



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION

June 6, 2022, 7:00 PM

100 W Washington Street, Room 2000

CALL TO ORDER AND ROLL CALL

MINUTES

1. May 2, 2022 Planning Commission rezoning public input and regular meeting minutes * **Discussion/Action**

NEW BUSINESS

SITE PLANS

1. **Pavestone LLC c/o Quikrete Companies, Inc. [SP-22-001]** – Site Plan for a proposed 39,000 square foot warehouse and office for Quikrete; Location: 11831 Hopewell Road; Zoning: IG (Industrial General); Planner: Lisa Kelly * **Discussion/Action**
2. **MidAtlantic Crossroads [SP-22-007]** – Site plan for the proposed construction of two warehouse facilities; Location: 17222 Sterling Road; Current Zoning: HI (Highway Interchange); Planner: Lisa Kelly * **Discussion/Action**
3. **National Pike Logistics Center [SP-22-016]** – Site plan for the proposed construction of two warehouse and office facilities; Location: 16822 National Pike; Zoning: PI (Planned Industrial); Planner: Lisa Kelly * **Discussion/Action**

OTHER BUSINESS

1. **RZ-22-002 Jason Adkins & Tanya Phillips** – Request to remove the Rural Business overlay on proposed Lot 1 (5.64 acres) located at 21036 National Pike; Planner: Travis Allen * **Discussion/Action**
2. **Land Preservation, Parks and Recreation Plan Update**; Planner: Travis Allen (Plan sent electronically to members) **Information/Discussion**
3. **Annual Report**; Jennifer Kinzer * **Discussion/Action**
4. **Update of Staff Approvals** – Jennifer Kinzer * **Information/Discussion**

ELECTION OF OFFICERS

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, July 11, 2022, 7:00 p.m. – Washington County Planning Commission regular meeting

**a t t a c h m e n t s*

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

Site Plan for Quikrete Warehouse

Presented for approval is a site plan for Quikrete Warehouse.

The subject site is located along the southwest side of Hopewell Road at the current Pavestone property. Zoning is Industrial General.

The developer is proposing to create a 39,000 square foot warehouse and office on their 13 acre parcel. The site will have access through the existing Pavestone development to its entrance on Hopewell Road.

The hours of operation will be 7 days a week 24 hours a day.

Employees will be 2 in the office and 10 in the warehouse.

The site will be served by public water & sewer.

Lighting will be building mounted. There is no proposed signage.

Solid waste will be inside collection.

Parking required and provided is 34 spaces.

Forest conservation was addressed by when the site plan for Pavestone was approved in 2006.

All approvals have been received.



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Quikrete Warehouse
NUMBER.....: SP-22-001

OWNER.....: PAVESTONE LLC C/O QUIKRETE COMPANIES INC
LOCATION.....: 11831 Hopewell Rd Hagerstown MD 21740
DESCRIPTION.....: Proposed warehouse and office site plan

ZONING.....: Industrial, General
COMP PLAN LU.....: Industrial
PARCEL.....: 24002136
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 24

TYPE.....: Industrial
GROSS ACRES.....: 13.97
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: January 7, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SITE DESIGN

Staff Comments	Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Not Applicable	Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements	
Lighting Plan Meets Requirements	Pedestrian Access Is Adequate	Bus Stop is Within Walking Distance	
Loading Area Meets Requirements			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit		
Parking Spaces - Minimum Required	Recreational Parking Provided		



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ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Jonathan Hager	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	HALFWAY
AMBULANCE DISTRICT.....:	HALFWAY

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	County Line - City Treatment	County
SERVICE AREA.....:	County Line - City Treatment	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

APPROVALS

<p>MD-ENG-6A 1/89</p> <p>UTILITY NOTIFICATION</p> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777</p>	<p>USDA SCS</p>	<p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/We certify all any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>12/28/2021 DATE</p> <p>TREVOR HOLLAND PRINTED NAME</p> <p><i>Trevor Holland</i> SIGNATURE</p>
<p>DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.20 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 0 CU. YDS. OF EXCAVATION AND APPROXIMATELY 2,574 CU. YDS. OF FILL.</p>		<p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>12/28/2021 DATE</p> <p>TREVOR HOLLAND PRINTED NAME</p> <p><i>Trevor Holland</i> SIGNATURE</p>
<p>WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____</p> <p>Date: _____</p> <p>(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p>		<p>ENGINEER / ARCHITECT DESIGN CERTIFICATION</p> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p> <p>05.16.2022 49808 DATE REG. NO.</p> <p><i>Tom Frederick</i> SIGNATURE</p>
<p>APPROVAL: WASHINGTON COUNTY DIVISION OF ENGINEERING GRADING & STORMWATER MANAGEMENT PLAN APPROVAL</p> <p>SIGNATURE _____ DATE _____</p>		<p>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</p> <p>This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.</p> <p>SIGNATURE _____ DATE _____</p>
<p>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</p> <p>This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.</p> <p>SIGNATURE _____ DATE _____</p>		

COMBINED STORMWATER CONCEPT & SITE PLAN

FOR
QUIKRETE WAREHOUSE

SITUATED AT 11831 HOPEWELL ROAD
HAGERSTOWN
WASHINGTON COUNTY, MARYLAND

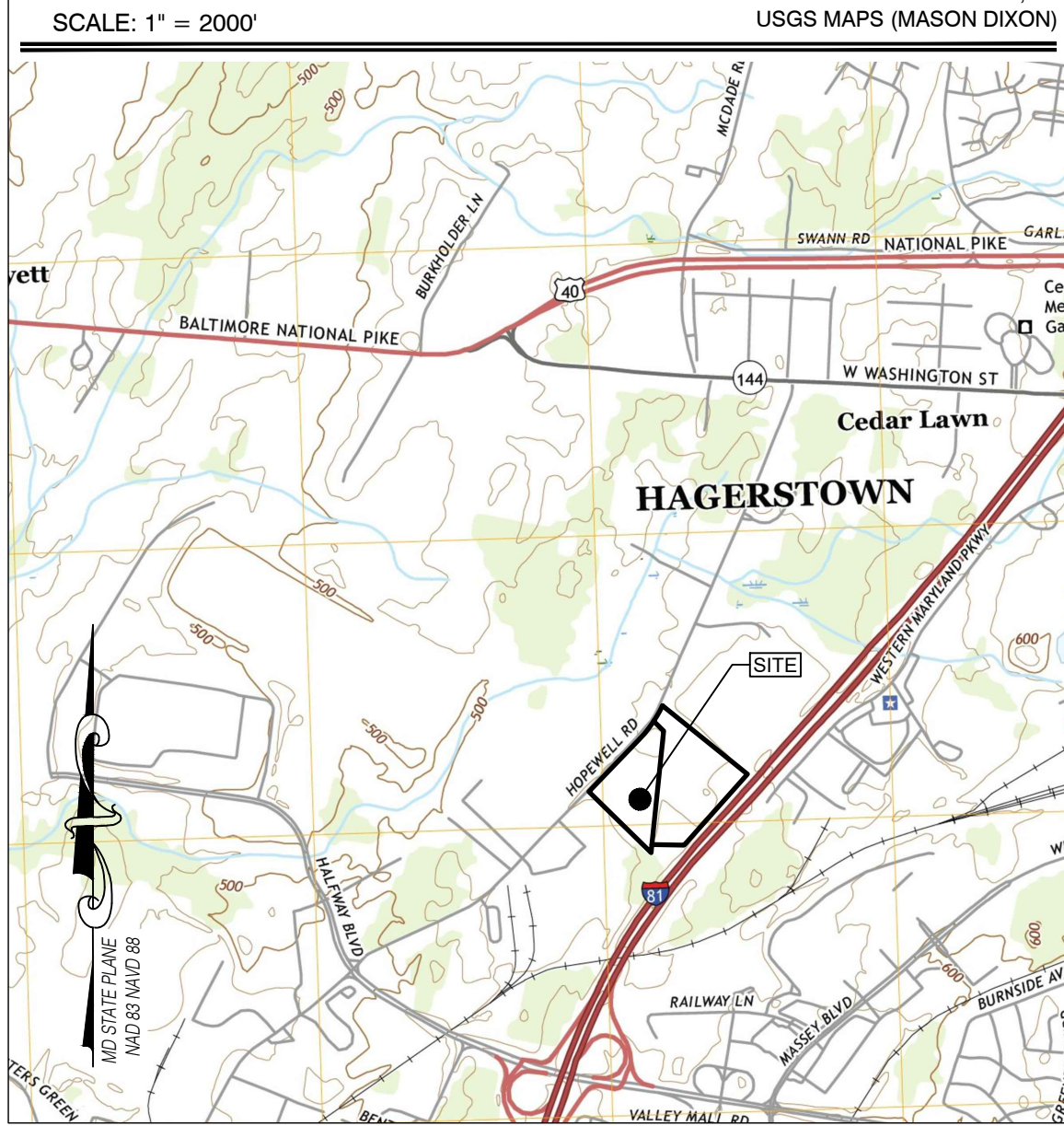
CLIENT/OWNER/DEVELOPER:
PAVESTONE LLC C/O QUIKRETE COMPANIES INC
5 CONCOURSE PARKWAY, SUITE 1900
ATLANTA, GEORGIA 30328

ATTN: TREVOR HOLLAND
EMAIL: TREVOR.HOLLAND@QUIKRETE.COM
PHONE: 410.920.5463

CIVIL ENGINEER / SURVEYOR:
FSA INC.
128 SOUTH POTOMAC STREET
HAGERSTOWN, MARYLAND 21740

PROJECT MANAGER: TREVOR FREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
PHONE: 301.791.3650

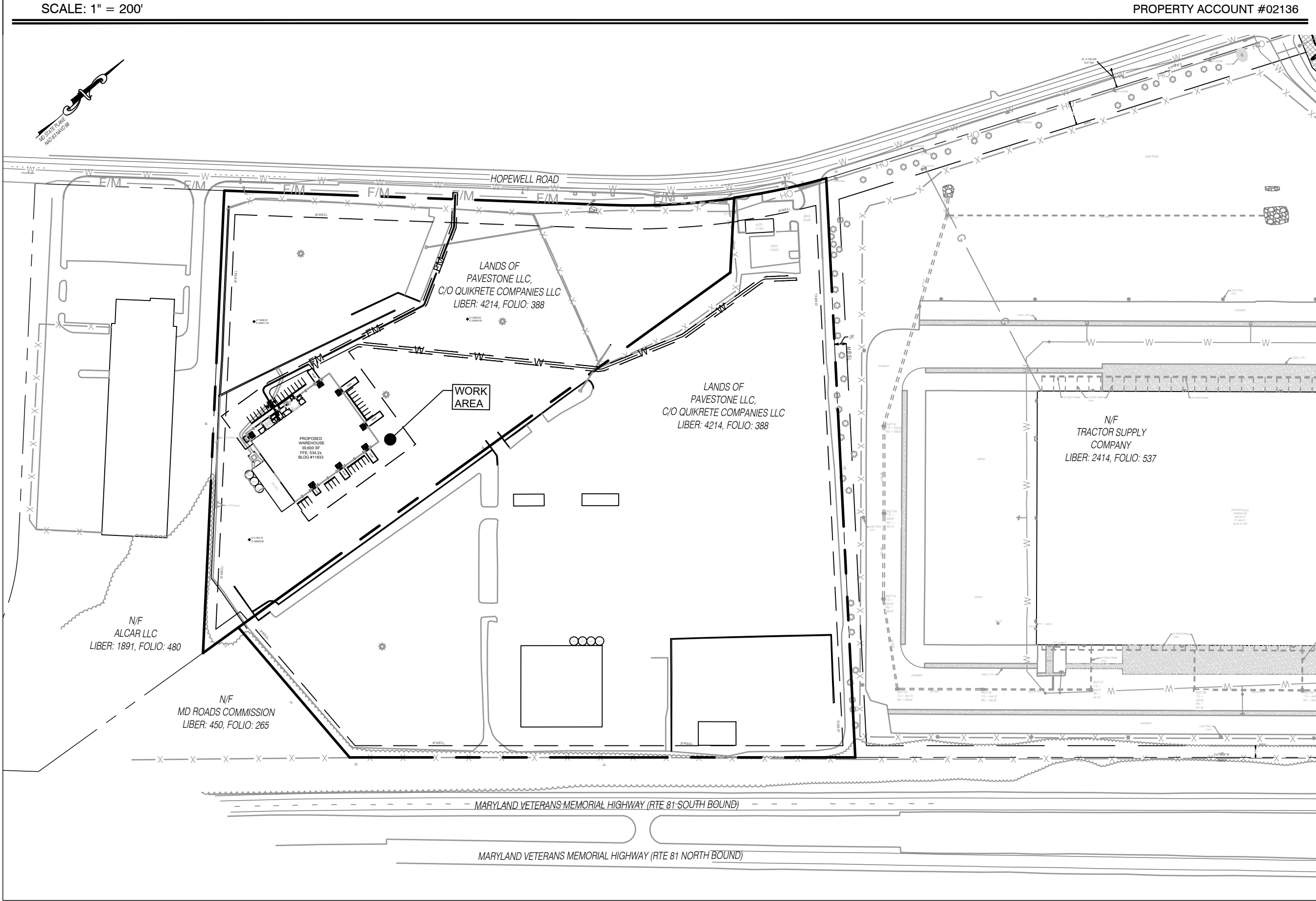
VICINITY MAP



SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 04	SEC & GRADING PLAN
C-103	SHEET 05	SITE & UTILITY PLAN
C-501	SHEET 06	CONSTRUCTION DETAILS & NOTES

LOCATION PLAN



THE PRUPOSE OF THIS PROJECT IS FOR THE
CONSTRUCTION OF A 39,600 SQUARE FOOT STORAGE
WAREHOUSE, CONSTRUCTION OF 1,253 LINEAR FEET OF 1"
WATERLINE AND 700 LINEAR FEET OF 2" FORCE MAIN LINE
ON A PREVIOUSLY DEVELOPED PARCEL

NOTE:

STORMWATER MANAGEMENT AND ESDv FOR THIS SITE DEVELOPMENT IS BEING MET TO THE MOST EXTENET PRATICABLE WITH THE EXISTING STORMWATER MANAGEMENT POND (INCLUDING A FOREBAY AND WET POOL), AN EXISTING SWPPP FOR THE INDUSTRIAL SITE, AND PROPOSED ADDITIONAL PLANTINGS INCLUDED ON THIS PLAN



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 49808
Expiration Date 05/16/2022

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECTS • LAND PLANNERS
128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3650
717.275.1007
717.275.1811
717.275.1768

DATE	REVISION	DESCRIPTION
02/23/2022	1	ISSUED FOR PERMITS

QUIKRETE WAREHOUSE

SITUATED AT
11831 HOPEWELL ROAD
HAGERSTOWN
WASHINGTON COUNTY, MARYLAND 21740
CLIENT: PAVESTONE COMPANIES LLC C/O QUIKRETE COMPANIES INC
5 CONCOURSE PARKWAY, SUITE 1900, ATLANTA, GEORGIA 30328
PHONE

PROJECT NO.	3635.PAVE
DWN BY	ABRAM MYERS
DATE	12-15-2021
PROJECT MANAGER	T. FREDERICK
EMAIL	TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL	048 - 006 - 004
SCALE	AS SHOWN
SHEET TITLE	COVER SHEET

COVER
SHEET

C-001
SHEET 01 OF 06



GENERAL NOTES

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (New Business)	1-800-440-6111
Columbia Gas (Conflicts)	(301) 964-1065
Verizon	(301) 790-7124
Antitatem Cable	(240) 420-2082
Washington County Engineering	(240) 313-2400
Washington County Soil Conservation District	(301) 797-6821 Ext. 3

- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- Benchmarks to be established by FSA prior to the start of construction.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- Please refer to Geotechnical Engineer for load bearing fills, etc.
- The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in February 2021. (Contour accuracy is to plus or minus one half the contour interval).
- Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- Exterior lighting will consist of building mounted lights.
- The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
- This project has a projected start date of February 2022 and a completion date of June 2022.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
- There are no Board of Zoning Appeals Cases for this property.
- Stormwater Management is addressed through an existing SWM facility and supplemental tree plantings.
- All existing drainage culverts and drainage easements are to be maintained and unaltered.
- A utility permit will be required for any proposed utility work located within the County right-of-way.
- There are no sensitive areas such as steep slopes and/or streams located on this site.
- Subdivision was done under S-22-011 to create the two lots shown on this plan.

ZONING DATA

ZONING DISTRICT	IG - INDUSTRIAL, GENERAL DISTRICT
BUILDING HEIGHT	100 FT
MINIMUM YARD SETBACK:	
FRONT	50 FT.
SIDE	25 FT.
REAR	25 FT.
BOARD OF ZONING APPEALS' CASE	NONE

SITE DATA

TAX MAP - GRID - PARCEL	048-006-004
ELECTION DISTRICT	24
ACCOUNT NUMBER	002136
LIBER / FOLIO	04214 / 00388
PLAT NUMBER	7017
AREA SUMMARY:	
PARCEL	13.97 Ac
DISTURBED AREA	95,832 SF / 2.20 Ac
EXISTING IMPERVIOUS	95,832 SF / 2.20 AC (100%)
PROPOSED TOTAL IMPERVIOUS	95,832 SF / 2.20 AC (100%)
BUILDING SUMMARY:	
FOOTPRINT	39,600 SF
OFFICE SPACE	2,934 SF
WAREHOUSE SPACE	36,666 SF
HEIGHT	33.6 FT
PROPOSED USE	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
EMPLOYEE SUMMARY:	
OFFICE	2
WAREHOUSE	10
WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	3,138 GPD
PROPOSED ALLOCATION	0 GPD
WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	INSIDE COLLECTION; PRIVATE HAULER
RECYCLE REMOVAL	INSIDE COLLECTION; PRIVATE HAULER
SITE LIGHTING:	
EXISTING	POLE & BUILDING MOUNTED
PROPOSED	BUILDING MOUNTED
SITE SIGNAGE:	
EXISTING	YES
PROPOSED	NO
ADDRESS ASSIGNMENT	11831 HOPEWELL ROAD HAGERSTOWN, MARYLAND 21740
WAIVER AND/OR VARIANCE	NONE
FOREST CONSERVATION	ADDRESSED PER SP-06-060
WATERSHED:	
NAME	CONOCOCHEAQUE CREEK
NUMBER	02-14-05-04
FEMA PANEL #	24043C0120D

PARKING, LOADING & BICYCLE DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	36,666 SF / 1,500 SF	25 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES	2,934 SF / 350 SF	9 SPACES
	AND/OR OFFICE SPACE		
TOTAL REQUIRED SPACES			34 SPACES
TOTAL PROVIDED PARKING SPACES			34 SPACES

LEGEND

	EXISTING	PROPOSED
SUBJECT BOUNDARY	---	---
BUILDING SETBACK LINE	---	---
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
ADJOINER BOUNDARY	---	---
FENCE (METAL)	X-X-X-X-X-X-X-X	X-X-X-X-X-X-X-X
FENCE (WOODEN)	□-□-□-□-□-□-□-□	□
DITCH (STREAM)	~~~~~	~~~~~
EDGE OF WATER	~~~~~	~~~~~
WETLAND	~~~~~	~~~~~
FLOODPLAIN	~~~~~	~~~~~
SOIL BOUNDARY	~~~~~	~~~~~
RAILWAY	---	---
CENTERLINE	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB	---	---
WALL	---	---
GUARD RAIL	---	---
EDGE OF CONCRETE	---	---
BUILDING	MB	MB
MAIL BOX	MB	MB
SIGN (ROAD)	MB	MB
SIGN (SITE)	MB	MB
TRAFFIC SIGNAL	MB	MB
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)	300	500
CONTOUR (INTERMEDIATE)	301.65	501.65
SPOTS ELEVATION	301.65	501.65
VEGETATION AREAS		
TREELINE	~~~~~	~~~~~
DECIDUOUS TREES	~~~~~	SEE LANDSCAPE SHEET FOR LEGEND
EVERGREEN TREES	~~~~~	SEE LANDSCAPE SHEET FOR LEGEND
SANITARY SEWER	SS	SS
GRAVITY LINE	SS	SS
FORCE MAIN LINE	FM	FM
LATERAL	FM	FM
MANHOLE	SS	SS
CLEANOUT	SS	SS
VALVE	SS	SS
WATER		
COLD WATER LINE	W	W
HOT WATER LINE	HW	HW
MANHOLE	HW	HW
FIRE HYDRANT	HW	HW
VALVE	HW	HW
METER	HW	HW
WELL	HW	HW
STORM DRAINAGE		
STORM SEWER LINE	SD	SD
ROOF DRAIN LINE	SD	SD
MANHOLE	SD	SD
INLETS	SD	SD
CLEANOUT	SD	SD
UTILITIES		
GAS LINE	G	G
ELECTRICAL LINE	UGE	UGE
FIBER OPTIC LINE	UGE	UGE
COMMUNICATION LINE	COMM	COMM
OVERHEAD LINES	OH	OH
MANHOLE	OH	OH
PEDS, BOX, & ETC	OH	OH
POLE	OH	OH
LIGHT POLE	OH	OH
GAS METER	OH	OH
GAS VALVE	OH	OH

LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGL	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SY	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRATE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	U/P	UTILITY POLE
NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 0808
Expiration Date 08/16/2022



DATE	DESCRIPTION	REVIEWED PER AGENCY COMMENTS
02.23.2022		

QUIKRETE WAREHOUSE

11831 HOPEWELL ROAD
HAGERSTOWN
WASHINGTON COUNTY, MARYLAND 21740
CLIENT: PAVESTONE COMPANIES LLC C/O QUIKRETE COMPANIES INC
5 CONCOURSE PARKWAY, SUITE 1800, ATLANTA, GEORGIA 30328
PHONE





PROJECT NO.	3635.PAVE
DWN BY	ABRAM MYERS
DATE	12-15-2021
PROJECT MANAGER	T. FREDERICK
EMAIL	TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL	048 - 006 - 004
SCALE	N.T.S.
SHEET TITLE	GENERAL NOTES

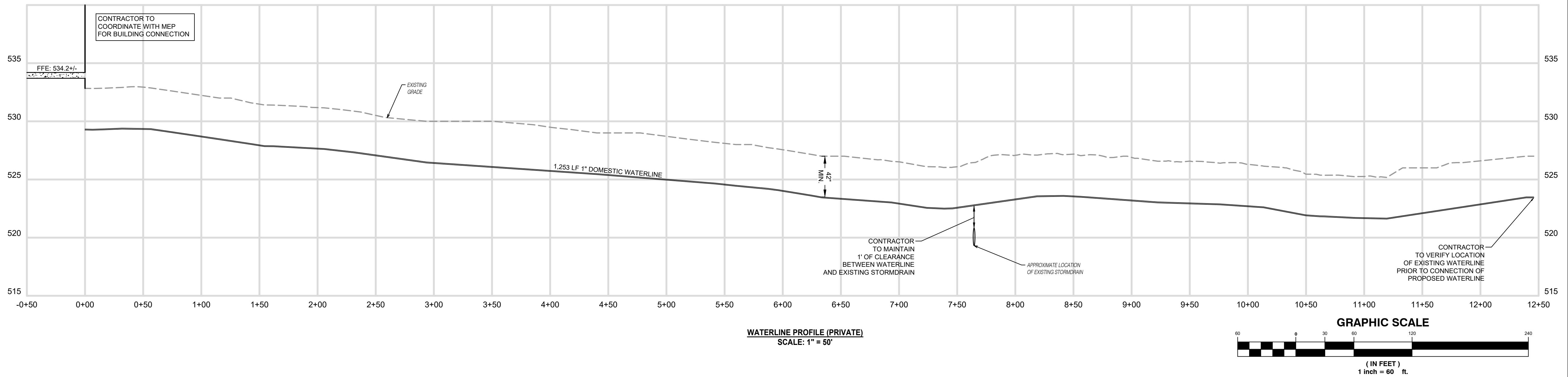
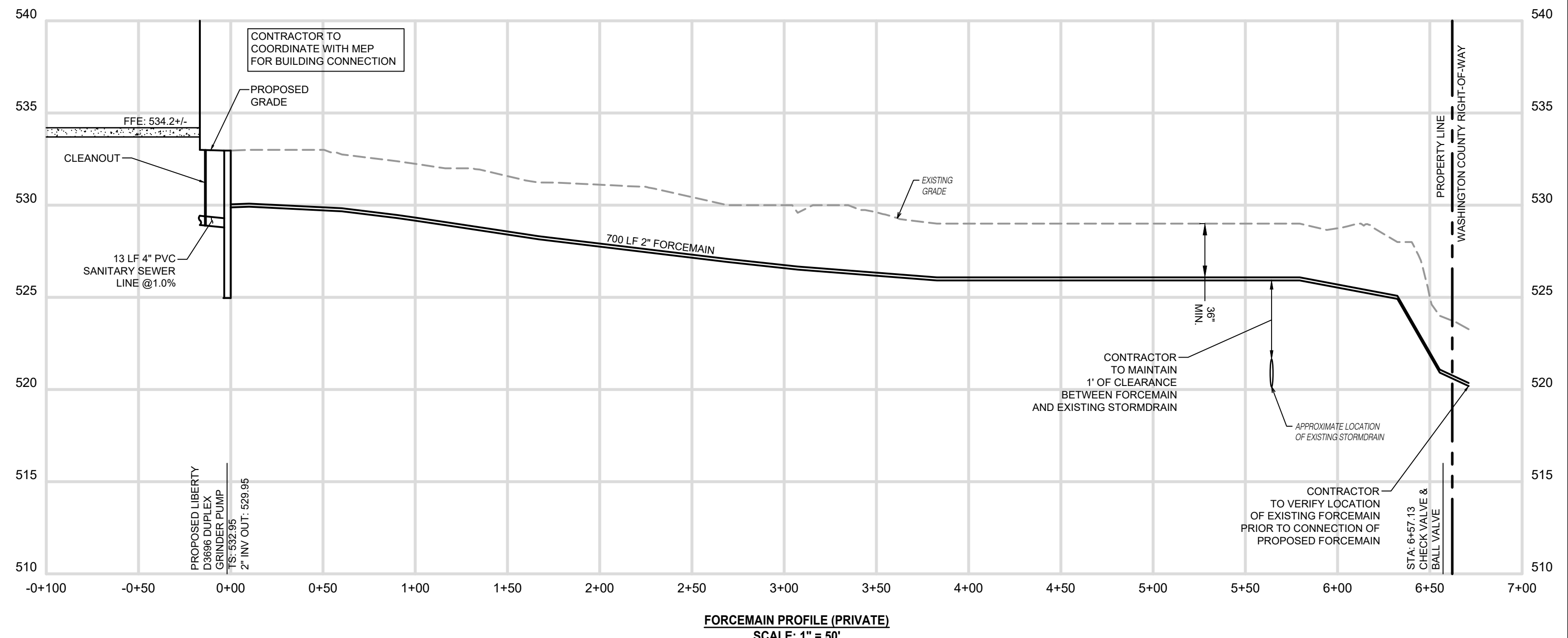
GENERAL NOTES

C-002
SHEET 02 OF 06

- U.1. All fittings, bends, and appurtenances shall be installed with proper alignment and support. All dead end services shall be properly capped and buttressed.
- U.2. All underground water lines are to be installed with 3" - 6" of cover below finished grade.
- U.3. All work shall conform to environmental standards and specifications.
- U.4. All sewer lines to be PCD-SR-35.
- U.5. All bedding and embankment material and compaction shall meet Water Department specifications.
- U.6. The owner/developer or his engineer is required to supply the Water Division with one (1) sets of mylars and three (3) sets of prints approved and signed by the Water & Sewer Department Manager after final approval of the design.
- U.7. The owner/developer or his engineer is required to supply the Water & Sewer Department with acceptable, reproducible "as-builts" prior to final approval of the design. The proposed sanitary sewer line and prints of "as-builts" are a requirement of the Department of the Environment.
- U.8. The contractor shall verify the location and elevation of existing utilities before starting construction.
- U.9. The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on approved plans. The Contractor shall be responsible for any and all profits but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.
- U.7. Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.
- U.8. Tracer wire to be installed with all 3" PVC waterline.



TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	TSU CAN	Tsuga canadensis	Canadian Hemlock	6" Ht.	B&B	27	10/C-501
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	KAL LAT	Kalmia Latifolia	Mountain Laurel	3 gal		26	09/C-501
	ARO KOL	Aronia melanocarpa Low Scape Mound	Low Scape Mound Chokeberry	3 gal		13	09/C-501
	LIR MUS	Liriope muscari	Lily Turf	1 gal		78	09/C-501



A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE AND SEWER LINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577, EXT 653 FOR THE PERMIT APPLICATION

EXISTING/PROPOSED ALLOCATION: 3,138 GPD

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION

This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE

DATE

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies, regulations, easements and/or bylaws of the County and the effect of the time application for service is made and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of **TWO YEARS**.

SIGNATURE DATE



Professional Certification:
I hereby certify that these documents were prepared
or approved by me, and that I am a duly licensed
professional under the laws of the State of:
MARYLAND, License # 49903
Expiration Date 08/24/2002.

FSA

FREDERICK SEIBERT & ASSOCIATES INC.

CIVIL ENGINEERS • SURVIVORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

© 2021

138.50/1 POTOMAC STREET
HAGERSTOWN, MD 21740
301.735.8111

210 WEST BALDWIN STREET
GREENBELT, MD 21740
301.735.8111

508 SOUTH HANCOCK STREET
CARLE Place, PA 17093
717.335.8111

11 EAST MAIN STREET
NETLEY CAMPBELD, PA 17068
717.335.8111

isa-inc.com

[illegible]

QUIKRETE WAREHOUSE
SITUATE AT
11831 HOPEWELL ROAD
HAGERSTOWN
WASHINGTON COUNTY, MARYLAND 21747

CLIENT: PAVESTONE COMPANIES LLC C/O QUIKRETE COMPANIES INC
5 CONCOURSE PARKWAY / SUITE 1900, ATLANTA, GEORGIA 30328
PHONE

PROJECT NO.	
3635.PAVE	
OWN BY	DATE
ABRAM MYERS	12-18-2021
PROJECT MANAGER: T. FREDERICK	
EMAIL: TFREDERICK@FSA-INC.COM	
TAX MAP - GRID - PARCEL:	
048 - 006 - 004	
SCALE	
1" = 60'	
SHEET TITLE	

SITE &
UTILITY PLAN

C-103
SHEET 05 OF 06



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: MidAtlantic Crossroads
NUMBER.....: SP-22-007

OWNER.....: DOWNSVILLE LOT A2 28 LLC
LOCATION.....: 17222 Sterling Rd Williamsport MD 21795
DESCRIPTION.....: Site plan for two proposed large warehouses

ZONING.....: Highway Interchange
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 26028671
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 26

TYPE.....: Commercial
GROSS ACRES.....: 134.80
DWELLING UNITS.....:
TOTAL LOTS.....: 2
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: Trevor Frederick
RECEIVED.....: February 24, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Marsh Run
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: I383; I384
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
69		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	None	Trash can and private hauler
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
N/A	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
1105		
Parking Spaces - Minimum Required	Recreational Parking Provided	
1450	No	

ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Fountain Rock	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	HALFWAY
AMBULANCE DISTRICT.....:	HALFWAY

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	3-Programmed Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

**BEFORE THE BOARD OF APPEALS
FOR WASHINGTON COUNTY, MARYLAND**

TRAMMELL CROW COMPANY, LLC

APPELLANT

APPEAL No. AP2022-006

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OPINION

Trammell Crow Company, LLC, a Delaware limited liability company (hereinafter, "Appellant"), requests a variance from the minimum number of employee/customer parking spaces for warehousing/office use from 1,450 spaces to 1,105 spaces for future warehouse(s) to be constructed on the subject property. The subject property is located at 17222 & 0 Sterling Road and 0 Downsville Pike, Williamsport, Maryland, and is zoned Highway Interchange. The Board held a public hearing on the matter on March 16, 2022.

The appeal was heard pursuant to Article 25 of the Zoning Ordinance for Washington County, Maryland (hereinafter, the "Ordinance") and upon proper notice to the parties and general public as required.

FINDINGS OF FACT

Based upon the testimony given, all information and evidence presented, and upon a study of the specific property involved and the neighborhood in which it is located, the Board makes the following findings of fact:

1. Appellant is the representative of property owners DRI/TCC Downsville I, LLC (which owns a portion of the subject property), and DRI/TCC Downsville II, LLC (which owns the other portion of the subject property). The subject property is located at 17222 Sterling Road (Parcel 262; tax account #26-028671), 0 Sterling Road (Parcel 464; tax account #26-038170), and 0 Downsville Pike (Parcel 258; tax account #26-038197), all in Williamsport, Maryland, which the owners acquired on December 30, 2021. The subject property is zoned Highway Interchange (HI).

2. The subject property consists of three (3) irregularly shaped lots

comprised of approximately 142.32 acres in the aggregate, currently unimproved, located on the South side of U.S. Interstate 70, and accessed by Sterling Road on the Southwest boundary of the subject property and by Downsville Pike (MD Route 632) on the Southeast boundary of the subject property.

3. A proposed site plan shows a contemplated reconfiguration of the subject property's three parcels into "Lot 1" (88.12 acres \pm), "Lot 2" (46.71 acres \pm) and "Lot 3" (7.49 acres \pm).

4. Appellant plans to construct two large warehouse-type buildings, one on Lot 1 and one on Lot 2. Depending on the customer(s) interested in the site, a single warehouse-type building may be constructed that spans both across both Lot 1 and Lot 2. In any event, the buildings will also contain office space to support the warehousing activities.

5. Appellant estimates the operations will entail having a maximum per shift of 630 employees in the building on Lot 1, and a maximum per shift of 460 employees in the building on Lot 2.¹ Appellant does not anticipate customers at these buildings.

6. Based on the estimated number of employees, the Ordinance requires a minimum number of parking spaces of 882 for the Lot 1 building, and 568 for the Lot 2 building, for an aggregate of 1,450 spaces (Ordinance §22.12(a) and (b)(1)). Appellant estimates that an additional 3.5 acres would be needed to satisfy these parking requirements. Appellant desires to reduce the required number of parking spaces to 639 and 466, respectively, for an aggregate of 1,105 spaces.

7. Appellant's research for existing and operational warehouses in Washington County shows approximately 65% of the spaces required actually are used; based on this figure, Appellant's request proposes 76% of the required spaces, which should be more than adequate for the proposed operations at the subject property.

8. A variance is required to reduce the number of parking spaces below the minimum required (Ordinance §25.2(c)).

9. Appellant has a proven design philosophy and extensive experience with projects of this type, which is reflected by its estimates of the maximum employees per

¹ The topography of Lot 3 slopes down from the East boundary of Lot 1 and is unsuitable for parking. Appellant testified that Lot 3 likely will be used for storm water management purposes.

shift and the parking spaces needed to support those estimates. Appellant would convert truck/trailer parking spaces to employees spaces if more parking is needed in excess of the reduced numbers requested.

10. Reducing the amount of impervious surface that would be needed for the required number of parking spaces will decrease surface water run-off and allow for decreased quantity and improved quality of the site's storm water management.

11. Appellant provided the Board with a statement to support the proposed variance, an aerial image of the site showing the current boundaries of the site and the three parcels comprising the subject property, and select pages (i.e., cover sheet, general notes, and site & dimensioning plan) of a proposed site plan with extensive details of the site and project. These items were all made a part of the record.

12. The Senior Construction Manager for Appellant and the Project Manager of the surveyor/engineer engaged by Appellant each testified for Appellant. No other person testified in support of or in opposition to the variance application.

13. No emails, memoranda, or correspondence were received in support of or opposition to the application.

RATIONALE

The Board has authority to grant a variance upon a showing of practical difficulty or undue hardship (Ordinance §§25.2(c) and 25.56).² "Practical difficulty" may be found by the Board when: (1) strict compliance would unreasonably prevent the use of the property for a permitted purpose or render conformance unnecessarily burdensome; and (2) denying the variances would do substantial injustice to the applicant and a lesser relaxation than that applied for would not give substantial relief; and 3) granting the variance would observe the spirit of the Ordinance and secure public safety and welfare (Ordinance §25.56(A)).

"Undue hardship" may be found when: (1) strict compliance with the Ordinance would prevent the applicant from securing a reasonable return from or to make

² "When the terms unnecessary hardship (or one of its synonyms) and practical difficulties are framed in the disjunctive ("or"), Maryland court generally have applied the more restrictive hardship standard to use variances, while applying the less restrictive practical difficulties standard to area variances because use variances are viewed as more drastic departures from zoning requirements." *Belvoir Farms Homeowners Ass'n, Inc. v. North*, 355 Md. 259, 276 n.10 (1999)(citations omitted).

reasonable use of the property; and (2) the difficulties or hardships are peculiar to the property and contrast with those of other property owners in the same district; and (3) the hardship is not the result of the applicant's own actions (Ordinance §25.56(B)).

Practical difficulty and undue hardship are the result of a property being unique. "Uniqueness' of a property for zoning purposes requires that the subject property have an inherent characteristic not shared by other properties in the area, i.e., its shape, topography, subsurface condition, environmental factors, historical significance, access or non-access to navigable waters, practical restrictions imposed by abutting properties (such as obstructions) or other similar restrictions." *North v. St. Mary's Cnty.*, 99 Md. App. 502, 514 (1994).

In this case, the Appellant did not specify, but presented their case in a manner that implicates the criteria for both practical difficulty and undue hardship. In such a case, the Board need find only that Appellant made a showing that satisfies the criteria for either standard.

Appellant has requested a variance to allow for the required number of parking spaces to be reduced from 1,450 spaces to 1,105 spaces, for future employees working at the proposed warehouse-type buildings planned to be constructed at the subject property. The Board had concerns about the number of employees estimated (and therefore the number of parking spaces needed), especially during "peak seasons," but generally agreed with Appellant's approach in determining said numbers and its extensive experience with such projects. The Board noted that potential tenants for the buildings would be experienced enough to know the number of spaces they would need when deciding whether or not to lease. The Board also noted the narrow and irregular geometry of the subject property, which limits where the proposed buildings and parking areas may be located.

In consideration of the foregoing and the Findings of Fact, the Board finds that for the variance requested in this case, requiring strict compliance would render conformance unnecessarily burdensome, that denying the variance would do substantial injustice to the Appellant, and a lesser relaxation that that applied for would not give substantial relief, and granting the variance will observe the spirit of the Ordinance and secure public safety and welfare.

Therefore, Appellant's request for a variance from the required minimum of 1,450 parking spaces to 1,105 parking spaces for the proposed warehouse-type buildings to be constructed on the subject property is GRANTED, by a vote of 5-0. Said variance is granted upon the conditions that construction of the proposed building and parking areas be consistent with the testimony and evidence presented herein and in compliance with all other applicable government regulations.

BOARD OF APPEALS

By: Michael Zampelli, Co-Chair

Date Issued: April 13, 2022

Notice of Appeal Rights

Any person or persons, jointly or severally, aggrieved by any decision of the Board of Appeals, or any taxpayer, or any officer, department, board, or bureau of the jurisdiction, may appeal the same to the Circuit Court for Washington County within thirty (30) days, in a manner set forth in Md. Code Ann., Land Use, § 4-401.

<div>MD-ENG-6A 1/89</div> <div>USDA SCS</div> <div>UTILITY NOTIFICATION</div> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777</p>	<div>OWNER / DEVELOPERS CERTIFICATION</div> <p>"I/we certify all/nay parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <div>Date _____ Printed Name _____</div>
<div>DISTURBED AREA QUANTITY</div> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 139 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 589,621 CU. YDS. OF EXCAVATION AND APPROXIMATELY 786,317 CU. YDS. OF FILL.</p>	<div>OWNER / DEVELOPERS CERTIFICATION</div> <p>"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p>
<div>WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</div> <div>By: _____</div> <div>Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</div>	<div>SIGNATURE</div> <div>Date _____ Printed Name _____</div> <div>Signature _____</div>
<div>APPROVAL:</div> <div>WASHINGTON COUNTY DIVISION OF ENGINEERING</div>	<div>ENGINEER / ARCHITECT DESIGN CERTIFICATION</div> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.</p>
<div>SIGNATURE</div> <div>DATE</div> <div>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</div> <p>This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.</p>	<div>05.16.2022 49808</div> <div>DATE REG. NO.</div> <div>Signature _____ SIGNATURE</div>
<div>SIGNATURE</div> <div>DATE</div>	<div>ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</div> <p>"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."</p>
<div>SIGNATURE</div> <div>DATE</div> <div>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</div> <p>This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.</p>	<div>SIGNATURE</div> <div>DATE</div> <div>SEAL</div> <div>AS-BUILT CERTIFICATION</div> <p>I hereby certify that the stormwater management facilities (both BMPs and ESD practices) shown on the plans have been constructed in accordance with the plans approved by the Maryland Department of the Environment, except as noted in red on the "AS-BUILT" drawings.</p> <div>Name _____ Signature _____</div> <div>Maryland Registration Number (PE or LS) Date _____</div> <div>MOE No. _____</div> <div>Facilities being certified (list each individually using facility ID number and/or description): _____ _____ _____</div>
<div>SIGNATURE</div> <div>DATE</div>	<div>"Certify" means to state or declare a professional opinion based on sufficient and appropriate onsite inspections and material tests conducted during construction.</div>

- a. MD-104.00-01 - MD-104.00-18 - General Notes
- b. MD-104.02-01- Shoulder work/ 2-lane, 2-way, greater than 40 MPH
- c. MD-104.02-03 - Lane shift right or left side 2-lane, 2-way greater than 40 MPH/ 15 min - 12 hrs. or daytime only
- d. MD-354.01- Standard Type C Endwall metal or concrete round pipe

<http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/ohd/bookstd/index.asp>

STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITY (FACILITIES) SHOWN ON THE PLANS AND INDIVIDUALLY IDENTIFIED BELOW HAS (HAVE) BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS INCLUDED UNDER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVAL NUMBER _____, SF _____, EXCEPT AS NOTED IN GREEN ON THE "AS-BUILT" DRAWINGS. FURTHERMORE, THE GREEN-NOTED EXCEPTIONS DO NOT ADVERSELY AFFECT THE DESIGN AND/OR THE INTENDED PERFORMANCE OF THE FACILITY (FACILITIES).

GRASS SWALE 'P' _____

BIORETENTION 'Q' _____

GRASS SWALE 'Q' _____

EACH SWM FACILITY IS IDENTIFIED INDIVIDUALLY BY A UNIQUE SWM FACILITY NUMBER

Name (Printed) _____

Signature _____

Maryland Registration Number _____

Date _____

PROFESSIONAL CERTIFICATION: "I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. _____, EXPIRATION DATE _____."

"CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

NOTE: AS-BUILT CHECKLISTS CONTAINED IN THE CONTRACT DRAWINGS SHALL BE COMPLETED BY THE AS-BUILT INSPECTOR AND SUBMITTED TO THE SHA ALONG WITH THIS CERTIFICATION.

CLIENT/OWNER/DEVELOPER:
TRAMMELL CROW COMPANY
1055 THOMAS JEFFERSON STREET NW
WASHINGTON, DC 20007

ATTN:RAYMOND GOINS
EMAIL: RGOINS@TRAMMELLCROW.COM
PHONE: 202.295.3818

128 SOUTH POTOMAC STREET
HAGERSTOWN, MARYLAND 21740

PROJECT MANAGER: TREVOR FREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
PHONE: 301.791.3650

SCALE: 1" = 500'

MO STATE PLANE
NAD 83 WGS 84

NF
JESSE MORRIS
L.6324 F.23

NF
WILLIAM E BUSSARD
L.280 F.30

NF
WILLIAM E BUSSARD
L.995 F.309

ROBERT AVENUE

TOWER DRIVE

STERLING ROAD

INTERSTATE 70 (DWIGHT D. EISENHOWER HIGHWAY)
EAST BOUND LANE

LOT 2
46.71 ACRES ±

LOT 1
88.12 ACRES ±

LOT 3
7.49
ACRES ±

10/10/2018

PROPERTY ACCOUNT #

INITIAL SUBMITTAL: 02/21/2022
RESUBMITTAL: 04/22/2022

ESD PRACTICES SUMMARY TABLE (WATERSHED A)							ESD PRACTICES SUMMARY TABLE (WATERSHED B,C,D)						
CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW							CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW						
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)							ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)						
TYPE	NO.	DA TO STRUCTURE (AC.)	IMPERVIOUS DA TO STRUCTURE (DA)	ESDv (CF)	ESDv (AC. FT)	Pe ADDRESSED (IN)	TYPE	NO.	DA TO STRUCTURE (AC.)	IMPERVIOUS DA TO STRUCTURE (AC)	ESDv (CF)	ESDv (AC. FT)	Pe ADDRESSED (IN)
BIORETENTION	L	0.46	0.39	1,200	0.028	1.0	BIORETENTION	A	1.05	0.85	4,600	0.106	1.0
BIORETENTION	M	0.75	0.65	2,084	0.048	1.0	BIORETENTION	B	0.97	0.78	2,328	0.048	1.0
BIORETENTION	N	0.65	0.58	2,108	0.048	1.0	BIORETENTION	C	0.78	0.58	3,469	0.080	1.0
GRASS SWALE	A	2.0	2.0	400	0.009	1.0	BIORETENTION	D	0.98	0.78	798	0.018	1.0
GRASS SWALE	N	0.26	0.26	104	0.002	1.0	BIORETENTION	E	8.83	7.43	24,830	0.570	1.0
STONE TRENCH	A	1.0	1.0	1,810	0.042	1.0	BIORETENTION	F	0.63	0.53	1,156	0.027	1.0
STONE TRENCH	B	2.0	2.0	1,796	0.041	1.0	BIORETENTION	G	0.60	0.50	1,156	0.027	1.0
NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)							BIORETENTION	H	0.59	0.49	1,156	0.027	1.0
SURFACE SAND FILTER	A	18.44	14.83	145,653	3.344	1.0	BIORETENTION	I	0.59	0.49	1,156	0.027	1.0
ESD PRACTICES SUMMARY TABLE (MDSHA ROW)							BIORETENTION	J	0.35	0.30	758	0.017	1.0
CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW							BIORETENTION	K	0.35	0.30	758	0.017	1.0
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)							GRASS SWALE	D	1.78	1.78	272	0.006	1.0
TYPE	NO.	DA TO STRUCTURE (AC.)	IMPERVIOUS DA TO STRUCTURE (DA)	ESDv (CF)	ESDv (AC. FT)	Pe ADDRESSED (IN)	GRASS SWALE	E	1.5	1.5	148	0.003	1.0
							GRASS SWALE	F	0.5	0.5	110	0.003	1.0
							GRASS SWALE	G	0.5	0.5	220	0.005	1.0
							GRASS SWALE	H	1.0	1.0	184	0.004	1.0
							GRASS SWALE	I	2.0	2.0	330	0.008	1.0
							GRASS SWALE	J	1.0	1.0	184	0.004	1.0
							STONE TRENCH	C	3.31	3.31	1,248	0.029	1.0
							STONE TRENCH	D	7.13	7.13	2,688	0.082	1.0
							STONE TRENCH	E	6.0	6.0	2,266	0.052	1.0
							NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)						
SURFACE SAND FILTER		B	8.0	4.91	17,497	0.401676	1.0						
WET POOL		B1	83.64	53.32	94,132	2.160973	1.0						
WET POOL		B2	83.64	53.32	112,105	2.573577	1.0						
DRY POND		C	7.67	6.0	N/A	N/A	N/A						

SCALE: 1" = 2000'

USGS MAPS (SHAMPOUR 2017)

WASHINGTON COUNTY CONTROL MONUMENT
DESIGNATION: SHANK
AND STATE PLANE
HORIZONTAL: NAD83 (02)
N: 706706.97
E: 1099374.48

COUNT	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 04	DEMOLITION PLAN
C-103	SHEET 05	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-104	SHEET 06	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-105	SHEET 07	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-106	SHEET 08	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-107	SHEET 09	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-108	SHEET 10	EROSION & SEDIMENT CONTROL PLAN - INITIAL CONTROLS
C-109	SHEET 11	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-110	SHEET 12	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-111	SHEET 13	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-112	SHEET 14	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-113	SHEET 15	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-114	SHEET 16	EROSION & SEDIMENT CONTROL PLAN - FINAL CONTROLS
C-115	SHEET 17	GRADING & DRAINAGE PLAN
C-116	SHEET 18	GRADING & DRAINAGE PLAN
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C-133	SHEET 35	SITE & DIMENSIONING PLAN
C-134	SHEET 36	PAVING, STRIPING, & SIGNAGE PLAN
C-135	SHEET 37	PAVING, STRIPING, & SIGNAGE PLAN
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C-403	SHEET 55	CONSTRUCTION PROFILES - STORM DRAINAGE
C-404	SHEET 56	CONSTRUCTION PROFILES - STORM DRAINAGE
C-405	SHEET 57	CONSTRUCTION PROFILES - STORM DRAINAGE
C-406	SHEET 58	CONSTRUCTION PROFILES - STORM DRAINAGE
C-407	SHEET 59	CONSTRUCTION PROFILES - STORM DRAINAGE
C-408	SHEET 60	CONSTRUCTION PROFILES - WATER
C-409	SHEET 61	CONSTRUCTION PROFILES - WATER
C-410	SHEET 62	CONSTRUCTION PROFILES - WATER
C-411	SHEET 63	CONSTRUCTION PROFILES - WATER
C-412	SHEET 64	CONSTRUCTION PROFILES - WATER
C-413	SHEET 65	CONSTRUCTION PROFILES - WATER
C-414	SHEET 66	CONSTRUCTION PROFILES - WATER
C-415	SHEET 67	CONSTRUCTION PROFILES - SEWER
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L-105	SHEET 86	LANDSCAPE PLAN
L-106	SHEET 87	LANDSCAPE PLAN
L-106	SHEET 88	LANDSCAPE PLAN
L-501	SHEET 89	LANDSCAPE DETAILS & NOTES

[illegible]

GENERAL NOTES

1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
6. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (New Business)	1-800-440-6111
Columbia Gas (Conflicts)	(301) 964-1065
Verizon	(301) 790-7124
Antelnet Cable	(240) 420-2082
City of Hagerstown Engineering Department	(301) 739-8577 Ext. 125
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Washington County Soil Conservation District	(301) 797-6821 Ext. 3
Washington County Planning and Permitting	(240) 313-2460

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Benchmarks to be established by FSA prior to the start of construction.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
16. Please refer to Geotechnical Report completed by Triad Engineering for load bearing fills, etc.
17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
20. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in June 2019. (Contour accuracy is to plus or minus one half the contour interval).
21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
22. The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
23. Applicant to provide as built mylars at the completion of the project.
24. This project has a projected start date of October 2021 and a completion date of July 2022.
25. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of the City of Hagerstown and Washington County.
26. The Board of Zoning Appeals approved the parking reduction from 1450 to 1105 under case #AP2022-006.
27. Proposed SWM will consist of on-site bio-retention facilities, stone trenches, grass swales, surface sand filters, wet pools, and detention ponds.
28. There is an existing sanitary sewer line and easement that runs through the property that is shown on the plans.
29. There is an existing waterline that runs through the property that is being relocated.
30. There are no parks, open space within or adjoining the tract.
31. All existing drainage culverts and drainage easements are to be maintained and unaltered.
32. There are no existing or proposed pumping stations in this development.
33. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector or other representative of Washington County.
34. All grading on lot/parcel, either before or after the construction of a dwelling or appurtenances, shall be the full responsibility of the lot/parcel owner.
35. A utility permit will be required for any proposed utility work located within the Washington County right-of-way.
36. All proposed retaining walls over three feet high requires a building permit and shall be designed according to the applicable Building Code and/or AASHTO standard, and shall be approved prior to construction, by the Washington County Division of Plan Review & Permitting.
37. Stream A buffer requirements were waived by Washington County Soil Conservation District during a field meeting on October 20, 2020.
38. Any new entrance (temporary or permanent) on Sterling Road will require a Washington County Entrance Permit prior to construction.
39. A grading plan has been approved for this site under GP-21-016.
40. A public works agreement and performance security will be required for all improvements within the county right-of-way that are not otherwise regulated under a utility permit or entrance permit.

DIVISION OF PLAN REVIEW & PERMITTING NOTES

1. In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans."
2. This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
3. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
4. Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
5. This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control, Ordinance.
6. All grading for this project shall be the full responsibility of the property owner.
7. No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

FIRE DEPARTMENT NOTES

1. Construction occurring on this site shall comply with NFPA 241, standard for safeguarding construction, alteration, and demolition operations, and chapter 16 of NFPA 1, uniformed fire code.
2. No open burning is permitted. Permits are required to perform blasting operations within the city of Hagerstown.
3. New buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property (NFPA 1-10.13.1).
4. A fire department access box (knox box) shall be installed. This box will be required to contain keys to the building, gates, fire protection systems and other areas as requested by the fire department. Plans should reflect the location of the box near the main entrance. Application information may be obtained from this office by the general contractor or online at www.knoxbox.com.

ZONING DATA

ZONING DISTRICT	HI - HIGHWAY INTERCHANGE DISTRICT
BUILDING HEIGHT	75 FT
MINIMUM YARD SETBACK:	
FRONT	40 FT.
SIDE	25 FT.
REAR	25 FT.

*EXCEPT WHERE THE PROPOSED USES OR BUILDING ABUT A LOT IN A RR, RT, RS, RU OR RM DISTRICT, OR ANY LOT OCCUPIED BY A DWELLING, THE SIDE AND REAR SETBACKS SHALL BE 50 FT.

BOARD OF ZONING APPEALS' CASE _____AP2022-006

SITE DATA

TAX MAP - GRID - PARCEL	0057-0001-0258, 0056-0006-0464, 0056-0006-0262
ELECTION DISTRICT	26
ACCOUNT NUMBER	038197, 038170, 028671
LIBER / FOLIO	02666 / 00713, 02666 / 00742, 02667/00017
AREA SUMMARY	
LOT 1	88.12 AC.
LOT 2	46.88 AC.
DISTURBED AREA	6,054,840 SF / 139 AC
EXISTING IMPERVIOUS	10,018 SF / 0.23 AC (0%)
PROPOSED TOTAL IMPERVIOUS	4,157,802 SF / 95.45 AC. (69%)

EXISTING IMPERVIOUS WITHIN MDSHA ROW LIMITS OF WORK	10,018 SF / 0.23 AC
PROPOSED TOTAL IMPERVIOUS WITHIN MDSHA ROW LIMITS OF WORK	28,457 SF / 0.65 AC.

BUILDING #1 SUMMARY:	
FOOTPRINT	1,237,140 SF
OFFICE SPACE	24,743 SF
WAREHOUSE SPACE	1,212,397 SF
HEIGHT	42.5 FT
PROPOSED USE	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
FREIGHT/DELIVERY	200 TRUCKS/DAY
EMPLOYEE SUMMARY:	
OFFICE	22
WAREHOUSE	1,078, 630 MAX/SHIFT

WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	2,800 GPD (14 EDU)

WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY

SITE LIGHTING:	
EXISTING	NONE
PROPOSED	POLE & BUILDING MOUNTED

SITE SIGNAGE:	
EXISTING	NONE
PROPOSED	(1) GROUND MOUNTED (80 SF)

BUILDING #2 SUMMARY:	
FOOTPRINT	797,500 SF
OFFICE SPACE	15,950 SF
WAREHOUSE SPACE	781,550 SF
HEIGHT	48 FT
PROPOSED USE	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
FREIGHT/DELIVERY	165 TRUCKS/DAY
EMPLOYEE SUMMARY:	
OFFICE	16
WAREHOUSE	789, 460 MAX/SHIFT

WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	1,800 GPD (9 EDU)

WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY

SITE LIGHTING:	
EXISTING	NONE
PROPOSED	POLE & BUILDING MOUNTED

SITE SIGNAGE:	
EXISTING	NONE
PROPOSED	(1) GROUND MOUNTED (80 SF)

WAIVER AND/OR VARIANCE	PARKING REDUCTION, BOARD OF ZONING APPEALS CASE AP2022-006
FOREST CONSERVATION	ONSITE PLANTING, AS SHOWN ON SHEET C-143, AND OFFSITE RETENTION AS SHOWN ON WASHINGTON COUNTY FILE #S-21-027

WATERSHED:	
NAME	CONOCOCHAGUE CREEK/MARSH RUN
NUMBER	02-14-05-04/02-14-05-03
FEMA PANEL #	24043C0282D DATED 08.15.2021

FUNCTIONAL ROAD CLASSIFICATION:	
DOWNSVILLE PIKE (MD 632)	MAJOR COLLECTOR
STERLING ROAD	MINOR COLLECTOR

PARKING, LOADING & BICYCLE DATA (BUILDING #1)

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	1,211,380 SF / 1,500 SF	808 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES AND/OR OFFICE SPACE	25,760 SF / 350 SF	74 SPACES
TOTAL REQUIRED SPACES			882 SPACES
TOTAL PROVIDED PARKING SPACES			639 SPACES
TOTAL ADA SPACES PROVIDED			13 SPACES
TOTAL TRAILER PARKING SPACES			508 SPACES

PARKING, LOADING & BICYCLE DATA (BUILDING #2)

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	780,900 SF / 1,500 SF	521 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES AND/OR OFFICE SPACE	16,600 SF / 350 SF	47 SPACES
TOTAL REQUIRED SPACES			568 SPACES
TOTAL PROVIDED PARKING SPACES			466 SPACES
TOTAL ADA SPACES PROVIDED			16 SPACES
TOTAL TRAILER PARKING SPACES			165 SPACES

LEGEND

	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		
BUILDING		
MAIL BOX		
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)		
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION		
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		
EVERGREEN TREES		
SANITARY SEWER		
GRAVITY LINE		
FORCE MAIN LINE		
LATERAL		
MANHOLE		
CLEANOUT		
VALVE		
WATER		
COLD WATER LINE		
HOT WATER LINE		
MANHOLE		
FIRE HYDRANT		
VALVE		
METER		
WELL		
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE		
INLETS		
CLEANOUT		
UTILITIES		
GAS LINE		
ELECTRICAL LINE		
FIBER OPTIC LINE		
COMMUNICATION LINE		
OVERHEAD LINES		
MANHOLE		
PEDS, BOX, & ETC		
POLE		
LIGHT POLE		
GAS METER		
GAS VALVE		

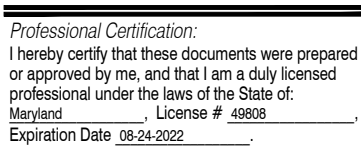
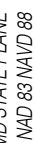
LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGL	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SY	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRADE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	UP	UTILITY POLE
NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
Expiration Date: 08/16/2022

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
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ES&S

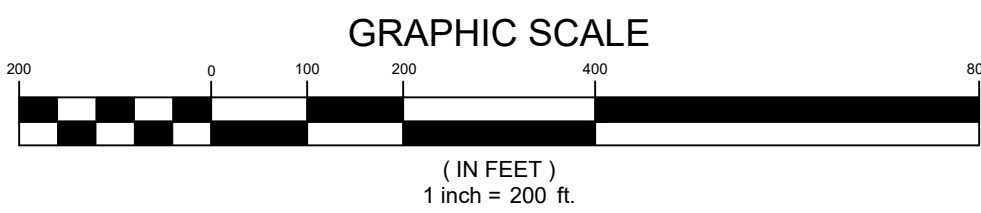
SITUATED IN FRIENDSHIP PARK, SOUTH OF INTERSTATE 70
AND WEST OF DOWNSVILLE PIKE (MD ROUTE 632)

TRAMMELL CROW COMPANY
1055 THOMAS JEFFERSON STREET NW WASHINGTON, DC 20007
ATTN: RAYMOND GOINS (202) 205-2818

DWN BY ABRAM MYERS	DATE 02.17.2022
PROJECT MANAGER T. FREDERICK	EMAIL TFrederick@fsa-inc.com

SITE & DIMENSIONING PLAN

C-128
SHEET 30 OF 89



Site Plan for National Pike Logistics Center

Presented is a site plan for National Pike Logistics Center.

The subject site is located along the northside of National Pike east of Huyetts Crossroads. Zoning is Planned Industrial General.

The developer is proposing to construct 2 warehouses with offices on a 133 acre parcel. Building 1 will be approximately 1,000,000 square feet and Building 2 will be 631,000 square feet.

Two access points from National Pike will serve the site.

Public water and sewer will serve the site.

Hours of operation will be 7 days a week 24 hours per day.

Freight and delivery will be around 365 trucks per day for both buildings.

Building 1 is projected to have 250 employees while Building 2 will have 216.

Solid waste will be taken care of by trash compactor in bay.

Site lighting will be building mounted and pole mounted throughout the parking area.

There will be one ground mounted sign for business identification.

The Board of Appeals has reviewed a request to allow for the reduction in the parking requirements from 1139 spaces to 715 spaces. There will be 354 truck parking spaces.

Forest Conservation requirements are being met by retaining 16.67 acres of existing forest on site.



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: National Pike Logistics Center
NUMBER.....: SP-22-016

OWNER.....: NP NATIONAL PIKE LOGISTICS I LLC
LOCATION.....: 16822 National Pike Hagerstown MD 21740
DESCRIPTION.....: Proposed Warehouse and Office

ZONING.....: Planned Industrial
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 24001210
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 24

TYPE.....: Commercial
GROSS ACRES.....: 133.34
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: April 19, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: Yes
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: Yes
STREAM BUFFER.....: Yes
HISTORIC INVENTORY.....: I004
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable

**WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING**

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
58		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	n/a	Trash Compactor
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
NO OUTSIDE STORAGE	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
715		
Parking Spaces - Minimum Required	Recreational Parking Provided	
1139	No	

ACCESS SPACING VARIANCE NEEDED: No**SCHOOL INFORMATION**

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Jonathan Hager	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATIONFIRE DISTRICT.....:
AMBULANCE DISTRICT.....:MAUGANSVILLE
WILLIAMSPORT**WATER & SEWER INFORMATION**

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

MD-ENG-6A
/89

USDA
SCS

UTILITY NOTIFICATION

The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at:

Phone No. 1-800-257-7777

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY
102.0 ACRES AND THE TOTAL AMOUNT OF
EXCAVATION AND FILL AS SHOWN ON THESE PLANS
HAS BEEN COMPUTED TO BE APPROXIMATELY
662,200 CU. YDS. OF EXCAVATION AND APPROXIMATELY
704,500 CU. YDS. OF FILL.

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

By: _____

Date: _____

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

APPROVAL:
WASHINGTON COUNTY DIVISION OF ENGINEERING

SIGNATURE	DATE
-----------	------

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest addition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Sewers and shall conform to the County's latest edition of the County Code of Ordinances. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

SIGNATURE DATE

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

This plan/plat has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plat shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.

SIGNATURE DATE

OWNER / DEVELOPERS CERTIFICATION

"I/We certify all party/parties responsible for clearing, grading, construction and/or development will, be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

DATE PRINTED NAME

SIGNATURE

OWNER / DEVELOPERS CERTIFICATION

"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

DATE

PRINTED NAME

SIGNATURE	
<p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/we certify that all grading on this site will be done in accordance with the current grading requirements as set forth in the Washington County Grading Ordinance."</p>	
DATE	PRINTED NAME

SIGNATURE

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information, that it has been done in accordance with Washington State requirements and at a level deemed necessary to assure the Verification made herein, and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

SIGNATURE	DATE	SEAL
ENGINEER / ARCHITECT DESIGN CERTIFICATION		
<p>I hereby certify this plan for soil erosion and sediment control and pond construction has been designed in accordance with local ordinances, COMAR 26.17.01.07, Maryland Standards and Specifications for Soil Erosion and Sediment Control, and meets the Maryland Pond Standard 378.</p>		
05/20/2022	44044	
DATE	REG. NO.	SIGNATURE

SWM NARRATIVE

This storm water management plan is for the construction of a 1,003,456 SF and 631,394 SF warehouses, parking lots, and (2) commercial entrances on a previously undeveloped site. The project will also include the design of a possible future public road the lies between the 2 buildings to possibly serve the lands to the north. The project is situated along the north side of National Pike west of Hagerstown, Maryland. The property is currently owned by NP National Pike Logistics I, LLC and is approximately 133.34 acres. The property is identified in the land records of Washington County on tax map 36, grid 17, and parcel 18

Non-structural environmental site design practices were considered and eliminated early on in the site design due to the site being considered a 'Big Box Development' with large contiguous impervious spaces. The existing flow patterns have been maintained during site layout and grading.

Non-structural and structural BMPs including (7) bioretentions, (1) bioswale, (4) surface sand filters and 5 micropool wet ponds will provide the ESDv and quantity control for the development.

The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Conservation District. No permanent structures or structures that impede stream flow shall be constructed within the stream buffer. Stream flow or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

SITUATED AT 16822 NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740

OWNER:
NP National Pike Logistics I, LLC
4825 NW 41st Street, Suite 500
Riverside, MO 64150

CLIENT/DEVELOPER:
NORTHPOINT DEVELOPMENT
5 MONTGOMERY ROAD, SUITE 310,
CINCINNATI, OH 452121

ATTN: DAVID SALINAS
PHONE: 312-656-7491

CIVIL ENGINEER / SURVEYOR:
FREDERICK SEIBERT & ASSOCIATES, INC
128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740

PROJECT MANAGER: TREVOR FREDERICK
EMAIL: tfrederick@fsa-inc.com
PHONE: 301.791.3650

INITIAL SUBMITTAL SET: April, 2022



SCALE: 1" = 2000'

USGS MAPS (MASON DIXON)

Mr. Zabor (th)

Sylvan Grove

Wash. Co. Mon.
"SHEETZ"

SITE

Huyett

N 726083.06
E 1091576.34

N 724266.10
E 1093481.13

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS & DEMOLITION PLAN
C-102	SHEET 04	OVERALL GRADING & DRAINAGE PLAN
C-103	SHEET 05	GRADING & DRAINAGE PLAN
C-104	SHEET 06	GRADING & DRAINAGE PLAN
C-105	SHEET 07	GRADING & DRAINAGE PLAN
C-106	SHEET 08	GRADING & DRAINAGE PLAN
C-107	SHEET 09	OVERALL EROSION & SEDIMENT CONTROL PLAN
C-108	SHEET 10	EROSION & SEDIMENT CONTROL PLAN
C-109	SHEET 11	EROSION & SEDIMENT CONTROL PLAN
C-110	SHEET 12	EROSION & SEDIMENT CONTROL PLAN
C-111	SHEET 13	EROSION & SEDIMENT CONTROL PLAN
C-112	SHEET 14	OVERALL SITE & DIMENSIONING PLAN
C-113	SHEET 15	SITE & DIMENSIONING PLAN
C-114	SHEET 16	SITE & DIMENSIONING PLAN
C-115	SHEET 17	SITE & DIMENSIONING PLAN
C-116	SHEET 18	SITE & DIMENSIONING PLAN
C-117	SHEET 19	OVERALL UTILITY PLAN
C-118	SHEET 20	UTILITY PLAN
C-119	SHEET 21	UTILITY PLAN
C-120	SHEET 22	UTILITY PLAN
C-121	SHEET 23	UTILITY PLAN
C-122	SHEET 24	SHA ENTRANCE & STRIPING PLAN
C-301	SHEET 25	STORMWATER MANAGEMENT PLAN
C-302	SHEET 26	STORMWATER MANAGEMENT PLAN
C-303	SHEET 27	STORMWATER MANAGEMENT PLAN
C-304	SHEET 28	STORMWATER MANAGEMENT PLAN
C-305	SHEET 29	STORMWATER MANAGEMENT PLAN
C-306	SHEET 30	STORMWATER MANAGEMENT PLAN
C-307	SHEET 31	STORMWATER MANAGEMENT PLAN
C-308	SHEET 32	SWM PLANTING PLAN
C-309	SHEET 33	SWM PLAN & SEC DETAILS & NOTES
C-401	SHEET 34	CONSTRUCTION PROFILES - STORM DRAINAGE
C-402	SHEET 35	CONSTRUCTION PROFILES - STORM DRAINAGE
C-403	SHEET 36	CONSTRUCTION PROFILES - STORM DRAINAGE
C-404	SHEET 37	CONSTRUCTION PROFILES - STORM DRAINAGE
C-405	SHEET 38	CONSTRUCTION PROFILES - STORM DRAINAGE
C-406	SHEET 39	CONSTRUCTION PROFILES - STORM DRAINAGE
C-407	SHEET 40	CONSTRUCTION PROFILES - SANITARY SEWER
C-408	SHEET 41	CONSTRUCTION PROFILES - SANITARY SEWER
C-409	SHEET 42	CONSTRUCTION PROFILES - WATER MAIN
C-410	SHEET 43	CONSTRUCTION PROFILES - FIRE LOOP
C-411	SHEET 44	CONSTRUCTION PROFILES - SHA CROSS SECTIONS
C-412	SHEET 45	CONSTRUCTION PROFILES - SHA CROSS SECTIONS
C-501	SHEET 46	SEC & SITE DETAILS & NOTES
C-502	SHEET 47	SEC & SITE DETAILS & NOTES
C-503	SHEET 48	CONSTRUCTION DETAILS & NOTES
C-504	SHEET 49	CONSTRUCTION DETAILS & NOTES
C-505	SHEET 50	CONSTRUCTION DETAILS & NOTES
C-506	SHEET 51	CONSTRUCTION DETAILS & NOTES
L-101	SHEET 52	LANDSCAPE PLAN
L-102	SHEET 53	LANDSCAPE PLAN
L-103	SHEET 54	LANDSCAPE PLAN
L-104	SHEET 55	LANDSCAPE PLAN
L-501	SHEET 56	LANDSCAPE DETAILS & NOTES

Total DA (Site)		100.0	
Construction Type (circle one)	<u>New</u>	Redevelopment	Restoration

ESD PRACTICES SUMMARY TABLE					
CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW					
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)					
TYPE	NO.	DA TO STRUCTURE (AC.)	IMPERVIOUS DA TO STRUCTURE (DA)	ESD (CF)	Pe ADRESSED (IN)
BIORETENTION	E-1	3.74	1.38	13,976	2.69
BIORETENTION	E-4	0.48	0.30	2,260	2.12
BIORETENTION	E-5	1.07	0.60	3,983	1.85
BIORETENTION	E-6	1.43	1.01	4,830	1.36
BIOSWALE	E-10	4.71	3.92	11,466	0.94
BIORETENTION	W-1	0.53	0.32	2,263	1.98
BIORETENTION	W-2	1.70	1.35	5,818	1.23
BIORETENTION	W-4	1.25	0.06	6,188	1.68
NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)					
SURFACE SAND FILTER	E-2	9.30	8.74	62,415	2.06
WET POOL	E-3	32.20	18.32	156,158	1.99
SURFACE SAND FILTER	E-7	0.84	0.69	11,590	4.82
SURFACE SAND FILTER	E-8	3.18	2.34	22,360	2.72
WET POOL	W-3	7.05	4.45	92,204	5.83
WET POOL	W-5	13.70	11.82	78,338	1.91
WET POOL	W-6	8.99	8.56	71,793	2.43
WET POOL	W-7	32.86	25.73	216,639	2.41
SURFACE SAND FILTER	W-8	0.94	0.71	5,028	2.02



Know what's **below**.
Call before you dig.

Professional Certification:
I hereby certify that these documents were prepared
or approved by me, and that I am a duly licensed
professional under the laws of the State of:
Maryland, License # 44244
Expiration Date 06-09-2023.

FSA



FREDERICK SEIBERT & ASSOCIATES, INC.
ARCHITECTS
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

128 THOMPSON DRIVE
HAGERSTOWN, MD 21740
301.795.4800

WEST PALM BEACH STREET
GREENSBORO, NC 12206
336.758.1600

CARLEISE PA. 19119
717.268.1111

EAST MAIN STREET
NEW BLOOMFIELD PA 17068
717.252.2221

www.fsa-inc.com

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SITE PLAN
18322 NATIONAL PIKE
HAGERSTOWN, MD 21740
WASHINGTON COUNTY, MARYLAND
NP NATIONAL PIKE LOGISTICS I, LLC
4805 MONTGOMERY ROAD, SUITE 310, HAGERSTOWN, MD 21740
302-656-7491

NO.

PROJECT NO.	
6469.1	
OWN BY	DATE

ALT	04-06-2022
PROJECT MANAGER	EMAIL
T. FREDERICK	tfrederick@tsa-md.com

0036-0017-0018

SHEET TITLE

COVER
SHEET

C-001
SHEET 01 OF 56

1. Any damage to adjoining public road, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3. C.A. Inc. has no liability for the location of any above ground utilities. The contractor shall obtain all available information from the utility companies and the City of Raleigh to determine the location of all existing utilities prior to construction.
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operations shall be repaired immediately at the contractor's expense. Contractor shall be responsible for any damage to existing utilities where low hanging wires exist.
6. All utilities shall be cleared by a minimum of 1'-0" and all utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

9. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
10. Benchmarks to be established by FSA prior to the start of construction.
11. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
12. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
13. Jobsite safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
14. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown herein are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown herein due to the compaction of fill.
15. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
16. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
17. Please refer to Geotechnical Report completed by Triad Engineering (Report # 03-21-0077, March 8, 2002) for load bearing fills, etc.
18. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
19. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
20. A compacted parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
21. The existing site contours shown herein are LIDAR 2' contours and field checked by FSA. (Contour accuracy is to plus or minus one half the contour interval).
22. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
23. The contractor shall provide MOSH safety assistance for all engineers, inspectors, and site visitors.
24. This project has a projected start date of October 2021 and a completion date of October 2022.
25. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County or City of Hagerstown.
26. Proposed SWM will consist of on-site grass swales, bio-retention facilities, surface sand filters, and MD-37B ponds.
27. A access permit will be required for any proposed work located within MDSA Right-of-Way.
28. All grading for this project shall be the full responsibility of the property owner.
29. This project will require a third party qualified professional to be present at the pre-construction meeting scheduled with Washington County Division of Permits and Inspections and the Washington County Soil Conservation District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
30. Developer/Contractor must contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time schedules.
31. No permanent structures (e.g. fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement of this property.
32. The developer agreement for stormwater management shall be executed and security obtained before the grading permit can be issued.
33. Retaining walls shall require a building permit if greater than 3 feet in height. A global stability analysis shall be provided for retaining walls greater than 10 feet.
34. A Washington County Floodplain Permit is required for all development within the 100 Year Floodplain.

Refer to plan sheets C-103 through C-106 for initial grading plan. This phase addresses perimeter ESC controls and the installation of Sediment Basins/SWM Ponds C-3, W-3, W-5, W-6 and W-7. Install (X2) stabilized construction entrances and wash racks off of the existing paved drive near National Pike (US 40) as shown on sheet C-104. If any tracking of sediment or debris occurs on any public roadway the contractor shall immediately stop work and clean the roadway. The contractor shall at minimum clean the perimeter of the site and the driveway. The contractor shall be responsible for tracking control and sediment control during the construction phase. The contractor shall be responsible for the Contractor to begin construction by remediating all known sinkholes on site (shown on sheet C-101). All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole. Once all known sinkholes have been rededicated the Contractor to install all perimeter erosion and sediment controls as shown on sheets C-103-106 per the sediment erosion control plan. The contractor shall be responsible for the maintenance of all erosion and sediment controls. The contractor shall be responsible for the maintenance of the sediment basins, initial borrow areas and staging areas as shown on Sheet C-103, to install perimeter erosion and sediment controls. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within 3 calendar days as to the surface of all perimeter ditches, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 and 7 calendar days as to all other disturbed or graded areas on the project site not under active grading. The contractor shall be responsible for the maintenance of the sediment basins, initial borrow areas, and staging areas and haul road shall be the responsibility of the Contractor to begin construction of the sediment basins by stripping topsoil and placing material on stockpiles as shown on the plans. The contractor shall stabilize all disturbance at the end of each working day. All stripped topsoil shall be placed on temporary soil stockpiles with SmartGrade 42 installed on the downhill side. Contractor to notify certifying engineer and Washington County at least 2 days in advance to schedule inspections of sediment/basin construction for the five BMP's. Contractor to use borrow from the site for all borrow areas as shown on sheet C-103. The contractor shall be responsible for the maintenance of the sediment basins, initial borrow areas, and staging areas. As soon as each sediment basin is completed contractor to stabilize with seed & mulch and install the appropriate draw down device. Install earth ditches and gabion in-flow protection as shown on sheets C-103 & C-104. Conversion of the sediment basins into stormwater ponds will occur after the site improvements have been completed under a site plan that is to be submitted and approved immediately after the approval of this plan. If the future site plan is not approved, then the sediment basins shall be removed. Contractor to maintain the perimeter of the initial borrow area to sediment basin W-5 and from sediment basin E-3 to sediment basin W-3. Contractor to make certain sediment basin W-3 is completed before E-3.

After the installation of sediment basins W-3, W-5 and W-6 have been completed, contractor can begin preparation of the south half of the western building pad (building 1) per sheets C-113 and C-114. The contractor may begin making preparations to strip topsoil for the building pad installation and grading by inspecting all perimeter controls, and ensuring they are installed and functioning properly.

Contractor to begin grading of building pad per Geotechnical Report from the highpoint on the east side in the initial borrow area as shown on sheet C-109 and working west and south towards sediment basins W-3, W-5 and W-6 maintaining positive drainage from the pad to the basins. Contractor to use the remainder of the cut from the initial borrow area as shown on sheet C-109 for building pad preparation. Contractor to install a 3' x 3' trench along the north edge of the building pad at station 8+50. This shall show sheet C-110 and C-111. After the initial borrow area has exhausted contractor to use haul road #2 to access the borrow area on the north east side of the LOT D as shown sheet C-110. After the building pad is brought to grade according to building construction, contractor to rough grade parking areas between grades of the completed portion of the building pad and sediment basins work from the pad to the basins to maintain positive drainage. Once the parking areas are brought to grade stabilize parking areas gravel base. The gravel base shall be compacted to meet the same standards as the existing gravel base. Contractor to install erosion control blankets over the entire surface of the building pad and parking areas. Contractor to install a permanent silt fence around the building pad as approved and current sediment erosion control plan. Also, any material that leaves the site must go to a site that has a approved and current sediment erosion control plan. Contractor to install underground stormwater management pipe bank as grading progresses and install retaining walls.

Contractor shall prepare the building pad per Geotechnical Report. Contractor to stabilize all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance, and all other disturbed or graded areas within 7 calendar days.

Contractor to install stormdrain lines as grading progresses to maintain positive drainage to the sediment basins. Contractor to begin installation of utilities and following the standard specifications.

Once the building pad has been brought to grade and stabilized, the contractor may begin making preparations to strip topsoil and grade the remainder of the west building pad.

After the installation of sediment basins E and W-7 have been completed, contractor can begin preparation of the north half of the western building pad (building 1) per sheets C-108 and C-111. The contractor may begin making preparations to stop disposal for the building pad installation and grading by inspecting all perimeter controls, the stabilized areas, and the E and W-7 basins. The contractor may begin grading the building pad and the north half of the western building pad (building 1) as shown on sheet C-108. Contractor to begin grading of the remainder of the building pad per Geotechnical Report working from east to west to maintain positive drainage from the building pad to the stabilized areas and the E and W-7 basins. Contractor to install a 12" x 12" x 12" concrete curb around the perimeter of the building pad and the north half of the western building pad (building 1). As the building pad is brought to grade, contractor to continue with geotechnical construction. Contractor to rough grade parking areas between the completed portion of the building pad and sediment basins work from the pad to the basins to maintain positive drainage. Contractor to install gravel grade to stabilize parking areas. Contractor may excavate the building pad and the north half of the western building pad (building 1) to the existing ground surface to install a 12" x 12" x 12" concrete curb around the perimeter of the building pad and the north half of the western building pad (building 1). Also, any material that leaves the site must go to a site that has a approved and current sediment erosion control plan. Contractor to install a 12" x 12" x 12" concrete curb around the perimeter of the building pad and the north half of the western building pad (building 1). As the building pad is brought to grade the contractor shall immediately begin installation of building slab/foundations and steel & rebar including disturbed areas. Contractor to install storm drains to the existing ground surface to maintain positive drainage from the building pad to the sediment basins. Install odour protection and inlet protection as installed per the Geotechnical Report. Contractor to continue installation of utilities (flood, the stand-off utility lines).

Contractor to begin the site work for the south half of the east building pad by stripping topsoil and grading from the building pad to the perimeter of the site as shown on sheet C-108 & C-111. Contractor to stabilize all slopes steeper than 3:1 within 3 calendar days of initial soil disturbance or re-disturbance, and all other disturbed or graded areas within 14 calendar days of initial soil disturbance or re-disturbance. Slopes shall be stabilized with approved erosion control matting. Slopes shall be stabilized with approved erosion control matting.

Contractor to grade future road leading from BMP E-1 to BMP W-3 and install stormdrains as shown on sheets C-109 and C-110 working from downstream to upstream and install inlet and outlet protection as installation progresses.

Contractor to begin grading of building pad per Geotechnical Report from the highpoint on the east side of the pad working to the west as shown on sheet C-110 maintaining a minimum 2% slope from the highpoint to the west. Contractor to continue to use cut from the east borrow area. After the building pad is brought to grade, contractor to begin installation of building foundations and slab, contractor to rough grade parking areas between the completed portion of the building pad and sediment basins working from the pad to the basins to maintain positive drainage. The contractor may excavate the stormwater BMP's as borrow pits as necessary to use the material as fill. Any additional fill that is not approved for use must be placed in the approved erosion control plan. Contractor to install retaining walls as grading progresses in the borrow area. Contractor to continue with the installation of utilities.

Contractor to bring parking areas and access roads to grade working from the building pad outward to maintain positive drainage and stabilize with slope base.

The contractor shall install matting and seed & mulch areas where necessary.

Post-Construction Notification - Notify the Washington County Soil Conservation District and Washington Division of Construction after the site has achieved 95% overall vegetative stabilization, and at least 5 days prior to the removal of any sediment control features to schedule a final site closure inspection and meeting. Once final approval has been granted, perimeter controls can be removed, and final stabilization in those areas shall be completed.

EXISTING ZONING DISTRICT	PI - PLANNED INDUSTRIAL DISTRICT
EXISTING USE	AGRICULTURAL-RESIDENTIAL
PROPOSED USE	WAREHOUSE/OFFICE
MAXIMUM BUILDING HEIGHT	75 FT.
MAXIMUM BUILDING COVERAGE	50% (TOTAL LOT AREA)
MINIMUM LOT AREA	2 AC.
MINIMUM LOT WIDTH	200 FT.
MINIMUM YARD SETBACK:	
FRONT	150 FT.
SIDE/REAR	75 FT. ADJ. TO BUSINESS OR INDUSTRIAL DISTRICT
	150 FT. ADJ. TO RESIDENTIAL DISTRICT

TAX MAP - GRID - PARCEL	0036-0017-0018
ELECTION DISTRICT	24
ACCOUNT NUMBER	001210
LIBER / FOLIO	02089 / 00655
AREA SUMMARY	
PARCEL	133.34 AC.
DISTURBED AREA	102 AC
EXISTING IMPERVIOUS	1.95 AC (1.5%)
PROPOSED TOTAL IMPERVIOUS	77.82 AC (58.4%)
EXISTING IMPERVIOUS WITHIN MDSHA ROW LIMITS OF WORK	1.17 AC
PROPOSED TOTAL IMPERVIOUS WITHIN MDSHA ROW LIMITS OF WORK	1.88 AC

FOOTPRINT	1,003,456 SF
OFFICE SPACE	11,398 SF
WAREHOUSE SPACE	992,058 SF
HEIGHT	48 FT
ADDRESS ASSIGNMENT	16730 NATIONAL PIKE
PROPOSED USE	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION	24 HOURS A DAY / 7 DAYS A WEEK
FREIGHT/DELIVERY	200 TRUCKS/DAY
EMPLOYEE SUMMARY:	
OFFICE	50
WAREHOUSE	200 SHIFT

SEWER PROVIDED	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	2,200 GPD (11 EDU)

SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY

EXISTING _____	NONE
PROPOSED _____	POLE & BUILDING MOUNTED

EXISTING	NONE
PROPOSED	(1) GROUND MOUNTED (80 SF)

FOOTPRINT	631,394 SF
OFFICE SPACE	10,000 SF
WAREHOUSE SPACE	621,394 SF

PROPOSED USE:	WAREHOUSE & OFFICE (PERMITTED USE)
HOURS OF OPERATION:	24 HOURS A DAY / 17 DAYS A WEEK
TRUCKS/DELIVERY:	165 TRUCKS/DAY
EMPLOYEE SUMMARY:	
OFFICE:	16
WAREHOUSE:	200 MAX/SHIFT
WATER & SEWER USAGE:	
WATER PROVIDED:	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED:	WASHINGTON COUNTY DEPT. OF WATER QUALITY
EXISTING ALLOCATION:	0 GPD
PROPOSED ALLOCATION:	1,800 GPD (6 EDU)

RECYCLE REMOVAL _____ PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY

PROPOSED	POLE & BUILDING MOUNTED
SITE SIGNAGE	

PROPOSED _____ (2) GROUND MOUNTED (80 SF FOR EACH BUILDING)

SPACES FROM THE 1,139 SPACES REQUIRED TO 715 SPACES
BOARD OF ZONING APPEALS CASE AD2022-010 APPROVED

AMONG THE LAND RECORDS OF WASHINGTON COUNTY, A
WITH COUNTY PLAN FILE #GP-21-019 & GP-21-025

NAME	CONOCO SERVICE CENTER
NUMBER	02-14-05-04
FEMA PANEL #	24043C0118D DATED 08.15.2017

NATIONAL PIKE (U.S. ROUTE 40) _____ PRINCIPAL ARTERIAL
PARKING, LOADING & BICYCLE DATA (BUILDING #1)

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	992,058 SF / 1,500 SF	662 SPACES
	PLUS 1 SPACE PER 350 GFA OF SALES	11,398 SF / 350 SF	33 SPACES
	AND/OR OFFICE SPACE		
BICYCLE	1 SPACE PER 25 CAR SPACES	341 SPACES / 25 SPACES	14 SPACES

TOTAL ADA SPACES PROVIDED	8 SPACES
TOTAL TRAILER PARKING SPACES	217 SPACES
TOTAL BICYCLE PARKING SPACES	14 SPACES

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA PLUS 1 SPACE PER 350 GFA OF SALES	621,384 SF / 1,500 SF 10,000 SF / 350 SF	415 SPACES 29 SPACES
BICYCLE	1 SPACE PER 25 CAR SPACES	374 SPACES / 25 SPACES	15 SPACES
TOTAL REQUIRED SPACES			444 SPACES
TOTAL PROVIDED PARKING SPACES			374 SPACES
TOTAL ADA SPACES PROVIDED			12 SPACES
TOTAL TRAILER PARKING SPACES			137 SPACES
TOTAL BICYCLE PARKING SPACES PROVIDED			15 SPACES

1. In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction of these plans.
2. The applicant will require a third party qualified professional to be present at the preconstruction meeting. Construction is required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 2008.
3. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, representative of Washington County Division of Public Works.
4. The developer shall contact the certifying engineer and the County at least 5 days prior to the start of construction of stormwater management system to schedule and coordinate inspection time tables.
5. This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control, Ordinance.
6. All grading for this project shall be the full responsibility of the property owner.
7. No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or drainage easement on this property.

	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		
BUILDING		
MAIL BOX		
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)		
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION		
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		
EVERGREEN TREES		
		SEE LANDSCAPE SHEET FOR LEGEND
SANITARY SEWER		
GRAVITY LINE		
FORCE MAIN LINE		
LATERAL		
MANHOLE		
CLEANOUT		
VALVE		
WATER		
COLD WATER LINE		
HOT WATER LINE		
MANHOLE		
FIRE HYDRANT		
VALVE		
METER		
WELL		
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE		
INLETS		
CLEANOUT		
UTILITIES		
GAS LINE		
ELECTRICAL LINE		
FIBER OPTIC LINE		
COMMUNICATION LINE		
OVERHEAD LINES		
MANHOLE		
PEDS, BOX, & ETC		
POLE		
LIGHT POLE		
GAS METER		
GAS VALVE		

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PCL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SC	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGD	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SV	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRATE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	UTP	UTILITY POLE
NC	NOT IN CONTRACT	VF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE

Application for Map Amendment Staff Report and Analysis

Property Owner(s)	:	JTA Investments, LLC
Applicant(s)	:	JTA Investments, LLC
Location	:	21036 National Pike, Hagerstown
Election District	:	#16 – Beaver Creek
Comprehensive Plan		
Designation	:	Agriculture
Zoning Map	:	64
Parcel(s)	:	P. 32
Acreage	:	19.27 acres (Lot 1 5.64 acres)
Existing Zoning	:	RB – Rural Business
Requested Zoning	:	A(R) – Agricultural, Rural
Date of Meeting	:	June 6, 2022

I. Background Information

a. Location and Description of Subject Properties



The proposed rezoning site is located at 21036 National Pike where the highway intersects with Stottlemeyer Road. The total acreage of the current parcel is 19.27 acres, but only 5.64 acres are subject to this rezoning request.

The property is currently a composite of past and current land uses. Most of the infrastructure and amenities (mini golf course, go kart track, etc.) remain from the former Family Recreation Park that occupied the property for many years. The applicant has now, however, converted a portion of the parcel to Adkins Automotive auto repair shop.

Lot 1, proposed to be subdivided off the main parcel, is currently an undeveloped area in the rear of the site that was used a driving range previously.

a. Rural Business Floating Zone Removal Criteria

The applicant is requesting a partial termination of the Rural Business (RB) floating zone previously applied to the property in 2015 (RZ-14-002). Section 5E.8 of the Zoning Ordinance describes the criteria for the partial removal of the floating zone:

b) Partial Termination

*An individual property owner may submit a written request to the Planning Commission to remove a portion of the RB floating zone district from their property at any time. **The written request must be accompanied by a detailed drawing showing surveyed metes and bounds of the requested change so as to determine the limits of the RB floating zone district.** The Planning Commission shall review such a request at one of their regular meetings and make a recommendation to the Board of County Commissioners. The Board of County Commissioners may then approve or deny the request without a public hearing. Should the Board of County Commissioners approve the property owner's request to remove the RB floating district, the land will be restored to its underlying zoning district.*

II. Staff Analysis and Conclusion:

The applicant has met the criteria described above for the partial termination of the existing RB through the submission of a Zoning Exhibit prepared by Frederick, Seibert and Associates and an accompanying letter, dated May 17, 2022, describing their request. The Exhibit shows the metes and bounds of proposed 5.64 acre Lot 1. The accompanying letter then details the applicant's intentions to formally subdivide Lot 1 for the purposes of constructing a personal residence on the property.

Most residential uses are not permitted by the current RB Zoning applied to the property, including the construction of a single family home. The partial termination of the existing RB district would therefore enable the intended residential use to occur. The applicant would merely need to meet the requirements of the underlying Agricultural Rural A(R) zoning already affixed to the property in developing a residential use at this location.

The requested change would therefore constitute a voluntary downzoning to a less intensive land use on roughly 1/3 of the total existing parcel. Accordingly, this intended switch to a less intensive use would be unlikely to negatively impact neighborhood character or public infrastructure in the area.

Respectfully Submitted,

Travis Allen
Comprehensive Planner

Tanya Phillips & Jason Adkins
9920 Crystal Falls Drive
Hagerstown, MD 21740
(240) 367-7307

May 17, 2022

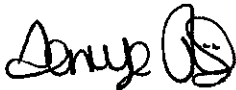
Attn: Jill Baker
JBaker@washco-md.net

Dear Ms. Baker,

Attached is the zoning exhibit that we're requesting the Rural Business (RB) overlay removed from the land shown as proposed lot 1.

Jason Adkins and I, Tanya Phillips, formed a Limited Liability Corporation under JTA Investments LLC and both of us personally will be the owners of the proposed lot 1. While proposed lot 1 is vacant of any improvements, we intend to go through the subdivision process and build a home as our personal residence. We understand that single family detached homes are not permitted in the RB district which therefore creates the need for this request. After the subdivision is approved we would convey to the lot from the LLC to Jason and I personally.

Respectfully,

A handwritten signature in black ink, appearing to read 'Tanya Phillips', followed by a circular stamp or mark.

Tanya Phillips

Annual Report Worksheet Reporting (Calendar) Year 2021

INSTRUCTIONS

Each Planning Commission/Board shall approve an Annual Report for the Reporting Year 2021 as required under [§1-207\(b\)](#) of the Land Use Article. In addition, this Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (Planning), no later than July 1, 2022.

Local jurisdiction may use the attached template form or any of the previous Annual Report forms. The requirements have not changed for 2021. An optional survey is included in Section VII. We encourage all jurisdictions to consider responding.

Section I- New Residential Permits, and Section II- Amendments and Growth Related Changes, are required by all local jurisdictions.

Section III- Development Capacity Analysis, is required every three years.

Section IV- Locally Funded Agriculture Preservation, is required by Counties only.

Section V – Measures and Indicators, is required by jurisdiction reporting more than 50 new residential permits in Section I.

Section VI- Adequate Public Facility Ordinances, is required every two years by jurisdictions with adopted Adequate Public Facility Ordinances (APFOs).

Section VII – Planning Survey Questions is optional

Annual Report Worksheet Reporting (Calendar) Year 2021

Section I: New Residential Permits Issued (Inside and Outside the PFA) (§1-208(c)(1)(i) and (c)(3)(ii))

- (A) In Table 1, New Residential Permits Issued (Inside and Outside the PFA) below, enter the number of new residential building permits issued in calendar year (2020). Enter 0 if no new residential building permits were issued in 2021.

**Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)**

Residential – Calendar Year 2021	PFA	Non - PFA	Total
# New Residential Permits Issued	160	64	224

Section II: Amendments and Growth Related Changes In Development Patterns (§1-207(c)(1) and (c)(2))

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

- (A) Were any new comprehensive plan or plan elements adopted? If yes, briefly summarize what was adopted Y ☐ N ☒

No new comprehensive plan or plan elements were formally adopted. An update of our comprehensive plan is in progress and should be available, in draft, by Fall 2022. Many elements of the plan have been presented to the Washington County Planning Commission to gain their input prior to taking the plan for adoption by the Board of County Commissioners.

- (B) Were there any amendments to the zoning regulations or zoning map? If yes, briefly summarize each amendment, include a map, or GIS shapefile, if available. Y ☒ N ☐

Case Number	Name	Location	Total Acres	From Zone	To Zone	Decision Date
RZ-20-002	Short-term Residential Rentals (Text)	Sections 3, 7A, 8, 9, 10, 11, 12, 19C, 22 and 28A	n/a	n/a	n/a	07/20/2021
RZ-21-001	Calvert Energy, LLC (Text)	Section 4.26 Solar Generating Systems	n/a	n/a	n/a	08/10/2021
RZ-21-002	Frank Murray, Sr. (MAP)	14025 Greencastle Pike	1.50	RB (RV)	RV	03/23/2021
RZ-21-004	Solar Generating Systems (T	Section 4.26 Solar Generating Systems	n/a	n/a	n/a	09/14/2021

Annual Report Worksheet Reporting (Calendar) Year 2021

RZ-20-002

- Text application – Zoning Ordinance text amendment to Sections 3, 7A, 8, 9, 10, 11, 12, 19C, 22 and 28A in order to address uses associated with short term residential rentals. Short term residential rentals are similar to Bed and Breakfasts and boarding facilities which are currently permitted in the County. The amendment would permit the short term residential rentals in the rural areas and would be permitted by special exception in the urbanized areas.

RZ-21-001

- Text application - Zoning Ordinance text amendment to Section 4.26 pertaining to the regulation of Solar Energy Generating Systems (SEGS) within Priority Preservation Areas (PPA) that have an Industrial Mineral zoning designation. The amendment would allow for SEGS, as a special exception, on rural properties in designated PPA's where the current zoning is Industrial Mineral overlay.

RZ-21-002

Piecemeal application – Zoning Ordinance map amendment to remove a rural business floating zone over 1.50 acres, located at 14025 Greencastle Pike. The underlying zoning of Rural Village will be re-activated on the property as the property owners are not longer interested in pursuing commercial activities on the site.

RZ-21-004

- Piecemeal application – Zoning Ordinance text amendment to Section 4.26 pertaining to the regulation of Solar Energy Generating Systems (SEGS). The amendment would provide language to deter the placement of solar arrays on productive agricultural lands. SEGS shall be prohibited as a use in defined Priority Preservation Areas, Rural Legacy Areas and Antietam Overlay Areas and to the degree practicable, avoiding Class 1 & 2 prime agricultural soils outside of designated growth areas.

- (C)** Were there any growth related changes, including Land Use Changes, Annexations, New Schools, Changes in Water or Sewer Service Area, etc., pursuant to of the Land Use Article? If yes, please list or map and provide a description of consistency of internal, state or adjoining local jurisdiction plans . Y ☒ N ☐

WS-21-001

- The Town of Hancock proposed an upgrade to the wastewater treatment plant (WwTP) to a sequencing Batch Reactor (SBR) system with sludge dewatering. The purpose of the upgrade is to supply Enhanced Nutrient Removal processes that will abate existing problems with the current lagoon system and extend capacity from 0.38 mgd to 0.53 mgd to provide sewer service to new and existing commercial and industrial development.

- (D)** Did your jurisdiction identify any recommendations for improving the planning and development process within the jurisdiction? If yes, please list. Y ☐ N ☒

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Section III: Development Capacity Analysis (DCA)(§1-208(c)(iii))

Note: MDP provides technical assistance to local governments in completing a development capacity analyses. Please contact your MDP regional planner for more information.

(A) Has an updated DCA been submitted with your Annual Report or to MDP within the last three years? Y ☐ N ☒

1. If no, explain why an updated DCA has not been submitted, such as, no substantial growth changes, etc.

A development capacity analysis is being completed as part of our comprehensive plan update. This analysis is anticipated to be completed by the end of 2022.

2. If yes, when was the last DCA submitted? Identify Month and Year:

a. Was the DCA shared with the local School Board Facilities Planner? Y ☐ N ☐

(B) Using the most current DCA available, provide the following data on capacity inside and outside the PFA in Table 2, *Residential Development Capacity (Inside and Outside the PFA)*:

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

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Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) [\(§1-208\(C\)\(1\)iv and v\)](#)

(A) How many acres were preserved using local agricultural land preservation funding? Enter 0 if no acres were preserved using local funds. Enter value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation – CY2021

Local Preservation Program Type	Acres	Value (\$)
CREP Easements (4)	426.76	\$1,025,078.91
MALPF Easements (3)	466.57	\$1,452,976.50
Rural Legacy Easements (6)	817.00	\$2,098,501.64
Maryland DNR Easement (1)	116.14	\$313,200
Total	1826.47	\$4,889,757.05

(B) What is the county's established local land use percentage goal? %

Washington County does not have a percentage goal for land preservation efforts. We have had a long-established acreage goal of 50,000 acres.

(C) What is the timeframe for achieving the local land use percentage goal? 20-30 Years.

(D) Has there been any progress in achieving the local land use percentage goal?

Yes, more than 37,000 acres of land has been permanently preserved across all programs since the start of the County's participation in agricultural land preservation 40 years ago.

(E) What are the resources necessary for infrastructure inside the PFAs?

Additional funding and streamlining regulations that have similar goals but require dedicated infrastructure to accomplish required mandates (i.e., programs that address water quality).

(F) What are the resources necessary for land preservation outside the PFAs?

- Promote the Agricultural Preservation program(s) as a method to incentivize farmers to preserve their land until funds become available for permanent easements.
- Seek out permanent funding sources that can sustain agricultural easements and development rights acquisition.
- Place an emphasis on preserving large contiguous blocks of permanent farmland in

Annual Report Worksheet Reporting (Calendar) Year 2021

excess of 1,000 acres by factoring this variable more heavily in the priority ranking system.

- Implement strategies that deter land uses that would remove large blocks of prime agricultural land from active farm production.
- Promote start up assistance and provide educational awareness to inspire a new generation of young farmers.
- Provide and highlight additional agri-tourism opportunities for farmers to expand operations with value added products and agricultural industry type uses.

Annual Report Worksheet Reporting (Calendar) Year 2021

Section V: Measures and Indicators ([§1-208\(c\)\(1\)](#))

Note: The Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2021	PFA	Non - PFA	Total
Total # Minor Subdivisions Approved	4	12	16
Total # Minor Subdivision Lots Approved	5	25	30
Total # Minor Subdivision Units Approved	5	25	30
Total Approved Minor Subdivision Area (Gross Acres)	11.30	240.40	251.70
Total Approved Minor Subdivision Lot Area (Net Acres)	11.19	192.08	203.27
Total # Major Subdivisions Approved	1	0	1
Total # Major Subdivision Lots Approved	100	0	100
Total # Major Subdivision Units Approved	100	0	100
Total Approved Major Subdivision Area (Gross Acres)	65.26	0	65.26
Total Approved Major Subdivision Lot Area (Net Acres)	39.71	0	39.71
Total # Units Constructed in Jurisdiction	134	38	172
Total # Units Demolished*	8	3	11
Total # Units Reconstructed/Replaced*	6	7	13

*Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2021	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	105	25	130
Total # Approved Lot Area (Major + Minor Subdivisions)	50.90	192.08	242.98

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2021	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	105	25	130
% of Total Units (# Units/Total Units)	81 %	19 %	100%

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Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2021	PFA	Non - PFA	Total
Total Site Plan Area Approved (Gross Acres)	970.31	34.73	1,005.04
Total Building Square Feet Approved (Gross)	166,506	11,966	178,472
Total # New Permits Issued	35	6	41
Total Square Feet Constructed in Jurisdiction (Gross)	835,349	4,663	840,012

Table 4E: Net Density of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2021	PFA	Non – PFA	Total
Total Building Square Feet Approved (Gross)	166,506	11,966	178,472
Total Lot Size (Net Acres)	168.77	0.92	169.69

Table 4F: Share of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2021	PFA	Non – PFA	Total
Total Building Square Feet Approved (Gross)	166,506	11,966	178,472
% of Total Building Square Feet (Building Square Feet/Total Approved Square Feet)	93.3 %	6.7 %	100%

Annual Report Worksheet Reporting (Calendar) Year 2021

Section VI: Adequate Public Facility Ordinance (APFO) Restrictions ([§7-104](#)) (Section VI is only required by jurisdictions with adopted APFOs)

Note: Jurisdictions with adopted APFOs must submit a biennial APFO report. The APFO report is due by July 1 of each even year and covers the reporting period for the previous two calendar years. APFO reports for 2020 and 2021 are due July 1, 2022. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

*** The Washington County APFO has not restricted development during the 2020-2021 reporting period. Therefore, no biennial APFO report is required.**

(A) What is the type of infrastructure affected? (List each for Schools, Roads, Water, Sewer, Stormwater, Health Care, Fire, Police or Solid Waste.)

The Washington County Adequate Public Facilities Ordinance applies to infrastructure including: Roads, Schools, Sewage Disposal Systems, Water Supply and Distribution Systems and Fire Protection.

(B) Where is each restriction located? (Identify on a map, including PFA boundary.)

Schools: Countywide

Roads: Countywide

Water and Sewer: In service areas designated in the Water and Sewerage Plan

Fire Protection: Inside adopted Urban and Town Growth Areas

(C) Describe the nature of what is causing each restriction.

- Schools: Some of the County's school districts are over the designated school capacity due to population growth and there are limited funds for new school construction.
- Roads: The majority of restrictions are in the rural areas where some roads are not considered adequate by today's standards.
- Water: Distribution systems are aging and need upgraded. Availability of water is limited by permitting and water quality regulations.
- Sewer: Collection systems are aging and need upgraded. Availability of treatment capacity is limited by water quality regulations.
- Fire: No restrictions at this time.

(D) What is the proposed resolution of each restriction?

- Schools: The County has adopted an Alternative Mitigation Contribution option for developers who will voluntarily pay a fee to help mitigate the impacts of new development on school districts. Funds collected go towards expanding capacity in the educational system.
- Roads: Restrictions are mitigated on case-by-case basis.
- Water: Developers are required to install and/or upgrade infrastructure to service their development. There is no local control that can resolve the issue of diminishing availability due to State and Federal water quality regulations.
- Sewer: Same as Water
- Fire: No restrictions at this time.

Annual Report Worksheet Reporting (Calendar) Year 2021

(E) What is the estimated date for the resolution of each restriction?

All categories are mitigated on a case-by-case basis and have no established timeline for resolution.

(F) What is the resolution that lifted each restriction? n/a

(G) When was each restriction lifted? n/a

(H) Addition Information. To help the Sustainable Growth Commission Statewide School Education Committee for School related restrictions:

1. List the State Rated Capacity for each affected facility.

Current Elementary School Enrollment from BOE (Dec 31, 2021)		State Rated Capacity
Bester	521	628
Boonsboro	515	499
Cascade	132	278
Clear Spring	390	386
Eastern	419	572
Emma K. Doub	354	297
Fountaindale	370	365
Fountain Rock	283	271
Greenbrier	236	274
Hancock	206	295
Hickory	306	268
Jonathan Hager	418	471
Lincolnshire	488	545
Maugansville	683	755
Old Forge	339	366
Pangborn	674	745
Paramount	416	408
Pleasant Valley	218	225
Potomac Heights	341	294
Rockland Woods	623	751
Ruth Ann Monroe	604	692
Salem Avenue	673	722
Sharpsburg	322	431
Smithsburg	350	431

Annual Report Worksheet Reporting (Calendar) Year 2021

Williamsport		517	568
Current Middle School Enrollment from BOE (Dec 31, 2020)		State Rated Capacity	
Boonsboro	604	870	
Clear Spring	307	605	
E. Russell Hicks	852	841	
Northern	795	913	
Smithsburg	523	839	
Springfield	747	1096	
Western Heights	935	998	
Current High School Enrollment from BOE (Dec 31, 2020)		State Rated Capacity	
Boonsboro	826	1098	
Clear Spring	452	656	
Hancock Middle/High	221	591	
North Hagerstown	1378	1423	
Smithsburg	734	897	
South Hagerstown	1406	1240	
Williamsport	959	1094	

- Identify date local School APFO standards were last evaluated or amended.

The Washington County APFO was last amended in 2013 to include an Alternative Mitigation Contribution by developers to help the County raise funds for expansion and educational services.

- Provide a letter from the School Board confirming what actions are being taken by the School Board to remedy each restriction. (This could include a change in State Rated Capacity (SRC); scheduled improvements in the local Capital Improvement Program (CIP); or redistricting, etc., to address (B) –(G) above.) n/a

Annual Report Worksheet Reporting (Calendar) Year 2021

Section VII: Planning Survey Questions (Optional)

The information provided can assist MDP and MDOT staff with identifying potential pedestrian/bicycle projects and project funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan? Y ☐ N ☐

1. Plan name
2. Date Completed (MM/DD/YR)
3. Has the plan been adopted? Y ☐ N ☐
4. Is the plan available online? Y ☐ N ☐
5. How often do you intend to update it? (Every ____ years)
6. Are existing and planned bicycle and pedestrian facilities mapped? Y ☐ N ☐

(B) Does your jurisdiction have a transportation functional plan in addition to your comprehensive plan? Y ☐ N ☐

1. Plan name
2. Date completed (MM/DD/YY)
3. Has plan been adopted? Y ☐ N ☐
4. Is the plan available online? Y ☐ N ☐
5. How often do you intend to update it? (Every ____ years)

END

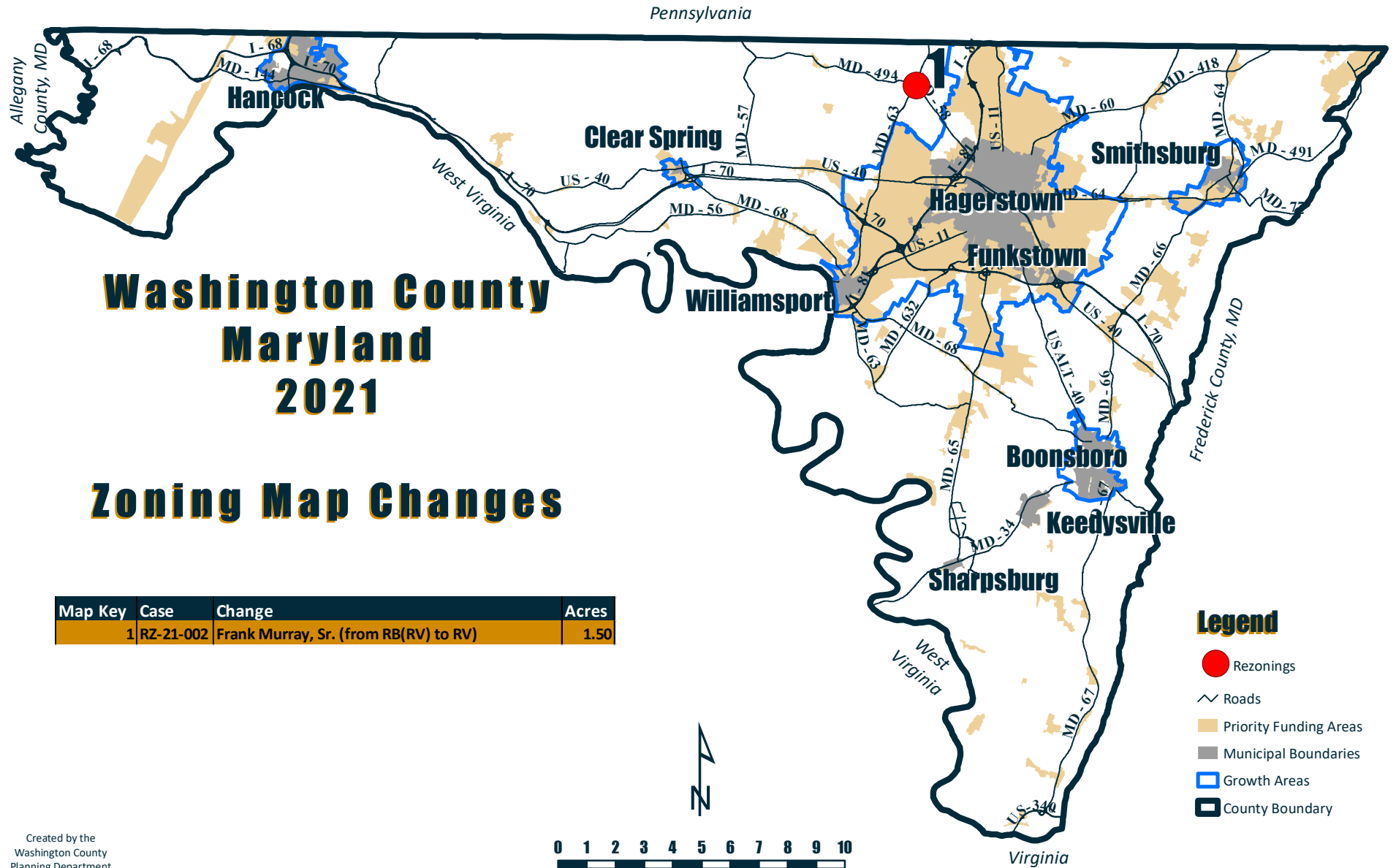
**Annual Report Worksheet
Reporting (Calendar) Year 2021**

Submitting Annual Reports and Technical Assistance

- (A) Annual Reports may be submitted via email (preferred) to david.dahlstrom@maryland.gov or one copy may be mailed to:

Office of the Secretary
Maryland Department of Planning
301 W. Preston Street, Suite 1101
Baltimore, Maryland 21201-2305
Attn: David Dahlstrom, AICP

- (B) Annual Reports should include a cover letter indicating that the Planning Commission has approved the Annual Report and acknowledging that a copy of the Annual Report has been filed with the local legislative body. The cover letter should indicate a point of contact(s) if there are technical questions about your Annual Report.
- (C) You may wish to send additional copies of your Annual Report directly to your MDP Regional Planner or School Board Facilities Planner.
- (D) If you need any technical assistance in preparing or submitting your reports, our Regional Planners are available to assist you. Regional Planner contact information can be found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml
- (E) Copies of this Annual Report worksheet and links to legislation creating these Annual Report requirements can be found on the Maryland Department of Planning website: Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml
- (F) If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at david.dahlstrom@maryland.gov.



Created by the
Washington County
Planning Department
GIS
May 2022



Plan Review Projects Initialized - April 01, 2022 - April 30, 2022

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
AR-22-007	APFO Road Adequacy	Paid	19-Apr-22	13854 PATRIOT WAY - LOT 132 - FREEDOM HILLS - SECT. C-1	13854 PATRIOT WAY HAGERSTOWN MD 21740	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
SWCP22-015	Boonsboro Stormwater Concept Plan	In Review	13-Apr-22	TOWN OF BOONSBORO - SLUDGE DEWATERING PROJECT	6927 MONROE RD BOONSBORO MD 21713		BOONSBORO MAYOR & COUNCIL
FP-22-001	Clear Spring Forest Conservation Plan	Revisions Required	28-Apr-22	CREEKVIEW VILLAS	SOUTH SIDE OF MULBERRY ST. BETWEEN CLEAR SPRING RD & SOUTH MAIN ST. CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	WALZC LLC
TWN-22-003	Clear Spring Improvement Plan	In Review	28-Apr-22	CREEKVIEW VILLAS	SOUTH SIDE OF MULBERRY ST. BETWEEN CLEAR SPRING RD & SOUTH MAIN ST. CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	WALZC LLC
SWCP22-014	County Stormwater Concept Plan	In Review	13-Apr-22	MASSEY HYUNDAI SITE ADDITIONS	1706 MASSEY BOULEVARD HAGERSTOWN MD 21740	FOX & ASSOCIATES INC	MASSEY BOULEVARD LLC
SWCP22-016	County Stormwater Concept Plan	In Review	25-Apr-22	THE BROADFORDING BIBLE BRETHREN CHURCH	13523 BROADFORDING CHURCH RD HAGERSTOWN MD 21740	TRIAD ENGINEERING	CHURCH BROADFORDING OF BRETHREN
FS-22-010	Forest Stand Delineation	Approved	22-Apr-22	THE BROADFORDING BIBLE BRETHREN CHURCH	13523 BROADFORDING CHURCH RD HAGERSTOWN MD 21740	TRIAD ENGINEERING	CHURCH BROADFORDING OF BRETHREN
SIM22-018	IMA	Requested	01-Apr-22	FAHRNEY KEEDY MOUNTAIN VIEW ROAD AND SWM POND	8507 MAPLEVILLE ROAD BOONSBORO, MD 21713	FOX & ASSOCIATES INC	FAHRNEY KEEDY MEMORIAL HOME INC.
SIM22-019	IMA	Requested	06-Apr-22	9634 BLOOMING MEADOWS COURT HN	9634 BLOOMING MEADOWS COURT HAGERSTOWN, MD 21740	TRIAD ENGINEERING	FICKLIN JAYME K FICKLIN ASHLEY O
SIM22-020	IMA	Active	20-Apr-22	22550 REPUBLICAN AVENUE SM	22550 REPUBLICAN AVENUE SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	LEWIS KEVIN WAYNE LEWIS CYNTHIA ANN
SIM22-021	IMA	Active	25-Apr-22	10716 APPLETREE LANE WI	10716 APPLETREE LANE WILLIAMSPORT, MD 21795	OLIVER WILLIAM TAYLOR	OLIVER WILLIAM TAYLOR OLIVER SANDRA SCOTT
SIM22-022	IMA	Requested	28-Apr-22	20109 JEFFERSON BOULEVARD HN	20109 JEFFERSON BOULEV HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	FOX JOSEPH
SIM22-023	IMA	Requested	29-Apr-22	20800 GAPLAND ROAD RO	20800 GAPLAND ROAD ROHRERSVILLE, MD 21779	FREDERICK SEIBERT & ASSOCIATES	CLARK KINGSLEY CLARK KIM L
SIM22-024	IMA	Active	29-Apr-22	12019 ERNSTVILLE ROAD	12019 ERNSTVILLE ROAD BIG POOL, MD 21711	FREDERICK SEIBERT & ASSOCIATES	KENNETH E BLESSING JR TRUST
OM-22-005	Ordinance Modification	Approved	27-Apr-22	REQUEST TO MODIFY REAR YARD SETBACK IN ROSEWOOD PUD (LOT 82)	20241 HUNTINGTON COURT HAGERSTOWN, MD 21742	NAGEL GEORGE E & ASSOCIATES INC	GRIMM DAVID GRIMM CHERYL
S-22-009	Preliminary-Final Plat	In Review	19-Apr-22	ANDREA THOMAS	12819 BIG POOL RD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	THOMAS ANDREA TEUNIS
SP-08-032.R01	Redline Revision	Approved	01-Apr-22	FT RITCHIE BUILDING 518 & 517	NW SIDE OF W. BANFILL AVE	FREDERICK SEIBERT & ASSOCIATES	FT. RITCHIE I, LLC C/O COPT PROPERTY MGMT SERVICES, LLC
SP-08-013.R01	Redline Revision	In Review	14-Apr-22	CARDINAL RUN LLC.	OAKMOUNT DRIVE, E/S	FOX & ASSOCIATES INC	CARDINAL RUN, LLC. 12929 CATHEDRAL AVE.

Plan Review Projects Initialized - April 01, 2022 - April 30, 2022

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SP-21-012.R01	Redline Revision	Approved	19-Apr-22	MCKEE SOLAR	NORTH SIDE OF HOLLOW ROAD NEAR HANCOCK	FOX & ASSOCIATES INC	MCKEE AUSTIN DOUGLAS III
SP-22-015	Site Plan	In Review	13-Apr-22	MASSEY HYUNDAI SITE ADDITIONS	1706 MASSEY BOULEVARD HAGERSTOWN MD 21740	FOX & ASSOCIATES INC	MASSEY BOULEVARD LLC
SP-22-016	Site Plan	In Review	19-Apr-22	NATIONAL PIKE LOGISTICS CENTER	16822 NATIONAL PIKE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	NP NATIONAL PIKE LOGISTICS I LLC
SP-22-017	Site Plan	In Review	22-Apr-22	THE BROADFORDING BIBLE BRETHREN CHURCH	13523 BROADFORDING CHURCH RD HAGERSTOWN MD 21740	TRIAD ENGINEERING	CHURCH BROADFORDING OF BRETHREN
GP-22-007	Site Specific Grading Plan	In Review	11-Apr-22	EASTERN PANHANDLE EXPANSION PROJECT - COLUMBIA GAS TRANSMISSION LLC		ARCADIS	SWORD FREDERICK R SWORD BARBARA E
GP-22-008	Site Specific Grading Plan	In Review	26-Apr-22	TAXIWAY F REHABILITATION	18434 SHOWALTER RD HAGERSTOWN MD 21742	FOX & ASSOCIATES INC	WASH CO COMMISSIONERS
GP-22-009	Site Specific Grading Plan	Revisions Required	28-Apr-22	LITTLE ANTIETAM CREEK STREAM RESTORATION	21655 LEITERSBURG SMITHSBURG RD HAGERSTOWN MD 21742	WASHINGTON COUNTY SOIL CONSERVATION DISTRICT	BUMPERS WILLIAM M ET AL BUMPERS HEIDI
SGP-22-022	Standard Grading Plan	In Review	01-Apr-22	KACEY CARBONARI	20800 GAPLAND RD GAPLAND MD 21701	FREDERICK SEIBERT & ASSOCIATES	CLARK KINGSLEY CLARK KIM L
SGP-22-023	Standard Grading Plan	Approved	05-Apr-22	WILLIAM T OLIVER	10716 APPLETREE LANE WILLIAMSPORT MD 21795	FREDERICK SEIBERT & ASSOCIATES	OLIVER WILLIAM TAYLOR OLIVER SANDRA SCOTT
SGP-22-024	Standard Grading Plan	Approved	12-Apr-22	FREEDOM HILLS - LOT 132	13854 PATRIOT WAY HAGERSTOWN MD 21740	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
SGP-22-025	Standard Grading Plan	Approved	14-Apr-22	JASON B BRADLEY	13810 LEISHEAR COURT CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	BRADLEY JASON B BRADLEY SARAH D
SGP-22-026	Standard Grading Plan	Approved	14-Apr-22	KENNETH BLESSING	12019 ERNSTVILLE RD BIG POOL MD 21711	FREDERICK SEIBERT & ASSOCIATES	KENNETH E BLESSING JR TRUST
SGP-22-027	Standard Grading Plan	Approved	20-Apr-22	AUSTIN C FREE	16227 SHAFFER ROAD SHARPSBURG MD 21782	TRIAD ENGINEERING	FERREE ROBIN FERREE BETH
SGP-22-028	Standard Grading Plan	Approved	22-Apr-22	OLIVER HOMES INC - FITZGERALD	14351 PEN MAR / HIGH ROCK RD CASCADE MD 21719	OLIVER HOMES INC	LATITUDE HOLDINGS LLC
SGP-22-029	Standard Grading Plan	Approved	22-Apr-22	BRIAN L GROVE	11518 DAM #5 ROAD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	GROVE BRIAN LYNN
SGP-22-030	Standard Grading Plan	Approved	26-Apr-22	ANDREA THOMAS	12819 BIG POOL RD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	THOMAS ANDREA TEUNIS
SGP-22-031	Standard Grading Plan	In Review	28-Apr-22	DAVID LYLES - LOT 425	CROFTON RD HAGERSTOWN MD 21742	FREDERICK SEIBERT & ASSOCIATES	ANTARES PROPERTIES LLC
SGP-22-032	Standard Grading Plan	Approved	28-Apr-22	KRISTIN & CHRIS CARTER	6533 KING RD BOONSBORO MD 21713	COREY'S CONSTRUCTION	CARTER CHRISTOPHER A CARTER KRISTIN E
SSWP22-016	Stormwater Standard Plan	Approved	01-Apr-22	KACEY CARBONARI	20800 GAPLAND RD GAPLAND MD 21701	FREDERICK SEIBERT & ASSOCIATES	CLARK KINGSLEY CLARK KIM L
SSWP22-017	Stormwater Standard Plan	Approved	05-Apr-22	WILLIAM T OLIVER	10716 APPLETREE LANE WILLIAMSPORT MD 21795	FREDERICK SEIBERT & ASSOCIATES	OLIVER WILLIAM TAYLOR OLIVER SANDRA SCOTT
SSWP22-018	Stormwater Standard Plan	Approved	14-Apr-22	JASON B BRADLEY	13810 LEISHEAR COURT CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	BRADLEY JASON B BRADLEY SARAH D
SSWP22-019	Stormwater Standard Plan	Approved	14-Apr-22	KENNETH BLESSING	12019 ERNSTVILLE RD BIG POOL MD 21711	FREDERICK SEIBERT & ASSOCIATES	KENNETH E BLESSING JR TRUST

Plan Review Projects Initialized - April 01, 2022 - April 30, 2022

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SSWP22-020	Stormwater Standard Plan	Approved	20-Apr-22	AUSTIN C FREE	16227 SHAFFER ROAD SHARPSBURG MD 21782	TRIAD ENGINEERING	FERREE ROBIN FERREE BETH
SSWP22-021	Stormwater Standard Plan	Approved	22-Apr-22	OLIVER HOMES INC - FITZGERALD	14351 PEN MAR / HIGH ROCK RD CASCADE MD 21719	OLIVER HOMES INC	LATITUDE HOLDINGS LLC
SSWP22-022	Stormwater Standard Plan	Approved	22-Apr-22	BRIAN L GROVE	11518 DAM #5 ROAD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	GROVE BRIAN LYNN
SSWP22-023	Stormwater Standard Plan	Approved	26-Apr-22	ANDREA THOMAS	12819 BIG POOL RD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	THOMAS ANDREA TEUNIS
SSWP22-024	Stormwater Standard Plan	Revisions Required	28-Apr-22	DAVID LYLES - LOT 425	CROFTON RD HAGERSTOWN MD 21742	FREDERICK SEIBERT & ASSOCIATES	ANTARES PROPERTIES LLC
SSWP22-025	Stormwater Standard Plan	Approved	28-Apr-22	KRISTIN & CHRIS CARTER	KING RD BOONSBORO MD 21713	COREY'S CONSTRUCTION	CARTER CHRISTOPHER A CARTER KRISTIN E
S-22-010	Subdivision Replat	In Review	20-Apr-22	BLACK ROCK GOLF COURSE & REGIONAL PARK	20025 MT. AETNA RD HAGERSTOWN MD 21740	WASHINGTON COUNTY ENGINEERING & CONSTRUCTION DEPT.	WASH CO COMMISSIONERS
S-22-011	Subdivision Replat	Approval Letter Issued	25-Apr-22	PAVESTONE LLC - LOT 1R	11831 HOPEWELL RD HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	PAVESTONE LLC C/O QUIKRETE COMPANIES INC
TIS-22-005	Traffic Impact Study	Pending	01-Apr-22	MOUNT AETNA ROAD SHEETZ	1397 DUAL HIGHWA HAGERSTOWN, MD 21740	STREET TRAFFIC STUDIES, LTD	GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
TIS-22-006	Traffic Impact Study	Traffic Impact Study Received	22-Apr-22	HUYETT CROSSROADS (RESTAURANT AND RETAIL)	16425 NATIONAL PIKE HAGERSTOWN, MD 21740	STREET TRAFFIC STUDIES, LTD	BOWMAN GROUP LLC THE
TIS-22-007	Traffic Impact Study	Pending	22-Apr-22	VIRGINIA COMMONS	1302 VIRGINIA AVENUE HAGERSTOWN, MD 21740	STREET TRAFFIC STUDIES, LTD	UNGER PROPERTIES LLC
GPT-22-024	Type 2 Grading Plan	Approved	14-Apr-22	GAVER MEADOWS - LOT 113	14 HERMAN GAVER PLACE FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-025	Type 2 Grading Plan	Approved	14-Apr-22	GAVER MEADOWS - LOT 119	13 RAYMONDS CROSSING FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-026	Type 2 Grading Plan	Approved	14-Apr-22	GAVER MEADOWS - LOT 121	21 RAYMOND CROSSING FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-027	Type 2 Grading Plan	Approved	14-Apr-22	GAVER MEADOWS - LOT 122	25 RAYMONDS CROSSING FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-028	Type 2 Grading Plan	Approved	14-Apr-22	GAVER MEADOWS - LOT 123	29 RAYMOND CROSSINGS FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-029	Type 2 Grading Plan	Approved	22-Apr-22	GAVER MEADOWS - LOT 97	38 RAYMONDS CROSSING FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-030	Type 2 Grading Plan	Approved	22-Apr-22	GAVER MEADOWS LOT 118	9 RAYMOND CROSSING FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC

Plan Review Projects Initialized - April 01, 2022 - April 30, 2022

Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-01796	Entrance Permit	Approved	11-Apr-22	STICK BUILT HOME	S-91-59 10716 APPLETREE LANE, LOT 5	OLIVER HOMES INC	OLIVER WILLIAM TAYLOR OLIVER SANDRA SCOTT
2022-01849	Entrance Permit	Pending	13-Apr-22	STICK BUILT HOME	S-07-021 12019 ERNSTVILLE ROAD, LOT 2	MT. TABOR BUILDERS	KENNETH E BLESSING JR TRUST
2022-01860	Entrance Permit	Approved	13-Apr-22	STICK BUILT HOME	S-87-14 11504 CRYSTAL FALLS DRIVE, LOT 4	MT. TABOR BUILDERS	LEWIS KEVIN WAYNE LEWIS CYNTHIA ANN
2022-01870	Entrance Permit	Pending	13-Apr-22	STICK BUILT HOME	S-03-236 13810 LEISHEAR STREET, LOT 20	LONG L CONSTRUCTION LLC	BRADLEY JASON B BRADLEY SARAH D
2022-01896	Entrance Permit	Approved	14-Apr-22	STICK BUILT HOME	S-18-019 13854 PATRIOT WAY, LOT 132	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2022-01903	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9962 ROULETTE DRIVE, LOT 143	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01908	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9930 ROULETTE DRIVE, LOT 151	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01914	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9946 ROULETTE DRIVE, LOT 147	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01923	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9934 ROULETTE DRIVE, LOT 150	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01929	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-18-004 13205 ONYX DRIVE, LOT 168	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2022-01931	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9958 ROULETTE DRIVE	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01935	Entrance Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9954 ROULETTE DRIVE, LOT 145	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01982	Entrance Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9950 ROULETTE DRIVE, LOT 146	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01987	Entrance Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9938 ROULETTE DRIVE, LOT 149	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01991	Entrance Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9942 ROULETTE DRIVE, LOT 148	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-02046	Entrance Permit	Applied	22-Apr-22	STICK BUILT HOME	S-12-003 9634 BLOOMING MEADOWS COURT, LOT 4	DILLARD DUANE B JR T/A HIGHLAND HOMES	FICKLIN JAYME K FICKLIN ASHLEY O
2022-02161	Entrance Permit	Pending	28-Apr-22	STICK BUILT HOME	LOR 11518 DAM NUMBER 5 ROAD	SMOKER STEVIE E	GROVE BRIAN LYNN
2022-02172	Entrance Permit	Approved	29-Apr-22	STICK BUILT HOME	S-18-033 18211 PETWORTH CIRCLE, LOT 686	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-02177	Entrance Permit	Approved	29-Apr-22	MODULAR HOME	LOR KING ROAD	COREY'S CONSTRUCTION	CARTER CHRISTOPHER A CARTER KRISTIN E
2022-01628	Floodplain Permit	Approved	01-Apr-22	RENOVATION	LOR 18934 LAPPANS ROAD		WASH CO COMMISSIONERS
2022-01640	Floodplain Permit	Review	02-Apr-22	RESIDENTIAL ADDITION	S-07-029 19228 CRANBERRY COURT, LOT 10		GIBBS MICHELE
2022-02112	Grading Permit	Approved	27-Apr-22	STICK BUILT HOME	9 RAYMONDS CROSSING, LOT 118	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-02115	Grading Permit	Pending	27-Apr-22	STICK BUILT HOME	38 RAYMONDS CROSSING, LOT 97	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS, LLC 19638 LEITERSBURG PIKE STE 201
2022-02162	Grading Permit	Pending	28-Apr-22	STICK BUILT HOME	LOR 11518 DAM NUMBER 5 ROAD	SMOKER STEVIE E	GROVE BRIAN LYNN
2022-02173	Grading Permit	Approved	29-Apr-22	STICK BUILT HOME	S-18-033 18211 PETWORTH CIRCLE, LOT 686	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-02178	Grading Permit	Approved	29-Apr-22	MODULAR HOME	LOR KING ROAD	COREY'S CONSTRUCTION	CARTER CHRISTOPHER A CARTER KRISTIN E
2022-02186	Grading Permit	Pending	29-Apr-22	STICK BUILT HOME	S-22-009 12819 BIG POOL ROAD, PARCEL B	SCHILDTNECHT RONALD T/A SUN VALLEY CONSTRUCTION	THOMAS ANDREA TEUNIS
2022-02095	Grading Permit	Review	26-Apr-22	KACEY CARBONARI	S-88-5 GAPLAND ROAD, LOT 9		CLARK KINGSLEY CLARK KIM L
2022-01797	Grading Permit	Approved	11-Apr-22	STICK BUILT HOME	S-91-59 10716 APPLETREE LANE, LOT 5	OLIVER HOMES INC	OLIVER WILLIAM TAYLOR OLIVER SANDRA SCOTT
2022-01851	Grading Permit	Pending	13-Apr-22	STICK BUILT HOME	S-07-021 12019 ERNSTVILLE ROAD, LOT 2	MT. TABOR BUILDERS	KENNETH E BLESSING JR TRUST

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-01861	Grading Permit	Approved	13-Apr-22	STICK BUILT HOME	S-87-14 11504 CRYSTAL FALLS DRIVE, LOT 4	MT. TABOR BUILDERS	LEWIS KEVIN WAYNE LEWIS CYNTHIA ANN
2022-01871	Grading Permit	Pending	13-Apr-22	STICK BUILT HOME	S-03-236 13810 LEISHEAR STREET, LOT 20	LONG L CONSTRUCTION LLC	BRADLEY JASON B BRADLEY SARAH D
2022-01883	Grading Permit	Pending	14-Apr-22	STICK BUILT HOME	25 RAYMOND CROSSING, LOT 122	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-01885	Grading Permit	Review	14-Apr-22	STICK BUILT HOME	21 RAYMONDS CROSSING, LOT 121	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-01886	Grading Permit	Pending	14-Apr-22	STICK BUILT HOME	14 HERMAN GAVAR PLACE, LOT 113	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-01890	Grading Permit	Pending	14-Apr-22	STICK BUILT HOME	13 RAYMONDS CROSSING, LOT 119	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-01897	Grading Permit	Approved	14-Apr-22	STICK BUILT HOME	S-18-019 13854 PATRIOT WAY, LOT 132	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2022-01904	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9962 ROULETTE DRIVE, LOT 143	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01909	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9930 ROULETTE DRIVE, LOT 151	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01912	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	29 RAYMONDS CROSSING, LOT 123	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC C/O DAVID C LYLES
2022-01915	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9946 ROULETTE DRIVE, LOT 147	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01924	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9934 ROULETTE DRIVE, LOT 150	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01932	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9958 ROULETTE DRIVE	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01933	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-18-004 13205 ONYX DRIVE, LOT 168	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2022-01936	Grading Permit	Pending	18-Apr-22	STICK BUILT HOME	S-21-001 9954 ROULETTE DRIVE, LOT 145	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01983	Grading Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9950 ROULETTE DRIVE, LOT 146	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01988	Grading Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9938 ROULETTE DRIVE, LOT 149	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-01992	Grading Permit	Pending	20-Apr-22	STICK BUILT HOME	S-21-001 9942 ROULETTE DRIVE, LOT 148	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-02005	Grading Permit	Approved	20-Apr-22	STICK BUILT HOME	14351 PEN MAR-HIGH ROCK ROAD	OLIVER HOMES INC	LATITUDE HOLDINGS LLC P O BOX 149
2022-02030	Grading Permit	Review	22-Apr-22		EASTERN PANHANDLE EXPANSION NATURAL GAS PIPELINE PROJECT	MICHELS CORPORATION	COLUMBIA GAS TRANSMISSION, LLC, A TRANSCANADA COMANY ATTN: CLIFFORD ABBOTT
2022-02033	Non-Residential Ag Certificate	Approved	22-Apr-22	FARM BUILDING	LOR 8900 LUMS LANE		PULLARO JOHN RANDOLPH & PULLARO AMY CRYSTAL
2022-02014	Non-Residential New Construction Permit	Approved	21-Apr-22	COMMERCIAL	LOR 1713 MASSEY BOULEVARD		CEDAR VALLEY PLAZA LLC
2022-01994	Utility Permit	Review	20-Apr-22	POTOMAC EDISON	12019 ERNSTVILLE ROAD	POTOMAC EDISON	KENNETH E BLESSING JR TRUST
2022-02032	Utility Permit	Review	22-Apr-22	PHCPA00015B – SOF34308 – ROW WASHINGTON COUNTY	10405 ROCK BOTTOM HAGERSTOWN, MD 21742		MARTIN DAVID M & MARTIN KENDRA J
2022-02096	Utility Permit	Review	26-Apr-22	COLUMBIA GAS	19766 MEADOWBROOK ROAD	COLUMBIA GAS OF MARYLAND INC	KEYSER RONALD E SR TRUSTEE
2022-02100	Utility Permit	Review	26-Apr-22	COLUMBIA GAS	13815 NORTHCREST ROAD	COLUMBIA GAS OF MARYLAND INC	MATHEWSON JAMIE
2022-01688	Utility Permit	Approved	05-Apr-22	POTOMAC EDISON	12012 PIONEER DRIVE	POTOMAC EDISON	NAPLES CAITLYN M
2022-01766	Utility Permit	Approved	08-Apr-22	COLUMBIA GAS	19328 LONGMEADOW ROAD	COLUMBIA GAS OF MARYLAND INC	BAGSBY RICHARD BAGSBY GERTRUDE

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-01825	Utility Permit	Approved	12-Apr-22		10810 OAK FOREST DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	BEATTY LINDELL BEATTY APRIL LANE MAJOR
2022-01827	Utility Permit	Approved	12-Apr-22		13841 VILLAGE MILL DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	WILSON WILLIAM A ALSOP DEEVERS JANE M
2022-01829	Utility Permit	Approved	12-Apr-22		17501 STONE VALLEY DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	PHILLIPS KENNETH M & PHILLIPS JACQUELYN S
2022-01901	Utility Permit	Approved	15-Apr-22	POTOMAC EDISON UGCR 61610993	17930 CLUBHOUSE HAGERSTOWN, MD 21740		HAINES CAROLL A
2022-01819	Utility Permit	Approved	12-Apr-22		19703 MARIGOLD DRIVE		MILLS BERNARD L SR & SWARTZ RUBY J
2022-01821	Utility Permit	Approved	12-Apr-22		22032 MOHAWK DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	HUNTZBERRY FRED L & LAURA J
2022-01823	Utility Permit	Approved	12-Apr-22		10814 CLINTON AVENUE	CITY OF HAGERSTOWN (WATER DEPT)	STOCKSLAGER JAMES F ET AL
2022-01824	Utility Permit	Approved	12-Apr-22		11402 ISAAC COURT	CITY OF HAGERSTOWN (WATER DEPT)	DAN RYAN BUILDERS MID ATLANTIC
2022-01899	Utility Permit	Approved	15-Apr-22	POTOMAC EDISON 61806140	11325 WHITE HALL ROAD		WALTZ MARK E
2022-01900	Utility Permit	Approved	15-Apr-22	POTOMAC EDISON UGCR 61610993	10721 FAIRWAY HAGERSTOWN, MD 21740		BANK FIRST FEDERAL OF WESTERN MD C/O M & T BANK

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	Type	Total
LandDev Total by Group: 58	APFO Road Adequacy	1
	Boonsboro Stormwater Concept Plan	1
	Clear Spring Forest Conservation Plan	1
	Clear Spring Improvement Plan	1
	County Stormwater Concept Plan	2
	Forest Stand Delineation	1
	IMA	7
	Ordinance Modification	1
	Preliminary-Final Plat	1
	Redline Revision	3
	Site Plan	3
	Site Specific Grading Plan	3
	Standard Grading Plan	11
	Stormwater Standard Plan	10
	Subdivision Replat	2
	Traffic Impact Study	3
	Type 2 Grading Plan	7
Permits Total by Group: 68	Entrance Permit	19
	Floodplain Permit	2
	Grading Permit	29
	Non-Residential Ag Certificate	1
	Non-Residential New Construction Permit	1
	Utility Permit	16
Total		126