



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
June 5, 2023, 6:00 PM

CALL TO ORDER AND ROLL CALL

PUBLIC INPUT MEETING

1. **RZ-23-003 – Text Amendment – Truck Stops** – Jill Baker * *Information/Discussion/Action*
Proposed text amendment regarding truck stops

MINUTES

1. May 8, 2023 Planning Commission regular meeting * *Discussion/Action*

OLD BUSINESS

1. **RZ-23-001 – Text Amendment – Convenience Stores – Recommendation** – Jill Baker * *Discussion/Action*

NEW BUSINESS

PRELIMINARY CONSULTATIONS

1. **PC-23-001 – Diversified Capital – Martin Property** – Scott Stotelmyer * *Information/Discussion*
Concept Plan for a proposed warehouse at 12440 Burkholder Lane; Zoning – PI (Planned Industrial)

SUBDIVISIONS

1. **Potomac Overlook [PP-22-001]** - Planner: Scott Stotelmyer * *Discussion/Action*
Preliminary plat for Potomac Overlook Subdivision; Location: Keep Tryst Road, Knoxville; Zoning: RV (Rural Village)
2. **Emerald Pointe PUD [DP-23-001]** – Planner: Scott Stotelmyer * *Discussion/Action*
Revised final development plan for Emerald Pointe PUD with request to remove the asphalt pathway connecting the residential portion of the neighborhood to the commercial area; Location: Emerald Pointe Drive; Zoning: RT(PUD) – Residential Transition with a Planned Unit Development overlay

SITE PLANS

1. **Morningside East Trailer Parking Area [SP-22-035]** - Planner: Heather Williams * *Discussion/Action*
Site plan for the Morningside East Trailer Parking Area; Location: 233 East Oak Ridge Drive;; Zoning: HI (Highway Interchange)

OTHER BUSINESS

1. **Annual Report** – Jennifer Kinzer * *Information/Discussion/Action*
2. **Update of Projects Initialized** – Jennifer Kinzer * *Information/Discussion*
3. **Capital Improvements Plan** – Jill Baker * *Information/Discussion*
4. **Comprehensive Plan Update** – Jill Baker * *Information/Discussion*

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, July 10, 2023, 7:00 p.m. – Washington County Planning Commission regular meeting

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



WASHINGTON COUNTY PLANNING COMMISSION
ORDINANCE TEXT AMENDMENT APPLICATION

FOR PLANNING COMMISSION USE ONLY

Rezoning No. _____

Date Filed: _____

Washington County Planning Commission

Applicant

747 Northern Avenue, Hagerstown, MD 21740

Address

Jill Baker, Director

Primary Contact

same

Address

☐ Property Owner ☐ Contract Purchaser

☐ Attorney ☐ Consultant

☒ Other: Planning Commission

240-313-2430

Phone Number

askplanning@washco-md.net

E-mail Address

☐ Adequate Public Facilities Ordinance

☐ Forest Conservation Ordinance

☐ Subdivision Ordinance

☐ Solid Waste Plan

☐ Water and Sewer Plan

☒ Zoning Ordinance

☐ Other _____

Articles 19 & 28A

Section No. _____

Please provide the proposed text on a separate sheet of paper as follows: strike-through should be used for deletions [~~deletions~~], unchanged wording in regular type, and new wording should be underlined [new wording].


Applicant's Signature

Subscribed and sworn before me this _____ day of _____, 20____.

My commission expires on _____

Notary Public

FOR PLANNING COMMISSION USE ONLY

☐ Application Form

☐ Fee Worksheet

☐ Application Fee

☐ Proposed Text Changes

☐ 30 copies of complete Application



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-23-003

March 20, 2023

WASHINGTON COUNTY ZONING ORDINANCE
STAFF REPORT AND ANALYSIS

ARTICLES 19 & 28A

Proposal: Application is being made to amend sections of the Zoning Ordinance related to the location and definition of truck stop uses.

Staff Report:

Electronic commerce (E-commerce) has rapidly expanded in recent years hastened by the social changes brought about by the COVID-19 pandemic. Two primary focus points of e-commerce is having a large supply inventory as well as fast delivery service. This has created increased demand for inventory warehousing, regional distribution facilities, and freight carriers. The focus of this amendment is related to support services necessary to accommodate the needs of truck freight carriers commonly referred to as truck stops or traveler plazas.

As truck freight traffic continues to increase on interstates nationwide, our local interstates are no exception. Increased traffic along with increased regulations on drivers to stop and rest, has developed the need for truck driver amenities and truck parking facilities. Many interstate ramps are currently overrun during peak periods of the day with trucks parked on the shoulders in order to meet their mandatory rest times. Additional opportunities for trucks to get off main routes and out of local residential neighborhoods are needed now and will continue to be in demand.

Proposed Amendments:

ARTICLE 19 "HI" HIGHWAY INTERCHANGE DISTRICT

Section 19.2. Principal Permitted Uses

- (a) All Principal Permitted Uses allowed in the BL, BG, PB, and ORT Districts. Also permitted are all Principal Permitted Uses in the IR District except heliports and Commercial Communications Towers.
- (b) Agriculture, as defined in Article 28A, including animal husbandry facilities, as defined in Article 28A, which shall be subject to the requirements set forth in Article 22, Division IX.

(c) Truck Stops

ARTICLE 28A – DEFINITIONS

~~**Truck Stop:** A structure or land used or intended to be used primarily for the sale of fuel for trucks and, usually long-term truck parking, incidental service or repair of trucks, overnight accommodations, or restaurant facilities open to serve the general public; or a group of facilities consisting of such a use and attendant eating, repair, sleeping or truck parking facilities. As used in this definition, the term “trucks” does not include any vehicle whose maximum gross weight is 10,000 pounds or less, as rated by the State Motor Vehicle Administration.~~

Truck Stop: A facility used to serve the trucking industry by providing a location for rest and refueling. The inherent and allowable uses of a truck stop include separate fuel islands with high flow pumps and areas for truck parking. In addition, truck stops also include service/repair facilities for trucks and/or trailers, on-site shower facilities, on-site laundry facilities, overnight stay accommodations, on-site truck wash, and/or on-site truck scales.

As used in this definition, the term “trucks” does not include any vehicle with a maximum gross weight less than 10,000 pounds, as rated by the State Motor Vehicle Administration. Convenience stores with truck parking in accordance with Section 22.14 are not considered part of this definition.

Analysis:

According to a grant application produced by the Maryland Department of Transportation (MDOT)¹, the Maryland portion of Interstate 81 (I-81) carries an average of 19,400 trucks per day while Interstate 70 (I-70) carries an average of 11,100 trucks per day. According to the report, I-81 alone carries approximately 10% of the gross domestic product of this country equating to about \$1.85 trillion making it one of the most critical freight corridors in the country. This amount of freight movement requires a substantial amount of logistical infrastructure to support the transfer and distribution of these materials.

In addition to the volume of freight movement within our region, other logistical factors play a role in the need for support infrastructure for this industry. According to US Department of Transportation rules, a commercial truck driver may only drive 11 hours straight within a 14-hour period provided they have had 10 consecutive hours off. For long haul carriers, this creates a need for areas where commercial truck drivers can safely pull off the road and rest.

Geography plays a significant role in the heightened interest to locate truck stops within Washington County. There are numerous ports along the eastern seaboard that accept incoming freight delivery with the bulk of the calls coming into mid-Atlantic ports including New York/New Jersey, Baltimore, Philadelphia, and the ports of Virginia (Norfolk and Newport News). Figure 1 below shows the importance of the interstate system in the commodity flow of freight throughout the country. This is also known as a Freight Analysis Framework. As shown in the Figure, Maryland and Pennsylvania have a significant amount of freight traffic coming from eastern seaports travelling through the area for inland distribution.

(Maryland Department of Transportation, 2018)

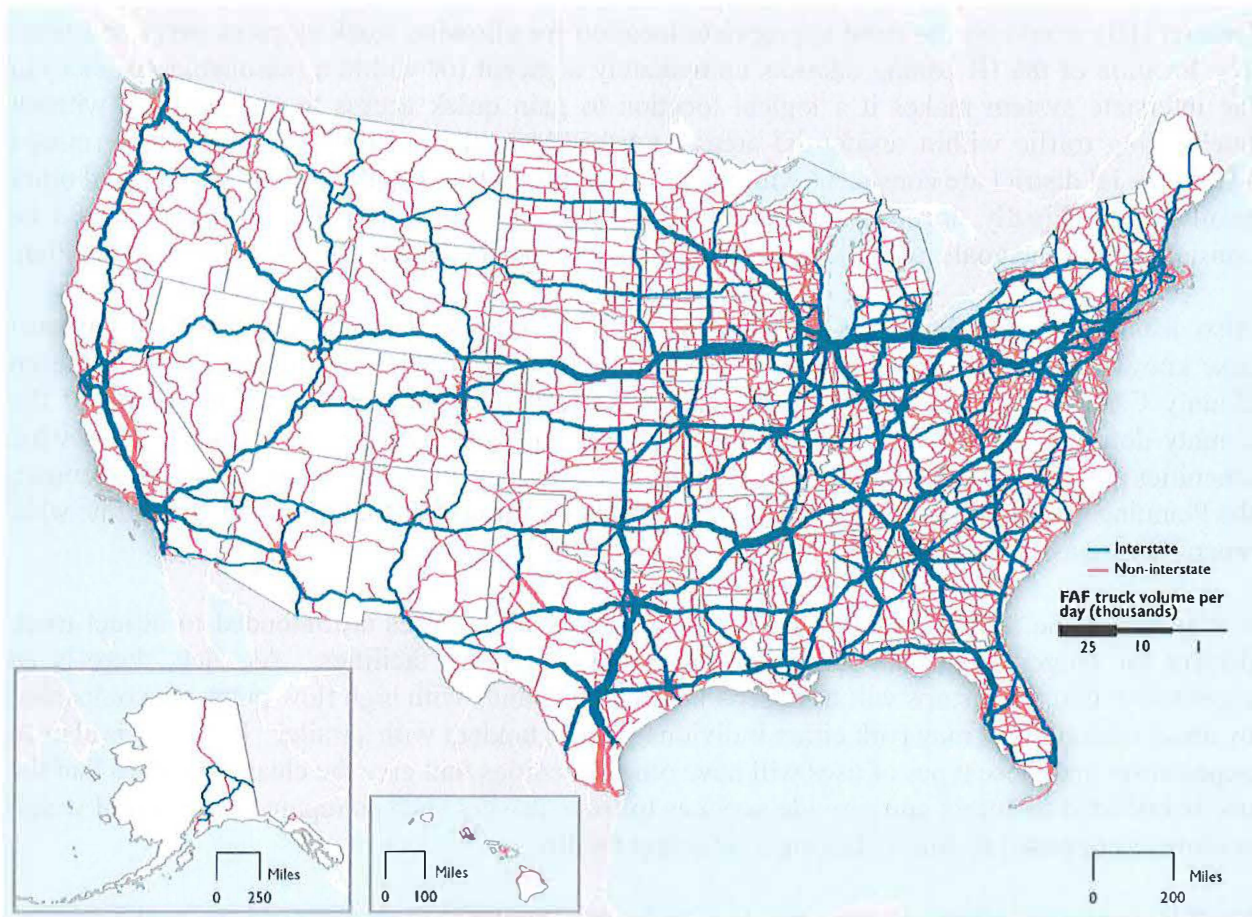


Figure 1: Average Daily Long-Haul Truck Traffic on the National Highway System: 2015 (Source: Bureau of Transportation Statistics, Freight Facts and Figures Figure 3-4)

Another significant factor in drawing this industry to our area is the highway infrastructure. Washington County contains three interstate systems within our small geographic area. As we have already established, I-81 provides a crucial north-south oriented highway that carries a significant amount of freight traffic. In addition, I-70 provides a significant east-west oriented travel route that is increasing in this average daily traffic flows as well. Interstate 68 (I-68) west of Hancock provides a key connection through the Appalachian region of the country and assists with inland distribution to the mid-west. Washington County also consists of several significant Federal non-interstate routes including US 11, 40, and 522. These provide alternate routes of travel throughout our region which are also seeing higher rates of truck traffic than in the past.

All these factors have created an area of high demand for logistical and support services in our area. As a consequence to our prime freight movement location, the demand for uses such as truck stops has become more prevalent. This demand has in turn raised concerns about traffic congestion, pollution, and other safety concerns within the community.

When evaluating these concerns, the Planning Commission discussed appropriate locations for these types of uses as they relate to public concern and the goals and objectives of the Comprehensive Plan. After careful consideration it was determined that the Highway Interchange

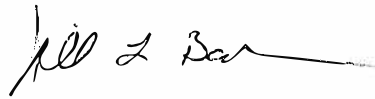
District (HI) would be the most appropriate location for allowing truck stops as permitted uses. The location of the HI zoning districts immediately adjacent (or within a reasonable distance) to the interstate system makes it a logical location to gain quick access to the highway without interrupting traffic within residential areas. Furthermore, the existing uses that are permitted within the HI district are consistent with the functionality of truck stops (i.e. gas stations and other retail sales). Finally, locating truck stops as a permitted use within the HI district would be consistent with the goals and objectives of the transportation element of the Comprehensive Plan.

Also discussed by the Planning Commission was the definition of a truck stop. A previous court case known as Bowman Spielman LLC v. Jane Hershey et. Al. (Circuit Court for Washington County Case No. C-21-CV-18-000377) recently called into question the interpretation of the County definition of a truck stop. The judge found ambiguity within the definition as to what amenities associated with such a use would define it as a truck stop. In response to this judgement, the Planning Commission is proposing to amend the definition of a truck stop to better define what amenities are associated with this type of use.

The intent of the proposed definition is to clarify when such uses are intended to attract truck drivers for longer stays than those that are simply refueling facilities. As such, there is an expectation that truck stops will have separate fueling islands with high flow pumps accompanied by areas where trucks may park either individually or in tandem with a trailer. But there is also an expectation that these types of uses will have other amenities that give the clear indication that the use is intended to attract and provide services to truck drivers such as repair facilities and weigh stations, as opposed to simply having a refueling facility.

Staff Recommendation: Based upon feedback and comments from other government agencies, developers, property owners, and the general public, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Jill L. Baker", with a long horizontal flourish extending to the right.

Jill L. Baker, AICP
Director



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-23-001

May 1, 2023

WASHINGTON COUNTY ZONING ORDINANCE
STAFF REPORT AND ANALYSIS – Revision 1

ARTICLES 7, 8, 9, 10, 11, 12, 22, 28A

Proposal: Application is being made to amend several sections of the Zoning Ordinance to change the definition of a convenience store (aka C-Store), provide districts in which said use shall be permitted and provide options for tractor trailer/heavy duty truck parking facilities at these types of facilities.

Staff Report: According to the National Association of Convenience Stores (NACS) there are approximately 150,174 convenience stores operating in the US as of January 2023. After several years of stores closing due to the restrictions of COVID-19, C-Stores are again increasing in number. The necessity and demand for this industry is illustrated in its title, convenience.

Convenience from these types of facilities can be present at both the local and regional level. Local patrons use convenience stores mostly for fueling purposes. There are few facilities that exist as merely a stand-alone fueling station at this time. In addition to being used for fueling facilities, many convenience stores carry minimal household supplies and basic food needs such as bread, eggs and milk.

Regional convenience is mostly provided to interstate highway users travelling to or through the area. C-stores provide the convenience of a fueling center as well as providing restrooms, pre-packaged foods, and drinks so that travelers can rest and refresh before continuing on their journey.

In addition to changes in the definition of these uses, the Planning Commission has recognized a growing need and demand for truck parking facilities at some of these C-store locations. Similar to automobile traveling, truck drivers also need fast on and off facilities to maintain their delivery times. Parking for trucks at these facilities provides opportunities for truck drivers to quickly fuel up, use a restroom, and possibly get some food before getting back on the highway.

Proposed Amendments:

Below are the proposed text amendments for this rezoning case.

ARTICLE 7 “RT” RESIDENTIAL, RURAL DISTRICT

Section 7A.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

~~The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.~~

ARTICLE 8 “RS” RESIDENTIAL, SUBURBAN DISTRICT

Section 8.7 Parking Requirements

(a) Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

~~(b) The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.~~

ARTICLE 9 “RU” RESIDENTIAL, URBAN DISTRICT

Section 9.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

~~The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.~~

ARTICLE 10 “RM” RESIDENTIAL, MULTI-FAMILY DISTRICT

Section 10.7 Design Standards

(h) Parking requirements Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable in compliance with Washington County's adopted Road and Street Design Standards.

~~The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.~~

ARTICLE 11 "BL" BUSINESS, LOCAL DISTRICT

Section 11.1 Principal Permitted Uses

(a) Local retail goods and service shops, including:

Clothing stores

Convenience Stores

Dairy Products Stores

ARTICLE 12 “BG” BUSINESS, GENERAL DISTRICT

Section 12.1 Principal Permitted Uses

(a) Retail trades, businesses and services, including but not limited to the following and any use permitted in the BL District, subject to the use regulations specified in that district.

Conference Centers

Convenience Stores

Department Stores

ARTICLE 22 SPECIAL PROVISIONS

DIVISION I OFF-STREET PARKING AND LOADING AREA REQUIREMENTS

Section 22.15 Truck Parking Requirements

- (a) Parking of tractor-trailers, either separately or in tandem, shall be prohibited on publicly owned County streets unless expressly approved as an on-street parking space for trucks.
- (b) Truck parking is permitted in association with a convenience store in accordance with the following:
 - 1. The maximum allowable number of truck parking spaces cannot exceed 3.5 spaces per 500 sq. ft. of the gross leasable area of the convenience store.
 - 2. Truck parking facilities shall maintain an independent internal circulation pattern on the site apart from normal automobile traffic. This provision does not pertain to immediate access to the property which may be shared by both truck and automobile traffic.
 - 3. Truck parking facilities may not be permitted in association with a convenience store in a Rural Business district.

ARTICLE 28A - DEFINITIONS

Convenience Store (aka C-Store): Any retail establishment offering for sale: prepackaged or pre-processed food products, household items, and other goods commonly associated with the same ~~and having a gross floor area of 5,000 square feet or less.~~ Such establishments may also sell gasoline petroleum products and/or alternative fueling products at retail prices and made to order food associated with the marketing of the proprietor. Chain or branded restaurants shall be considered a separate use from the convenience store. ~~The area utilized for the sale of gasoline shall be considered as part of the gross floor area.~~

Analysis:

The size of convenience stores has changed significantly over the last decade. According to the National Association of Convenience Stores (NACS), traditional C-stores averaged between 2500-3000 square feet in size. They provided very basic necessities to the traveling public including fueling stations, restrooms, household items, and some pre-packaged food item. Currently, the average size of a new C-Store is averaging about 5000-6000 square feet. The reason for the larger sized stores primarily results from new service models where food made fresh options and in-store dining areas are offered. The increase in C-Store sizes can likely also be attributed to the overall increase of population and vehicular traffic across the country.

Acknowledging these new trends in the size and function of C-store operations, the current definition of a convenience store in the Zoning Ordinance is outdated and overly restrictive. Further, the use designation of a convenience store is only listed explicitly in the Rural Business Floating Zone. To correct the issue of an outdated definition, the Planning Commission is recommending changes to include eliminating a size limitation of such a structure. They are also recommending explicit inclusion of these types of uses in the Business Local and Business General zoning districts.

In addition, the Planning Commission believes that there is a significant demand and corresponding need to allow for limited truck parking for C-Store uses. Increases in population, traffic, and freight demands have created an increased demand for expedient freight and goods movement that has proportionally impacted the amount of truck traffic nationwide. These trends have impacted the demand for truck parking facilities as a consequence.

Finally, while the Comprehensive Plan is silent about specific design standards or locations of these types of uses, the importance of the interstate system to the economy of our County and the nation as a whole is discussed within the Transportation Element. It can be deduced from the discussion of the importance of maintaining our transportation facilities that we should also prepare for ancillary uses that provide support to that industry.

Staff Recommendation: Based upon the above analysis, previous public input, and Planning Commission discussions, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jill L. Baker", with a stylized flourish at the end.

Jill L. Baker, AICP
Director

PRELIMINARY CONSULTATION
PC-23-001 – DIVERSIFIED CAPITAL-MARTIN PROPERTY

A preliminary consultation was held on April 26, 2023 at 10 a.m. in the Washington County Administrative Annex at 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for a proposed warehouse at 12440 Burkholder Lane. The property is currently zoned PI – Planned Industrial.

The following were in attendance: Jennifer Kinzer, Deputy Director; Meghan Jenkins, GIS Coordinator/Historic District Commission staff person; Scott Stotelmyer and Heather Williams, planners; Travis Allen, Comprehensive Planner; Adam Tresler, GIS Technician; and Debra Eckard, Administrative Assistant, Washington County Department of Planning & Zoning; Rebecca Calimer, Chief of Plan Review, Washington County Division of Engineering; Karen Flook and Anthony Mace, Washington County Division of Environmental Management; Allan Kujenga, MD State Highway Administration Access Permits; Kimmy Armstrong, Washington County Health Department; and Connor McManus, Dynamic Engineering.

Washington County Health Department

Ms. Armstrong noted that because there is public water and sewer, allocation forms will be required for this project. She explained that the Health Department needs to know where the lines are coming from because anyone along the line will be required to connect to the public service lines. Mr. McManus stated that the North Pointe Development to the south has public water and sewer service stemming off the private road, which will be extended and later dedicated to the County as a public road. Ms. Armstrong stated that the farm will also be required to connect to public water and sewer.

Washington County Department of Planning & Zoning

- **Forest Conservation**

Mr. Allen began by asking if the property would remain as one parcel. Mr. McManus stated that the property would be purchased as one parcel then subdivided with the farm being sold back to Mr. Martin who wishes to continue farming operations. Mr. Allen explained that providing forest mitigation for two land uses on the same parcel would be problematic so a subdivision would simplify the project's mitigation requirements. He also noted that a Forest Stand Delineation has already been submitted and is under review; with a forest stand having already been cleared by the landowner. He stated there could be an exemption for Mr. Martin's lot using the Real Estate Transfer process and any activities regulated under agricultural uses would not have to be considered for Forest Conservation mitigation if the lot was subdivided off.

- **Historic**

Ms. Jenkins noted that the developer should retain a landscaping buffer around the historic structure. When the property is subdivided, the owner should consider and is encouraged to have the Historic Preservation (HP) overlay applied to the property. The HP overlay allows for some additional lots and provides design review for exterior changes.

Mr. Allen added that preserving existing forest on site would simplify the project's obligation to meeting forest conservation requirements. Forest conservation planting easements to buffer the historic structure

would need to be at least a half-acre in size. Therefore, buffering of the historic structure might be more easily done through landscaping requirements under the Zoning Ordinance.

- **Addressing**

Mr. Tresler stated that naming of the proposed road and addressing will be handled during the subdivision or site plan phase of the project.

- **Land Development**

Mr. Stotelmyer reminded the consultant that the subdivision plat should be submitted with the site plan. If the developer is requesting a parking waiver, that would need to go before the Board of Appeals. He also stated that all residential properties should be screened from the warehouse.

Washington County Engineering Department

Ms. Calimer explained that the proposed road cannot terminate at the building. There must be a connection to the north property line as well as to the west. There was a brief discussion regarding the road extending from the North Pointe development and when the County will accept dedication of that road. The floodplain crossing will be reviewed during the site plan process. A Washington County Flood Plain Permit as well as an MDE Waterways Permit will be required. Because the crossing will be for the public road, it will need to be designed appropriately.

Washington County Division of Environmental Management

Mr. Mace stated that the developer will be responsible for paying any costs associated with extending the main line including, but not limited to, the cost of design, easements and inspections. Ms. Flook also noted that the developer must pay the allocation connection fee per EDU plus \$1,000 per EDU or per acre, whichever is greater, because this is going to the Cedar Springs area.

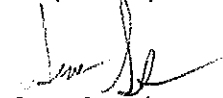
MD State Highway Administration

Mr. Kujenka stated that the Traffic Impact Study is currently under review. There are no other comments at this time.

Closing Comments

All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,



Scott Stotelmyer, Planner
Washington County Department of
Planning & Zoning



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

PRELIMINARY CONSULTATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: 12440 Burkholder Lane - Martin Property
NUMBER.....: PC-23-001

OWNER.....: MARTIN LAWAYNE A & MARTIN MARGARET J
LOCATION.....: 12440 BURKHOLDER Lane
HAGERSTOWN, MD 21740
DESCRIPTION.....: Application is for the associated preliminary consultation and SWCP associated with the development of the Burkholder property. The intent of the development is to build an access road that ties into the road section currently under construction at the North point development directly to the south. The access road will tie to the north end of the parcel where an industrial warehouse is being proposed for construction (less than 1 M SF in square footage). Several ESD devices are being proposed for ESD treatment of the site, along with a wet pond for additional treatment of impervious area, storage and safe conveyance of the 100-year storm.

ZONING.....: Planned Industrial
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 24000583
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 24

TYPE.....: Industrial
GROSS ACRES.....: 241.63
DWELLING UNITS.....: 0
TOTAL LOTS.....: 3
DENSITY.....: 0 Units Per Acre

PLANNER.....: Scott A Stotemyer
ENGINEER.....: DYNAMIC ENGINEERING
RECEIVED.....: March 17, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: Yes
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: I336
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

Staff Comments:
SCHOOL DISTRICT
Not Applicable
PUPIL YIELD

ELEMENTARY
Maugansville

MIDDLE
Springfield

HIGH
Williamsport



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

CURRENT ENROLLMENT

960

MAXIMUM CAPACITY

1094

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:

MAUGANSVILLE

AMBULANCE DISTRICT.....:

WILLIAMSPORT

WATER & SEWER INFORMATION

WATER

SEWER

METHOD.....:

City

County

SERVICE AREA.....:

City

County

PRIORITY.....:

5-Long Term Planned Service

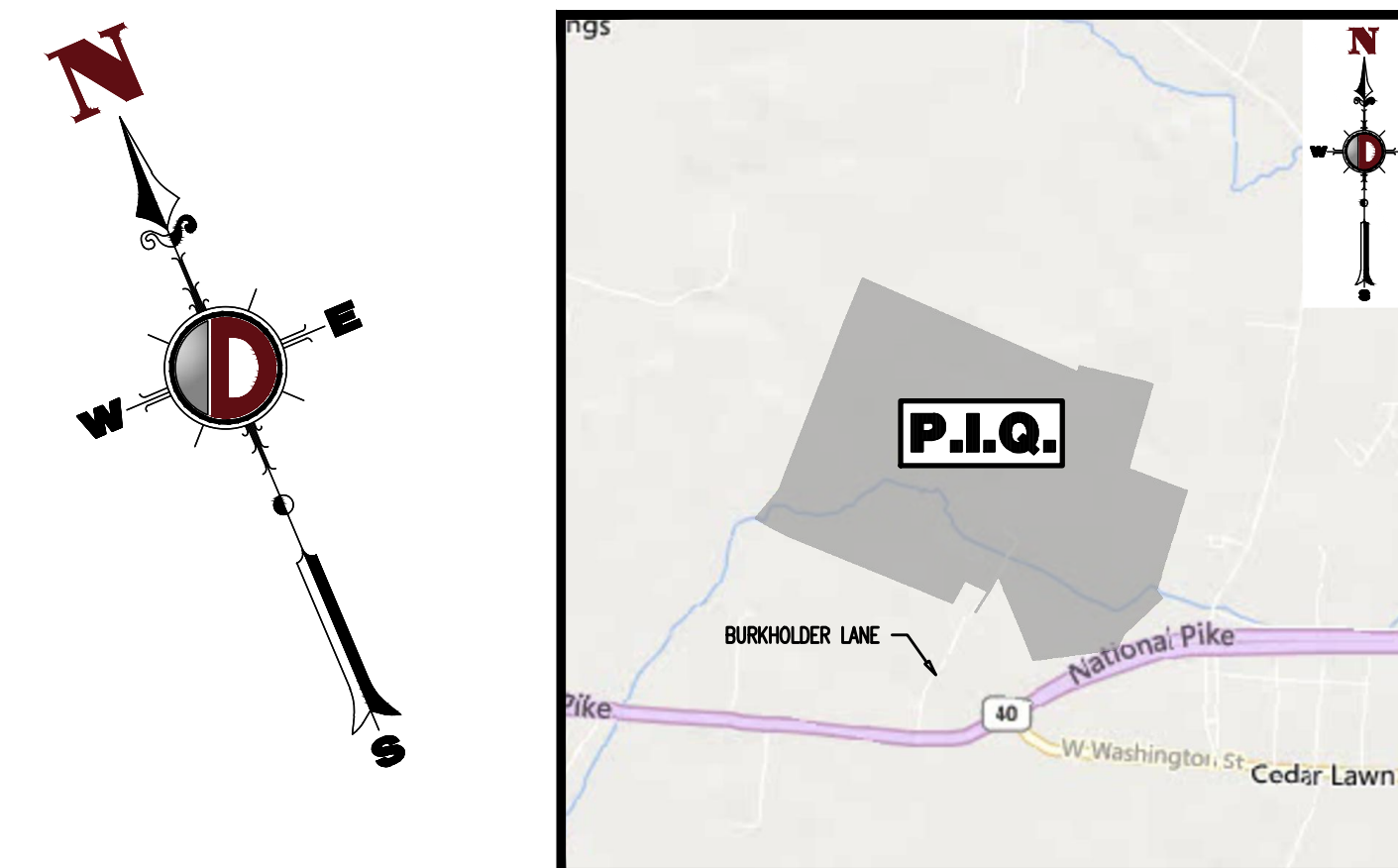
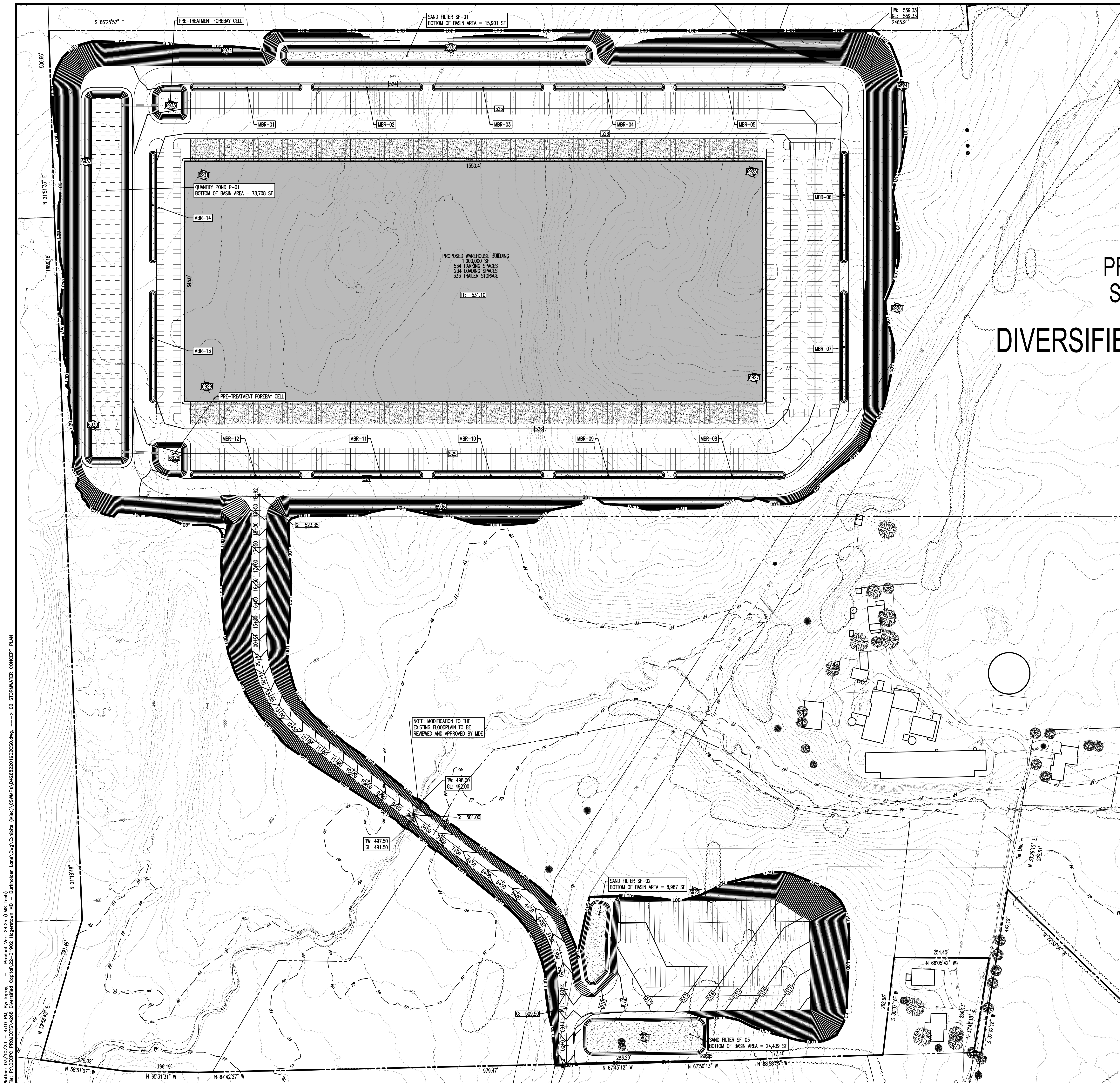
5-Long Term Planned Service

NEW HYDRANTS.....:

GALLONS PER DAY SEWAGE...:

PLANT INFO.....:

Conococheague



VICINITY MAP
1" = 2000'



PRELIMINARY CONSULTATION & STORMWATER CONCEPT PLAN FOR DIVERSIFIED CAPITAL - MARTIN PROPERTY

ADJACENT TO BURKHOLDER LANE
NORTH OF US ROUTE 40
WASHINGTON COUNTY, MARYLAND

NOTES

- 1) STEEP SLOPES AND HIGHLY ERODIBLE SOILS ARE PRESENT ON THE SITE
- 2) 100-YR FLOOD FLOODPLAIN ZONE A COMMUNITY PANEL NO. 24043C00118D & 24043C00120D EXISTS ON THE SOUTH PORTION OF THE SITE, AS WELL AS EXISTING TRENDS TO THE SOUTH AND WEST OF THE PARCEL.
- 3) WA-1-336 - KERSHNER-BURKHOLDER FARM - IS LOCATED CENTRALLY ON THE SITE BUT IS NOT TO BE IMPACTED BY THE PROPOSED WORK.
- 4) CULTIVATED AREAS MAY BE PRESENT ON THE SITE.

LEGEND

LOD

LIMIT OF DISTURBANCE

EXISTING TRENCHES

SOIL BOUNDARY

SOIL LABEL

SOIL BORINGS

FP

FLOOD PLANE

STREAM

PROPOSED CONTOURS

PROPOSED SAND FILTER
BASIN BOTTOM

PROPOSED PRE-TREATMENT
FOREBAY CELL

PROPOSED QUANTITY POND
BASIN BOTTOM

PROPOSED SUBDIVISION LINE

OWNER:

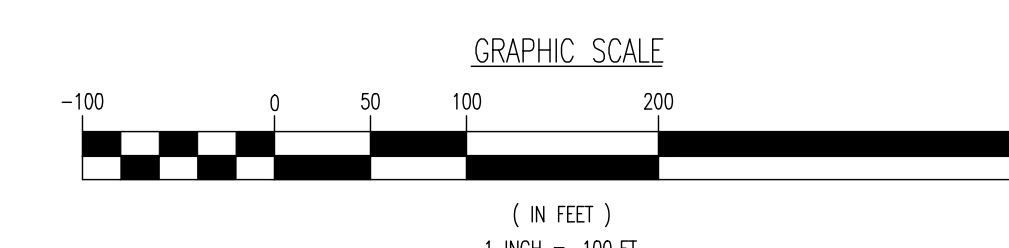
LAWYNE A. MARTIN & MARGARET J. MART
12440 BURKHOLDER LANE
WASHINGTON COUNTY, MARYLAND

DEVELOPER:

DIVERSIFIED CAPITAL
1125 OCEAN AVENUE
LAKEWOOD, NJ 08701

SITE DATA:

<p>1X MAP / PARCEL - 0036 / 0013</p> <p>ELECTION DISTRICT - 24</p> <p>INFLU / FOLIO - 5081 / 234</p> <p>PARCEL AREA - 241,648 ACRES</p> <p>DISTURBED AREA - 79.96 ACRES</p> <p>UNCLERED INTERVIEW AREA - 0.00 ACRES</p> <p>PROPOSED INTERVIEW AREA - 51.23 ACRES</p> <p>PE (PROPOSED) - 1.86 IN</p> <p>WQV REQUIRED - 182,123 Cu. Ft.</p> <p>TARGET ESD - 339,009 Cu. Ft.</p> <p>WQV & ESD TO BE MET THROUGH USE OF ON-SITE MICRO BORE DRAINAGE SYSTEMS AND SAND FILTERS</p> <p>REMARKS: (SEE COMMENTS TO PROJECT DEVELOPER AND FIELD AND LAB REPORTS FOR THE SITE)</p>	<p>FOREST CONSERVATION - 23.62 ACRES</p> <p>REQUIREMENT - 23.62 ACRES</p> <p>TO BE PROVIDED - 1.0 AC RETENTION / 23.0 AC OFF-SITE CONSERVATION EQUIVALENT</p> <p>WATER / SEWER - CITY OF HAGERSTOWN</p> <p>WATERSHED - NAME/NUMBER</p> <p>FLOODPLAIN - YES; ZONE A, PARCEL NO. 24543020180 & 24543010200</p> <p>ZONING - PL - PLANNED INDUSTRIAL</p> <p>PARKING</p> <p>REQUIRED - 673 SPACES (1 PER 1500 SF GFA)</p> <p>PROVIDED - 534 SPACES (WATER REQUIRED)</p> <p>MINIMUM BUILDING VESTIBULES:</p> <p>FRONT - 150 FT</p> <p>SIZE - 75 FT</p> <p>DEPT - 25 FT</p> <p>PROPOSED USE - WAREHOUSE (PERMITTED)</p>
---	--



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

[illegible]

PP-22-001

- Presented is a preliminary Plat for Potomac Overlook Subdivision
- The site is located off Keep Tryst Rd. in Knoxville
- Proposed is a 7 lot subdivision ranging from 0.39 acres to 14.89 acres
- There will be one access point from Sandy Hook Road
- Water proved by well and septic
- Proposed 8.97 acres on site forest retention
- OM-22-004 previously approved to allow lots without road frontage
- All agency approvals received



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

PRELIMINARY PLAT STAFF REPORT

BASE INFORMATION

SITE NAME.....: Potomac Overlook
NUMBER.....: PP-22-001

OWNER.....: P OVERLOOK LLLP
LOCATION.....: Keep Tryst Rd Knoxville MD 21758
DESCRIPTION.....: Preliminary Plat Potomac Overlook Subdivision

ZONING.....: Rural Village
COMP PLAN LU.....: Environmental Conservation
PARCEL.....: 11007872
PLANNING SECTOR.....: 3
ELECTION DISTRICT.....: 11

TYPE.....:
GROSS ACRES.....: 23.71
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....: Scott A Stotemyer
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: June 16, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: None
WATERSHED.....: Potomac River FR Cnty
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Staff Comments:		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

SCHOOL INFORMATION



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Pleasant Valley	Boonsboro	Boonsboro
PUPIL YIELD			
CURRENT ENROLLMENT	825		
MAXIMUM CAPACITY	1098		
PUBLIC FACILITIES INFORMATION			
FIRE DISTRICT.....:	POTOMAC VAL		
AMBULANCE DISTRICT.....:	BOONSBORO		
WATER & SEWER INFORMATION			
	WATER	SEWER	
METHOD.....:	County	No Provider	
SERVICE AREA.....:	County	No Provider	
PRIORITY.....:	1-Existing Service	7-No Planned Service-Septic	
NEW HYDRANTS.....:			
GALLONS PER DAY SEWAGE....:			
PLANT INFO.....:		None	

THIS PROJECT IS BEING DESIGNED TO MEET MARYLAND STORMWATER ACT OF 2007 WHICH SUPPLEMENTS THE ORIGINAL 2000 MARYLAND DESIGN MANUAL. ENVIRONMENTAL SITE DESIGN (ESD) TECHNIQUES MUST NOW BE PROVIDED THROUGH STRUCTURAL AND NON-STRUCTURAL PRACTICES AT THE SOURCE TO THE MAXIMUM EXTENT PRACTICAL (MEP).

STORMWATER QUANTITY CONTROL, WQV, AND ESD, HAVE BEEN ADDRESSED FOR THE ROADWAYS AND LIMITS OF DISTURBANCE PROPOSED AS PART OF THIS PLAN. STORMWATER MANAGEMENT FOR EACH INDIVIDUAL LOT WILL BE ADDRESSED AT THE TIME OF DEVELOPMENT THROUGH SEPARATE STANDARD GRADING PLAN/ STANDARD STORMWATER MANAGEMENT PLAN REVIEW.

THIS PARCEL IS AFFECTED BY THE 100-YR FLOODPLAIN PER FEMA MAP 24043C0455D EFFECTIVE DATE 8/15/17. A PORTION OF THE SITE IS IN ZONE 'C'. STEEP SLOPES ARE AS SHOWN. NO STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE ARE WITHIN THE DISTURBED AREA PER 50 CFR 17.

1. TOPOGRAPHY SHOWN HEREON IS FROM FIELD SURVEYS BY FOX & ASSOCIATES, INC. DATUM IS N.A.V.D. 88 AND WASHINGTON COUNTY GIS TOPOGRAPHIC MAPS.
2. POTOMAC RIVER FREDERICK COUNTY (MARYLAND 8-DIGIT WATERSHED CODE 02140301).
3. THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY (NWI) MAPPER DOES IDENTIFY WETLAND HABITAT ON THE SITE.
4. AREAS OF STEEP SLOPES ARE AS SHOWN.
5. THE WASHINGTON COUNTY SOIL SURVEY, MAP 55, ISSUED 2002, IDENTIFIES TWO THREE DOT STREAMS ON THE SUBJECT SITE.
6. THERE NO HUMAN BURIAL SITES KNOWN TO EXIST OR BELIEVED TO EXIST ON THIS PARCEL.

1. NO SURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
2. EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS AND/OR ANY SHAKES OR OTHER DAMAGES. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
4. THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING. IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT, ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT--OF-WAYS.
6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE WASHINGTON COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE LATEST EDITION OF WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS, THE WASHINGTON COUNTY PLUMBING CODE, THE TOWN OF FUNKSTOWN WATER & SEWER DEPARTMENT PROCEDURES AND REGULATIONS, AND THE STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION BOOK OF STANDARDS.
7. ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS AND CONSTRUCTION AT 240-313-2480 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
10. A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT MEETING ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-297-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
11. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNRECORDED DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
12. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
13. NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
14. PUBLIC UTILITY EASEMENTS ARE TO BE GRANTED 10' ALONG FRONT PROPERTY LINES AND 8' ALONG SIDE AND REAR PROPERTY LINES.
15. A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
16. AN ENTRANCE PERMIT AND DRIVEWAY ENTRANCE BOND WILL BE REQUIRED FOR ALL ACCESS ON A COUNTY ROAD PRIOR TO ISSUANCE OF THE GRADING PERMIT FOR THIS DEVELOPMENT.
17. A MAINTENANCE AGREEMENT BETWEEN ALL LANDOWNERS WILL BE REQUIRED FOR THE LONG TERM MAINTENANCE OF THE SHARED DRIVEWAY, UTILITIES, AND STORMWATER MANAGEMENT.

DATE:	REVISION:

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com

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Est. 1966

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OWNER/DEVELOPER
P OVERLOOK, LLLP.
1125 SOUTH CARROLL STREET, SUITE 150
FREDERICK, MD 21701
(301) 696-0900

VICINITY MAP
 SCALE: 1" = 2000'
 TAX MAP 304 PARCEL 1321
 COPYRIGHT AND THE MAP PEOPLE PERMIT USE NUMBER 21004221

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.95 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY

11,261	C.Y. OF EXCAVATION AND	11,144	C.Y. OF FILL
--------	------------------------	--------	--------------

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND.

MICHAEL H SHIFLER LICENSE No. 13806 EXPIRATION DATE 2/6/202
NAME

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH
LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS
FOR SOIL EROSION AND SEDIMENT CONTROL.

2-16-23 13806 *Mark Shy*
DATE REF. NO. SIGNATURE

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE _____ PRINTED NAME _____ SIGNATURE _____

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE _____ PRINTED NAME _____ SIGNATURE _____

BY: _____
DATE: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

SIGNATURE _____ DATE: _____

LICENSE No.: EXP. DATE:

SHEET 1 OF 12
FOX DRWG. # D-6719
ISSUE DATE: JUNE, 2022
PP-22-001

COVER SHEET.....	1
EXISTING CONDITIONS PLAN.....	2
PRELIMINARY PLAN.....	3
OVERALL SITE / GRADING PLAN.....	4
GRADING / SEISC PLAN.....	5
GRADING / SEISC NOTES & DETAILS.....	6
UTILITY PROFILES & DETAILS.....	7-8
UTILITY DETAILS.....	9-10
FOREST CONSERVATION PLAN.....	11
FOREST CONSERVATION NOTES & DETAILS.....	12

LOCATION MAP
SCALE: 1" = 200'

[illegible]

SOIL DATA

SYMBOL	DESCRIPTION	'K' FACTOR	HYDROLOGIC GROUP
CcD	HAGERSTOWN-ROCK OUTCROP COMPLEX, 3 TO 8 PERCENT SLOPES	0.32	B
MkB	MT. ZION GRAVELLY SILT LOAM, 3 TO 8 PERCENT SLOPES	0.37	C
MvC	MT. ZION GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES	0.37	B
MvB	MYERSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.49	B
MvC	MYERSVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.49	B
Ref	RAVENROCK-HIGHFIELD-ROCK OUTCROP COMPLEX, 25 TO 65 PERCENT SLOPES	0.28	B

- NOTES:
1. THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY DOES NOT LIST ANY OF THESE SOILS AS "KARST LANDSCAPE" SOILS.
 2. SOILS SHOWN HEREON WITH A SLOPE GREATER THAN 15% AND/OR A 'K' FACTOR GREATER THAN 0.35 AND A SLOPE GREATER THAN 5% ARE IDENTIFIED AS "HIGHLY ERODIBLE SOILS".



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Drawn By

Revision

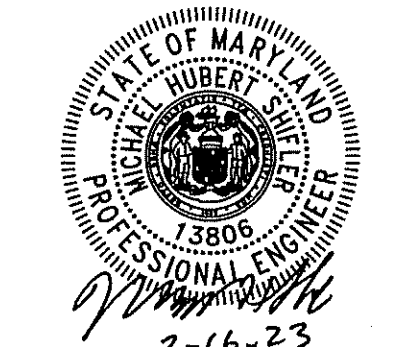
Date

**EXISTING CONDITIONS PLAN
POTOMAC OVERLOOK**

T.M. 87, P. 10

SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 13805 EXP. DATE: 2/6/24

PROJECT NO.: 20-51074

DRAWING NO.: D-6719

DATE: JUNE, 2022

DRAWN BY: DCM

CHECKED BY: CER

SHEET 2 OF 12

PP-22-001

TAX MAP / PARCEL.....87/10

ELECTION DISTRICT.....J1
ZONING.....RV (RURAL VILLAGE)
TOTAL ACREAGE.....24.11
DEED REFERENCE.....2246/483
EXISTING USE.....VACANT

PROPOSED USE.....6 SINGLE FAMILY LOTS AND A REMAINDER
PROPOSED SETBACKS.....FRONT: 25'
 SIDE: 0'
 REAR: 25'

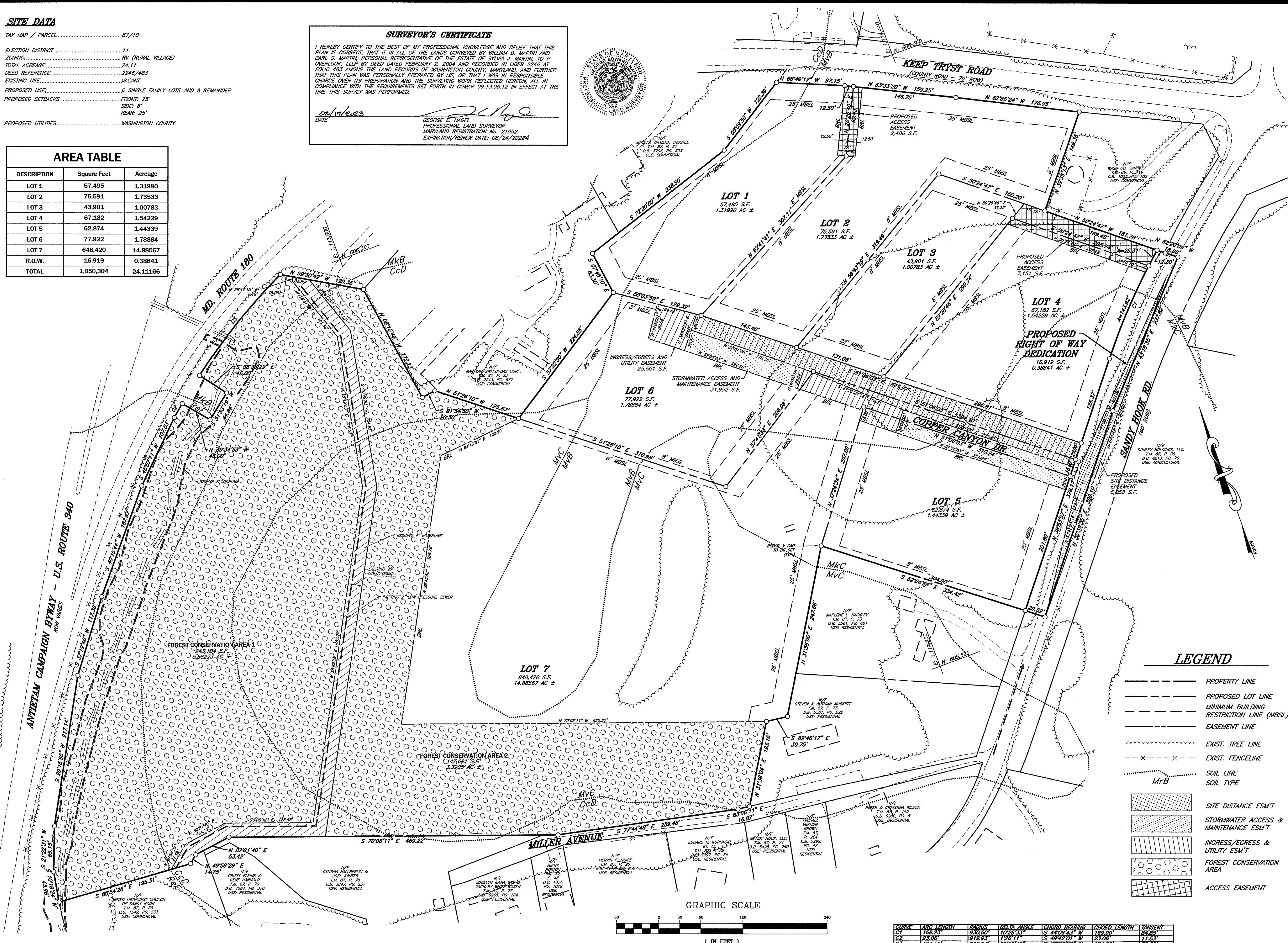
PROPOSED UTILITIES.....WASHINGTON COUNTY

DESCRIPTION	Square Feet	Acreage
LOT 1	57,495	1.31990
LOT 2	75,591	1.73533
LOT 3	43,901	1.00783
LOT 4	67,182	1.54229
LOT 5	62,874	1.44339
LOT 6	77,922	1.78884
LOT 7	648,420	14.88567
R.O.W.	16,190	0.38841
TOTAL	1,050,304	24.11166

HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS PLAN IS CORRECT; THAT IT IS ALL OF THE LANDS CONVEYED BY WILLIAM D. MARTIN AND CARL S. MARTIN, PERSONAL REPRESENTATIVE OF THE ESTATE OF SYLVIA J. MARTIN, TO P. OVERLOOK, LLP BY DEED DATED FEBRUARY 2, 2004 AND RECORDED IN LIBR 2246 AT FOLIO 483 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND, AND FURTHER THAT THIS PLAN WAS PERSONALLY PREPARED BY ME, OR THAT I WAS IN RESPONSIBLE CHARGE OVER AND ABOVE THE SURVEYING WORK REFLECTED HEREON, ALL IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN COMAR 09.13.06.12 IN EFFECT AT THE TIME THIS SURVEY WAS PERFORMED.

DATE: 02/17/2023

GEORGE E. NAGEL
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION No. 21052
EXPIRATION/RENEW DATE: 08/24/2022



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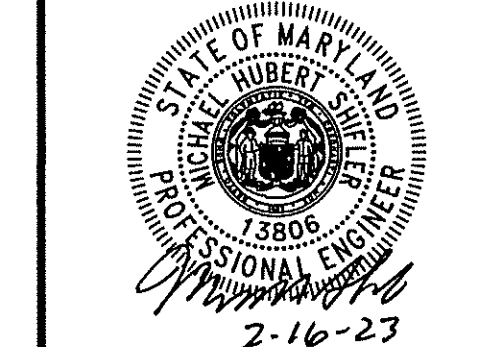
981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
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OR (301) 416-7280
FAX: (301) 733-1853

82 WORMANS MILL COURT
SUITE "C"
FREDERICK, MD. 21701
PHONE: (301) 895-0880
FAX: (301) 293-6009

2nd	1st	3rd
1st	2nd	3rd
3rd	2nd	1st

PRELIMINARY PLAT
POTOMAC OVERLOOK
T.M. 87, P. 10

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 13806 EXP. DATE: 2/6/2

PROJECT NO. 20-51074
DRAWING NO. D-6719
DATE: JUNE, 2022
DRAWN BY: DCM
CHECKED BY: CER

SHEET 3 OF 12

SITE DATA

TAX MAP / PARCEL.....87/10
ELECTION DISTRICT.....11
ZONING.....RV (RURAL VILLAGE)
TOTAL ACREAGE.....24.11
DEED REFERENCE.....2246/483
EXISTING USE.....VACANT
PROPOSED USE.....6 SINGLE FAMILY LOTS AND A REMAINDER
PROPOSED SETBACKS.....FRONT: 25'
SIDE: 8'
REAR: 25'
PROPOSED UTILITIES.....WASHINGTON COUNTY

NOTES
1. VERTICAL DATUM NAV88
2. SURVEY COMPLETED BY FOX & ASSOCIATES, INC. ON 1-28-21 & 6-21-21

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DRAWN BY

REVISION

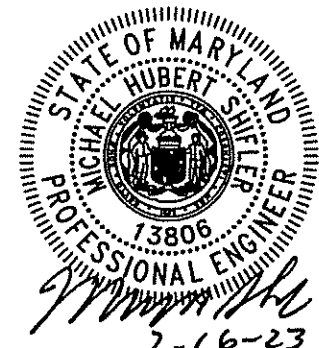
DATE

OVERALL SITE / GRADING PLAN
POTOMAC OVERLOOK

T.M. 87, P. 10

SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=60'



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 133026 EXP. DATE: 2/6/24

PROJECT NO. 20-51074

DRAWING NO. D-6719

DATE: JUNE, 2022

DRAWN BY: DCM

CHECKED BY: CER

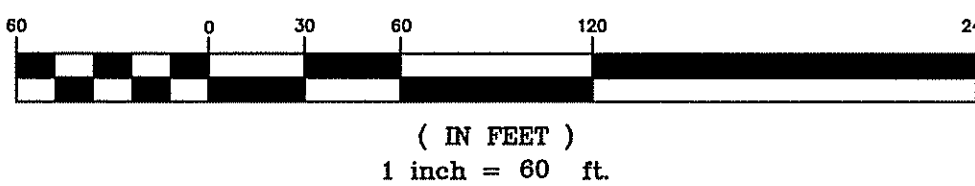
SHEET 4 OF 12



LEGEND

- PROPERTY LINE
- PROPOSED LOT LINE
- MINIMUM BUILDING RESTRICTION LINE (MBRL)
- EASEMENT LINE
- EXIST. TREE LINE
- EXIST. FENCELINE
- SOIL LINE
- SOIL TYPE
- MrB
- SITE DISTANCE ESM'T
- STORMWATER ACCESS & MAINTENANCE ESM'T
- INGRESS/EGRESS & UTILITY ESM'T
- FOREST CONSERVATION AREA
- ACCESS EASEMENT
- STEEP SLOPES 15%-25%
- STEEP SLOPES >25%

GRAPHIC SCALE

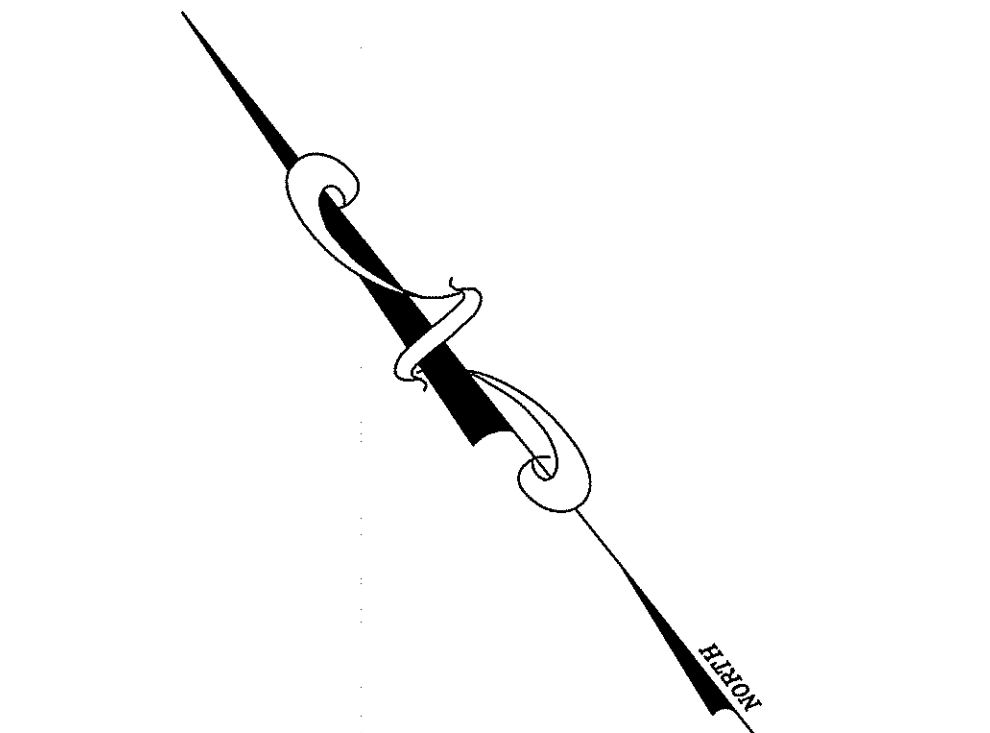


PP-22-001

SESC LEGEND

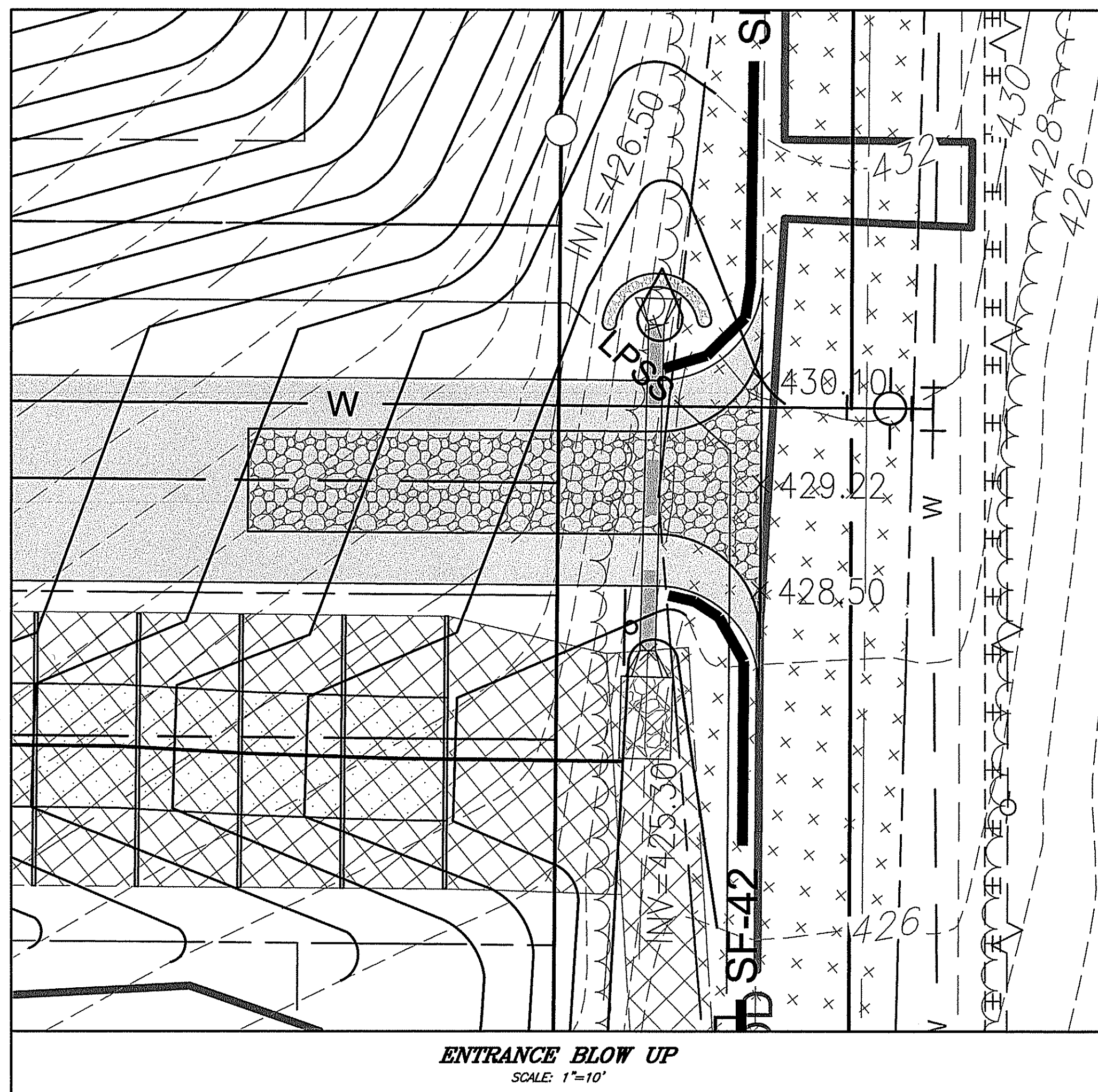
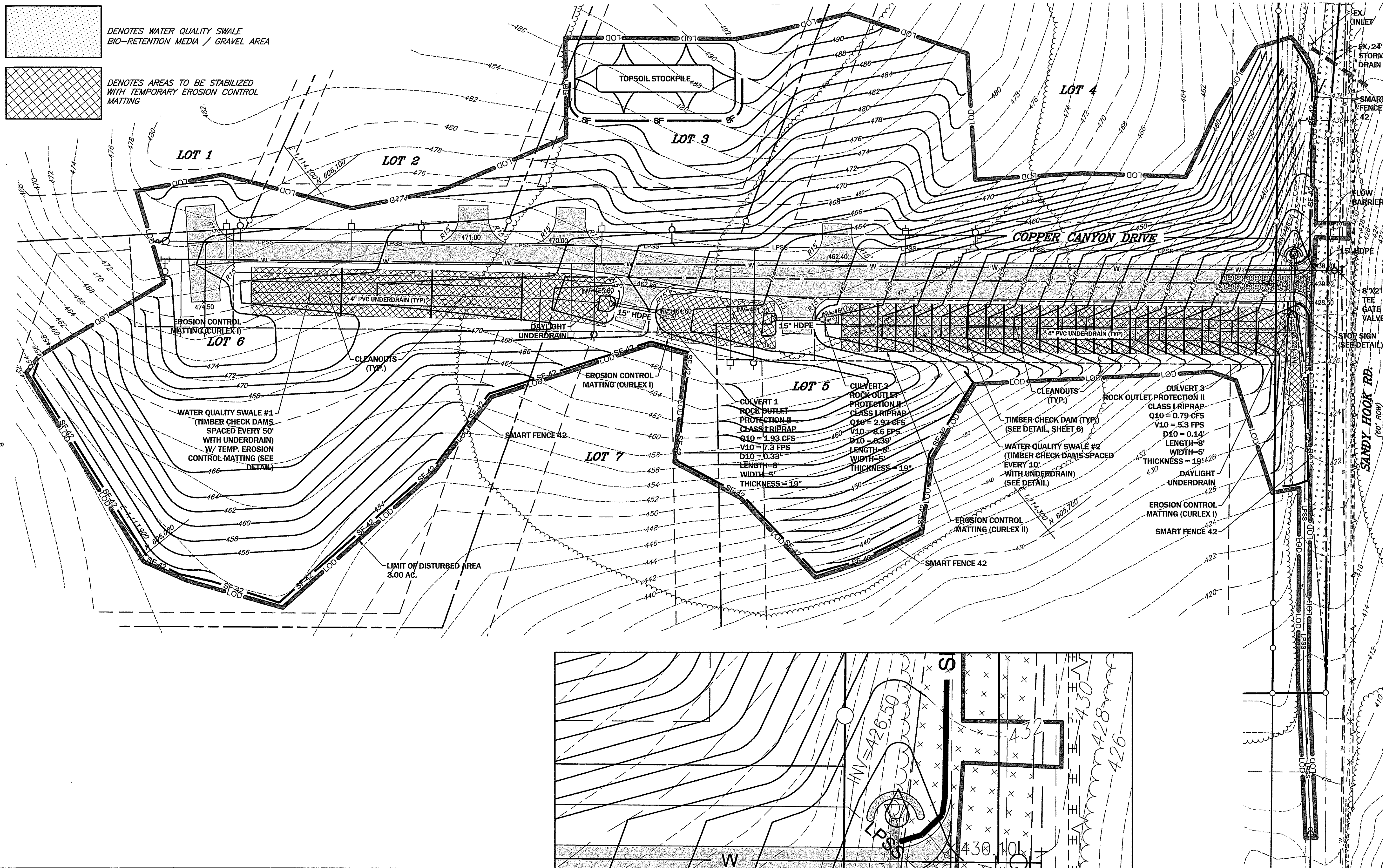
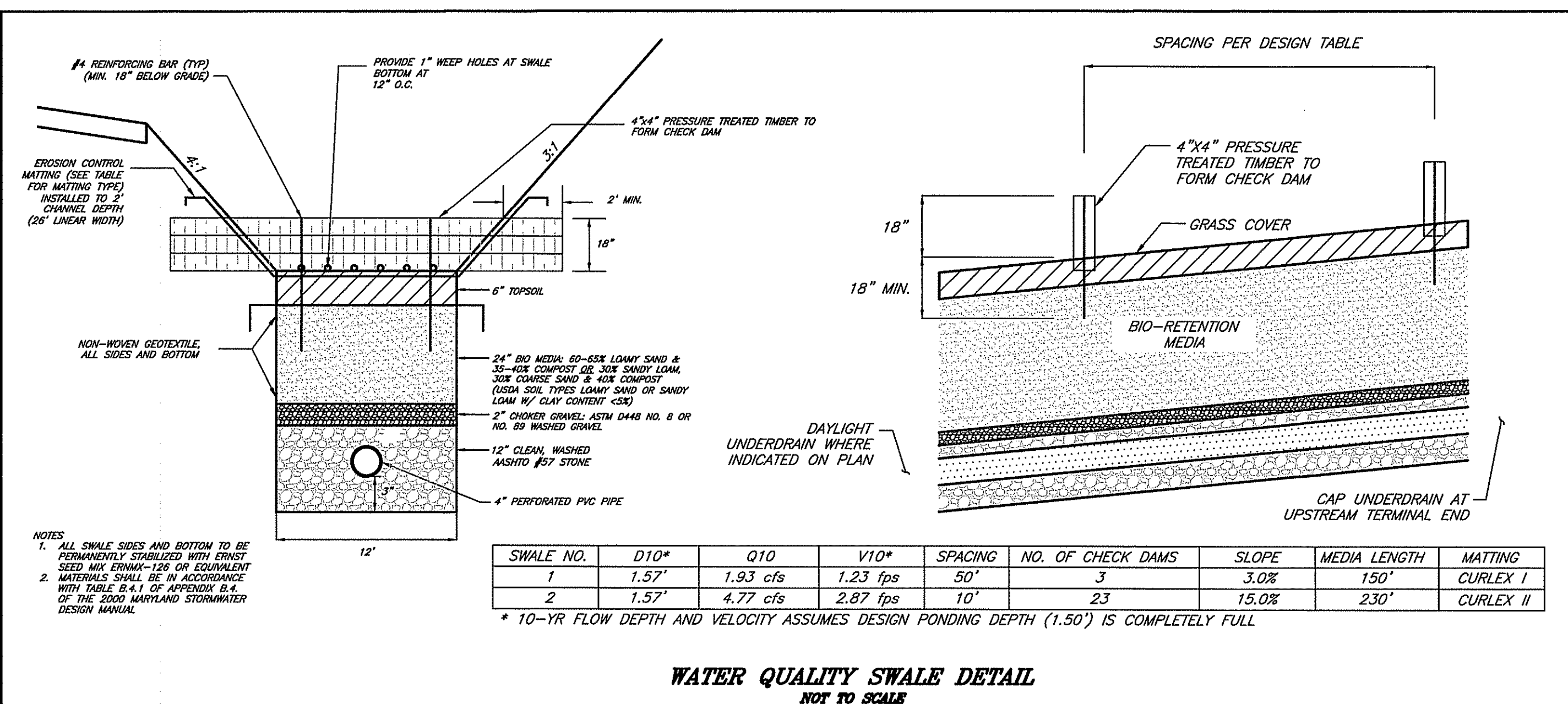
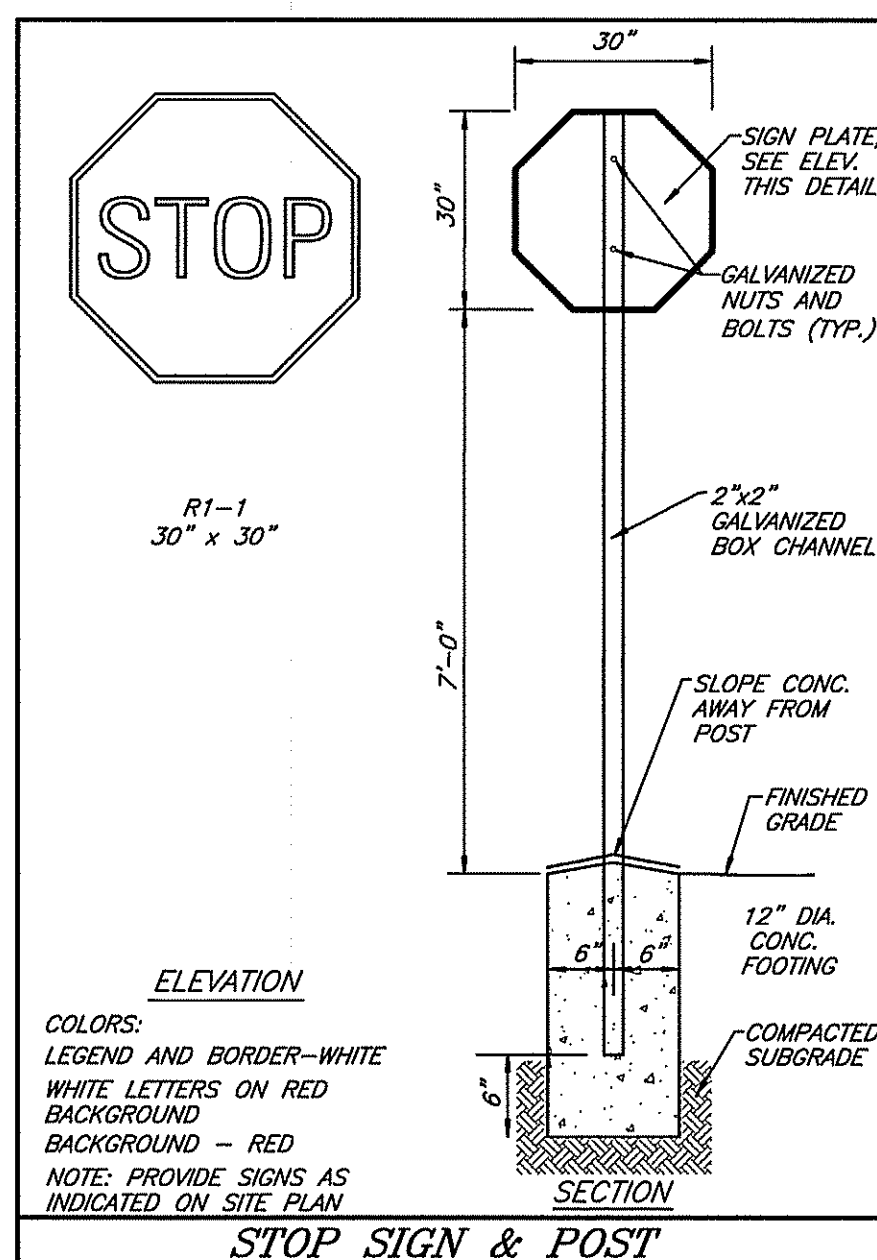
— SF —	SILT FENCE
— SF-42 —	SMART FENCE 42
— LOD —	LIMIT OF DISTURBANCE
— 480 —	PROPOSED CONTOURS
— 480 —	EX. 10' CONTOURS
— 480 —	EX. 2' CONTOURS
— — —	EX. BOUNDARY
— — —	EX. EASEMENT

NOTE:
ANY SPOIL AND/OR BORROW MUST COME FROM
AND/OR GO TO A SITE WITH AN APPROVED AND
CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.

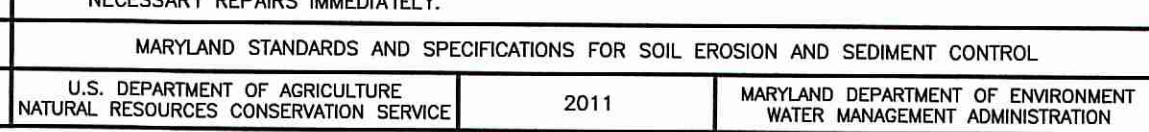
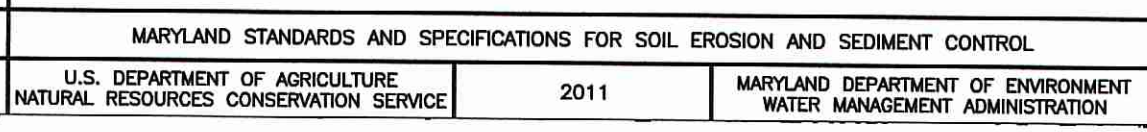
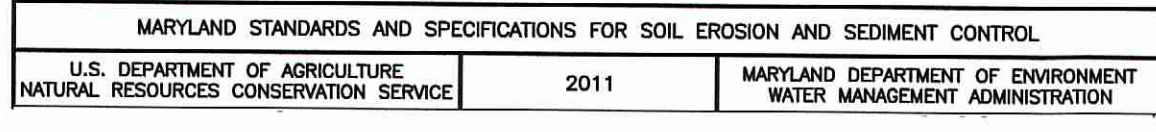


GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL
BY: _____
DATE: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)



1. OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF WORK.
2. CONTACT THE WASHINGTON COUNTY ENGINEERING DEPT. AT 301-797-2480 AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE PROJECT'S CIVIL DESIGN CONSULTANT SHOULD BE PRESENT AT THE PRECONSTRUCTION MEETING.
3. CONDUCT PRECONSTRUCTION MEETING.
4. CONTACT THE WASH. CO. SCD AT 1-800-245-4948 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF WORK IN ORDER TO LOCATE ALL UTILITIES.
5. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION INDICATED ON THE PLAN.
6. CLEAR & GRUB AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL PERIMETER SILT FENCE (SF-42).
7. INSTALL SILT FENCE TO THE LIMITS INDICATED ON THE PLAN AT TOPSOIL STOCKPILE LOCATIONS.
8. BEGIN GRADING OPERATIONS. IN AREAS WHERE CUT OR FILL EXCEEDS 15 FEET, THE CONTRACTOR TO PERFORM INCREMENTAL STABILIZATION IN ACCORDANCE WITH THE PROVIDED INCREMENTAL STABILIZATION DETAIL(S). ALL SPOIL OR BORROW MATERIAL MUST COME FROM OR GO TO A SITE WITH A VALID SEDIMENT CONTROL PERMIT.
9. WHEN SITE REACHES PROPOSED SUBGRADE, BEGIN UTILITY CONSTRUCTION.
10. INSTALL ASPHALT PAVING.
11. ONCE THE SITE CONSTRUCTION HAS BEEN COMPLETED, PERMANENTLY STABILIZE THE SITE.
12. CONTACT THE WASHINGTON COUNTY SCD AT 301-797-6821 EXT. 3 TO SCHEDULE AN INTERIM INSPECTION. ONCE THE INSPECTION IS COMPLETE, FINISH CONSTRUCTION OF THE BIOWALES.
13. ONCE THE SITE IS PERMANENTLY STABILIZED, OBTAIN PERMISSION FROM SCD TO REMOVE PERIMETER CONTROLS. STABILIZE AREAS LEFT DISTURBED BY PERIMETER REMOVAL.
14. CONTACT THE WASH. CO. SCD AT 301-797-6821 EXT. 3 AND THE WASHINGTON COUNTY ENGINEERING DEPT. AT 240-313-2460 TO SCHEDULE A FINAL SITE CLOSURE REVIEW MEETING WHEN THE SITE HAS ACHIEVED 95% OVERALL VEGETATIVE STABILIZATION. SEDIMENT CONTROLS TO REMAIN IN PLACE UNTIL THE FINAL INSPECTION IS COMPLETE AND THE REMOVAL OF SEDIMENT CONTROLS HAS BEEN APPROVED.

1. CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE
CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
2. CONTRACTOR TO PLACE EXCAVATED MATERIALS IN DUMP TRUCKS AND HAULED
TO AN APPROVED LOCATION TO WASTED MATERIALS TO PAVED AREAS.
3. CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZED
DISTURBED AREAS THE SAME WORKING DAY.
4. IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE
EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL
SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION. PLACE
EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
5. IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER
TO A FILTER BAG TO DEWATER.
6. CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY
CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
7. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR
APPROPRIATE STREET REPAIR.

1. NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
2. EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE PREPARED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. NO PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
4. THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THE DESIGN OR FEASIBILITY OF THIS PROJECT, ANY DAMAGE TO FACILITIES, STRUCTURES, PAVED OR OTHER MAN-MADE ITEMS OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
6. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
7. FOX & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
10. NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
11. SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD/SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS.
12. ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROJECT OWNER.
13. NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
14. THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
21. THERE ARE NO WETLANDS, STREAMS AND RELATED BUFFERS, OR HABITAT OF ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 4.21 OF THE ZONING ORDINANCE. A PORTION OF THE WETLANDS IS WITHIN THE FLOODPLAIN AS SHOWN ON FIRM PANEL 2404300455D, EFFECTIVE DATE AUGUST 15, 2017. NO DISTURBANCE IS PROPOSED WITHIN THIS FLOODPLAIN AREA.
22. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
23. A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS AT 240-313-2400 AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
24. ANY MODIFICATION OF THE APPROVED STANDARD GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN FOR SINGLE LOT SINGLE FAMILY RESIDENTIAL CONSTRUCTION AND MINOR EARTH DISTURBANCES SHALL BE REVIEWED AND APPROVED BY THE DIVISION AND THE DISTRICT PRIOR TO CONSTRUCTION.
25. THERE ARE NO FOREST CONSERVATION AREAS OR WETLANDS WITHIN 200 FT. OF THE PROPOSED CONSTRUCTION AREA EXCEPT AS SHOWN.
26. FLOOD PLAIN SHOWN HEREON PER FEMA FLOOD INSURANCE RATE MAP, PANEL #2404300270.

1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," SECTION B – GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT APPROVAL AUTHORITY UNLESS OTHERWISE SOLEED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
6. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
10. NO SLOPE SHALL BE GREATER THAN 2:1.

- A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 14CP, OR AN INDIVIDUAL PERMIT.
- B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- C. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).
- D. FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.3					FERTILIZER RATE (10-20-20)			LIME RATE
No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	
6	TALL FESCUE WHITE CLOVER PERENNIAL WHEAT GRASS	40 5 25	3/1 - 5/15 8/1 - 10/15	1/4 - 1/2	45 LB/AC (10 LB/AC 1000 S.F.)	80 LB/AC (2 LB/AC 1000 S.F.)	80 LB/AC (2 LB/AC 1000 S.F.)	2 TONS/AC (80 LB/AC 1000 S.F.)

PERMANENT SEEDING SHALL COMPLY WITH
SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.1					FERTILIZER RATE (10-20-20)	LIME RATE
No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTH		
2	BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 6/1 - 10/15	1.0"	436 LBS./AC. (10 LBS/1000 S.F.)	2 TONS/AC. (90 LBS/1000 S.F.)
TEMPERARY SEEDLING SHALL COMPLY WITH SECTION B-4-4 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL						

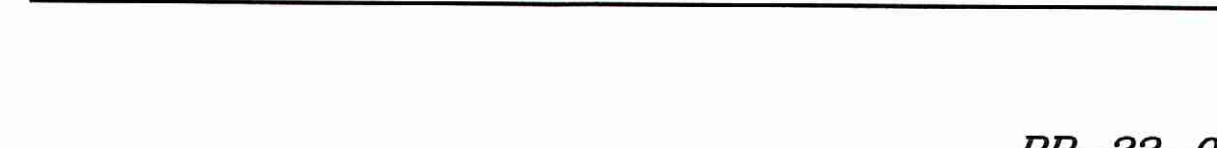

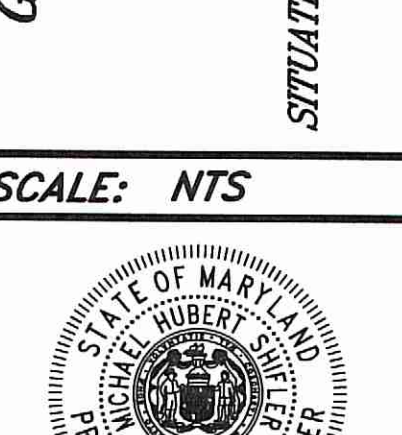
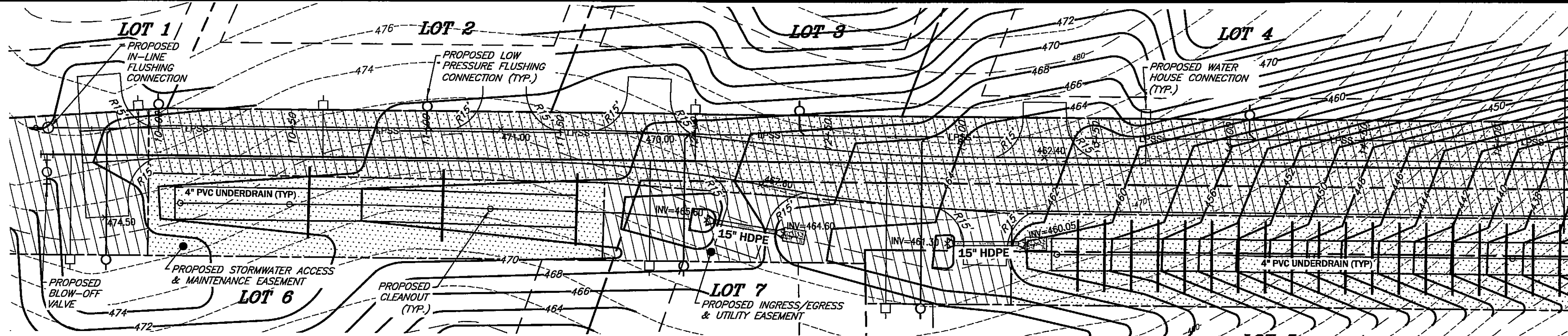


Figure B.2: Incremental Stabilization – Fill

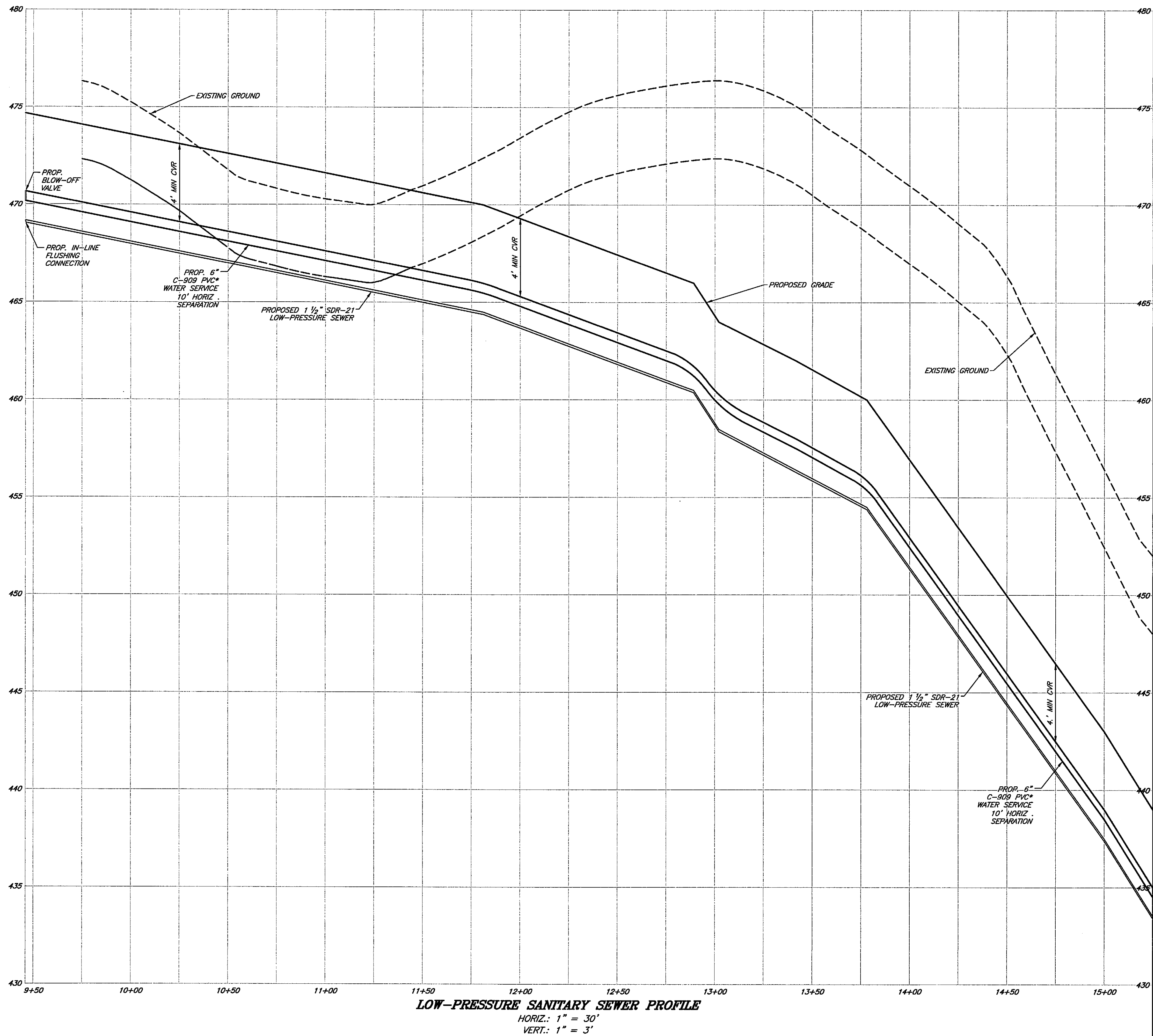
The diagram illustrates a three-phase excavation process for slope stabilization. The top part shows the initial state with 'EXISTING GROUND' and a 'DIKE/SWALE'. The middle part shows 'PHASE 1 EXCAVATION', 'PHASE 2 EXCAVATION', and 'PHASE 3 EXCAVATION' in sequence. The bottom part shows the final state with 'EXISTING GROUND' and a 'DIKE/SWALE'. A 'TEMPORARY DIKE/SWALE' is shown at the end of each work day, and a 'SILT FENCE / SUPER SILT FENCE' is used to contain the excavation. A '15 FT MAX' dimension is indicated for the excavation depth.

Figure B.1: Incremental Stabilization – Cut

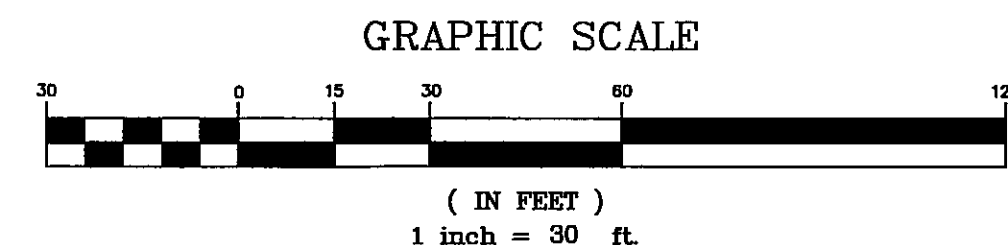
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FOX & ASSOCIATES, INC. ENGINEERS • SURVEYORS • PLANNERS 82 WOMANS MILL COURT SUITE 'G' PAGERSTOWN, MD. 21740 PHONE: (301)732-5603 or (301)419-7230 FAX: (301)732-1653	
Email: foxassoc@foxassocinc.com www.foxassocinc.com	
DRAWN BY: _____	
REVISION: _____	
DATE: _____	
GRADING / SESC NOTES & DETAILS POTOMAC OVERLOOK T.M. 87, P. 10 SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD. ELECTION DISTRICT 11 WASHINGTON COUNTY, MARYLAND	
SCALE: NTS	
 <i>Michael Huberty</i> 2-16-23 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 13806 EXP. DATE: 2/6/24	
PROJECT NO. 20-51074 DRAWING NO. D-6719 DATE: JUNE, 2022 DRAWN BY: DCM CHECKED BY: CER	
SHEET 6 OF 12	



SEE SHEET 8



SEE SHEET 8 FOR CONTINUANCE



NOTE:
THE DWELLINGS TO BE CONSTRUCTED ON LOTS 1-7 SHALL REQUIRE THE INSTALLATION OF BOOSTER PUMP/TANK ASSEMBLIES FOR FIRE SUPPRESSION AND DOMESTIC WATER USAGE. THE BOOSTER PUMP/TANK ASSEMBLIES ARE PRIVATELY OWNED AND MAINTAINED AND NOT THE RESPONSIBILITY OF THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY. THE OWNERSHIP AND MAINTENANCE OF THE REQUIRED BOOSTER PUMP/TANK ASSEMBLIES SHALL LIE SOLELY WITH THE INDIVIDUAL HOMEOWNER. WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY SHALL NOT BE RESPONSIBLE FOR THE SERVICE LINES BEYOND THE WATER METER SETTING. WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY SHALL OWN AND MAINTAIN THE PUBLIC WATER SYSTEMS, UP TO AND INCLUDING THE WATER METER SETTING, AND ANY OTHER APPURTENANCES THAT ARE WITHIN THE WATER EASEMENT THAT IS TO BE DEDICATED TO THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY.

* C-900 PVC AND C-905 PVC MAY BE SUBSTITUTED FOR C-909 AT THE DISCRETION OF THE PLUMBING CONTRACTOR

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____ DATE: _____

PP-22-001

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or (301)416-7250
FAX: (301)733-1853
Email: foxassoc@foxassocinc.com
www.foxassocinc.com

DATE	REVISION	DRAWN BY

UTILITY PROFILE AND DETAILS
POTOMAC OVERLOOK
T.M. 87, P. 10
SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

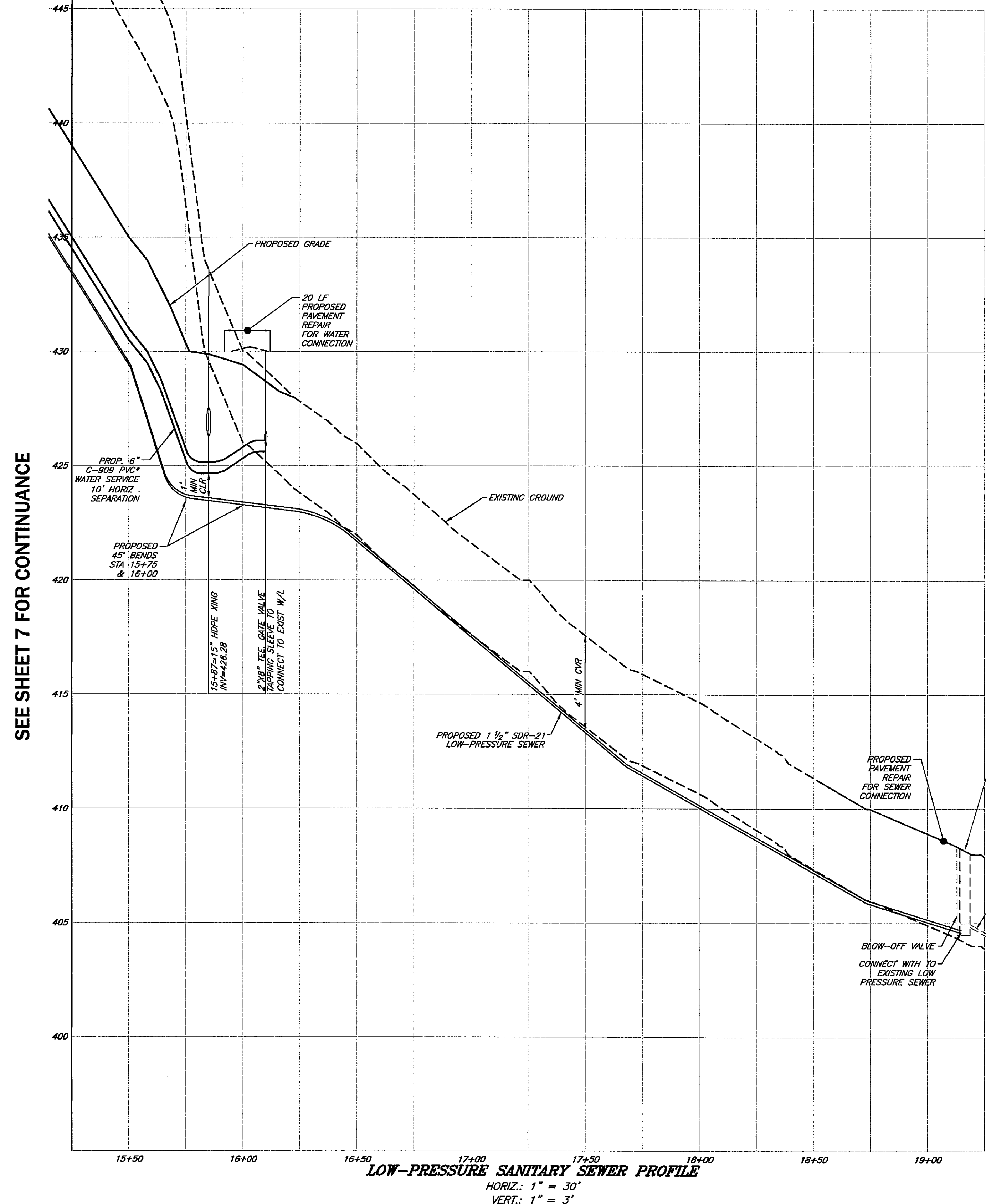
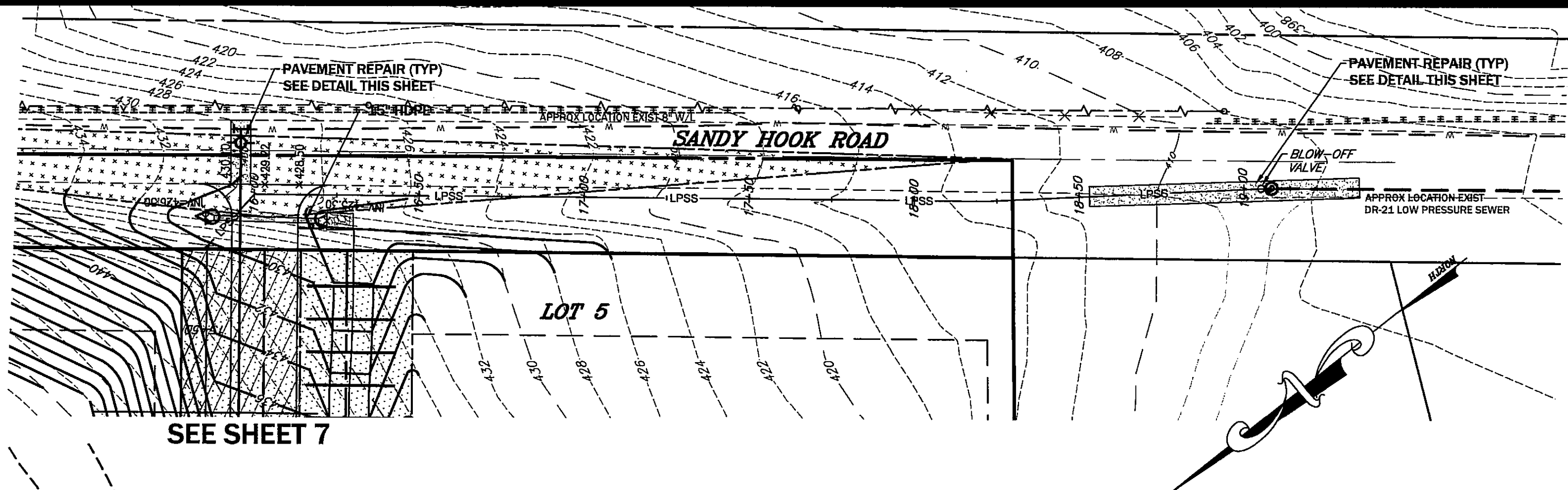
SCALE: 1"=30'



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

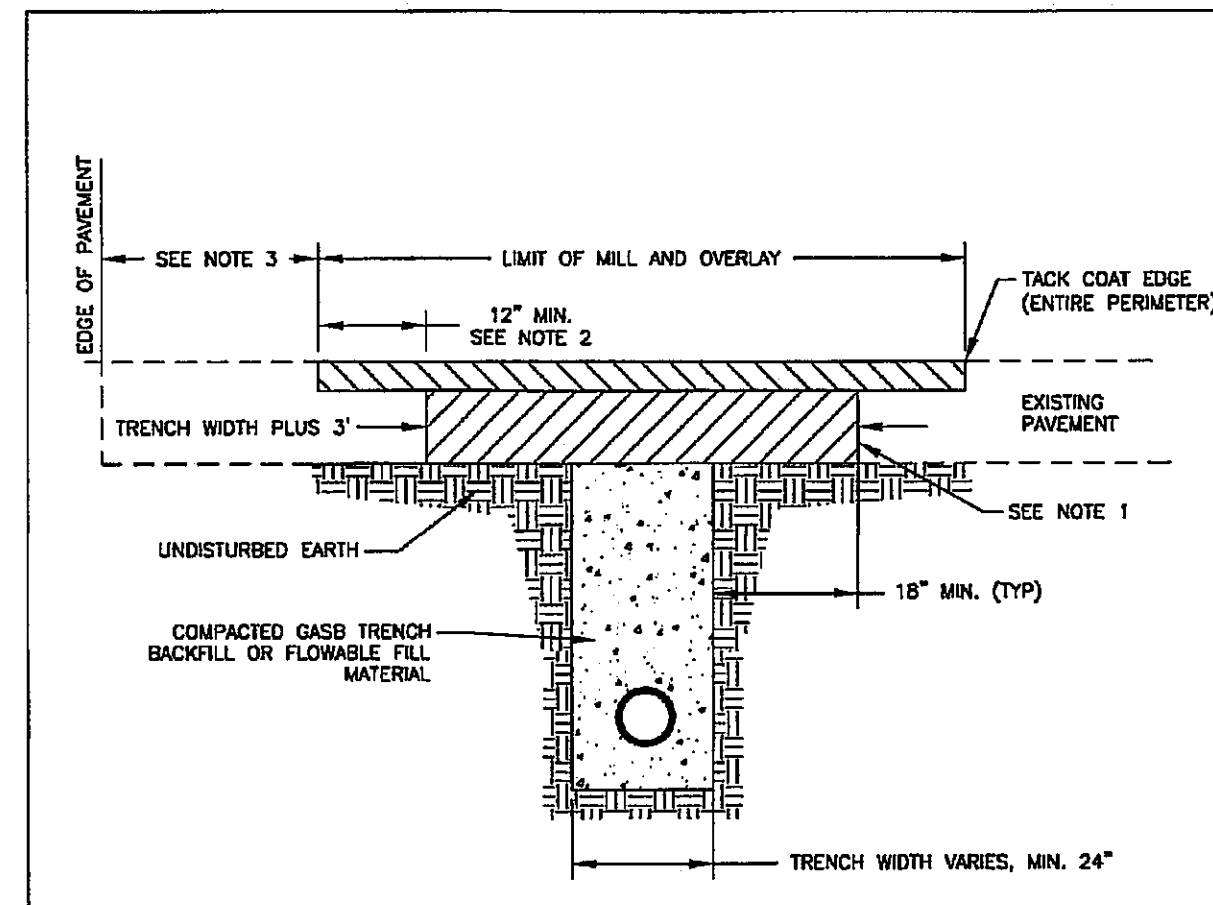
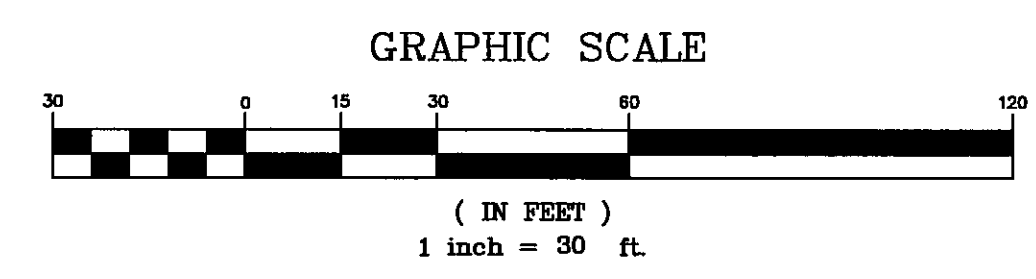
PROJECT NO. 20-51074
DRAWING NO. D-6719
DATE: JUNE, 2022
DRAWN BY: DCM
CHECKED BY: CER

SHEET 7 OF 12



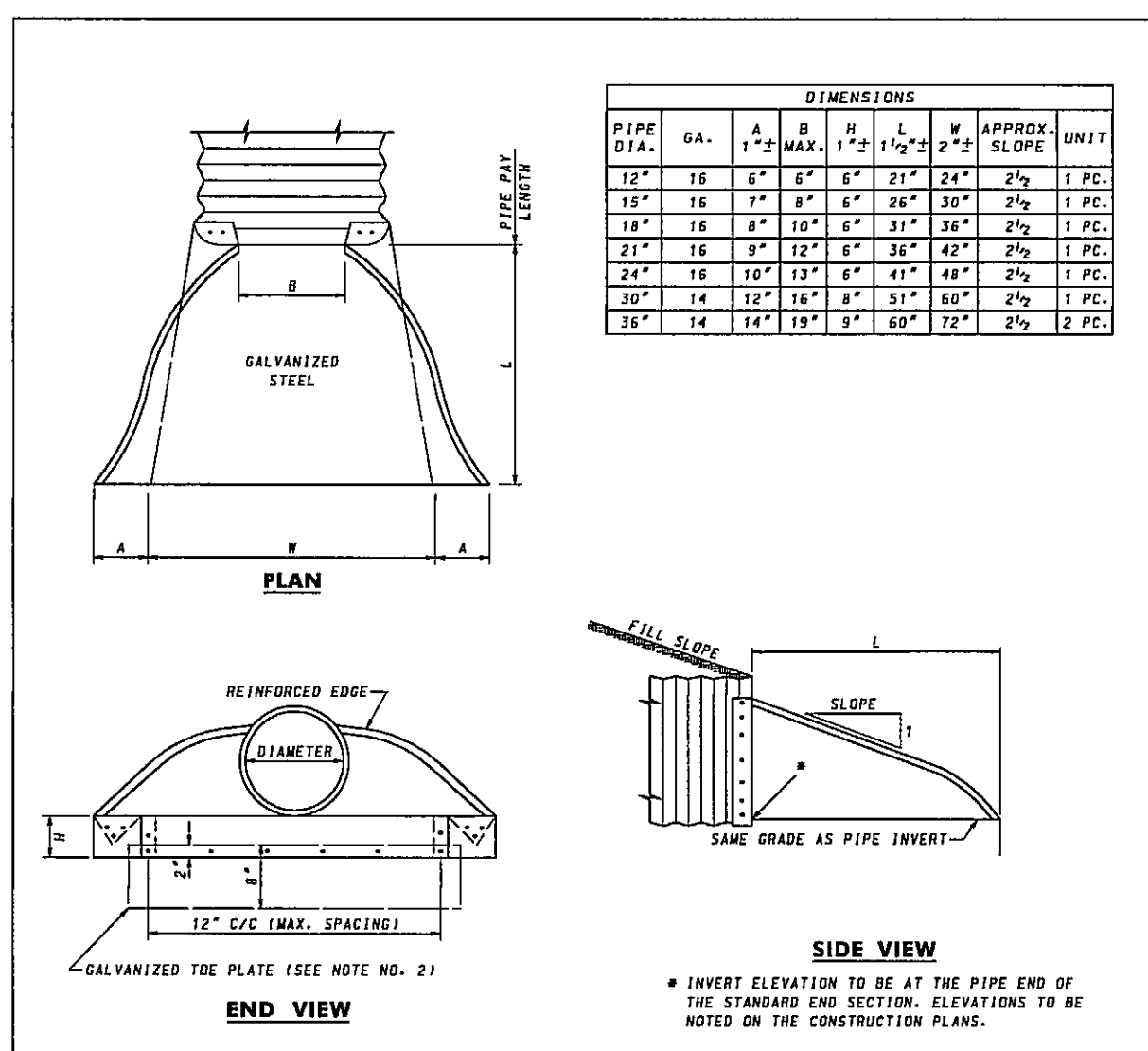
NOTE:
THE DWELLINGS TO BE CONSTRUCTED ON LOTS 1-7 SHALL REQUIRE THE INSTALLATION OF BOOSTER PUMP/TANK ASSEMBLIES FOR FIRE SUPPRESSION AND DOMESTIC WATER USAGE. THE BOOSTER PUMP/TANK ASSEMBLIES ARE PRIVATELY OWNED AND MAINTAINED AND NOT THE RESPONSIBILITY OF THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY. THE OWNERSHIP AND MAINTENANCE OF THE REQUIRED BOOSTER PUMP/TANK ASSEMBLIES SHALL BE SOLELY WITH THE INDIVIDUAL HOMEOWNER. WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY SHALL NOT BE RESPONSIBLE FOR THE SERVICE LINES BEYOND THE WATER METER SETTING. WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY SHALL OWN AND MAINTAIN THE PUBLIC WATER SYSTEMS, UP TO AND INCLUDING THE WATER METER SETTING, AND ANY OTHER APPURTENANCES THAT ARE WITHIN THE WATER EASEMENT THAT IS TO BE DEDICATED TO THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY.

* C-900 PVC AND C-905 PVC MAY BE SUBSTITUTED FOR C-909 AT THE DISCRETION OF THE PLUMBING CONTRACTOR



- Existing pavement shall be milled or saw cut full depth where the limits of mill and overlay meet existing pavement.
- For longitudinal and transverse cuts, the limits of the perimeter mill and overlay shall extend a minimum of 12" beyond the full depth patch boundary.
- When the distance the edge of existing pavement to the edge of new asphalt base is 3 feet or less, the existing pavement shall be removed and replaced to the edge of existing pavement.
- For longitudinal trenches, when the width of the limit of mill and overlay exceeds 50% of the total roadway width, the limit of mill and overlay shall be widened to the full width of the road, edge of pavement to edge of pavement.
- All milling shall be a minimum of 2" in depth.
- Use mix asphalt (HMA) surface shall be placed to a depth equal to the depth of existing surface or 2" minimum, whichever is greater. HMA base shall be a depth equal to the depth of existing base or 6", whichever is greater. All HMA shall be compacted to an in-place density of 92 to 97 percent of the maximum specific gravity.
- Trench backfill beneath the pavement layer shall be compacted graded aggregate subbase (GASB) to 95 percent of the maximum dry density per AASHTO T-99. Prior and during compaction, moisture of fill material shall be maintained within 2% of optimum. The fill shall be placed and compacted in horizontal layers not to exceed 8" in thickness (loose). GASB shall conform to the requirements of the latest edition of MD SHA Standards and Specifications for Construction and Materials. Flowable fill material may also be used when the depth of fill is < 5 feet and advanced approval is obtained by the Division of Public Works.
- All compaction work shall be performed using equipment such as sheepfoot rollers or pneumatic roller/vibratory plate type compaction equipment. Backfill material shall be placed evenly structures and shall be free of lumps, frozen lumps or foreign organic matter that could cause bad spots or decompose creating voids.
- Where care-ins under existing asphalt pavement occurs, the existing pavement shall be saw-cut 18" beyond the limit of the cut-in. The requirements of note 3 shall be referred to the trench boundary expands.
- The Division of Public Works may require an independent testing lab to confirm compaction performance.

Washington County, MD Division of Engineering	UTILITY PATCH IN FLEXIBLE ASPHALT PAVEMENT	Detail UP-1.01
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- NOTES
- METAL END SECTIONS SHALL BE GAGE 16 FOR PIPES RANGING FROM 12" THRU 24", AND GAGE 14 FOR PIPES RANGING FROM 30" THRU 36". MULTIPLE PANEL UNITS TO HAVE LAP SEAMS WITH ARE TO BE TIGHTLY JOINED BY 3/4" DIAMETER GALVANIZED RIVETS OR BOLTS.
 - THE PLATES SHALL BE USED WHEN SPECIFIED ON THE PLANS. THICKNESS OF END PLATE TO BE SAME AS END SECTION. COST OF THE PLATE TO BE INCIDENTAL TO THE BID PRICE PER EACH OF METAL END SECTION.

SPECIFICATION 303	CATEGORY CODE ITEMS	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES STANDARD METAL END SECTION ROUND METAL PIPE STANDARD NO. MD 370.01
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WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

FOX & ASSOCIATES, INC.
Est. 1966

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SUITE "C"
FREDERICK, MD. 21701
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

Email: foxassoc@foxassocinc.com
www.foxassocinc.com

UTILITY PROFILE AND DETAILS

POTOMAC OVERLOOK

T.M. 87, P. 10

SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

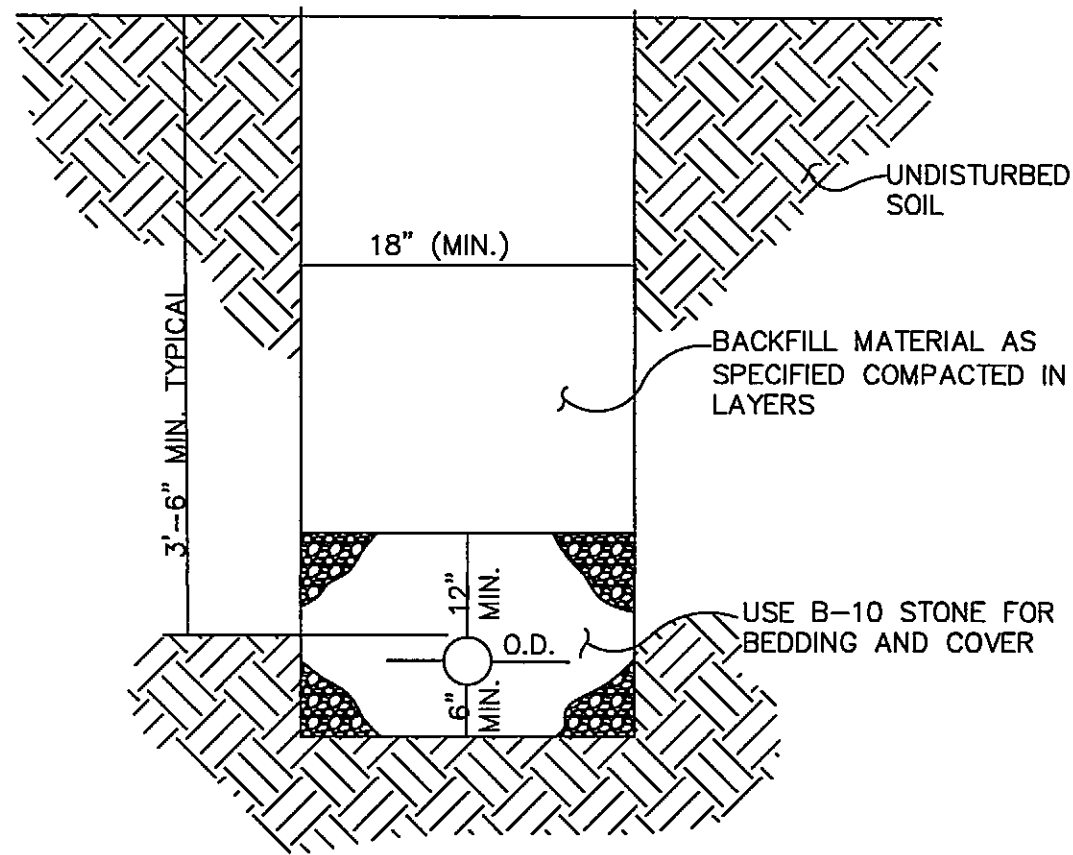
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

2-16-23

PROJECT NO. 20-51074
DRAWING NO. D-6719
DATE: JUNE, 2022
DRAWN BY: DCM
CHECKED BY: CER

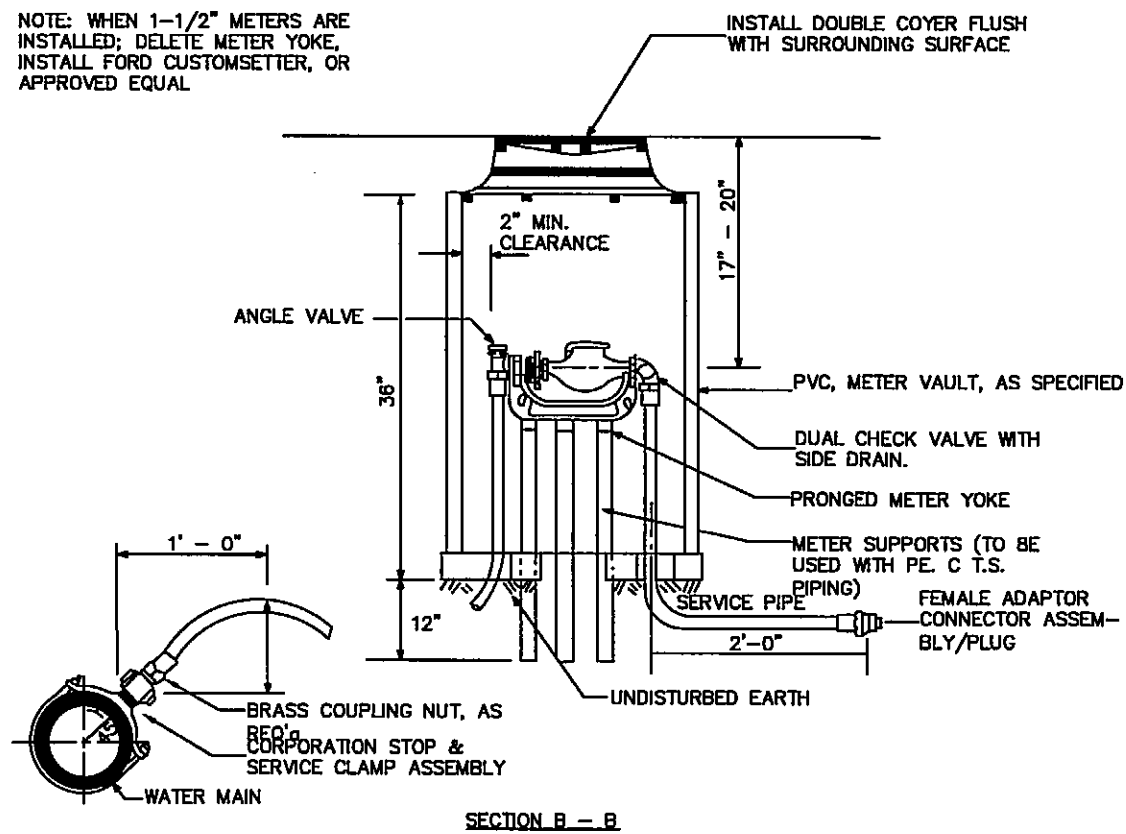
SHEET 8 OF 12

P:\2013\1074 Potomac Overlook\Drawings\102-Improvement Plans\102-08-02.dwg Plot: 16, 2023 4:03pm User: Whitfield



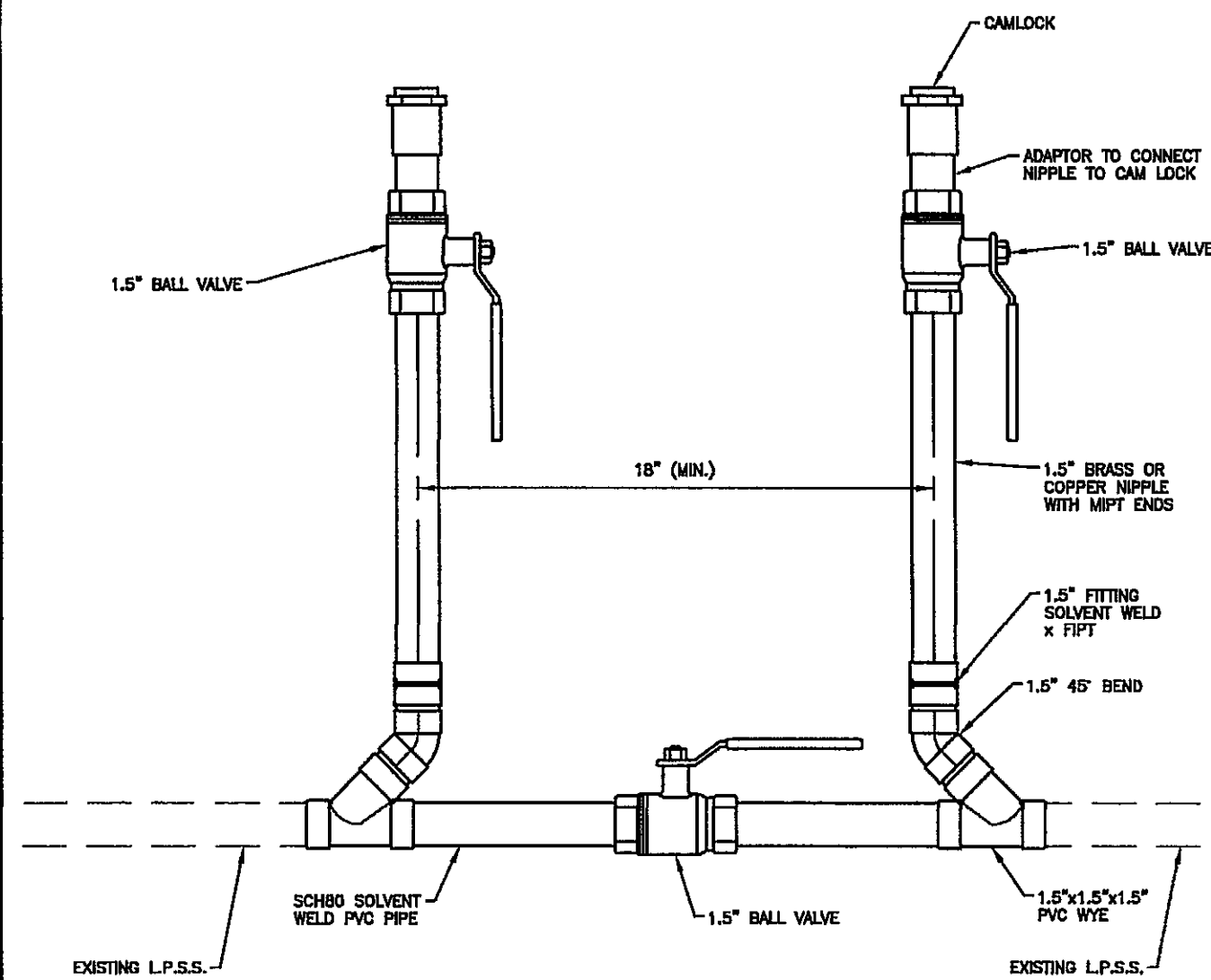
1. TRENCH WALLS SHALL BE VERTICAL 18" ABOVE TOP OF PIPE.
2. ALL BACKFILL IN STABILIZED AREAS COMPACTED TO 95% MAX. DENSITY PER A4SHTO T-180 METHOD D.

REVISION	Washington County, MD Div. of Environmental Management	SERVICE CONNECTION TYPICAL TRENCH DETAIL	Detail W-10.1
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		

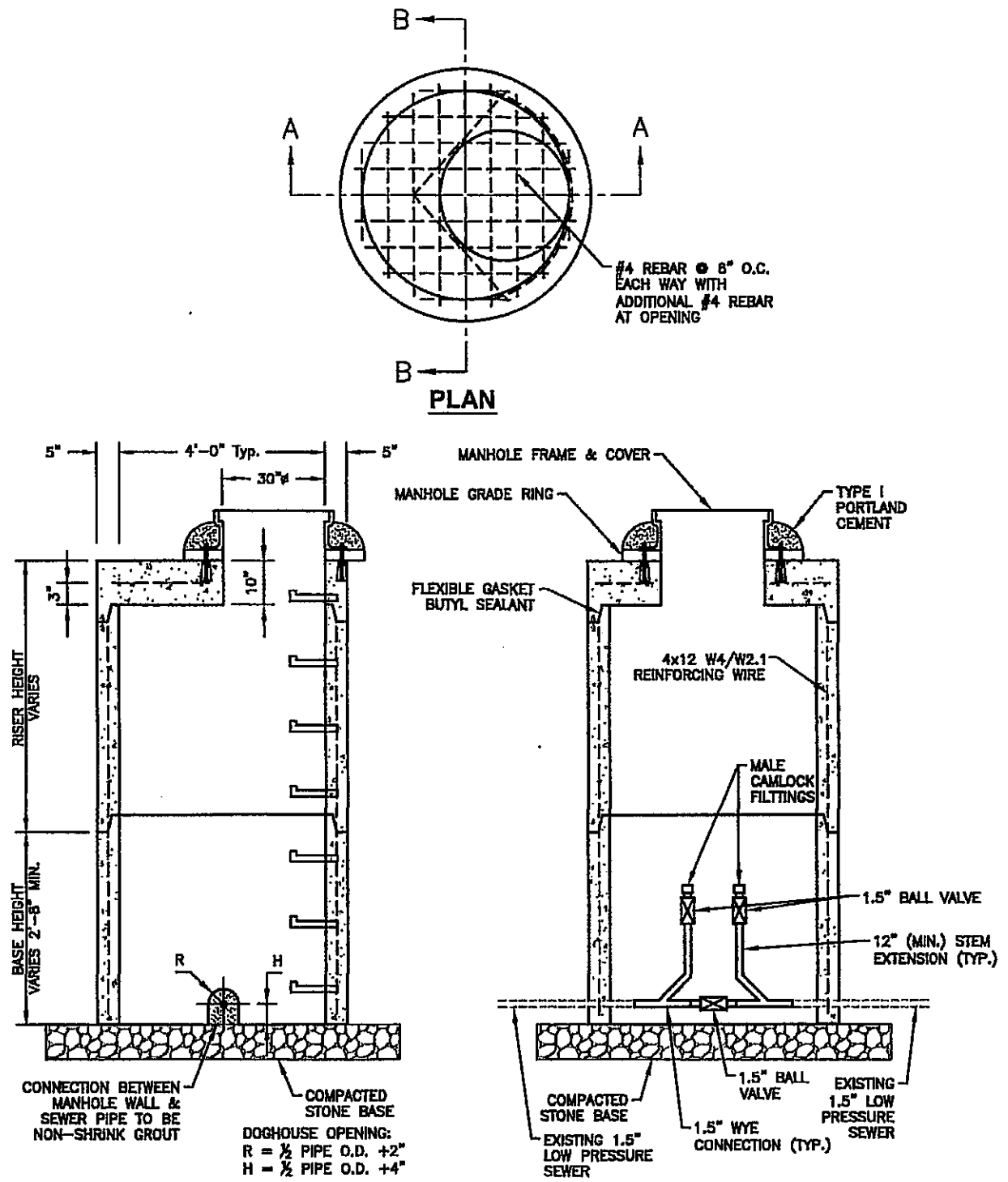


SERVICE PIPE DIAMETER	METER SIZE	VAULT SIZE
3/4"	5/8"	24"
1"	3/4"	24"
1 1/4"	1"	36"
2"	1 1/2"	36"

REVISION	Washington County, MD Div. of Environmental Management	METERED DOMESTIC SERVICE INSTALLATION	Detail W-10.3
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		

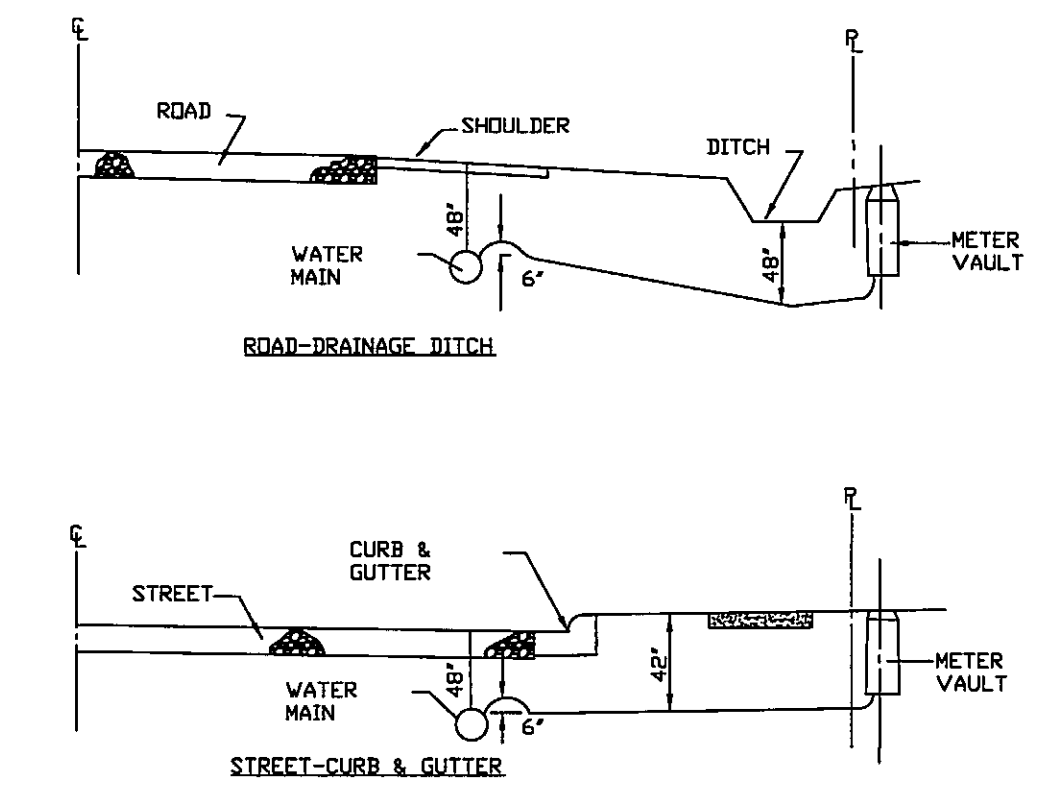


REVISION	Washington County, MD Div. of Environmental Management	INLINE FLUSHING CONNECTION	Detail
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		



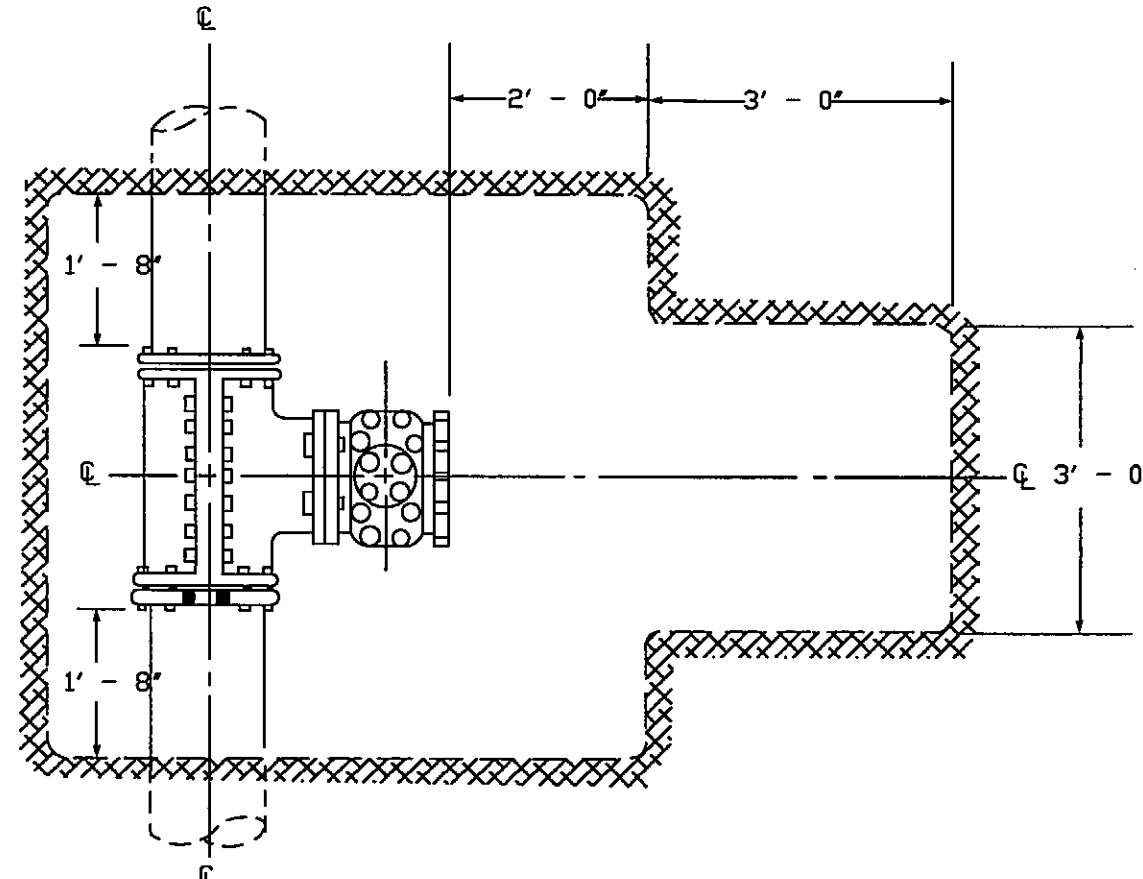
- GENERAL NOTES:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH $f'_c = 4,000$ PSI.
 2. STEEL REINFORCEMENT: ASTM A-615, GRADE 60, ASTM A-186.
 3. USE KNOCK-ON REPAIR COUPLING FOR JOINING NEW PIPING TO EXISTING.
 4. TEST PIT EXISTING LOW PRESSURE SANITARY SEWER TO CONFIRM REQUIRED DEPTH OF DOGHOUSE MANHOLE.

REVISION	Washington County, MD Div. of Environmental Management	INLINE FLUSHING CONNECTION	Detail
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		



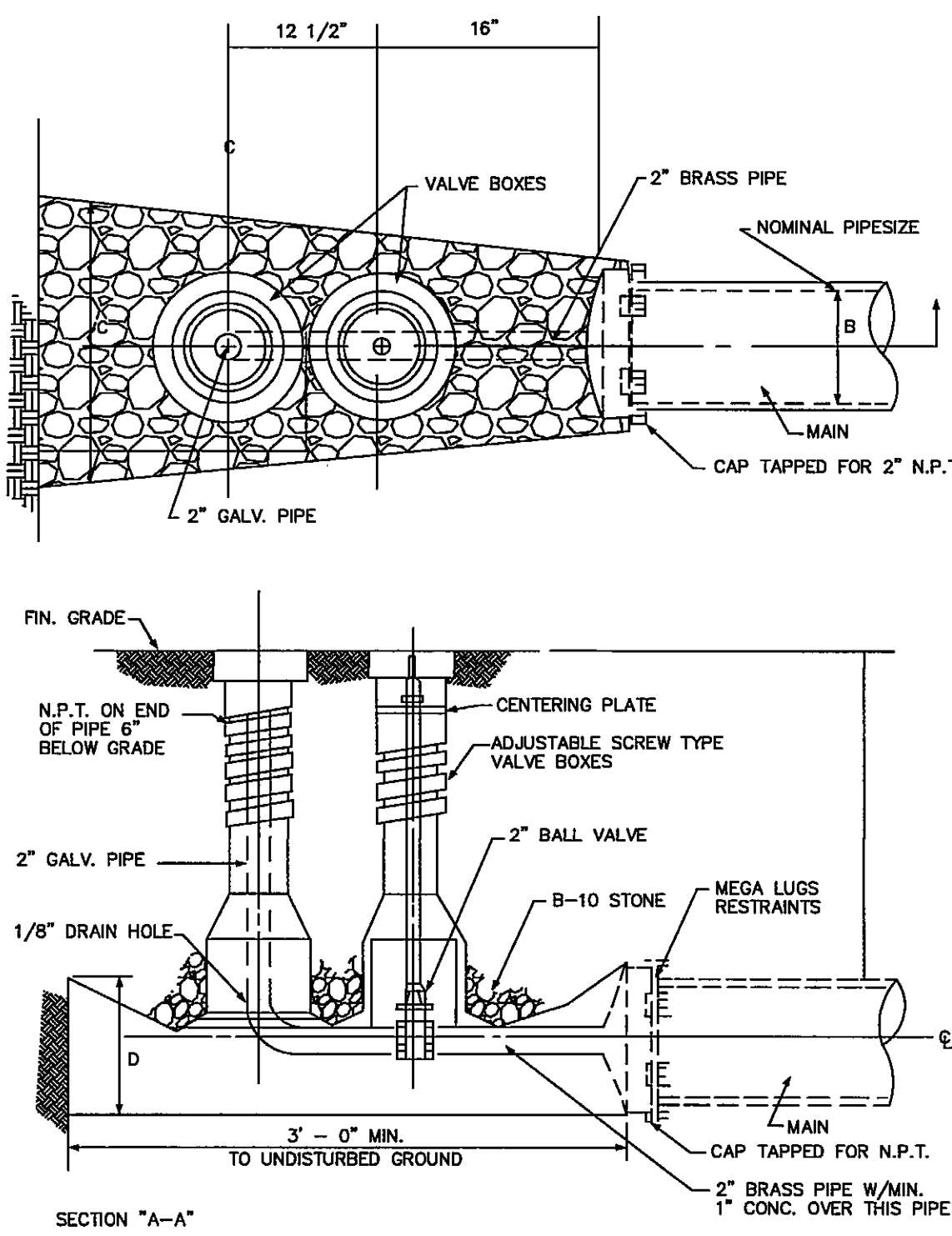
- NOTES:**
1. METER VAULTS SHALL BE PLACED AT OR NEAR THE PROPERTY LINE.
 2. METER VAULTS SHALL IN NO CASE BE PLACED IN A STEEP SLOPE. EXPOSING THE FRONT OF THE METER VAULT, NOR SHALL THEY BE INSTALLED IN STEEP SLOPES AT A SHARP ANGLE.
 3. CORPORATION STOP TO BE LEFT ON, ANGLE VALVE OFF.

REVISION	Washington County, MD Div. of Environmental Management	WATER METER LOCATION	Detail W-10.2
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		



NOTE: ALL DIMENSIONS ARE MINIMUM REQUIRED.

REVISION	Washington County, MD Div. of Environmental Management	TAPPING SLEEVE AND VALVE	Detail W-10.13
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		



REVISION	Washington County, MD Div. of Environmental Management	2" BLOW OFF ASSEMBLY	Detail W-10.7
REVISION	Approved: _____		
APPROVED	Director of Environmental Management		

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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UTILITY DETAILS
POTOMAC OVERLOOK
T.M. 87, P. 10
SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

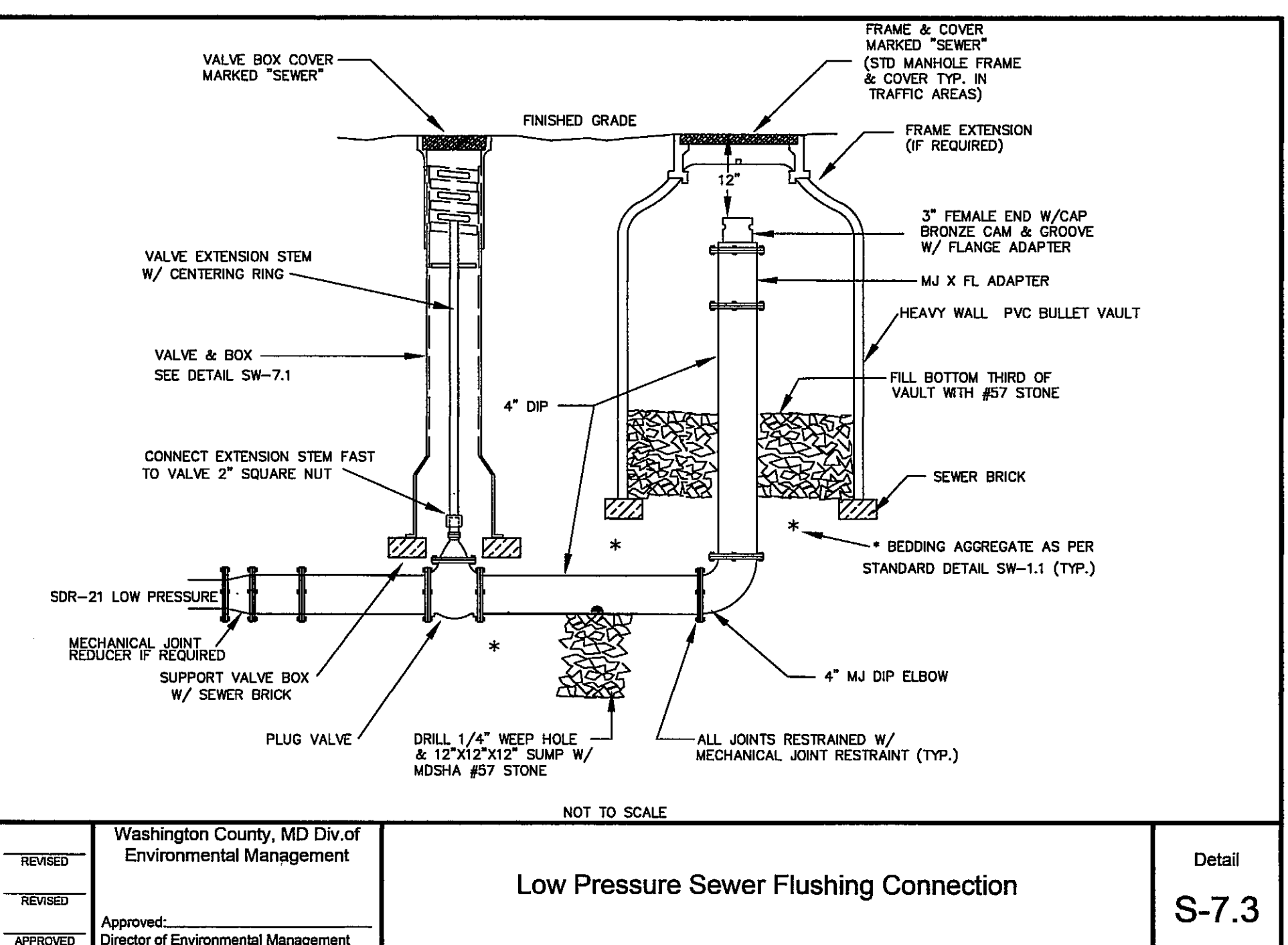
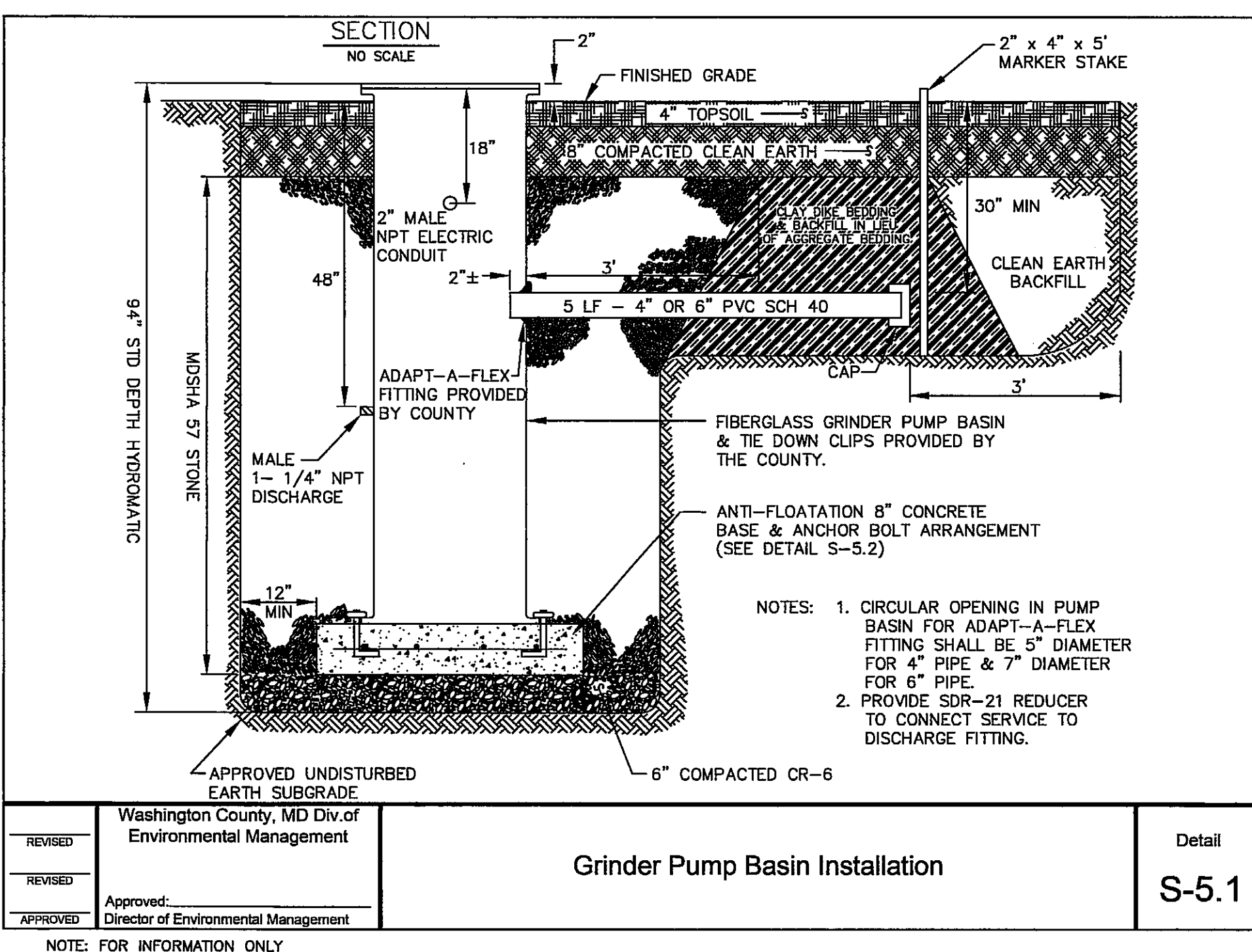
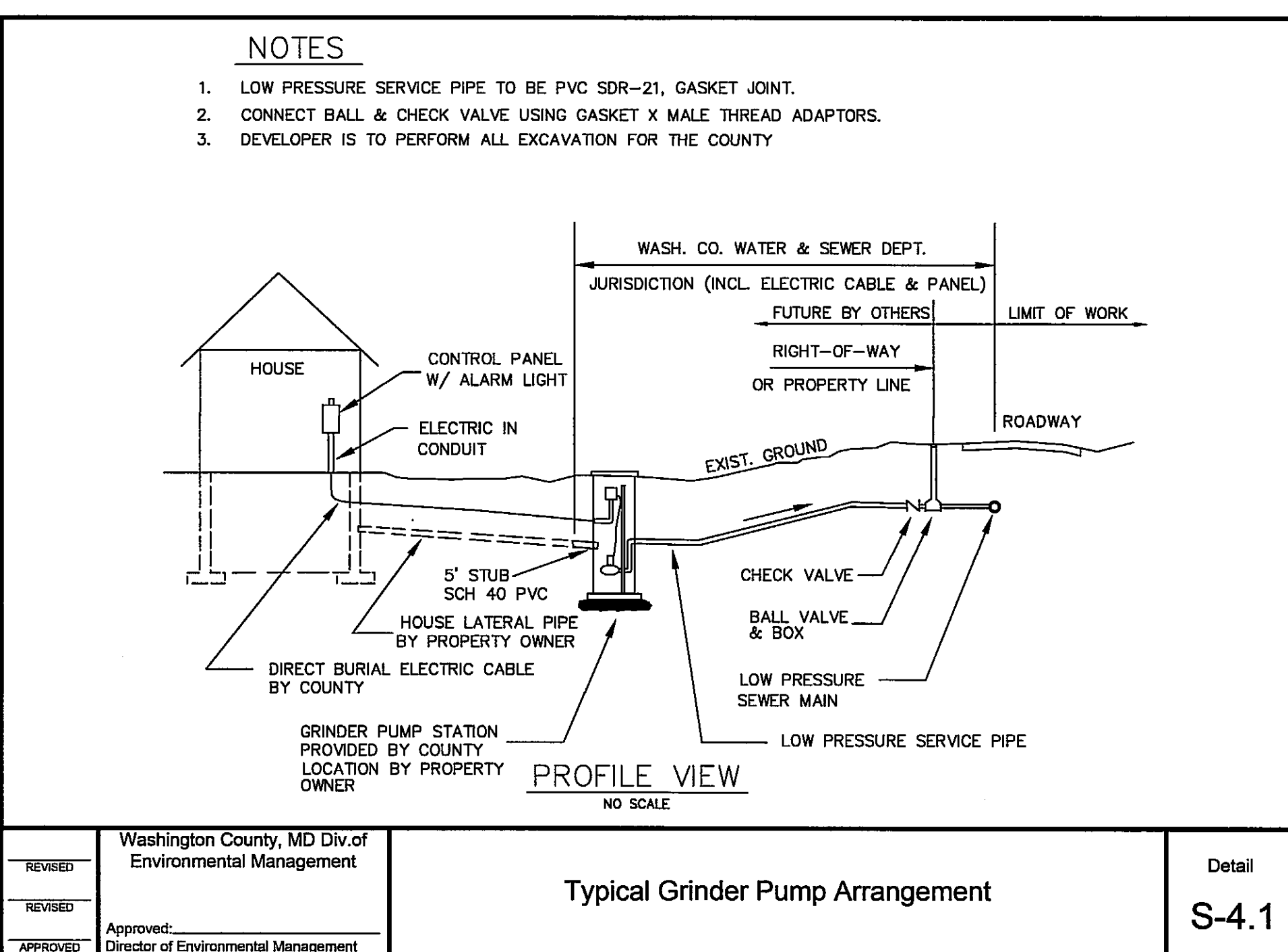
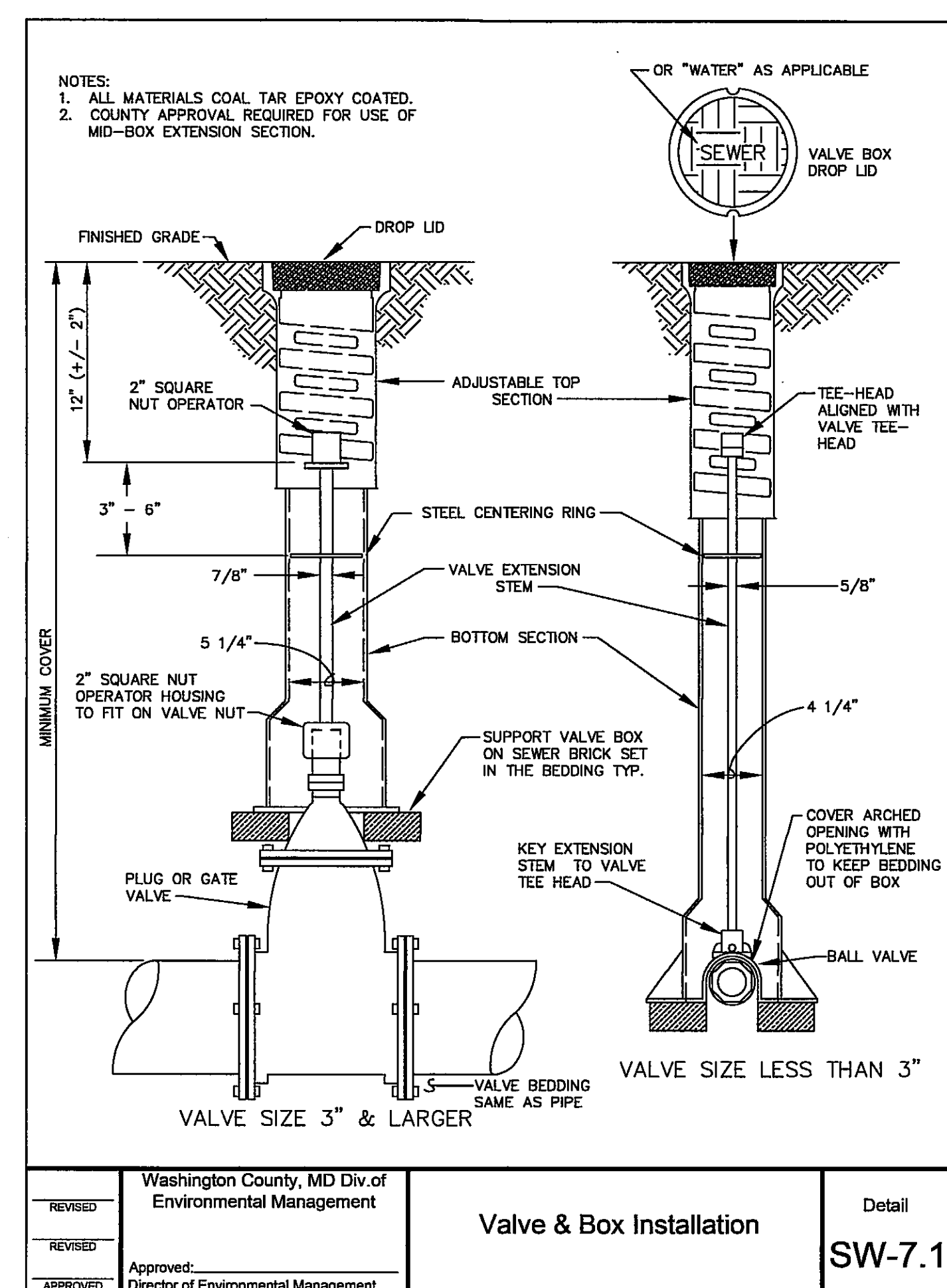
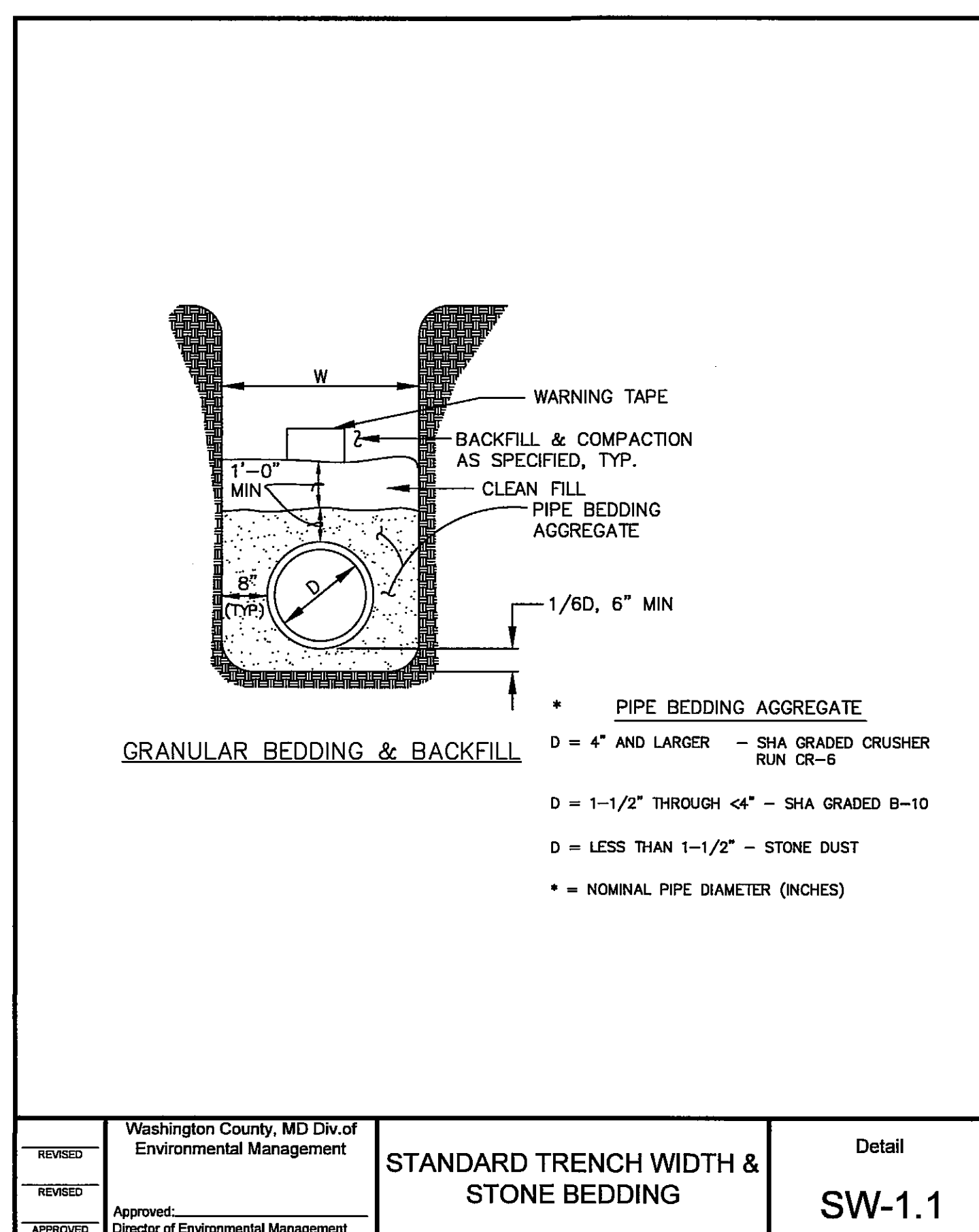
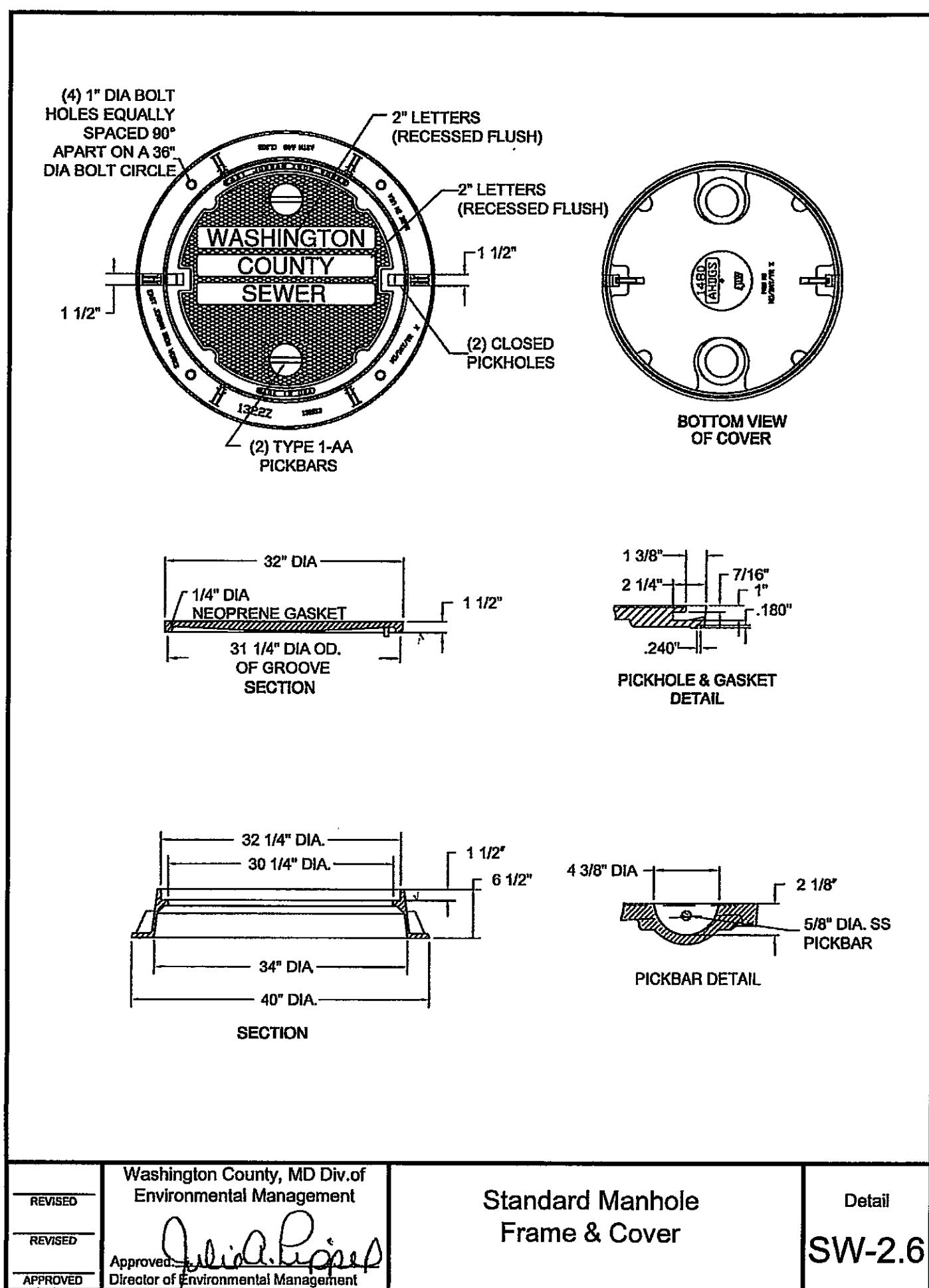
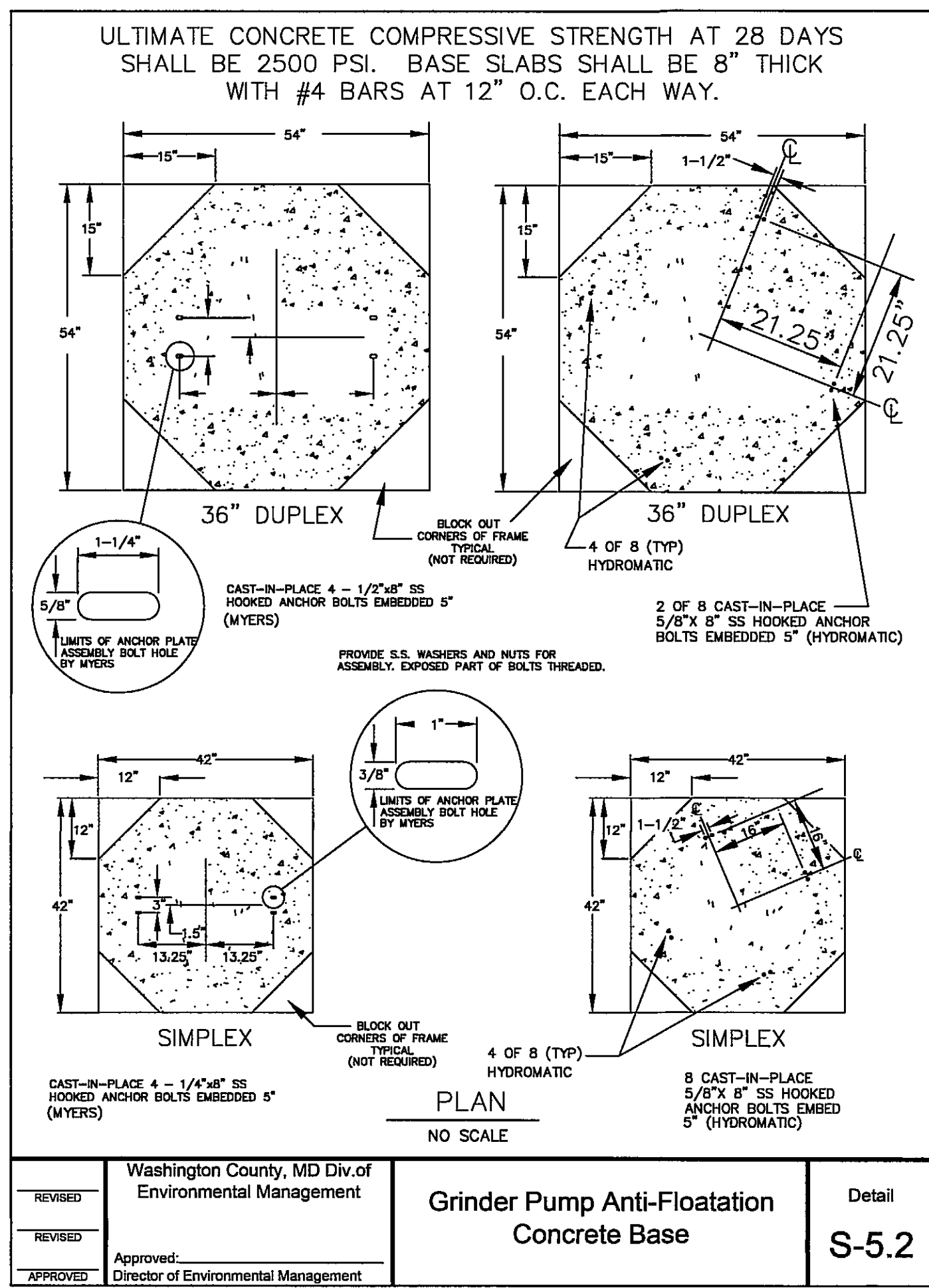
SCALE: NTS

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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PROJECT NO. **20-51074**
DRAWING NO. **D-6719**
DATE: **JUNE, 2022**
DRAWN BY: **DCM**
CHECKED BY: **CER**

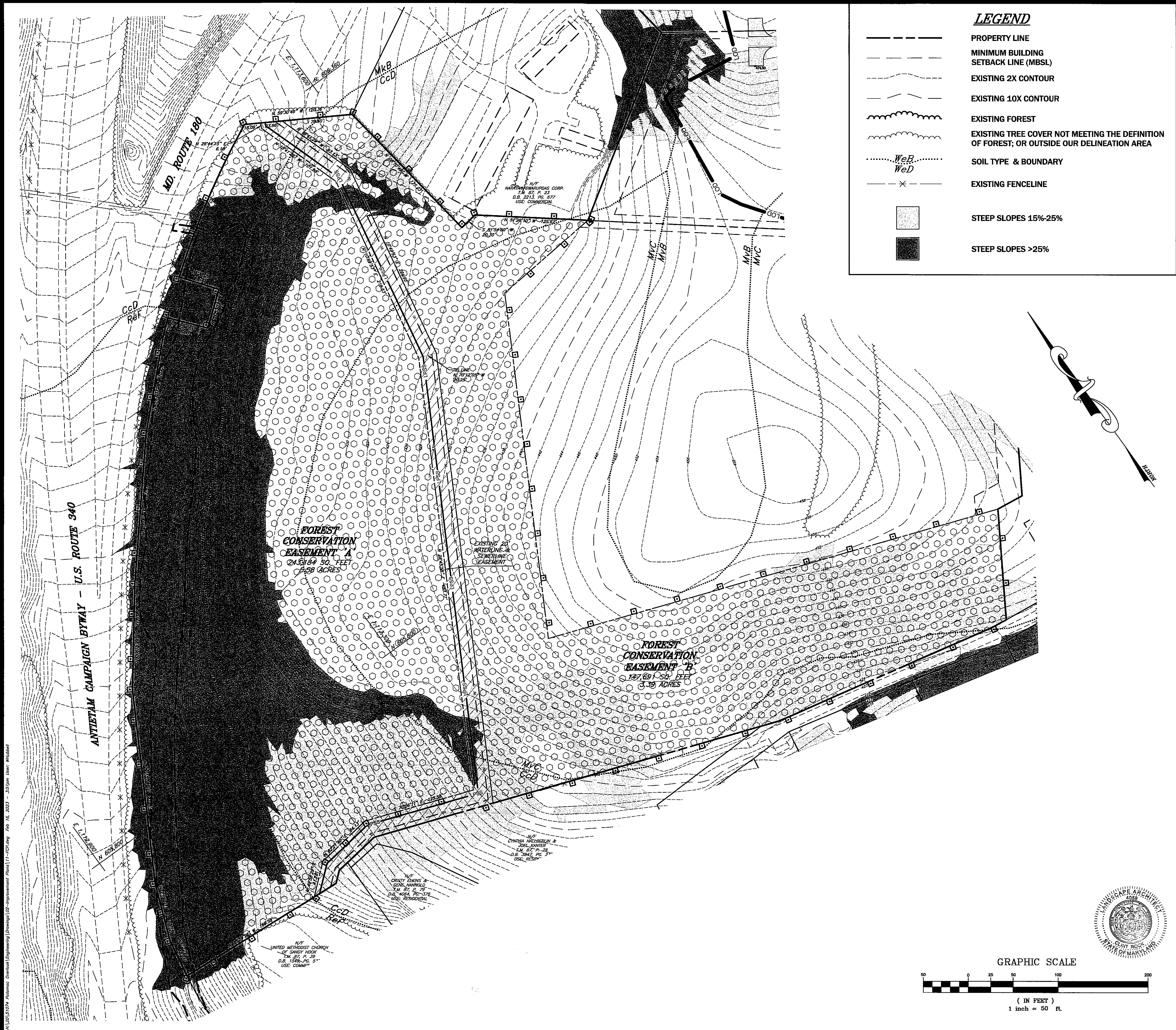
SHEET 9 OF 12



WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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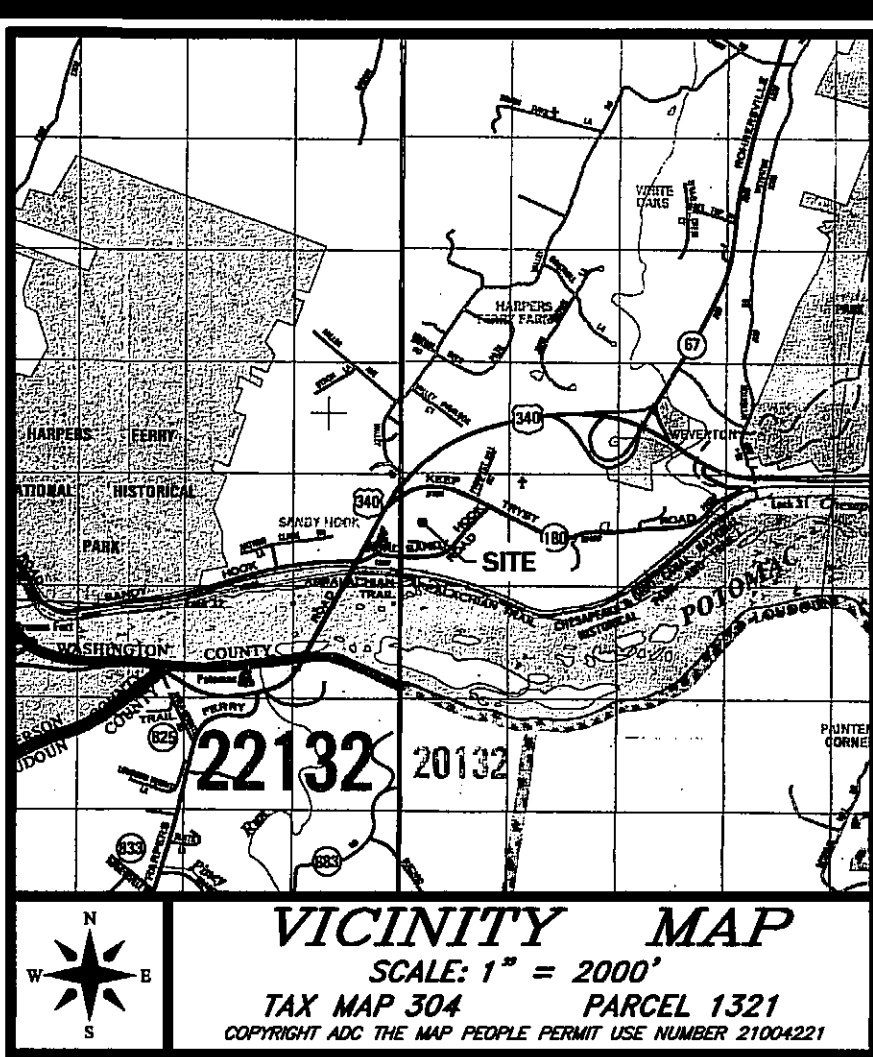
BY: _____ DATE: _____



LEGEND

PROPERTY LINE
MINIMUM BUILDING SETBACK LINE (MBSL)
EXISTING 2X CONTOUR
EXISTING 10X CONTOUR
EXISTING FOREST
EXISTING TREE COVER NOT MEETING THE DEFINITION OF FOREST; OR OUTSIDE OUR DELINEATION AREA
SOIL TYPE & BOUNDARY
EXISTING FENCELINE

STEEP SLOPES 15%-25%
STEEP SLOPES >25%



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FAX: (301) 733-1853
Email: foxasso@foxassocinc.com
www.foxassocinc.com

PRELIMINARY FOREST CONSERVATION PLAN
POTOMAC OVERLOOK
T.M. 87, P. 10
SITUATE SOUTH OF KEEP THYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=50'

OWNER / DEVELOPER
P OVERLOOK, LLC
1125 SOUTH CARROLL ST., SUITE 150
FREDERICK, MD 21701
(301) 696-0900

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.18.06.014 AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

2-17-23
Clint Rock

PROJECT NO. 20-51074
DRAWING NO. D-6719
DATE: JUNE, 2022
DRAWN BY: DCM
CHECKED BY: CER

SHEET 11 OF 12

P:\20\51074 Potomac Overlook Engineering Drawings\102-Improvement Plans\11-PP22.dwg File 16, 2023 - 3:51pm User: mhadfield

F:\2023\10274_Retention_Overlook\Engineering\Drawings\10274-Retention_Overlook.dwg Plot: 10274.dwg Plot Date: 10/23/2023 10:40:00 AM User: WJW

LONG TERM FOREST PROTECTION PLAN

THE BOUNDARIES OF THE FOREST CONSERVATION AREA SHALL BE MARKED WITH DURABLE SIGNAGE (SEE DETAIL 3.6.9 DETAIL THIS SHEET) WITH WORDING TO THE EFFECT THAT THE AREA IS A FOREST CONSERVATION AREA AND THAT THE TREES ARE NOT TO BE DISTURBED. THE POSTS AND SIGNS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND INDEFINITELY.

THERE SHALL BE NO DISTURBANCES OF THE AREA LABELED "FOREST CONSERVATION AREA" BY ANY REGULATED ACTIVITY AS DEFINED IN WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE, EXCEPTING SUCH ACTIVITIES WHICH HAVE RECEIVED PRIOR APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION.

PROPERTY OWNERS ARE ADVISED THAT PENALTIES AND FINES ARE ASSOCIATED WITH VIOLATION OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE ARE PERMITTED IN THE FOREST CONSERVATION AREAS PROVIDED THERE IS NO FOREST DISTURBANCE OR REMOVAL OF LIVING TREES.

THE LONG-TERM FOREST PROTECTION PLAN OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN EACH AND EVERY DEED OF CONVEYANCE FOR THIS PROPERTY AND SUBDIVISIONS THEREOF.

THE FOREST CONSERVATION PLAN SHOWS THAT NO EXISTING TREES WITHIN THE FOREST CONSERVATION AREAS ARE TO BE DISTURBED. IF FOR ANY REASON IN THE FUTURE FOREST COVER IS PROPOSED TO BE DISTURBED A REVISED FOREST CONSERVATION PLAN MUST BE SUBMITTED TO THE WASHINGTON COUNTY PLANNING COMMISSION AND APPROVED PRIOR TO DISTURBING ANY TREES.

LONG TERM PROTECTION AGREEMENT

THE FOREST CONSERVATION EASEMENT SHOWN HEREON IS DESIGNATED FOR RETAINED FOREST ACCORDING TO MULTIPLE PROJECTS AS SUMMARIZED IN THE RE-PLAT PURPOSE NOTE AND THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACCORDINGLY, THE PRACTICES AND SCHEDULES CONTAINED IN THE MAINTENANCE AGREEMENT SHALL BE FOLLOWED AS OUTLINED IN THE APPROVED FOREST CONSERVATION PLAN.

THE AREAS NOTED AS "FOREST CONSERVATION EASEMENT" ARE NOT TO BE DISTURBED BY ANY REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED FOREST DISTURBANCE IS REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT THAT TIME.

PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATION OF THESE RESTRICTIONS. OWNERS OF LOTS AFFECTED BY THE FOREST CONSERVATION EASEMENT(S) SHALL TAKE PRECAUTIONS TO PROTECT FOREST IN EASEMENT AREAS FROM UNAUTHORIZED DISTURBANCE PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE, AS LONG AS THERE IS NO FOREST DISTURBANCE, REMOVAL OF EXISTING FOREST, OR INHIBITION OF ITS NATURAL GROWTH PROCESSES ARE PERMITTED IN THE FOREST RETENTION AREAS. ACCESS TO EASEMENT AREAS AND OVER ACCESS RIGHTS OF WAY SHOWN ON THIS PLAT ARE NECESSARY AND PERMITTED TO WASHINGTON COUNTY AT REASONABLE TIMES FOR PERIODIC INSPECTION OF THE EASEMENT AREAS.

THIS NOTE OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN ANY FUTURE DEED OF CONVEYANCE OF THIS PARCEL OF LAND.

SIGNATURE

BY: PRINTED NAME TITLE

DATE

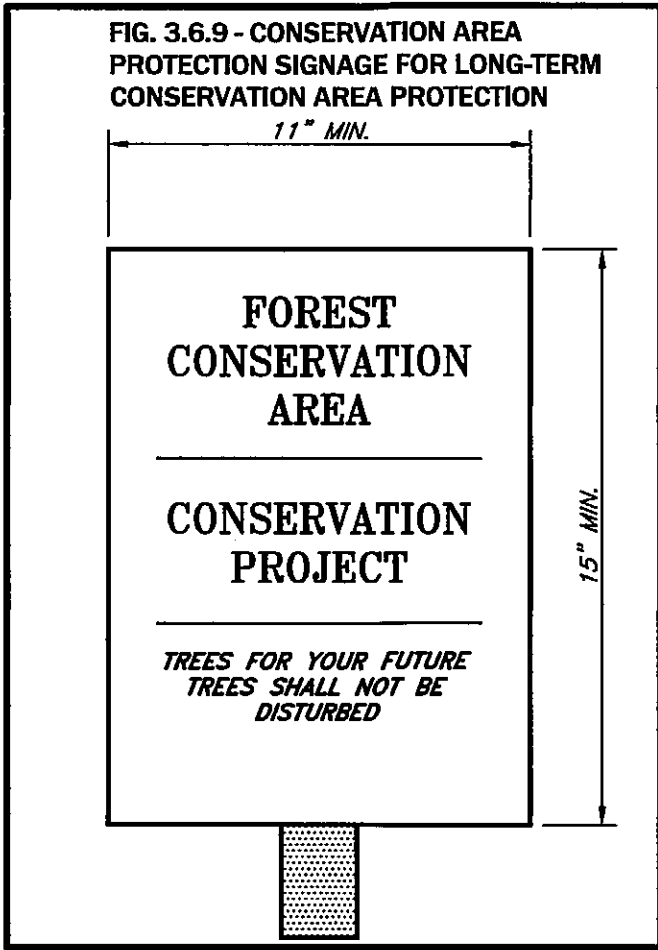
SEQUENCE OF CONSTRUCTION:

1. STAKE/FLAG LIMITS OF FOREST RETENTION AREAS.
2. INSTALL FOREST PROTECTION DEVICES.
3. CONTACT WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT OFFICE FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2430.
4. NOTIFY THE WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT AND HOLD POST CONSTRUCTION MEETING AND INSPECTION.

SOIL DATA

SYMBOL	DESCRIPTION	'K' FACTOR	HYDROLOGIC GROUP
CcD	HAGERSTOWN--ROCK OUTCROP COMPLEX, 3 TO 8 PERCENT SLOPES	0.32	B
MdB	MT. ZION GRAVELLY SILT LOAM, 3 TO 8 PERCENT SLOPES	0.37	C
MdC	MT. ZION GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES	0.37	B
MdH	MYERSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.49	B
MdC	MYERSVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.49	B
ReF	RAVENROCK--HIGHFIELD--ROCK OUTCROP COMPLEX, 25 TO 65 PERCENT SLOPES	0.28	B

NOTE: THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY DOES NOT LIST ANY OF THESE SOILS AS "KARST LANDSCAPE" SOILS.



SIGN NOTES:

1. THE PERMANENT SIGNS ARE REQUIRED TO BE POSTED WITHIN 30 DAYS OF SUBDIVISION APPROVAL AND ARE TO BE MAINTAINED FOR PERPETUITY.
2. SIGNS REQUIRED TO BE:
 - A) PLASTIC HDPE 0.05 GAUGE, OR
 - B) METAL
3. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART. 4. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
5. SIGNS SHALL REMAIN INDEFINITELY.

SITE DATA

TAX MAP/PARCEL..... 87/10
ELECTION DISTRICT..... 11
ZONING..... RV (RURAL VILLAGE)
WATERSHED..... POTOMAC RIVER/ FREDERICK COUNTY (02140301)
PARCEL ACREAGE..... TOTAL 24.11 AC. (PER DEED)
MINIMUM BUILDING SETBACKS..... FRONT 25'
SIDE 8'
REAR 25'
EXISTING USE..... UNDEVELOPED

NOTES

1. THE 100-YR FLOODPLAIN IS SHOWN PER MAP 24043C0455D EFFECTIVE DATE 8/15/17.
2. THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
3. THERE ARE STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631.
4. THERE ARE NO WETLANDS ON THE SITE PER THE NATIONAL WETLANDS INVENTORY (NWI).
5. THE WASHINGTON COUNTY SOIL SURVEY, MAP 55, ISSUED 2006, IDENTIFIES TWO BLUE LINE STREAMS ON THE SUBJECT SITE AND ONE JUST THE THE WEST OF THE SUBJECT SITE. THE USGS QUAID MAP FOR HARPERS FERRY, WV ONLY IDENTIFIES THE STREAM IN THE WESTERN PORTION OF THE PROPERTY WHICH IS SHOWN ON THIS PLAN. NO DEFINED CHANNEL OR EVIDENCE OF FLOW WAS OBSERVED DURING A FIELD INVESTIGATION COMPLETED IN MAY OF 2021.
6. FOREST CONSERVATION WORKSHEET 2.2 INDICATES THAT NO FOREST OBLIGATION IS REQUIRED BY THE CURRENT LIMIT OF DISTURBANCE. HOWEVER, THE CONSERVATION THRESHOLD AS SHOWN ON LINE "E" OF THE WORKSHEET (6.04 AC.) IS PLACED IN A CONSERVATION EASEMENT BY THIS PLAN TO PROVIDE FOR FUTURE REQUIRED MITIGATION CREATED BY THE DISTURBANCE ASSOCIATED WITH HOME CONSTRUCTION AS THE LOTS ARE DEVELOPED.

Forest Conservation Worksheet 2.2

Net Tract Area			
A. Total Tract Area		A =	24.11
B. Deductions		B =	0.00
C. Net Tract Area		C =	24.11
Land Use Category			
Input the number "1" under the appropriate land use zoning, and limit to only one entry			
ARA	MDR	IDA	HDR
0	1	0	0
MPD	CIA		
0	0		
D. Afforestation Threshold (Net Tract Area x 20%)		D =	4.82
E. Conservation Threshold (Net Tract Area x 25%)		E =	6.03
Existing Forest Cover			
F. Existing Forest Cover within the Net Tract Area		F =	20.74
G. Area of Forest Above Conservation Threshold		G =	14.71
Break Even Point			
H. Break Even Point		H =	8.97
I. Forest Clearing Permitted Without Mitigation		I =	11.77
Proposed Forest Clearing			
J. Total Area of Forest to be Cleared		J =	1.32
K. Total Area of Forest to be Retained		K =	19.42
Planting Requirements			
L. Reforestation for Clearing Above the Conservation Threshold		L =	0.00
M. Reforestation for Clearing Below the Conservation Threshold		M =	0.00
N. Credit for Retention above the Conservation Threshold		N =	0.00
P. Total Reforestation Required		P =	0.00
Q. Total Afforestation Required		Q =	0.00
R. Total Planting Requirement		R =	0.00

FOREST CONSERVATION AREA TABULATION

EASEMENT AREA 'A'	243,184 S.F.	5.58 AC.
EASEMENT AREA 'B'	26,391 S.F.	0.61 AC.
TOTAL	269,575 S.F.	6.19 AC.

OWNER / DEVELOPER

P OVERLOOK, LLP
1125 SOUTH CARROLL ST., SUITE 150
FREDERICK, MD 21701
(301) 896-0900

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Est. 1966

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DRAWN BY

REVISION

DATE

PRELIMINARY FOREST CONSERVATION NOTES & DETAILS

POTOMAC OVERLOOK

T.M. 87, P. 10

SITUATE SOUTH OF KEEP TRYST RD. AND NORTH OF SANDY HOOK RD.
ELECTION DISTRICT 11
WASHINGTON COUNTY, MARYLAND

SCALE: NTS

PROJECT NO. 20-51074

DRAWING NO. D-6719

DATE: JUNE, 2022

DRAWN BY: DCM

CHECKED BY: CER

SHEET 12 OF 12

~~DP-23-001~~ Emerald Pointe Revised Final Development Plan

-Presented is a revised Development Plan with the purpose of removing the asphalt pathway connecting the residential neighborhood to the commercial area from the approved plans.

-The site is located at 13325 Emerald Pointe Drive in Hagerstown



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

DEVELOPMENT PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Emerald Pointe PUD Revised Final Development Plan
NUMBER.....: DP-23-001

OWNER.....: EMERALD POINTE INC
LOCATION.....: 13325 EMERALD POINTE Drive
HAGERSTOWN, MD 21742
DESCRIPTION.....: The HOA has petitioned the developer to remove the asphalt pathway connecting the residential portion of the neighborhood to the commercial area.

ZONING.....: Residential, Transition PUD
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 18018535
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 18

TYPE.....:
GROSS ACRES.....: 97.15
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....: Scott A Stotemyer
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: March 30, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: I242
EASEMENTS PRESENT.....: S-07-002

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Paramount	Northern	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT	1389		
MAXIMUM CAPACITY	1423		

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: LONG MEADOW
AMBULANCE DISTRICT.....: HAGERSTOWN

WATER & SEWER INFORMATION

WATER

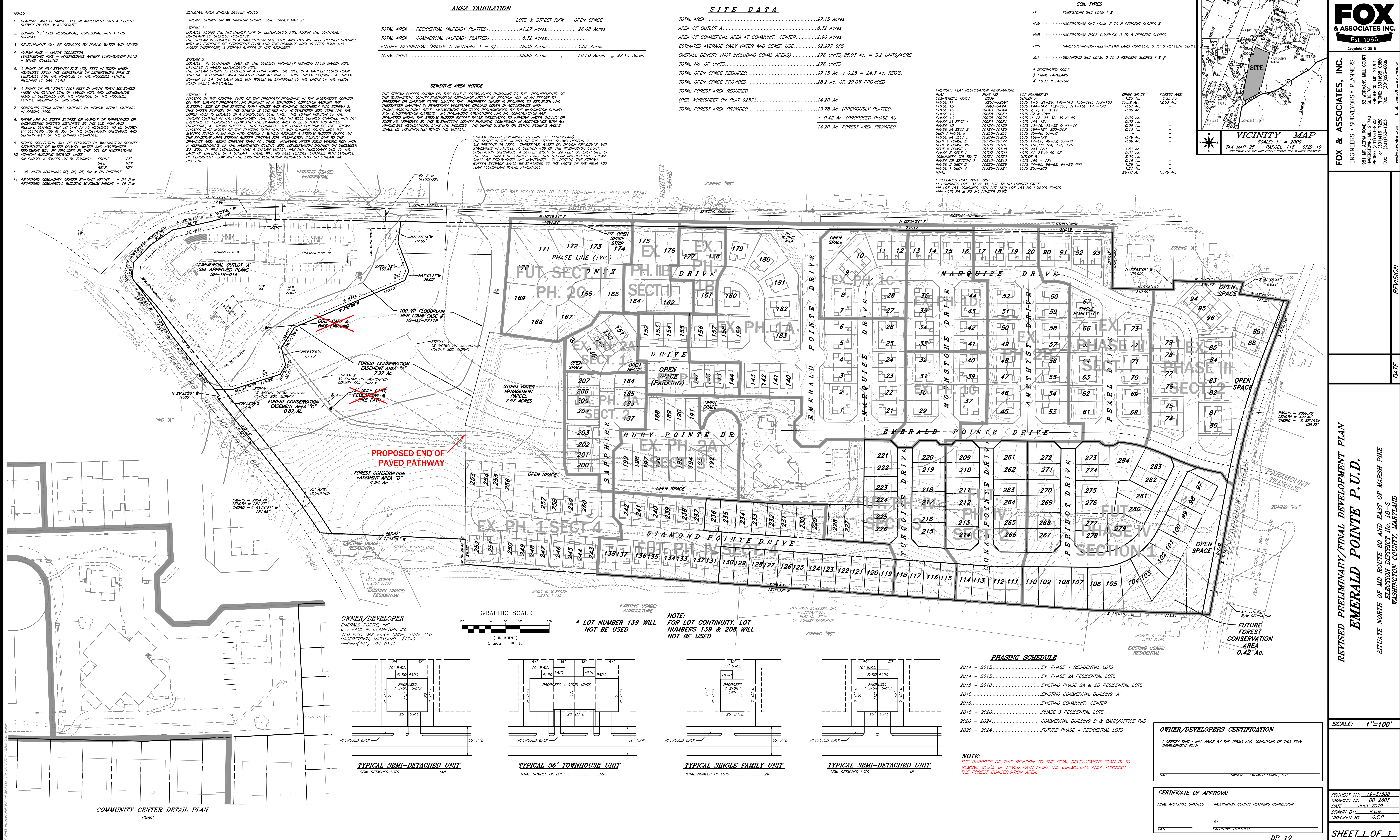
SEWER



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

METHOD.....:	City	County Line - City Treatment
SERVICE AREA.....:	City	County Line - City Treatment
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Hagerstown (City)



Site Plan for Morningside East – Trailer Parking Area

Presented is a site plan for Morningside East Trailer Parking Area.

The subject site is located at 231 East Oak Ridge Drive between UPS and Roadway Express and across the street from South Pointe Subdivision, at the Southern Boulevard Roundabout. Zoning is Highway Interchange. Total lot area is 17.64 acres with a proposed 3.0 acres of disturbance for this site plan.

Existing tenants of this site are Two Men and a Truck, Metro Shelving, Kind Contents Restoration, Fabricated Extrusions, and United Parcel Service. The site plan proposes the addition of trailer parking and a stormwater management area, both located in the front of the property.

No variances, ordinance modifications, or special exceptions are associated with this property.

The new parking proposed will be 55 truck parking spaces on site. Hours of operation for this truck trailer parking area will be limited to daylight hours Monday through Friday. There will be no additional staff members resulting from these new parking spaces. Therefore, no new lighting is proposed with this plan.

This tractor trailer activity will be utilizing the existing entrance.

No additional water or sewage usage is anticipated with this plan and no additional signage is necessary.

Forest Conservation requirements have been met through on-site retention and payment in lieu of planting, as reflected in approved plan file number FP-22-003.



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Morningside East- Trailer Parking Area
NUMBER.....: SP-22-035

OWNER.....: MORNINGSIDE EAST LLC
LOCATION.....: 231 Ea OAK RIDGE Drive, Suite# A
Hagerstown, MD 21740

DESCRIPTION.....:

ZONING.....: Highway Interchange
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 10005302
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....: Commercial
GROSS ACRES.....: 17.64
DWELLING UNITS.....: 0
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Heather R Williams
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: November 2, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable

**WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING**

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
61.1	85	0
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
0	n/a	n/a
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
n/a	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
0	0	
Parking Spaces - Minimum Required	Recreational Parking Provided	
0	No	

ACCESS SPACING VARIANCE NEEDED: No**NUMBER OF ACCESS POINTS: 1**

	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Emma K Doub School for Integrated Arts and Technology	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	FUNKSTOWN
AMBULANCE DISTRICT.....:	HAGERSTOWN

	<i>WATER & SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	3-Programmed Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

PROJECT PURPOSE

THIS PROPERTY IS A 17.64-ACRE PARCEL LOCATED ALONG THE SOUTH SIDE OF EAST OAK RIDGE DRIVE AND THE EAST SIDE OF OAKMONT DRIVE IN ELECTION DISTRICT 10. THE PROPERTY IS CURRENTLY SERVING AS A TRAILER STORAGE & WAREHOUSE AND HAS HISTORICALLY SERVED AS SUCH. THE MAJORITY OF THE PROPERTY IS COMPLETELY DEVELOPED. THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN ADDITIONAL STONE SURFACE TRAILER STORAGE AREA AND POTENTIAL FUTURE FREE-STANDING BUILDING WITHIN THE FOOTPRINT OF THE STORAGE AREA AT A FUTURE DATE. THE POTENTIAL FUTURE BUILDING IS NOT PROPOSED AS A PART OF THIS SITE PLAN SUBMITTAL. HOWEVER THE POTENTIAL LOCATION OF THIS FUTURE BUILDING HAS BEEN SHOWN ON THE PLAN FOR INFORMATIONAL PURPOSES. THE SITE IS SURROUNDED BY OTHER EXISTING COMMERCIAL AREAS SUCH AS A UPS CUSTOMER CENTER AND YRC FREIGHT CENTER AS WELL AS PORTIONS OF UNDEVELOPED LAND TO THE SOUTH. THE SITE IS UNDERLAIN BY THE FUNKSTOWN SILT LOAM, HAGERSTOWN SILT LOAM, AND HAGERSTOWN-ROCK OUTCROP COMPLEX SOILS. THE PROPOSED TRAILER STORAGE AREA WILL FEATURE 55 TRAILER STORAGE SPACES WHICH COULD BE DEVELOPED LATER AS A POTENTIAL FUTURE FREE-STANDING BUILDING. THE SITE PLAN AND STORMWATER MANAGEMENT PROVIDED HAVE BEEN DESIGNED ACCORDINGLY IN CONSIDERATION OF THE POSSIBLE FUTURE BUILDING.

NOTES:

1. —○— DENOTES REBAR AND CAP TO BE SET UNLESS NOTED OTHERWISE.
2. THE BEARINGS SHOWN HEREON ARE BASED ON MARYLAND STATE PLANE COORDINATE SYSTEM NAD 83 (2011).
3. THERE ARE NO HOUSES, WELL, OR SEPTICS WITHIN 100 FEET OF THE SUBDIVISION BOUNDARY UNLESS SHOWN.
4. ZONING IS "HI" HIGHWAY INTERCHANGE
5. AN EIGHT (8) FOOT EASEMENT FOR ALL UTILITIES AND DRAINAGE IS DEDICATED ALONG THE INTERIOR OF ALL SIDE AND REAR LOT LINES. A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE IS DEDICATED ALONG THE INTERIOR OF ALL FRONT LOT LINES.
6. THE PROPERTY IS IN FLOOD ZONE "X" BY EXAMINATION OF FEMA FLOOD MAP 24043C0305D HAVING AN EFFECTIVE DATE OF AUGUST 15, 2017.
7. BEARINGS AND DISTANCES IN AGREEMENT WITH A SURVEY BY FOX & ASSOCIATES, INC.
8. SETBACKS (MOST RESTRICTIVE): * FRONT 40' ** SIDES 10' ** REAR 10' ** * THE CURRENT USE OF THE SITE IS WAREHOUSING WHICH IS A PERMITTED USE UNDER THE BG-BUSINESS, GENERAL DISTRICT. THE STORAGE OF TRAILERS IS AN ACCESSORY USE TO THE WAREHOUSE USE CURRENTLY OPERATING ON THE PROJECT SITE. ** BASED ON THE MINIMUM PRESCRIBED SETBACKS CONTAINED IN ARTICLE 12.5 OF THE BG-BUSINESS, GENERAL DISTRICT IN THE WASHINGTON COUNTY ZONING ORDINANCE
9. THERE ARE NO STEEP SLOPES OR BLUE LINE STREAMS OR FLOODPLAINS OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
10. EXTENT OF WATERSHED DIRECTLY AFFECTING THIS SITE IS LESS THAN 400 ACRES. SITE LIES WITHIN THE ANTETAM CREEK WATERSHED, 8-DIGIT WATERSHED CODE 02140502.
11. TOPOGRAPHY SHOWN HEREON TAKEN FROM WASHINGTON COUNTY TOPOGRAPHIC GIS DATA.
12. PUBLIC SANITARY SEWER AND PUBLIC WATER IS AVAILABLE TO THIS SITE AND IS PROVIDED BY THE CITY OF HAGERSTOWN. NO SEWER OR WATER FACILITIES ARE PROPOSED FOR THIS TRAILER PARKING USE. THE EXISTING BUILDING ON THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER.
13. NO ADDITIONAL SITE LIGHTING IS PROPOSED BY THIS SITE PLAN.
14. NO NEW OR ADDITIONAL SITE SIGNAGE IS PROPOSED BY THIS SITE PLAN.
15. FOREST STAND DELINEATION FOR THIS SITE APPROVED UNDER COUNTY FILE FS-22-012.
16. ESD CONCEPT PLAN APPROVED UNDER COUNTY FILE SWCP22-017.
17. NO NEW SITE UTILITIES ARE PROPOSED BY THIS SITE PLAN.
18. THE EDMONT, SMITHSBURG, OR UPPER BEAVER CREEK WATERSHEDS ARE NOT WITHIN 1000 FEET OF THIS PROPERTY.
19. THE APPALACHIAN TRAIL IS NOT WITHIN 1000 FEET OF THIS PROPERTY.
20. NO VARIANCES, ORDINANCE MODIFICATIONS, OR SPECIAL EXCEPTIONS ARE ASSOCIATED WITH THIS PROPERTY.
21. NO FENCING EXISTS ON THE SUBJECT PROPERTY. NO NEW FENCING IS PROPOSED BY THIS TRAILER PARKING SITE PLAN.
22. THE FOREST CONSERVATION REQUIREMENT FOR THIS SITE IS MET THROUGH ON-SITE RETENTION AND PAYMENT IN LIEU OF PLANTING. REFER TO COUNTY FILE NUMBER FP-22-003 FOR ADDITIONAL INFORMATION.
23. A GEOTECHNICAL ENGINEERING REPORT FOR THE BIORETENTION FACILITY PROPOSED BY THIS PLAN WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES. THE GEOTECHNICAL REPORT WAS DATED SEPTEMBER 15, 2022 AND SHALL BE UTILIZED DURING EXECUTION OF THE WORK TO ENSURE COMPLIANCE WITH RECOMMENDATIONS MADE WITHIN THE HILLIS-CARNES ENGINEERING ASSOCIATES SEPTEMBER 15, 2022 GEOTECHNICAL ENGINEERING REPORT.

SOILS

HcB -	HAGERSTOWN-ROCK OUTCROP COMPLEX 3 TO 8 PERCENT SLOPES	62.4%
HoB -	HAGERSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	21.8%
HcC -	HAGERSTOWN-ROCK OUTCROP COMPLEX 8 TO 15 PERCENT SLOPES	15.4%
Ft -	FUNKSTOWN SILT LOAM	0.4%

SENSITIVE AREA NOTE

THERE ARE NO FLOODPLAINS IMPACTING THIS SITE AS SHOWN ON COMMUNITY PANEL NUMBER 24043 C 0330 D WITH AN EFFECTIVE DATE OF AUGUST 15, 2017. NO STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES WITHIN THE DISTURBED AREA IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.

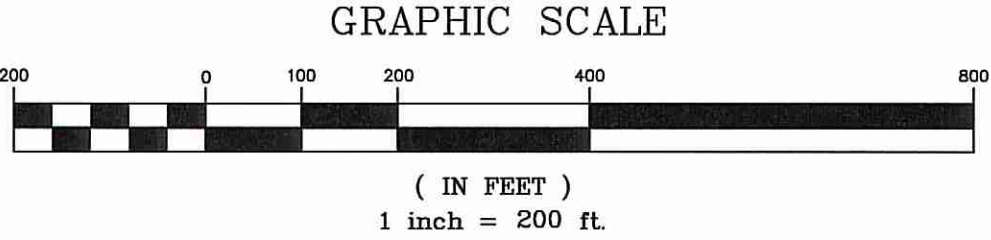
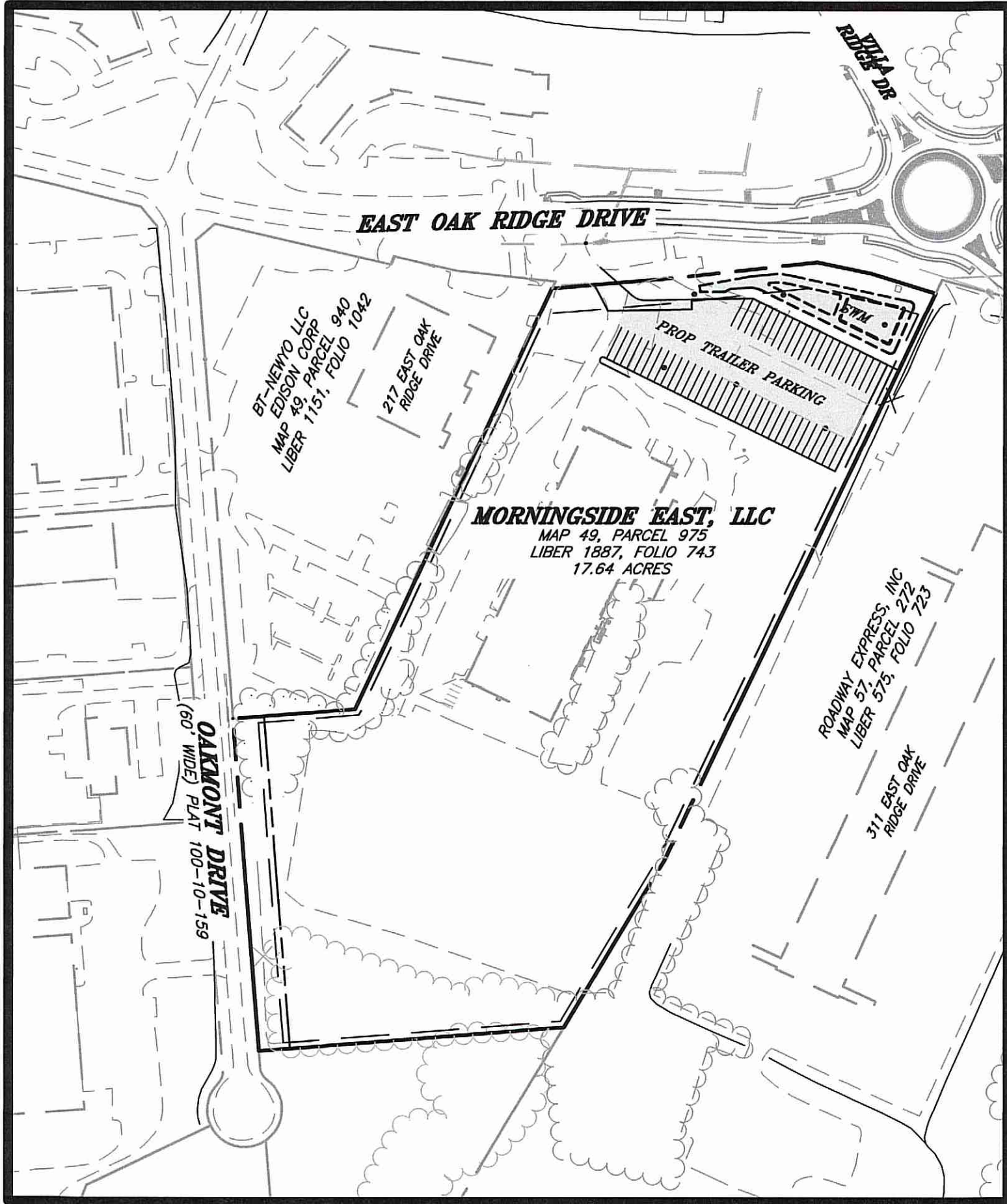
UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS, OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

AGENCY & UTILITY CONTACTS

WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING	-----	240.313.2430
WASHINGTON COUNTY DIVISION OF ENGINEERING	-----	240.313.2460
WASHINGTON COUNTY DIVISION OF PERMITS & INSPECTIONS	-----	240.313.2460
POTOMAC EDISON	RIK USARY	301.582.5271
WASHINGTON COUNTY SOIL CONSERVATION DISTRICT	DENISE PRICE	301.797.6821 x3
ANTETAM BROADBAND	-----	240.420.2084
VERIZON	JULIE LUDWIG	301.790.7135
COLUMBIA GAS	VONDA GRIFFIN	800.440.6111
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY	MARK BRADSHAW	240.313.2600
CITY OF HAGERSTOWN UTILITIES DIVISION (SITE WATER AND SEWER PROVIDER)	-----	301.739.8577 x650

SITE PLAN
MORNINGSIDE EAST
TRAILER PARKING AREA
231 E. OAK RIDGE DRIVE
SITUATE ALONG OAKMONT DRIVE
WASHINGTON COUNTY
HAGERSTOWN, MD 21740



INDEX OF SHEETS

- 01 COVER SHEET
- 02 EXISTING CONDITIONS PLAN
- 03 OVERALL SITE PLAN
- 04 ENLARGED SITE PLAN
- 05 SWM PLAN & PROFILES
- 06 BIO-RETENTION NOTES & DETAILS
- 07 STORMWATER MANAGEMENT NOTES & DETAILS
- 08 SWM LANDSCAPE PLAN, NOTES & DETAILS
- 09 SOIL EROSION/SEDIMENT CONTROL PLAN
- 10 SESC NOTES & DETAILS
- 11 TEST PIT LOGS TP-1 THROUGH TP-6

05.03.23 REVISED DRAINAGE
04.12.23 REVISED PER AGENCY COMMENTS
01.03.23 REVISED PER AGENCY COMMENTS
12.02.22 REVISED PER COUNTY COMMENTS

OWNER/DEVELOPER

MORNINGSIDE EAST LLC
10228 GOVERNOR LANE BLVD, SUITE 3002
WILLIAMSPORT, MARYLAND 21795-4064
PHONE: 301.582.1555
ATTN: JEFF TREDICK
PRESIDENT OF CONSTRUCTION OPERATIONS
BOWMAN DEVELOPMENT CORPORATION

PROFESSIONAL CERTIFICATION



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 01/25/24

SP-22-035 PROJECT NO. 21-31742 D-9034 SHEET 1 OF 11

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009



DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 3.4 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 20,800 C.Y. OF EXCAVATION AND 2,100 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

APPROVED:
WASHINGTON COUNTY DIVISION OF ENGINEERING

SIGNATURE _____ DATE: _____

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND MEETS THE MARYLAND POND STANDARD 37B.

5/9/23 27053
DATE REG. NO. SIGNATURE

OWNER/DEVELOPER CERTIFICATION - DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THEN POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

DATE PRINTED NAME SIGNATURE

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL, BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE PRINTED NAME SIGNATURE

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

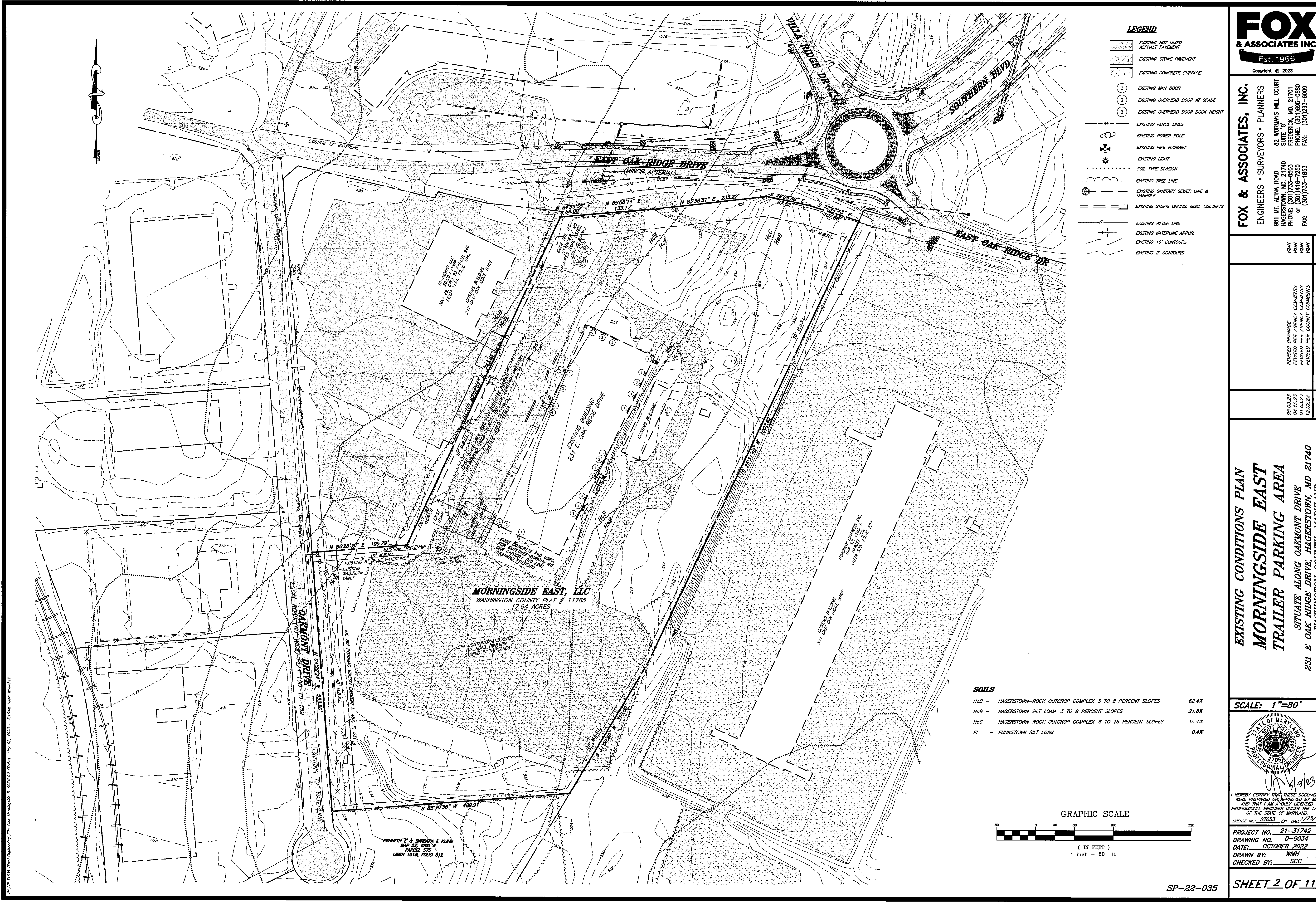
BY: _____

DATE: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

I HEREBY VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.

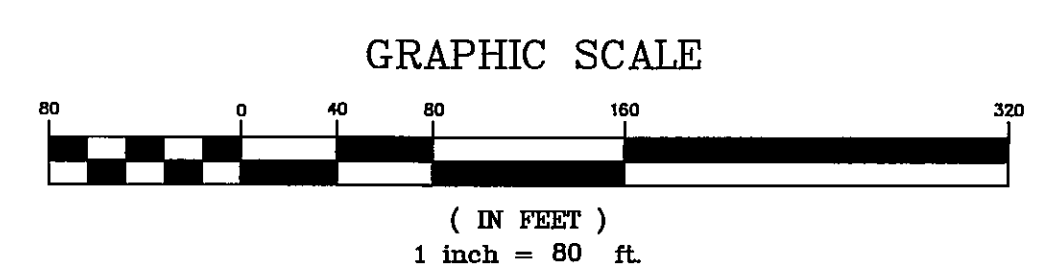
SIGNATURE DATE SEAL



- LEGEND**
- EXISTING HOT MIXED ASPHALT PAVEMENT
 - EXISTING STONE PAVEMENT
 - EXISTING CONCRETE SURFACE
 - EXISTING MAN DOOR
 - EXISTING OVERHEAD DOOR AT GRADE
 - EXISTING OVERHEAD DOOR DOCK HEIGHT
 - EXISTING FENCE LINES
 - EXISTING POWER POLE
 - EXISTING FIRE HYDRANT
 - EXISTING LIGHT
 - SOIL TYPE DIVISION
 - EXISTING TREE LINE
 - EXISTING SANITARY SEWER LINE & MANHOLE
 - EXISTING STORM DRAINS, MISC. CULVERTS
 - EXISTING WATER LINE
 - EXISTING WATERLINE APPUR.
 - EXISTING 10' CONTOURS
 - EXISTING 2' CONTOURS

SOILS

HcB - HAGERSTOWN-ROCK OUTCROP COMPLEX 3 TO 8 PERCENT SLOPES	62.4%
HaB - HAGERSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	21.8%
HcC - HAGERSTOWN-ROCK OUTCROP COMPLEX 8 TO 15 PERCENT SLOPES	15.4%
FL - FUNKSTOWN SILT LOAM	0.4%



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Est. 1966
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ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21701
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853
www.foxassoc.com
Email: foxassoc@foxassoc.com

REVISION	DATE	BY
REVISED DRAINAGE	05.03.23	MMH
REVISED PER AGENCY COMMENTS	04.12.23	MMH
REVISED PER AGENCY COMMENTS	01.03.23	MMH
REVISED PER COUNTY COMMENTS	12.02.22	MMH

EXISTING CONDITIONS PLAN
MORNINGSIDE EAST
TRAILER PARKING AREA

SITUATE ALONG OAKMONT DRIVE
231 E OAK RIDGE DRIVE, HAGERSTOWN, MD 21740
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=80'

STATE OF MARYLAND
PROFESSIONAL ENGINEER
J. J. JONES
1/25/24

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A FULLY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE NO.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 21-31742
DRAWING NO. D-9034
DATE: OCTOBER 2022
DRAWN BY: MMH
CHECKED BY: SCC

SHEET 2 OF 11



DATE

SHEET 3 OF 11

SP-22-035

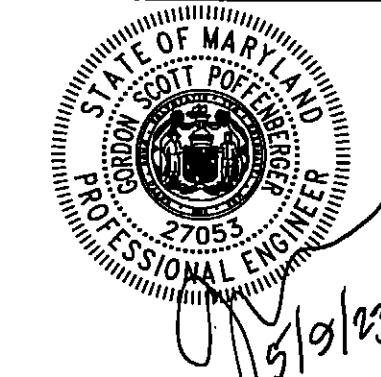
FOX & ASSOCIATES, INC.
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or (301) 418-7250
www.foxassoc.com
Email: foxasso@foxassoc.com

REVISION
DATE
05.03.23
04.12.23
12.02.22

ENLARGED SITE PLAN
MORNINGSIDE EAST
TRAILER PARKING AREA
SITUATE ALONG OAKMONT DRIVE
231 E OAK RIDGE DRIVE HAGERSTOWN, MD 21740
WASHINGTON COUNTY, MARYLAND

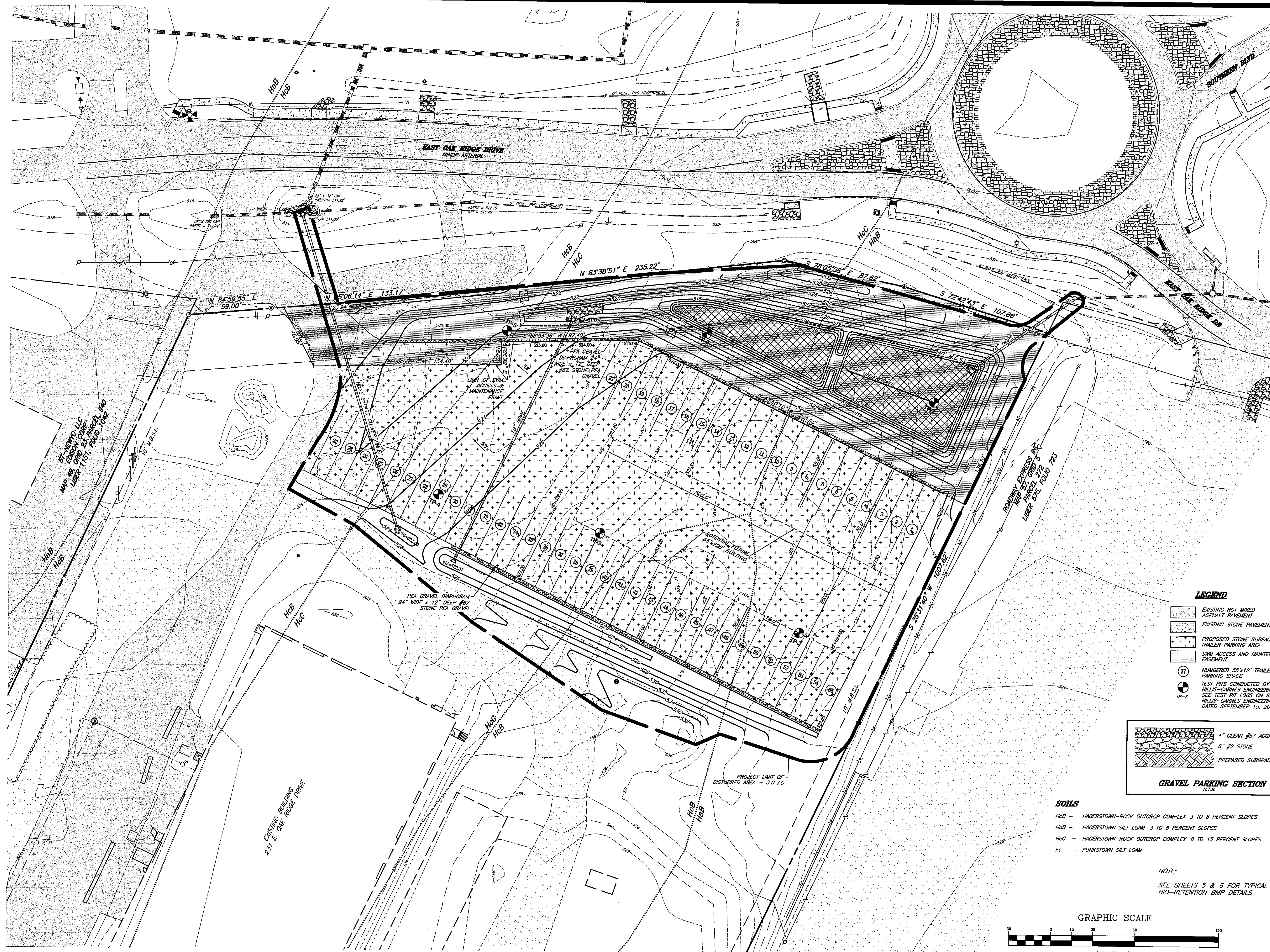
SCALE: 1"=30'



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No. 27053 EXP. DATE 1/25/24

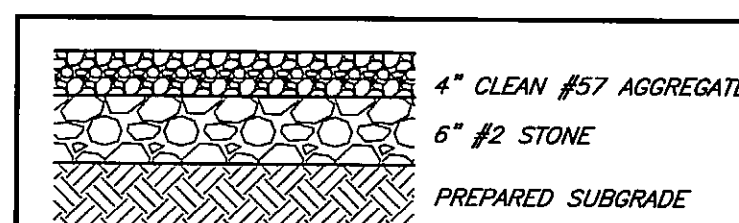
PROJECT NO. 21-31742
DRAWING NO. D-9034
DATE: OCTOBER 2022
DRAWN BY: WMH
CHECKED BY: SCC

SHEET 4 OF 11



LEGEND

- EXISTING HOT MIXED ASPHALT PAVEMENT
- EXISTING STONE PAVEMENT
- PROPOSED STONE SURFACE TRAILER PARKING AREA
- SWM ACCESS AND MAINTENANCE EASEMENT
- NUMBERED 55'x12' TRAILER PARKING SPACE
- TEST PITS CONDUCTED BY HILLIS-CARNES ENGINEERING ASSOCIATES. SEE TEST PIT LOGS ON SHEET 11 AND HILLIS-CARNES ENGINEERING REPORT DATED SEPTEMBER 15, 2022.



SOILS

HcB - HAGERSTOWN-ROCK OUTCROP COMPLEX 3 TO 8 PERCENT SLOPES	62.4%
HaB - HAGERSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	21.8%
HcC - HAGERSTOWN-ROCK OUTCROP COMPLEX 8 TO 15 PERCENT SLOPES	15.4%
Ft - FUNKSTOWN SILT LOAM	0.4%

NOTE:

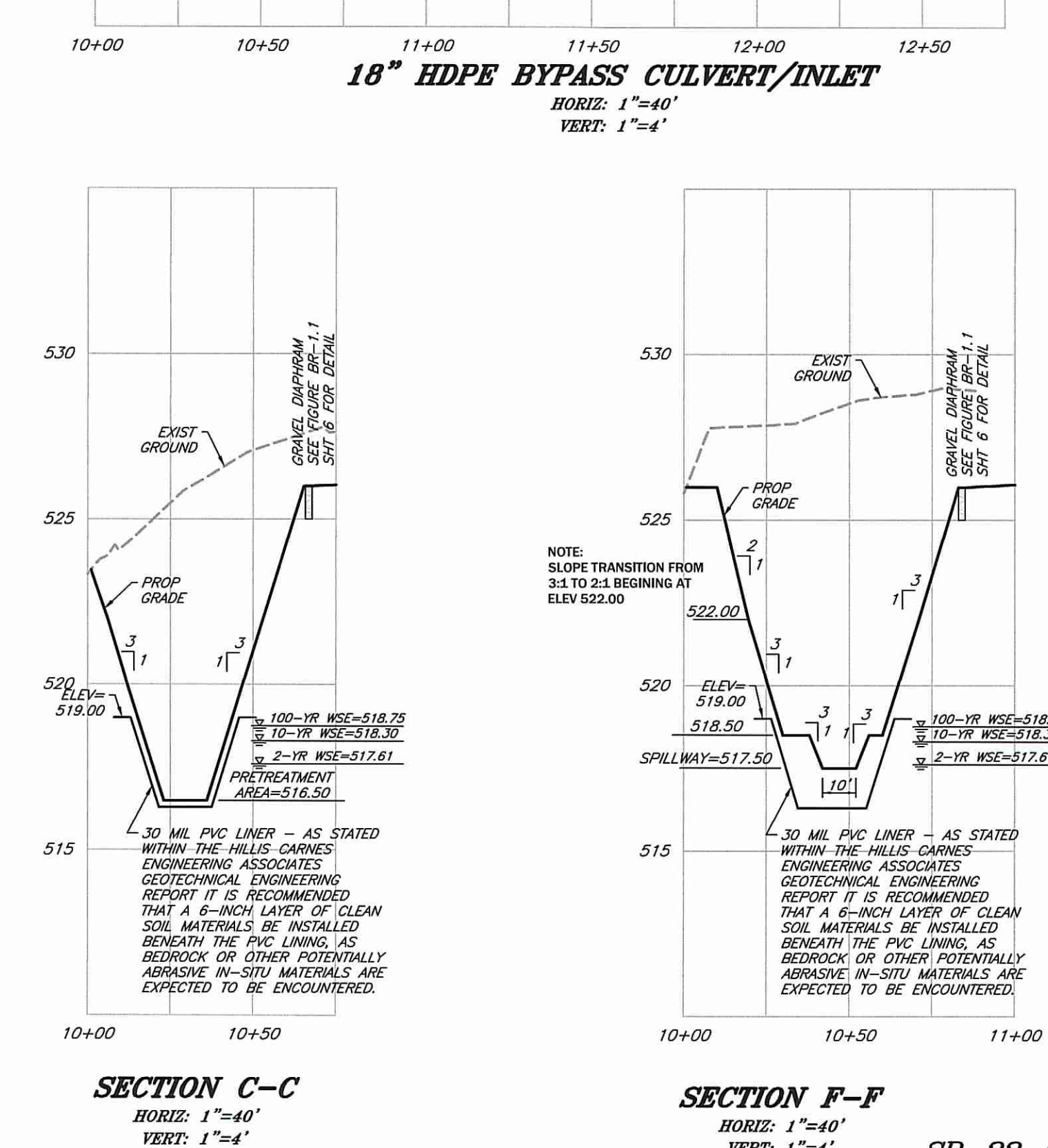
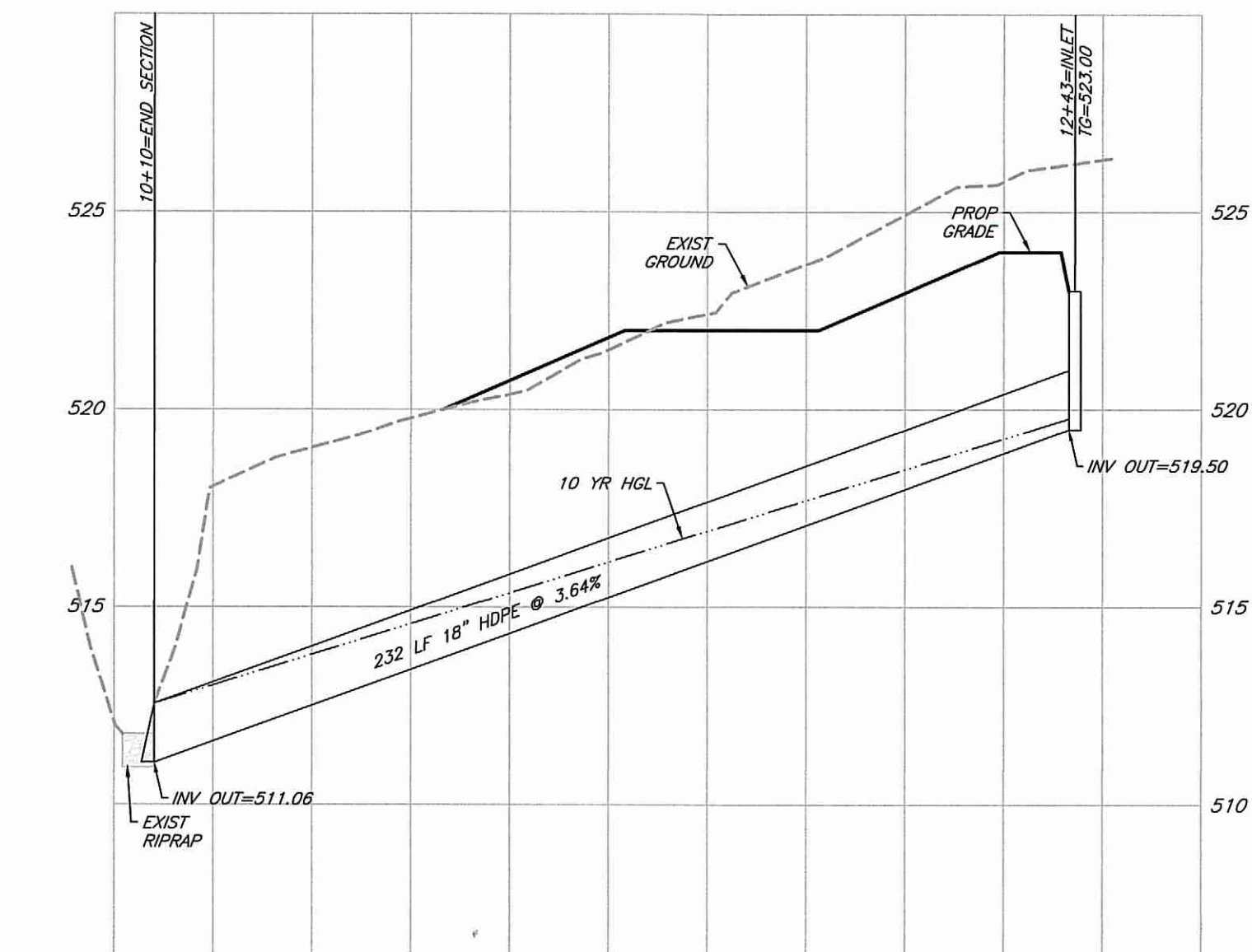
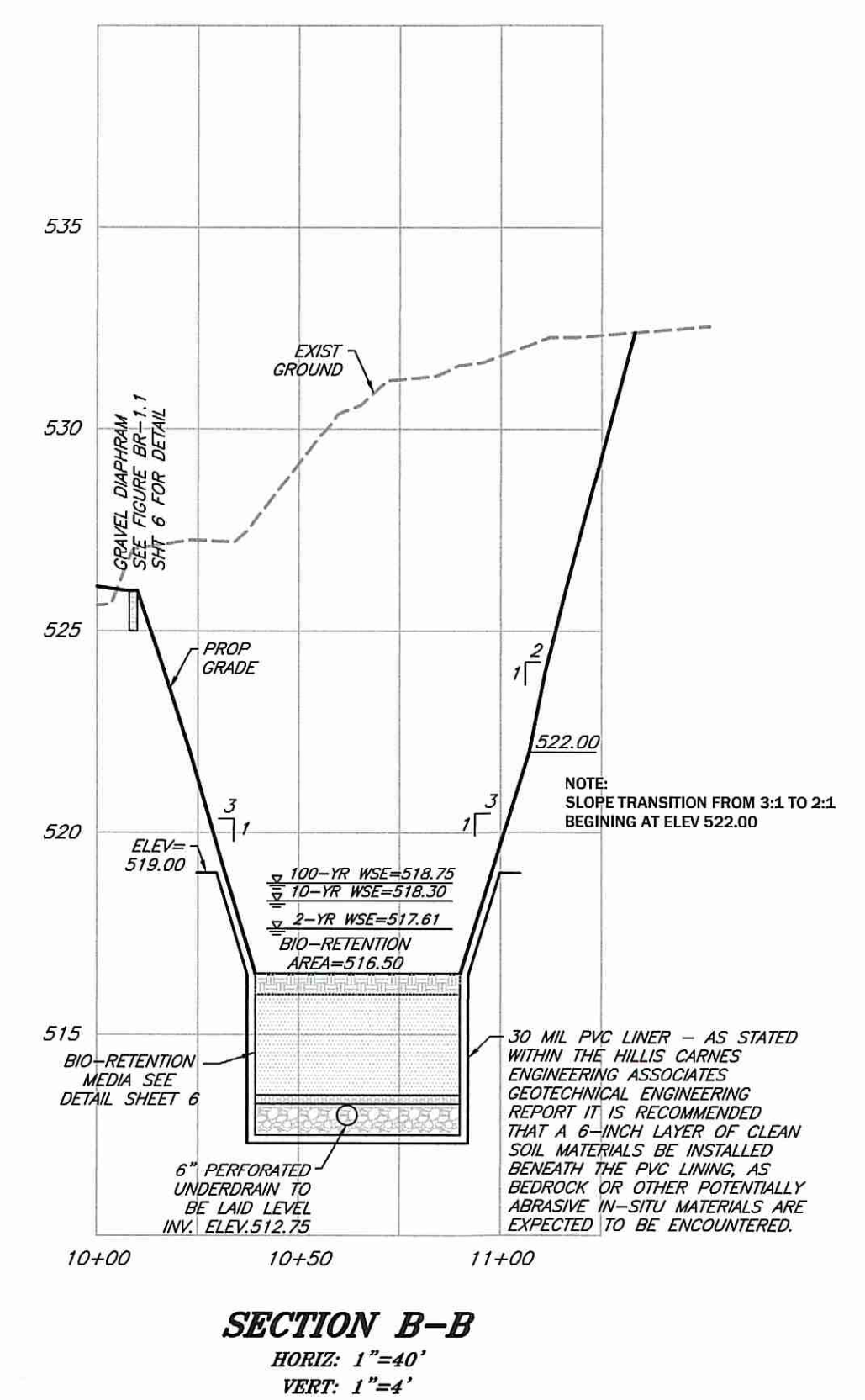
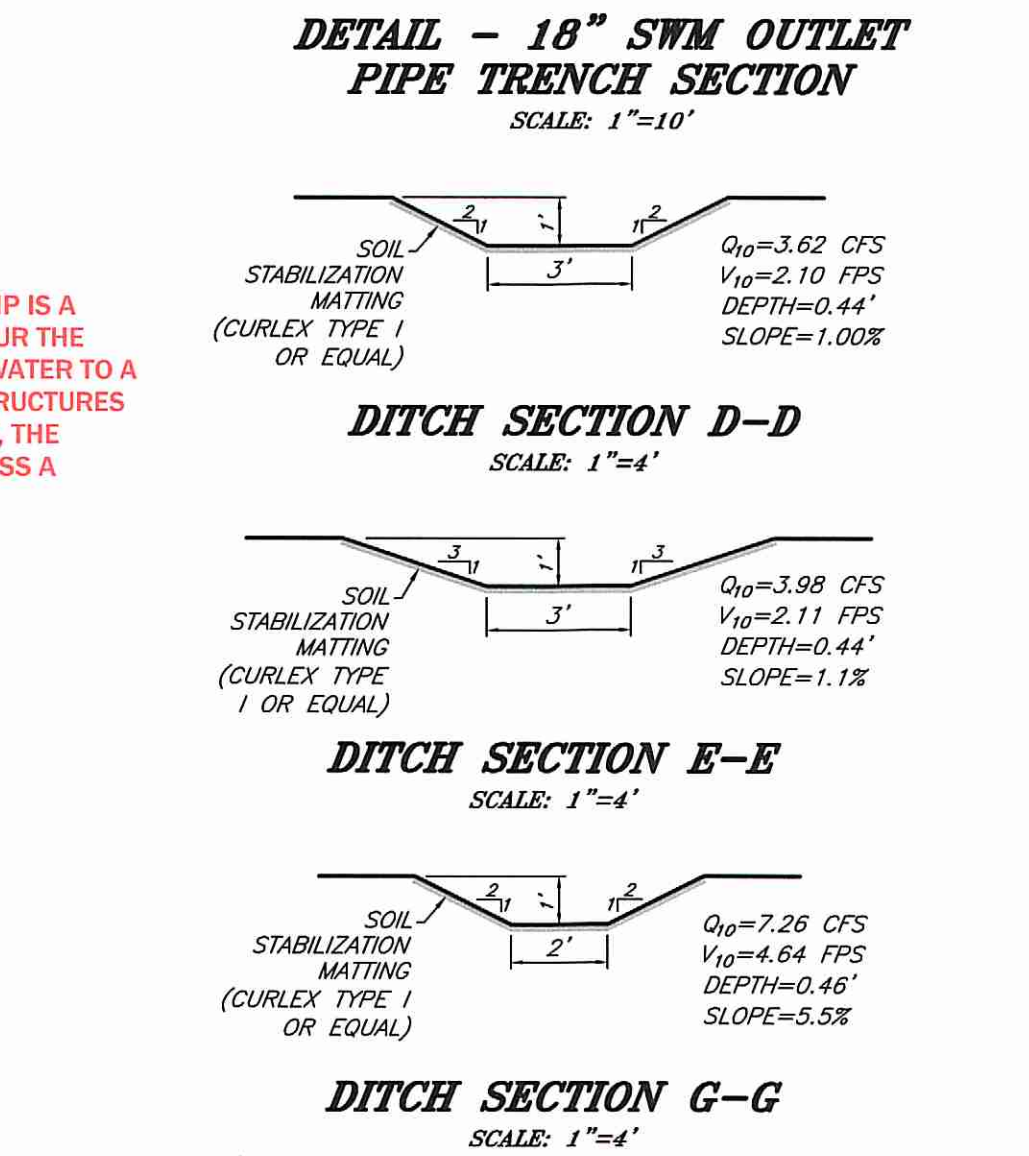
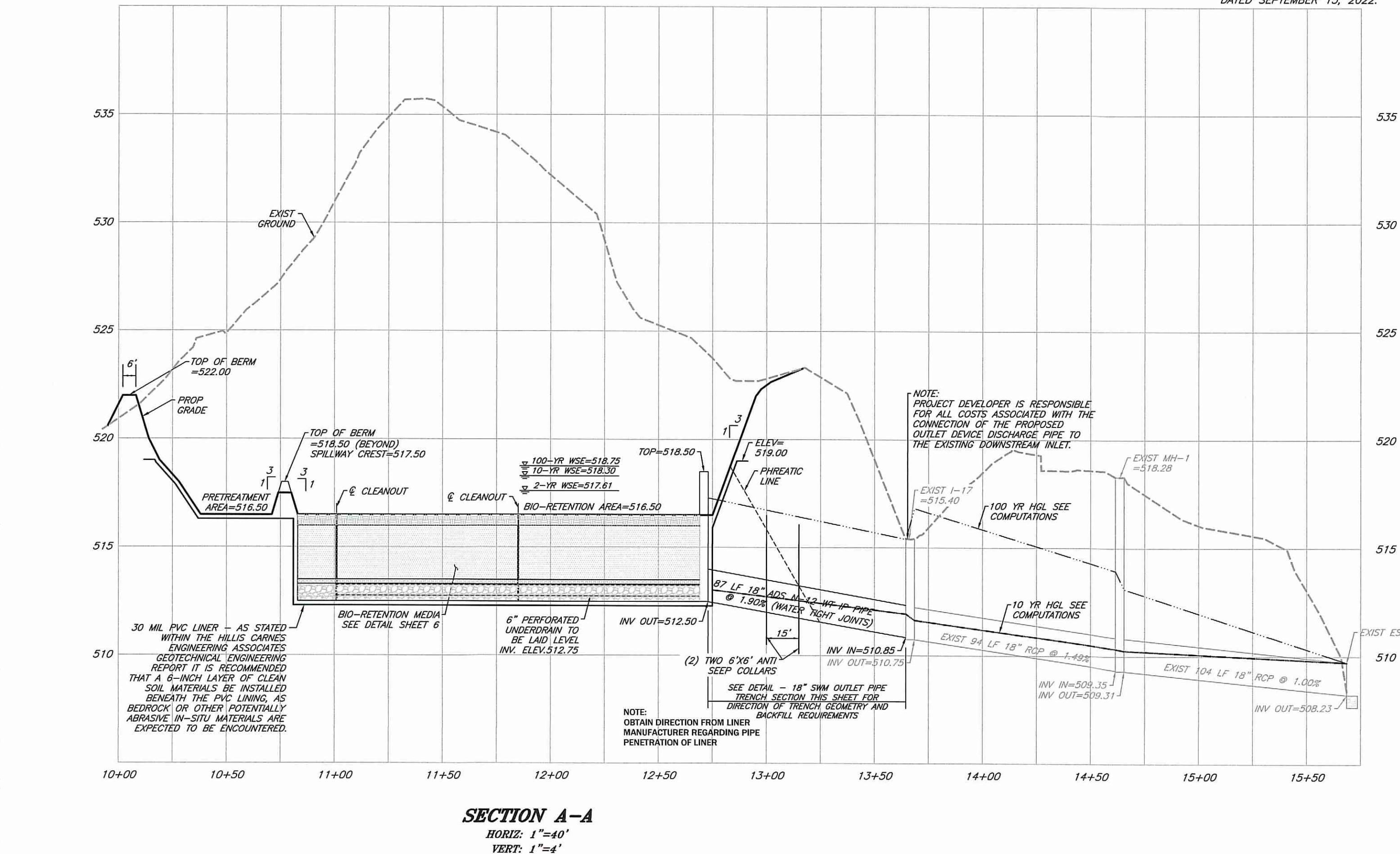
SEE SHEETS 5 & 6 FOR TYPICAL BIO-RETENTION BMP DETAILS

GRAPHIC SCALE

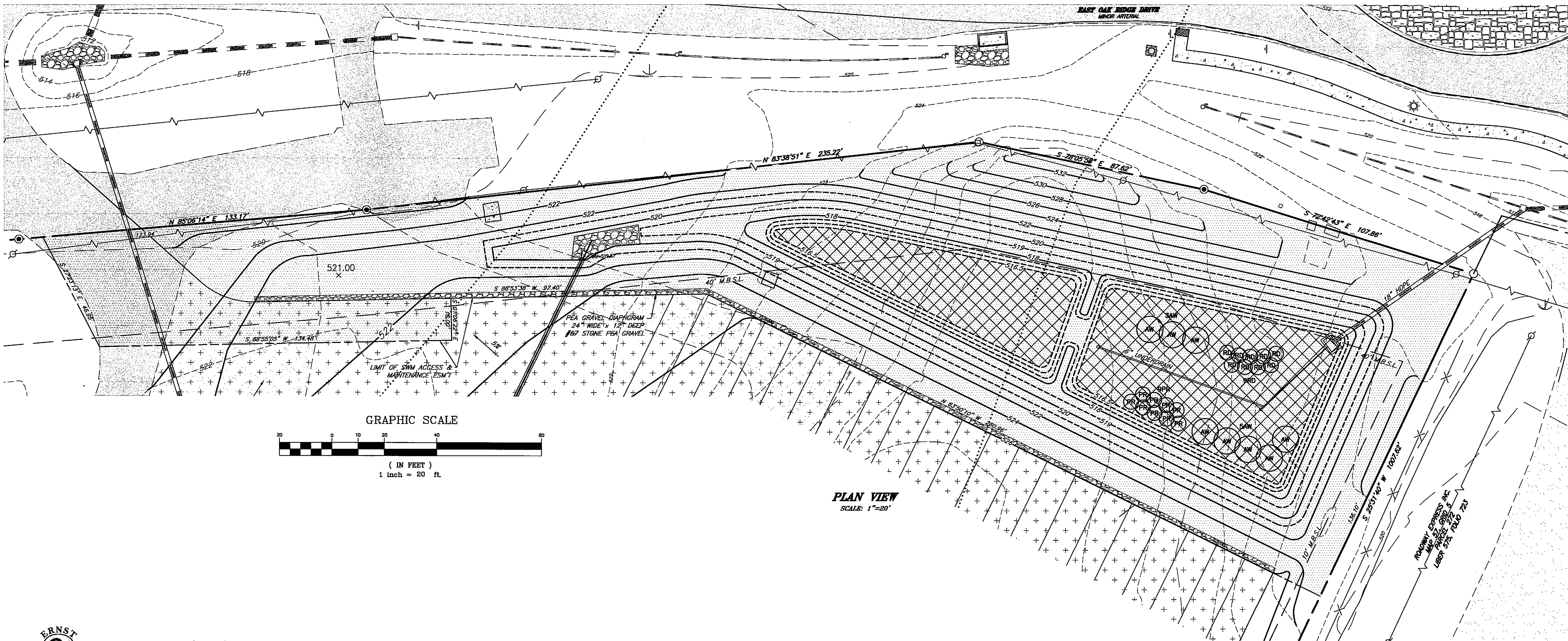


(IN FEET)
1 inch = 30 ft.

SP-22-035



SHEET 6 OF 11



PLAN VIEW
SCALE: 1"=20'



Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: May 30, 2022

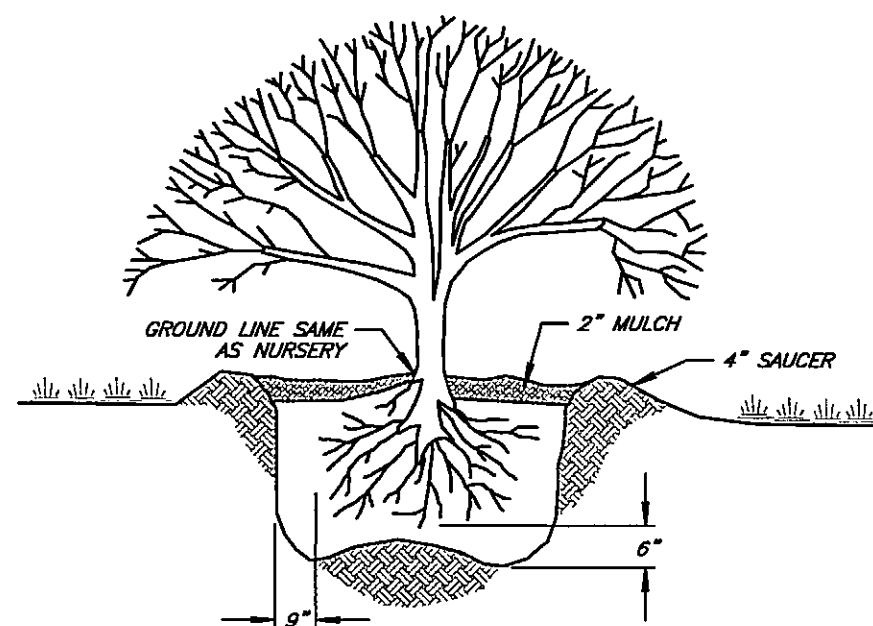
Retention Basin Floor Mix - Low Maintenance - ERNMX-126

Botanical Name	Common Name	Price/Lb
20.00 % <i>Panicum clandestinum</i> , Togo	Deertongue, Togo	22.49
20.00 % <i>Puccinellia distans</i> , Fults	Alcaligrass, Fults	6.00
18.00 % <i>Elymus virginicus</i> , Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.16
15.00 % <i>Agrostis stolonifera</i> , Pennacross	Creepling Bentgrass, Pennacross	14.40
15.00 % <i>Poa palustris</i>	Fowl Bluegrass	16.80
10.00 % <i>Carex vulpoides</i> , PA Ecotype	Fox Sedge, PA Ecotype	28.80
1.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	81.60
1.00 % <i>Juncus effusus</i>	Soft Rush	48.00

Mix Price/Lb Bulk: **\$16.38**

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1,000 sq ft with a cover crop. For a cover crop use one of the following: grain rye (1 Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).

Stormwater Management



FOR BAREROOT: ARRANGE ROOTS IN NATURAL POSITION (DO NOT MAT OR TWIST)
NOTE: EVERGREEN AND DECIDUOUS SHRUBS TO BE PLANTED IN SAME MANNER.

SHRUB PLANTING DETAIL

SWM LANDSCAPE SCHEDULE

SHRUBS				
AW	Arrowwood Viburnum	Viburnum Dentatum	8	2 Gal. Min. Cont.
RD	Redosier Dogwood	Cornus Sericea	9	2 Gal. Min. Cont.
PR	Pinkterbloom Azalea	Rhododendron Periclymenoides	9	2 Gal. Min. Cont.

* or similar

LEGEND

- EXISTING HOT MIXED ASPHALT PAVEMENT
- EXISTING STONE PAVEMENT
- PROPOSED STONE SURFACE TRAILER PARKING AREA
- BIO-MEDIA WITHIN SWM FACILITY
- SWM ACCESS AND MAINTENANCE EASEMENT
- AW--ARROWWOOD VIBURNUM
- RD--REDOSIER DOGWOOD
- PR--PINKTERBLOOM AZALEA

LANDSCAPE NOTES

- ALL SIZES AND SPECIES MENTIONED ARE TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST REVISION).
- LANDSCAPE CONTRACTOR IS TO FOLLOW GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA (FIFTH EDITION). THESE GUIDELINES PRESENT METHODS FOR SOIL PREPARATION, ESTABLISHING TURF, AND INSTALLATION OF PLANT MATERIALS.
- PLANTS AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR UNDER GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINE FOR BALTIMORE AND WASHINGTON METROPOLITAN AREAS.
- OWNER RESERVES THE RIGHT TO COORDINATE IMPLEMENTATION, AND TO OVERSEE STANDARDS, PRACTICES AND INSTALLATION OF PROPOSED LANDSCAPE PLAN.

NOTE:
ONLY SHRUB PLANTINGS USED IN THIS LANDSCAPE PLAN DUE TO CONCERNS OVER DEEP ROOTED TREE SPECIES ADVERSELY EFFECTING POND LINER.

Price quotes guaranteed for 30 days.
All prices are FOB Meadville, PA.
Please check our web site at www.ernstseed.com for current pricing when placing orders.

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or (301)416-7250
FAX: (301)733-1853
www.foxassoc.com
Email: foxassoc@foxassoc.com

DATE	REVISION	BY
05.03.23	REVISED DRAINAGE	WMH
04.12.23	REVISED REF AGENCY COMMENTS	WMH
12.02.22	REVISED REF COUNTY COMMENTS	WMH

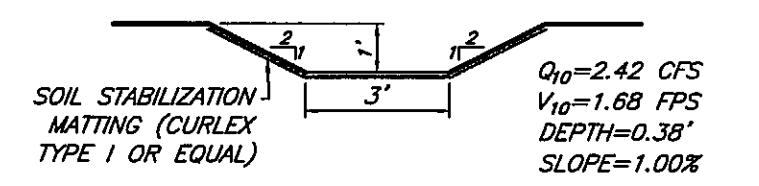
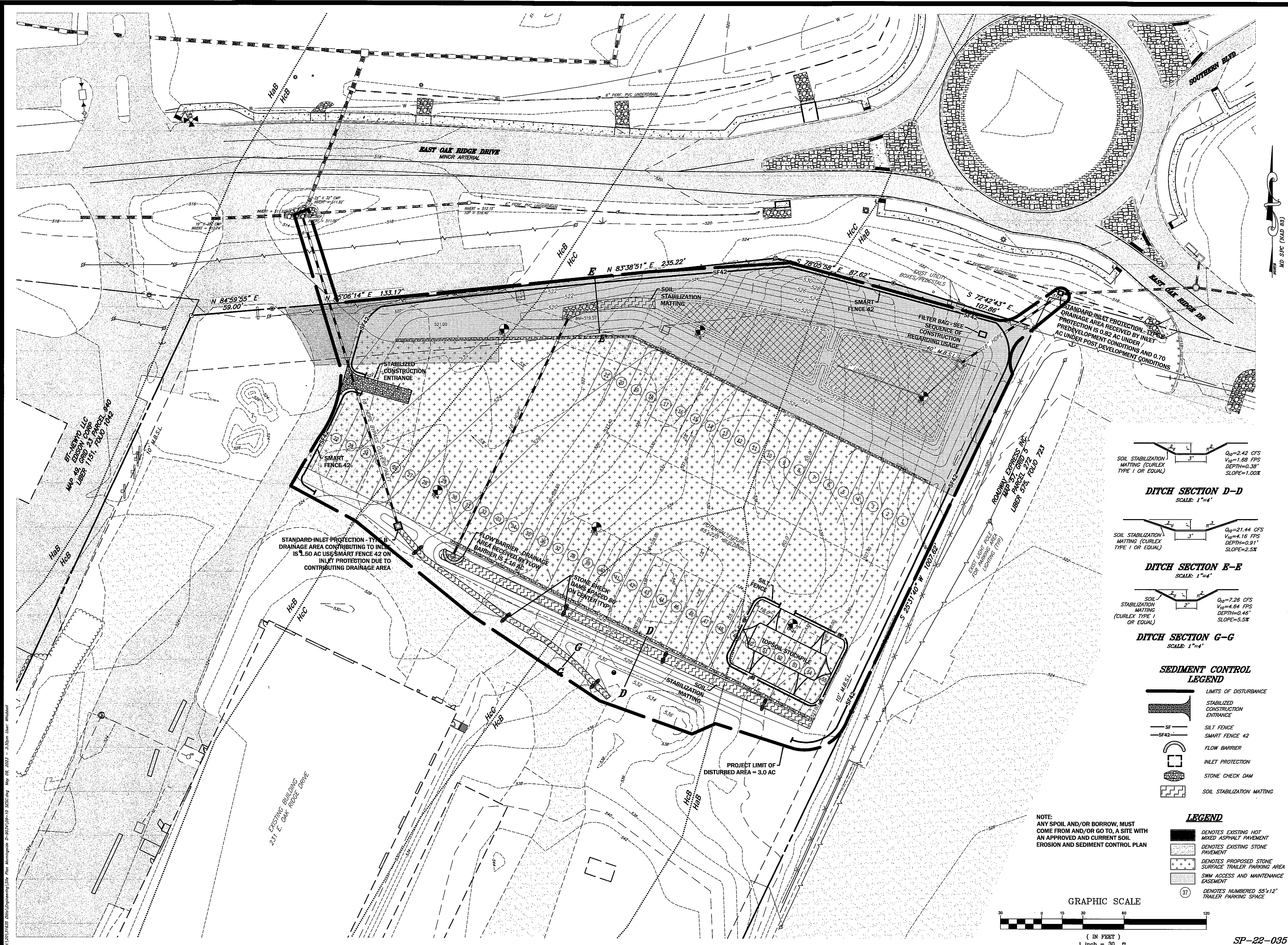
SWM LANDSCAPE PLAN, NOTES & DETAILS
MORNINGSIDE EAST
TRAILER PARKING AREA
SITUATE ALONG OAKMONT DRIVE
231 E OAK RIDGE DRIVE, HAGERSTOWN, MD 21740
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=20'

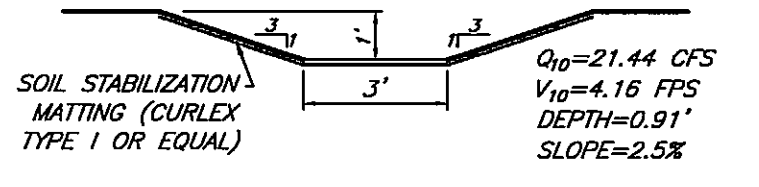
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/24
PROJECT NO. 21-31742
DRAWING NO. D-9034
DATE: OCTOBER 2022
DRAWN BY: WMH
CHECKED BY: SCC

SHEET 8 OF 11

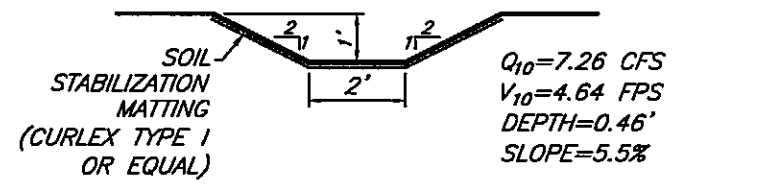
SP-22-035



DITCH SECTION D-D
SCALE: 1"=4'



DITCH SECTION E-E
SCALE: 1"=4'

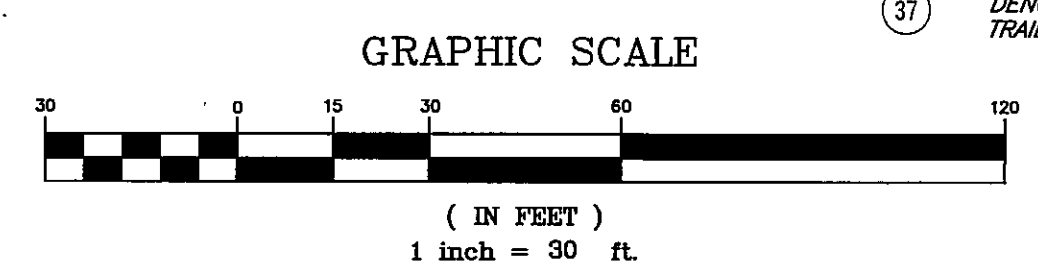


DITCH SECTION G-G
SCALE: 1"=4'

- SEDIMENT CONTROL LEGEND**
- LIMITS OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - SILT FENCE
 - SMART FENCE 42
 - FLOW BARRIER
 - INLET PROTECTION
 - STONE CHECK DAM
 - SOIL STABILIZATION MATTING

- LEGEND**
- 37 DENOTES EXISTING HOT MIXED ASPHALT PAVEMENT
 - 37 DENOTES EXISTING STONE PAVEMENT
 - 37 DENOTES PROPOSED STONE SURFACE TRAILER PARKING AREA
 - 37 SWM ACCESS AND MAINTENANCE EASEMENT
 - 37 DENOTES NUMBERED 55'x12' TRAILER PARKING SPACE

NOTE:
ANY SPOIL AND/OR BORROW, MUST
COME FROM AND/OR GO TO, A SITE WITH
AN APPROVED AND CURRENT SOIL
EROSION AND SEDIMENT CONTROL PLAN



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PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853
www.foxassoc.com

REVISION

DATE	BY	REVISION
03.03.23	MMH	REVISED DRAINAGE
04.12.23	MMH	REVISED PER AGENCY COMMENTS
01.03.23	MMH	REVISED PER AGENCY COMMENTS
12.02.22	MMH	REVISED PER COUNTY COMMENTS

SOIL EROSION/SEDIMENT CONTROL PLAN

MORNINGSIDE EAST

TRAILER PARKING AREA

SITUATE ALONG OAKMONT DRIVE
231 E OAK RIDGE DRIVE, HAGERSTOWN, MD 21740
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A QUALY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
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PROJECT NO. 21-31742
DRAWING NO. D-9034
DATE: OCTOBER 2022
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CHECKED BY: SCC

SHEET 9 OF 11

SMARTfence® 42

SEDIMENT AND PERIMETER CONTROL

SMARTfence HIGH-TENSILE / HIGH-MODULUS WOVEN GEOTEXTILE SEDIMENT FENCE

SMARTfence 42 is a heavy-duty, high-tensile/high-modulus, woven geotextile sediment fence. Designed using a value engineering approach, it is equivalent in strength and stiffness to that of wire or chain-link backed silt fence for less money, significantly lower carbon emissions and less material waste.

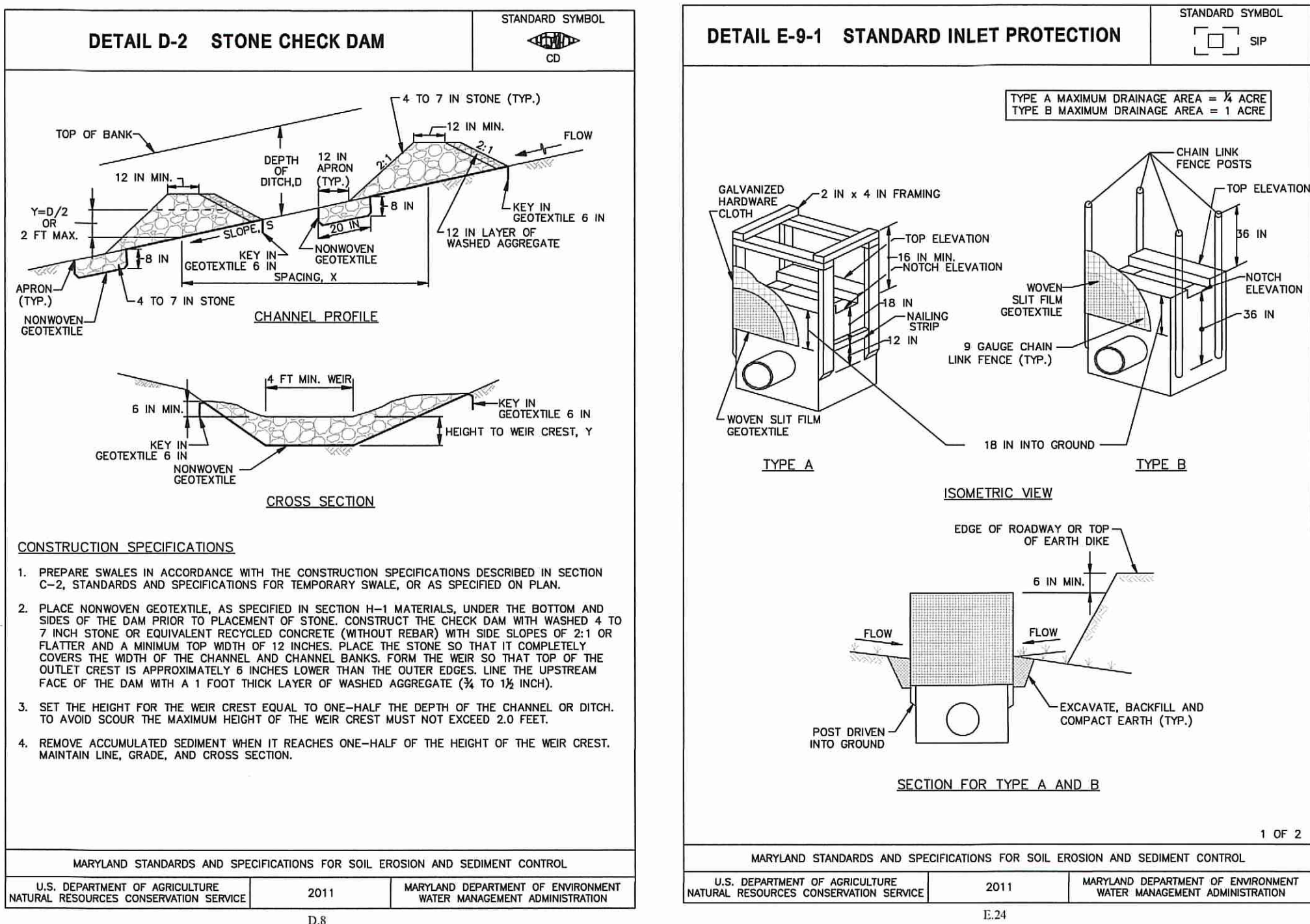
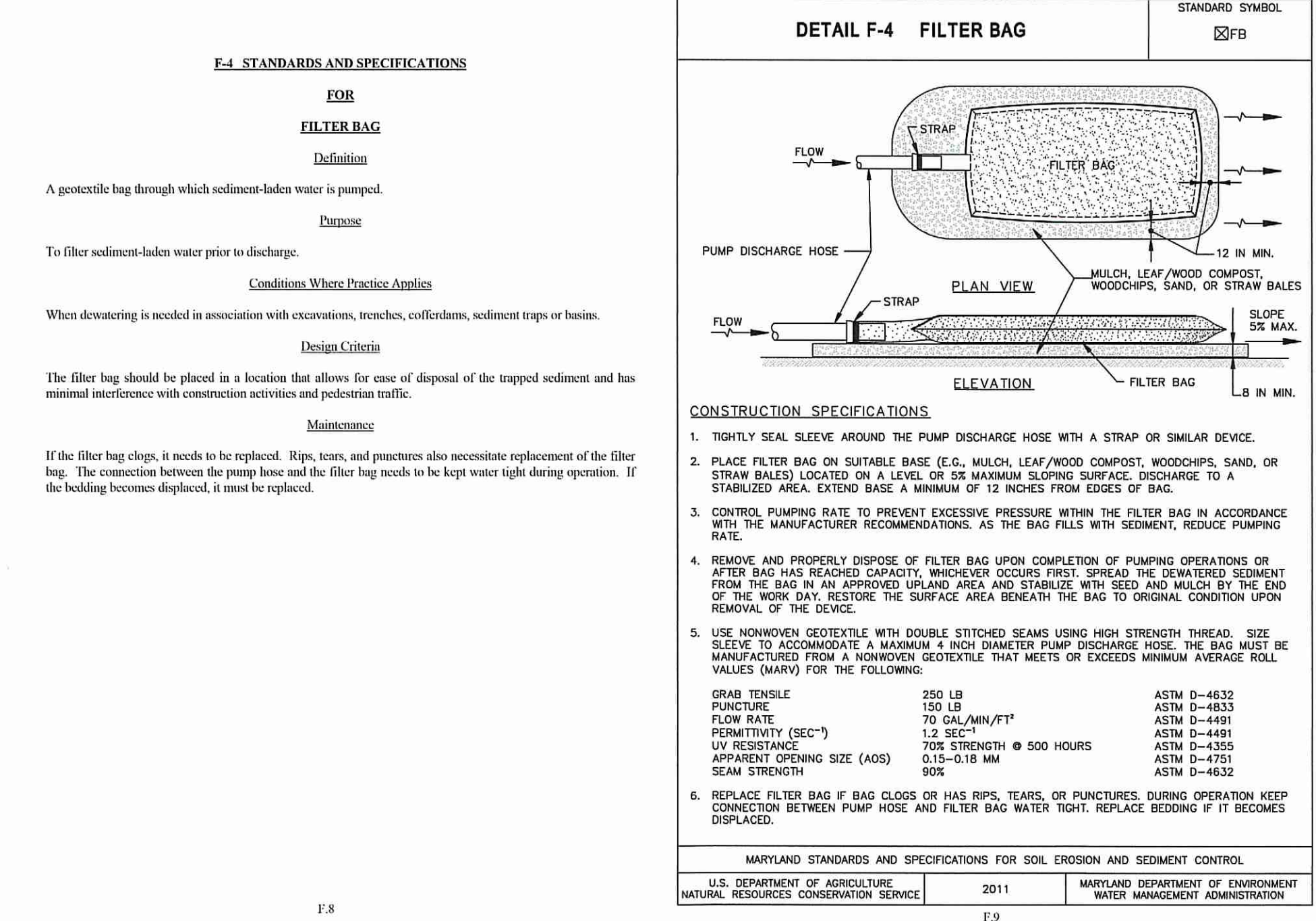
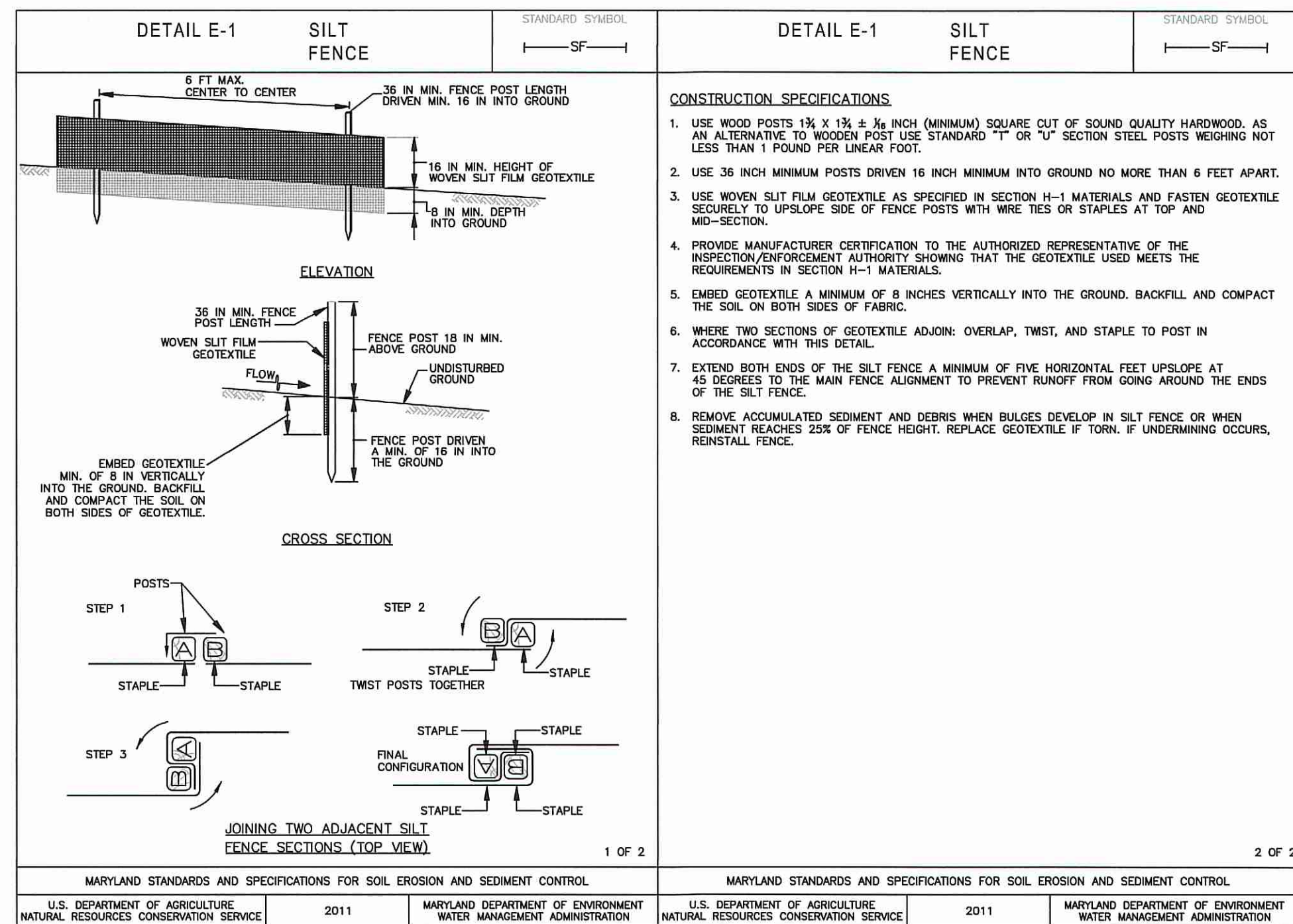
This woven geotextile fence is specifically designed and fabricated to withstand high-tensile stresses and to prevent excessive material elongation and strain. It is built to resist fence deflection and ultimate failure due to ripping, sagging or overturning from forces associated with excessive backwater depths, debris flows and overtopping.

SMARTfence 42 is a 100% American made product.

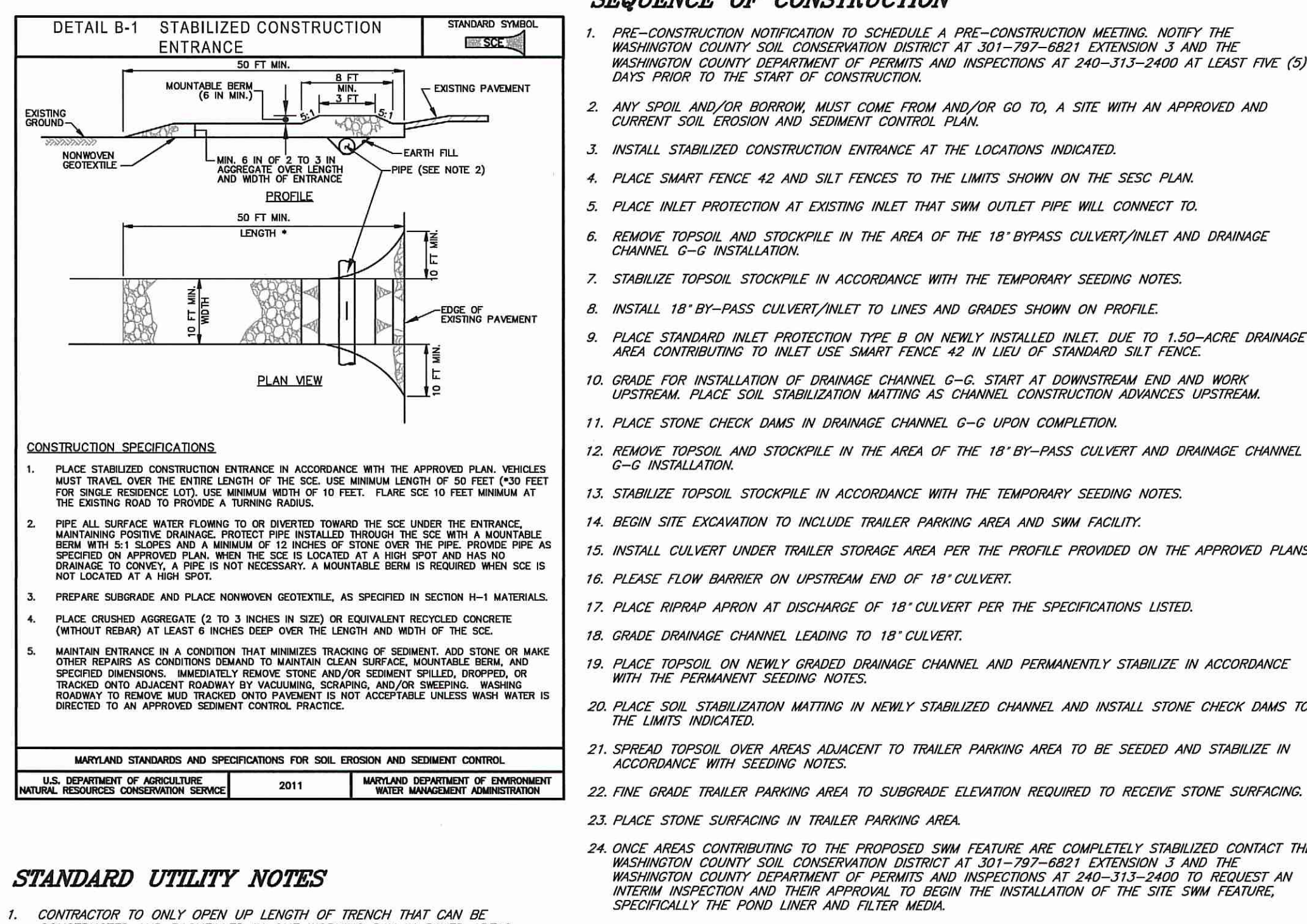
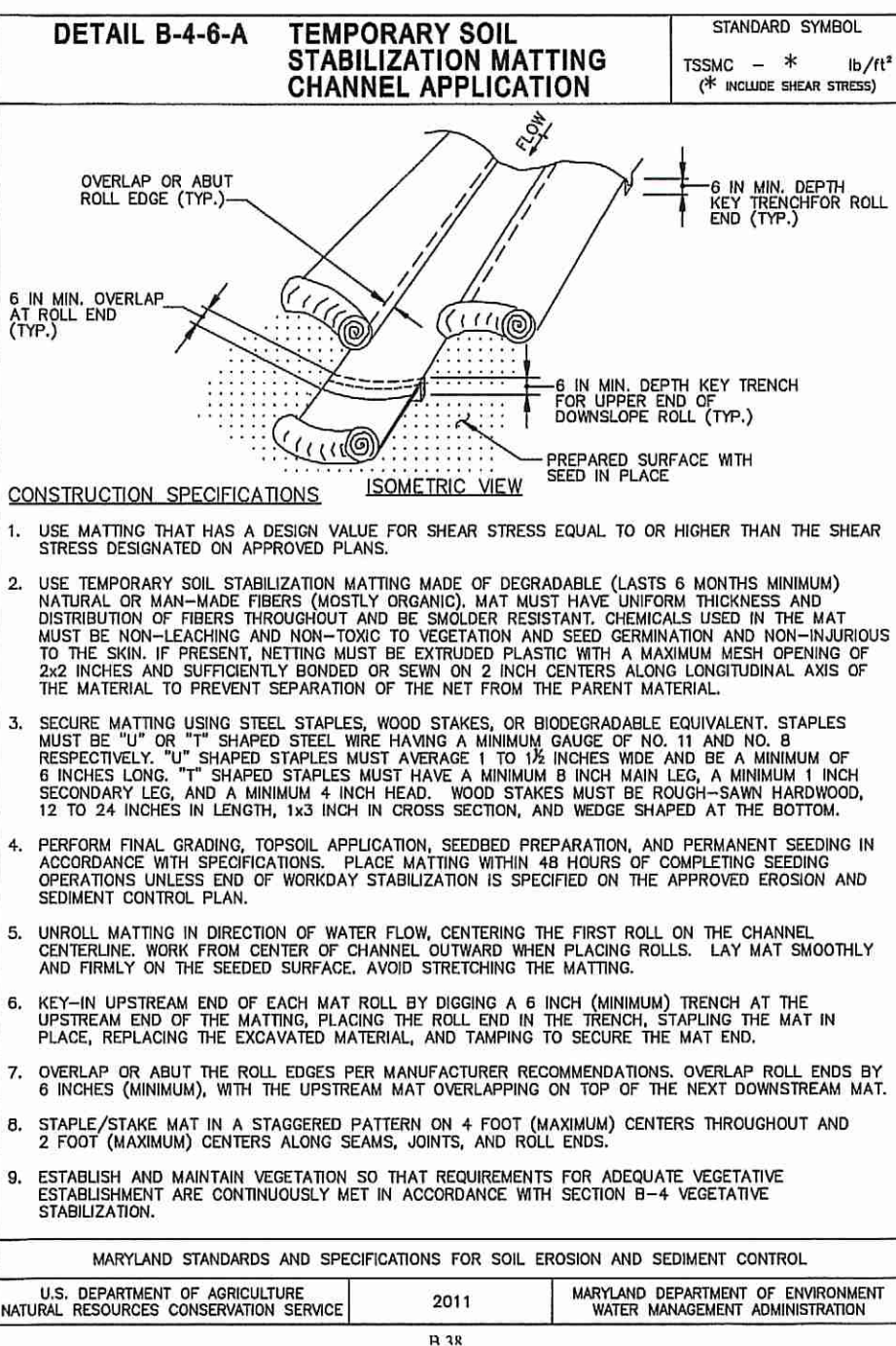
NTPEP Compliant | GTX-2018-01-187

- ADVANTAGES:**
- No wire or chain-link backing necessary
 - High-tensile / high-modulus - able to resist fence deflection and failure
 - Reduced labor costs

For more information about Sediment and Perimeter Control, contact Inside Sales at 800.448.3035 email at info@astfenv.com



SOIL STABILIZATION MATTING SHALL BE CURLEX® I AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY OR EQUAL



STANDARD UTILITY NOTES

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
- CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAUL TO AN APPROVED LOCATION. NO WASTE MATERIALS TO BE PLACED ON PAVED AREAS.
- CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORKING DAY.
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HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

TEST PITS

Project _____ Morningside Estate
Location _____ Hagerstown, Maryland

Test Pit# _____ TP-1
Job # _____ H22123

Datum _____ MSL Equipment: _____ Rubber Tire Backhoe

Surf. Elev. _____
Date Started _____ August 29, 2022

Inspector _____ C. Coleman
Date Completed _____ August 29, 2022

Test Pit Depth (ft.)	SOIL DESCRIPTION <small>Color, Moisture, Density, Size, Proportion</small>	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	SURFACE	0.0		
	Topsoil/Fill Materials			Topsoil: 12"
	Reddish brown, moist, lean CLAY with sand (CL)	2.5		
	Bottom of Test Pit: 2.5' Rock Refusal at 2.5'			
		5.0		
		7.5		
		10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth

Encountered at: Dry _____
After 24 hours: N/A _____

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

TEST PITS

Project Morningside East
 Location Hagantstown, Maryland

Test Pit# TP-2
 Job # H22123

Datum MSL
 Surf. Elev. _____
 Date Started August 29, 2022

Equipment: Rubber Tire Backhoe
 Inspector C. Coleman
 Date Completed August 29, 2022

Test Pit Depth (ft.)	SOIL DESCRIPTION Color, Moisture, Density, Size, Proportion	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	SURFACE	0.0		
	Topsoil/Fill Materials			Topsoil: 12"
		2.5		
	Reddish brown, moist, lean CLAY with sand (CL)			
	Bottom of Test Pit: 4.0' Rock Refusal at 4.0'	5.0		
		7.5		
		10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth
 Encountered at: Dry _____
 After 24 hours: N/A _____

**HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.**

TEST PITS

Project Morningside East
Location Hagerstown, Maryland

Test Pit# TP-3
Job # H22123

Datum MSL Equipment: Rubber Tire Backhoe

Surf. Elev. _____ Inspector C. Coleman
Date Started August 29, 2022 Date Completed August 29, 2022

Test Pit Depth (ft.)	SOIL DESCRIPTION Color, Moisture, Density, Size, Proportion	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	SURFACE			
	Topsoil/Fill Materials	0.0		Topsoil: 12"
		2.5		
	Reddish brown, moist, lean CLAY with sand (CL)			
		5.0		
	Bottom of Test Pit: 6.0' Rock Refusal at 6.0'	7.5		
		10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth

Encountered _____ at Dry
After 24 hours: 0/0

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

TEST PITS

Project Morningside East

Location Hagerstown, Maryland

Test Pit# TP-4

Job # H2123

Datum MSL

Surf. Elev. _____

Date Started August 29, 2022

Equipment: Rubber Tire Backhoe

Inspector C. Coleman

Date Completed August 29, 2022

Test Pit Depth (ft.)	SOIL DESCRIPTION Color, Moisture, Density, Size, Proportion	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	SURFACE	0.0		
	Brown, moist, Silt with trace organics (ML)			Topsoil: 8"
	Reddish brown, moist, lean CLAY (CL)			
	Bottom of Test Pit: 2.0'	2.5		
	Rock Refusal at 2.0'			
		5.0		
		7.5		
		10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth

Encountered at: Dry _____

After 24 hours: N/A _____

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

TEST PITS

Project Morningside East

Location Hagerstown, Maryland

Test Pit# TP-5

Job # H22123

Datum MSL

Surf. Elev.

Date Started August 29, 2022

Equipment: Rubber Tire Backhoe

Inspector C. Coleman

Date Completed August 29, 2022

Test Pit Depth (ft.)	SOIL DESCRIPTION Color, Moisture, Density, Size, Proportion	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	SURFACE	0.0		
	Topsoil			Topsoil: 6"
	Bottom of Test Pit: 0.5' Rock Refusal at 0.5'	2.5		
		5.0		
		7.5		
		10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth
 Encountered at Dry
 After .26 hours: N/A

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

TEST PITS

Project	<u>Morningside East</u>	Test Pit#	<u>TP-6</u>
Location	<u>Hagerstown, Maryland</u>	Job #	<u>H22123</u>
Datum	<u>MSL</u>	Equipment:	<u>Rubber Tire Backhoe</u>
Surf. Elev.	<u></u>	Inspector	<u>C. Coleman</u>
Date Started	<u>August 29, 2022</u>	Date Completed	<u>August 29, 2022</u>

Test Pit Depth (ft.)	SOIL DESCRIPTION Color, Moisture, Density, Size, Proportion	DEPTH SCALE	DCP BLOWS 1.75"	BORING & SAMPLING NOTES
	Topsoil/Fill Materials	0.0		Topsoil: 12"
		2.5		
	Reddish brown, moist, lean CLAY with sand (CL)	5.0		
		7.5		
	Bottom of Test Pit: 7.0' Rock Refusal at 7.0'	10.0		
		12.5		
		15.0		
		17.5		
		20.0		

Ground Water Depth

Encountered at Dry

Flow: Nil

Annual Report Worksheet

Reporting (Calendar) Year 2022

INSTRUCTIONS

Each Planning Commission/Board must approve an Annual Report for the reporting calendar year 2022 (January 1, 2022 - December 31, 2022), as required under [§1-207\(b\)](#) of the Land Use Article. In addition, the Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (MDP), via email to david.dahlstrom@maryland.gov and cc: to mdp.planreview@maryland.gov.

A jurisdiction may use the attached template form, or any of the previous Annual Report forms. The requirements have not changed for calendar year 2022, however, an optional survey is included in Section VII. We encourage all jurisdictions to respond.

Section I- New Residential Permits, and **Section II- Amendments and Growth-Related Changes**, are required by all local jurisdictions.

Section III- Development Capacity Analysis, is required every three years.

Section IV- Locally Funded Agriculture Preservation, is required for counties only.

Section V – Measures and Indicators, is required for jurisdictions reporting more than 50 new residential permits in Section I.

Section VI- Adequate Public Facility Ordinances, is required every two years for jurisdictions with adopted Adequate Public Facility Ordinances (APFOs).

Section VII – Planning Survey Questions is optional

Annual Report Worksheet Reporting (Calendar) Year 2022

Section I: New Residential Permits Issued (Inside and Outside the PFA) (§1-208(c)(1)(i) and (c)(3)(ii))

(A) In Table 1, New Residential Permits Issued (Inside and Outside the PFA) below, enter the number of new residential building permits issued in calendar year (2022). Enter 0 if no new residential building permits were issued in 2022.

**Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)**

Residential – Calendar Year 2022	PFA	Non - PFA	Total
New Residential Permits Issued	188	54	242

Section II: Amendments and Growth Related Changes In Development Patterns (§1-207(c)(1) through (c)(4))

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A) Were any new comprehensive plan or plan elements adopted? If yes, briefly summarize what was adopted. Y ☐ N ☒

No new comprehensive plan or plan elements were formally adopted. A draft of the 2040 Washington County Comprehensive Plan is due to be released for public comment in June 2023. All elements of the plan have been presented to the Washington County Planning Commission to gain their input prior to taking the plan for adoption by the Board of County Commissioners.

(B) Were there any amendments to zoning regulations or zoning map? If yes, briefly summarize each amendment, include a map, or GIS shapefile, if available. Y ☒ N ☐

Case Number	Name	Location	Total Acres	From Zone	To Zone	Decision Date
RZ-21-006	Keedysville Town Boundary (Map Line Adjustment)	19228 Shepherdstown Pike	6.51	Town	P	09/07/2021
RZ-22-001	Washington County Planning Commission (Text)	Sections 21A.1, 21B.1 & 21C.1 (Educational Facilities)	n/a	n/a	n/a	11/15/2022
RZ-22-002	JTA Investments LLC (MAP)	9170 Stottlemeyer Road	5.64	RB (AR)	A(R)	08/09/2022
RZ-22-003	Dan & Sharon Blickenstaff (Map)	16363 Mount Tabor Road	2.64	RB (EC)	EC	11/15/2022

Annual Report Worksheet Reporting (Calendar) Year 2022

RZ-21-006

- Map Line Adjustment – Zoning Map correction to address a Town boundary line issue on the w/s of the Town of Keedysville, north of Coffman Farms Road. The Planning Director has the authority to adjust zoning district boundaries per Section 27.8 of the Zoning Ordinance. This adjustment removes 6.51 acres from the Town of Keedysville boundary, placing it in the County Preservation Zoning district. This adjustment was mistakenly omitted from the 2021 Annual Report.

RZ-22-001

- Text application - Zoning Ordinance text amendment to Sections 21A1, 21B.1 and 21C.1 pertaining to Educational Facilities in the ORT, ORI and ERT sections of the Zoning Ordinance. The amendment is to provide consistency in addressing accessory uses associated with educational facility campuses.

RZ-22-002

- Piecemeal application – Zoning Ordinance map amendment to remove a Rural Business floating zone over 5.64 acres, located at 9170 Stottlemeyer Road. The underlying zoning of Agriculture-Rural will be re-activated on the property as the property owners are no longer interested in pursuing commercial activities on the site.

RZ-22-003

- Piecemeal application – Zoning Ordinance map amendment to remove a Rural Business floating zone over 2.64 acres, located at 16333 Mount Tabor Road. The underlying zoning of Environmental Conservation will be re-activated on the property as the property owners are no longer interested in pursuing commercial activities on the site.

(C) Were there growth-related changes, including land use, annexations, zoning ordinance changes, new schools, changes in water or sewer service areas, municipal annexations that changed municipal or unincorporated area boundaries? If yes, describe or attach a map of the changes, and describe how they are consistent with internal, state, or adjoining jurisdiction plans.

Y ☒ N ☐

WS-22-001

- Washington County received a request to expand the priority sewerage service area boundary for the Town of Keedysville to include a property located at 39 Mt. Hebron Road with a designation change from S-7 (no planned service) to S-3 (programmed service). A portion of the property is located within the municipal boundary while the remainder is an active farm that has been permanently preserved through the Rural Legacy program. The reason for the request is due to the property's location within the Boonsboro wellhead protection area, where the Boonsboro/Keedysville Regional Water System obtains its water supply from two springs. The property owners are seeking to construct the one accessory residence allowed per their Rural Legacy contract and no other development rights remain.

Annual Report Worksheet Reporting (Calendar) Year 2022

Hagerstown Annexation: A-2002-001

- The Unger Annexation is located along the s/s of Virginia Avenue, north of West Oak Ridge Drive, consisting of 115.84 acres, and was effective on 9/9/2022. County Zoning was Residential Urban, proposed City zoning is Residential - Moderate Density.

Funkstown Annexation: RS-2021-1

- The Crampton Annexation is located along the w/s of South Edgewood Drive, north of Poplar Street, consisting of 4.79 acres, and was effective on 2/24/2022. County Zoning was Residential Suburban, proposed Town zoning is Suburban Residential.

Keedysville De-Annexation: R-2022-1

- The Milburn De-Annexation is located along the w/s of Shepherdstown Pike, n/e of Coffman Farms Road, consisting of 30.04 acres, and was effective on 2/24/2022. Proposed County Zoning is Preservation, Town zoning was Suburban Residential.

(D) If yes to municipal annexations, have copies of each adopted resolution been submitted to: Georgeanne Carter, Legislative Counsel Municipal Resolution Reposition Department of Legislative Services, 90 State Circle, Annapolis MD, 21401-1991? Y ☒ N ☐

(E) Did your jurisdiction recommend improvements to the local planning and development process? If yes, please describe. Y ☐ N ☒

Section III: Development Capacity Analysis (DCA)(§1-208(c)(1)(iii))

Note: MDP provides technical assistance to local governments in completing development capacity analyses. Please contact your MDP regional planner for more information.

(A) Has an updated DCA been submitted with your annual report or to MDP within the last three years? Y ☐ N ☒

1. If no, explain why not, such as, no substantial growth changes.

An updated development capacity analysis is being completed as part of our 2040 Comprehensive Plan update due to be released for public review and comment in June 2023.

2. If yes, when was the last DCA submitted? Identify month and year:

Note: A DCA is not due if a comprehensive plan was updated in the past three years (2020-2022). MDP recommends that jurisdictions share DCAs with local school boards.

Was the DCA shared with the local school board facilities planner? Y ☐ N ☐

Annual Report Worksheet Reporting (Calendar) Year 2022

(B) Using the most current DCA available, provide the following data on capacity inside and outside the PFA in *Table 2, Residential Development Capacity (Inside and Outside the PFA)*:

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

Annual Report Worksheet Reporting (Calendar) Year 2022

Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) [\(§1-208\(C\)\(1\)\(iv and v\)](#)

- (A) How many acres were preserved using local agricultural land preservation funding? Enter 0 if no land was preserved using local funds. Enter the value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation

Local Preservation Program Type	Acres	Value (\$)
CREP Easements (1)	307.67	\$932,559.86
MALPF Easements (2)	293.29	\$1,448,326.40
Rural Legacy Easements (3)	369.49	\$1,199,826.95
MARBIDCO (2)	252.35	\$901,690.00
Total	1222.80	\$4,482,403.21

*State funded agricultural land preservation acres and values are not required to be reported as state funding is documented.

- (B) What is the county's established local land use percentage goal? This percentage should include land uses within PFAs, not including PFA comment areas %

Washington County does not have a percentage goal for land preservation efforts. We have had a long-established acreage goal of 50,000 acres.

- (C) What is the timeframe for achieving the local land use percentage goal? 20-30 Years.

- (D) Has there been any progress in achieving the local land use percentage goal?

Yes, more than 38,000 acres of land has been permanently preserved across all programs since the start of the County's participation in agricultural land preservation 40 years ago.

- (E) What are the resources necessary (e.g. legislative actions (programs incentives), functional planning, and capital funding) for infrastructure inside the PFAs?

Additional funding and streamlining regulations that have similar goals but require dedicated infrastructure to accomplish required mandates (i.e., programs that address water quality).

- (F) What are the resources necessary (e.g. legislative actions (program incentives and zoning changes), preservation planning, and easement funding) for land preservation outside the PFAs?

- a. Promote the Agricultural Preservation program(s) as a method to incentivize farmers to preserve their land until funds become available for permanent easements.
- b. Seek out permanent funding sources that can sustain agricultural easements and development rights acquisition.

Annual Report Worksheet

Reporting (Calendar) Year 2022

- c. Place an emphasis on preserving large contiguous blocks of permanent farmland in excess of 1,000 acres by factoring this variable more heavily in the priority ranking system.
- d. Implement strategies that deter land uses that would remove large blocks of prime agricultural land from active farm production.
- e. Promote start up assistance and provide educational awareness to inspire a new generation of young farmers.
- f. Provide and highlight additional agritourism opportunities for farmers to expand operations with value added products and agricultural industry type uses.

Annual Report Worksheet Reporting (Calendar) Year 2022

Section V: Measures and Indicators ([§1-208\(c\)\(1\)](#))

Note: Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non - PFA	Total
Total Minor Subdivisions Approved	9	11	20
Total Minor Subdivision Lots Approved	10	14	24
Total Residential Units Approved in Minor Subdivisions*	10	14	24
Gross Acres of All Approved Minor Subdivisions	63.71	79.50	143.21
Net Lot Area** in Acres of All Approved Minor Subdivisions	63.01	78.64	141.65
Total Major Subdivisions Approved	5	0	5
Total Major Subdivision Lots Approved	122	0	122
Total Residential Units Approved in Major Subdivisions	122	0	122
Gross Acres of All Approved Major Subdivisions	58.70	0	58.70
Net Lot Area** in Acres of All Approved Major Subdivisions	49.08	0	49.08
Total Residential Units Constructed	188	54	242
Total Residential Units Demolished***	16	3	19
Total Residential Units Reconstructed/Replaced***	3	7	10

* Residential units may be greater than lots if they include duplexes, triplexes, or multifamily

**Net lot area is the sum of all developed lots, minus open spaces and right-of-way, other publicly dedicated land.

***Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside PFAs)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Residential Units Approved (Major + Minor Subdivisions)	132	14	146
Total Approved Net Lot Area (Major + Minor Subdivisions)	112.09	78.64	190.73

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Units Approved (Major + Minor Subdivisions)	132	14	146
% of Total Units (Approved Residential Units)	90.4%	9.6	100%

Annual Report Worksheet Reporting (Calendar) Year 2022

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non - PFA	Total
Site Plans			
Total # of Commercial Site Plans Approved	24	7	31
Gross Acres of All Approved Commercial Site Plans	660.38	42.23	702.61
Gross Building Area Approved in Square Feet for Commercial Site Plans	6,248,956	14,410	6,263,366
Building Permits			
Total Commercial Building Permits Issued	28	8	36
Gross Building Area Constructed in Square Feet for issued Building Permits	5,577,359	12,188	5,589,547

Annual Report Worksheet Reporting (Calendar) Year 2022

Section VI: Adequate Public Facility Ordinance (APFO) Restrictions ([§7-104](#)) (Section VI is only required by jurisdictions with adopted APFOs)

*Note: Jurisdictions with adopted APFOs **must** submit a biennial APFO report. The APFO report is due by July 1 of each even year and covers the reporting period for the previous two calendar years. APFO reports for 2020 and 2021 are due July 1, 2022. However, jurisdictions are encouraged to submit an APFO report on an annual basis.*

***The Washington County APFO has not restricted development during the 2022 reporting period. Therefore, no biennial APFO report is required.**

- (A) What type of infrastructure is monitored and may trigger development approval restrictions or require a developer to address deficiencies? (List each for schools, roads, water, sewer, stormwater, health care, fire, police or solid waste.)

The Washington County Adequate Public Facilities Ordinance applies to infrastructure including: Roads, Schools, Sewage Disposal Systems, Water Supply and Distribution Systems and Fire Protection.

- (B) Has APFO impacted development approvals? Y/N **No, not during the 2022 reporting period.**

- (C) If APFO has delayed, limited, or denied development, defined here as a “restriction”:

- a. Are there infrastructure or service facility deficiencies that have triggered denials of development requests, or held up development approvals? Y/N **n/a**

Note: This does not include APFO required developer-funded projects, , or phased development approvals due to APFO limitations, or APFO required study areas for approval.

- b. Can the impact area of facility deficiencies/ development restrictions, which temporarily delay development approvals, be mapped? Y/N **n/a**

- (D) If yes for (C)(b), where is each restriction located? (Identify on a map, including PFA boundary.) **n/a**

- (E) Describe what is causing each restriction. **The following restrictions, due to the County’s APFO, could be identified in the future.**

- Schools: Some of the County’s school districts are over the designated school capacity due to population growth and there are limited funds for new school construction.**
- Roads: The majority of restrictions are in the rural areas where some roads are not considered adequate by today’s standards.**
- Sewer: Collection systems are aging, and need upgraded. Availability of treatment capacity is limited by water quality regulations.**
- Water: Distribution systems are aging, and need upgraded. Availability of water is limited by permitting and water quality regulations.**
- Fire: There are no restrictions at this time.**

Annual Report Worksheet Reporting (Calendar) Year 2022

(F) If applicable, what is the proposed resolution of each restriction? **The following are proposed resolutions to future restrictions:**

- **Schools:** The County has adopted an Alternative Mitigation Contribution option for developers who will voluntarily pay a fee to help mitigate the impact of new development on school districts. Funds collected go towards expanding capacity in the educational system.
- **Roads:** Restrictions are mitigated on a case-by-case basis.
- **Sewer:** Developers are required to install and/or upgrade infrastructure to service their development. There is no local control that can resolve the issue of diminishing availability due to State and Federal water quality regulations.
- **Water:** Same as Sewer
- **Fire:** No restrictions at this time.

(G) If applicable, what is the estimated date to resolve each restriction?

All categories are mitigated on a case-by-case basis and have no established timeline for resolution.

(H) If a development restriction has been addressed, what was the resolution that lifted each restriction? **n/a**

(I) If a development restriction has been addressed, when was each restriction lifted? **n/a**

Annual Report Worksheet Reporting (Calendar) Year 2022

Section VII: Planning Survey Questions (Optional)

This information can help MDP and MDOT staff to identify potential pedestrian/bicycle projects and their funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan? Y ☐ N ☐

1. Plan name
2. Date Completed (MM/DD/YR)
3. Has the plan been adopted? Y ☐ N ☐
4. Is the plan available online? Y ☐ N ☐
5. How often do you intend to update it? (Every ____ years)
6. Are existing and planned bicycle and pedestrian facilities mapped? Y ☐ N ☐

(B) Does your jurisdiction have a transportation functional plan in addition to a comprehensive plan? Y ☐ N ☐

1. Plan name
2. Date completed (MM/DD/YY)
3. Has plan been adopted? Y ☐ N ☐
4. Is the plan available online? Y ☐ N ☐
5. How often do you intend to update it? (Every ____ years)

(C) Has your jurisdiction completed and submitted a five year mid-cycle comprehensive plan implementation review report this year? Y ☐ N ☐

*Note: To find out if your jurisdiction is scheduled to submit this report, consult the Transition Schedule (Counties) section located at:
<https://planning.maryland.gov/pages/OurWork/compPlans/ten-year.aspx>*

If yes, please include the 5-Year Report as an attachment.

END

**Annual Report Worksheet
Reporting (Calendar) Year 2022**

Submitting Annual Reports and Technical Assistance

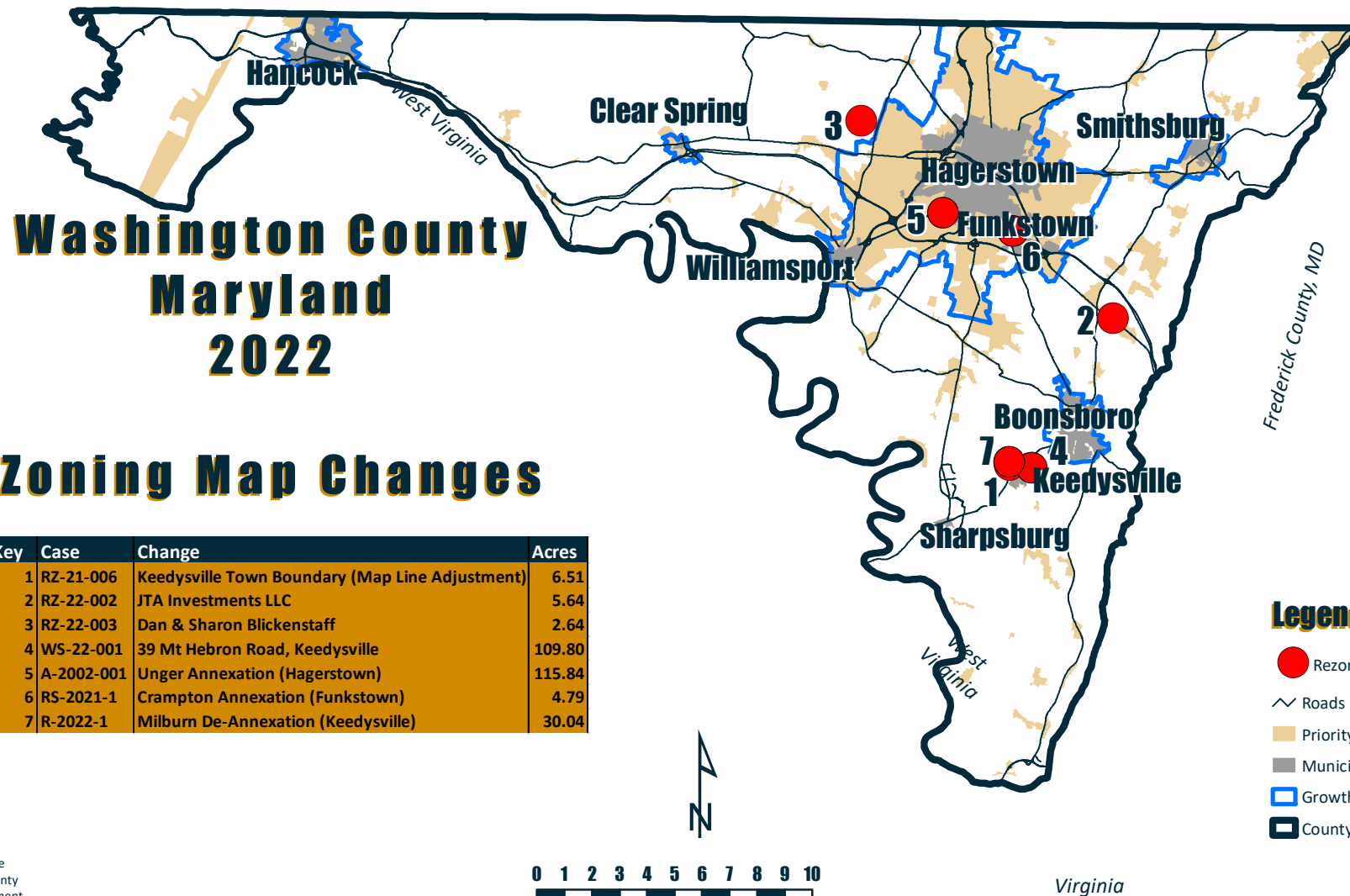
- (A) Annual Reports may be submitted via email (preferred) to david.dahlstrom@maryland.gov with a cc: to mdp.planreview@maryland.gov, or if emailing is not possible one copy may be mailed to:

Office of the Secretary
Maryland Department of Planning
301 W. Preston Street, Suite 1101
Baltimore, Maryland 21201-2305
Attn: David Dahlstrom, AICP

- (B) Annual reports should include a cover letter indicating that it has been approved by the planning commission and that a copy has been filed with the local legislative body. The cover letter should also indicate a point of contact(s) should MDP have questions about the report.
- (C) If you need assistance to prepare or submit reports, MDP regional planners are available to assist. Contact information is found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml
- (D) You may wish to send additional copies directly to your MDP regional planner or school board facilities planner.
- (E) Copies of this annual report worksheet, and links to legislation about annual report requirements can be found on the Maryland Department of Planning website:
Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml
- (F) If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at david.dahlstrom@maryland.gov.

Allegany
County, MD

Pennsylvania

**Legend**

- Rezonings
- ~ Roads
- Priority Funding Areas
- Municipal Boundaries
- Growth Areas
- County Boundary

Virginia

Created by the
Washington County
Planning Department
GIS
May 2023



Plan Review Projects Initialized - April 01, 2023 - April 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
AR-23-001	APFO Road Adequacy	Paid	24-Apr-23	13870 PATRIOT WAY, LOT 128, FREEDOM HILLS, SEC. C-1	13870 PATRIOT WAY HAGERSTOWN, MD 21740		FREEDOM HILL HOMES LLC
FS-23-009	Forest Stand Delineation	Approved	11-Apr-23	I-70 PARTNERS LLC FOREST STAND DELINEATION	10215 SHARPSBURG PIKE HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	INTERSTATE 70 PARTNERS LLC
FS-23-010	Forest Stand Delineation	Approved	13-Apr-23	FOREST STAND DELINEATION FOR GRUMBACKER LANE, LLC		FREDERICK SEIBERT & ASSOCIATES	10319 GRUMBACKER LANE LLC
SIM23-025	IMA	Requested	13-Apr-23	20100 MARBLE QUARRY ROAD KE AG STRUCTURE	20100 MARBLE QUARRY ROAD KEEDYSVILLE, MD 21756		ZHANDOSOV DULAT
SIM23-026	IMA	Active	13-Apr-23	20041 PEAR TREE LANE KN	20041 PEAR TREE LANE KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	TOBERY CHARLES L & TOBERY TAMMY L
SIM23-027	IMA	Active	14-Apr-23	13142 EDMONT ROAD SM	13142 EDMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	PEACOE BRIAN KEITH PEACOE TONYA
SIM23-028	IMA	Active	21-Apr-23	15630 KAYLA LANE WI	15630 KAYLA LANE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	STONER THEODORE
SIM23-029	IMA	Active	21-Apr-23	2208 ROHRERSVILLE ROAD KN	2208 ROHRERSVILLE ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	MYERS EDITH M
SIM23-030	IMA	Active	21-Apr-23	9832 PEMBROKE DRIVE HN	9832 PEMBROKE DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	CARNES WILLIAM EARL CARNES DARLENE ALANA
TWN-23-004	Improvement Plan	In Review	03-Apr-23	BLUE MOUNTAIN ESTATES	12 BISHOP LANE SMITHSBURG, MD 21783		HOUSING AUTHORITY OF WASH CO
TWN-23-005	Improvement Plan	In Review	20-Apr-23	TOWN OF FUNKSTOWN POPLAR STREET PARK	20 -19 WE POPLAR STREET FUNKSTOWN, MD 21734		FUNKSTOWN TOWN OF
OM-23-005	Ordinance Modification	In Review	12-Apr-23	RIGHT OF WAY MODIFICATION	1333 DUAL HIGHWA HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
OM-23-006	Ordinance Modification	In Review	21-Apr-23	CASCADE TOWN CENTRE LOT 2 SUBDIVISION INTO 22 INDIVIDUAL TOWNHOME LOTS	14203 CUSHMAN AVENUE CASCADE, MD 21719	FOX & ASSOCIATES INC	CASCADE TOWN CENTRE DEVELOPMENT LL
PC-23-003	Preliminary Consultation	In Review	04-Apr-23	GREENCASTLE PIKE - EBY PROPERTY	13237 GREENCASTLE PIKE HAGERSTOWN, MD 21740	DYNAMIC ENGINEERING	EBY MICHAEL D & EBY MARIETTA L
PC-23-004	Preliminary Consultation	In Review	06-Apr-23	HEFFNER PROPERTY	19112 KEEP TRYST ROAD KNOXVILLE, MD 21758	MORRIS & RITCHIE ASSOCIATES, INC.	HEFFNER GEORGE D JR
SP-17-023.R01	Redline Revision	Approved	03-Apr-23	ATLANTIC HOMES LLC SHEEHY BUICK GMC	SOUTH SIDE OF WEST OAK RIDGE DRIVE	FREDERICK SEIBERT & ASSOCIATES	BRAWNER TROY & BRAWNER ROBIN
SP-21-007.R01	Redline Revision	Approved	13-Apr-23	REDLINE TO MOVE PYLON SIGN	JUST SOUTH OF I-70 EAST	FREDERICK SEIBERT & ASSOCIATES	SHEEHY HAGERSTOWN PROPERTY LLC
SI-23-001	Simplified Plat	Waiting for Final Paper Copies	05-Apr-23	PAUL & WILMA EBERLY PARCELS A&B	NORTH SIDE OF REIDTOWN ROAD	FREDERICK SEIBERT & ASSOCIATES	ESHLEMAN DON R & KARLENE J

Plan Review Projects Initialized - April 01, 2023 - April 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SI-23-002	Simplified Plat	Waiting for Final Paper Copies	06-Apr-23	WILLIAM BOWERS & PATRICK BOWERS PARCELS K&L	SOUTHSIDE OF NEWCOMER BENEVOLA ROAD	FREDERICK SEIBERT & ASSOCIATES	William R Bowers
SI-23-003	Simplified Plat	Approval Letter Issued	07-Apr-23	SIMPLIFIED PLAT - LANDS OF CHARLES REID & ALECIA REID	NORTHWEST SIDE OF PHEASANT TRAIL	FOX & ASSOCIATES INC	REID CHARLES REID ALECFIA
SP-23-010	Site Plan	In Review	03-Apr-23	PATTON WAREHOUSING & LOGISTICS	18525 BREEZE HILL DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	Breeze Hill LLC
SP-23-011	Site Plan	In Review	03-Apr-23	DOWNSVILLE SOLAR II - SITE PLAN	17137 BLACK STALLION LANE HAGERSTOWN, MD 21740	KIMLEY-HORN & ASSOCIATES INC	VATERS MICHAEL D SR
SP-23-012	Site Plan	In Review	06-Apr-23	PARAMOUNT CELL	19224 LONGMEADOW ROAD HAGERSTOWN, MD 21742	MARC MAZULLO	K & S LONGMEADOW LLC
GP-23-007	Site Specific Grading Plan	In Review	11-Apr-23	COURIE DOON FARM	4314 LOCUST GROVE ROAD ROHRERSVILLE, MD 21779		COURIER DOON FARM LLC
SGP-23-019	Standard Grading Plan	Approved	06-Apr-23	ZURITA - ROSE COTTAGE LANE	8102 ROSE COTTAGE LANE FAIRPLAY, MD 21733	FREDERICK SEIBERT & ASSOCIATES	Bernabel S. Zurita Leon WHITCRAFT DEBRA L
SGP-23-020	Standard Grading Plan	Approved	10-Apr-23	FAITH MASSEY	11016 HICKORY SCHOOL ROAD WILLIAMSPORT, MD 21795		MASSEY JERRY E MASSEY DAWN C
SGP-23-021	Standard Grading Plan	Approved	11-Apr-23	JOSEPH W. GERACI AND DAWN GERACI, LOT 1	4947 MOUNT BRIAR ROAD KEEDYSVILLE, MD 21756		GERACI JOSEPH W & GERACI DAWN
SGP-23-022	Standard Grading Plan	In Review	12-Apr-23	KARISSA COCHRAN - 3710 HARPERS FERRY ROAD	3710 HARPERS FERRY ROAD SHARPSBURG, MD 21782		KALBFLESH SHERRY A
SGP-23-023	Standard Grading Plan	In Review	18-Apr-23	JEFFREY SHOWALTER	18926 REIDTOWN ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SHOWALTER JEFFREY LEE
SGP-23-024	Standard Grading Plan	Approved	21-Apr-23	BERTKA/FEI	6248 RIVER ROAD SHARPSBURG, MD 21782		FEI YINGWEI BERTKA CONSTANCE M
SGP-23-025	Standard Grading Plan	In Review	24-Apr-23	HARPER PARK LOT 4 (MODEL HOME)		FREDERICK SEIBERT & ASSOCIATES	HARPER PARK LLC
SGP-23-026	Standard Grading Plan	Pending Payment	26-Apr-23	CURTIS AND CARI HOUSER	16801 SPRECHER ROAD SHARPSBURG, MD 21782	TRIAD ENGINEERING	HOUSER CURTIS HOUSER CARL
SWCP23-009	Stormwater Concept Plan	In Review	03-Apr-23	PROPOSED CONVENIENCE CENTER & GAS STATION - SWCP	13610 PENNSYLVANIA AVENUE HAGERSTOWN, MD 21742	BOHLER ENGINEERING P C	HAGERSTOWN PENNSYLVANIA LLC
SWCP23-010	Stormwater Concept Plan	In Review	11-Apr-23	KIEFFER FUNK SOLAR	11609 KIEFFER FUNK ROAD SMITHSBURG, MD 21783	BECKER MORGAN GROUP INC	JOACHIM WILLIAM LEE JOACHIM JAMES ALAN
SWCP23-011	Stormwater Concept Plan	In Review	13-Apr-23	GRUMBACK LANE, LLC TRAILER PARKING		FREDERICK SEIBERT & ASSOCIATES	10319 GRUMBACKER LANE LLC
SWCP23-012	Stormwater Concept Plan	In Review	27-Apr-23	LIGHTNER OVERNIGHT PARKING LOT		FREDERICK SEIBERT & ASSOCIATES	BOWMAN SPIELMAN LLC
SSWP23-018	Stormwater Standard Plan	Approved	06-Apr-23	ZURITA - ROSE COTTAGE LANE	8102 ROSE COTTAGE LANE FAIRPLAY, MD 21733		Barnabel Salvador Zurita Leon WHITCRAFT DEBRA L
SSWP23-019	Stormwater Standard Plan	Approved	11-Apr-23	FAITH MASSEY	11016 HICKORY SCHOOL ROAD WILLIAMSPORT, MD 21795	TRIAD ENGINEERING	MASSEY JERRY E MASSEY DAWN C

Plan Review Projects Initialized - April 01, 2023 - April 30, 2023

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SSWP23-020	Stormwater Standard Plan	Revisions Required	12-Apr-23	KARISSA COCHRAN - 3710 HARPERS FERRY ROAD	3710 HARPERS FERRY ROAD SHARPSBURG, MD 21782		KALBFLESH SHERRY A
SSWP23-021	Stormwater Standard Plan	Approved	12-Apr-23	JOSEPH W. GERACI AND DAWN GERACI, LOT 1	4947 MOUNT BRIAR ROAD KEEDYSVILLE, MD 21756	TRIAD ENGINEERING	GERACI JOSEPH W & GERACI DAWN
SSWP23-022	Stormwater Standard Plan	In Review	18-Apr-23	JEFFREY SHOWALTER	18926 REIDTOWN ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SHOWALTER JEFFREY LEE
SSWP23-023	Stormwater Standard Plan	Approved	21-Apr-23	BERTKA/FEI	6248 RIVER ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	FEI YINGWEI BERTKA CONSTANCE M
SSWP23-024	Stormwater Standard Plan	Pending Payment	26-Apr-23	CURTIS AND CARI HOUSER	16801 SPRECHER ROAD SHARPSBURG, MD 21782		HOUSER CURTIS HOUSER CARL
TIS-23-003	Traffic Impact Study	Traffic Impact Study Received	05-Apr-23	EBY PROPERTY	13237 GREENCASTLE PIKE HAGERSTOWN, MD 21740	STREET TRAFFIC STUDIES, LTD	EBY MICHAEL D & EBY MARIETTA L
TYU-23-006	Two Year Update	In Review	03-Apr-23	2005 GREENCASTLE PIKE LLC - HUYETT BUSINESS PARK	S/W CORNER OF THE INTERSECTION OF BUSINESS PARKWAY AND WILLIAMSPORT-GREENCASTLE PIKE (MD RTE 63)	FOX & ASSOCIATES INC	2005 GREENCASTLE PIKE LLC ATTN: BRAD FULTON
TYU-23-007	Two Year Update	In Review	11-Apr-23	LUKE RUDOLPH - AGRICULTURAL IMPROVEMENT PLAN	10814 MAPLEVILLE ROAD HAGERSTOWN, MD 21742	TRIAD ENGINEERING	RUDOLPH LUKE R RUDOLPH FAYE E
TYU-23-008	Two Year Update	In Review	20-Apr-23	GAVER MEADOWS - SITE PLAN	W OF INTERSECTION OF BEAVER CREEK ROAD & EMMERT ROAD	FREDERICK SEIBERT & ASSOCIATES	LYLES FAMILY VENTURE LLC
GPT-23-034	Type 2 Grading Plan	Approved	16-Apr-23	SITE SPECIFIC GRADING PLAN - GAVER MEADOWS LOT 43	99 CHARLOTTE STREET HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-035	Type 2 Grading Plan	Approved	16-Apr-23	GAVER MEADOWS LOT 131	61 RAYMOND CROSSI HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-036	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 43 - 9840 RIPPLE DR	9840 RIPPLE DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-23-037	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 48 - 9860 RIPPLE DR	9860 RIPPLE DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-23-038	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD 55 13506 MELLOTT LANE	13506 MELLOTT LANE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	
GPT-23-039	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 136 REVISED	10009 WILKES DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	FELIXS FOLLY LLC
GPT-23-040	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 137 REVISED	10013 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC

Plan Review Projects Initialized - April 01, 2023 - April 30, 2023

Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2023-01902	Entrance Permit	Approved	04-Apr-23	STICK BUILT HOME	S-18-004 13221 ONYX DRIVE, LOT 165	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2023-02030	Entrance Permit	Approved	13-Apr-23	STICK BUILT HOME	S-18-035 9309 ALLOWAY DRIVE, LOT 86		WESTFIELDS INVESTMENT LLC
2023-02065	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10024 MAIDS FANCY WAY, LOT 229		
2023-02068	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10027 MAIDS FANCY WAY, LOT 189		
2023-02071	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10031 MAIDS FANCY WAY, LOT 190		
2023-02074	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10035 MAIDS FANCY WAY, LOT 216		
2023-02077	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10039 MAIDS FANCY WAY, LOT 217		
2023-02080	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10043 MAIDS FANCY WAY, LOT 218		
2023-02083	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10047 MAIDS FANCY WAY, LOT 219		
2023-02151	Entrance Permit	In Progress	18-Apr-23	STICK BUILT HOME	S-21-059 18926 REIDTOWN ROAD, LOT 1R		SHOWALTER JEFFREY LEE
2023-02180	Entrance Permit	Approved	19-Apr-23	STICK BUILT HOME	S-21-001 18807 FORSYTH COURT, LOT 225		LGI HOMES MARYLAND LLC
2023-02186	Entrance Permit	Approved	19-Apr-23	STICK BUILT HOME	S-21-001 18803 FORSYTH COURT, LOT 224		LGI HOMES MARYLAND LLC
2023-02268	Entrance Permit	In Progress	24-Apr-23	STICK BUILT HOME	S-21-019 10009 WILKES DRIVE, LOT 136		FELIXS FOLLY LLC
2023-02273	Entrance Permit	In Progress	24-Apr-23	STICK BUILT HOME	S-21-019 10013 WILKES DRIVE, LOT 137		FELIXS FOLLY LLC
2023-02304	Entrance Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 9860 RIPPLE DRIVE, LOT 48	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
2023-02309	Entrance Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 13506 MELLOTT LANE, LOT 55	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2023-02372	Entrance Permit	Approved	28-Apr-23	STICK BUILT HOME	S-04-061 10127 MAIDS FANCY WAY, LOT 177		LGI HOMES MARYLAND LLC
2023-01903	Grading Permit	Approved	04-Apr-23	STICK BUILT HOME	S-18-004 13221 ONYX DRIVE, LOT 165	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2023-02016	Grading Permit	In Progress	12-Apr-23	STICK BUILT HOME	6248 RIVER ROAD, LOT 76	OLIVER HOMES INC	FEI YINGWEI BERTKA CONSTANCE M
2023-02031	Grading Permit	Approved	13-Apr-23	WESTFIELDS LOT 86	S-18-035 9309 ALLOWAY DRIVE, LOT 86		WESTFIELDS INVESTMENT LLC
2023-02043	Grading Permit	In Progress	13-Apr-23	STICK BUILT HOME	15630 KAYLA LANE WILLIAMSPORT, MD 21795		STONER THEODORE
2023-02066	Grading Permit	Approved	14-Apr-23	10024 MAIDS FANCY WAY	S-21-001 10024 MAIDS FANCY WAY, LOT 229		
2023-02069	Grading Permit	Approved	14-Apr-23	10027 MAIDS FANCY WAY LOT 189	S-21-001 10027 MAIDS FANCY WAY, LOT 189		
2023-02072	Grading Permit	Approved	14-Apr-23	10031 MAIDS FANCY WAY LOT 190	S-21-001 10031 MAIDS FANCY WAY, LOT 190		
2023-02075	Grading Permit	Approved	14-Apr-23	10035 MAIDS FANCY WAY LOT 216	S-21-001 10035 MAIDS FANCY WAY, LOT 216		

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2023-02078	Grading Permit	Approved	14-Apr-23	10039 MAIDS FANCY WAY LOT 217	S-21-001 10039 MAIDS FANCY WAY, LOT 217		
2023-02081	Grading Permit	Approved	14-Apr-23	10043 MAIDS FANCY WAY LOT 218	S-21-001 10043 MAIDS FANCY WAY, LOT 218		
2023-02084	Grading Permit	Approved	14-Apr-23	10047 MAIDS FANCY WAY LOT 219	S-21-001 10047 MAIDS FANCY WAY, LOT 219		
2023-02085	Grading Permit	In Progress	14-Apr-23	STICK BUILT HOME	LOR 11016 HICKORY SCHOOL ROAD	MT. TABOR BUILDERS	MASSEY JERRY E MASSEY DAWN C
2023-02095	Grading Permit	Approved	16-Apr-23	GAVER MEADOWS LOT 43 GRADING	TWN-19-007 99 CHARLOTTE STREET, LOT 43		DAVID C LYLES DEVELOPERS LLC
2023-02096	Grading Permit	Approved	16-Apr-23	GAVER MEADOWS LOT 131 GRADING	TWN-19-007 61 RAYMOND CROSSING, LOT 131		DAVID C LYLES DEVELOPERS LLC
2023-02147	Grading Permit	In Progress	18-Apr-23	COMMERCIAL	LOR 6720 OLD NATIONAL PIKE		Anderson Enterprises LLC 19709 Roxbury Road
2023-02153	Grading Permit	In Progress	18-Apr-23	JEFFREY SHOWALTER	S-21-059 18926 REIDTOWN ROAD, LOT 1R		SHOWALTER JEFFREY LEE
2023-02182	Grading Permit	Approved	19-Apr-23	18807 FORSYTH COURT LOT 225	S-21-001 18807 FORSYTH COURT, LOT 225		LGI HOMES MARYLAND LLC
2023-02187	Grading Permit	Approved	19-Apr-23	18803 FORSYTH COURT LOT 224	S-21-001 18803 FORSYTH COURT, LOT 224		LGI HOMES MARYLAND LLC
2023-02193	Grading Permit	Approved	19-Apr-23	GRADING PERMIT	11112 KEMPS MILL ROAD		WASH CO COMMISSIONERS
2023-02208	Grading Permit	Approved	20-Apr-23	STICK BUILT HOME	S-22-026 4947 MOUNT BRIAR ROAD	OLIVER HOMES INC	GERACI JOSEPH W & GERACI DAWN
2023-02271	Grading Permit	In Progress	24-Apr-23	ELMWOOD 136 REV 10009 WILKES DR	S-21-019 10009 WILKES DRIVE, LOT 136		FELIXS FOLLY LLC
2023-02275	Grading Permit	In Progress	24-Apr-23	ELMWOOD 137 REV 10013 WILKES DR	S-21-019 10013 WILKES DRIVE, LOT 137		FELIXS FOLLY LLC
2023-02305	Grading Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 9860 RIPPLE DRIVE, LOT 48	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
2023-02310	Grading Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 13506 MELLOTT LANE, LOT 55	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2023-02326	Grading Permit	In Progress	18-Apr-23	STICK BUILT HOME	S-22-031 4380 LOCUST GROVE ROAD	HURD BUILDERS	COURIE DOON FARM LLC
2023-02373	Grading Permit	Approved	28-Apr-23	10127 MAIDS FANCY WAY LOT 177	S-04-061 10127 MAIDS FANCY WAY, LOT 177		LGI HOMES MARYLAND LLC
2023-02350	Non-Residential New Construction Permit	Review	27-Apr-23	COMMERCIAL	SP-22-034 13725 OLIVER DRIVE, LOT 1A	UNITED ENTERPRISES CONSTRUCTION LLC	COMMUNITY RESCUE SERVICE INC
2023-02017	Utility Permit	Approved	12-Apr-23		13850 CRAYTON BOULEVARD	CONEWAGO ENTERPRISES	SHOWALTER FARM LLC
2023-01946	Utility Permit	Revisions Required	06-Apr-23	ANTIETAM BROADBAND	12635 LICKING CREEK ROAD	ANTIETAM CABLE TELEVISION INC	GODLOVE RONALD L
2023-01949	Utility Permit	Revisions Required	07-Apr-23	ANTIETAM BROADBAND	14536 WELLER ROAD	ANTIETAM CABLE TELEVISION INC	ANNS RETREAT LLC
2023-01951	Utility Permit	Revisions Required	07-Apr-23	ANTIETAM BROADBAND	21013 LEHMANS MILL ROAD	ANTIETAM CABLE TELEVISION INC	MARTIN TIMOTHY R & MARTIN LAVONDA K
2023-02130	Utility Permit	Approved	18-Apr-23	POTOMAC EDISON	17729 STONE VALLEY DRIVE	POTOMAC EDISON	GRASSO VICTOR A GRASSO SHARON D
2023-02203	Utility Permit	Approved	20-Apr-23	ANTIETAM BROADBAND	13507 PULASKI DRIVE	PURE LIFE CABLE	KLEIN DANIEL S KLEIN EVA M
2023-02220	Utility Permit	Approved	21-Apr-23	COLUMBIA GAS	10825 ALLEN AVENUE	COLUMBIA GAS OF MARYLAND INC	SMITH KEVIN J & SMITH ERIK S
2023-02320	Utility Permit	Approved	26-Apr-23		232 NORTH COLONIAL DRIVE		MULLINS GENE E MULLINS TINA M

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2023-01952	Utility Permit	Review	07-Apr-23	ANTIETAM BROADBAND	22914 WELTY CHURCH ROAD	ANTIETAM CABLE TELEVISION INC	WYNKOOP TARA M & WYNKOOP DOUGLAS R II
2023-01953	Utility Permit	Approved	07-Apr-23	ANTIETAM BROADBAND	13413 RITCHIE ROAD	ANTIETAM CABLE TELEVISION INC	BENTZ TYLER M & MYERS REBEKAH E
2023-02040	Utility Permit	Approved	13-Apr-23	ANTIETAM BROADBAND	10908 GAYWOOD DRIVE	ANTIETAM CABLE TELEVISION INC	MINER BARBARA J & WARRENFELTZ GLENN M
2023-02199	Utility Permit	Review	20-Apr-23	POINT BROADBAND	13502 HALIFAX DRIVE	PURE LIFE CABLE	SALVATION ARMY
2023-02209	Utility Permit	Approved	20-Apr-23	POINT BROADBAND	13510 PARADISE DRIVE	PURE LIFE CABLE	DELAUTER KENNETH R JR HARRISON M SUSAN
ADJ2023-002	Zoning Admin Adjustment	Granted	05-Apr-23	NON-RESIDENTIAL	20148 COOL HOLLOW ROAD		Amanda Caffee & Yevgeniy Nikolayev 20129 Cool Hollow Road

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	Type	Total
LandDev Total by Group: 54	APFO Road Adequacy	1
	Forest Stand Delineation	2
	IMA	6
	Improvement Plan	2
	Ordinance Modification	2
	Preliminary Consultation	2
	Redline Revision	2
	Simplified Plat	3
	Site Plan	3
	Site Specific Grading Plan	1
	Standard Grading Plan	8
	Stormwater Concept Plan	4
	Stormwater Standard Plan	7
	Traffic Impact Study	1
	Two Year Update	3
	Type 2 Grading Plan	7
Permits Total by Group: 58	Entrance Permit	17
	Grading Permit	26
	Non-Residential New Construction Permit	1
	Utility Permit	13
	Zoning Admin Adjustment	1
Total		112

Washington County, Maryland
Capital Improvement 10yr Detail
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	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Airport												
Air Traffic Control Tower	7,000,000	0	700,000	0	6,300,000	0	0	0	0	0	0	0
T-Hangar 1, 2, & 3 Replacement	532,000	173,000	34,000	35,000	35,000	36,000	37,000	37,000	38,000	38,000	39,000	30,000
Airport Systemic Improvement Projects	1,282,627	99,627	378,000	405,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
Airport Security System Enhancements	197,165	177,165	20,000	0	0	0	0	0	0	0	0	0
Capital Equipment - Airport	4,237,567	931,567	195,000	363,000	650,000	1,410,000	40,000	73,000	55,000	300,000	1,45,000	75,000
Taxiway F Rehabilitation	6,300,000	300,000	6,000,000	0	0	0	0	0	0	0	0	0
Runway 27/20 Rehabilitation	3,847,000	0	323,000	3,524,000	0	0	0	0	0	0	0	0
Runway 9/27 Lighting and Signage Replacement	1,060,000	0	1,060,000	0	0	0	0	0	0	0	0	0
Snow Removal Equipment Storage Building Expansion	3,514,000	0	0	0	0	0	300,000	0	3,214,000	0	0	0
T-Hangar Taxi Lanes Rehabilitation	1,500,000	0	150,000	1,350,000	0	0	0	0	0	0	0	0
Taxiway A Rehabilitation	4,016,000	0	335,000	0	3,681,000	0	0	0	0	0	0	0
Taxiway G Rehabilitation	1,920,000	0	0	0	0	0	0	0	192,000	0	1,728,000	0
Taxiway H Rehabilitation	1,317,000	0	0	108,000	1,209,000	0	0	0	0	0	0	0
Terminal Building Expansion	6,000,000	0	600,000	0	5,400,000	0	0	0	0	0	0	0
Airport	42,723,359	1,681,359	9,795,000	5,785,000	17,325,000	1,496,000	427,000	160,000	3,549,000	388,000	1,962,000	155,000
Bridges												
Bridge Inspection and Inventory	697,806	48,806	175,000	0	24,000	0	200,000	0	25,000	0	225,000	0
Crystal Falls Drive W3051	2,898,500	2,498,500	400,000	0	0	0	0	0	0	0	0	0
Keedysville Road Bridge W5651	2,964,600	2,564,600	400,000	0	0	0	0	0	0	0	0	0
Cleaning & Painting of Steel Bridges	358,000	108,000	100,000	0	0	0	0	150,000	0	0	0	0
Halfway Boulevard Bridges W0912	5,489,000	4,489,000	0	1,000,000	0	0	0	0	0	0	0	0
Country Store Lane Culvert 16/06	335,000	35,000	300,000	0	0	0	0	0	0	0	0	0
Gardenhour Road Bridge W2431	2,695,000	500,000	275,000	0	1,920,000	0	0	0	0	0	0	0
Greenspring Furnace Road Culvert 15/15	567,000	40,000	0	0	265,000	262,000	0	0	0	0	0	0
Kretzinger Road Culvert 14/01	443,000	137,000	306,000	0	0	0	0	0	0	0	0	0
Appleown Road Bridge W2184	979,000	0	0	0	0	0	0	407,000	572,000	0	0	0
Ashton Road Culvert 04/06	559,000	0	0	0	0	0	0	0	42,000	517,000	0	0
Bowie Road Culvert	405,000	0	0	0	0	0	0	405,000	0	0	0	0
Burnside Bridge Road Culvert 01/03	461,000	0	0	0	160,000	301,000	0	0	0	0	0	0
Draper Road Culvert 04/07	589,000	0	0	0	0	0	0	37,000	552,000	0	0	0
Draper Road Culvert 04/08	530,000	0	0	0	0	0	0	0	0	50,000	0	0
Greenbrier Road Culvert 16/14	268,000	0	0	0	0	0	0	0	0	268,000	0	0
Gruber Road Bridge 04/10	396,000	0	0	0	0	0	0	0	10,000	386,000	0	0
Harpers Ferry Road Culvert 11/02	757,000	0	0	0	115,000	642,000	0	0	0	0	0	0
Henline Road Culvert 05/05	429,000	0	0	0	0	15,000	414,000	0	0	0	0	0
Hoffman's Inn Road Culvert 05/06	313,000	0	0	0	0	0	0	313,000	0	0	0	0
Lanes Road Culvert 15/12	417,000	0	32,000	385,000	0	0	0	0	0	0	0	0
Long Hollow Road Culvert 05/07	416,000	0	0	0	66,000	350,000	0	0	0	0	0	0
Mercersburg Road Culvert 04/16	484,000	0	0	0	0	0	0	0	0	16,000	468,000	0
Mooresville Road Culvert 15/21	446,000	0	0	0	0	0	0	446,000	0	0	0	0
Poplar Grove Road Bridge W2432	1,955,000	0	0	0	0	0	0	0	0	100,000	1,855,000	0
Rensburg Road Culvert	387,000	0	0	119,000	268,000	0	0	0	0	0	0	0
Rinehart Road Culvert 14/03	465,000	0	0	0	465,000	0	0	0	0	0	0	0
Stone Masonry Bridge Repairs	270,000	0	0	0	0	0	270,000	0	0	0	0	0

General Government
Cost of Bond Issuance
Systemic Improvements - Building
Facilities Roof Repairs
Equipment and Vehicle Wash Facility
Information Systems Replacement Program
Financial System Management & Upgrades
County Wireless Infrastructure
General - Equipment and Vehicle Replacement

	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Taylors Landing Road Bridge W7101	1,379,000	0	0	0	0	0	0	0	0	35,000	510,000	834,000
Willow Road Culvert 05/10	323,000	0	0	0	0	0	0	151,000	172,000	0	0	0
Yarrowsburg Road Bridge W6191	2,102,000	0	0	0	0	0	0	620,000	1,482,000	0	0	0
Bridges Total	30,777,906	10,420,906	1,988,000	1,504,000	3,283,000	1,570,000	884,000	2,529,000	2,855,000	1,372,000	3,538,000	834,000
Drainage												
Stream Restoration at Various Locations	2,306,782	1,056,782	0	250,000	0	250,000	0	0	0	350,000	0	400,000
Stormwater Retrofits	14,594,205	5,744,205	700,000	800,000	900,000	900,000	900,000	900,000	900,000	900,000	950,000	1,000,000
Drainage Improvements at Various Locations	850,000	300,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	75,000	75,000
Broadfording Church Road Culvert	231,000	0	0	0	57,000	174,000	0	0	0	0	0	0
Draper Road Drainage Improvements	609,000	0	0	0	0	0	0	259,000	350,000	0	0	0
Fort Ritchie Dam Repairs	200,000	0	0	50,000	150,000	0	0	0	0	0	0	0
Harpers Ferry Road Drainage, 3600 Block	525,000	0	0	0	75,000	450,000	0	0	0	0	0	0
Shank Road Drainage	214,000	0	0	0	0	214,000	0	0	0	0	0	0
Trego Mountain Road Drainage	415,000	0	0	0	0	0	0	0	0	0	0	415,000
University Road Culvert	285,000	0	0	0	0	0	285,000	0	0	0	0	0
Drainage Total	20,229,987	7,100,987	750,000	1,150,000	1,232,000	2,038,000	1,235,000	1,209,000	1,300,000	1,300,000	1,025,000	1,890,000
Education												
Board of Education												
Capital Maintenance - BOE	149,435,314	19,518,314	12,791,000	15,060,000	5,152,000	11,536,000	13,915,000	13,125,000	14,033,000	14,507,000	15,218,000	14,580,000
Replacement Elementary School	44,096,000	0	1,500,000	0	19,813,000	19,833,000	2,950,000	0	0	0	0	0
Board of Education	193,531,314	19,518,314	14,291,000	15,060,000	24,965,000	31,369,000	16,865,000	13,125,000	14,033,000	14,507,000	15,218,000	14,580,000
Hagerstown Community College												
Second Entrance Drive Widening Project	6,979,000	5,939,000	1,040,000	0	0	0	0	0	0	0	0	0
ARCC Renovation	1,770,000	0	0	0	0	0	0	0	0	0	135,000	1,635,000
ATC Renovation	14,211,000	0	0	0	1,462,000	4,399,000	3,650,000	3,800,000	900,000	0	0	0
Campus Road & Parking Lot Overlays	1,000,000	0	0	0	0	0	0	500,000	0	500,000	0	0
Career Programs Roof Replacement	4,800,000	0	0	0	0	0	0	0	0	1,231,000	2,365,000	1,204,000
NACC Renovation	1,800,000	0	1,800,000	0	0	0	0	0	0	0	0	0
Multi-Roof Project	1,250,000	0	0	500,000	0	500,000	0	0	0	0	0	250,000
Hagerstown Community College	31,810,000	5,939,000	2,840,000	500,000	1,462,000	4,899,000	3,650,000	4,300,000	900,000	1,731,000	2,500,000	3,089,000
Public Libraries												
Systemic Projects - Library	426,492	76,492	25,000	25,000	30,000	30,000	35,000	35,000	40,000	40,000	45,000	45,000
Williamsport Library Replacement	15,621,000	50,000	0	0	0	634,000	1,756,000	9,717,000	3,464,000	0	0	0
Public Libraries	16,047,492	126,492	25,000	25,000	30,000	664,000	1,791,000	9,752,000	3,504,000	40,000	45,000	45,000
Education Total	241,388,806	25,583,806	17,156,000	15,585,000	26,457,000	36,932,000	22,306,000	27,177,000	18,437,000	16,278,000	17,763,000	17,714,000
General Government												
Cost of Bond Issuance	978,000	80,000	88,000	90,000	90,000	90,000	90,000	90,000	90,000	90,000	90,000	90,000
Systemic Improvements - Building	7,768,007	1,068,007	700,000	1,000,000	1,000,000	1,000,000	500,000	500,000	500,000	500,000	500,000	500,000
Facilities Roof Repairs	2,600,000	1,500,000	200,000	200,000	100,000	100,000	100,000	100,000	75,000	75,000	75,000	75,000
Equipment and Vehicle Wash Facility	325,000	75,000	0	250,000	0	0	0	0	0	0	0	0
Information Systems Replacement Program	1,276,653	151,653	75,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	250,000
Financial System Management & Upgrades	255,709	105,709	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
County Wireless Infrastructure	37,000	0	0	20,000	0	0	0	0	0	0	0	0
General - Equipment and Vehicle Replacement Program	1,936,195	936,195	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000

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	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Courthouse Courtroom 1 Renovation	1,300,000	0	0	0	0	0	0	0	0	150,000	1,150,000	0
Stormwater Management and Watershed Services Office Building	1,100,000	0	200,000	900,000	0	0	0	0	0	0	0	0
General Government Total	17,576,564	3,933,564	1,378,000	2,675,000	1,405,000	1,405,000	905,000	905,000	880,000	1,030,000	2,030,000	1,030,000
Parks and Recreation												
Black Rock Capital Equipment Program	389,618	54,618	25,000	100,000	25,000	25,000	25,000	25,000	25,000	25,000	30,000	30,000
Agriculture Education Center Indoor Multipurpose Building	8,670,000	4,050,000	550,000	1,270,000	2,800,000	0	0	0	0	0	0	0
Harcourt Playing Surfaces	339,963	204,963	0	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
Ag Center Land Development	2,198,000	198,000	0	1,000,000	1,000,000	0	0	0	0	0	0	0
Park Equipment/Surfacing Replacement, Various Locations	1,400,731	700,731	0	0	175,000	0	175,000	0	175,000	0	175,000	0
Parking Lot Repair/Overlay, Various Locations	525,896	75,896	0	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
Antietam Creek Water Trail	357,000	242,000	15,000	50,000	50,000	0	0	0	0	0	0	0
Ag Center Show Area Floor	50,000	0	50,000	0	0	0	0	0	0	0	0	0
Black Rock Bunker Rehabilitation	250,000	0	0	0	250,000	0	0	0	0	0	0	0
Conococheague Creek Water Trail	310,000	0	0	0	10,000	180,000	120,000	0	0	0	0	0
Doubs Woods Disc Golf	50,000	0	0	0	0	0	0	0	0	50,000	0	0
Kemps Mill Park Trails	100,000	0	0	0	100,000	0	0	0	0	0	0	0
Mary Snook Park Multimodal Trail and Parking	700,000	0	0	0	100,000	300,000	300,000	0	0	0	0	0
Mary Snook Park Pool Renovation and Accessible Entrance	750,000	0	0	0	350,000	400,000	0	0	0	0	0	0
Mt. Briar Wetland Preserve Trails and Conservation Area	100,000	0	0	100,000	0	0	0	0	0	0	0	0
North Central County Park	5,400,000	0	0	100,000	0	500,000	800,000	800,000	800,000	800,000	800,000	800,000
Park Entrances and Security Upgrades	200,000	0	0	0	100,000	100,000	0	0	0	0	0	0
Pen Mar-Fort Ritchie-Cascade Trail Connection	290,000	0	0	50,000	120,000	0	120,000	0	0	0	0	0
Recreational Field Bleachers	70,000	0	70,000	0	0	0	0	0	0	0	0	0
Regional Park Dog Park	80,000	0	0	80,000	0	0	0	0	0	0	0	0
Parks and Recreation	22,231,208	5,526,208	710,000	2,815,000	5,145,000	1,570,000	1,605,000	890,000	1,065,000	940,000	1,070,000	895,000
Public Safety												
Detention Center - Systemic Projects	5,272,173	872,173	190,000	700,000	700,000	450,000	500,000	500,000	500,000	550,000	60,000	250,000
Burn Building - PSTC Training Center	2,500,000	1,500,000	1,000,000	0	0	0	0	0	0	0	0	0
Parol Services Relocation Renovation	17,580,000	500,000	1,100,000	2,900,000	3,000,000	3,000,000	2,000,000	4,000,000	1,000,000	0	0	0
Communication Tower(s) Various	576,806	266,806	90,000	0	110,000	0	110,000	0	0	0	0	0
P25 UHF Public Safety Radio Communications System Upgrade	12,600,000	11,075,000	0	1,525,000	0	0	0	0	0	0	0	0
Portable Radio Replacement Program - Sheriff	1,370,105	114,105	114,000	116,000	118,000	120,000	120,000	122,000	122,000	124,000	124,000	126,000
Portable Radio Replacement Program - Emergency Services	4,435,000	2,435,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000
Law Enforcement - Vehicle & Equipment Replacement Program	13,274,053	2,065,053	1,129,000	1,000,000	1,030,000	1,060,000	1,090,000	1,120,000	1,150,000	1,180,000	1,210,000	1,240,000
Emergency Services Equipment & Vehicle Program	9,600,089	7,375,089	200,000	205,000	210,000	215,000	220,000	225,000	230,000	235,000	240,000	245,000
Canteen/Rehab Unit Replacement	534,000	90,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000	30,000	30,000
Incident Safety Officer Vehicle Replacement Program	176,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000
Police Indoor Firing Range	750,000	0	0	0	0	0	0	0	0	250,000	250,000	250,000
PSTC Apparatus Operator / Defensive Driving Track	2,250,000	0	250,000	2,000,000	0	0	0	0	0	0	0	0
PSTC Tactical Village / Simulation Training Area	16,750,000	0	2,250,000	0	0	0	0	0	1,960,000	4,043,000	4,143,000	4,354,000
911 Center Building Expansion	1,800,000	0	0	0	0	0	0	0	0	528,000	1,272,000	0
Public Safety	89,338,226	26,309,226	6,587,000	8,710,000	5,432,000	5,109,000	4,304,000	6,231,000	5,226,000	7,174,000	7,545,000	6,711,000
Railroad												
Railroad Crossing Improvements	2,082,450	936,450	0	0	0	200,000	0	250,000	0	300,000	0	396,000
Railroad	2,082,450	936,450	0	0	0	200,000	0	250,000	0	300,000	0	396,000

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	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Road Improvement												
Intersection & Signal Improvements	2,770,177	520,177	0	750,000	0	0	750,000	0	0	750,000	0	0
Transportation ADA	1,776,774	376,774	100,000	500,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000
Pavement Maintenance and Rehab Program	67,141,399	9,141,399	5,000,000	5,000,000	6,000,000	6,000,000	6,000,000	6,000,000	6,000,000	6,000,000	6,000,000	6,000,000
Longmeadow Road	2,105,000	0	0	0	310,000	432,000	518,000	845,000	0	0	0	0
Eastern Boulevard Extended	10,603,000	0	0	0	359,000	1,970,000	2,700,000	3,324,000	2,250,000	0	0	0
Eastern Blvd Widening Phase I	10,467,100	8,967,100	1,500,000	0	0	0	0	0	0	0	0	0
Eastern Boulevard Widening Phase II	6,772,300	2,691,300	385,000	1,274,000	2,472,000	0	0	0	0	0	0	0
Eastern Blvd at Antietam Drive Improvements	4,506,000	3,006,000	1,000,000	500,000	0	0	0	0	0	0	0	0
Professional Boulevard Extended Phase III	3,353,000	1,853,000	1,500,000	0	0	0	0	0	0	0	0	0
Halfway Boulevard Extended	9,473,000	6,473,000	3,000,000	0	0	0	0	0	0	0	0	0
Wright Road	3,948,000	2,673,000	125,000	650,000	500,000	0	0	0	0	0	0	0
Burnside Bridge Road Spot Improvements	544,000	0	0	0	0	0	544,000	0	0	0	0	0
E. Oak Ridge Drive/South Pointe Signal	461,000	0	0	0	0	0	461,000	0	0	0	0	0
Mt Aetna Road Spot Improvements	2,422,000	0	0	0	0	0	0	0	935,000	1,487,000	0	0
Robinwood Drive Sidewalk Extension	750,000	0	0	0	0	250,000	500,000	0	0	0	0	0
Rockdale Road and Independence Road Spot Improvements	1,025,000	0	0	0	0	0	0	0	0	450,000	575,000	0
Sandstone Drive Spot Improvements	500,000	0	0	0	0	0	0	0	0	0	0	0
Highway - Vehicle & Equipment Replacement Program	17,233,161	2,298,161	1,284,000	1,213,000	1,280,000	1,350,000	1,424,000	1,502,000	1,585,000	1,672,000	1,764,000	1,861,000
Road Improvement	145,850,911	37,999,911	13,894,000	9,887,000	10,971,000	10,102,000	12,997,000	11,771,000	11,370,000	10,459,000	8,439,000	7,961,000
Solid Waste												
Contingency - Solid Waste	504,042	64,042	30,000	35,000	35,000	60,000	60,000	62,000	63,000	64,000	65,000	66,000
SW Equipment & Vehicle Replacement	430,674	72,674	34,000	34,000	35,000	35,000	35,000	35,000	35,000	35,000	40,000	40,000
40 West Landfill - Cell 5 Construction	4,083,000	0	440,000	3,472,000	171,000	0	0	0	0	0	0	0
40 West Landfill Pretreatment Facility	10,600,000	0	500,000	5,100,000	5,000,000	0	0	0	0	0	0	0
Mechanics Crane Truck Replacement	150,000	0	150,000	0	0	0	0	0	0	0	0	0
Solid Waste	15,867,716	136,716	1,154,000	8,641,000	5,241,000	95,000	95,000	97,000	98,000	99,000	105,000	106,000
Transit												
Vehicle Preventive Maintenance	3,495,307	495,307	0	0	375,000	375,000	375,000	375,000	375,000	375,000	375,000	375,000
Fixed Route Bus Replacement Program	5,842,317	2,242,317	0	0	0	900,000	0	0	0	0	0	2,700,000
ADA Bus Replacement	632,305	2,305	0	0	105,000	0	210,000	0	0	105,000	0	210,000
Support Vehicles	113,848	73,848	40,000	0	0	0	0	0	0	0	0	0
Transportation Development Plan	725,000	0	125,000	0	0	0	0	100,000	0	0	0	0
Transit	10,308,777	2,813,777	165,000	0	480,000	1,275,000	585,000	475,000	375,000	480,000	375,000	3,285,000
Water Quality												
Utility Administration												
Contingency - Utility Admin	172,177	44,177	0	0	0	0	0	0	31,000	32,000	32,000	33,000
General Building Improvements	964,000	70,000	400,000	494,000	0	0	0	0	0	0	0	0
Lab Equipment Replacement	436,117	185,117	30,000	23,000	24,000	24,000	25,000	25,000	25,000	25,000	25,000	25,000
WQ Equip/Vehicle Replacement Program	1,194,162	289,162	80,000	85,000	85,000	90,000	90,000	95,000	95,000	95,000	95,000	95,000
SCADA Replacement	250,000	0	250,000	0	0	0	0	0	0	0	0	0
Utility Administration	3,016,456	588,456	760,000	602,000	109,000	114,000	115,000	120,000	151,000	152,000	152,000	153,000

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	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Sewer												
Contingency - Sewer	226,939	26,939	0	0	0	0	0	0	50,000	50,000	50,000	50,000
Replace Grinder Pumps	1,190,000	125,000	125,000	125,000	125,000	125,000	90,000	95,000	95,000	95,000	95,000	95,000
Pump Station Upgrades - Various Stations	5,755,447	2,320,447	100,000	200,000	885,000	0	750,000	0	750,000	0	750,000	0
Collection System Rehabilitation Project	3,976,121	156,121	0	670,000	0	900,000	0	750,000	0	750,000	0	750,000
Sandy Hook Collection System Upgrades	175,000	125,000	25,000	25,000	0	0	0	0	0	0	0	0
Smithsburg WWTP ENR Upgrade	26,881,087	11,381,387	0	0	0	0	0	0	5,500,000	5,000,000	5,000,000	0
General WWTP Improvements	1,122,500	22,500	250,000	300,000	250,000	300,000	0	0	0	0	0	0
Heavy Sewer EQP and VEH Replacement	1,280,807	345,807	200,000	200,000	200,000	105,000	35,000	35,000	40,000	40,000	40,000	40,000
Potomac Edison Pump Station & Force Main	1,700,000	0	0	0	0	0	1,700,000	0	0	0	0	0
Sewer Fund	42,307,901	14,502,901	700,000	1,520,000	1,460,000	1,430,000	2,575,000	880,000	6,435,000	5,935,000	5,935,000	935,000
Water												
Sharpsburg Water Meter Cradle Replacement	1,000,000	1,000,000	0	0	0	0	0	0	0	0	0	0
Water Meter Replacement	293,239	143,239	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
WQ Main Replacement	2,366,000	566,000	100,000	100,000	0	0	100,000	0	500,000	500,000	500,000	0
Sharpsburg Water Treatment Plant	645,336	55,336	0	0	590,000	0	0	0	0	0	0	0
General WTP Improvements	1,434,342	254,342	290,000	0	0	290,000	0	0	250,000	250,000	0	100,000
Highfield/Sharpsburg Water Storage Tank	336,000	0	0	0	0	0	0	0	336,000	0	0	0
Water Fund	6,074,917	2,018,917	405,000	115,000	605,000	305,000	115,000	15,000	1,101,000	765,000	515,000	115,000
Water Quality												
	51,399,274	17,110,274	1,865,000	2,237,000	2,174,000	1,849,000	2,805,000	1,015,000	7,687,000	6,852,000	6,602,000	1,203,000
TOTAL	689,775,184	139,553,184	55,442,000	58,989,000	79,145,000	63,641,000	48,148,000	52,709,000	52,842,000	46,672,000	50,454,000	42,180,000

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Funding Sources	Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
General Fund	108,887,408	40,137,408	6,250,000	6,500,000	6,500,000	6,750,000	6,750,000	7,000,000	7,000,000	7,250,000	7,250,000	7,500,000
Highway Fund	5,319,000	319,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000	500,000
Cascade Fund	12,342	12,342	0	0	0	0	0	0	0	0	0	0
Solid Waste Fund	1,145,042	97,042	214,000	69,000	70,000	95,000	95,000	97,000	98,000	99,000	105,000	106,000
Utility Admin Fund	2,070,056	536,056	360,000	108,000	109,000	114,000	115,000	120,000	151,000	152,000	152,000	153,000
Water Fund	743,239	268,239	340,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
Sewer Fund	4,594,116	2,344,116	350,000	350,000	325,000	230,000	125,000	130,000	185,000	185,000	185,000	185,000
Airport Fund	3,957,860	461,860	951,000	785,000	627,000	157,000	157,000	107,000	271,000	103,000	183,000	155,000
Tax-Supported Bond	164,383,128	27,383,128	12,000,000	13,000,000	14,000,000	14,000,000	14,000,000	14,000,000	14,000,000	14,000,000	14,000,000	14,000,000
Self-Supported Bond	48,410,951	6,072,951	2,055,000	10,011,000	6,896,000	1,175,000	825,000	490,000	7,336,000	6,500,000	6,250,000	850,000
State Loan	3,972,170	3,972,170	0	0	0	0	0	0	0	0	0	0
Transfer Tax	26,002,606	5,002,606	3,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000
Excise Tax - Schools	1,487,031	567,031	0	0	385,000	385,000	150,000	0	0	0	0	0
Excise Tax - Roads	1,747,620	487,620	126,000	126,000	126,000	126,000	126,000	126,000	126,000	126,000	126,000	126,000
Excise Tax - Other	319,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000
Excise Tax - Library	110,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
Excise Tax - Non-Residential	854,473	354,473	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
APFO Fees - Roads	405,644	405,644	0	0	0	0	0	0	0	0	0	0
Capital Reserve - General	35,096,000	1,122,000	6,500,000	2,893,000	6,865,000	2,624,000	2,747,000	4,696,000	2,930,000	2,777,000	1,942,000	0
Capital Reserve - Transfer Tax	5,795,000	500,000	0	915,000	1,380,000	1,000,000	0	2,000,000	0	0	0	0
Capital Reserve - Excise Tax - Schools	1,770,000	0	0	0	770,000	1,000,000	0	0	0	0	0	0
Capital Reserve - Excise Tax - Non-Residential	5,797,812	272,812	0	1,525,000	1,000,000	3,000,000	0	0	0	0	0	0
Capital Reserve - Excise Tax - Non-Residential	1,000,000	0	0	0	0	1,000,000	0	0	0	0	0	0
Federal Grant	77,423,034	27,440,034	9,502,000	5,464,000	18,091,000	2,619,000	1,224,000	1,106,000	4,730,000	834,000	3,605,000	2,808,000
State Grant	183,923,437	20,685,437	12,160,000	14,639,000	19,147,000	26,733,000	17,404,000	19,957,000	13,411,000	12,042,000	14,052,000	13,693,000
Contributions	4,548,215	1,122,215	1,045,000	0	250,000	29,000	1,826,000	276,000	0	0	0	0
TOTAL	689,775,184	139,553,184	55,442,000	58,989,000	79,145,000	63,641,000	48,148,000	52,709,000	52,842,000	46,672,000	50,454,000	42,180,000