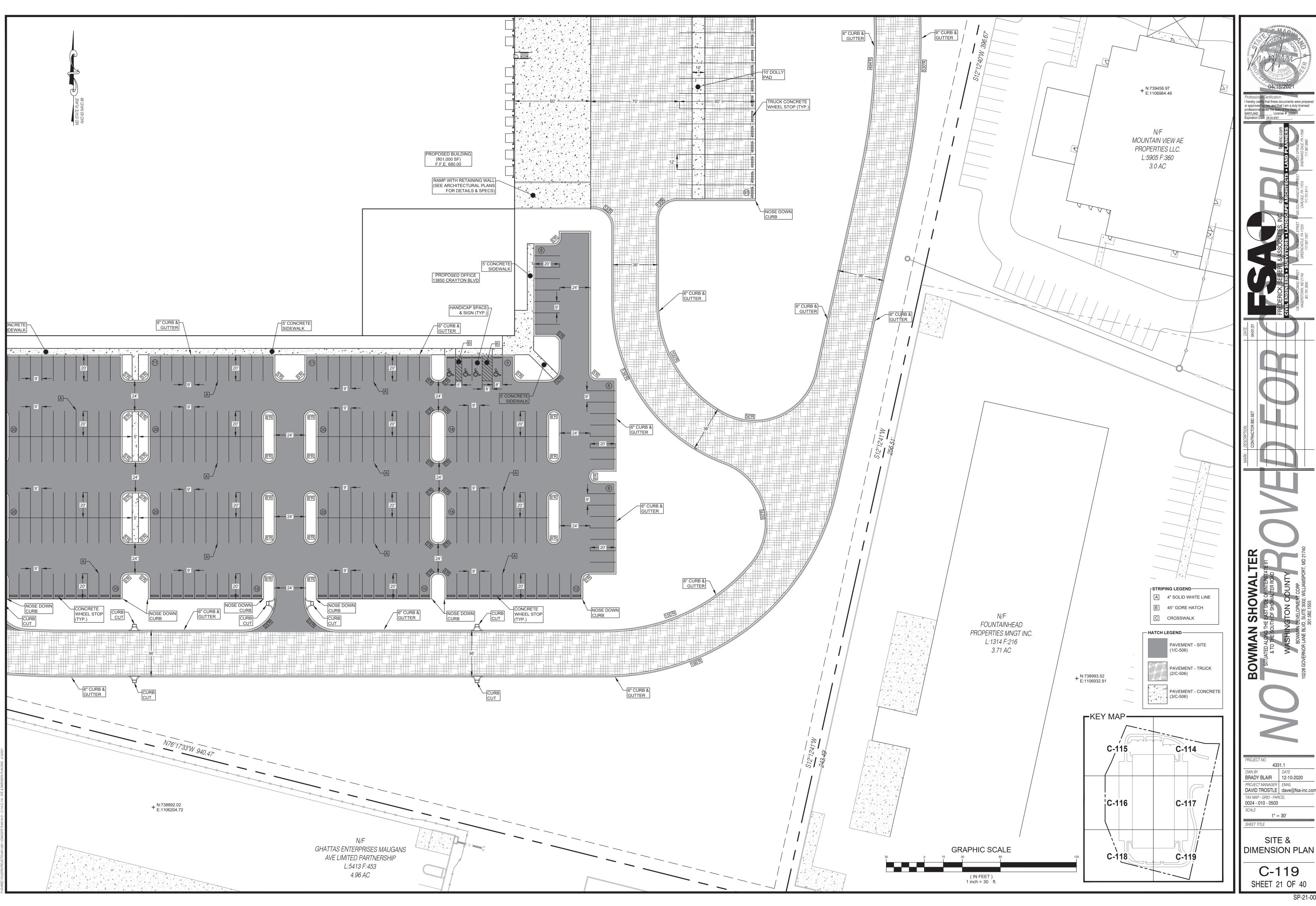


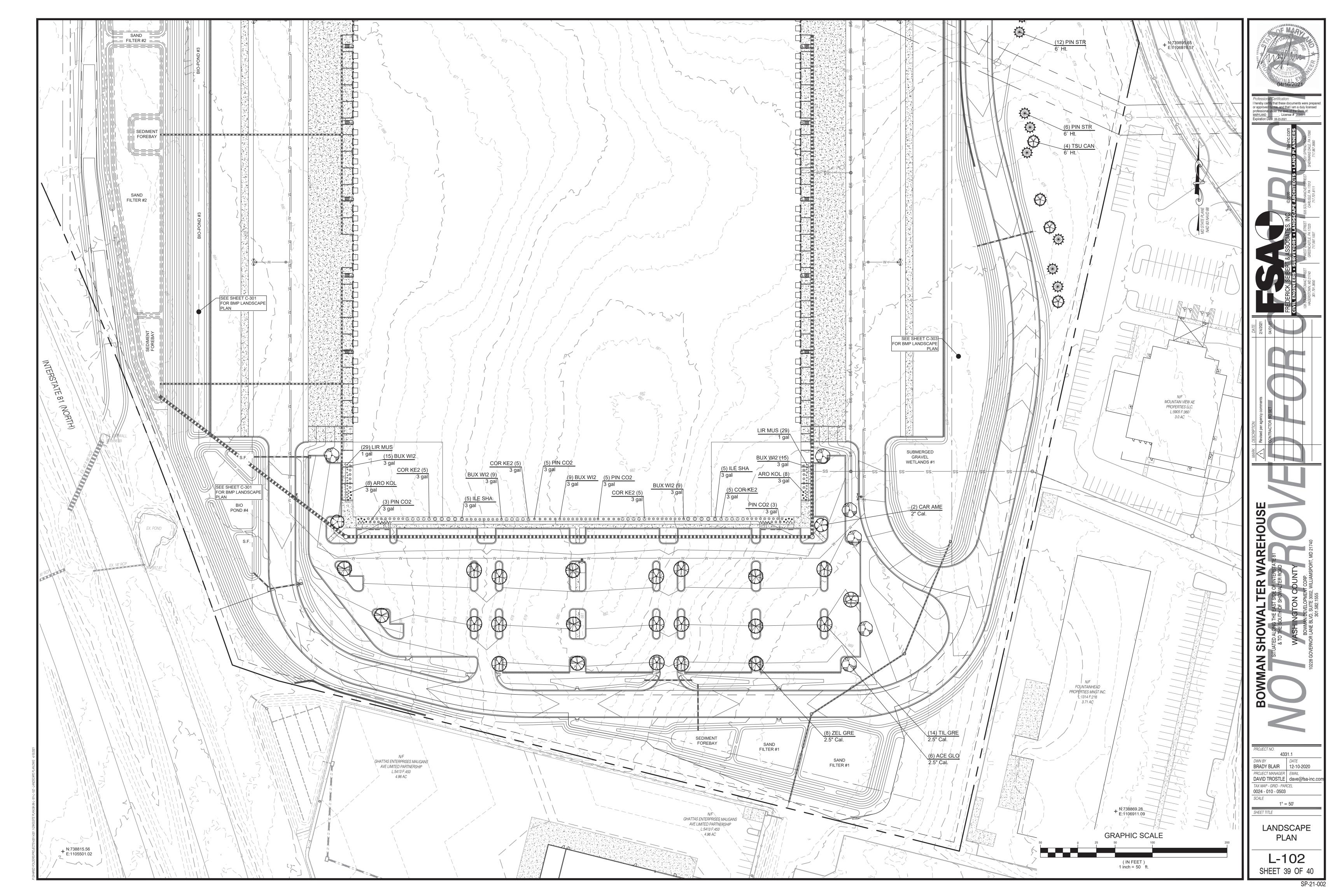












	DI ANT	001150	=					
	PLANT SCHEDULE TREES CODE BOTANICAL NAME COMMON NAME		SIZE	CONTAINER	QTY	 DETAIL		
		ACE GLO	Acer rubrum `October Glory` TM	October Glory Maple	2.5" Cal.	B&B	6	4/L-501
(7	CAR AME	Carpinus caroliniana	American Hornbeam	2" Cal.	B&B	3	4/L-501
		PIN STR	Pinus strobus	White Pine	6` Ht.	B&B	18	5/L-501
		TIL GRE	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	2.5" Cal.	B&B	26	4/L-501
		TSU CAN	Tsuga canadensis	Canadian Hemlock	6` Ht.	B&B	12	5/L-501
		ZEL GRE	Zelkova serrata `Green Vase`	Sawleaf Zelkova	2.5" Cal.	B&B	14	4/L-501
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	MANUEL STRUCK	ARO KOL	Aronia melanocarpa Low Scape Mound	Low Scape Mound Chokeberry	3 gal		28	3/L-501
		BUX WI2	Buxus microphylla japonica `Winter Gem`	Winter Gem Boxwood	3 gal		108	3/L-501
	•	COR KE2	Cornus sericea `Kelseyi`	Kelseyi Dogwood	3 gal		40	3/L-501
	£	ILE SHA	llex glabra `Shamrock`	Inkberry	3 gal		20	3/L-501
	\odot	LIR MUS	Liriope muscari	Lily Turf	1 gal		100	3/L-501
	*	PIN CO2	Pinus mugo `Compacta`	Dwarf Mugo Pine	3 gal		32	3/L-501

LANDSCAPE PROPOSED

GE	NERAL LANDSCAPE NOTES:	
1.	Landscape contractor is to call Miss Utility and have all underground utilities marked prior to	

any digging or planting.

2. Landscape Contractor shall install all plant material in a timely fashion.

3. Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.

4. NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.

5. Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.

All plants shall be watered thoroughly during installation and prior to final acceptance.
 All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.

8. All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.

9. Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.10. Warranted plant material that is 25% dead or more shall be considered dead and shall be

replaced at no charge.

11. All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy

condition. The warranty shall commune on the date of initial acceptance by the owner.

12. The landscape contractor shall conduct a final inspection with the owner or owner's

representative at the end of the warranty <u>period.</u>

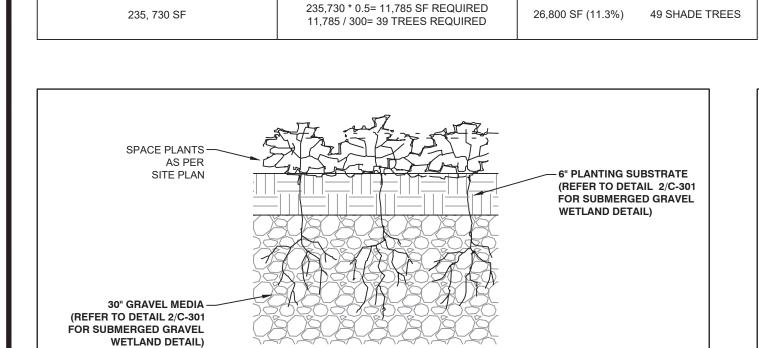
13. Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's

14. Landscape is recommended to be installed during the two growing seasons. Spring: April 15-June 15, Fall: September 1-November 1.

MAINTENANCE:

All trash and debris should be removed from the top of the wetland area as necessary.

2. Areas devoid of mulch shall be re-mulched on an annual basis.

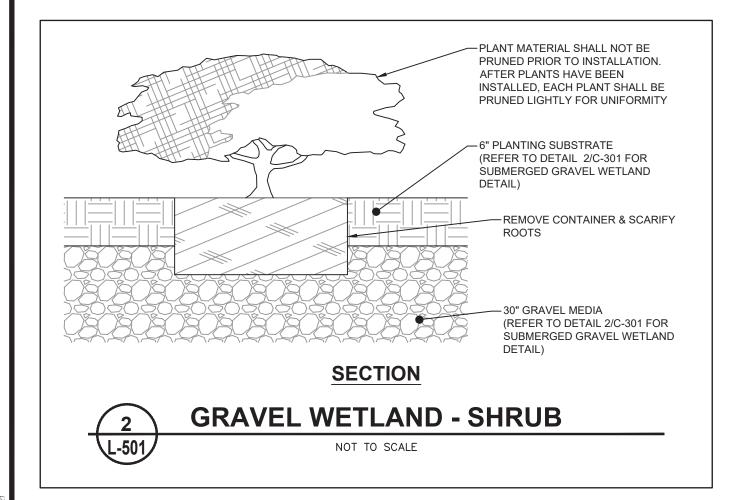


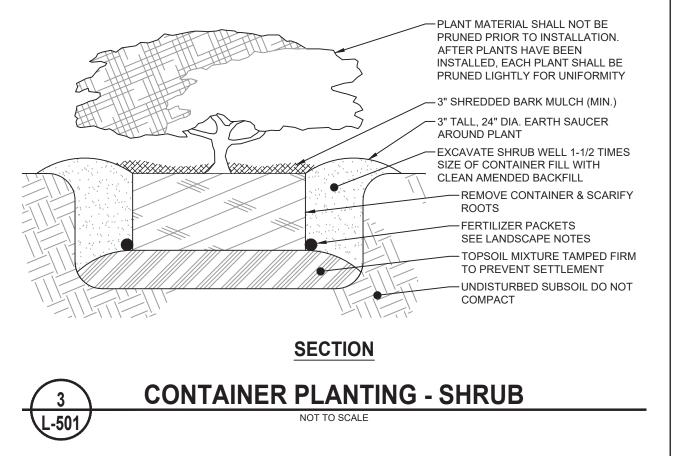
LANDSCAPE TABULATIONS

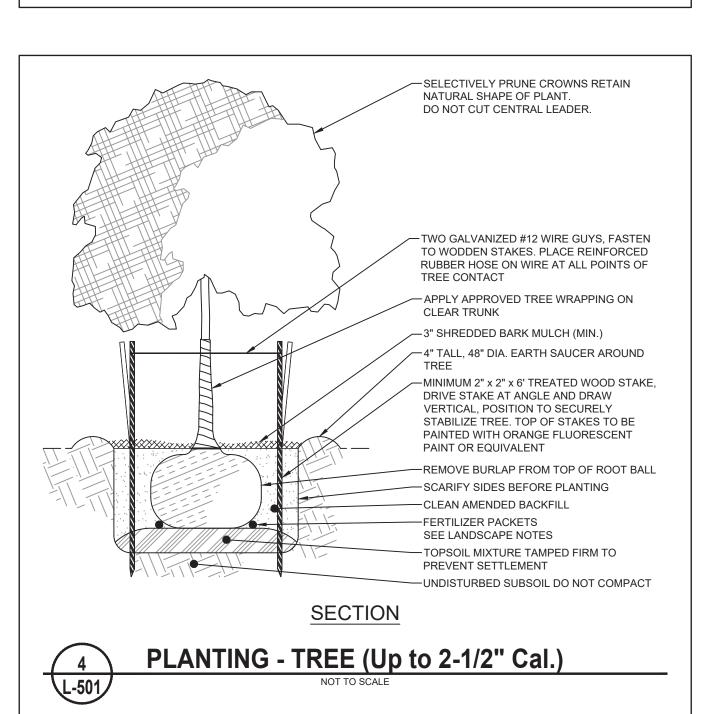
LANDSCAPE REQUIRED

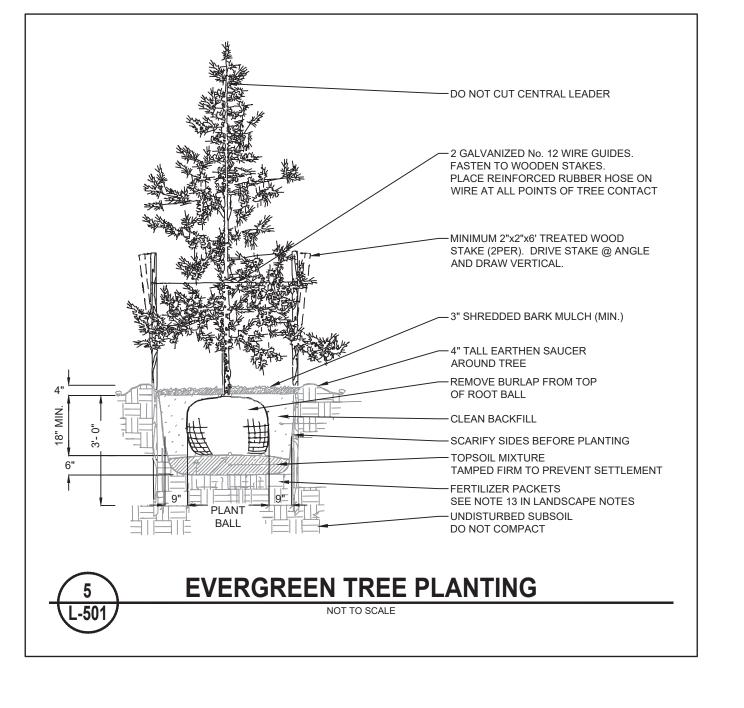
PARKING AREA

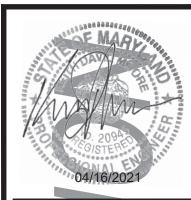












Professional Certification:
I hereby certify that these documents were or approved by me, and that I am a duly lic professional under the laws of the State of:

MARYLAND , License # 20945

Expiration Date 08-23-2021

FREDERICK, SEIBERT & ASSOCIATES, INC. © 2021

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLAN

128 SOUTH POTOMAL STREET | 2018 STRINGER | 2018

MARK: DESCRIPTION:

A
Revised per agency comments

CONTRACTOR BID SET

SITUATED ALONG THE EAST SIDE OF INTERSTATE 81

& TO THE SOUTH OF SHOWALTER ROAD

WASHINGTON COUNTY

ROWMAN DEVELORMENT CORD

PROJECT NO.

4331.1

DWN BY

BRADY BLAIR

01-14-2021

DAVID TROSTLE dave@fsa-inc.com

TAX MAP - GRID - PARCEL

0024 - 010 - 0503

SCALE

AS SHOWN

SHEET TITLE

LANDSCAPE DETAILS & NOTES

> L-501 SHEET 40 OF 40

OF 40

Site Plan for Bowman Ryder Trailer Parking

Presented is a site plan for Bowman Ryder Trailer Parking.

The subject site is located along the west side of Governor Lane Boulevard adjacent to Bowmans office and store fronts. Zoning is Planned Industrial.

The developer is proposing to create 109 tractor trailer spaces on his 5.2 acre parcel.

There will be no employees and will be used 7 days a week 24 hours. There will be one paved access onto Governor Lane Boulevard. Trailer parking will be gravel.

There will be no lighting or signage.

Forest Conservation Ordinance requirements will be met by retaining forest offsite for a total of 1.80 acres.

新位到10人的

MAY 2 1 2021

Washington County Dept. of Planning & Zoning



ACCESS SPACING VARIANCE NEEDED: No

WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

	BASE INFORMATION	
SITE NAME:	Bowman Ryder Trailer Parking	
NUMBER:	SP-21-004	
OWNER:	BOWMAN GROUP THE	
LOCATION:	Northwest side of Gov Lane Blvd	
DESCRIPTION:	Site Plan for tractor trailer parking	
ZONING:	Planned Industrial	
COMP PLAN LU:	Industrial	
PARCEL:	02011956	
PLANNING SECTOR:	1	
ELECTION DISTRICT:	02	
TYPE	Commercial	
GROSS ACRES:	5.2	
DWELLING UNITS:		
TOTAL LOTS:	1	
DENSITY:	0 Units Per Acre	
PLANNER:	Lisa A Kelly	
ENGINEER:	FREDERICK SEIBERT & ASSOCIATES	
RECEIVED:	February 26, 2021	
	SITE ENGINEERING	
HYDROGR	APHY, SENSITIVE & ENVIRONMENTAL INF	ORMATION
FLOOD ZONE	No	
WETLANDS	None	
WATERSHED:	Conococheague Creek	
ENDANGERED SPECIES:	None	
HISTORIC INVENTORY:	No Resources Present	
EASEMENTS PRESENT	None	
	SITE DESIGN	
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Staff Comments:		
Not Appin Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
		<u> </u>
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	NOL FASE HACK
Parking Spaces - Minimum Required	Recreational Parking Provided	

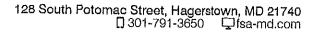


WASHINGTON COUNTY DIVISION OF PLAN REVIEW & PERMITTING

Washington County
MARYLAND

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

	SCHOOL INFORMA	TION	
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Williamsport	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			
	PUBLIC FACILITIES INFOI	RMATION	
FIRE DISTRICT	WILLIAMSPORT		
AMBULANCE DISTRICT:	WILLIAMSPORT		
	WATER & SEWER INFOR	RMATION	
	WATER		SEWER
METHOD:	City		County
SERVICE AREA:	City		County
PRIORITY:	1-Existing Servic	e	1-Existing Service
NEW HYDRANTS:			
GALLONS PER DAY SEWAGE:			
PLANT INFO:			Conococheague





CIVIL ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE

MEMO — Offsite Mitigation

SUBJECT — Bowman Ryder Trailer Parking (SP-21-004)

TO — Washington County Planning Commission

CC - Travis Allen

FROM - Shannon Stotler

REMARKS:

To meet the necessary requirements of forestation for the Site Plan for Bowman Ryder Trailer Parking, the owner is requesting to provide forest mitigation off-site. There is no existing forest on site, and the entire site is being developed. After the development of the gravel pad, and stormwater structures, there is no reasonable area to provide significant afforestation on site. I am formally requesting forestation be addressed by off-site retention at a 2:1 ratio.

Respectfully submitted,

Shannon Stotler

-APPROVALS-**OWNER / DEVELOPERS CERTIFICATION** SCS "I/We certify all/any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan UTILITY NOTIFICATION and responsible personnel involved in the construction project will The Soil Conservation District makes no representation as to the have a Certificate of Training at a Maryland Dept. of the Environment existence or nonexistence of any utilities at the construction site. approved training program for the control of soil erosion and Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators Donald Bowman 04/22/21 and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be Phone No. 1-800-257-7777 DISTURBED AREA QUANTITY THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE OWNER / DEVELOPERS CERTIFICATION PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 6.0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS "I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with HAS BEEN COMPUTED TO BE APPROXIMATELY the Stormwater Management Ordinance of Washington County and the 6,585 CU. YDS. OF EXCAVATION AND APPROXIMATELY CU. YDS. OF FILL. policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)." WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL Donald Bowman 04/22/21 (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL) APPROVAL WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COM/P 26.17.01.07, and Maryland Standards and Specifications for Soil **ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION** Erosion and Sediment Control. "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and

the as-built information; that it has been done in accordance with

considered acceptable to the Consultant."

Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are

SITE PLAN

BOWMAN RYDER TRAILER PARKING

SITUATED ALONG THE NORTHWEST SIDE OF GOVERNOR LANE BLVD & TO THE EAST OF INTERSTATE 81

WASHINGTON COUNTY, MARYLAND

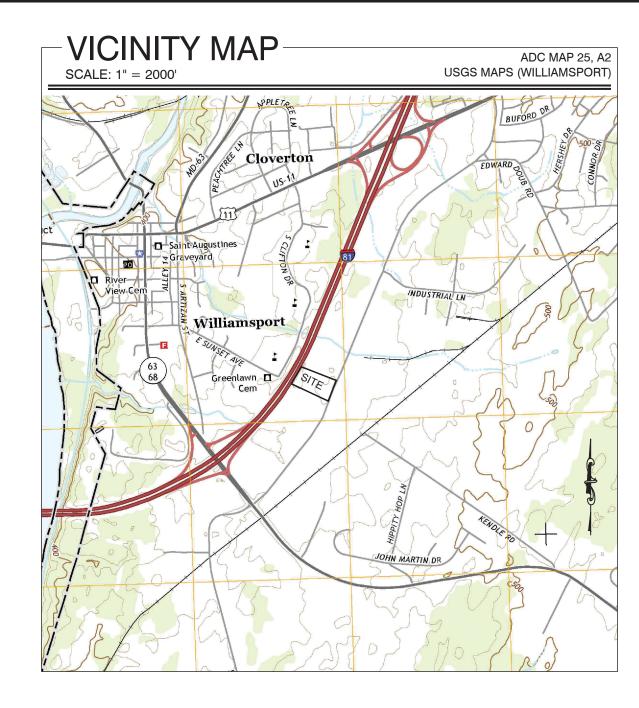
CLIENT/OWNER/DEVELOPER: THE BOWMAN GROUP 10228 GOVERNOR LANE BLVD, SUITE 3002, WILLIAMSPORT, MD 21795

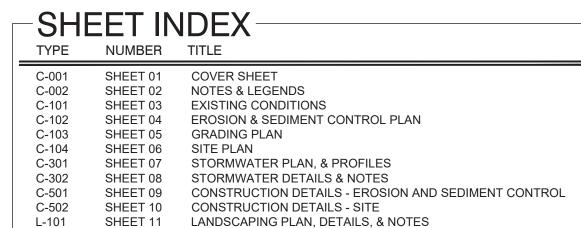
> ATTN: JEFF TEDRICK EMAIL: jtedrick@dmbowman.com PHONE: 301.582.1555

CIVIL ENGINEER / SURVEYOR: FREDERICK SEIBERT & ASSOCIATES, INC. 128 SOUTH POTOMAC STREET HAGERSTOWN, MD 21740

PROJECT MANAGER: DAVID TROSTLE EMAIL:dave@fsa-inc.com PHONE: 301.791.3650

INITIAL SUBMITTAL SET: 02/16/21 1ST RESUBMITTAL SET: 04/22/21





STORMWATER NARRATIVE

This stormwater management report is for the ultimate development of an existing row crop field into a 3.57 acre gravel truck and trailer storage lot. The site is situated along the northwestern side of Governor Lane Boulevard about 2,800 feet from its intersection with Lappans Road. The property is owned by The Bowman Group, and is within the review jurisdictions of the Washington County Plan Review Department and the Washington County Soil Conservation District. The developed site will site on one parcel that is 5.2 acres in area. The development of the site will cause approximately 6.0 acres of disturbance, and will create 3.57 acres of impervious cover. The stormwater runoff generated by the development will be treated and controlled in grass swales, gravel trenches, and bio-retention ponds. There will be no impact to downstream properties because the post-development runoff peak flows for design storms will be equal to or less than the pre-development conditions.

Construction Type (circle one) New Redevelopment Restoration

Chapter 5 - Structural							
Туре	No.	D.A. (Acres) (To Structure)	Impervious D.A. (Acres) (To Structure)	ESDv (ac-ft)	WQv (ac-ft)	P.E. Addressed	
BIO-RETENTION	1	2.63	2.03	0.50	0.50	2.14	
SUBMEREGED GRAVEL	1	1.96	1.27	0.13	0.13	1.19	





SHEET 01 OF 11

BRADY BLAIR 11-25-2020

0056-0014-0915, 982

DAVID TROSTLE | dave@fsa-inc.cor

AS SHOWN

COVER

SHEET

-GENERAL NOTES-

1.	Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2.	No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock,
	sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3.	FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the
	best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
4.	The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.

5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.

All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required. 7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (Hagerstown)	(301) 733-1010
/erizon	(301) 790-7124
Antietam Cable	(240) 420-2082
Vashington County Construction Division	(240) 313-2600
Vashington County Department of Water Quality	(240) 313-2600
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Vashington County Soil Conservation District	(301) 797-6821 Ext. 3

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.

9. Benchmarks to be established by FSA prior to the start of construction.

10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions. 11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or

constructing roadway and parking through base course before loading site with heavy vehicles. 12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.

13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.

14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.

15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications. 16. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and

otherwise objectionable, non-complying and unsuitable soils and materials. 17. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project

shall not relieve the contractor of his responsibility to complete such work. 18. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in April 2020. (Contour accuracy is to plus

or minus one half the contour interval). 19. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.

20. The contractor shall provide MOSH safety assistance for City Utilities Department and Washington County Depart of Water Quality...

21. This project has a projected start date of May 2021 and a completion date of November 2021. 22. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other

representative of Washington County or City of Hagerstown.

23. Proposed SWM will consist of a on-site bio-retention facility submerged gravel wetland.

24. A public works agreement and performance security will be required for all improvements within the Washington County right of way that are not otherwise regulated under a utility permit or entrance permit.

25. A utility permit will be required for any proposed utility work located within the Washington County right of way. 26. This project will require a third party qualified professional to be present at the pre-construction meeting scheduled with Washington

County Department of Construction and the Washington County Soil Conservation District. Construction inspection will be required

for this project per the "Roadway and Stormwater Management Construction Verification procedures" dated October 17, 2008. 27. Developer/Contractor must contact the certifying engineer and Washington County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.

28. In conformance with the stormwater management ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per

29. An entrance permit and driveway entrance bond will be required prior to issuance of the grading permit for this development.

__ZONING DATA-

ZONING DISTRICT PI - PLANNED INDUSTRIAL DISTRICT MAX BUILDING HEIGHT MINIMUM YARD SETBACK: FRONT 75 FT. 75 FT. *EXCEPT WHERE ADJACENT TO RESIDENTIAL DEVELOPMENT, IT SHALL BE 150 FEET. BOARD OF ZONING APPEALS' CASE____NONE

-SITE DATA-

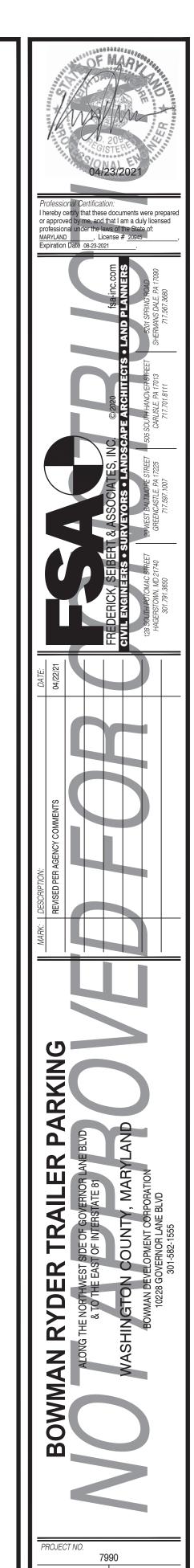
TAX MAP - GRID - PARCEL	0056 - 0014 - 0915
ELECTION DISTRICT	02
ACCOUNT NUMBER	011956
LIBER / FOLIO	00895 / 01024
AREA SUMMARY:	
PARCEL	5.2 Ac
DISTURBED AREA	5.2 AC (100% OF PARCEL)
EXISTING IMPERVIOUS	0.1 AC (1.9% OF PARCEL)
PROPOSED TOTAL IMPERVIOUS	3.7 AC (71% OF PARCEL)
PROPOSED USE	TRUCK & TRAILER STORAGE
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
WAIVER AND/OR VARIANCE	NONE
FOREST CONSERVATION	OFF SITE RETENTION EASEMENT, MISC. PLAT #
WATERSHED:	
NAME_	UPPER POTOMAC RIVER
NUMBER	02-14-05-01
FEMA PANEL #	24043C0283D EFFECTIVE AUGUST 15, 2017

PARKING, LOADING & BICYCLE DATA—

TOTAL TRAILER PARKING SPACE______109 SPACES

	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND	$-\cdots = \cdots = \cdots =$	
FLOODPLAIN		
SOIL BOUNDARY	77/17/17/17/17/17/17/17/17/17/17/17/17/1	
RAILWAY		
CENTERLINE EDGE OF BAVEMENT		
EDGE OF CRAVEL		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		A A A
BUILDING		·
MAIL BOX	MB	MB
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL	0	O
	- u	
TOPOGRAPHIC FEATURES CONTOUR (INDEX)		500
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION	501.65	501.65 501
OF OTO ELLVATION	×	*
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES	{·}	SEE LANDSCAPE SHEET FOR LEGEND
EVERGREEN TREES		SEE LANDSCAPE SHEET FOR LEGEND
SANITARY SEWER	per :	
GRAVITY LINE	SSSS	ssssss
FORCE MAIN LINE		— FM — FM — FM —
LATERAL		
MANHOLE	(SS)	<u>\$</u>
CLEANOUT	⊗	⊗
VALVE	⊗	8
	_	•
WATER COLD WATER LINE		
HOT WATER LINE		
		HWHW
MANHOLE FIRE HYDRANT	MH	(MH)
FIRE HYDRANT		▶ ⊘ ◀
VALVE	$\widehat{\otimes}$	€
METER	(P)	⊚
WELL	o	0
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE	(SW)	
INLETS		
CLEANOUT	₩	<u> </u>
	~	~
<u>UTILITIES</u> GAS LINE		0 0 0
		—— G——— G——— G-
ELECTRICAL LINE	UGEUGE	UGEUGEUGE
FIBER OPTIC LINE		
COMMUNICATION LINE	COMM-	COM M
OVERHEAD LINES	—— ОН —— ОН ——	——OH——OH——OH—
MANHOLE	MH	MH
PEDS, BOX, & ETC		
POLE	Ø	ø
LIGHT POLE		
GAS METER	△ ↑↑	△★ ⊕
	~	-

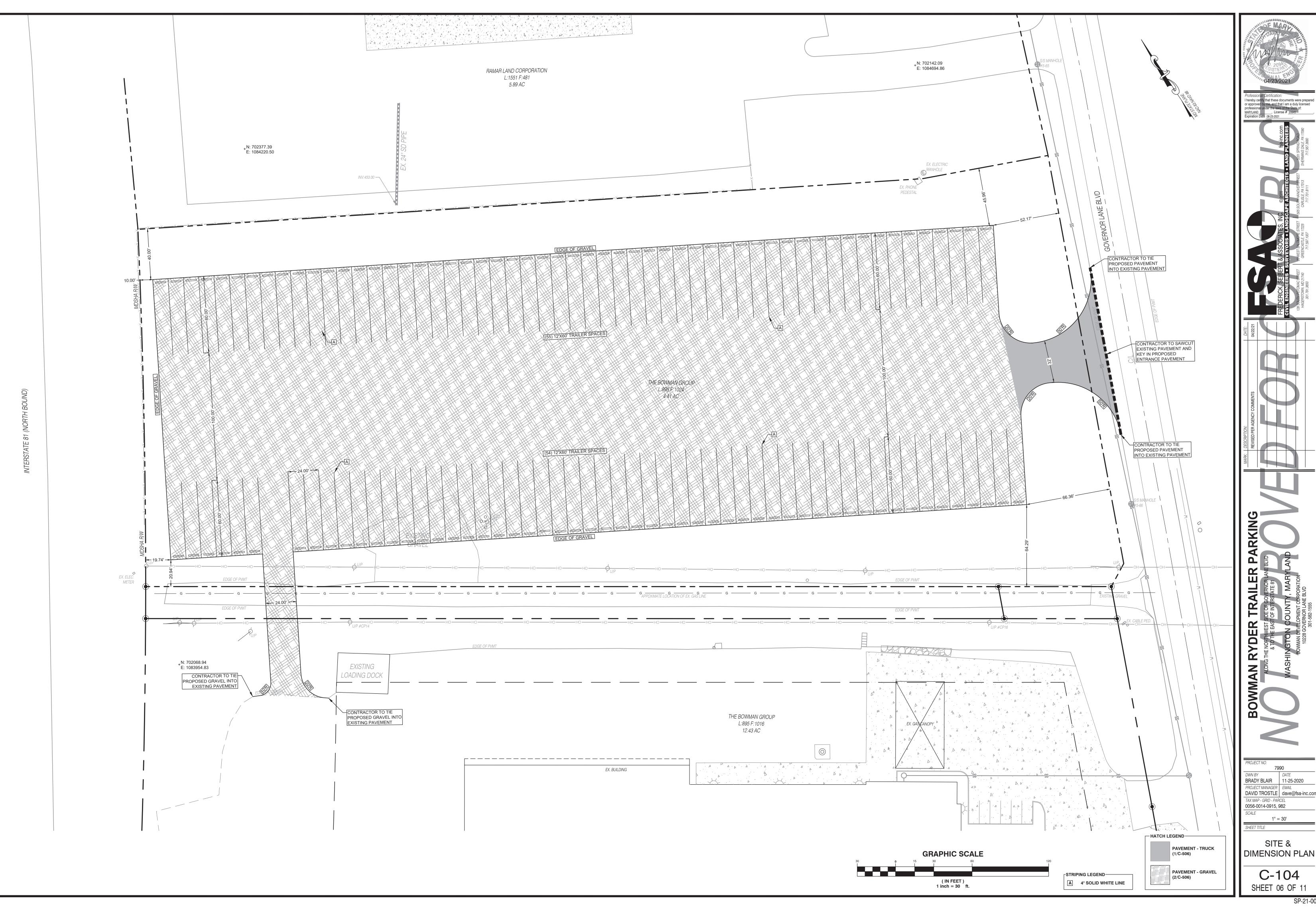
ΔΔΩΗΤΩ	AMERICAN ASSOCIATION OF STATE	OC	ON CENTER
AA01110_	HIGHWAY AND TRANSPORTATION OFFICIALS	PC	POINT OF CURVE
ADS	ADVANCED DRAINAGE SYSTEM	PCC	POINT OF COMPOUND CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND	PGL	PROPOSED GRADE LINE
	MATERIAL	PRC	POINT OF REVERSE CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PT	POINT OF TANGENT
BLDG	BUILDING	PVC	POINT OF VERTICAL CURVE
вот	BOTTOM	PVI	POINT OF VERTICAL INTERSECTION
CIP	CAST IRON PIPE	PVT	POINT OF VERTICAL TANGENT
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	SAN	SANITARY
co <u> </u>	SANITARY SEWER CLEAN-OUT	SCE	STABILIZED CONSTRUCTION ENTRANCE
COMM	COMMUNICATION	SDR	STANDARD DIMENSION RATIO
CONC	CONCRETE	SIP	SET IRON PIN
DA	DRAINAGE AREA	SD	STORM DRAINAGE
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
EGL	EXISTING GRADE LINE	SF	SQUARE FEET
EX	EXISTING	SS	SANITARY SEWER
EIP	EXISTING IRON PIN	SSMH	SANITARY SEWER MANHOLE
FFE	_FINISH FLOOR ELEVATION	STA	STATION
FH	FIRE HYDRANT	STD	STANDARD
GV	GATE VALVE	SY	SQUARE YARDS
HGL	HYDRAULIC GRADE LINE	TAN	TYPE AS NOTED
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
NV	INVERT	TS	TOP OF STRUCTURE
_F	LINEAR FEET	TG	TOP OF GRATE
MAX	MAXIMUM	TR	TOP OF RIM
MB	MAIL BOX	TYP	TYPICAL
MIN	MINIMUM	U/P	UTILITY POLE
MJ	MECHANICAL JOINT	VIF	VERIFY IN FIELD
NO	NUMBER	WL	WATERLINE
VIC	NOT IN CONTRACT	WM	WATER METER
NTS	NOT TO SCALE	WV	WATER VALVE

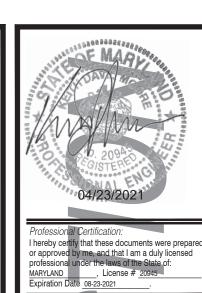


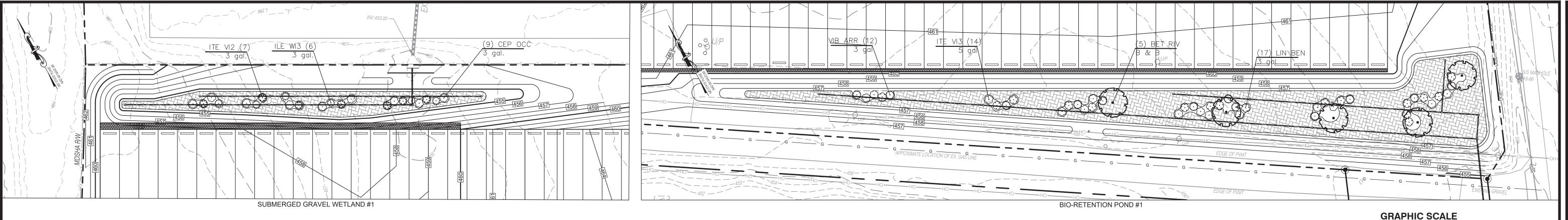
DAVID TROSTLE | dave@fsa-inc.con 0056-0014-0915, 982 NOTES & LEGENDS C-002

BRADY BLAIR 11-25-2020

SHEET 02 OF 11







PLANT SCHEDULE QTY DETAIL **BOTANICAL NAME COMMON NAME** 5/L-101 QTY DETAIL CEP OCC Cephalanthus occidentalis 9 3/L-101 llex verticillata 6 3/L-101 7 3/L-101 Itea virginica Virginia Sweetspire 3 gal. 14 4/L-101 Itea virginica `Virginia Lindera benzoin 17 4/L-101 12 4/L-101 Viburnum dentatum

GRASS/PERENNIAL LEGEND					
BMP PRACTICE	PLANTINGS	SIZE	REMARKS		
SUBMERGED GRAVEL WETLAND #1	1,985 SF	2" PLUG	EQUAL PERCENTAGE OF EACH SPECIE PLANT 24" O.C. (DETAIL 1/L-101)		
BIO-RETENTION POND #1	8,465 SF	2" PLUG	EQUAL PERCENTAGE OF EACH SPECIE PLANT 24" O.C. (DETAIL 2/L-101)		

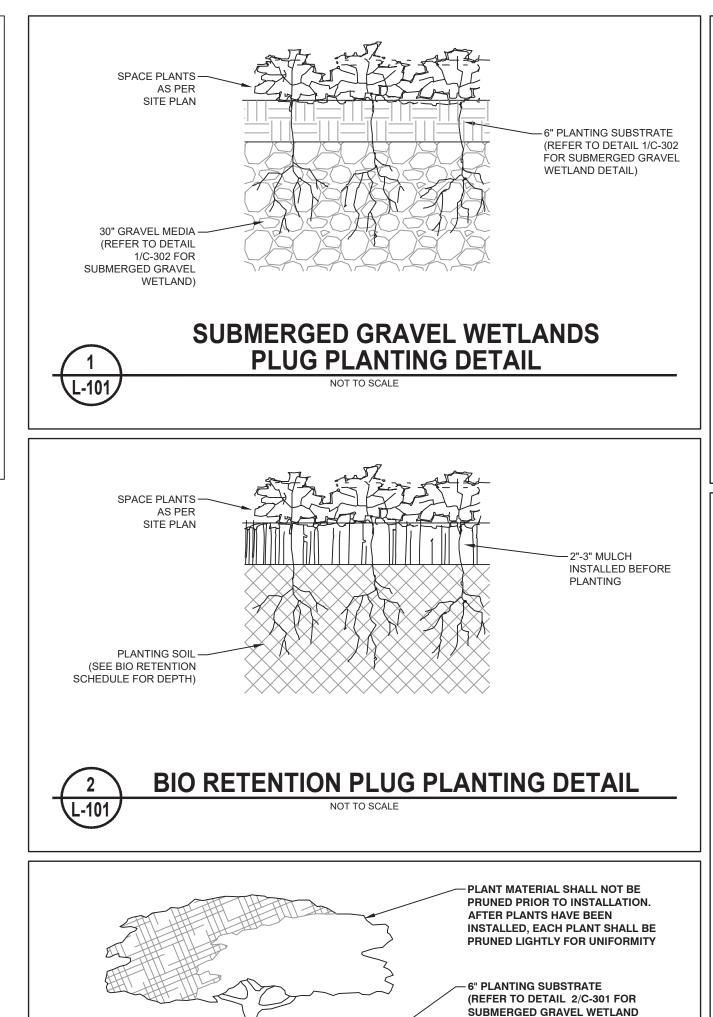
GRASSES AND PERENNIALS
Iris versicolor Blue Flag iris Sagittaria latifolia Duck Potato Juncus effusus Soft Rush Carex lurida Shallow Sedge Lobelia cardinalis Lobelia

GENERAL LANDSCAPE NOTES:

- Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
- 2. Landscape Contractor shall install all plant material in a timely fashion. 3. Landscape Contractor shall be responsible for all watering, weeding, repairs and
- replacements prior to final acceptance.
- 4. NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
- 5. Plants shall be in accordance with the current issue of American Standards for Nursery Stock
- published by the American Association of Nurserymen. 6. All plants shall be watered thoroughly during installation and prior to final acceptance.
- 7. All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- 8. All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- 9. Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
- 10. Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
- 11. All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commune on the date of initial acceptance by the owner.
- 12. The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
- 13. Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- 14. Landscape is recommended to be installed during the two growing seasons. Spring: April 15-June 15, Fall: September 1-November 1.

MAINTENANCE:

1. All trash and debris should be removed from the top of the wetland area as necessary. 2. Areas devoid of mulch shall be re-mulched on an annual basis.



SECTION

GRAVEL WETLAND - SHRUB

NOT TO SCALE

(3 L-101)

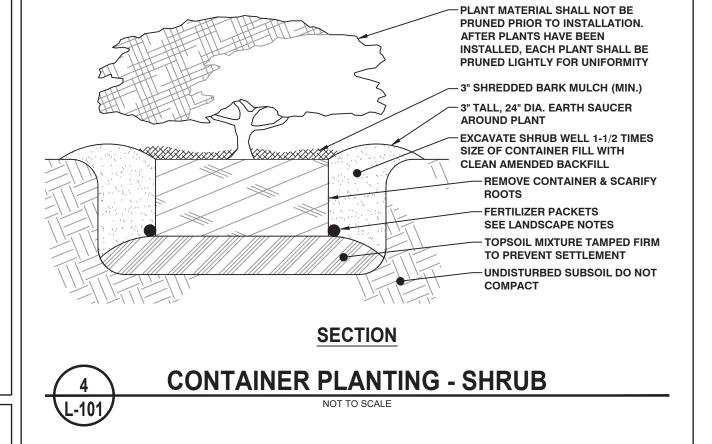
DETAIL)

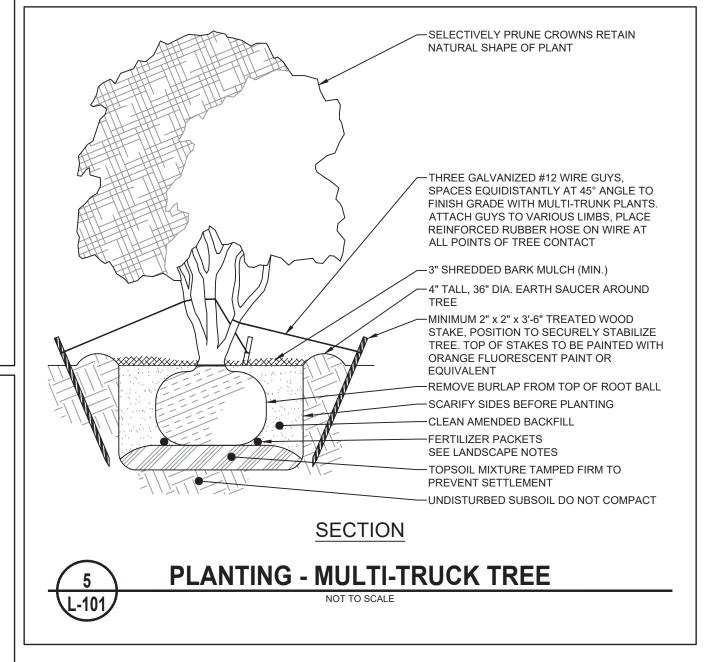
- REMOVE CONTAINER & SCARIFY

(REFER TO DETAIL 2/C-301 FOR SUBMERGED GRAVEL WETLAND

30" GRAVEL MEDIA

DETAIL)







1 inch = 30 ft.

BRADY BLAIR 11-25-2020

DAVID TROSTLE | dave@fsa-inc.con 0056-0014-0915, 982

AS SHOWN

L-101 SHEET 11 OF 11

LANDSCAPING PLAN **DETAILS & NOTES**



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: May 25, 2021

RE: Forest Conservation Mitigation Approval for Bowman Sunfish (SP-20-016)

Attached you will find supporting documentation for two requests to meet forest conservation requirements for this project. The first request is to utilize offsite retention to satisfy the 14.81-acre planting requirement for the Bowman Sunfish development located on Greencastle Pike south of Huyett's Crossroads. The second request is to remove 1 specimen tree from the site as a part of its development.

Enclosed for your review are three documents in support of the applicant's request. These include the forest conservation plan; which shows the location of the offsite easement and depicts the specimen tree proposed for removal, and two justification letters from Qualified Professional Shannon Stotler that make their case for both of these requests.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

The removal of specimen trees requires that approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen Comprehensive Planner (240) 313-2432 tallen@washco-md.net

100 West Washington Street, Suite 2600 | Hagerstown, MD 21740 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1



MEMO — Offsite Mitigation

SUBJECT — FCP for Bowman Sunfish

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

REMARKS:

The total tract area for the development of Bowman Sunfish consist of approximately 55.78 acres. Within those parcels, the proposed development for the Site Plan is 19.32 acres of total disturbance. The required forest mitigation for the proposed development is 14.81 acres.

8.76 acres of forest is being retained onsite with an easement of retention forest and proposed planting. The remaining forest mitigation required is 6.05 acres. All areas on site is either being locked up in a forest easement or proposed for development. There is no other logical place on site to retain or plant forest without creating hardship for development. The proposed additional offsite retention easement is 12.10 acres and is based on the remaining forest mitigation required at a ratio of 2:1. On behalf of the property owner, I request the approval of offsite forest mitigation to meet the forest requirements for the development of the Site Plan for Bowman Sunfish.

Sincerely,

Shannon Stotler



MEMO — Specimen Tree Removal Variance SUBJECT — FCP for Bowman Sunfish

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

REMARKS:

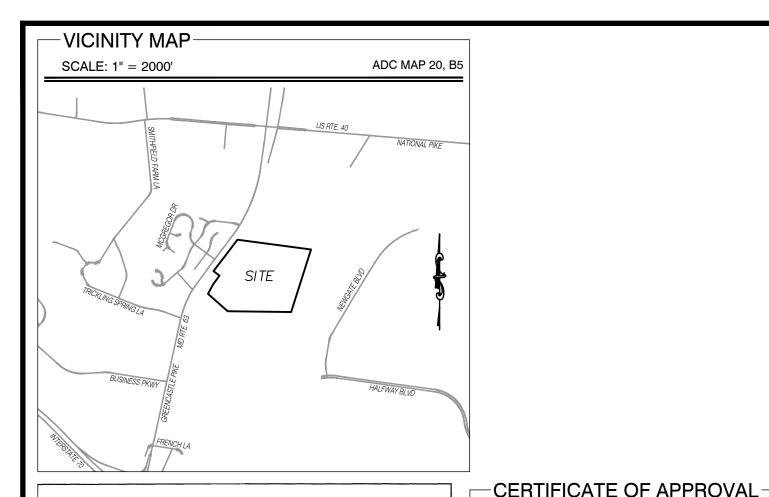
The total tract area for the development of Bowman Sunfish consist of approximately 55.78 acres. Within the total tract, the proposed development for the Site Plan is 38.0 acres of total disturbance. Out of the total disturbance, 19.32 acres of forest is proposed for clearing along with one specimen tree.

This tract area is zoned Highway Interchange. A total of five specimen trees exist on site. Four Specimen trees shall remain, as they will be locked up within a retention easement. The one specimen tree proposed for clearing stands near the front of the property where development is most crucial. The 20 foot proposed change in elevation makes it impossible to save the tree. If the specimen tree remained in-place, the development of this site would be greatly reduced. Water quality for this site is not reduced by the removal of said specimen tree as there will be water quality structures for the development of this site.

On behalf of the property owner, I request a variance for the removal of one specimen tree due to the hardship as stated above.

Sincerely,

Shannon Stotler



FORESTATION NOTES

- Forest areas shown hereon reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive mature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.
- This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.
- The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

FOREST CONSERVATION SEQUENCE OF CONSTRUCTION-

- . All temporary protection devices and/or permanent devices shall be put into place. Permanent signage will be place as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.

 During any building or site construction, the forest retention area(s) shall be protected by highly visible, well
- anchored temporary fencing.
- All temporary fencing shall be in place prior to any grading or land clearing.
 All temporary fencing shall be maintained throughout construction and until all graded areas have been
- Attachment of signs or any other objects to trees is prohibited.
- . No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected

. A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed rotection devices, corrections will have to be made and re-inspected prior to the start of construction

3. Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence

. A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

QUALIFIED PROFESSIONAL

I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Retention Easement Plat is accurate and complete



-FORESTATION TABLE

FOREST REQUIRED 14.81 AC.±					
FOREST PROVIDED (ON-SITE)	8.76 AC.±				
REMAINING FOREST REQUIRED	6.05 AC.±				
AT 2:1 RATIO (OFF-SITE)					

FEDEX GROUND PACKAGE SYSTEM, INC. IBER 4411 FOLIO 233

(IN FEET)

1 inch = 200 ft.

12.10 AC.±

100 Year Flood Plain Steep Slopes Forest Clearing (19.32 Ac.±)

FOREST CONSERVATION WORKSHEET 2.2

NET TRACT AREA

A. Total Tract Area.

C. Net Tract Area..

LAND USE CATEGORY IDA

EXISTING FOREST COVER

BREAK EVEN POINT

H. Break Even Point.

D. Afforestation Threshold (Net Tract Area x 15%)...

F. Existing Forest Cover within the Net Tract Area...

G. Area of Forest Above Conservation Threshold..

I. Forest Clearing Permitted Without Mitigation.

PROPOSED FOREST CLEARING

PLANTING REQUIREMENTS

P. Total Reforestation Required...

Q. Total Afforestation Required...

R. Total Planting Requirement...

J. Total Area of Forest to be Cleared.

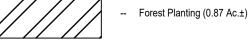
K. Total Area of Forest to be Retained...

E. Conservation Threshold (Net Tract Area x 15%).....

N. Credit for Retention above the Conservation Threshold....

—HATCH LEGEND-

B. Deductions..





DISTANCE

Areas that do not qualify as forest.

FL1 N 83°37'36" E 31.91' S 76°44'09" E 67.94'

LINE BEARING

FL3	N 17°02'31" E	204.02'
FL4	N 46°52'14" E	89.00'
FL5	S 52°37'04" E	150.34'
FL6	S 58°36'31" E	55.25'
FL7	S 30°05'29" W	132.24'
FL8	S 16°44'48" W	87.88'
FL9	S 40°22'09" W	66.72'
FL10	S 89°55'13" W	353.31'
FL11	N 39°10'47" E	67.73'
FL12	N 37°20'33" E	92.57'
FL13	S 16°23'50" E	54.85'
FL14	S 28°51'42" W	272.59'
FL15	N 58°36'31" W	54.39'
FL16	N 52°37'04" W	145.13'
FL17	N 44°19'44" E	89.82'
FL18	N 38°30'20" E	93.83'
FL19	N 29°42'32" E	79.48'
FL20	N 05°28'04" W	44.91'
FL21	N 51°50'59" E	87.37'
FL22	N 24°48'54" E	127.28'
FL23	N 37°31'41" E	126.79'
FL24	S 52°37'39" E	110.21'
FL25	N 01°06'47" E	50.81'
FL26	S 86°28'09" E	62.40'
FL27	N 42°10'31" E	139.25'
FL28	N 12°06'54" W	38.42'
FL29	N 53°10'49" W	99.24'
FL30	N 23°16'57" W	78.69'
FL31	N 56°23'36" E	83.66'
FL32	N 44°01'05" E	76.23'
FL33	N 81°58'05" E	67.33'
FL34	S 82°22'05" E	245.72'
FL35	S 01°50'19" W	67.97'
FL36	S 26°00'32" W	85.75'
FL37	S 10°28'30" W	108.67'
FL38	S 24°14'18" W	66.62'
FL39	S 18°56'21" W	134.64'
FL40	S 55°50'34" W	121.58'
FL41	S 73°18'31" W	71.06'
40		

FL42 S 61°37'58" W 96.14'

FL43 S 67°51'50" W 272.63'

FL44 N 44°17'41" E 30.22'

.= 38.00 Ac ...= 0.00 Ac. ..= 38.00 Ac ..= 5.70 Ac. ...= 5.70 Ac. ..= 19.32 Ac. ..= 13.62 Ac. ..= 8.42 Ac. ...= 10.90 Ac. ...= 19.32 Ac.= 0.00 Ac. L. Reforestation for Clearing Above the Conservation Threshold..... = 3.41 Ac. M. Reforestation for Clearing Below the Conservation Threshold...... = 11.40 Ac. ... = 0.00 Ac. ...= 14.81 Ac. ... = 0.00 Ac. ...= 14.81 Ac. or 645,123.6 S.F.

COUNTY, MARYLAND

SUNFISH

OWMAN

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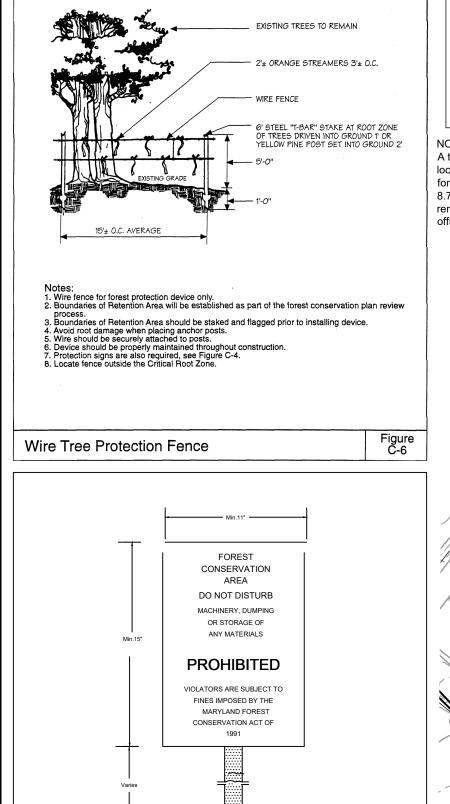
IINGTON

6523.1 DWN BY DWH 06-16-2020 PROJECT MANAGER TAX MAP-GRID-PARCEL 0036-0021-0029 1" = 200'

FOREST RETENTION **EASEMENT PLAT**

SHEET TITLE

C-101 SHEET 1 OF 2



. Bottom of signs to be higher than top of tree protection fence.

cing signs closer or farther apart.

Attachment of signs to trees is prohibited

FOR AN INSPECTION

BOWMAN 2000, LLC

WILLIAMSPORT, MD 21795

OWNER:

2. Signs to be placed approximately 50 feet apart. Conditions on site affecting visibility may warrant

• RETENTION AREA PROTECTIVE MEASURES SHALL BE INSTALLED

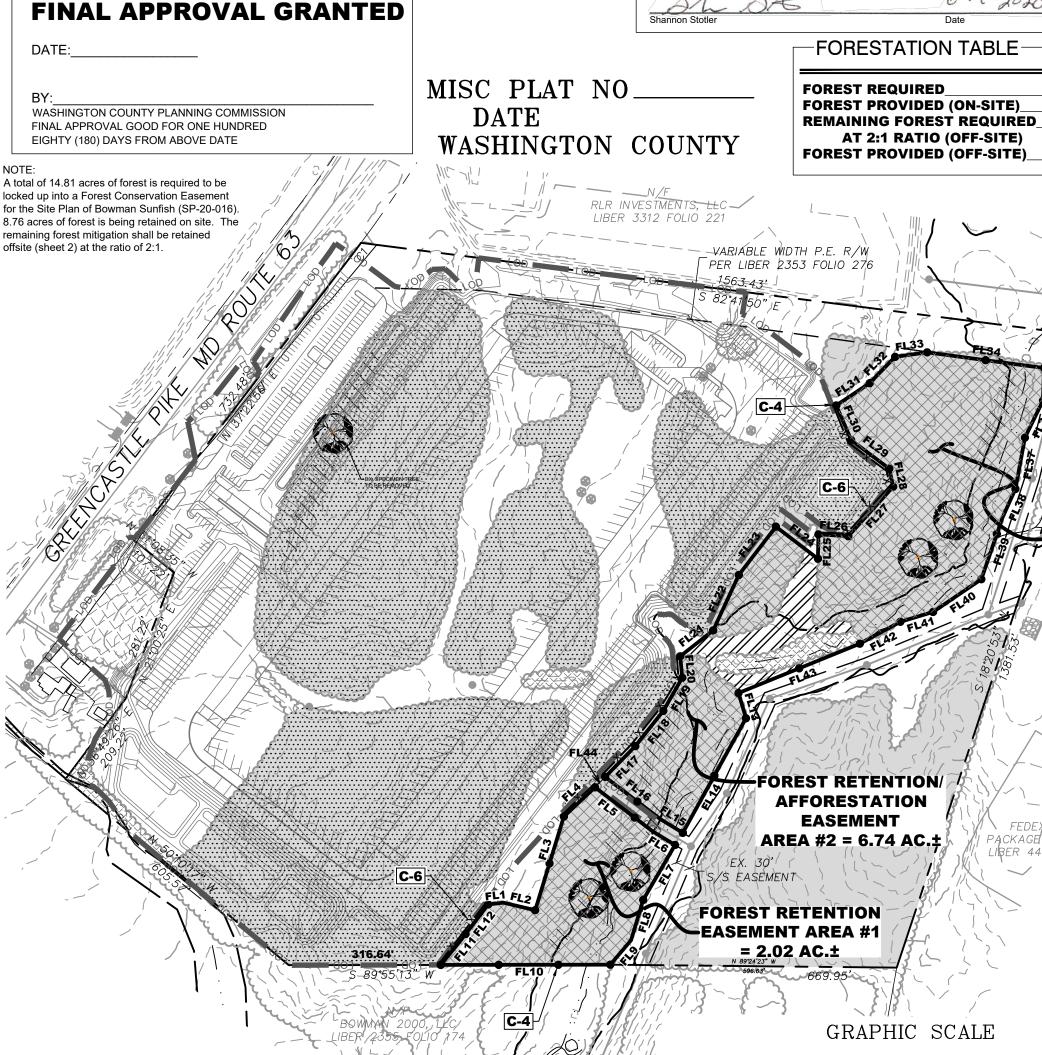
• AFTER INSTALLED NOTIFY PLANNING DEPARTMENT (240-313-2430)

10228 GOVERNOR LANE BLVD. SUITE 3002

CURVE ARC LENGTH

WITHIN 30 DAYS OF SUBDIVISION PLAT APPROVAL.

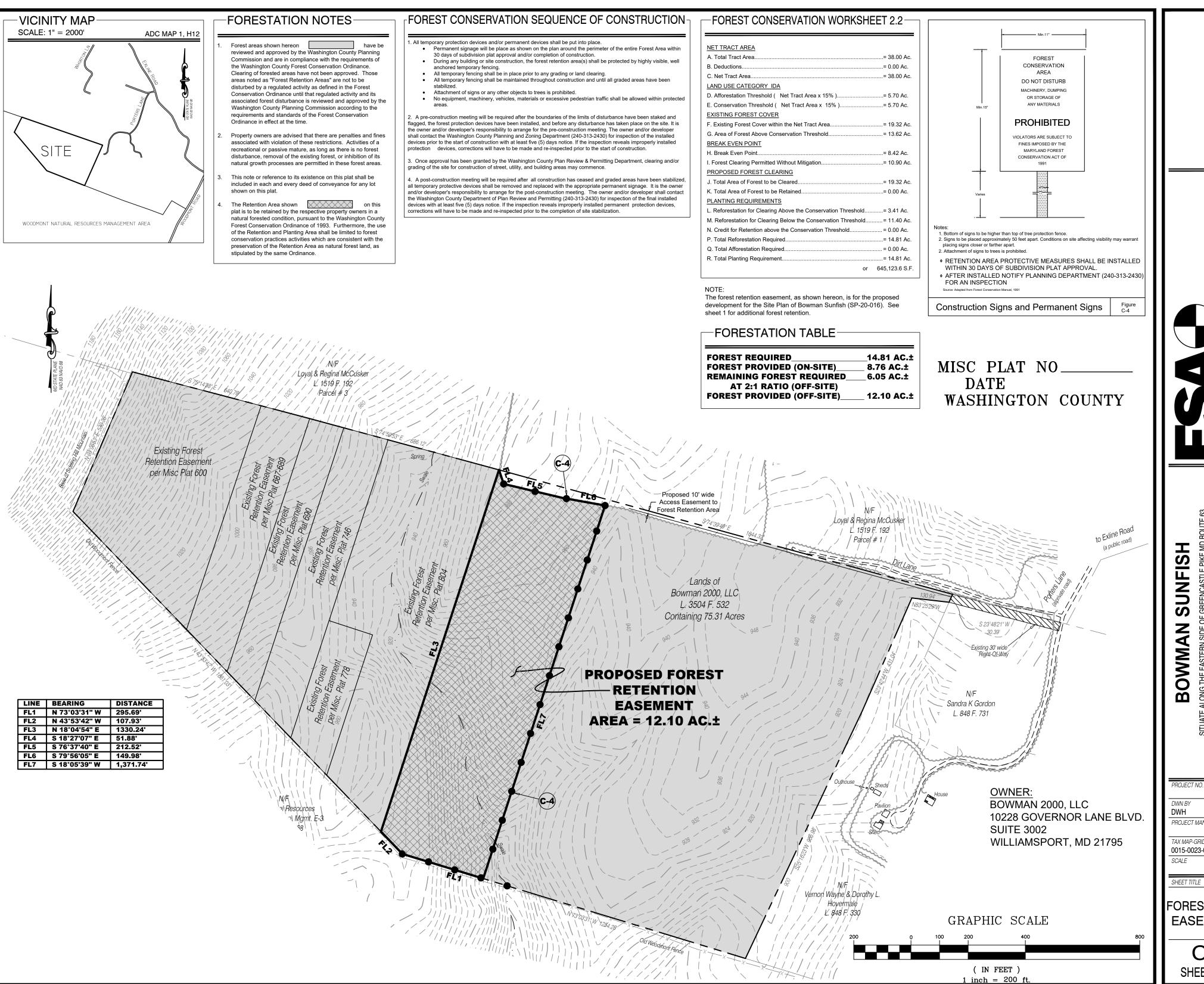
Construction Signs and Permanent Signs



RADIUS DELTA ANGLE CHORD BEARING CHORD LENGTH

N 36°58'29" E

3308.05′ 0°48′55″



SUNFISH **NAMWC** COUNTY, MARYLAND

IINGTON

06-19-2020 PROJECT MANAGER | EMAIL TAX MAP-GRID-PARCEL 0015-0023-0032

FOREST RETENTION **EASEMENT PLAT**

1" = 200'

C-102 SHEET 2 OF 2



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Comprehensive Planner

DATE: May 25, 2021

RE: Specimen Tree Variance Request for Creekside Logistics (SP-20-014)

Attached you will find supporting documentation for a request to remove 1 specimen tree as part of the development of the site located at 12524 Greencastle Pike. Enclosed for your review are two documents in support of the applicant's request. These include the forest conservation plan, which shows proposed forest removal, including the specimen tree to be affected by development activities. A justification letter from Qualified Professional Andrew Nevin also elaborates on the reasoning for this request.

The removal of specimen trees requires approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen Comprehensive Planner (240) 313-2432 tallen@washco-md.net



May 13, 2021

Mr. Travis Allen Comprehensive Planner Washington County, Maryland 100 West Washington Street, Suite 2600 Hagerstown, Maryland 21740

Re:

Specimen Tree Variance Request for Creekside Logistics Center Land Development Project in Washington County, Maryland

Dear Mr. Allen,

Skelly and Loy, Inc., on behalf of Creekside Logistics Center Owner LLC, is requesting a variance under Article 15 of the Washington County Forest Conservation Ordinance for the removal of a specimen tree within the proposed limits of disturbance associated with the Creekside Logistics Center Land Development Project in Washington County, Maryland. This specimen tree cannot be saved due to grading limitations associated with an adjacent stormwater basin.

A site visit was conducted on May 11, 2021, to document the current condition of this specimen tree, identified in the Forest Conservation Plan as S10, as compared to that which was presented within the original Forest Stand Delineation conducted by Wildwood Consultants in the spring of 2019. Specimen Tree S10 occurs within Stand 5 and was found to maintain similar characteristics to that which was previously recorded. S10 is a 37-inch Diameter at Breast Height (DBH) black walnut (*Juglans nigra*) which is in poor condition. The tree was found to be alive at the time of the field investigation with partial foliage emerging from the crown. However, the specimen tree was found to be heavily choked with vines and had several dead main branches.

The outlet pipe configuration and berm grading necessary for stormwater management associated with the adjacent basin will be in the vicinity of S10. Deep trenching required to install the outfall pipe system has the potential to negatively impact the root base of the specimen tree. Adjusting the grading for this basin and relocating the outlet pipe would likely lead to the destruction of more mature wooded areas to the west of the specimen tree, providing a reduction in the water quality benefits that the healthy forested areas currently provide.

Therefore, the proposed removal of this specimen tree is necessary for full project implementation. Due to the site-specific constraints noted above, it is our opinion that this variance request is consistent with the spirit and intent of the Forest Conservation Act. As described in the Forest Conservation Plan, mitigation efforts are proposed to offset impacts to the wetlands and watercourses associated with these forest stands where specimen trees occur. The Hendershot Property Wetland Mitigation Site will establish 1.25 acres of palustrine

Skelly and Loy, Inc., A Terracon Company 449 Eisenhower Boulevard, Suite 300 Harrisburg, PA 17111-2302 P (717) 232 0593 F (717) 232-1799 skellyloy.com terracon.com



Mr. Travis Allen Page 2 May 13, 2021

wetlands and the restoration of 400-linear feet of riparian zone. Additionally, approximately 1 acre of pollinator habitat will be established on the site as buffer replacement. Therefore, adverse effects to water quality as a result of this project will be mitigated.

Thank you for your attention to this matter and please let me know if you need any additional information when reviewing this variance request.

Sincerely yours,

SKELLY and LOY, Inc.

Andrew P. Nevin

MD Qualified Forest Professional

anevin@skellyloy.com

(717) 599-1024

Enclosure

cc: JN217254

File: Creekside Specimen Tree Variance Request_APN.doc

PHOTOGRAPHS

SKELLYAND LOY ATTERIOR CONTANT

Client:

Creekside Logistics Center Owner LLC Project:

Creekside Logistics Center: Specimen Tree Variance

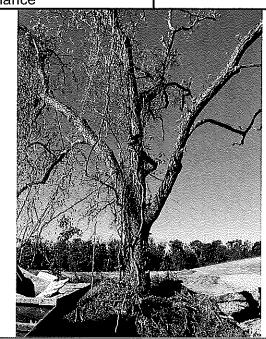
Date:

05/11/2021

Photograph No.:

Description:

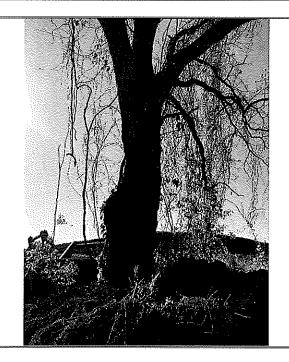
S10 – 37" DBH black walnut (Juglans nigra) in poor condition needed to be removed due to grading constraints; facing west.

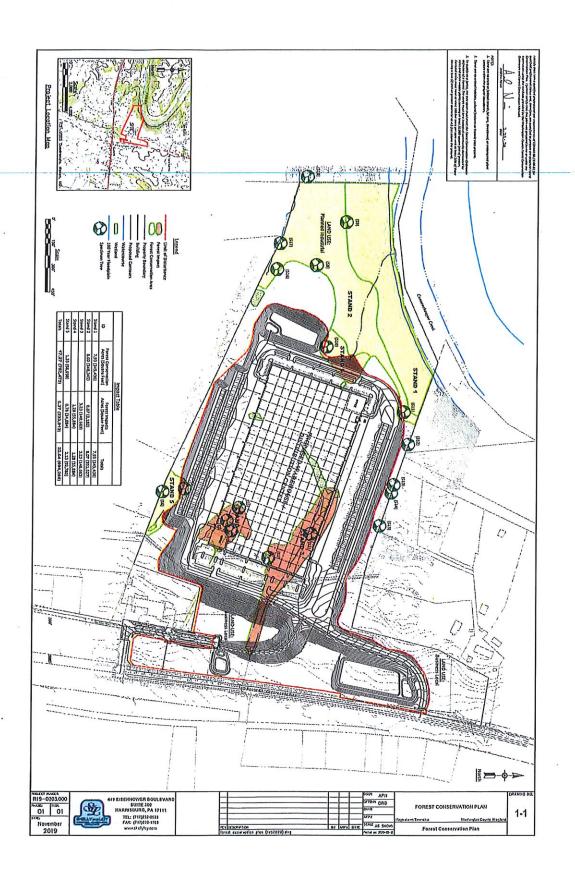


Photograph No.: 2

Description:

S10 facing southwest.







May 10th 2021

Rebecca Calimer, EIT, CFM Chief of Plan Review, Division of Plan Review & Permitting W. Baltimore Street Hagerstown, MD 21740

Re: SP-21-003 Fix N Go (Williamsport)

This is a waiver request from the requirement to provide public water and sewer for a tractor trailer repair shop located on the south side of Lappans Road east of the Western Maryland Railroad.

Per zoning ordinance section 19.9(i) all new development in the HI zoning district shall be served by public water and sewer facilities. The Planning Commission may grant a waiver after consultation and advice from the Health Department. The Planning Commission shall also consider the following:

- 1. This is a small use that would require a single estimated daily use (EDU) or 200 gal/day.
- 2. The proposed septic and well is shown on the site plan in accordance with Health Department guide lines.
- 3. The nearest public utilities is located on the north side of Lappans road on the north side of the existing buildings roughly 1,500 feet away.
- 4. There is no plan to extend public water or sewer in the foreseeable future.
- 5. The property is with the W-3 service area this allows well and septic per Washington County Health Department.
- 6. By granting of a waiver to allow the use of a private, on-site well or septic system is conditional upon the agreement to abandon the private system and connect to the public utility when it becomes available.
- 7. This lot meets the minimum lot size, setback, and yard requirements specified in Section 19.7 and 19.8. The lot dimensions also conform to all applicable minimum requirements affecting lot size, width, or separations imposed by the Washington County Health Department.
- 8. This lot has already been perc'd and is currently under review by the Washington County Health Department. The last comment yet to be addressed for site plan approval is to drill a well.

Thank you

Adam G Hager
Adam Hager
Project Manager



May 10th 2021

Rebecca Calimer, EIT, CFM Chief of Plan Review, Division of Plan Review & Permitting W. Baltimore Street Hagerstown, MD 21740

Re: SP-21-008 Fix N Go (Nursery Rd)

This is a waiver request from the requirement to provide public water and sewer for a tractor trailer repair shop located on the south side of Bentwood Drive east of the CSX Railroad. This plan is proposing public sewer locating a sewer easement located in the Lakeside Development. A well is proposed to provide water.

Per zoning ordinance section 19.9(i) all new development in the HI zoning district shall be served by public water and sewer facilities. The Planning Commission may grant a waiver after consultation and advice from the Health Department. The Planning Commission shall also consider the following:

- 1. This is a small use that would require a single estimated daily use (EDU) or 200 gal/day.
- 2. The proposed well is shown on the site plan in accordance with Health Department guide lines.
- 3. The nearest public water is located on the west side of the CSX railroad on the north side of the existing buildings roughly 1,200 feet away.
- 4. There is no plan to extend public water in the foreseeable future.
- 5. The property is with the W-3 service area this allows well and septic per Washington County Health Department.
- 6. By granting of a waiver to allow the use of a private, on-site well or septic system is conditional upon the agreement to abandon the private system and connect to the public utility when it becomes available.
- 7. This lot meets the minimum lot size, setback, and yard requirements specified in Section 19.7 and 19.8. The lot dimensions also conform to all applicable minimum requirements affecting lot size, width, or separations imposed by the Washington County Health Department.
- 8. The adjacent property to the north where National Freight currently operate has a well.

Thank you

Adam Hager Project Manager

Adam G Hager

INSTRUCTIONS

Each Planning Commission/Board shall approve an Annual Report for the Reporting Year 2020 as required under §1-207(b) of the Land Use Article. In addition, this Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (Planning), no later than July 1, 2021.

Local jurisdiction may use the attached template form or any of the previous Annual Report forms. The requirements have not changed for 2020. An optional survey is included in Section VII. We encourage all jurisdictions to consider responding.

Section I- New Residential Permits, and Section II- Amendments and Growth Related Changes, are required by all local jurisdictions.

Section III- Development Capacity Analysis, is required every three years.

Section IV- Locally Funded Agriculture Preservation, is required by Counties only.

Section V – Measures and Indicators, is required by jurisdiction reporting more than 50 new residential permits in Section I.

Section VI- Adequate Public Facility Ordinances, is required every two years by jurisdictions with adopted Adequate Public Facility Ordinances (APFOs).

Section VII – Planning Survey Questions is optional

Section I: New Residential Permits Issued (Inside and Outside the PFA)

§1-208(c)(1)(i) and (c)(3)(ii)

(A) In *Table 1, New Residential Permits Issued (Inside and Outside the PFA*) below, enter the number of new <u>residential building permits issued</u> in calendar year (2020). Enter 0 if no new residential building permits were issued in 2010.

Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)

Residential – Calendar Year 2020	PFA	Non - PFA	Total
# New Residential Permits Issued	126	49	175

Section II: Amendments and Growth Related Changes In Development Patterns $(\S1-207(c)(1) \text{ and } (c)(2))$

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A)	Were any new comprehensive plan or plan elements adopted?		
	was adopted	Υ 🗌	$N \boxtimes$

No new comprehensive plan or plan elements were formally adopted. An update of our comprehensive plan is in progress and should be available, in draft, by Fall 2021. Many elements of the plan have been presented to the Washington County Planning Commission in order to gain their input prior to taking the plan for adoption by the Board of County Commissioners.

(B)	Were there any amendments to the zoning regulations or zoning map? If	yes, briefly	
	summarize each amendment, include a map, or GIS shapefile, if available.	Y 🔀	N 🗌

Case Number	Name	Location	Total Acres	From Zone	To Zone	Decision Date
RZ-19-006	Heritage Huyett (MAP)	16422 National Pike	29.57	PI/BL	PI	03/10/2020
RZ-19-007	WALZC, LLC (MAP)	14624 National Pike	0.88	AR	AR with RB Overlay	07/14/2020
RZ-20-001	The Jone L. Bowman Residuary Trust (MAP)	11119 Hopewell Road 11115 Hopewell Road 11111 Hopewell Road 11107 Hopewell Road	11.643	НІ	RT	09/15/2020

RZ-19-006

Piecemeal application – Zoning Ordinance map amendment to rezone the entirety of two
parcels along the west side of Greencastle Pike, north of National Pike, from Business Local
(BL) and Planned Industrial (PI) to Planned Industrial (PI) for the purpose of using the entirety
of the two tracts for truck terminal/distribution and warehousing.

RZ-19-007

• Piecemeal application - Zoning Ordinance map amendment to create a rural business floating zone over 0.88 acres, on the north side of National Pike east of Spickler Road and adjacent to another RB zoned property, enabling the use of both properties for a garage/storage facility for excavation and construction equipment.

RZ-20-001

- Piecemeal application Zoning Ordinance map amendment to rezoning four parcels consisting of approximately 11.643 acres located on the east side of Hopewell Road, south of I-70, from Highway Interchange (HI) to Residential Transitional (RT).
- (C) Were there any growth related changes, including Land Use Changes, Annexations, New Schools, Changes in Water or Sewer Service Area, etc., pursuant to of the Land Use Article? If yes, please list or map and provide a description of consistency of internal, state or adjoining local jurisdiction plans

 . Y \int N

Sharpsburg Elementary School

- The new Sharpsburg Elementary School opened in the Fall of 2020 to replace the aging school originally constructed in 1936 with additions and renovations in 1967 and 1983 respectively. The new school will increase student capacity to 431 students in Pre-K through 5th grade and is located just to the southwest of the Town of Sharpsburg. The school will serve to provide enrollment relief to Boonsboro and Pleasant Valley Elementary Schools.
- (D) Did your jurisdiction identify any recommendations for improving the planning and development process within the jurisdiction? If yes, please list. Y \square N \boxtimes

Section III: Development Capacity Analysis (DCA)(§1-208(c)(iii))

Note: MDP provides technical assistance to local governments in completing a development capacity analyses. Please contact your MDP regional planner for more information.

(A)		updated DCA been submitted with your Annual Report or to MDP within three years? Y \square N \boxtimes
	1.	If no, explain why an updated DCA has not been submitted, such as, no substantial growth changes, etc.
		A development capacity analysis is being completed as part of our comprehensive plan update. This analysis is anticipated to be completed by the end of 2021.
	2.	If yes, when was the last DCA submitted? Identify Month and Year:
		a. Was the DCA shared with the local School Board Facilities Planner? Y $\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ $
(B)	•	he most current DCA available, provide the following data on capacity inside and outside A in Table 2, Residential Development Capacity (Inside and Outside the PFA):

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) (§1-208(C)(1)iv and v)

(A) How many acres were preserved using <u>local</u> agricultural land preservation funding? Enter 0 if no acres were preserved using local funds. Enter value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation

Local Preservation Program Type	Acres	Value (\$)
CREP Easements (1)	126.42	57,700.80
MAPLF Easements (3)	367.50	1,162,209.60
Rural Legacy Easements (4)	171.77	496,523.38
Next Generation Farmer (1)	116.22	326,514.00
MET Donated Easements (1)	20.00	0
Total	801.91	2,042,947.78

(B) What is the county's established local land use percentage goal?

Washington County does not have a percentage goal for land preservation efforts. We have had a long-established acreage goal of 50,000 acres.

(C) What is the timeframe for achieving the local land use percentage goal? Years.

20-30 years

(D) Has there been any progress in achieving the local land use percentage goal?

Yes, more than 35,000 acres of land has been permanently preserved across all programs since the start of the County's participation in agricultural land preservation 40 years ago.

(E) What are the resources necessary for infrastructure inside the PFAs?

Additional funding and streamlining regulations that have similar goals but require dedicated infrastructure to accomplish required mandates (i.e., programs that address water quality).

- **(F)** What are the resources necessary for land preservation outside the PFAs?
 - Promote the Agricultural Preservation program(s) as a method to incentivize farmers to preserve their land until funds become available for permanent easements.
 - Seek out permanent funding sources that can sustain agricultural easements and development rights acquisition.

- Place an emphasis on preserving large contiguous blocks of permanent farmland in excess of 1,000 acres by factoring this variable more heavily in the priority ranking system.
- Implement strategies that deter land uses that would remove large blocks of prime agricultural land from active farm production.
- Promote start up assistance and provide educational awareness to inspire a new generation of young farmers.
- Provide and highlight additional agri-toursim opportunities for farmers to expand operations with value added products and agricultural industry type uses.

Section V: Measures and Indicators (§1-208(c)(1))

Note: The Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2020	PFA	Non - PFA	Total
Total # Minor Subdivisions Approved	4	8	12
Total # Minor Subdivision Lots Approved	4	8	12
Total # Minor Subdivision Units Approved	4	8	12
Total Approved Minor Subdivision Area (Gross Acres)	107.28	91.09	198.37
Total Approved Minor Subdivision Lot Area (Net Acres)	15.92	69.97	85.89
Total # Major Subdivisions Approved	4	0	4
Total # Major Subdivision Lots Approved	113	0	113
Total # Major Subdivision Units Approved	113	0	113
Total Approved Major Subdivision Area (Gross Acres)	31.41	0	31.41
Total Approved Major Subdivision Lot Area (Net Acres)	22.03	0	22.03
Total # Units Constructed in Jurisdiction	88	30	118
Total # Units Demolished*	11	6	17
Total # Units Reconstructed/Replaced*	5	2	7

^{*}Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2020	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	117	8	125
Total # Approved Lot Area (Major + Minor Subdivisions)	37.95	69.97	107.92

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2020	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	117	8	125
% of Total Units	94%	6	100%
(# Units/Total Units)			

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2020	PFA	Non - PFA	Total	
Total Site Plan Area Approved (Gross Acres)	535.47	122.15	657.62	
Total Building Square Feet Approved (Gross)	308,123	19,371	327,494	
Total # New Permits Issued	34	9	43	
Total Square Feet Constructed in Jurisdiction (Gross)	1,644,776	47,599	1,692,375	

Table 4E: Net Density of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2020	PFA	Non – PFA	Total	
Total Building Square Feet Approved (Gross)	308,123	19,371	327,494	
Total Lot Size (Net Acres)	220.22	3.27	223.49	

Table 4F: Share of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2020	PFA	Non – PFA	Total
Total Building Square Feet Approved (Gross)	308,123	19,371	327,494
% of Total Building Square Feet	94.1	5.9	100%
(Building Square Feet/Total Approved Square Feet)			

Section VI: Adequate Public Facility Ordinance (APFO) Restrictions (§7-104) (Section VI is only required by jurisdictions with adopted APFOs)

Note: Jurisdictions with adopted APFOs <u>must</u> submit a biennial APFO report. The APFO report is due by July 1 of each <u>even</u> year and covers the reporting period for the previous two calendar years. APFO reports for 2019 and 2020 are due July 1, 2021. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

(A) What is the type of infrastructure affected? (List each for Schools, Roads, Water, Sewer, Stormwater, Health Care, Fire, Police or Solid Waste.)

The Washington County Adequate Public Facilities Ordinance applies to infrastructure including: Roads, Schools, Sewage Disposal Systems, Water Supply and Distribution Systems, and Fire Protection.

(B) Where is each restriction located? (Identify on a map, including PFA boundary.)

Schools: Countywide Roads: Countywide

Water and Sewer: In service areas designated in the Water and Sewerage Plan

Fire Protection: Inside adopted Urban and Town Growth Areas

- **(C)** Describe the nature of what is causing each restriction.
 - Schools: Some of the County's school districts are over the designated school capacity due to population growth and there are limited funds for new school construction.
 - Roads: The majority of restrictions are in the rural areas where some roads are not considered adequate by today's standards.
 - Water: Distribution systems are aging and need upgraded. Availability of water is limited by permitting and water quality regulations.
 - Sewer: Collection systems are aging and need upgraded. Availability of treatment capacity is limited by water quality regulations.
 - Fire: No restrictions at this time.
- (D) What is the proposed resolution of each restriction?
 - Schools: The County has adopted an Alternative Mitigation Contribution option for developers who will voluntarily pay a fee to help mitigate the impacts of new development on school districts. Funds collected go towards expanding capacity in the educational system.
 - Roads: Restrictions are mitigated on case-by-case basis.
 - Water: Developers are required to install and/or upgrade infrastructure to service their development. There is no local control that can resolve the issue of diminishing availability due to State and Federal water quality regulations.
 - Sewer: Same as Water
 - Fire: No restrictions at this time.

(E) What is the estimated date for the resolution of each restriction?

All categories are mitigated on a case-by-case basis and have no established timeline for resolution.

- (F) What is the resolution that lifted each restriction? n/a
- (G) When was each restriction lifted? n/a
- **(H)** Addition Information. To help the Sustainable Growth Commission Statewide School Education Committee for School related restrictions:
 - 1. List the State Rated Capacity for each affected facility.

Current Elementary School Enrollment from BOE (Dec 31, 2020)		State Rated Capacity
Bester	499	628
Boonsboro	495	499
Cascade	132	278
Clear Spring	343	386
Eastern	419	572
Emma K. Doub	356	297
Fountaindale	347	365
Fountain Rock	250	271
Greenbrier	222	274
Hancock	218	295
Hickory	289	268
Jonathan Hager	380	471
Lincolnshire	462	545
Maugansville	675	755
Old Forge	296	366
Pangborn	699	745
Paramount	388	408
Pleasant Valley	197	225
Potomac Heights	328	294
Rockland Woods	676	751
Ruth Ann Monroe	574	692
Salem Avenue	684	722
Sharpsburg	314	431
Smithsburg	321	431
Williamsport	516	568

Current Middle School Enrollment from BOE (Dec 31, 2020)		State Rated Capacity	
Boonsboro	623	870	
Clear Spring	332	605	
E. Russell Hicks	889	841	
Northern	800	913	
Smithsburg	566	839	
Springfield	856	1096	
Western Heights	952	998	
Current High School Enrollment from BOE (Dec 31, 2020)			
		State Rated Capacity	
		Rated	
from BOE (Dec 31, 20	20)	Rated Capacity	
from BOE (Dec 31, 20 Boonsboro	20) 872	Rated Capacity 1098	
from BOE (Dec 31, 20 Boonsboro Clear Spring	20) 872 464	Rated Capacity 1098 656	
from BOE (Dec 31, 20) Boonsboro Clear Spring Hancock Middle/High	872 464 236	Rated Capacity 1098 656 591	
from BOE (Dec 31, 20) Boonsboro Clear Spring Hancock Middle/High North Hagerstown	872 464 236 1333	Rated Capacity 1098 656 591 1423	

2. Identify date local School APFO standards were last evaluated or amended.

The Washington County APFO was last amended in 2013 to include an Alternative Mitigation Contribution by developers to help the County raise funds for expansion and educational services.

3. Provide a letter from the School Board confirming what actions are being taken by the School Board to remedy each restriction. (This could include a change in State Rated Capacity (SRC); scheduled improvements in the local Capital Improvement Program (CIP); or redistricting, etc., to address (B) –(G) above.) n/a

Section VII: Planning Survey Questions (Optional)

The information provided can assist MDP and MDOT staff with identifying potential pedestrian/bicycle projects and project funding.

(A)	(A) Does your jurisdiction have a bicycle and pedestrian plan?			$N \boxtimes$
	1. 2.	Plan name Date Completed (MM/DD/YR)		
	3.	Has the plan been adopted?	Υ	ΝΠ
	4.	Is the plan available online?	Y 🔲	Ν
	5.	How often do you intend to update it? (Every years)		
	6.	Are existing and planned bicycle and pedestrian facilities mapped?	Y	N
(B)		our jurisdiction have a transportation functional plan in addition to your phensive plan?	Y 🔲	N 🖂
	1.	Plan name		
	2.	Date completed (MM/DD/YY)		
	3.	Has plan been adopted?	Y 🔲	N 🔲
	4.	Is the plan available online?	Y 📙	N 📙
	5.	How often do you intend to update it? (Every years)		
		END		

Submitting Annual Reports and Technical Assistance

(A) Annual Reports may be submitted via email (preferred) to david.dahlstrom@maryland.gov or one copy may be mailed to:

Office of the Secretary
Maryland Department of Planning
301 W. Preston Street, Suite 1101
Baltimore, Maryland 21201-2305
Attn: David Dahlstrom, AICP

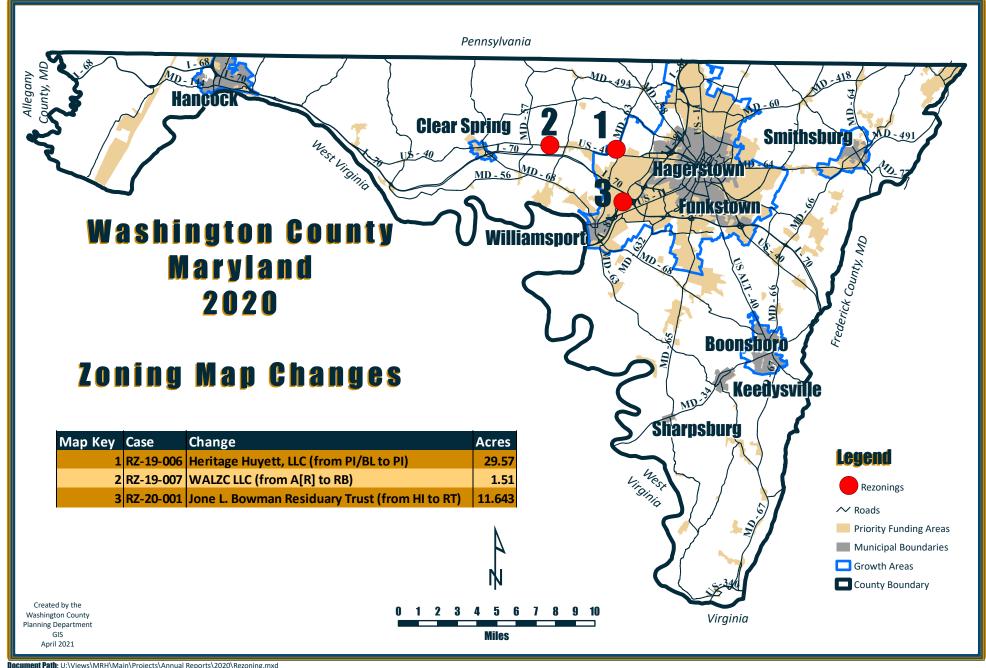
- **(B)** Annual Reports should include a cover letter indicating that the Planning Commission has approved the Annual Report and acknowledging that a copy of the Annual Report has been filed with the local legislative body. The cover letter should indicate a point of contact(s) if there are technical questions about your Annual Report.
- **(C)** You may wish to send <u>additional</u> copies of your Annual Report directly to your MDP Regional Planner or School Board Facilities Planner.
- (D) If you need any technical assistance in preparing or submitting your reports, our Regional Planners are available to assist you. Regional Planner contact information can be found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml
- (E) Copies of this Annual Report worksheet and links to legislation creating these Annual Report requirements can be found on the Maryland Department of Planning website:

 Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml
- **(F)** If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at david.dahlstrom@maryland.gov.

Washington County



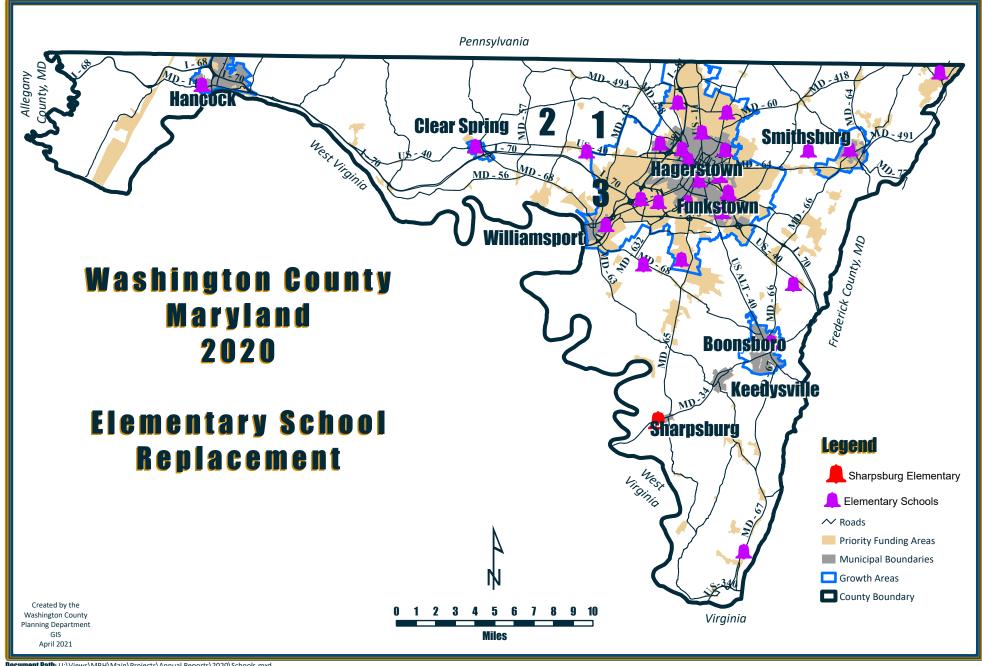
Maryland



Washington County



Maryland



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