

## DEPARTMENT OF PLANNING & ZONING PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

#### **AGENDA**

#### WASHINGTON COUNTY PLANNING COMMISSION 100 W Washington Street, Room 2000 June 5, 2023, 6:00 PM

#### CALL TO ORDER AND ROLL CALL

#### **PUBLIC INPUT MEETING**

RZ-23-003 – Text Amendment – Truck Stops – Jill Baker \* Information/Discussion/Action
 Proposed text amendment regarding truck stops

#### **MINUTES**

1. May 8, 2023 Planning Commission regular meeting \* **Discussion/Action** 

#### **OLD BUSINESS**

1. RZ-23-001 - Text Amendment - Convenience Stores - Recommendation - Jill Baker \* Discussion/Action

#### **NEW BUSINESS**

#### PRELIMINARY CONSULTATIONS

PC-23-001 – Diversified Capital – Martin Property – Scott Stotelmyer \* Information/Discussion
 Concept Plan for a proposed warehouse at 12440 Burkholder Lane; Zoning – PI (Planned Industrial)

#### **SUBDIVISIONS**

- Potomac Overlook [PP-22-001] Planner: Scott Stotelmyer \* Discussion/Action
   Preliminary plat for Potomac Overlook Subdivision; Location: Keep Tryst Road, Knoxville; Zoning: RV (Rural Village)
- Emerald Pointe PUD [DP-23-001] Planner: Scott Stotelmyer \* Discussion/Action
   Revised final development plan for Emerald Pointe PUD with request to remove the asphalt pathway connecting the residential portion of the neighborhood to the commercial area; Location: Emerald Pointe Drive; Zoning: RT(PUD) Residential Transition with a Planned Unit Development overlay

#### SITE PLANS

Morningside East Trailer Parking Area [SP-22-035] - Planner: Heather Williams \* Discussion/Action
 Site plan for the Morningside East Trailer Parking Area; Location: 233 East Oak Ridge Drive;; Zoning: HI (Highway Interchange)

#### **OTHER BUSINESS**

- 1. <u>Annual Report</u> Jennifer Kinzer \* *Information/Discussion/Action*
- 2. <u>Update of Projects Initialized</u> Jennifer Kinzer \* *Information/Discussion*
- 3. Capital Improvements Plan Jill Baker \* Information/Discussion
- 4. Comprehensive Plan Update Jill Baker \* Information/Discussion

#### **ADJOURNMENT**

#### **UPCOMING MEETINGS**

1. Monday, July 10, 2023, 7:00 p.m. – Washington County Planning Commission regular meeting

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

#### \*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



FOR PLANNING COMMISSION USE ONLY	
Rezoning No	_
Date Filed:	

## WASHINGTON COUNTY PLANNING COMMISSION ORDINANCE TEXT AMENDMENT APPLICATION

Washington County Planning Commission	
Applicant 747 Northern Avenue, Hagerstown, MD 21740	□Property Owner □Contract Purchaser □Attorney □Consultant ■Other: Planning Commission
Address	
Jill Baker, Director	240-313-2430
Primary Contact	Phone Number
same	askplanning@washco-md.net
Address	E-mail Address
□ Adequate Public Facilities Ordinance	☐ Water and Sewer Plan
☐ Forest Conservation Ordinance	■ Zoning Ordinance
□ Subdivision Ordinance	□ Other
□ Solid Waste Plan	
Articles 19 & 28A Section No.	
Please provide the proposed text on a separate should be used for deletions [deletions], unchar should be underlined [new wording].	
	Applicant's Signature
Subscribed and sworn before me thisd	ay of, 20
My commission expires on	
	Notary Public
FOR PLANNING CON	AMISSION USE ONLY
□ Application Form	□ Proposed Text Changes
□ Fee Worksheet □ Application Fee	□ 30 copies of complete Application



## DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-23-003

March 20, 2023

#### WASHINGTON COUNTY ZONING ORDINANCE STAFF REPORT AND ANALYSIS

#### **ARTICLES 19 & 28A**

**Proposal:** Application is being made to amend sections of the Zoning Ordinance related to the location and definition of truck stop uses.

#### Staff Report:

Electronic commerce (E-commerce) has rapidly expanded in recent years hastened by the social changes brought about by the COVID-19 pandemic. Two primary focus points of e-commerce is having a large supply inventory as well as fast delivery service. This has created increased demand for inventory warehousing, regional distribution facilities, and freight carriers. The focus of this amendment is related to support services necessary to accommodate the needs of truck freight carriers commonly referred to as truck stops or traveler plazas.

As truck freight traffic continues to increase on interstates nationwide, our local interstates are no exception. Increased traffic along with increased regulations on drivers to stop and rest, has developed the need for truck driver amenities and truck parking facilities. Many interstate ramps are currently overrun during peak periods of the day with trucks parked on the shoulders in order to meet their mandatory rest times. Additional opportunities for trucks to get off main routes and out of local residential neighborhoods are needed now and will continue to be in demand.

#### **Proposed Amendments:**

#### ARTICLE 19 "HI" HIGHWAY INTERCHANGE DISTRICT

#### Section 19.2. Principal Permitted Uses

- (a) All Principal Permitted Uses allowed in the BL, BG, PB, and ORT Districts. Also permitted are all Principal Permitted Uses in the IR District except heliports and Commercial Communications Towers.
- (b) Agriculture, as defined in Article 28A, including animal husbandry facilities, as defined in Article 28A, which shall be subject to the requirements set forth in Article 22, Division IX.

(c) Truck Stops

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#### **ARTICLE 28A - DEFINITIONS**

Truck-Stop: A structure or land used or intended to be used primarily for the sale of fuel for trucks and, usually long-term truck parking, incidental service or repair of trucks, overnight accommodations, or restaurant facilities open to serve the general public; or a group of facilities consisting of such a use and attendant eating, repair, sleeping or truck parking facilities. As used in this definition, the term "trucks" does not include any vehicle whose maximum gross weight is 10,000 pounds or less, as rated by the State Motor Vehicle Administration.

**Truck Stop:** A facility used to serve the trucking industry by providing a location for rest and refueling. The inherent and allowable uses of a truck stop include separate fuel islands with high flow pumps and areas for truck parking. In addition, truck stops also include service/repair facilities for trucks and/or trailers, on-site shower facilities, on-site laundry facilities, overnight stay accommodations, on-site truck wash, and/or on-site truck scales.

As used in this definition, the term "trucks" does not include any vehicle with a maximum gross weight less than 10,000 pounds, as rated by the State Motor Vehicle Administration. Convenience stores with truck parking in accordance with Section 22.14 are not considered part of this definition.

#### Analysis:

According to a grant application produced by the Maryland Department of Transportation (MDOT)<sup>1</sup>, the Maryland portion of Interstate 81(I-81) carries an average of 19,400 trucks per day while Interstate 70 (I-70) carries an average of 11,100 trucks per day. According to the report, I-81 alone carries approximately 10% of the gross domestic product of this country equating to about \$1.85 trillion making it one of the most critical freight corridors in the country. This amount of freight movement requires a substantial amount of logistical infrastructure to support the transfer and distribution of these materials.

In addition to the volume of freight movement within our region, other logistical factors play a role in the need for support infrastructure for this industry. According to US Department of Transportation rules, a commercial truck driver may only drive 11 hours straight within a 14-hour period provided they have had 10 consecutive hours off. For long haul carriers, this creates a need for areas where commercial truck drivers can safely pull off the road and rest.

Geography plays a significant role in the heightened interest to locate truck stops within Washington County. There are numerous ports along the eastern seaboard that accept incoming freight delivery with the bulk of the calls coming into mid-Atlantic ports including New York/New Jersey, Baltimore, Philadelphia, and the ports of Virginia (Norfolk and Newport News). Figure 1 below shows the importance of the interstate system in the commodity flow of freight throughout the country. This is also known as a Freight Analysis Framework. As shown in the Figure, Maryland and Pennsylvania have a significant amount of freight traffic coming from eastern seaports travelling through the area for inland distribution.

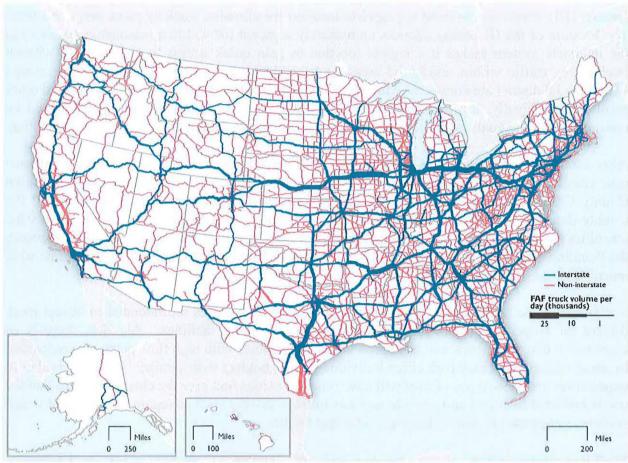


Figure 1: Average Daily Long-Haul Truck Traffic on the National Highway System: 2015 (Source: Bureau of Transportation Statistics, Freight Facts and Figures 7-4)

Another significant factor in drawing this industry to our area is the highway infrastructure. Washington County contains three interstate systems within our small geographic area. As we have already established, I-81 provides a crucial north-south oriented highway that carries a significant amount of freight traffic. In addition, I-70 provides a significant east-west oriented travel route that is increasing in this average daily traffic flows as well. Interstate 68 (I-68) west of Hancock provides a key connection through the Appalachian region of the country and assists with inland distribution to the mid-west. Washington County also consists of several significant Federal non-interstate routes including US 11, 40, and 522. These provide alternate routes of travel throughout our region which are also seeing higher rates of truck traffic than in the past.

All these factors have created an area of high demand for logistical and support services in our area. As a consequence to our prime freight movement location, the demand for uses such as truck stops has become more prevalent. This demand has in turn raised concerns about traffic congestion, pollution, and other safety concerns within the community.

When evaluating these concerns, the Planning Commission discussed appropriate locations for these types of uses as they relate to public concern and the goals and objectives of the Comprehensive Plan. After careful consideration it was determined that the Highway Interchange District (HI) would be the most appropriate location for allowing truck stops as permitted uses. The location of the HI zoning districts immediately adjacent (or within a reasonable distance) to the interstate system makes it a logical location to gain quick access to the highway without interrupting traffic within residential areas. Furthermore, the existing uses that are permitted within the HI district are consistent with the functionality of truck stops (i.e. gas stations and other retail sales). Finally, locating truck stops as a permitted use within the HI district would be consistent with the goals and objections of the transportation element of the Comprehensive Plan.

Also discussed by the Planning Commission was the definition of a truck stop. A previous court case known as Bowman Spielman LLC v. Jane Hershey et. Al. (Circuit Court for Washington County Case No. C-21-CV-18-000377) recently called into question the interpretation of the County definition of a truck stop. The judge found ambiguity within the definition as to what amenities associated with such a use would define it as a truck stop. In response to this judgement, the Planning Commission is proposing to amend the definition of a truck stop to better define what amenities are associated with this type of use.

The intent of the proposed definition is to clarify when such uses are intended to attract truck drivers for longer stays than those that are simply refueling facilities. As such, there is an expectation that truck stops will have separate fueling islands with high flow pumps accompanied by areas where trucks may park either individually or in tandem with a trailer. But there is also an expectation that these types of uses will have other amenities that give the clear indication that the use is intended to attract and provide services to truck drivers such as repair facilities and weigh stations, as opposed to simply having a refueling facility.

**Staff Recommendation:** Based upon feedback and comments from other government agencies, developers, property owners, and the general public, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

Jill L. Baker, AICP

Director



## DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-23-001 May 1, 2023

#### WASHINGTON COUNTY ZONING ORDINANCE STAFF REPORT AND ANALYSIS – Revision 1

ARTICLES 7, 8, 9, 10, 11, 12, 22, 28A

<u>Proposal</u>: Application is being made to amend several sections of the Zoning Ordinance to change the definition of a convenience store (aka C-Store), provide districts in which said use shall be permitted and provide options for tractor trailer/heavy duty truck parking facilities at these types of facilities.

**Staff Report:** According to the National Association of Convenience Stores (NACS) there are approximately 150,174 convenience stores operating in the US as of January 2023. After several years of stores closing due to the restrictions of COVID-19, C-Stores are again increasing in number. The necessity and demand for this industry is illustrated in its title, convenience.

Convenience from these types of facilities can be present at both the local and regional level. Local patrons use convenience stores mostly for fueling purposes. There are few facilities that exist as merely a stand-alone fueling station at this time. In addition to being used for fueling facilities, many convenience stores carry minimal household supplies and basic food needs such as bread, eggs and milk.

Regional convenience is mostly provided to interstate highway users travelling to or through the area. C-stores provide the convenience of a fueling center as well as providing restrooms, pre-packaged foods, and drinks so that travelers can rest and refresh before continuing on their journey.

In addition to changes in the definition of these uses, the Planning Commission has recognized a growing need and demand for truck parking facilities at some of these C-store locations. Similar to automobile traveling, truck drivers also need fast on and off facilities to maintain their delivery times. Parking for trucks at these facilities provides opportunities for truck drivers to quickly fuel up, use a restroom, and possibly get some food before getting back on the highway.

#### **Proposed Amendments:**

Below are the proposed text amendments for this rezoning case.

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#### ARTICLE 7 "RT" RESIDENTIAL, RURAL DISTRICT

#### Section 7A.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

The parking of tractor trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

#### ARTICLE 8 "RS" RESIDENTIAL, SUBURBAN DISTRICT

#### Section 8.7 Parking Requirements

- (a) Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.
  - (b) The parking of tractor trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

#### ARTICLE 9 "RU" RESIDENTIAL, URBAN DISTRICT

#### Section 9.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

#### ARTICLE 10 "RM" RESIDENTIAL, MULTI-FAMILY DISTRICT

#### Section 10.7 Design Standards

(h) Parking requirements Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable in compliance with Washington County's adopted Road and Street Design Standards.

The parking of tractor trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

#### ARTICLE 11 "BL" BUSINESS, LOCAL DISTRICT

Section 11.1 Principal Permitted Uses

(a) Local retail goods and service shops, including:

Clothing stores

Convenience Stores

**Dairy Products Stores** 

#### ARTICLE 12 "BG" BUSINESS, GENERAL DISTRICT

Section 12.1 Principal Permitted Uses

(a) Retail trades, businesses and services, including but not limited to the following and any use permitted in the BL District, subject to the use regulations specified in that district.

Conference Centers

<u>Convenience Stores</u>

Department Stores

#### ARTICLE 22 SPECIAL PROVISIONS DIVISION I OFF-STREET PARKING AND LOADING AREA REQUIREMENTS

Section 22.15 Truck Parking Requirements

- (a) Parking of tractor-trailers, either separately or in tandem, shall be prohibited on publicly owned County streets unless expressly approved as an on-street parking space for trucks.
- (b) Truck parking is permitted in association with a convenience store in accordance with the following:
  - 1. The maximum allowable number of truck parking spaces cannot exceed 3.5 spaces per 500 sq. ft. of the gross leasable area of the convenience store.
  - 2. Truck parking facilities shall maintain an independent internal circulation pattern on the site apart from normal automobile traffic. This provision does not pertain to immediate access to the property which may be shared by both truck and automobile traffic.
  - 3. Truck parking facilities may not be permitted in association with a convenience store in a Rural Business district.

#### **ARTICLE 28A - DEFINITIONS**

Convenience Store (aka C-Store): Any retail establishment offering for sale: prepackaged or preprocessed food products, household items, and other goods commonly associated with the same and having a gross floor area of 5,000 square feet or less. Such establishments may also sell gasoline petroleum products and/or alternative fueling products at retail prices and made to order food associated with the marketing of the proprietor. Chain or branded restaurants shall be considered a separate use from the convenience store. The area utilized for the sale of gasoline shall be considered as part of the gross floor area.

#### **Analysis:**

The size of convenience stores has changed significantly over the last decade. According to the National Association of Convenience Stores (NACS), traditional C-stores averaged between 2500-3000 square feet in size. They provided very basic necessities to the traveling public including fueling stations, restrooms, household items, and some pre-packaged food item. Currently, the average size of a new C-Store is averaging about 5000-6000 square feet. The reason for the larger sized stores primarily results from new service models where food made fresh options and in-store dining areas are offered. The increase in C-Store sizes can likely also be attributed to the overall increase of population and vehicular traffic across the country.

Acknowledging these new trends in the size and function of C-store operations, the current definition of a convenience store in the Zoning Ordinance is outdated and overly restrictive. Further, the use designation of a convenience store is only listed explicitly in the Rural Business Floating Zone. To correct the issue of an outdated definition, the Planning Commission is recommending changes to include eliminating a size limitation of such a structure. They are also recommending explicit inclusion of these types of uses in the Business Local and Business General zoning districts.

In addition, the Planning Commission believes that there is a significant demand and corresponding need to allow for limited truck parking for C-Store uses. Increases in population, traffic, and freight demands have created an increased demand for expedient freight and goods movement that has proportionally impacted the amount of truck traffic nationwide. These trends have impacted the demand for truck parking facilities as a consequence.

Finally, while the Comprehensive Plan is silent about specific design standards or locations of these types of uses, the importance of the interstate system to the economy of our County and the nation as a whole is discussed within the Transportation Element. It can be deduced from the discussion of the importance of maintaining our transportation facilities that we should also prepare for ancillary uses that provide support to that industry.

**Staff Recommendation:** Based upon the above analysis, previous public input, and Planning Commission discussions, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

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Jill L. Baker, AICP

Director

## PRELIMINARY CONSULTATION PC-23-001 — DIVERSIFIED CAPITAL-MARTIN PROPERTY

A preliminary consultation was held on April 26, 2023 at 10 a.m. in the Washington County Administrative Annex at 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for a proposed warehouse at 12440 Burkholder Lane. The property is currently zoned PI – Planned Industrial.

The following were in attendance: Jennifer Kinzer, Deputy Director; Meghan Jenkins, GIS Coordinator/Historic District Commission staff person; Scott Stotelmyer and Heather Williams, planners; Travis Allen, Comprehensive Planner; Adam Tresler, GIS Technician; and Debra Eckard, Administrative Assistant, Washington County Department of Planning & Zoning; Rebecca Calimer, Chief of Plan Review, Washington County Division of Engineering; Karen Flook and Anthony Mace, Washington County Division of Environmental Management; Allan Kujenga, MD State Highway Administration Access Permits; Kimmy Armstrong, Washington County Health Department; and Connor McManus, Dynamic Engineering.

#### Washington County Health Department

Ms. Armstrong noted that because there is public water and sewer, allocation forms will be required for this project. She explained that the Health Department needs to know where the lines are coming from because anyone along the line will be required to connect to the public service lines. Mr. McManus stated that the North Pointe Development to the south has public water and sewer service stemming off the private road, which will be extended and later dedicated to the County as a public road. Ms. Armstrong stated that the farm will also be required to connect to public water and sewer.

#### Washington County Department of Planning & Zoning

#### • Forest Conservation

Mr. Allen began by asking if the property would remain as one parcel. Mr. McManus stated that the property would be purchased as one parcel then subdivided with the farm being sold back to Mr. Martin who wishes to continue farming operations. Mr. Allen explained that providing forest mitigation for two land uses on the same parcel would be problematic so a subdivision would simplify the project's mitigation requirements. He also noted that a Forest Stand Delineation has already been submitted and is under review; with a forest stand having already been cleared by the landowner. He stated there could be an exemption for Mr. Martin's lot using the Real Estate Transfer process and any activities regulated under agricultural uses would not have to be considered for Forest Conservation mitigation if the lot was subdivided off.

#### Historic

Ms. Jenkins noted that the developer should retain a landscaping buffer around the historic structure. When the property is subdivided, the owner should consider and is encouraged to have the Historic Preservation (HP) overlay applied to the property. The HP overlay allows for some additional lots and provides design review for exterior changes.

Mr. Allen added that preserving existing forest on site would simplify the project's obligation to meeting forest conservation requirements. Forest conservation planting easements to buffer the historic structure

would need to be at least a half-acre in size. Therefore, buffering of the historic structure might be more easily done through landscaping requirements under the Zoning Ordinance.

#### Addressing

Mr. Tresler stated that naming of the proposed road and addressing will be handled during the subdivision or site plan phase of the project.

#### Land Development

Mr. Stotelmyer reminded the consultant that the subdivision plat should be submitted with the site plan. If the developer is requesting a parking waiver, that would need to go before the Board of Appeals. He also stated that all residential properties should be screened from the warehouse.

#### **Washington County Engineering Department**

Ms. Calimer explained that the proposed road cannot terminate at the building. There must be a connection to the north property line as well as to the west. There was a brief discussion regarding the road extending from the North Pointe development and when the County will accept dedication of that road. The floodplain crossing will be reviewed during the site plan process. A Washington County Flood Plain Permit as well as an MDE Waterways Permit will be required. Because the crossing will be for the public road, it will need to be designed appropriately.

#### **Washington County Division of Environmental Management**

Mr. Mace stated that the developer will be responsible for paying any costs associated with extending the main line including, but not limited to, the cost of design, easements and inspections. Ms. Flook also noted that the developer must pay the allocation connection fee per EDU plus \$1,000 per EDU or per acre, whichever is greater, because this is going to the Cedar Springs area.

#### MD State Highway Administration

Mr. Kujenka stated that the Traffic Impact Study is currently under review. There are no other comments at this time.

#### **Closing Comments**

All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

Scott Stotelmyer, Planner

Washington County Department of

Planning & Zoning



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#### PRELIMINARY CONSULTATION STAFF REPORT

SITE NAME: NUMBER:	BASE INFORMATION 12440 Burkholder Lane - Martin Property PC-23-001
OWNER: LOCATION:	MARTIN LAWAYNE A & MARTIN MARGARET J 12440 BURKHOLDER Lane HAGERSTOWN, MD 21740
DESCRIPTION:	Application is for the associated preliminary consultation and SWCP associated with the development of the Burkholder property. The intent of the development is to build an access road that ties into the road section currently under construction at the North point development directly to the south. The access road will tie to the north end of the parcel where an industrial warehouse is being proposed for construction (less than 1 M SF in square footage). Several ESD devices are being proposed for ESD treatment of the site, along with a wet pond for additional treatment of impervious area, storage and safe conveyance of the 100-year storm.
ZONING:	Planned Industrial
COMP PLAN LU:	Industrial/Flex
PARCEL:	24000583
PLANNING SECTOR:	1
ELECTION DISTRICT:	24
түре:	Industrial
GROSS ACRES:	241.63
DWELLING UNITS:	0
TOTAL LOTS:	3
DENSITY:	0 Units Per Acre
PLANNER:	Scott A Stotelmyer
ENGINEER	DYNAMIC ENGINEERING
RECEIVED:	March 17, 2023
HYDROGR.	SITE ENGINEERING APHY, SENSITIVE & ENVIRONMENTAL INFORMATION
FLOOD ZONE:	Yes
WETLANDS	Yes
WATERSHED:	Conococheague Creek
ENDANGERED SPECIES:	None
HISTORIC INVENTORY:	1336
EASEMENTS PRESENT:	None

SCHOOL INFORMATION **ELEMENTARY** Staff Comments: SCHOOL DISTRICT PUPIL PIECE

**MIDDLE** 

HIGH

Maugansville

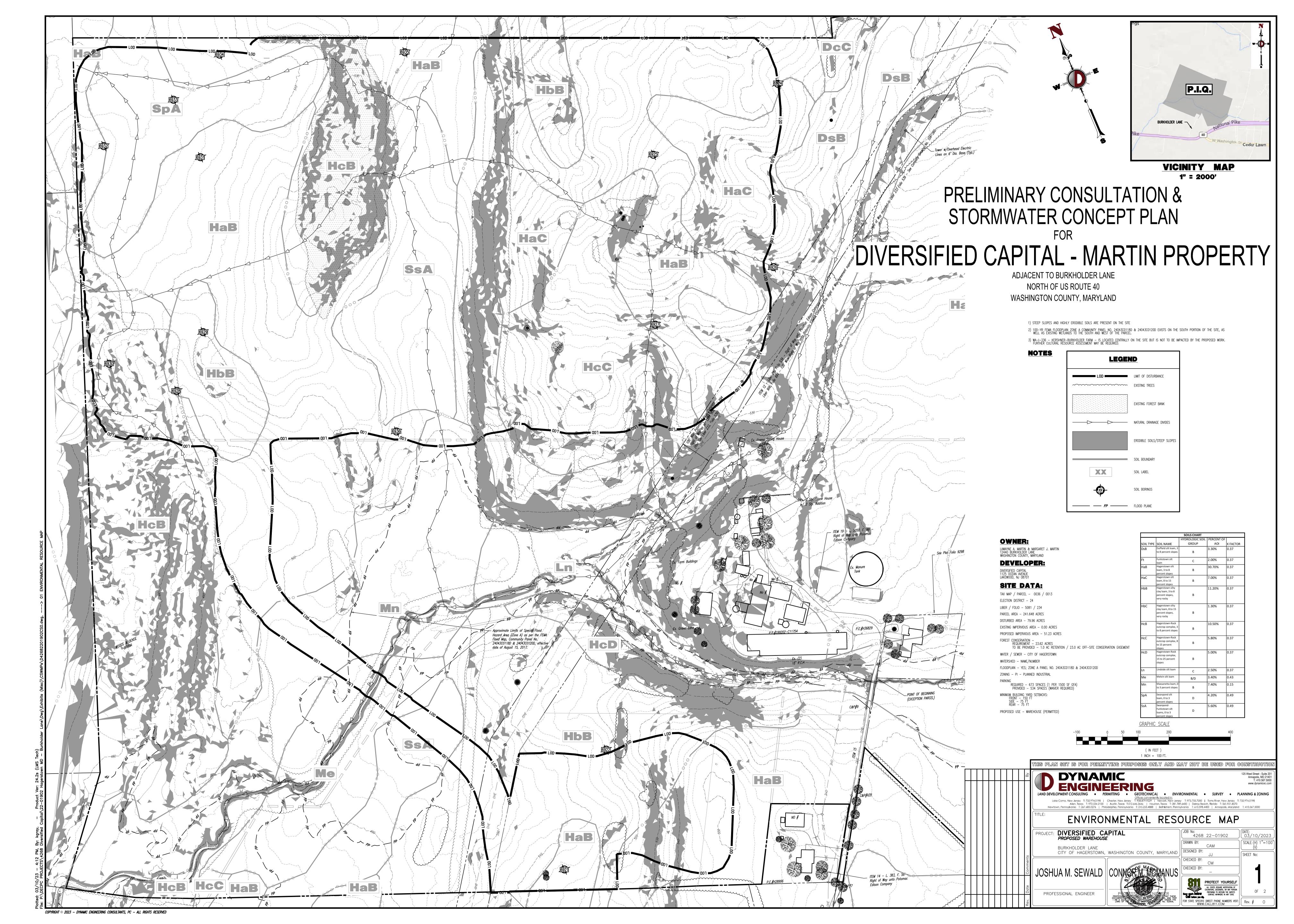
Springfield

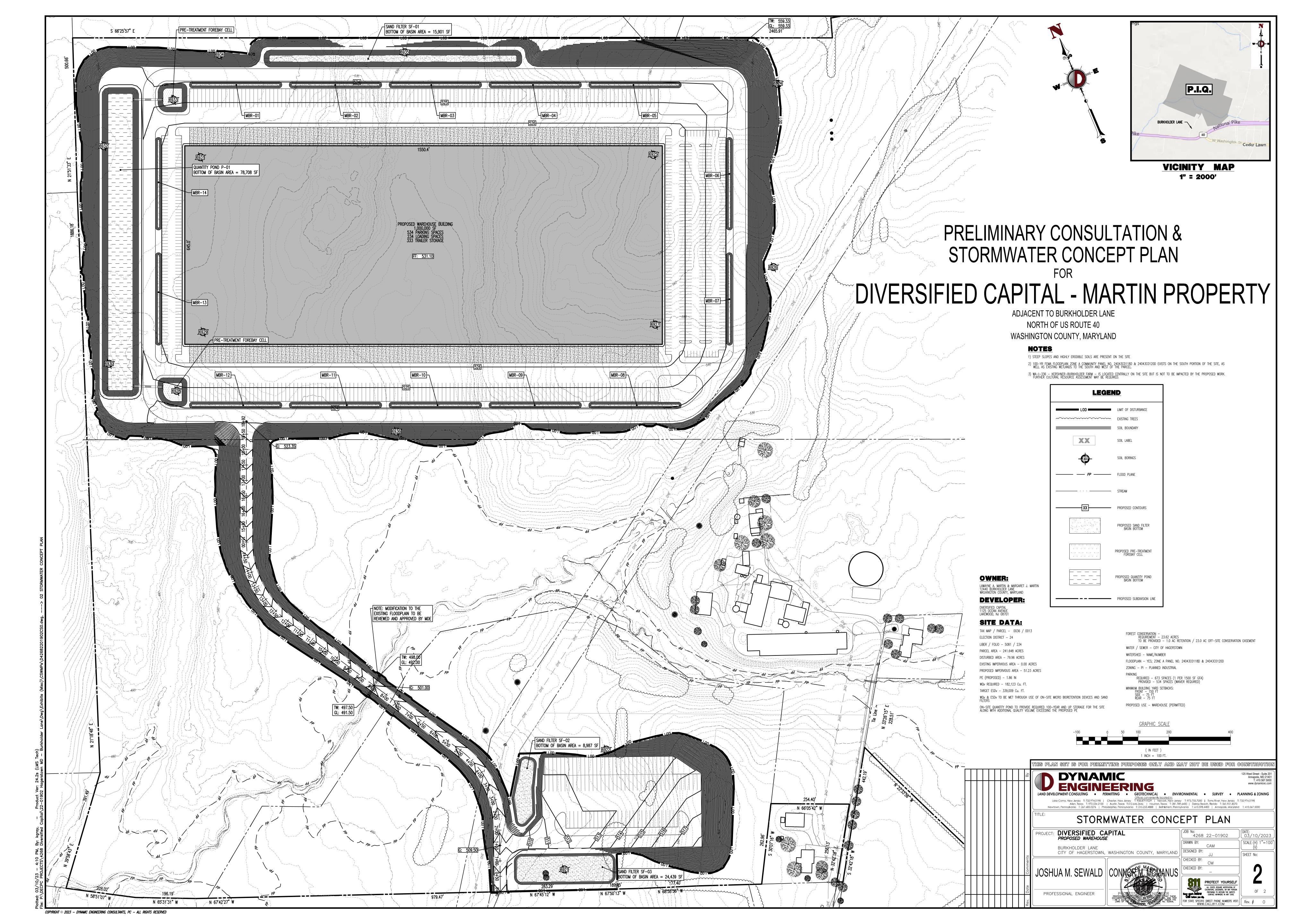
Williamsport



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CURRENT ENROLLMENT	960	
MAXIMUM CAPACITY	1094	
	PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT:	MAUGANSVILLE	
AMBULANCE DISTRICT:	WILLIAMSPORT	
	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD:	City	County
SERVICE AREA:	City	County
PRIORITY:	5-Long Term Planned Service	5-Long Term Planned Service
NEW HYDRANTS:		
GALLONS PER DAY SEWAGE:		
PLANT INFO		Conococheague





#### PP-22-001

- -Presented is a preliminary Plat for Potomac Overlook Subdivision
- -The site is located off Keep Tryst Rd. in Knoxville
- -Proposed is a 7 lot subdivision ranging from 0.39 acres to 14.89 acres
- -There will be one access point from Sandy Hook Road
- -Water proved by well and septic
- -Proposed 8.97 acres on site forest retention
- -OM-22-004 previously approved to allow lots without road frontage
- -All agency approvals received



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#### PRELIMINARY PLAT STAFF REPORT

	BASE INFORMATION	
SITE NAME:	Potomac Overlook	
NUMBER:	PP-22-001	
OWNER:	P OVERLOOK LLLP	
LOCATION	Keep Tryst Rd Knoxville MD 21758	
DESCRIPTION	Preliminary Plat Potomac Overlook Subd	livision
DESCRIPTION	Premimary Plat Potomac Overlook Supo	111121011
ZONING:	Rural Village	
COMP PLAN LU:	Environmental Conservation	
PARCEL:	11007872	
PLANNING SECTOR:	3	
ELECTION DISTRICT	11	
TYPE:		
GROSS ACRES:	23.71	
DWELLING UNITS:		
TOTAL LOTS:		
DENSITY:	0 Units Per Acre	
PLANNER:	Scott A Stotelmyer	
ENGINEER	FOX & ASSOCIATES INC	
RECEIVED	June 16, 2022	
RECEIVED	Julie 10, 2022	
	SITE ENGINEERING	
HYDROGR.	APHY, SENSITIVE & ENVIRONMENTAL INF	ORMATION
FLOOD ZONE:	Yes	
WETLANDS	None	
WATERSHED	Potomac River FR Cnty	
ENDANGERED SPECIES:	None ,	
HISTORIC INVENTORY	No Resources Present	
EASEMENTS PRESENT:	None	
	SITE DESIGN	
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Staff Comments:		-
Not Appen Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
-		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
Parking Spaces - Minimum Required	Recreational Parking Provided	



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	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Pleasant Valley	Boonsboro	Boonsboro
PUPIL YIELD			
CURRENT ENROLLMENT	825		
MAXIMUM CAPACITY	1098		
	PUBLIC FACILITIES INFO	RMATION	
FIRE DISTRICT	POTOMAC VAL		
AMBULANCE DISTRICT:	BOONSBORO		
	WATER & SEWER INFOR	RMATION	
	WATER		SEWER
METHOD:	County		No Provider
SERVICE AREA:	County		No Provider
PRIORITY	1-Existing Service	e 7	7-No Planned Service-Septic
NEW HYDRANTS			
GALLONS PER DAY SEWAGE:			
PLANT INFO:			None

## STORMWATER MANAGEMENT NARRATIVE

THIS PROJECT IS BEING DESIGNED TO MEET MARYLAND STORMWATER ACT OF 2007 WHICH SUPPLEMENTS THE ORIGINAL 2000 MARYLAND DESIGN MANUAL. ENVIRONMENTAL SITE DESIGN (ESD) TECHNIQUES MUST NOW BE PROVIDED THROUGH STRUCTURAL AND NON-STRUCTURAL PRACTICES AT THE SOURCE TO THE MAXIMUM EXTENT PRACTICAL (MEP).

STORMWATER QUANTITY CONTROL, WQ, AND ESD, HAVE BEEN ADDRESSED FOR THE ROADWAYS AND LIMITS OF DISTURBANCE PROPOSED AS PART OF THIS PLAN. STORMWATER MANAGEMENT FOR EACH INDIVIDUAL LOT WILL BE ADDRESSED AT THE TIME OF DEVELOPMENT THROUGH SEPARATE STANDARD GRADING PLAN/ STANDARD STORMWATER MANAGEMENT PLAN REVIEW.

#### <u>SENSITIVE AREA NOTE</u>

THIS PARCEL IS AFFECTED BY THE 100-YR FLOODPLAIN PER FEMA MAP 24043C0455D EFFECTIVE DATE 8/15/17. A PORTION OF THE SITE IS IN ZONE 'C'. STEEP SLOPES ARE AS SHOWN. NO STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE ARE WITHIN THE DISTURBED AREA PER 50 CFR 17.

## SITE SPECIFIC NOTES

- 1. TOPOGRAPHY SHOWN HEREON IS FROM FIELD SURVEYS BY FOX & ASSOCIATES, INC. DATUM IS N.A.V.D. 88 AND WASHINGTON COUNTY GIS TOPOGRAPHIC MAPS.
- 2. POTOMAC RIVER FREDERICK COUNTY (MARYLAND 8-DIGIT WATERSHED CODE 02140301).
- 3. THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY (NWI) MAPPER DOES IDENTIFY WETLAND HABITAT ON THE SITE.
- 4. AREAS OF STEEP SLOPES ARE AS SHOWN.
- 5. THE WASHINGTON COUNTY SOIL SURVEY, MAP 55, ISSUED 2002, IDENTIFIES TWO THREE
- 6. THERE NO HUMAN BURIAL SITES KNOWN TO EXIST OR BELIEVED TO EXIST ON THIS

#### GENERAL CONSTRUCTION NOTES

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- 4. THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN—MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE WASHINGTON COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE LATEST EDITION OF WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS, THE WASHINGTON COUNTY PLUMBING CODE, THE TOWN OF FUNKSTOWN WATER & SEWER DEPARTMENT PROCEDURES AND REGULATIONS, AND THE STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION BOOK OF STANDARDS.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- 8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS -- ENGINEERING & CONSTRUCTION AT 240-313-2460 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- 10. A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- 11. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- 12. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY
- 13. NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- 14. PUBLIC UTILITY EASEMENTS ARE TO BE GRANTED 10' ALONG FRONT PROPERTY LINES AND 8' ALONG SIDE
- 15. A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY
- 16. AN ENTRANCE PERMIT AND DRIVEWAY ENTRANCE BOND WILL BE REQUIRED FOR ALL ACCESS ON A COUNTY ROAD PRIOR TO ISSUANCE OF THE GRADING PERMIT FOR THIS DEVELOPMENT.
- 17. A MAINTENANCE AGREEMENT BETWEEN ALL LANDOWNERS WILL BE REQUIRED FOR THE LONG TERM MAINTENANCE OF THE SHARED DRIVEWAY, UTILITIES, AND STORMWATER MANAGEMENT.

## REVISIONS

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## FOX & ASSOCIATES, INC.

ENGINEERS · SURVEYORS · PLANNERS

www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com

981 MT. AETNA ROAD HAGERSTOWN, MD. 21740 PHONE: (301)733-8503 or (301)416-7250 FAX: (301)733-1853

82 WORMANS MILL COURT SUITE 'G' FREDERICK, MD. 21701 PHONE: (301)695-0880 FAX: (301)293-6009

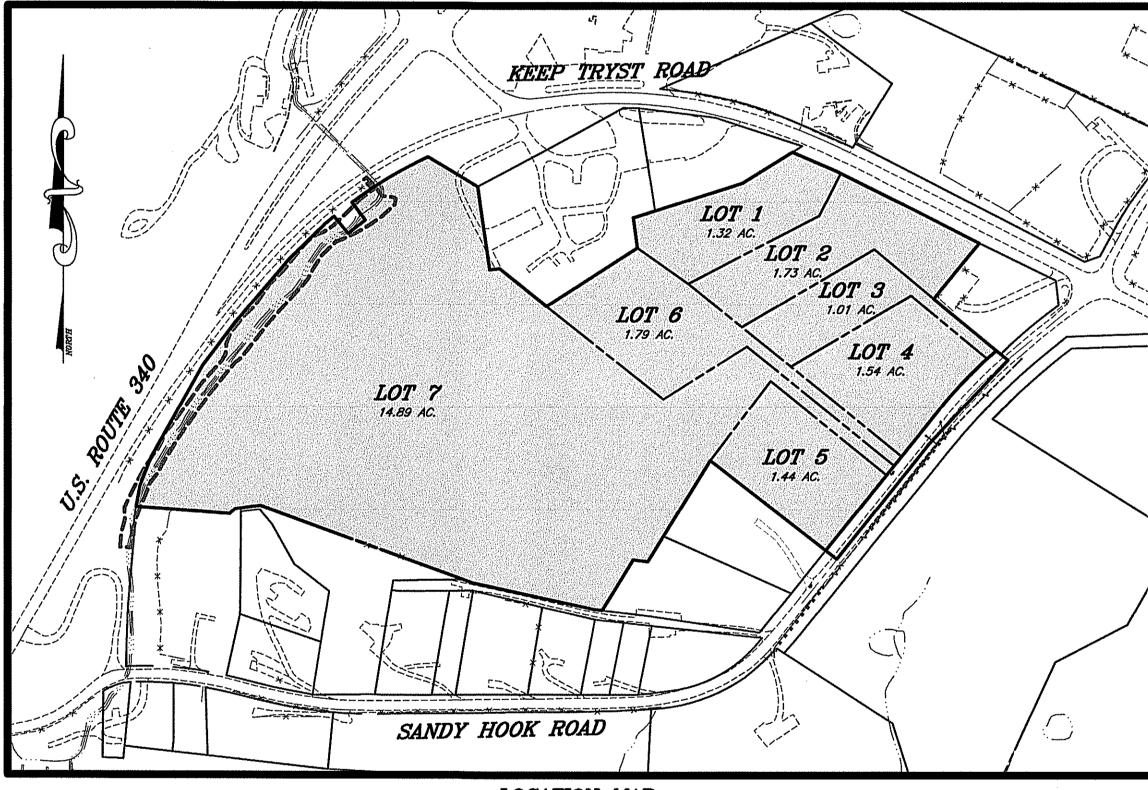
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# & ASSOCIATES INC.

## PRELIMINARY PLAT / IMPROVEMENT PLANS

## POTOMAC OVERLOOK

SITUATE ALONG THE SOUTH SIDE OF KEEP TRYST ROAD AND THE NORTH SIDE OF SANDY HOOK ROAD **ELECTION DISTRICT 02** WASHINGTON COUNTY, MARYLAND

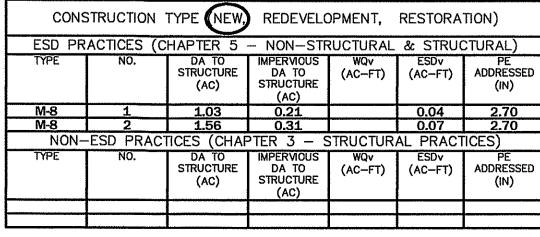


LOCATION MAP SCALE: 1" = 200'

## INDEX OF SHEETS

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FOREST CONSERVATION NOTES & DETAILS	2
	PRELIMINARY PLAT

<u>OWNER/DEVELOPER</u> P OVERLOOK, LLLP. 1125 SOUTH CARROLL STREET, SUITE 150 FREDERICK, MD 21701 (301) 696-0900



ESD PRACTICES SUMMARY TABLE



## Washington county department of Water quality

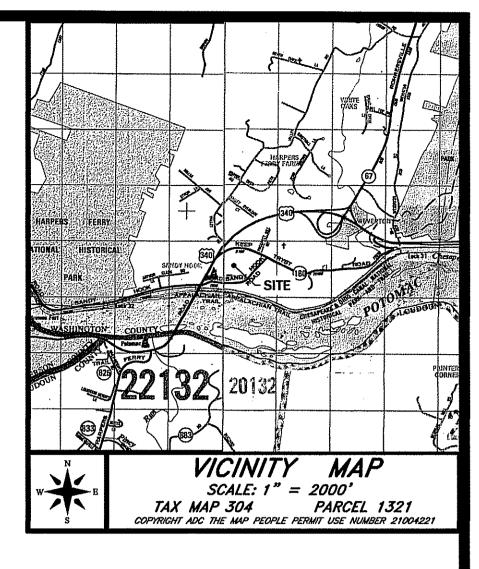
THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES. POLICIES, AND REGULATIONS ESTABILISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

#### ENGINEER'S STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE BY THE CONSULTANT.



### DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY \_\_\_\_\_\_\_ 2.95 \_\_\_\_\_ ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY \_\_\_\_\_\_ 11,261 \_\_\_\_\_ C.Y. OF EXCAVATION AND \_\_\_\_\_\_ 11,144 \_\_\_\_\_ C.Y. OF FILL.

\* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR

## UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON- EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777

#### ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Mmeths, MICHAEL H SHIFLER

LICENSE No. 13806 EXPIRATION DATE 2/6/2024

## ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

2-16-23 DATE

Month sky

## OWNER/DEVELOPER CERTIFICATION — DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

PRINTED NAME SIGNATURE

## OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

PRINTED NAME

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

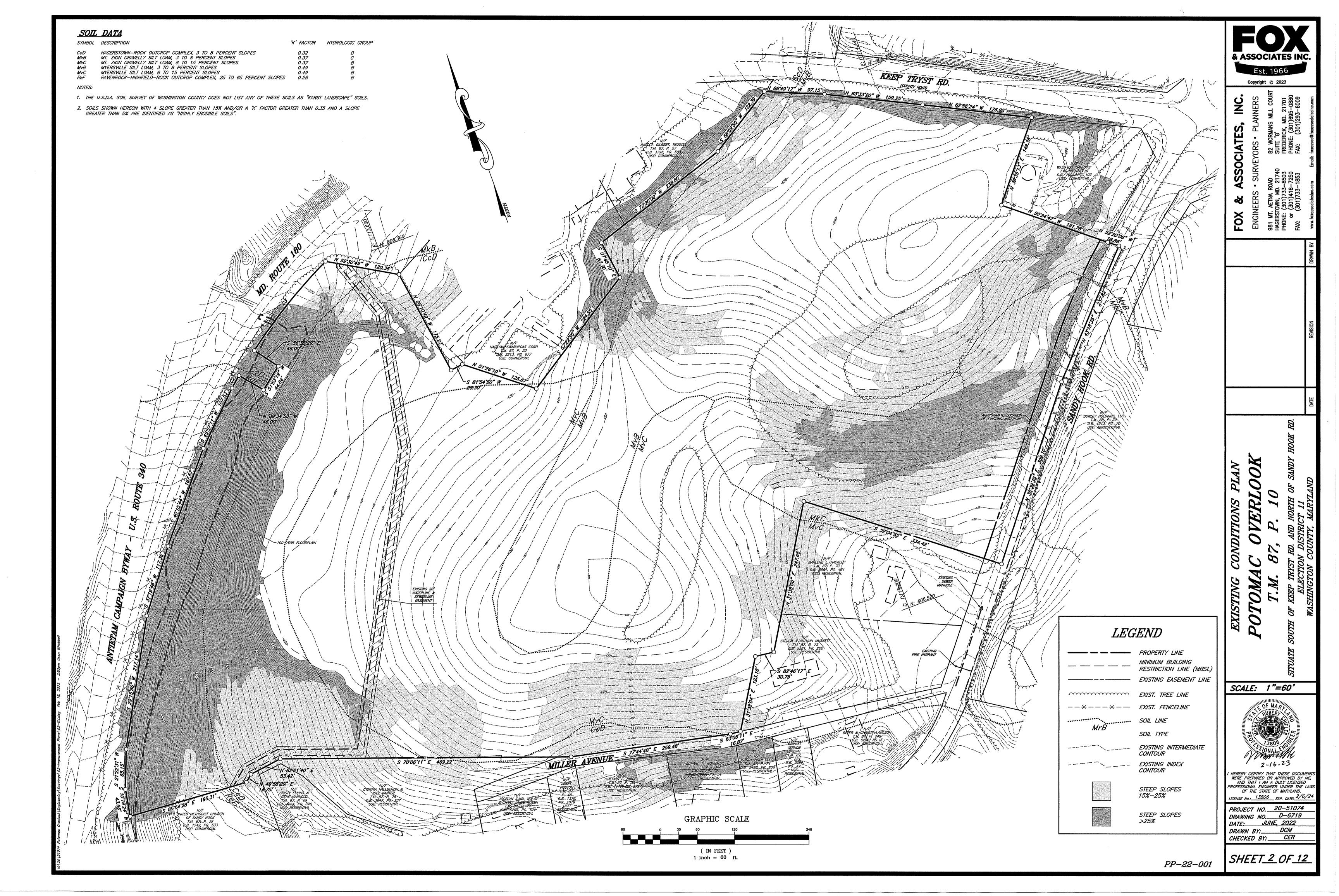
WASHINGTON COUNTY DIVISION OF ENGINEERING GRADING & STORMWATER MANAGEMENT APPROVAL

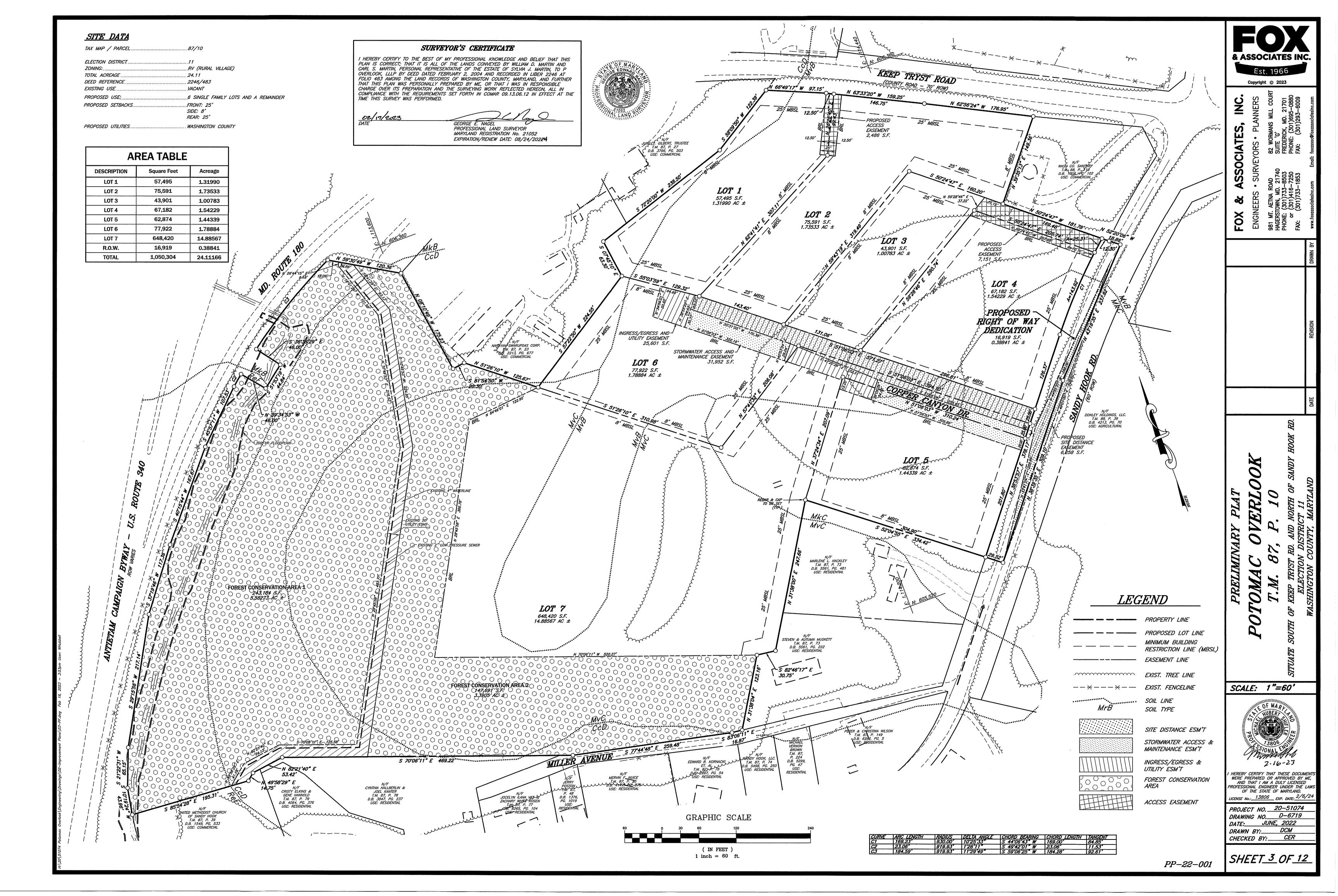
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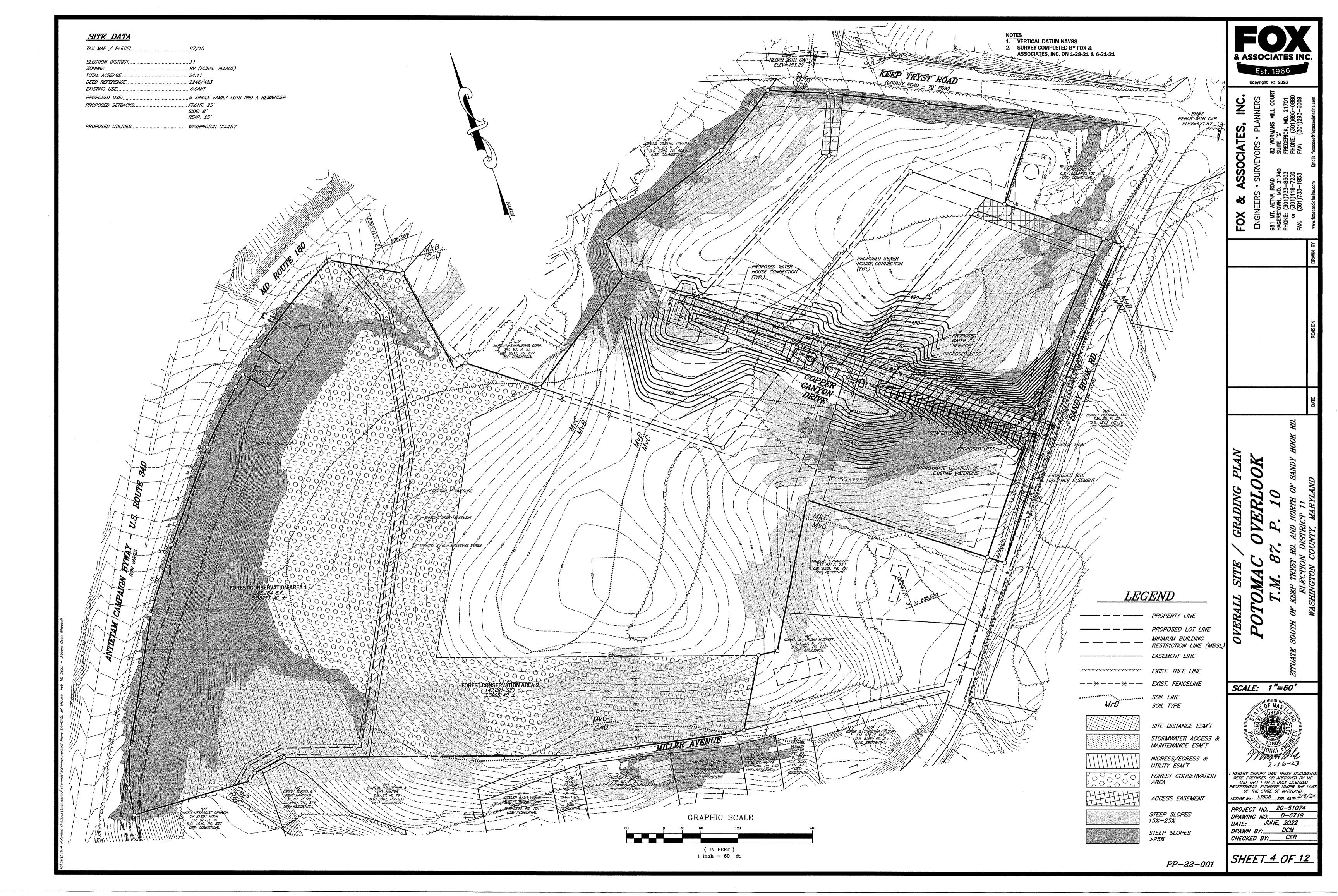
SHEET 1 OF 12 FOX DRWG. # D-6719 ISSUE DATE: JUNE, 2022

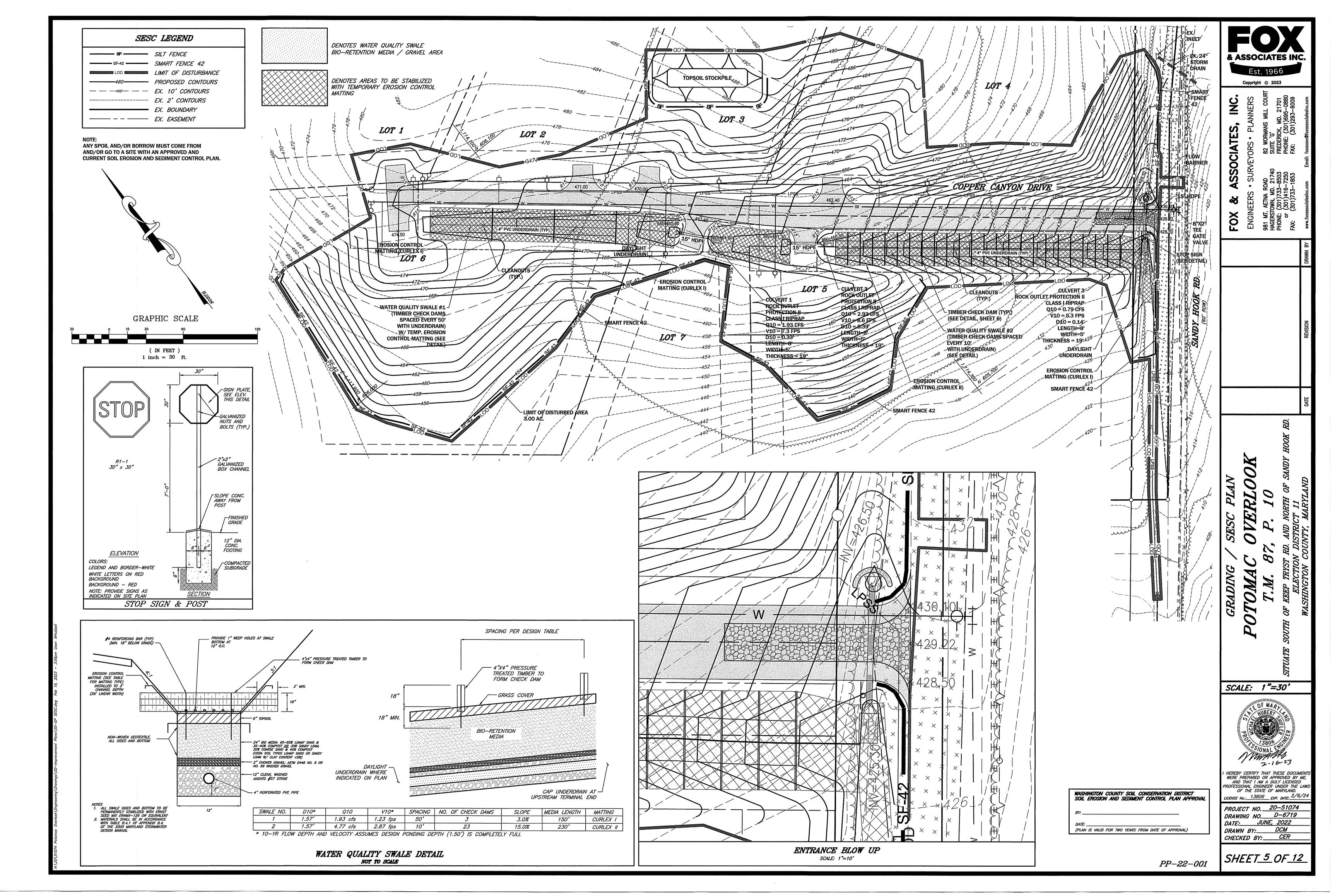
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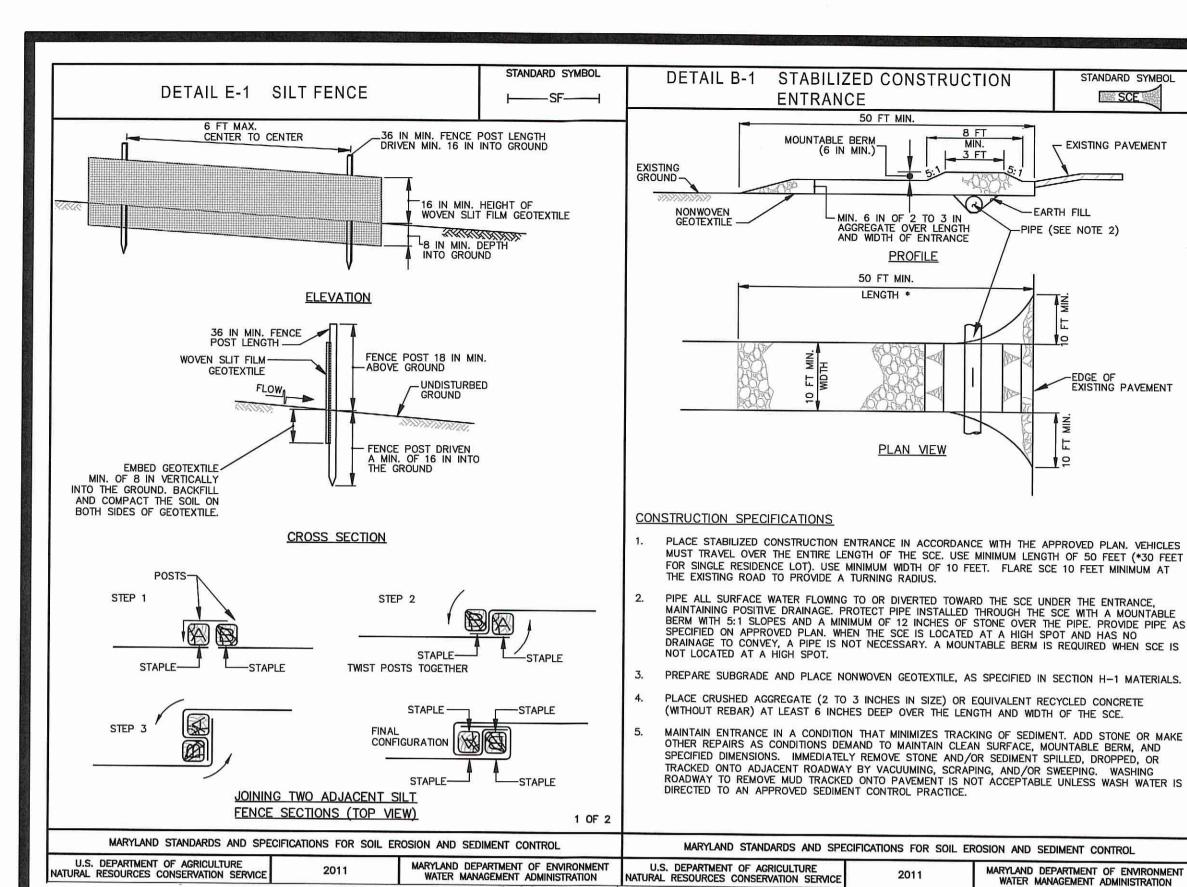
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DIMENT AND PERIMETER CONTR

HIGH-TENSILE / HIGH-MODULUS

FENCE

WOVEN GEOTEXTILE SEDIMENT

## LET'S GET IT DONE The below table shows a comparison of 14-gauge wire-backing fence and 9-gauge wire-backing fence structural characteristics versus SMARTfence 42. The modulus of elasticity is a measure of material stiffness. STRUCTURAL COMPARISONS BETWEEN WIRE AND CHAIN-LINK BACKING VERSUS SMARTFENCE 42

Average Breaking 4,100 >5,500 (average Tensile Strength (lb/ft) Average Modulus of 2,600 lengthwise 21,100 lengthwise >46,700 lengthwise

Elasticity (lb/ft)	19,400 widthwise	21,700 widthwise	>41,000 widthwise	
PRODUCT SPECIFICATIONS:			The state of the s	
TEST METHOD	MINIMUM AVERAGE ROLE VALUE (MARV)	TEST METHOD	MINIMUM AVERAGE ROLE VALUE (MARV	
Wide Width Tensile Strength	>5,070 lbs/ft - MD x	Mullen Burst	>750 psi	
(ASTM D 4595)	>3,500 lbs/ft - TD	(ASTM D 3786)		
Wide Width Test Elongation	<10.5% - MD x	Apparent Opening Size	Sieve #70	
(ASTM D 4595)	<9% - TD	(ASTM D 4751)		
Grab Tensile Strength	>530 lbs - MD x	Water Flux	>18 gpm/sf	
(ASTM D 4632)	>280 lbs - TD	(ASTM D 4491)		
CBR Puncture	>1,800 lbs	UV Stability	>90% strength	
(ASTM D 6241)		(ASTM D 4355)	retained - MD	

>195 lbs - MD x

>170 lbs - TE

Trapezoidal Tear

1D = Machine Direction TD = Tranverse Direction

(ASTM D 4533)

substitutions are acceptable. No "rock dust" can be used for sand.

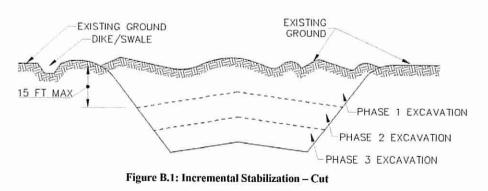
Average of 89.4% solids removal (ASTM D 5141)

SMARTfence® 42 is NTPEP Compliant GTX-2018-01-187

## 800.448.3636

## NOT DRAIN WITHIN 48 HOURS PLACED AT THE END OF EACH WORK DAY TO BE USED UNTIL SLOPE IS COMPLETELY STABILIZED EXCAVATION 15 FT MAX EXCAVATION EXCAVATION - DIKE/SWALE EXISTING GROUND -

Figure B.2: Incremental Stabilization – Fill



NOTICE OF REQUIRED STORMWATER MANAGE M-8 SWALE FACILITIES	EMENT INSPECTIO	NS		
THE FOLLOWING INSPECTIONS ARE REQUIRED TO BE PERFORMED BY THE QUALIFYING PROFESSIONAL ADDITIONAL INSPECTIONS MAY BE NEEDED BASED ON PROFESSIONAL ENGINEERING JUDGEMENT. EACH	FOR THE CONSTRUCTION OF INSPECTION IS REQUIRED A	ANY WATER QUI T THE START OF	NUTY SWALE FACILITIES. EACH STAGE	
	CERTIFYING ENGINEER	DATE	COUNTY INSPECTOR	DATE
PLACEMENT OF FILTERING MEDIA – Verify Bottom layer material and thickness. Verify sand and/or filter media layer material and thickness, verify filter fabric or pea gravel used between sand layers. Verify top media layer. Verify subgrade elevation and installation depth.		4		
PLACEMENT OF UNDERDRAINS — LOCATION, SIZE AND MATERIAL OF UNDERDRAIN SHALL BE VERIFIED PRIOR TO STONE PLACEMENT. VERIFY PIPE ENDS CAPPED. VERIFY 3° GRAVEL COVER.				
PLACEMENT OF CHECK DAMS – location, size and material of check dams shall be derived prior to installation.				
STABILIZATION AND LANDSCAPING — VERIFY SITE TOP SOILED, SEEDED AND MULCHED, VERIFY SUBMINISHED TOP SOILED AND SEEDED WERIFY LOCATION, SIZE, TYPE AND NUMBER OF PLANTED LANDSCAPE WHITEN VERIFY NO MORE THAN 1/8 INCH ROOT BULL EXPOSED, VERIFY PLANTING STOCK KEPT MOIST DURING ON—SITE STORAGE VERIFY INSTALLATION LOCATION, SIZE, MATERIAL TYPE OF FENCING OR OTHER SAFETY SURRIERS.				

DETAIL D-4-1-B

PLAN VIEW

0% SLOPE INVERT

**PROFILE** 

JOINING TWO PIECES OF GEOTEXTILE TOGETHER.

NECESSARY REPAIRS IMMEDIATELY.

INSPECT AND

MOW GRASSES

INSPECT AND

REPAIR SIDE

SLOPES AND

SWALE BOTTON

REMOVE LITTER.

DEBRIS AND

REVEGETATE

- WATER DOES

REPAIR EROSION

U.S. DEPARTMENT OF AGRICULTURE

NATURAL RESOURCES CONSERVATION SERVICE

RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.

USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM

PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY

EPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR

PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (% TO 1% INCH STONE FOR 6 INCH

THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED

MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN

EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES

CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER

AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND

SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT

WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH

IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY

CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.

MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED

SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

MAINTENANCE SCHEDULE FOR

DESCRIPTION METHOD FREQUENCY TIME OF THE YEAR

VISUAL

BY HAND

VISUAL

WATER QUALITY SWALES

MONTHLY

ANNUALLY

BY HAND AS NEEDED SPRING

BY HAND | MONTHLY

BI-ANNUALLY WHENEVER

O THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY

CONSTRUCTION SPECIFICATIONS

**ROCK OUTLET** 

PROTECTION I

SIDE SLOPES TO TRANSITION

FROM 2:1 AT PIPE OUTLET TO

THE EXISTING CHANNEL SLOPE

- d/2 |-

NONWOVEN GEOTEXTILE OR STONE FILTER

SECTION A-A

CLASS

111

AT THE END OF THE APRON -

ROPII

SCHARGE TO CONFINED

CHANNEL SECTION

-EXTEND RIRRAP

HEIGHT OF H

THICKNESS (T)

19 IN

32 IN

46 IN

RIPRAP

MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION

MONTHLY

NEEDED

WHENEVER

ANNUALLY

SEQUENCE OF CONSTRUCTION

OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF WORK. CONTACT THE WASHINGTON COUNTY ENGINEERING DEPT. AT 240-313-2460 AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE PROJECT'S CIVIL DESIGN CONSULTANT SHOULD BE PRESENT AT THE PRECONSTRUCTION MEETING.

CONDUCT PRECONSTRUCTION MEETING.

CONTACT MISS UTILITY AT 1-800-245-4848 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF WORK IN ORDER TO LOCATE ALL UTILITIES. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION INDICATED ON THE PLAN.

CLEAR & GRUB AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL PERIMETER SILT FENCE (SF-42).

INSTALL SILT FENCE TO THE LIMITS INDICATED ON THE PLAN AT TOPSOIL STOCKPILE LOCATIONS.

BEGIN GRADING OPERATIONS. IN AREAS WHERE CUT OR FILL EXCEEDS 15 FEET. CONTRACTOR TO PERFORM INCREMENTAL STABILIZATION IN ACCORDANCE WITH THE PROVIDED INCREMENTAL STABILIZATION DETAIL(S). ALL SPOIL OR BORROW MATERIAL MUST COME FROM OR GO TO A SITE WITH A VALID SEDIMENT CONTROL

9. WHEN SITE REACHES PROPOSED SUBGRADE, BEGIN UTILITY CONSTRUCTION.

10. INSTALL ASPHALT PAVING. ONCE THE SITE CONSTRUCTION HAS BEEN COMPLETED, PERMANENTLY STABILIZE

THE SITE. CONTACT WASHINGTON COUNTY SCD AT 301-797-6821 EXT. 3 TO SCHEDULE AN INTERIM INSPECTION. ONCE THE INSPECTION IS COMPLETE, FINISH CONSTRUCTION

ONCE THE SITE IS PERMANENTLY STABILIZED, OBTAIN PERMISSION FROM SCD TO REMOVE PERIMETER CONTROLS. STABILIZE AREAS LEFT DISTURBED BY PERIMETER

CONTROL REMOVAL CONTACT THE WASH. CO. SCD AT 301-797-6821 EXT. 3 AND THE WASHINGTON COUNTY ENGINEERING DEPT. AT 240-313-2460 TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW MEETING WHEN THE SITE HAS ACHIEVED 95% OVERALL VEGETATIVE STABILIZATION. SEDIMENT CONTROLS TO REMAIN IN PLACE UNTIL THE FINAL INSPECTION IS COMPLETE AND THE REMOVAL OF SEDIMENT CONTROLS HAS

## STANDARD UTILITY NOTES

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS. CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED
- TO AN APPROVED LOCATION TO WASTED MATERIALS TO PAVED AREAS. CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZED
- DISTURBED AREAS THE SAME WORKING DAY. IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING ROADBED. CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE
- EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER. CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY
- CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.

## <u>GENERAL NOTES</u>

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES. INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- FOX & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- 8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING
- 10. NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- 11. SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD\SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS.
- 12. ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- 13. NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT . RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- 14. THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- 21. THERE ARE NO WETLANDS, STREAMS AND RELATED BUFFERS, OR HABITAT OF ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 4.21 OF THE ZONING ORDINANCE. A PORTION OF THE PROPERTY IS WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON FIRM PANEL 24043C0455D, EFFECTIVE DATE AUGUST 15, 2017. NO DISTURBANCE IS PROPOSED WITHIN THIS FLOODPLAIN AREA.
- 22. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- 23. A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- 24. ANY MODIFICATION OF THE APPROVED STANDARD GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN FOR SINGLE LOT SINGLE FAMILY RESIDENTIAL CONSTRUCTION AND MINOR EARTH DISTURBANCES SHALL BE REVIEWED AND APPROVED BY THE DIVISION AND THE DISTRICT PRIOR TO CONSTRUCTION.

25. THERE ARE NO FOREST CONSERVATION AREAS OR WETLANDS WITHIN 200 ft. OF

- THE PROPOSED CONSTRUCTION AREA EXCEPT AS SHOWN.
- 26. FLOOD PLAIN SHOWN HEREON PER FEMA FLOOD INSURANCE RATE MAP, PANEL #24043C0277D.

SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE
- 2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND

SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL". "SECTION B - GRADING AND

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED

STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.

- 4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- 5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST
  - a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
- 7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- 8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- 9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- 10. NO SLOPE SHALL BE GREATER THAN 2:1.
- 11. AS REQUIRED BY SECTION B. OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL

FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:

- A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 14GP, OR AN INDIVIDUAL PERMIT
- B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT NOTICE OF INTENT -N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- C. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).
- D. FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED. THE AUTHORIZED PERMITEF SHALL SLIBMI DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

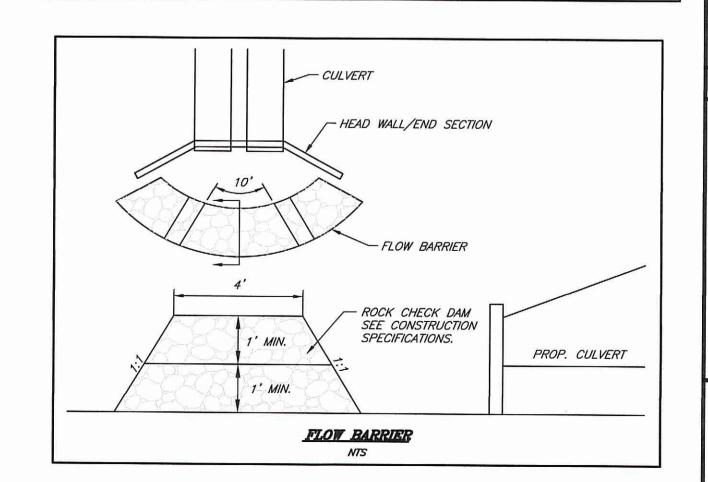
## <u>PERMANENT SEEDING SUMMARY</u>

SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.3					FERTILIZER RATE (10-20-20)		LIME	
S	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	RATE
WHIT	L FESCUE TE CLOVER AL RYE GRASS	40 5 25	3/1 - 5/15 8/1 - 10/15	14" - 12"	45 LB/AC (1.0 LB/ 1000 S.F.)	90 LB/AC (2 LB/ 1000 S.F.)	90 LB/AC (2 LB/ 1000 S.F.)	2 TONS/AC (90 LB/ 1000 S.F.)

SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

## <u>TEMPORARY SEEDING SUMMARY</u>

	-	FROM TABLE B.1			FERTILIZER	INC DATE
No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	RATE (10–20–20)	LIME RATE
2	BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 8/1 - 10/15	1.0"	436 LBS./AC. (10 LBS/1000 S.F.)	2 TONS/AC. (90 LBS/1000 S.F.)



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2-16-23 HEREBY CERTIFY THAT THESE DOCUMENT WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LA OF THE STATE OF MARYLAND. LICENSE No.: 13806 EXP. DATE: 2/6/2-

PROJECT NO. \_\_20-51074 DRAWING NO.\_\_\_ D-6719 DATE: JUNE, 2022 DRAWN BY:\_\_\_

SHEET 6 OF 12

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coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic conten (ASTM D 2974) shredded hardwood aged 6 months, minimum; no pine or wood chips Pea gravel diaphragm pea gravel: ASTM-D-448 NO. 8 OR NO. 9 Curtain drain rnamental stone: washed stone: 2" to E Type 1 nonwoven Fravel (underdrains and NO. 57 OR NO. infiltration berms) AGGREGATE (3/8" to 3/4") Underdrain piping 758, Type PS 28 or AASHTO 4" to 6" rigid schedule 40 Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes pe PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3:  $f'_{11} = 3500$ on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight. 28 day strength and slump test; all concrete design (cast-in-place air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltrationsee Appendix A, Table A.4 plantings are site-specific loamy sand (60 - 65%) & compost (35 – 40%) sandy loam (30%)

USDA soil types loamy sand or sandy loam; clay content < 5% 2' to 4' deep]

- No wire or chain-link backing necessary

- High-tensile / high-modulus - able to resist fence deflection and failure

SMARTfence® 42

SMARTfence 42 is a heavy-duty, high-tensile/

high-modulus, woven geotextile sediment

fence. Designed using a value engineering

approach, it is equivalent in strength and

stiffness to that of wire or chain-link backed

silt fence for less money, significantly lower

carbon emissions and less material waste.

This woven geotextile fence is specifically designed and fabricated to withstand high

tensile stresses and to prevent excessive

debris flows and overtopping.

material elongation and strain. It is built to

resist fence deflection and ultimate failure due

to ripping, sagging or overturning from forces

associated with excessive backwater depths,

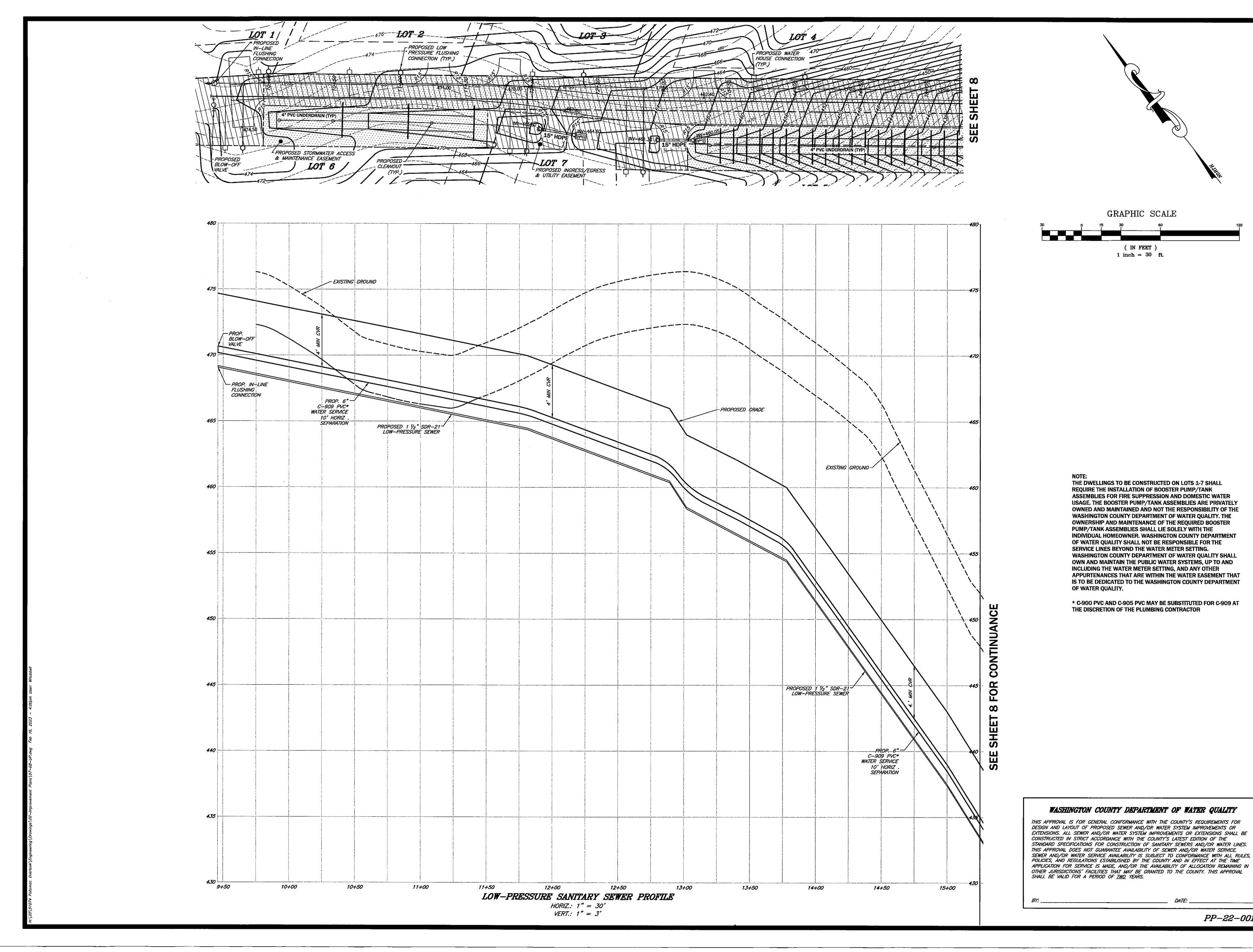
SMARTfence 42 is a 100% American made

NTPEP Compliant | GTX-2018-01-187

- Reduced labor costs

**ADVANTAGES:** 

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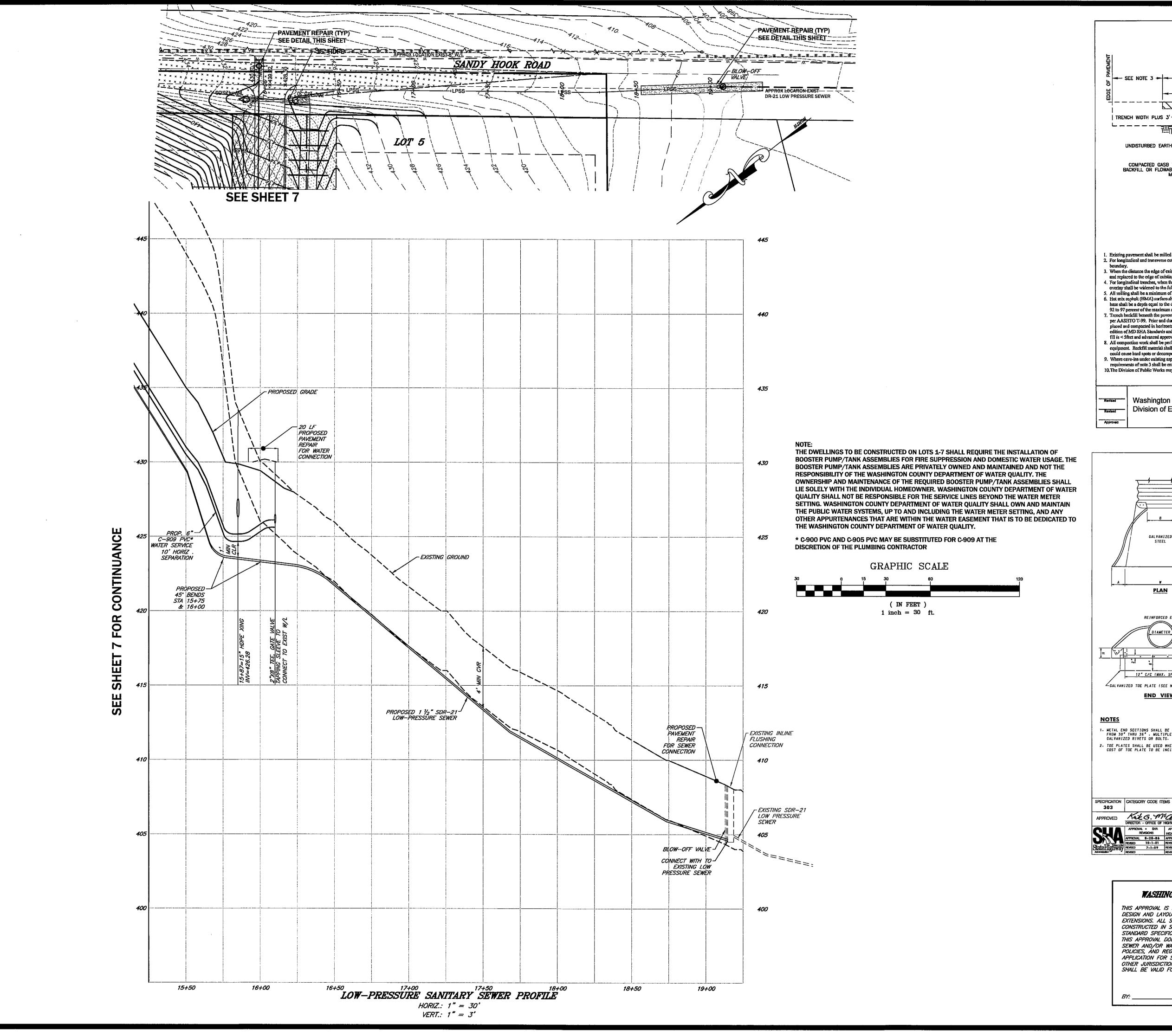
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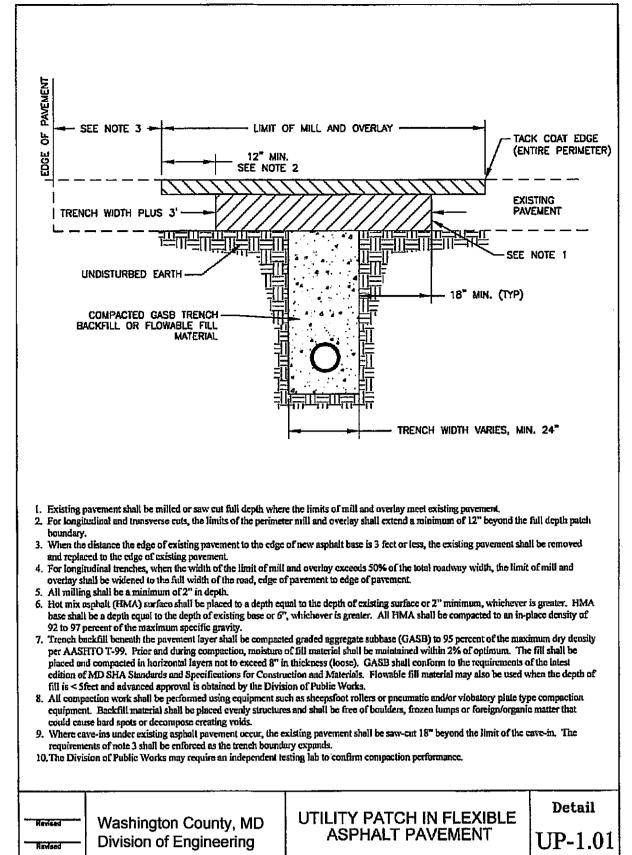
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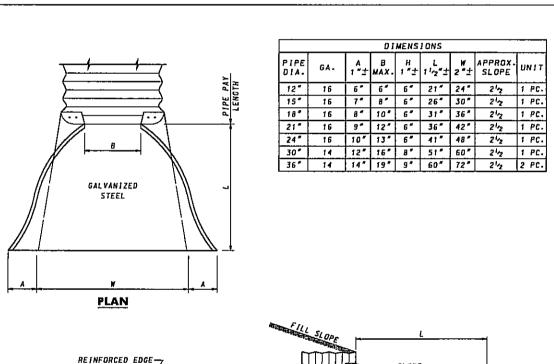
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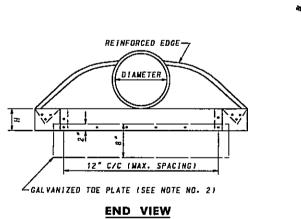
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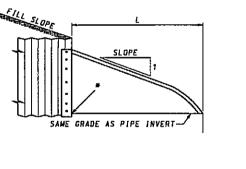
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SIDE VIEW # INVERT ELEVATION TO BE AT THE PIPE END OF THE STANDARD END SECTION. ELEVATIONS TO BE NOTED ON THE CONSTRUCTION PLANS.

1. METAL END SECTIONS SHALL BE GAGE 16 FOR PIPES RANGING FROM 15" THRU 24". AND GAGE 14 FOR PIPES RANGING FROM 30" THRU 36". MULTIPLE PANEL UNITS TO HAVE LAP SEAMS WHICH ARE TO BE TIGHTLY JOINED BY 36" DIAMETER GALVANIZED RIVETS OR BOLTS. 2. TOE PLATES SHALL BE USED WHEN SPECIFIED ON THE PLANS. THICKNESS OF END PLATE TO BE SAME AS END SECTION. COST OF TOE PLATE TO BE INCIDENTAL TO THE BID PRICE PER EACH OF METAL END SECTION.

NECTOR - OFFICE OF HIGHWAY DEVELOPMENT APPROVAL • SHA APPROVAL • FEDERAL HIGHWAY ADMINISTRATION

APPROVAL 6-28-86 APPROVAL 12-12-86

REVISED 10-1-01 REVISED 7-27-09

REVISED 7-1-09 REVISED

REVISED REVISED **Maryland Department of Transportation** STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES STANDARD METAL END SECTION

ROUND METAL PIPE STANDARD NO. MD 370.01

## WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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SCALE: 1"=30'

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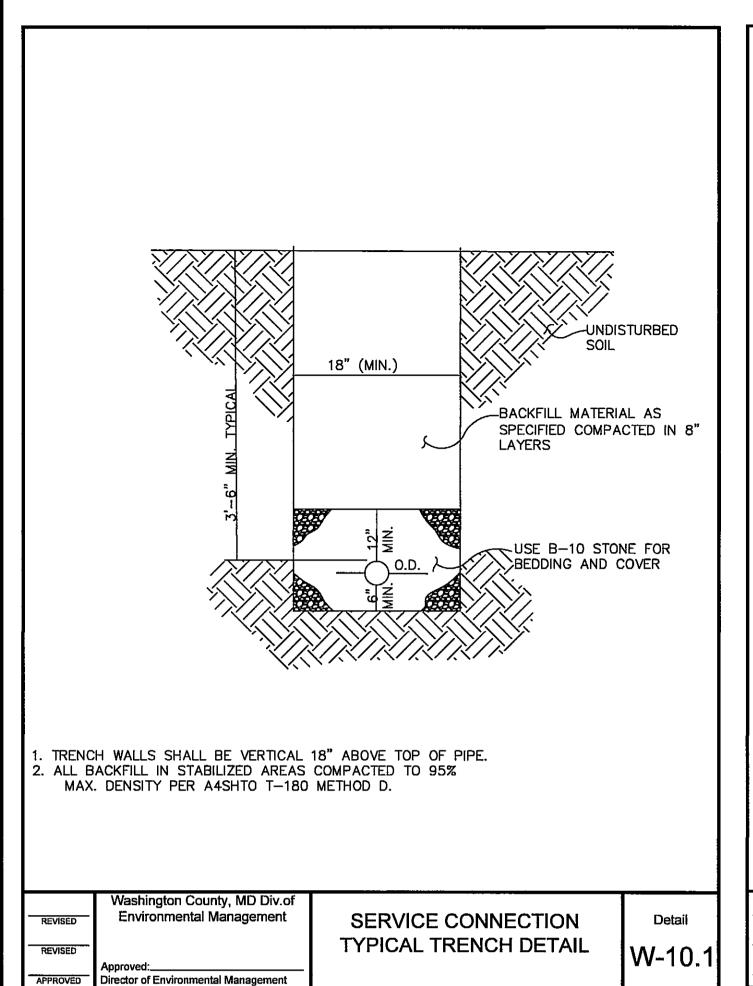
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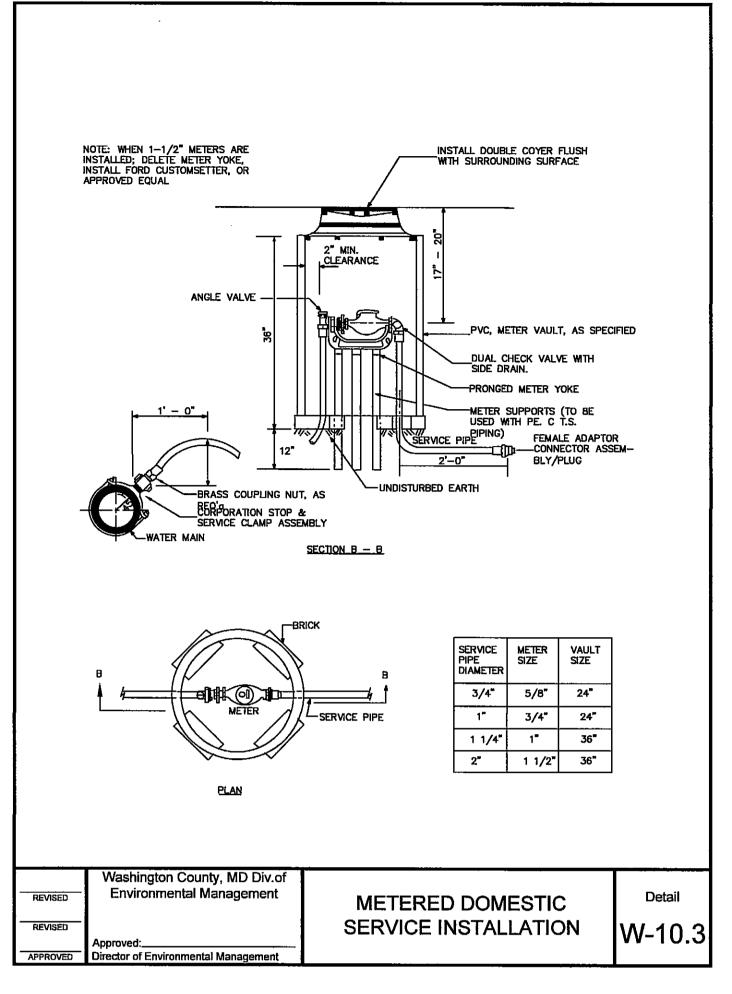
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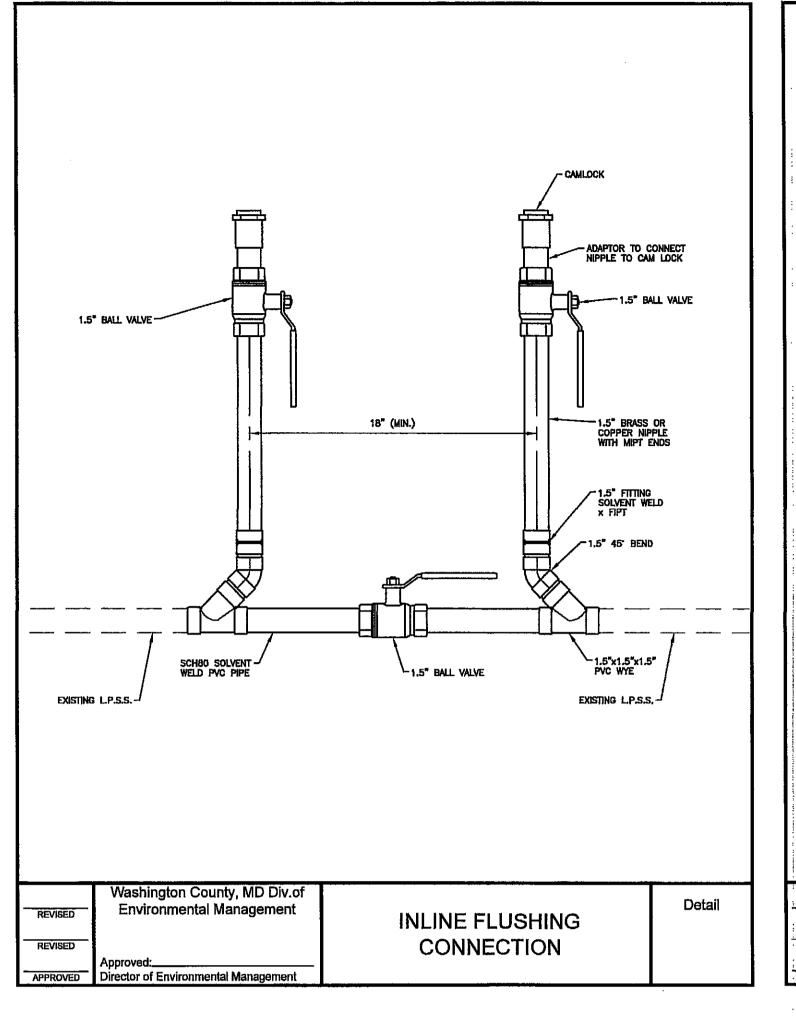
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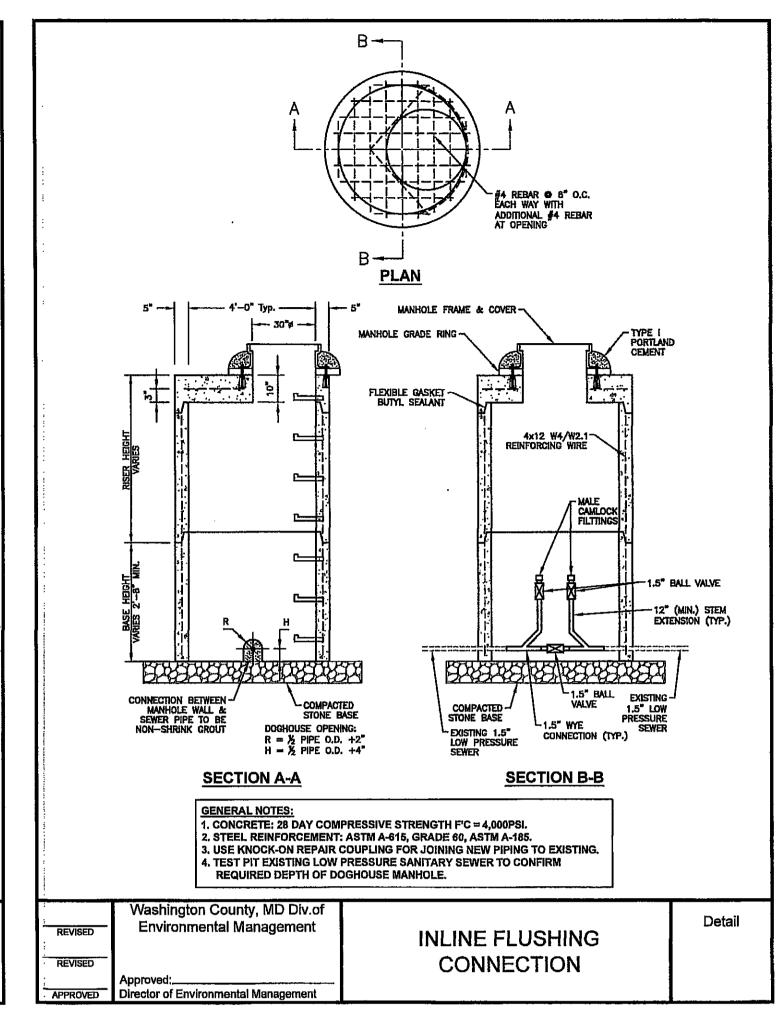
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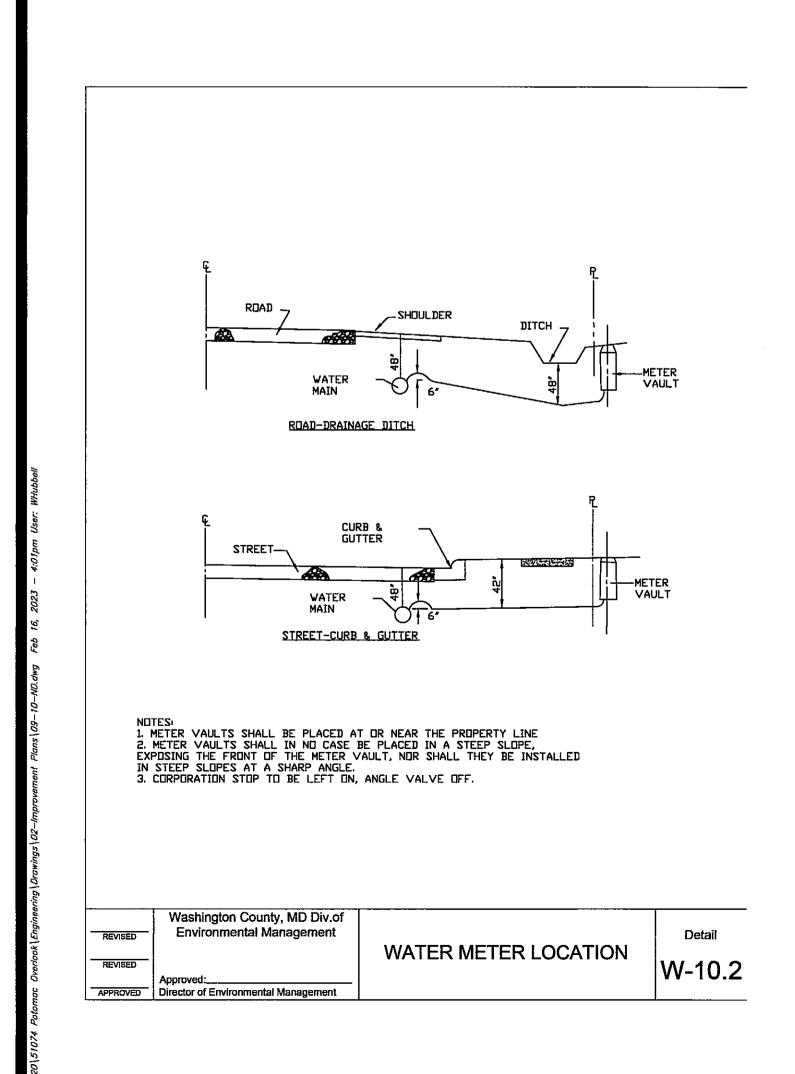
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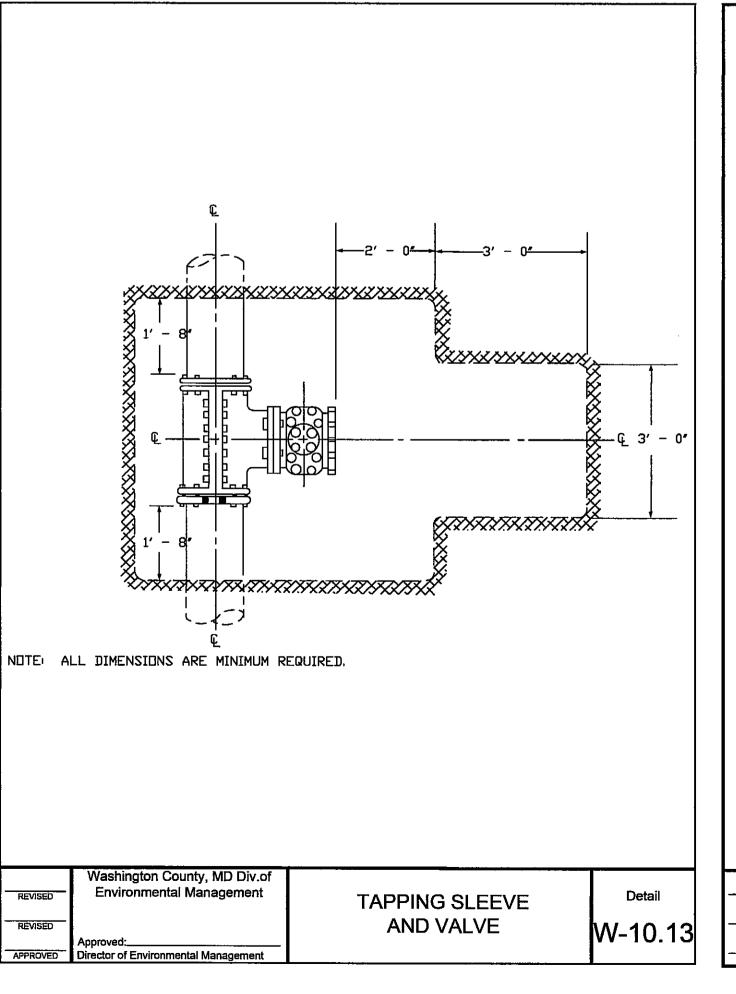


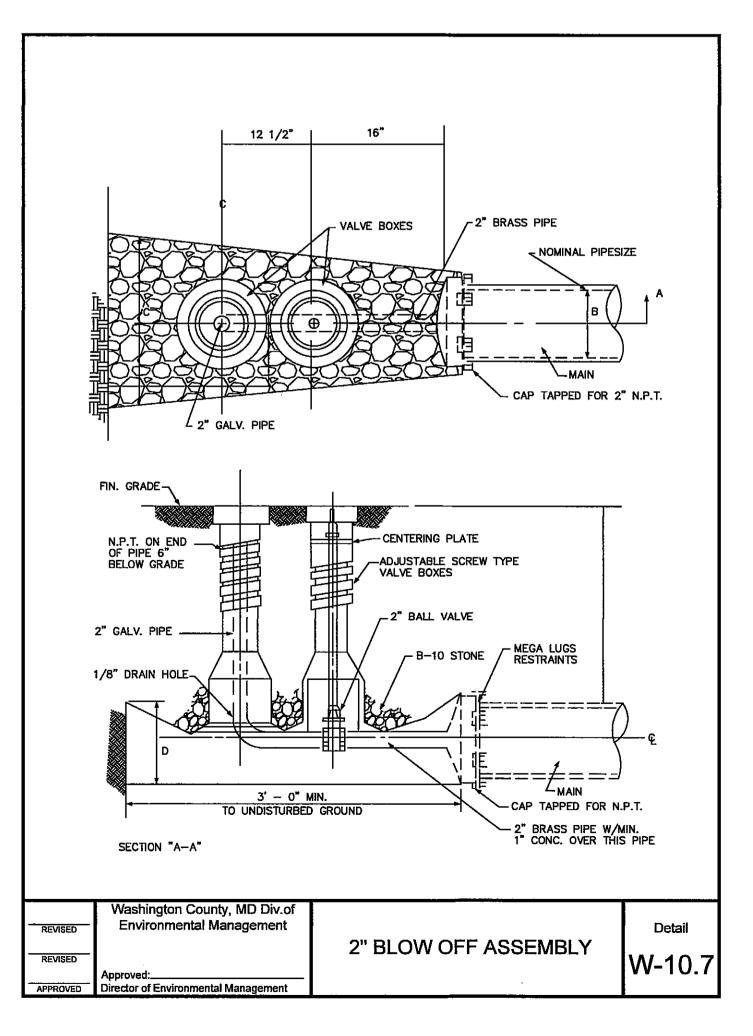












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SHEET 9 OF 12

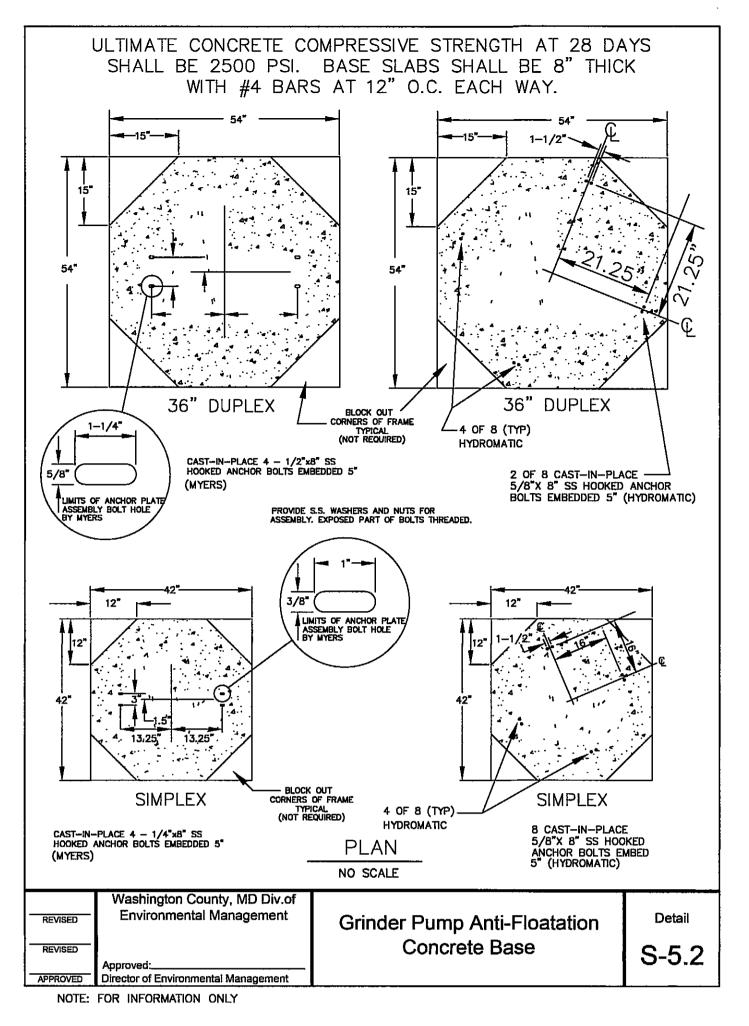
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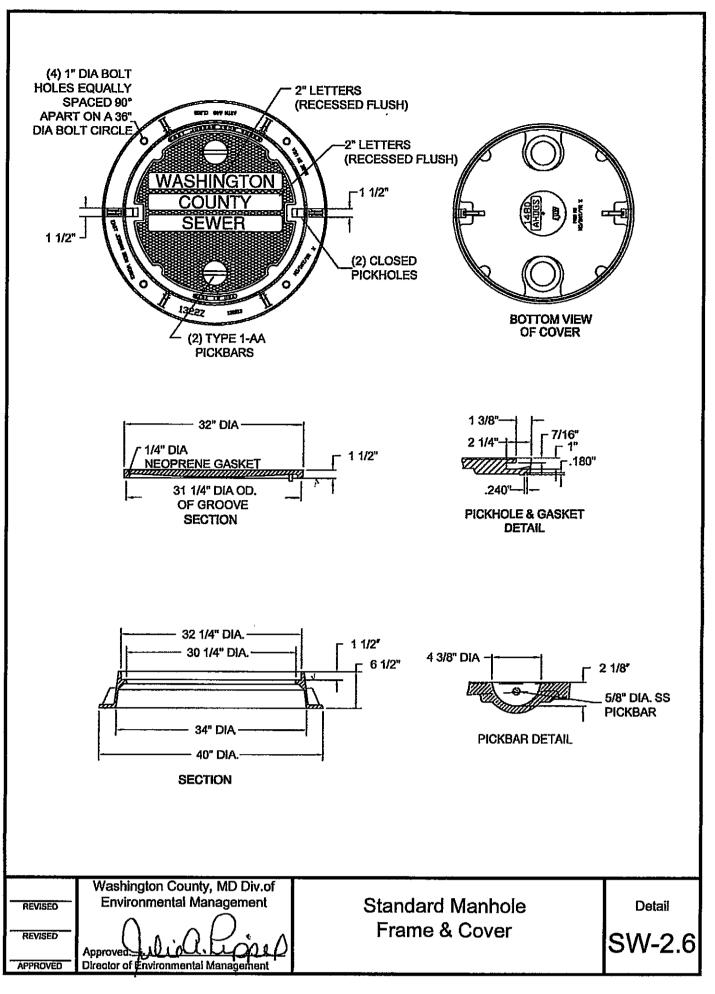
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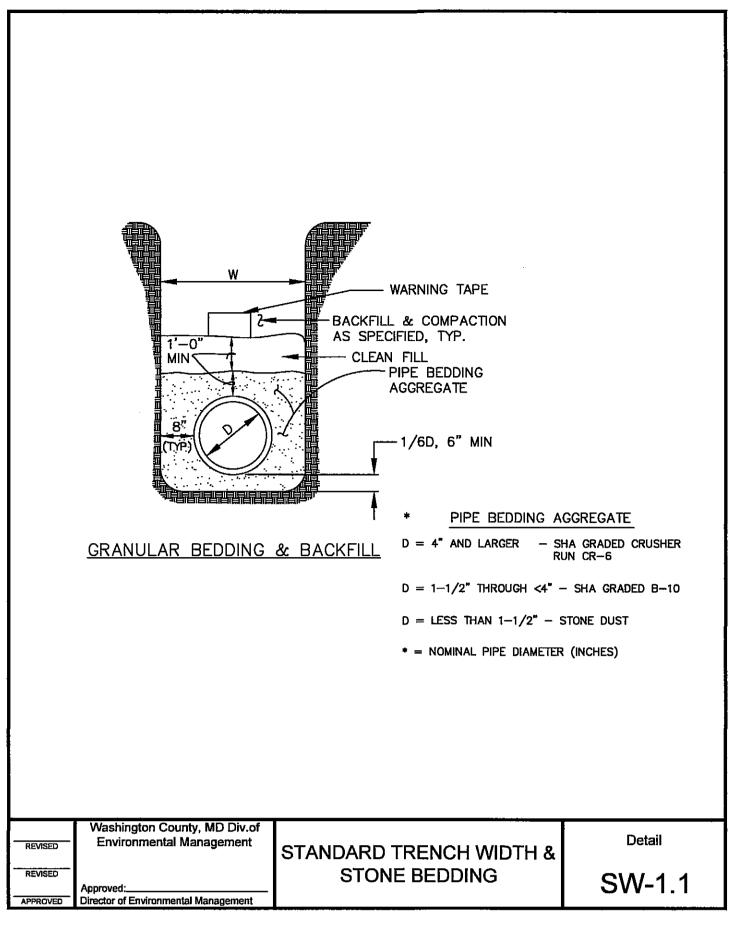
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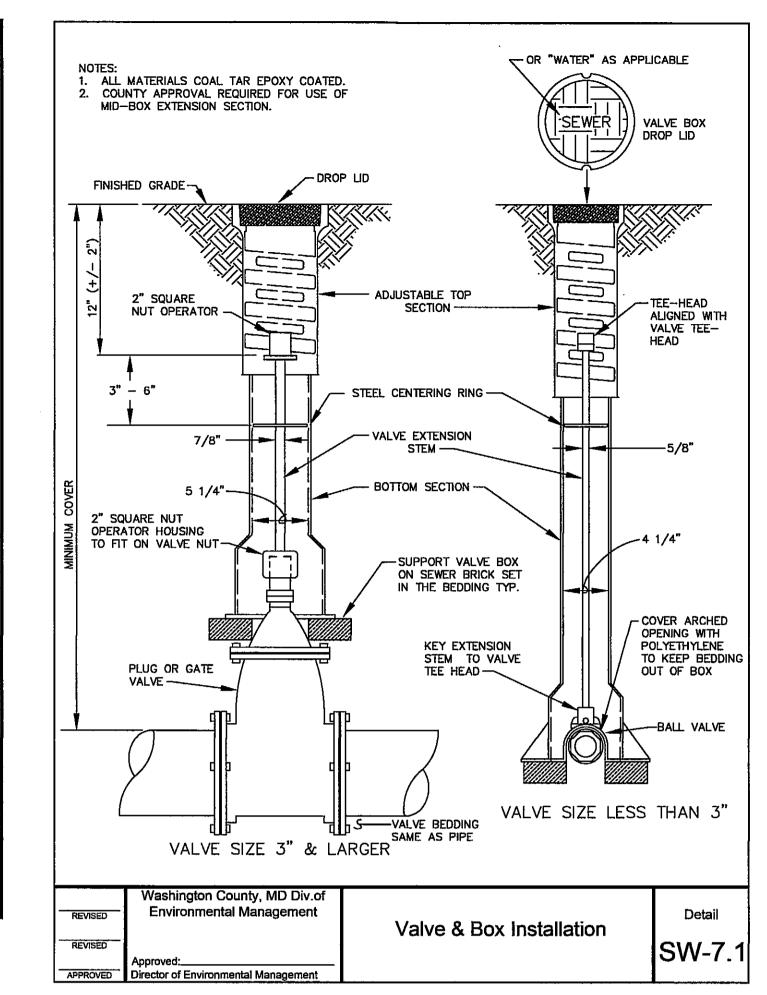
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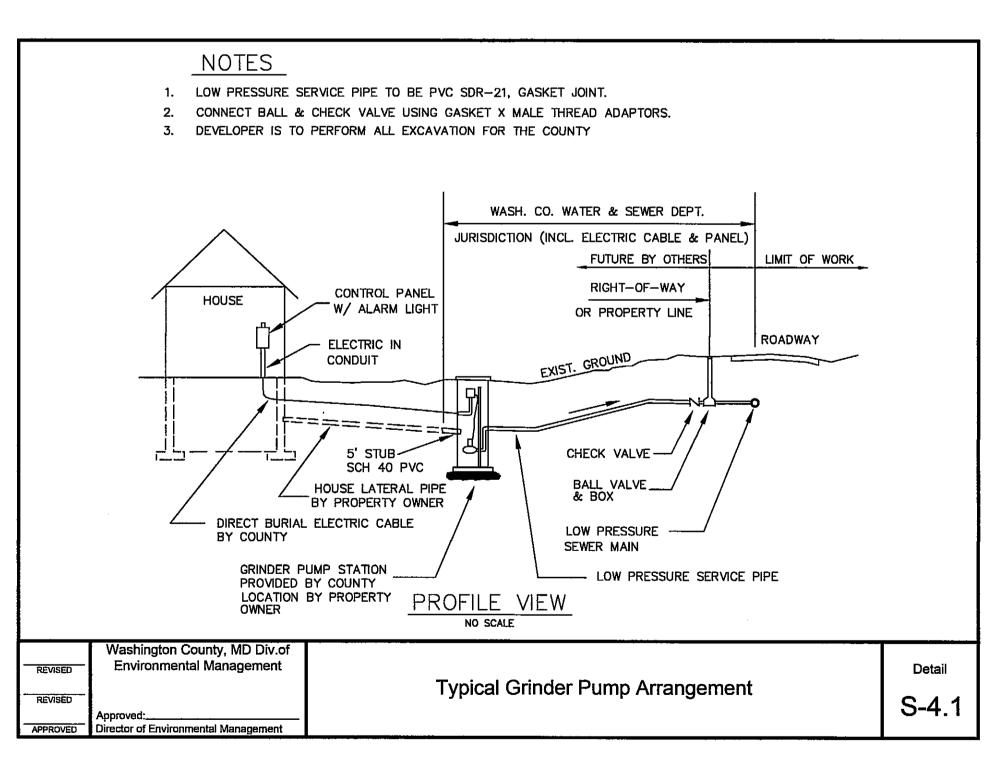
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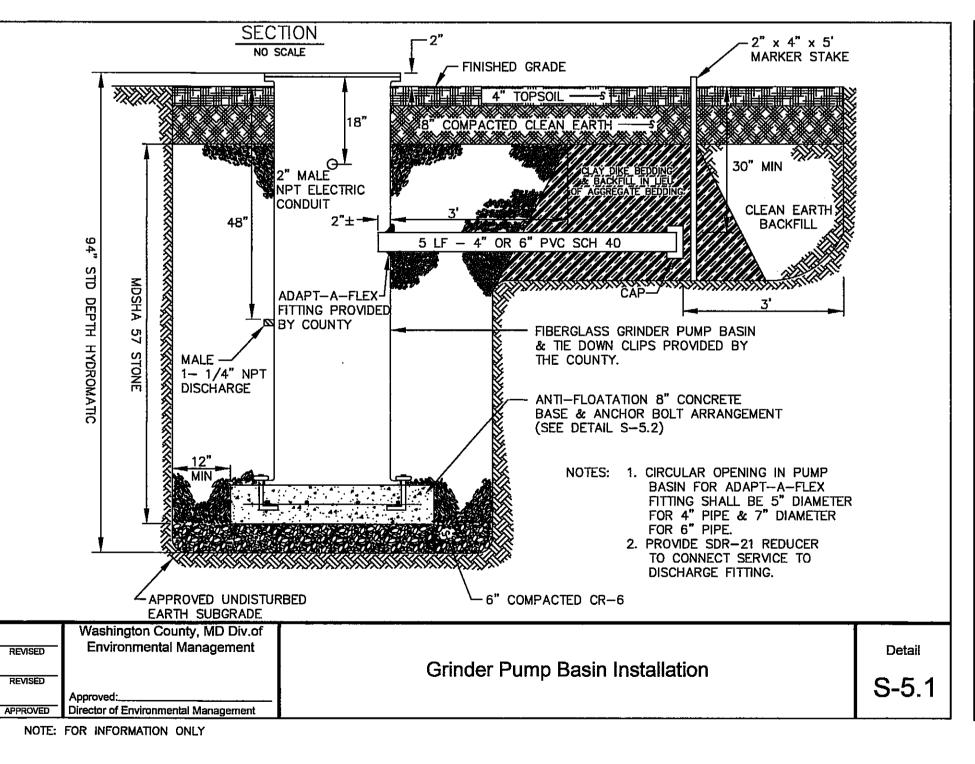


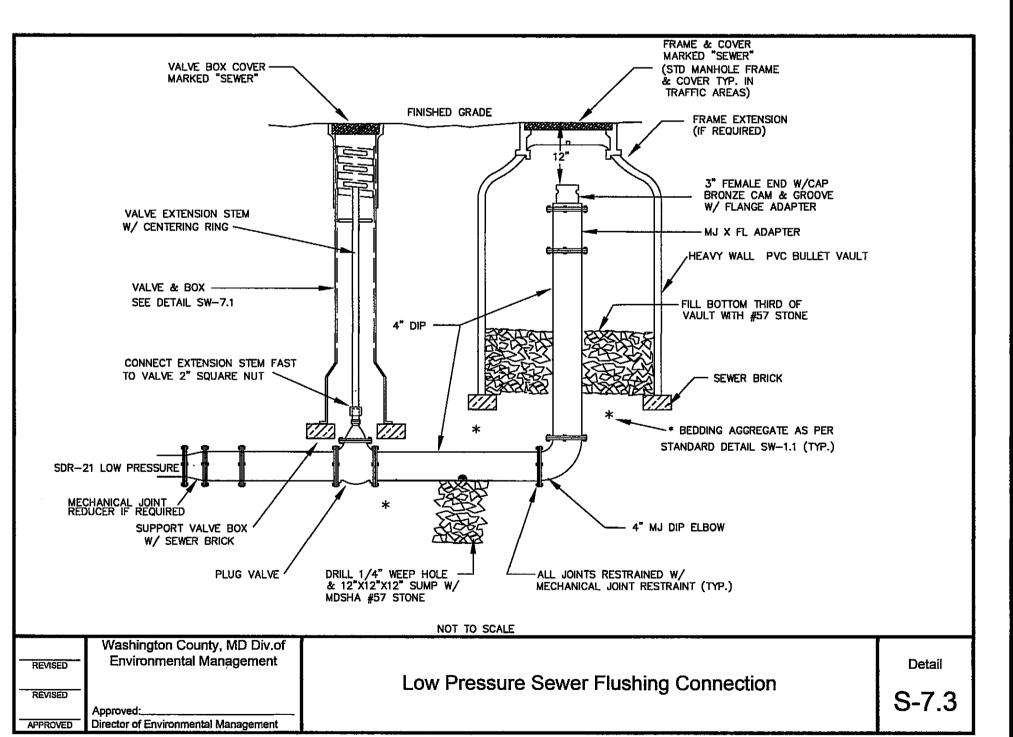












## WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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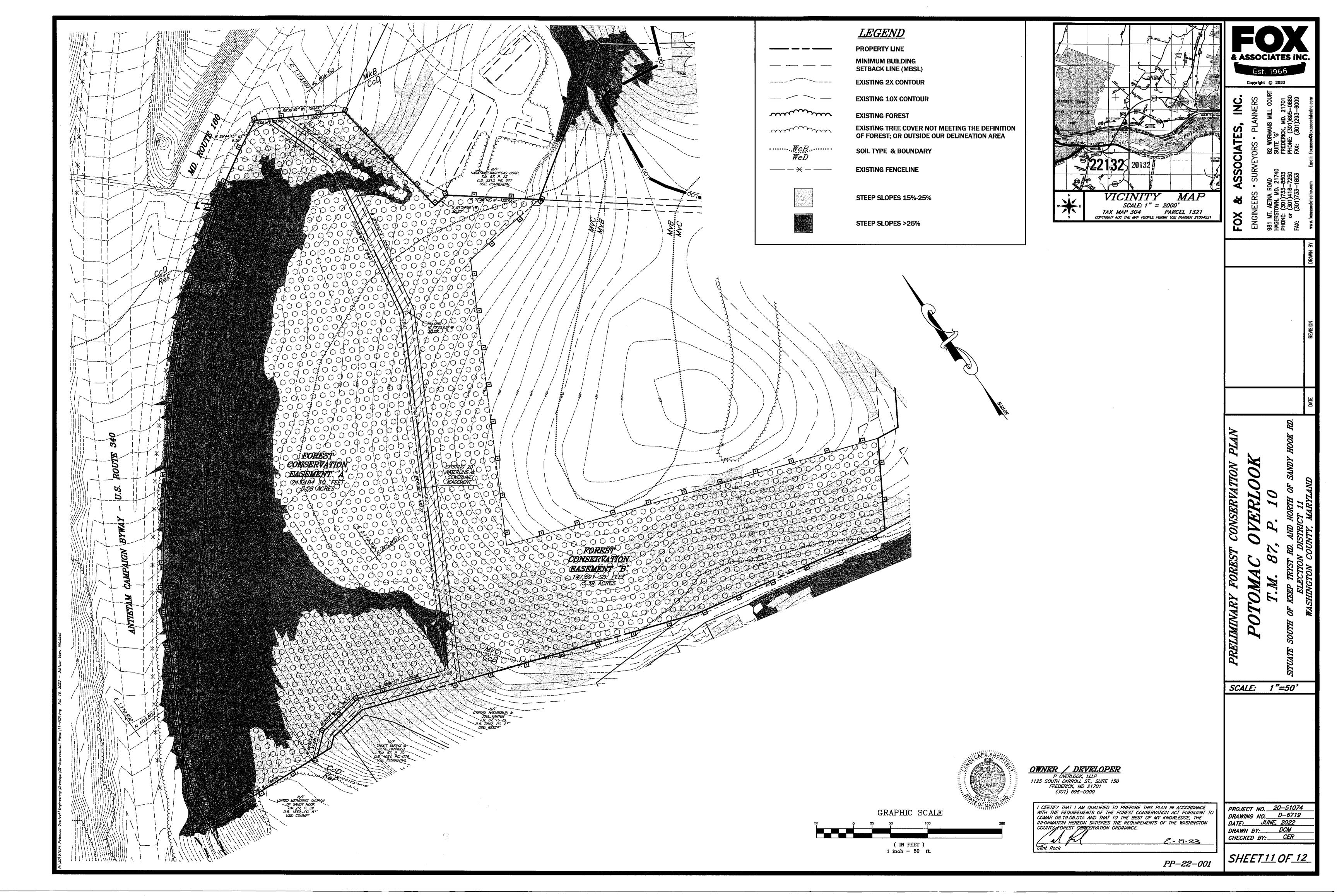
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#### LONG TERM FOREST PROTECTION PLAN

THE BOUNDARIES OF THE FOREST CONSERVATION AREA SHALL BE MARKED WITH DURABLE SIGNAGE (SEE DETAIL 3.6.9 DETAIL THIS SHEET) WITH WORDING TO THE EFFECT THAT THE AREA IS A FOREST CONSERVATION AREA AND THAT THE TREES ARE NOT TO BE DISTURBED. THE POSTS AND SIGNS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND INDEFINITELY.

THERE SHALL BE NO DISTURBANCES OF THE AREA LABELED FOREST CONSERVATION AREA' BY ANY REGULATED ACTIVITY AS DEFINED IN WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE, EXCEPTING SUCH ACTIVITIES WHICH HAVE RECEIVED PRIOR APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION.

PROPERTY OWNERS ARE ADVISED THAT PENALTIES AND FINES ARE ASSOCIATED WITH VIOLATION OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE ARE PERMITTED IN THE FOREST CONSERVATION AREAS PROVIDED THERE IS NO FOREST DISTURBANCE OR REMOVAL OF

THE LONG-TERM FOREST PROTECTION PLAN OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN EACH AND EVERY DEED OF CONVEYANCE FOR THIS PROPERTY AND SUBDIVISIONS THEREOF.

THE FOREST CONSERVATION PLAN SHOWS THAT NO EXISTING TREES WITHIN THE FOREST CONSERVATION AREAS ARE TO BE DISTURBED. IF FOR ANY REASON IN THE FUTURE FOREST COVER IS PROPOSED TO BE DISTURBED A REVISED FOREST CONSERVATION PLAN MUST BE SUBMITTED TO THE WASHINGTON COUNTY PLANNING COMMISSION AND APPROVED PRIOR TO DISTURBING ANY TREES.

#### LONG TERM PROTECTION AGREEMENT

THE FOREST CONSERVATION EASEMENT SHOWN HEREON IS DESIGNATED FOR RETAINED FOREST ACCORDING TO MULTIPLE PROJECTS AS SUMMARIZED IN THE RE-PLAT PURPOSE NOTE AND THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACCORDINGLY, THE PRACTICES AND SCHEDULES CONTAINED IN THE MAINTENANCE AGREEMENT SHALL BE FOLLOWED AS OUTLINED IN THE APPROVED FOREST CONSERVATION PLAN.

THE AREAS NOTED AS "FOREST CONSERVATION EASEMENT" ARE NOT TO BE DISTURBED BY ANY REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED FOREST DISTURBANCE IS REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMISSION ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT THAT TIME.

PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATION OF THESE RESTRICTIONS. OWNERS OF LOTS AFFECTED BY THE FOREST CONSERVATION EASEMENT(S) SHALL TAKE PRECAUTIONS TO PROTECT FOREST IN EASEMENT AREAS FROM UNAUTHORIZED DISTURBANCE PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ACTIVITIES OF A RECREATIONAL OR PASSIVE NATURE, AS LONG AS THERE IS NO FOREST DISTURBANCE, REMOVAL OF EXISTING FOREST, OR INHIBITION OF ITS NATURAL GROWTH PROCESSES ARE PERMITTED IN THE FOREST RETENTION AREAS. ACCESS TO EASEMENT AREAS AND OVER ACCESS RIGHTS OF WAY SHOWN ON THIS PLAT ARE NECESSARY AND PERMITTED TO WASHINGTON COUNTY AT REASONABLE TIMES FOR PERIODIC INSPECTION OF THE EASEMENT AREAS.

THIS NOTE OR REFERENCE TO ITS EXISTENCE ON THIS PLAT SHALL BE INCLUDED IN ANY FUTURE DEED OF CONVEYANCE OF THIS PARCEL OF LAND.

BY:	PRINTED NAME	TITLE	

## **SEQUENCE OF CONSTRUCTION:**

- 1. STAKE/FLAG LIMITS OF FOREST RETENTION AREAS.
- 2. INSTALL FOREST PROTECTION DEVICES.
- 3. CONTACT WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT OFFICE FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION AT
- 4. NOTIFY THE WASHINGTON COUNTY PLANNING & ZONING DEPARTMENT AND HOLD POST CONSTRUCTION MEETING AND INSPECTION.

SOIL	_DATA		
SYMBOL	DESCRIPTION	'K' FACTOR	HYDROLOGIC GROUP
CcD MkB MkC MvB	HAGERSTOWN-ROCK OUTCROP COMPLEX, 3 TO 8 PERCENT SLOPES MT. ZION GRAVELLY SILT LOAM, 3 TO 8 PERCENT SLOPES MT. ZION GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES MYERSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.32 0.37 0.37 0.49	B C B B
<b>UVC</b>	MYERSVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.49	B
ReF	RAVENROCK—HIGHFIELD—ROCK OUTCROP COMPLEX, 25 TO 65 PERCENT SLOPES	0.28	B

NOTE: THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY DOES NOT LIST ANY OF THESE SOILS AS "KARST LANDSCAPE" SOILS.

FIG. 3.6.9 - CONSERVATION AREA PROTECTION SIGNAGE FOR LONG-TERM **CONSERVATION AREA PROTECTION** 11" MIN. FOREST CONSERVATION CONSERVATION PROJECT TREES FOR YOUR FUTURE TREES SHALL NOT BE

## SIGN NOTES:

- 1. THE PERMANENT SIGNS ARE REQUIRED TO BE POSTED WITHIN 30 DAYS OF SUBDIVISION APPROVAL AND ARE TO BE MAINTAINED FOR PERPETUITY. 2. SIGNS REQUIRED TO BE:
- A) PLASTIC HDPE 0.05 GAUGE, OR B) METAL
- 3. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.4. ATTACHMENT OF SIGNS TO TREES IS
- 5. SIGNS SHALL REMAIN INDEFINITELY.

<u>SITE</u>	DATA
TAX MAP	PARCEL.

TAX MAP/PARCEL	. 87/10
ELECTION DISTRICT	.11
ZONING	RV (RURAL VILLAGE)
WATERSHED	POTOMAC RIVER/ FREDERICK COUNTY (02140301)
PARCEL ACREAGE	TOTAL 24.11 Ac. (PER DEED)
MINIMUM BUILDING SETBACKS	FRONT 25'
	SIDE 8'
	REAR 25'
EXISTING USE	. UNDEVELOPED

## <u>NOTES</u>

- 1. THE 100-YR FLOODPLAIN IS SHOWN PER MAP 24043C0455D EFFECTIVE DATE 8/15/17.
- 2. THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
- 3. THERE ARE STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631.
- 4. THERE ARE NO WETLANDS ON THE SITE PER THE NATIONAL WETLANDS INVENTORY (NWI).
- 5. THE WASHINGTON COUNTY SOIL SURVEY, MAP 55, ISSUED 2006, IDENTIFIES TWO BLUE LINE STREAMS ON THE SUBJECT SITE AND ONE JUST THE THE WEST OF THE SUBJECT SITE. THE USGS QUAD MAP FOR HARPERS FERRY, WY ONLY IDENTIFIES THE STREAM IN THE WESTERN PORTION OF THE PROPERTY WHICH IS SHOWN ON THIS PLAN. NO DEFINED CHANNEL OR EVIDENCE OF FLOW WAS OBSERVED DURING A FIELD INVESTIGATION COMPLETED IN MAY OF 2021.
- 6. FOREST CONSERVATION WORKSHEET 2.2 INDICATES THAT NO FOREST OBLIGATION IS REQUIRED BY THE CURRENT LIMIT OF DISTURBANCE. HOWEVER, THE CONSERVATION THRESHOLD AS SHOWN ON LINE 'E' OF THE WORKSHEET (6.04 AC.) IS PLACED IN A CONSERVATION EASEMENT BY THIS PLAN TO PROVIDE FOR FUTURE REQUIRED MITIGATION CREATED BY THE DISTURBANCE ASSOCIATED WITH HOME CONSTRUCTION AS THE LOTS ARE DEVELOPED.

Fore	est Conservation Worksheet 2.2	! <del>!</del>	<u>.</u>	
Net Tr	act Area			
Ā.	Total Tract Area		A =	24.1
В.	Deductions		B =	0.00
C.	Net Tract Area		C =	24.1
Land	Use Category			
	Input the number "1" under the appropriate	land use	· ;	
	zoning, and limit to only one entry	1		
	ARA MDR IDA HDR MPD	CIA	:	
	0 1 0 0 0	0		
·			:	
D.	Afforestation Threshold ( Net Tract Area x 20%	.)	D=	4.82
E	Conservation Threshold ( Net Tract Area x 25%	)	E =	6.03
Existin	ng Forest Cover			
F.	Existing Forest Cover within the Net Tract Area		F=	20.7
G.	Area of Forest Above Conservation Threshold	: 	G =	14.7
Break	Even Point			
Н.	Break Even Point		H=	8.97
1.	Forest Clearing Permitted Without Mitigation		<u> </u>	11.7
Ргоро	sed Forest Clearing			
J.	Total Area of Forest to be Cleared		J =	1.32
K.	Total Area of Forest to be Retained		: K=	19.4
Planti	ng Requirements			
L	Reforestation for Clearing Above the Conservation Thre		L=	0.00
M	Reforestation for Clearing Below the Conservation Thro	eshold	M =	0.00
N.	Credit for Retention above the Conservation Threshold		N =	0.00
Ρ.	Total Reforestation Required		P =	0.00
Q.	Total Afforestation Required		Q =	0.00
R.	Total Planting Requirement	:	R =	0.00

OWNER / DEVELOPER P OVERLOOK, LLLP 1125 SOUTH CARROLL ST., SUITE 150 FREDERICK, MD 21701 (301) 696-0900

## FOREST CONSERVATION AREA TABULATION

EASEMENT AREA 'A'	243,184 S.F.	5.58 AC.
EASEMENT AREA 'B'	26.391 S.F.	0.61 AC.
TOTAL	269.575 S.F.	6.19 AC.

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CIA

SCALE: NTS

PROJECT NO. 20-51074 DRAWING NO.\_\_\_\_D-6719 DATE: JUNE, 2022 DRAWN BY:\_\_\_\_DCM CHECKED BY: CER

SHEET<u>12</u> OF <u>12</u>

PP-22-001

#### DP-23-001 Emerald Pointe Revised Final Development Plan

- -Presented is a revised Development Plan with the purpose of removing the asphalt pathway connecting the residential neighborhood to the commercial area from the approved plans.
- -The site is located at 13325 Emerald Pointe Drive in Hagerstown



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#### **DEVELOPMENT PLAN STAFF REPORT**

	BASE INFORMAT	ereflight properties and explication and explication of the following section of the explication of the expl	
SITE NAME	Emerald Pointe PUD Revise	ed Final Development Pla	in
NUMBER:	DP-23-001		
OWNER	EMERALD POINTE INC		
LOCATION	13325 EMERALD POINTE D	rive	
	HAGERSTOWN, MD 21742		
DESCRIPTION:	The HOA has petitioned the connecting the residential		he asphalt pathway lood to the commercial area.
ZONING:	Residential, Transition PUE	)	
COMP PLAN LU:	Low Density Residential		
PARCEL:	18018535		
PLANNING SECTOR:	1		
ELECTION DISTRICT:	18		
ТҮРЕ:			
GROSS ACRES	97.15		
DWELLING UNITS			
TOTAL LOTS:			
DENSITY:	0 Units Per Acre		
PLANNER	Scott A Stotelmyer		
ENGINEER:	FOX & ASSOCIATES INC		
RECEIVED:	March 30, 2023		
	SITE ENGINEER		
HYDRO	GRAPHY, SENSITIVE & ENVIRO	NMENTAL INFORMATIOI	V
FLOOD ZONE:	Yes		
WETLANDS	None		
WATERSHED	Antietam Creek		
ENDANGERED SPECIES:	None		
HISTORIC INVENTORY:	1242		
EASEMENTS PRESENT:	S-07-002		
	SCHOOL INFORMA		
Staff Comments:	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT Not Applicable PUPIL YIELD	Paramount	Northern	North Hagerstown
CURRENT ENROLLMENT	1389		
MAXIMUM CAPACITY	1423		
	PUBLIC FACILITIES INFO	RMATION	
FIRE DISTRICT	LONG MEADOW	ander og else er tre er e	
AMBULANCE DISTRICT:	HAGERSTOWN		

WATER & SEWER INFORMATION

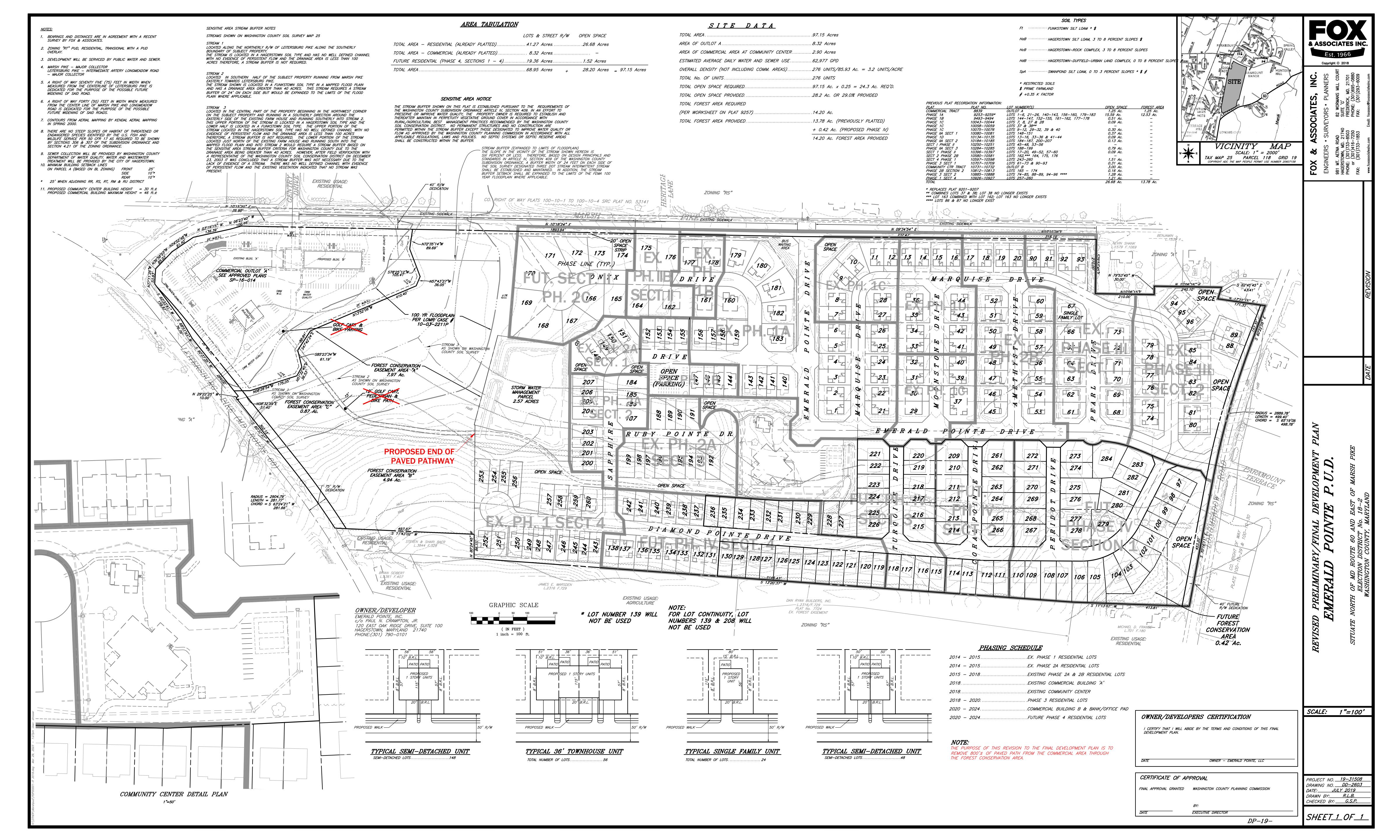
WATER

**SEWER** 



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METHOD:	City	County Line - City Treatment
SERVICE AREA	City	County Line - City Treatment
PRIORITY:	1-Existing Service	1-Existing Service
NEW HYDRANTS:		
GALLONS PER DAY SEWAGE:		
PLANT INFO		Hagerstown (City)



Site Plan for Morningside East - Trailer Parking Area

Presented is a site plan for Morningside East Trailer Parking Area.

The subject site is located at 231 East Oak Ridge Drive between UPS and Roadway Express and across the street from South Pointe Subdivision, at the Southern Boulevard Roundabout. Zoning is Highway Interchange. Total lot area is 17.64 acres with a proposed 3.0 acres of disturbance for this site plan.

Existing tenants of this site are Two Men and a Truck, Metro Shelving, Kind Contents Restoration, Fabricated Extrusions, and United Parcel Service. The site plan proposes the addition of trailer parking and a stormwater management area, both located in the front of the property.

No variances, ordinance modifications, or special exceptions are associated with this property.

The new parking proposed will be 55 truck parking spaces on site. Hours of operation for this truck trailer parking area will be limited to daylight hours Monday through Friday. There will be no additional staff members resulting from these new parking spaces. Therefore, no new lighting is proposed with this plan.

This tractor trailer activity will be utilizing the existing entrance.

No additional water or sewage usage is anticipated with this plan and no additional signage is necessary.

Forest Conservation requirements have been met through on-site retention and payment in lieu of planting, as reflected in approved plan file number FP-22-003.



### WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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#### SITE PLAN STAFF REPORT

	BASE INFORMATION
SITE NAME:	Morningside East- Trailer Parking Area
NUMBER:	SP-22-035
OWNER:	MORNINGSIDE EAST LLC
LOCATION:	231 Ea OAK RIDGE Drive, Suite# A
	Hagerstown, MD 21740
DESCRIPTION	
ZONING:	Highway Interchange
COMP PLAN LU:	Industrial/Flex
PARCEL:	10005302
PLANNING SECTOR:	1
ELECTION DISTRICT:	10
ГҮРЕ:	Commercial
GROSS ACRES:	17.64
DWELLING UNITS:	0
FOTAL LOTS:	1
DENSITY:	0 Units Per Acre
PLANNER:	Heather R Williams
NGINEER:	FOX & ASSOCIATES INC

November 2, 2022

#### SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE...... No WETLANDS...... No

RECEIVED....:

WATERSHED...... Antietam Creek

ENDANGERED SPECIES......: None STEEP SLOPES......: No STREAM BUFFER...... No

HISTORIC INVENTORY...... No Resources Present

None

EASEMENTS PRESENT....:

Staff Comments:

Not Applicable



# WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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	SITE DESIGN		
Impervious Area Plan	Impervious Maximum Al	llowed	Open Space Area Planned
61.1	85		
Open Space Minimum Required	Residential Amenity P	lans	Solid Waste Disposal Plans
0	n/a		n/a
Materials Stored on Site	Buffer Design Meets Requi	irements Lar	ndscaping Meets Requirements
n/a	Yes		Yes
Lighting Plan Meets Requirements	Pedestrian Access is Ade	equate Bus	Stop is Within Walking Distance
Yes			
Loading Area Meets Requirements			
			Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwell	ling Unit	
0	0		
Parking Spaces - Minimum Required	Recreational Parking Pro	ovided	
0	No		
NUMBER OF ACCESS POINTS: 1	SCHOOL INFORMATI	the control of the feature and settles as the control to a test of	нісн
	ELEMENTARY	MIDDLE	HIGH
CHOOL DISTRICT	ELEMENTARY Emma K Doub School for	the control of the feature and settles as the control to a test of	
	ELEMENTARY Emma K Doub School for Integrated Arts and	MIDDLE	
CHOOL DISTRICT	ELEMENTARY Emma K Doub School for	MIDDLE	
CHOOL DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and	MIDDLE	
CHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT	ELEMENTARY Emma K Doub School for Integrated Arts and	MIDDLE	
CHOOL DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology	MIDDLE E Russell Hicks	
CHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORI	MIDDLE E Russell Hicks	
CHOOL DISTRICT  PUPIL YIELD  CURRENT ENROLLMENT  MAXIMUM CAPACITY  FIRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORITUMESTOWN	MIDDLE E Russell Hicks	
CHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORI FUNKSTOWN HAGERSTOWN	MIDDLE E Russell Hicks  MATION	
CHOOL DISTRICT  PUPIL YIELD  CURRENT ENROLLMENT  MAXIMUM CAPACITY  FIRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORM FUNKSTOWN HAGERSTOWN WATER & SEWER INFORM	MIDDLE E Russell Hicks  MATION	South Hagerstown
CCHOOL DISTRICT  PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY  FIRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORI FUNKSTOWN HAGERSTOWN	MIDDLE E Russell Hicks  MATION	South Hagerstown  SEWER
CHOOL DISTRICT  CUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY  IRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORM FUNKSTOWN HAGERSTOWN WATER & SEWER INFORM	MIDDLE E Russell Hicks  MATION	South Hagerstown
CHOOL DISTRICT  CUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY  IRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORITURESTOWN HAGERSTOWN WATER & SEWER INFORITURES	MIDDLE E Russell Hicks  MATION	South Hagerstown  SEWER
CHOOL DISTRICT  CUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY  IRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORM FUNKSTOWN HAGERSTOWN WATER & SEWER INFORM WATER City	MIDDLE E Russell Hicks  MATION  MATION	South Hagerstown  SEWER  County
CHOOL DISTRICT  PUPIL YIELD  CURRENT ENROLLMENT  MAXIMUM CAPACITY  FIRE DISTRICT	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORM FUNKSTOWN HAGERSTOWN WATER & SEWER INFORM City City	MIDDLE E Russell Hicks  MATION  MATION	Sewer County County
CHOOL DISTRICT  PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY  FIRE DISTRICT: MBULANCE DISTRICT: METHOD: PRIORITY:	ELEMENTARY Emma K Doub School for Integrated Arts and Technology  PUBLIC FACILITIES INFORM FUNKSTOWN HAGERSTOWN WATER & SEWER INFORM City City	MIDDLE E Russell Hicks  MATION  MATION	Sewer County County

## PROJECT PURPOSE

THIS PROPERTY IS A 17.64-ACRE PARCEL LOCATED ALONG THE SOUTH SIDE OF EAST OAK RIDGE DRIVE AND THE EAST SIDE OF OAKMONT DRIVE IN ELECTION DISTRICT 10. THE PROPERTY IS CURRENTLY SERVING AS A TRAILER STORAGE & WAREHOUSE AND HAS HISTORICALLY SERVED AS SUCH. THE MAJORITY OF THE PROPERTY IS COMPLETELY DEVELOPED. THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN ADDITIONAL STONE SURFACE TRAILER STORAGE AREA AND POTENTIAL FUTURE FREE—STANDING BUILDING WITHIN THE FOOTPRINT OF THE STORAGE AREA AT A FUTURE DATE. THE POTENTIAL FUTURE BUILDING IS NOT PROPOSED AS A PART OF THIS SITE PLAN SUBMITTAL, HOWEVER THE POTENTIAL LOCATION OF THIS FUTURE BUILDING HAS BEEN SHOWN ON THE PLAN FOR INFORMATIONAL PURPOSES. THE SITE IS SURROUNDED BY OTHER EXISTING COMMERCIAL AREAS SUCH AS A UPS CUSTOMER CENTER AND YRC FREIGHT CENTER AS WELL AS PORTIONS OF UNDEVELOPED LAND TO THE SOUTH. THE SITE IS UNDERLAIN BY THE FUNKSTOWN SILT LOAM, HAGERSTOWN SILT LOAM, AND HAGERSTOWN-ROCK OUTCROP COMPLEX SOILS. THE PROPOSED TRAILER STORAGE AREA WILL FEATURE 55 TRAILER STORAGE SPACES WHICH COULD BE DEVELOPED LATER AS A POTENTIAL FUTURE FREE—STANDING BUILDING. THE SITE PLAN AND STORMWATER MANAGEMENT PROVIDED HAVE BEEN DESIGNED ACCORDINGLY IN CONSIDERATION OF THE POSSIBLE FUTURE BUILDING.

# **NOTES:**

- 1. —O DENOTES REBAR AND CAP TO BE SET UNLESS NOTED OTHERWISE.
- 2. THE BEARINGS SHOWN HEREON ARE BASED ON MARYLAND STATE PLANE COORDINATE SYSTEM NAD 83 (2011)
- 3. THERE ARE NO HOUSES, WELL, OR SEPTICS WITHIN 100 FEET OF THE SUBDIVISION BOUNDARY UNLESS SHOWN.
- 4. ZONING IS "HI" HIGHWAY INTERCHANGE
- 5. AN EIGHT (8) FOOT EASEMENT FOR ALL UTILITIES AND DRAINAGE IS DEDICATED ALONG THE INTERIOR OF ALL SIDE AND REAR LOT LINES. A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE IS DEDICATED ALONG THE INTERIOR OF ALL FRONT LOT LINES.
- 6. THE PROPERTY IS IN FLOOD ZONE "X" BY EXAMINATION OF FEMA FLOOD MAP 24043C0305D HAVING AN EFFECTIVE DATE OF AUGUST 15, 2017.
- 7. BEARINGS AND DISTANCES IN AGREEMENT WITH A SURVEY BY FOX & ASSOCIATES, INC.
- SIDES . . . . . . 10' \*\*
- REAR . . . . . . 10' \*\*
  THE CURRENT USE OF THE SITE IS WAREHOUSING WHICH IS A PERMITTED USE UNDER THE BG-BUSINESS, GENERAL DISTRICT. THE STORAGE OF TRAILERS IS AN ACCESSORY USE TO THE WAREHOUSE USE CURRENTLY OPERATING ON THE PROJECT SITE.
- BASED ON THE MINIMUM PRESCRIBED SETBACKS CONTAINED IN ARTICLE 12.5 OF THE BG-BUSINESS, GENERAL DISTRICT IN THE WASHINGTON COUNTY ZONING ORDINANCE
- 9. THERE ARE NO STEEP SLOPES OR BLUE LINE STREAMS OR FLOODPLAINS OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CRF 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- 10. EXTENT OF WATERSHED DIRECTLY AFFECTING THIS SITE IS LESS THAN 400 ACRES. SITE LIES WITHIN THE ANTIETAM CREEK WATERSHED, 8-DIGIT WATERSHED CODE 02140502.
- 11. TOPOGRAPHY SHOWN HEREON TAKEN FROM WASHINGTON COUNTY TOPOGRAPHIC GIS DATA.
- 12. PUBLIC SANITARY SEWER AND PUBLIC WATER IS AVAILABLE TO THIS SITE AND IS PROVIDED BY THE CITY OF HAGERSTOWN. NO SEWER OR WATER FACILITIES ARE PROPOSED FOR THIS TRAILER PARKING USE. THE EXISTING BUILDING ON THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND
- 13. NO ADDITIONAL SITE LIGHTING IS PROPOSED BY THIS SITE PLAN.
- 14. NO NEW OR ADDITIONAL SITE SIGNAGE IS PROPOSED BY THIS SITE PLAN.
- 15. FOREST STAND DELINEATION FOR THIS SITE APPROVED UNDER COUNTY FILE FS-22-012.
- 16. ESD CONCEPT PLAN APPROVED UNDER COUNTY FILE SWCP22-017.
- 17. NO NEW SITE UTILITIES ARE PROPOSED BY THIS SITE PLAN.
- 18. THE EDGEMONT, SMITHSBURG, OR UPPER BEAVER CREEK WATERSHEDS ARE NOT WITHIN 1000 FEET OF THIS PROPERTY.
- 19. THE APPALACHIAN TRAIL IS NOT WITHIN 1000 FEET OF THIS PROPERTY.
- 20. NO VARIANCES, ORDINANCE MODIFICATIONS, OR SPECIAL EXCEPTIONS ARE ASSOCIATED WITH THIS
- 21. NO FENCING EXISTS ON THE SUBJECT PROPERTY. NO NEW FENCING IS PROPOSED BY THIS TRAILER PARKING SITE PLAN.
- 22. THE FOREST CONSERVATION REQUIREMENT FOR THIS SITE IS MET THROUGH ON-SITE RETENTION AND PAYMENT IN LIEU OF PLANTING. REFER TO COUNTY FILE NUMBER FP-22-003 FOR
- 23. A GEOTECHNICAL ENGINEERING REPORT FOR THE BIORETENTION FACILITY PROPOSED BY THIS PLAN WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES. THE GEOTECHNICAL REPORT WAS DATED SEPTEMBER 15, 2022 AND SHALL BE UTILIZED DURING EXECUTION OF THE WORK TO ENSURE COMPLIANCE WITH RECOMMENDATIONS MADE WITHIN THE HILLIS-CARNES ENGINEERING ASSOCIATES SEPTEMBER 15, 2022 GEOTECHNICAL ENGINEERING REPORT.

~ ~ ~			
HcB -		HAGERSTOWN-ROCK OUTCROP COMPLEX 3 TO 8 PERCENT SLOPES	62.4%
HaB —	i.	HAGERSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	21.8%
HcC	_	HAGERSTOWN-ROCK OUTCROP COMPLEX 8 TO 15 PERCENT SLOPES	15.4%
Ft	_	FUNKSTOWN SILT LOAM	0.4%

# SENSITIVE AREA NOTE

THERE ARE NO FLOODPLAINS IMPACTING THIS SITE AS SHOWN ON COMMUNITY PANEL NUMBER 24043 C 0330 D WITH AN EFFECTIVE DATE OF AUGUST 15, 2017, NO STEEP SLOPES, STREAMS AND RELATED BUFFERS. OR HABITAT OF THREATENED OR ENDANGERED SPECIES WITHIN THE DISTURBED AREA IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.

# UTILITY NOTIFICATION

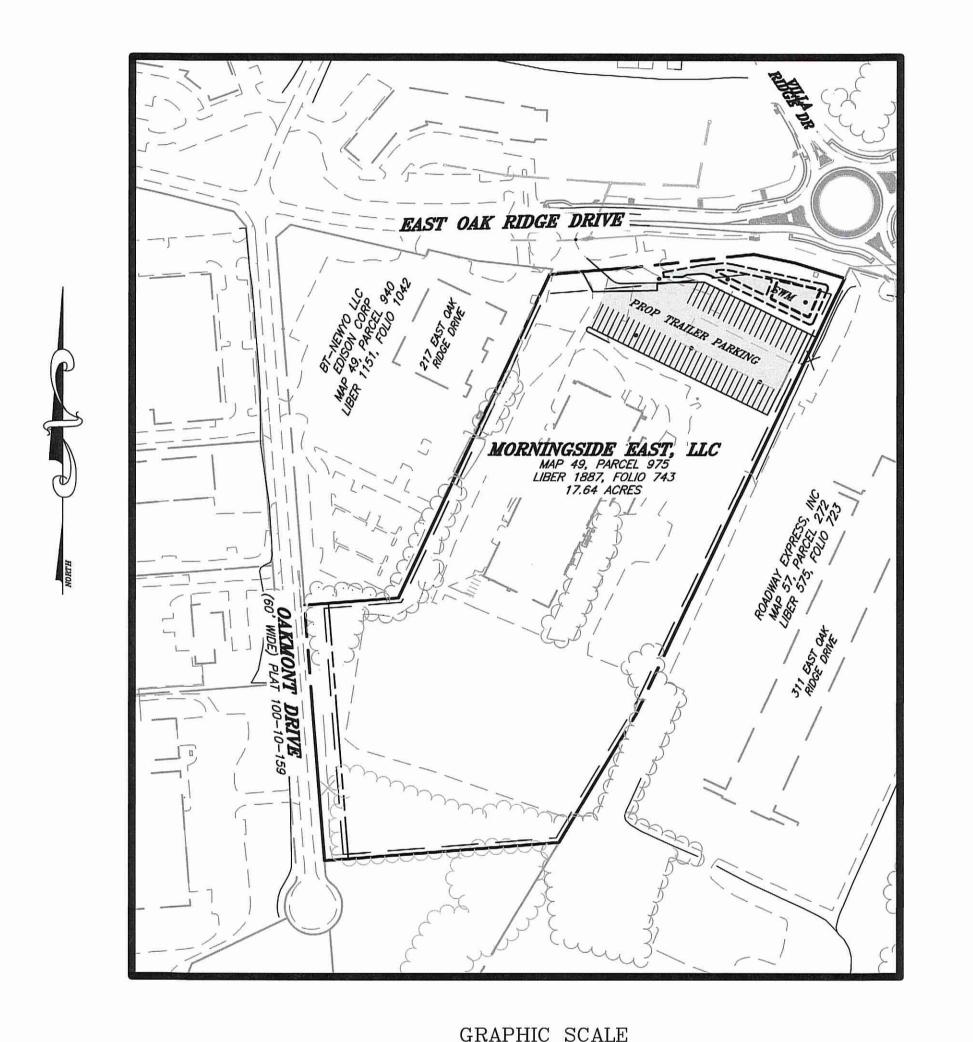
"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

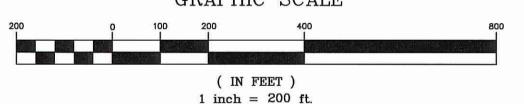
(SITE WATER AND SEWER PROVIDER)

:3
650

# SITE PLAN MORNINGSIDE EAST TRAILER PARKING AREA

231 E. OAK RIDGE DRIVE SITUATE ALONG OAKMONT DRIVE WASHINGTON COUNTY HAGERSTOWN, MD 21740





# SITE PLAN APPROVAL LIMITATION NOTE

THE PURPOSE OF THIS SITE PLAN IS TO DEVELOP A TRAILER PARKING AREA. THE TRAILER PARKING AREA IS ACCESSORY TO THE WAREHOUSE USE CURRENTLY ON THE SITE. THIS SITE PLAN ALSO DENOTES AN OUTLINE OF A POTENTIAL FUTURE BUILDING ON THE SITE THAT COULD BE BUILT IN THE FUTURE. SHOULD THE POTENTIAL FUTURE BUILDING EVER BE PURSUED A NEW SITE PLAN SHALL BE PREPARED AND FILED WITH WASHINGTON COUNTY AS SITE PLAN SP-22-035 IS LIMITED TO THE DEVELOPMENT OF THE SITE FOR A TRAILER PARKING USE ONLY.



THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY \_\_\_\_\_\_\_\_ ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 

DWIGHT

SCALE: 1"=1000' TAX MAP 49 PARCEL 975

COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 20607158

VICINITY

\* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

WASHINGTON COUNTY DIVISION OF ENGINEERING

DISTURBED AREA QUANTITIES

# ENGINEER/ARCHITECT DESIGN CERTIFICATION

HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND MEETS THE MARYLAND POND STANDARD 378

# OWNER/DEVELOPER CERTIFICATION - DPW

OWNER/DEVELOPER CERTIFICATION - SCD

PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

PRINTED NAME

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING

SIGNATURE

# WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

# ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

I HEREBY VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION: THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.

SIGNATURE

# **ESD PRACTICES SUMMARY TABLE**

Туре	No.	DA to Structure	Impervious DA to Structure	WQv	ESDv	PE Addressed
		(AC)	(AC)	(AC-FT)	(AC-FT)	(IN)
	_					
NON-ESD Practices (Cha	pter 3 – Structural	Practices)				
Туре	No.	DA to Structure	Impervious DA to Structure	WQv	ESDv	PE Addressed
		(AC)	(AC)	(AC-FT)	(AC-FT)	(IN)

05.03.23 REVISED DRAINAGE 04.12.23 REVISED PER AGENCY COMMENTS 01.03.23 REVISED PER AGENCY COMMENTS 12.02.22 REVISED PER COUNTY COMMENTS

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STORMWATER MANAGEMENT NOTES & DETAILS

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09 SOIL EROSION/SEDIMENT CONTROL PLAN

11 TEST PIT LOGS TP-1 THROUGH TP-6

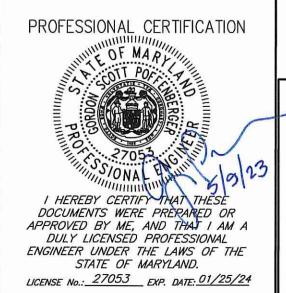
04 ENLARGED SITE PLAN

10 SESC NOTES & DETAILS

01 COVER SHEET

OWNER/DEVELOPER

MORNINGSIDE EAST LLC 10228 GOVERNOR LANE BLVD, SUITE 3002 WILLIAMSPORT, MARYLAND 21795-4064 PHONE: 301.582.1555 ATTN: JEFF TEDRICK PRESIDENT OF CONSTRUCTION OPERATIONS BOWMAN DEVELOPMENT CORPORATION



PROJECT NO. 21-31742

FOX & ASSOCIATES, INC.

ENGINEERS · SURVEYORS · PLANNERS

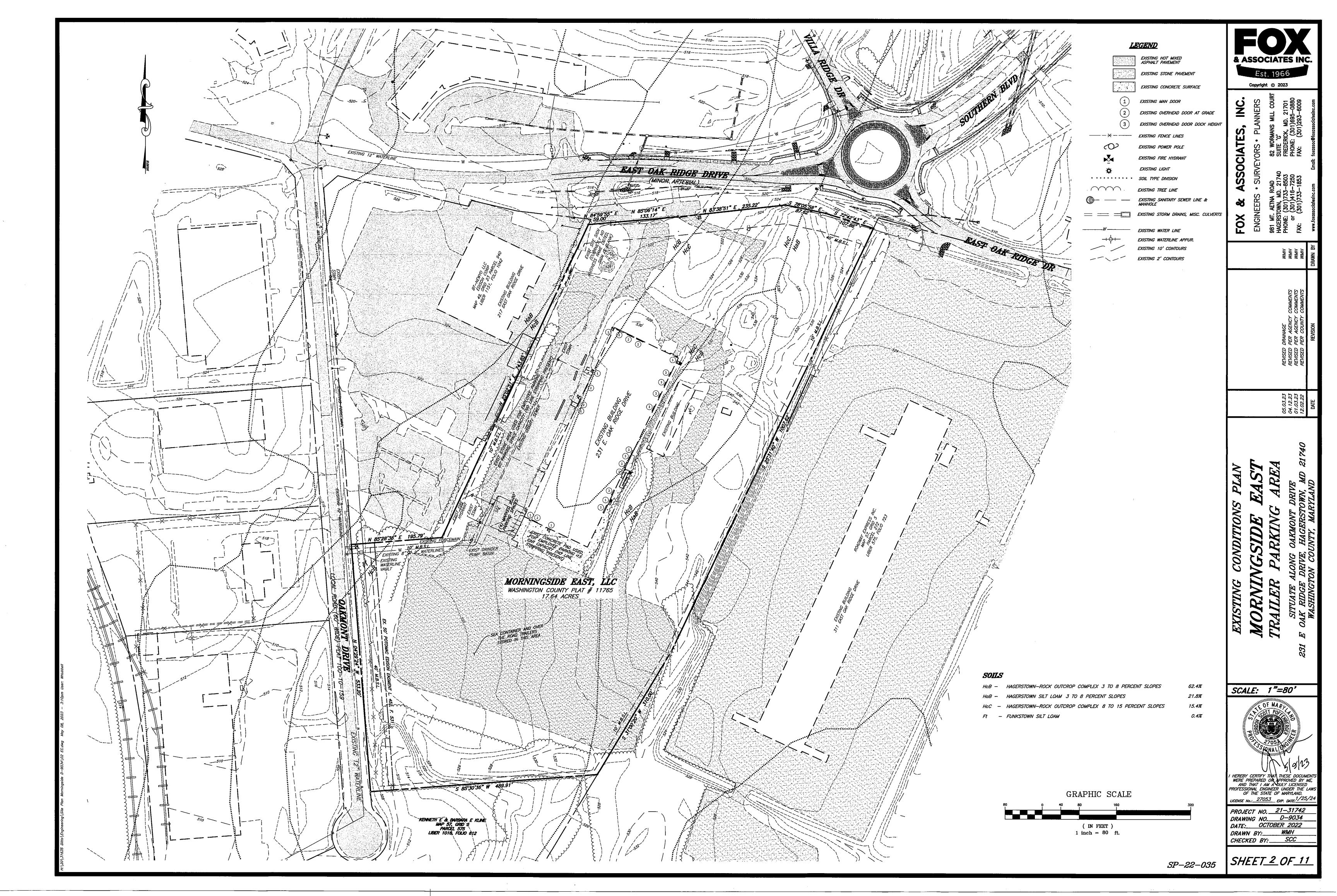
981 MT. AETNA ROAD HAGERSTOWN, MD. 21740 PHONE: (301)733-8503 or (301)416-7250 FAX: (301)733-1853

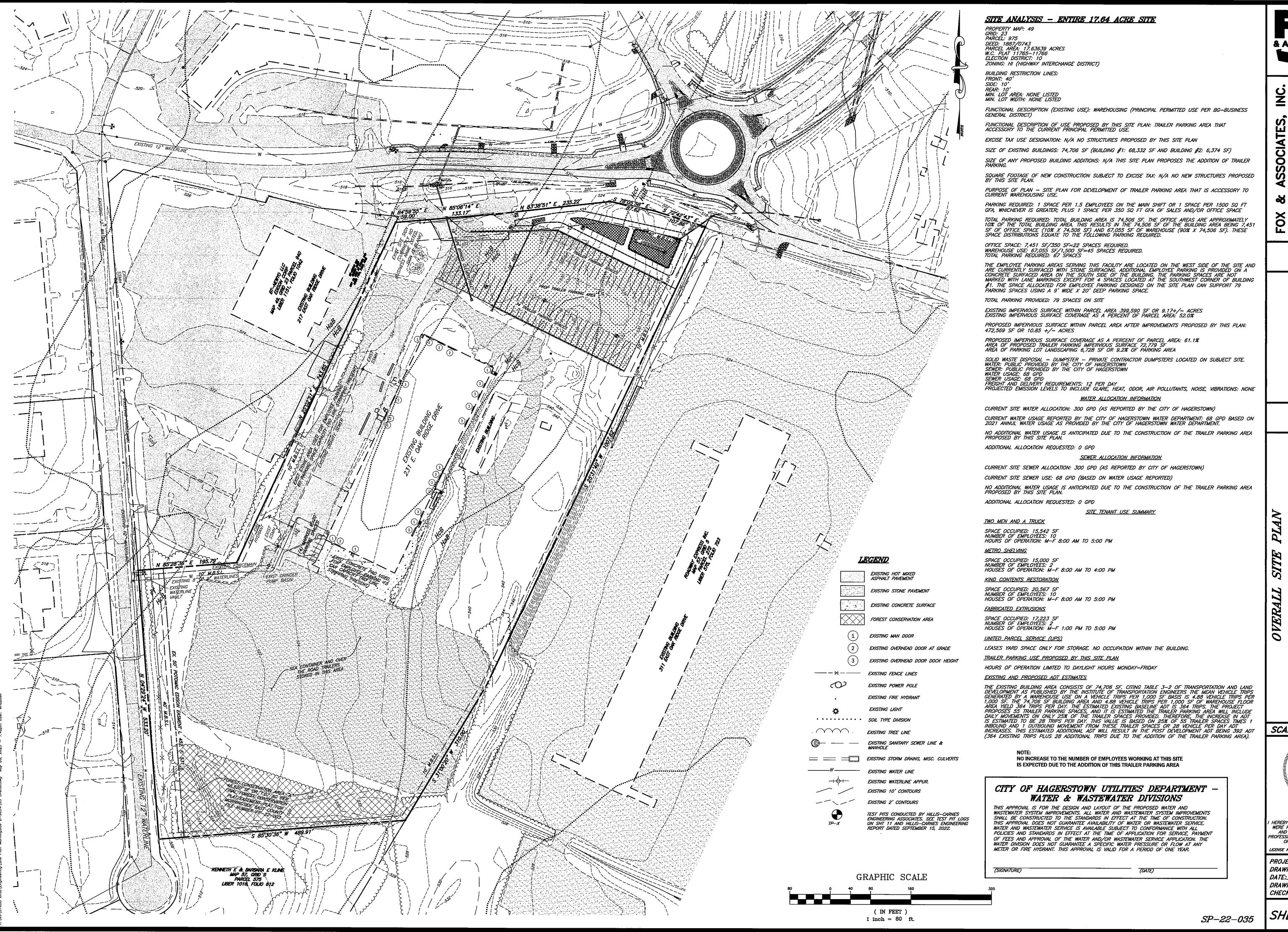
82 WORMANS MILL COURT SUITE 'G' FREDERICK, MD. 21701 PHONE: (301)695-0880 FAX: (301)293-6009

www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com



D-9034 SHEET 1 OF 11





Est. 1966

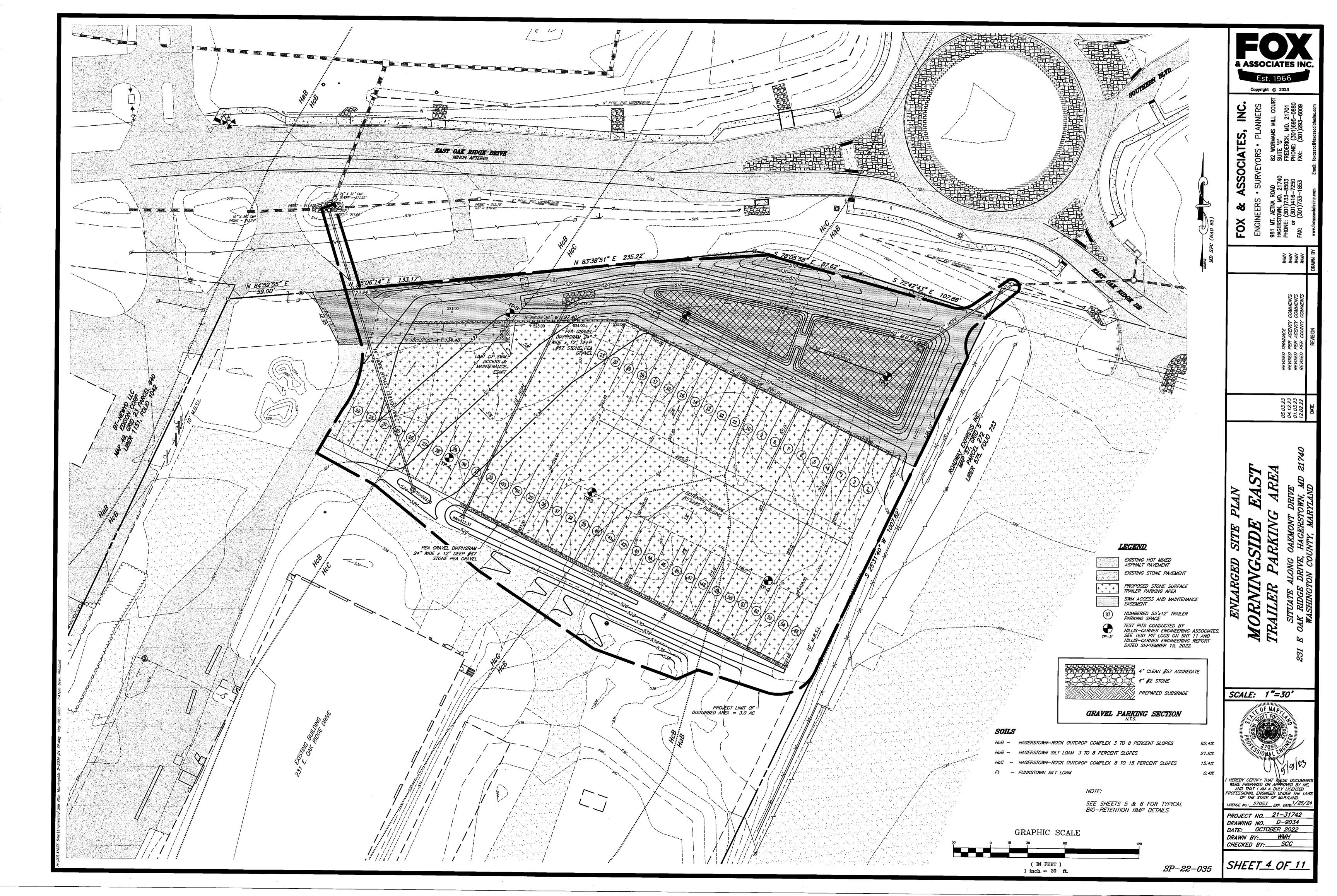
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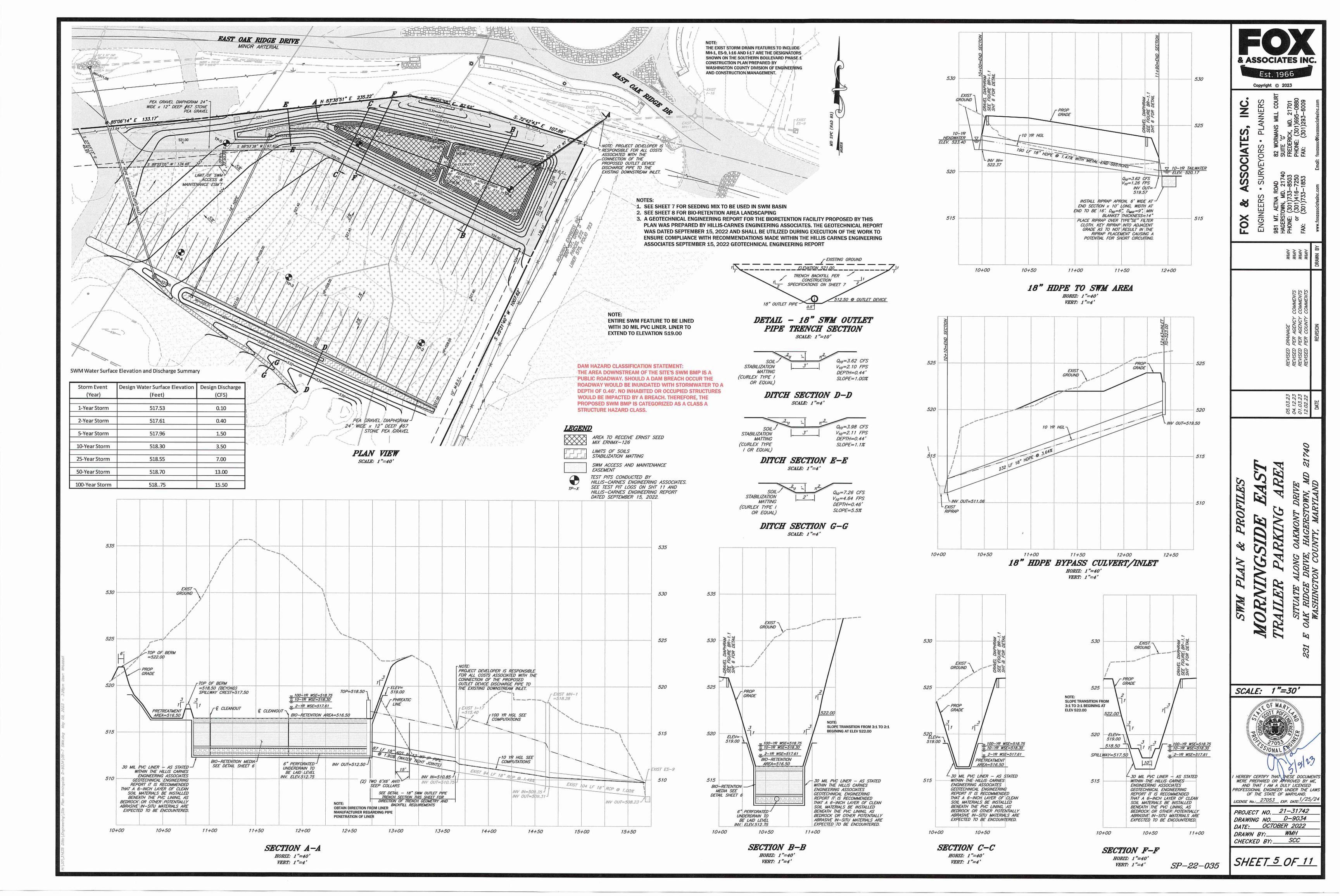
SCALE: 1"=80'

HEREBY CERTIFY THAT THESE DOCUMEN. WERE PREPARED OR AMPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE L OF THE STATE OF MARYLAND. LICENSE No.: 27053 EXP. DATE: 1/25/2

PROJECT NO. 21-31742 DRAWING NO.\_\_\_\_ D-9034 DATE: OCTOBER 2022 DRAWN BY:\_\_\_ CHECKED BY: SCC

SHEET 3 OF 11

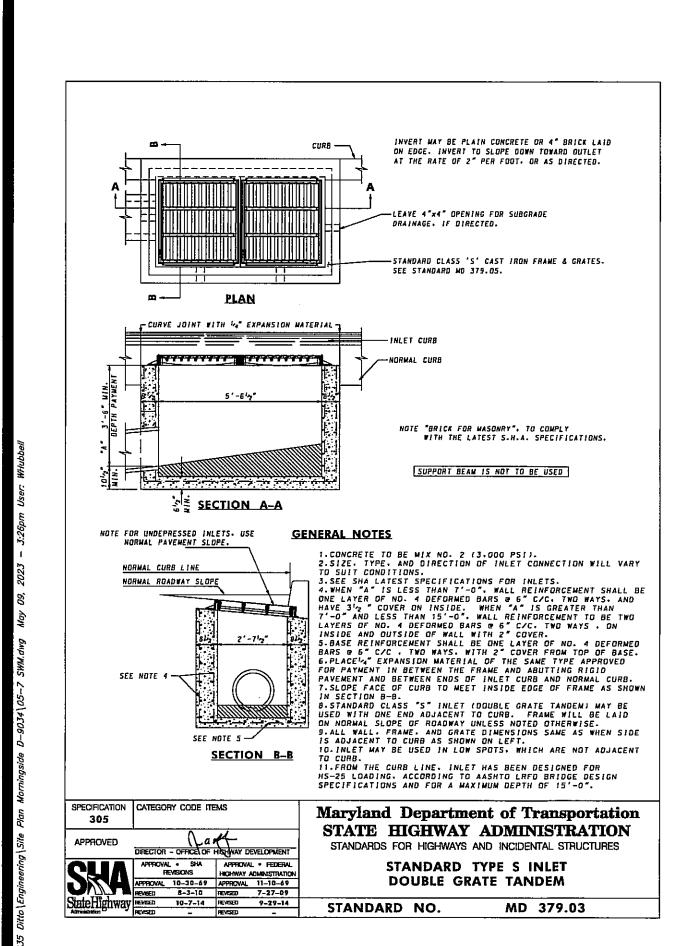




#### Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration Specification see Appendix A, Table A.4 | n/a plantings are site-specific Planting soll loamy sand (60 - 65%) & n/a USDA soil types loamy sand or sandy loam; clay [2' to 4' deep] compost (35 - 40%) content < 5% sandy loam (30%), coarse sand (30%) & compost (40%) Organic content Min. 10% by dry weight (ASTM D 2974) shredded hardwood aged 6 months, minimum; no pine or wood chips NO. 8 OR NO. 9 Pea gravel diaphragm pea gravel: ASTM-D-448 Curtain drain tone:2" to 5" PE Type 1 nonwoven AASHTO M-43 NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4") nderdrain piping 758, Type PS 28 or 4" to 6" rigid Slotted or perforated pipe; 3/8" perf. @ 6" on schedule 40 PVC or center, 4 holes per row; minimum of 3" of grave! over pipes: not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth on-site testing of poured-in-place concrete required: 28 day strength and slump test; all Poured in place MSHA Mix No. 3; f'c = 3500 psl @ 28 days, (if required) concrete design (cast-in-place or pre-cast) not normal weight, using previously approved State or local air-entrained: reinforcins to meet ASTM-615-60 standards requires design drawings sealed an approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 | 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

# BIO-RETENTION AREA MAINTENANCE SCHEDULE

- 1. THE BIO-RETENTION FACILITIES ARE PRIVATELY OWNED AND SHALL BE THE MAINTENANCE RESPONSIBILITY OF THE SITE OWNER.
- 2. REMOVE ANY ACCUMULATED TRASH OR DEBRIS FROM THE BIO-RETENTION AREA AS SOON AS IT IS
- 3. THE BIO—RETENTION AREAS SHALL BE INSPECTED MONTHLY. IF WATER IS OBSERVED PONDING FOR LONGER THAN 48 HOURS THE TOP FEW INCHES OF FILTER MEDIA SHALL BE REMOVED AND REPLACED. ANY ACCUMULATED SILT OR SEDIMENT SHALL BE REMOVED WHEN THE THICKNESS OF THE ACCUMULATION EXCEEDS ONE (1) INCH.
- 4. AERATE TOP LAYER OF PLANTING SOIL IF REDUCED FILTRATION IS OBSERVED.
- 5. PERFORM PRUNING OF VEGETATION WITHIN BIO—RETENTION AREAS AS NECESSARY. REPLACE ANY DEAD VEGETATION OBSERVED IF PLANT SPECIES DO NOT FLOURISH, FURNISH AND INSTALL A MORE APPROPRIATE SPECIES. WATERING OF BIO-RETENTION AREA PLANTINGS MAY BE REQUIRED DURING PROLONGED DRY PERIODS.



# 30 MIL PVC SWM FEATURE LINER SPECIFICATION

The minimum physical properties for the PVC liner are as follows:

PROPERTY	TEST METHOD	REQUIREMENNT
Thickness	D 1599	+/- 5%
Specific Gravity (min.)	D 792	1.20
100% Modulus (psi. min.) (1 b. force/in. width, min.)	D 882	100 30
Tensile (psi, mln.) (Lb. force/ in. width, mln.)	D 882	2300 73
Elongation at Break (%, min.)	D 882	380
Graves Tear (lb./in., min.) (1b. force/in. width, min.)	D 1004	325 8
Resistance to Soil Burial (% change max.) Breaking Factor Elongation At Break Modulus at 100% Elongation	G 160	5 20 20
Impact Cold Crack (/F)	D 1790	-20
Dimensional Stability (% change/max.)	D 120 (212/f/15 min.)	3
Water Extraction (%, max.)	D 1239	0,3
Volatile Loss (%, max.)	D 1203	0.70
Hydrostatic Resistance (psi, min.)	D 751	100

Submit certification per TC 1.03 that the PVC liner material conforms to

the physical properties.

Include the following: A) Polymer and composition of the PVC Liner, including additive composition of any coating

B) Manufacturer's Quality Control plan including properties, test methods, frequency of testing, tolerances and method of resolution for out-ofspecification material.

C) Laboratory test results documenting the physical properties.

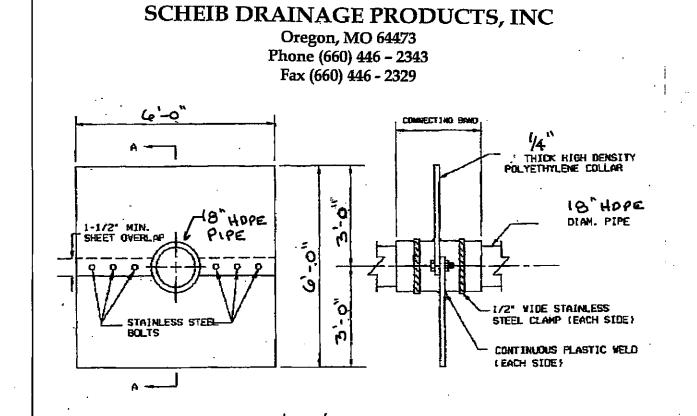
Appendix D.8. Miscellaneous Details for Compliance with Performance Criteria

Detail 1 Trash Rack Protection for Low Flow Orifice

REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DIRECTION REGARDING LINER -AS STATED WITHIN THE HILLIS CARNES ENGINEERING ASSOCIATES GEOTECHNICAL ENGINEERING REPORT IT IS RECOMMENDED THAT A 6-INCH LAYER OF CLEAN SOIL MATERIALS BE INSTALLED BENEATH

THE PVC LINING, AS BEDROCK OR OTHER POTENTIALLY ABRASIVE IN-SITU MATERIALS ARE EXPECTED TO BE ENCOUNTERED.

6 x 6 ANTI- SEEP COLLAR DETAIL



WELD (TYP.)

2" x 1/4" STEEL STOCK ALL AROUND

AND SIDES

1/2" DIAMETER HOLES

3 LB/FT² EXPANDED STEE

GRATE ON TOP, BOTTOM,

WELD 1"x1"x1/8" ANGLE OVER ALL EDGES (TYP.)

@24" O/C MAX, (TYP.)

A GEOTECHNICAL ENGINEERING REPORT FOR THE BIORETENTION FACILITY PROPOSED BY THIS PLAN WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES. THE GEOTECHNICAL REPORT WAS DATED SEPTEMBER 15, 2022 AND SHALL BE UTILIZED DURING EXECUTION OF THE WORK TO ENSURE COMPLIANCE WITH RECOMMENDATIONS MADE WITHIN THE HILLIS CARNES ENGINEERING ASSOCIATES SEPTEMBER 15, 2022 GEOTECHNICAL ENGINEERING REPORT.

NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS

SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES

CERTIFYING

ENGINEER

DATE

COUNTY

INSPECTOR

DATE

POUR IN PLACE 6" THICK >

COLLAR SHALL EXTEND

NOT LESS THAN 1.0'

CONCRETE COLLAR.

BEYOND OUTSIDE

DIAMETER OF PIPE

THE FOLLOWING INSPECTIONS ARE REQUIRED TO BE PERFORMED BY THE QUALIFYING PROFESSIONAL FOR THE CONSTRUCTION OF ANY SAND FILTER, BIO-RETENTION OR RAIN GARDEN FACILITY.
ADDITIONAL INSPECTIONS MAY BE NEEDED BASED ON PROFESSIONAL ENGINEERING JUDGEMENT. EACH INSPECTION IS REQUIRED AT THE START OF EACH STAGE.

EXCAVATION OF FACILITY — PRIOR TO EXCAVATION, VERIFY SEDIMENT AND EROSION CONTROL

FEATURES ARE IN PLACE TO PREVENT SEDIMENT INFLOW. VERIFY ALL FLAGGING REQUIRED IN THE AREA FOR

SENSITIVE AREA PROTECTION. VERIFY GRADING IS ACCURATELY STAKED—OUT AND RE—STAKED AS NEEDED.
FACILITY DIMENSIONS SHALL BE VERIFIED AND SOILS CHECKED FOR INFILTRATION, VERIFY CONTRIBUTING AREA
IS PERMANENTLY STABILIZED. VERIFY THAT WATER IS NOT PRESENT. ENSURE ROUGHENING OF SIDE WALLS IF

PLACEMENT OF FILTER CLOTH (TRENCHES) - ENSURE FILTER FABRIC IS OVERLAPPING SIX (6)

PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - LOCATION, SIZE AND

MATERIAL OF UNDER DRAIN AND OBSERVATION WELLS SHALL BE VERIFIED PRIOR TO STONE PLACEMENT. VERIFY

PLACEMENT OF FILTERING MEDIA - VERIFY BOTTOM LAYER MATERIAL AND THICKNESS. VERIFY

STABILIZATION AND LANDSCAPING - VERIFY SITE TOP SOILED. SEEDED AND MULCHED, VERIFY

EMBANKMENT TOP SOILED AND SEEDED. VERIFY LOCATION, SIZE, TYPE AND NUMBER OF PLANTED LANDSCAPE

MATERIAL. VERIFY NO MORE THAN 1/8 INCH ROOT BALL EXPOSED. VERIFY PLANTING STOCK KEPT MOIST

PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - VERIFY DEPTH AND

THE QUALIFYING PROFESSIONAL MAY REQUEST THE PRESENCE OF A CONSTRUCTION STANDARDS INSPECTOR AT LEAST 24 HOURS IN ADVANCE

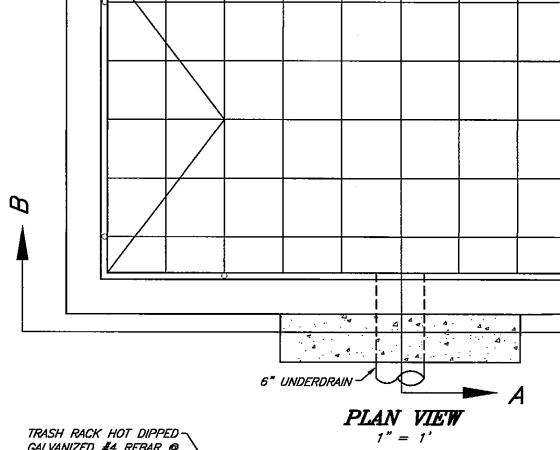
SAND AND/OR FILTER MEDIA LAYER MATERIAL AND THICKNESS. VERIFY FILTER FABRIC OR PEA GRAVEL USED BETWEEN SAND LAYERS. VERIFY TOP MEDIA LAYER.

PIPE ENDS CAPPED. VERIFY 3" GRAVEL COVER.

WIDTH OF SAND AND/OR DIAPHRAGM LAYER. VERIFY FILL MATERIAL

INCHES RETWEEN STRIPS OF CLOTH FUSIRE TREE ROOTS OR OTHER ORSTACLES ARE REMOVED FROM FACILITY WALLS OR SIDES AND BASE TO PREVENT TEARING. VERIFY THAT UPHILL FABRIC ROLL OVERLAPS TWO (2) FEET OVER

SHEARED AND SEALED BY HEAVY EQUIPMENT, VERIFY THAT COMPACTION OF FACILITY BASE IS MINIMIZED.



PARKING SURFACE

PEA GRAVEL DIAPHRAGM -

#67 STONE PEA GRAVEL

24" WIDEx12" DEEP

STABILIZATION

ASSOCIATES GEOTECHNICAL ENGINEERING REPORT IT IS

RECOMMENDED THAT A 6-INCH LAYER OF CLEAN SOIL

BEDROCK OR OTHER POTENTIALLY ABRASIVE IN-SITU MATERIALS ARE EXPECTED TO BE ENCOUNTERED.

18" HDPE

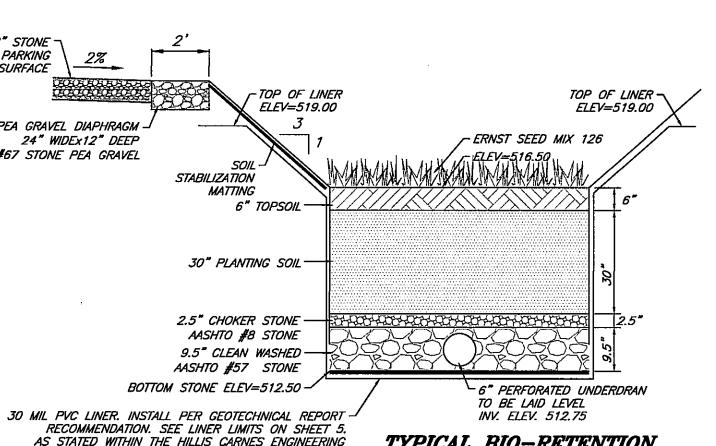
MATERIALS BE INSTALLED BENEATH THE PVC LINING, AS

MATTING

-TRASH RACK HOT DIPPED GALVANIZED #4 REBAR @ GALVANIZED #4 REBAR @ 6" O.C., EACH WAY. 6" O.C., EACH WAY. SLOPE OF TRACH RACK TO SLOPE OF TRACH RACK TO BE 30°. NO FLAT TRASH BE 30°. NO FLAT TRASH RACKS PERMITTED RACKS PERMITTED *518.50* - PRECAST CONCRETE OUTLET STRUCTURE SHALL BE A ONE (1) PIECE STRUCTURE, NO JOINTS PERMITTED BIO-RETENTION 516.50 BIO-RETENTION 516.50 8 1/2" 2'-7 1/2" 5'-6 1/2" POUR IN PLACE 6" THICK > CONCRETE COLLAR. COLLAR SHALL EXTEND NOT LESS THAN 1.0' Beyond Outside DIAMETER OF PIPE POUR IN PLACE 6" THICK CONCRETE COLLAR. COLLAR SHALL EXTEND NOT LESS THAN 1.0' BEYOND OUTSIDE DIAMETER OF PIPE

18" WEIR OPENING 517.50 517.00 ∟*TRASH RACK — SEE* DETAIL 1 AT LEFT BIO-RETENTION 516.50 18" I.D. HDPE MSHA INLET PER MSHA OUTLET PIPE *379.03* BEYOND 6" ø OPENING TO RECEIVE UNDERDRAIN INV 512.75

SECTION B-B



TYPICAL BIO-RETENTION **MEDIA SECTION** 

. MSHA INLET PER MSHA

#4 REBAR @ 6" O.C.,

*518.50* 

EACH WAY TO FORM

TRASH RACK

379.03

2 SSOCIATE 8 ŏ

Est. 1966

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SCALE: AS SHOWN HEREBY CERTIFY THAT THESE DOCUMENT. WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSEL

PROFESSIONAL ENGINEER UNDER THE L OF THE STATE OF MARYLAND. LICENSE No.: 27053 EXP. DATE: 1/25/2 PROJECT NO. 21-31742 DRAWING NO. \_\_\_ D-9034 DATE: OCTOBER 2022 WMH DRAWN BY:\_\_\_

SHEET 6 OF 11

CHECKED BY: SCC

TRASH RACK DETAIL (NTS)

NOTES FOR TRASH RACK

2. STEEL TO CONFORM TO ASTM A-36.

COMPOUND AFTER WELDING

1. TRASH RACK TO BE CENTERED OVER OPENING.

3. ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING

4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2"

MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE

D.8.2

SECTION A-A 1'' = 1'

*512.75* 

DETAIL - SWM OUTLET STRUCTURE

UNDERDRAIN

*512.50* 

THESE SPECIFICATIONS ARE APPROPRIATE TO ALL PONDS WITHIN THE SCOPE OF THE STANDARD FOR PRACTICE MD—378. ALL REFERENCES TO ASTM AND AASHTO SPECIFICATIONS APPLY TO THE MOST RECENT VERSION.

SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED TO NO STEEPER THAN 1:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF THE TOE OF THE EMBANKMENT.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH, AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE. FOR DRY STORMWATER MANAGEMENT PONDS, A MINIMUM OF A 25-FOOT RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.

ALL CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL

MATERIAL — THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT, AND CUT OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL AND MUST HAVE AT LEAST 30% PASSING THE #200 SIEVE. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGNED BY A GEOTECHNICAL ENGINEER. SUCH SPECIAL DESIGNS MUST HAVE CONSTRUCTION SUPERVISED BY A GEOTECHNICAL

MATERIALS USED IN THE OUTER SHELL OF THE EMBANKMENT MUST HAVE THE CAPABILITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO PREVENT EROSION

PLACEMENT — AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8 INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION — THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIRED OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL IT WILL NOT CRUMBLE, YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T—99 (STANDARD PROCTOR).

STRUCTURE BACKFILL

BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE, UNLESS THERE IS A COMPACTED FILL OF 24 OR GREATER OVER THE STRUCTURE OR PIPE.

STRUCTURE BACKFILL MAY BE FLOWABLE FILL MEETING THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 313 AS MODIFIED. THE MIXTURE SHALL HAVE A 100-200 PSI; 28 DAY UNCONFINED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PH OF 4.0 AND A MINIMUM RESISTIVITY OF 2,000 OHM-CM. MATERIAL SHALL BE PLACED SUCH THAT A MINIMUM OF 6" (MEASURED PERPENDICULAR TO THE OUTSIDE OF THE PIPE) OF FLOWABLE FILL SHALL BE UNDER (BEDDING), OVER AND, ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 7" TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. WHEN USING FLOWABLE FILL, ALL METAL PIPE SHALL BE BITUMINOUS COATED. ANY ADJOINING SOIL FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATIOF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A STRUCTURE OF PIPE UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL OUTSIDE THE STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED OR THE CORE OF THE EMBANKMENT OR OTHER EMBANKMENT MATERIALS.

### <u>PIPE\_CONDUITS</u>

ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.

<u>CORRUGATED METAL PIPE</u> — ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE:

1. MATERIALS — (POLYMER COATED STEEL PIPE) — STEEL PIPES WITH POLYMERIC COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 0.01 INCH (10 MIL) ON BOTH SIDES OF THE PIPE. THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M—245 & M—246 WITH WATERTIGHT COUPLING BANDS OR FLANGES.

MATERIALS — (ALUMINUM COATED STEEL PIPE) — THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M—274
WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM COATED STEEL PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS
WARRANT THE NEED FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M—190 TYPE A. ANY
ALUMINUM COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. ALUMINUM SURFACES THAT ARE TO
BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT.

MATERIALS — (ALUMINUM PIPE) — THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M—196 OR M—211 WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M—190 TYPE A. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT. HOT DIP GALVANIZED BOLTS MAY BE USED FOR CONNECTIONS. THE PH OF THE SURROUNDING SOILS SHALL BE BETWEEN 4 AND 9.

2. COUPLING BANDS, ANTI—SEEP COLLARS, END SECTIONS, ETC., MUST BE COMPOSED OF THE SAME MATERIAL AND COATINGS AS THE PIPE. METALS MUST BE INSULATED FROM DISSIMILAR MATERIALS WITH USE OF RUBBER OR PLASTIC INSULATING MATERIALS AT LEAST 24 MILS IN THICKNESS.

3. CONNECTIONS — ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. THE DRAIN PIPE OR BARREL CONNECTION TO THE RISER SHALL BE WELDED ALL AROUND WHEN THE PIPE AND RISER ARE METAL. ANTI—SEEP COLLARS SHALL BE CONNECTED TO THE PIPE IN SUCH A MANNER AS TO BE COMPLETELY WATERTIGHT.

ALL CONNECTIONS SHALL USE A RUBBER OR NEOPRENE GASKET WHEN JOINING PIPE SECTIONS. THE END OF EACH PIPE SHALL BE RE—ROLLED AN ADEQUATE NUMBER OF CORRUGATIONS TO ACCOMMODATE THE BANDWIDTH. THE FOLLOWING TYPE CONNECTIONS ARE ACCEPTABLE FOR PIPES LESS THAN 24 INCHES IN DIAMETER: FLANGES ON BOTH ENDS OF THE PIPE WITH A CIRCULAR 3/8 INCH CLOSED CELL NEOPRENE GASKET, PRE—PUNCHED TO THE FLANGE BOLT CIRCULE, SANDWICHED BETWEEN ADJACENT FLANGES; A 12—INCH WIDE STANDARD LAP TYPE BAND WITH 12—INCH WIDE BY 3/8—INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET; AND A 12—INCH WIDE HUGGER TYPE BAND WITH O—RING GASKETS HAVING A MINIMUM DIAMETER OF 1/2 INCH GREATER THAN THE CORRUGATION DEPTH. PIPES 24 INCHES IN DIAMETER AND LARGER SHALL BE CONNECTED BY A 24 INCH LONG ANNULAR CORRUGATED BAND USING A MINIMUM OF 4 (FOUR) RODS AND LUGS, 2 ON EACH CONNECTING PIPE END. A 24—INCH WIDE BY 3/8—INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET WILL BE INSTALLED WITH 12 INCHES ON THE END OF EACH PIPE. FLANGED JOINTS WITH 3/8 INCH CLOSED CELL GASKETS THE FULL WIDTH OF THE FLANGE IS ALSO ACCEPTABLE.

HELICALLY CORRUGATED PIPE SHALL HAVE EITHER CONTINUOUSLY WELDED SEAMS OR HAVE LOCK SEAMS WITH INTERNAL CAULKING OR A NEOPRENE BEAD.

4. BEDDING -- THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.

- 5. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".
- 6. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

REINFORCED CONCRETE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR REINFORCED CONCRETE PIPE:

1. MATERIALS — REINFORCED CONCRETE PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH RUBBER GASKETS AND SHALL EQUAL OR EXCEED ASTM C-361.

2. BEDDING — REINFORCED CONCRETE PIPE CONDUITS SHALL BE LAID IN A CONCRETE BEDDING / CRADLE FOR THEIR ENTIRE LENGTH. THIS BEDDING / CRADLE SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDES OF THE PIPE AT LEAST 50% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 6 INCHES. WHERE A CONCRETE CRADLE IS NOT NEEDED FOR STRUCTURAL REASONS, FLOWABLE FILL MAY BE USED AS DESCRIBED IN THE "STRUCTURE BACKFILL" SECTION OF THIS STANDARD. GRAVEL BEDDING IS NOT PERMITTED.

- 3. LAYING PIPE BELL AND SPIGOT PIPE SHALL BE PLACED WITH THE BELL END UPSTREAM. JOINTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL. AFTER THE JOINTS ARE SEALED FOR THE ENTIRE LINE, THE BEDDING SHALL BE PLACED SO THAT ALL SPACES UNDER THE PIPE ARE FILLED. CARE SHALL BE EXERCISED TO PREVENT ANY DEVIATION FROM THE ORIGINAL LINE AND GRADE OF THE PIPE. THE FIRST JOINT MUST BE LOCATED WITHIN 4 FEET FROM THE RISER.
- 4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".
- 5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

PLASTIC PIPE - THE FOLLOWING CRITERIA SHALL APPLY FOR PLASTIC PIPE:

1. MATERIALS — PVC PIPE SHALL BE PVC—1120 OR PVC—1220 CONFORMING TO ASTM D—1785 OR ASTM D—2241. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE, COUPLINGS AND FITTINGS SHALL CONFORM TO THE FOLLOWING: 4" — 10" INCH PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M252TYPE S, AND 12" THROUGH 24" INCH SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE S.

- 2. JOINTS AND CONNECTIONS TO ANTI-SEEP COLLARS SHALL BE COMPLETELY WATERTIGHT.
- 3. BEDDING —THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.
- 4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".
- 5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

DRAINAGE DIAPHRAGMS — WHEN A DRAINAGE DIAPHRAGM IS USED, A REGISTERED PROFESSIONAL ENGINEER WILL SUPERVISE THE DESIGN AND CONSTRUCTION INSPECTION.

CONCRETE

CONCRETE SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 414, MIX NO. 3.

ROCK RIPRAP SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 311.

GEOTEXTILE SHALL BE PLACED UNDER ALL RIPRAP AND SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 921.09, CLASS C.

### CARE OF WATER DURING CONSTRUCTION

ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FUNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER SUMPS FROM WHICH THE WATER SHALL BE PUMPED.

#### STABILIZATION

ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SIGHTLY CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING IN ACCORDANCE WITH THE NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AS SHOWN ON THE ACCOMPANYING DRAWINGS.

### EROSION AND SEDIMENT CONTROL

CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES.

### BIO-RETENTION AREA MAINTENANCE SCHEDULE

- THE BIO—RETENTION FACILITIES ARE PRIVATELY OWNED AND SHALL BE THE MAINTENANCE RESPONSIBILITY OF THE SITE OWNER.
- 2. REMOVE ANY ACCUMULATED TRASH OR DEBRIS FROM THE BIO-RETENTION AREA AS SOON AS IT IS OBSERVED.
- 3. THE BIO—RETENTION AREAS SHALL BE INSPECTED MONTHLY. IF WATER IS OBSERVED PONDING FOR LONGER THAN 48 HOURS THE TOP FEW INCHES OF FILTER MEDIA SHALL BE REMOVED AND REPLACED. ANY ACCUMULATED SILT OR SEDIMENT SHALL BE REMOVED WHEN THE THICKNESS OF THE ACCUMULATION EXCEEDS ONE (1) INCH.
- 4. AERATE TOP LAYER OF PLANTING SOIL IF REDUCED FILTRATION IS OBSERVED.
- 5. PERFORM PRUNING OF VEGETATION WITHIN BIO—RETENTION AREAS AS NECESSARY.
  REPLACE ANY DEAD VEGETATION OBSERVED IF PLANT SPECIES DO NOT FLOURISH,
  FURNISH AND INSTALL A MORE APPROPRIATE SPECIES. WATERING OF BIO—RETENTION
  AREA PLANTINGS MAY BE REQUIRED DURING PROLONGED DRY PERIODS.



Ernst Conservation Seeds

8884 Mercer Pike Meadville, PA 16335 (800) 873-3321 Fax (814) 336-5191 www.ernstseed.com

# Date: May 30, 20:

# Retention Basin Floor Mix - Low Maintenance - ERNMX-126

	Botanical Name	Common Name	Price/L
0.00 %	Panicum clandestinum, Tioga	Deertongue, Tioga	22,4
0.00 %	Puccinellia distans, Fults	Alkaligrass, Fults	6.0
3.00 %	Elymus virginicus, Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.1
5,00 %	Agrostis stolonifera, 'Penncross'	Creeping Bentgrass, 'Penncross'	14.4
5.00 %	Poa palustris	Fowl Bluegrass	16.8
0.00 %	Carex vulpinoidea, PA Ecotype	Fox Sedge, PA Ecotype	28,8
1.00 %	Carex scoparia, PA Ecotype	Blunt Broom Sedge, PA Ecotype	81.6
	Juncus effusus	Soft Rush	48.0

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1,000 sq ft with a cover crop. For a cover crop use one of the

following: grain rye (1 Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).

Stormwater Management

# ASSOCIATES INC

ANNERS ANNERS MILL COURT ® 1095-0880 (1)695-0880 (293-6009)293-6009

JRVEYORS • PLANNEF 82 WORMANS MILL C 40 SUITE 'G' 3 FREDERICK, MD. 217 0 PHONE: (301)695-00 5 FAX: (301)293-60

S

FOX & ASSOC ENGINEERS • SURVEY 981 MT. AETNA ROAD HAGERSTOWN, MD. 21740 PHONE: (301)733—8503 or (301)416—7250 FAX: (301)733—1853

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REVISED DRAINAGE
REVISED PER AGENCY COMMENTS
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REVISED PER COUNTY COMMENTS

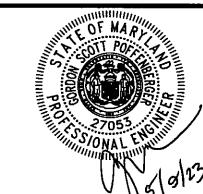
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AREA

'R PARKING AK
E ALONG OAKMONT DRIVE

TRAII SITU 231 E OAK E

SCALE: AS SHOWN



I HEREBY CERTIFY THAT TNESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 21-31742

DRAWING NO. D-9034

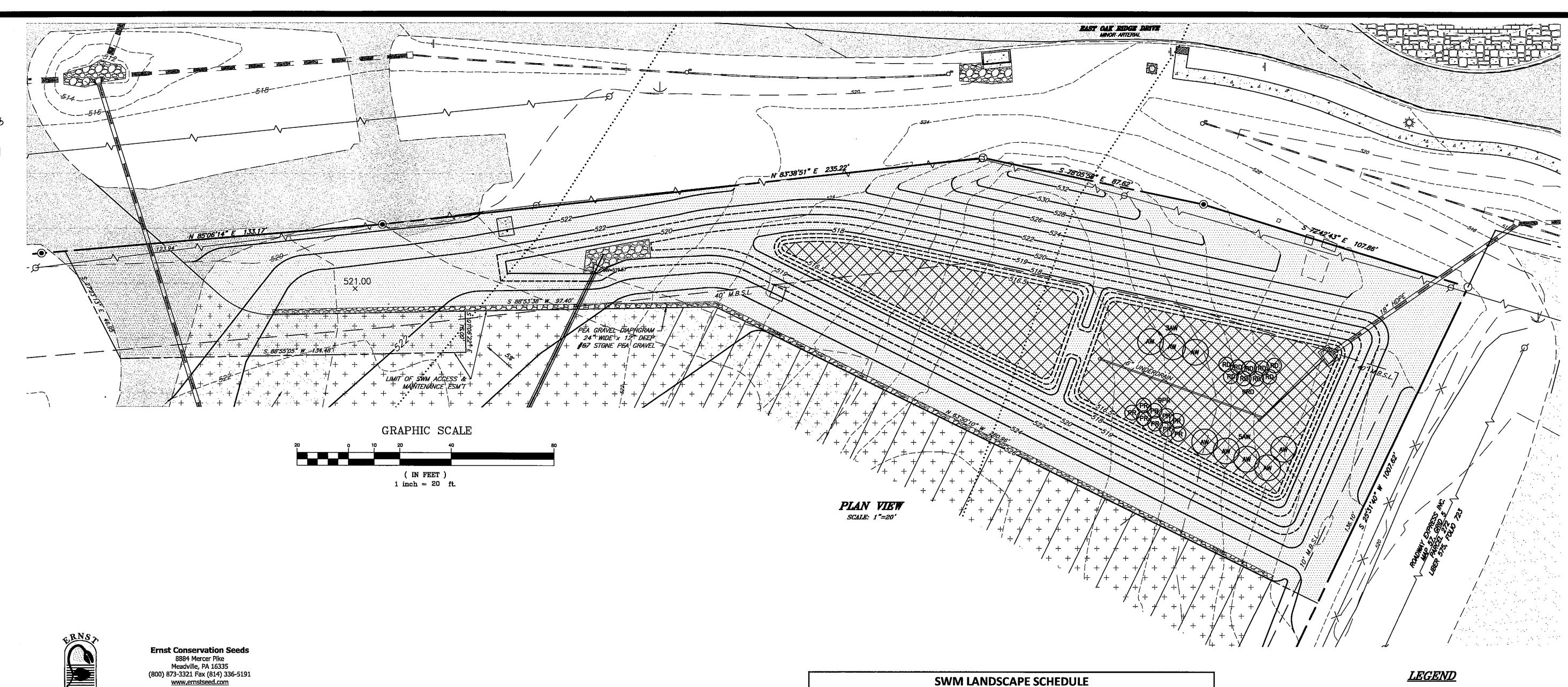
DATE: OCTOBER 2022

DRAWN BY: WMH

CHECKED BY: SCC

SHEET\_7\_OF\_11

Mix Price/Lb Bulk: \$16.38

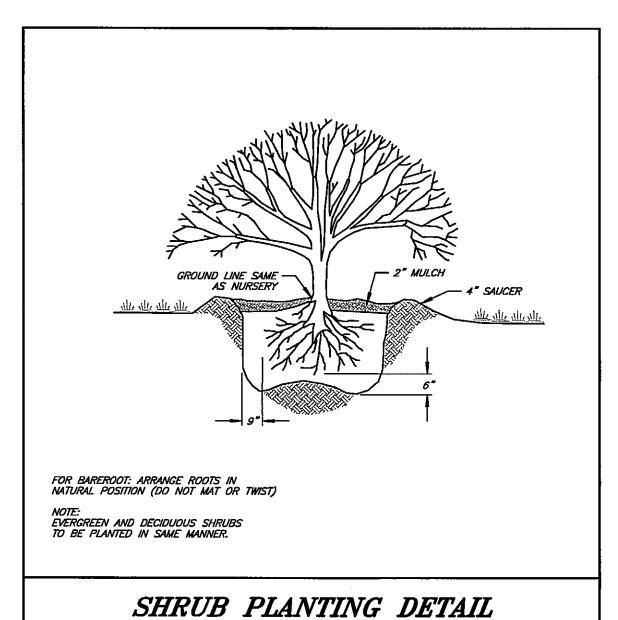


www.ernstseed.com

# Retention Basin Floor Mix - Low Maintenance - ERNMX-126

	Botanical Name	Common Name	Price/Lb
20.00 %	Panicum clandestinum, Tioga	Deertongue, Tioga	22,49
20.00 %	Puccinellia distans, Fults	Alkaligrass, Fults	6.00
18,00 %	Elymus virginicus, Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.16
15,00 <b>%</b>	Agrostis stolonifera, 'Penncross'	Creeping Bentgrass, 'Penncross'	14.40
15.00 %	Poa palustris	Fowl Bluegrass	16.80
10,00 %	Carex vulpinoidea, PA Ecotype	Fox Sedge, PA Ecotype	28.80
1.00 %	Carex scoparia, PA Ecotype	Blunt Broom Sedge, PA Ecotype	81,60
1.00 %	Juncus effusus	Soft Rush	48,00
100.00 %		Mix Price/Lb Bulk:	\$16.38

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1,000 sq ft with a cover crop. For a cover crop use one of the following: grain rye (1 Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre).



AW Arrowwood Viburnum

Redosier Dogwood

# LANDSCAPE NOTES

PR Pinxterbloom Azalea Rhododendron Periclymenoides

1. ALL SIZES AND SPECIES MENTIONED ARE TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST REVISION). 2. LANDSCAPE CONTRACTOR IS TO FOLLOW GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA (FIFTH EDITION). THESE GUIDELINES PRESENT METHODS FOR SOIL PREPARATION, ESTABLISHING TURF, AND INSTALLATION OF PLANT MATERIALS.

2 Gal. Min.

2 Gal. Min.

2 Gal. Min.

9

9 |

Cont.

Cont.

Cont.

- 3. PLANTS AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR UNDER GUIDELINES SET FORTH IN THE LANDSCAPE SPECIFICATION GUIDELINE FOR BALTIMORE AND WASHINGTON METROPOLITAN AREAS.
- 4. OWNER RESERVES THE RIGHT TO COORDINATE IMPLEMENTATION, AND TO OVERSEE STANDARDS, PRACTICES AND INSTALLATION OF PROPOSED

Viburnum Dentatum

Cornus Sericea

\* or similar

SHRUBS

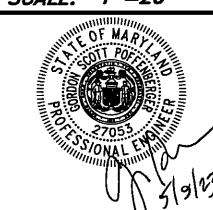
RD

ONLY SHRUB PLANTINGS USED IN THIS LANDSCAPE PLAN DUE TO CONCERNS OVER DEEP ROOTED TREE SPECIES ADVERSELY EFFECTING POND LINER.

<u> </u>				
	EXISTING HOT MIXED ASPHALT PAVEMENT			
	EXISTING STONE PAVEMENT			
+ + + + + + + + +	PROPOSED STONE SURFACE TRAILER PARKING AREA			
	BIO-MEDIA WITHIN SWM FACILITY			
	SWM ACCESS AND MAINTENANCE EASEMENT			

AW-ARROWWOOD VIBURNUM RD-REDOSIER DOGWOOD PR-PINXTERBLOOM AZALEA

SCALE: 1"=20"



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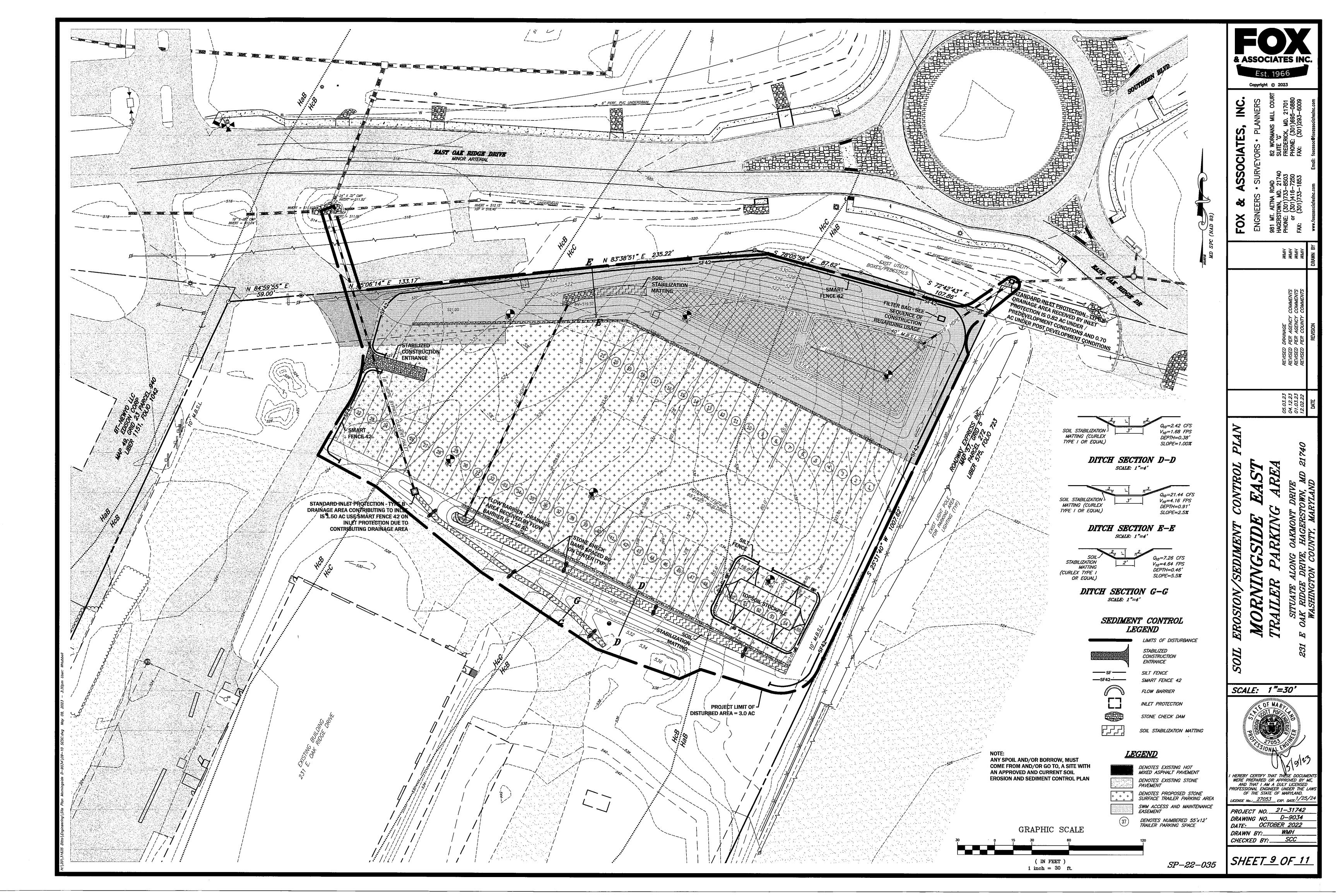
FOX

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PROJECT NO. 21-31742 DRAWING NO. D-9034 DATE: OCTOBER 2022 DRAWN BY: WMH CHECKED BY: SCC

SHEET<u>8</u> OF 11

Price quotes guaranteed for 30 days. All prices are FOB Meadville, PA. Please check our web site at www.ernstseed.com for current pricing when placing orders.



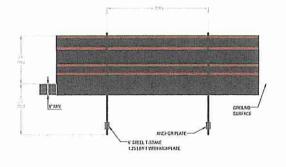
HIGH-TENSILE / HIGH-MODULUS **WOVEN GEOTEXTILE SEDIMENT** FENCE

SMARTfence 42 is a heavy-duty, high-tensile/ high-modulus, woven geotextile sediment fence. Designed using a value engineering approach, it is equivalent in strength and stiffness to that of wire or chain-link backed silt fence for less money, significantly lower carbon emissions and less material waste.

This woven geotextile fence is specifically designed and fabricated to withstand high tensile stresses and to prevent excessive material elongation and strain. It is built to resist fence deflection and ultimate failure due to ripping, sagging or overturning from forces associated with excessive backwater depths, debris flows and overtopping.

SMARTfence 42 is a 100% American made

NTPEP Compliant | GTX-2018-01-187



### ADVANTAGES:

- No wire or chain-link backing necessary

- High-tensile / high-modulus - able to resist fence deflection and failure - Reduced labor costs

# LET'S GET IT DONE

The below table shows a comparison of 14-gauge wire-backing fence and 9-gauge wire-backing fence structural characteristics versus SMARTfence 42. The modulus of elasticity is a measure of material stiffness.

		2 3/8" mesh	
Nverage Breaking ensile Strength (lb/ft)	710	4,100	>5,500 (average)
Average Modulus of Elasticity (lb/ft)	2,600 lengthwise 19,400 widthwise	21,100 lengthwise 21,700 widthwise	>46,700 lengthwise >41,000 widthwise

TEST METHOD	MINIMUM AVERAGE ROLE VALUE (MARV)	TEST METHOD	MINIMUM AVERAGE ROLE VALUE (MAR
Wide Width Tensile Strength	>5,070 lbs/ft - MD x	Mullen Burst	>750 psi
(ASTM D 4595)	>3,500 lbs/ft - TD	(ASTM D 3786)	
Wide Width Test Elongation	<10.5% - MD x	Apparent Opening Size	Sieve #70
(ASTM D 4595)	<9% - TD	(ASTM D 4751)	
Grab Tensile Strength	>530 lbs - MD x	Water Flux	>18 gpm/sf
(ASTM D 4632)	>280 lbs - TD	(ASTM D 4491)	
CBR Puncture	>1,800 lbs	UV Stability	>90% strength
(ASTM D 6241)		(ASTM D 4355)	retained - MD
Trapezoidal Tear (ASTM D 4533)	>195 lbs - MD x >170 lbs - TD		

# Average of 89.4% solids removal (ASTM D 5141)

SMARTfence® 42 is NTPEP Compliant GTX-2018-01-187

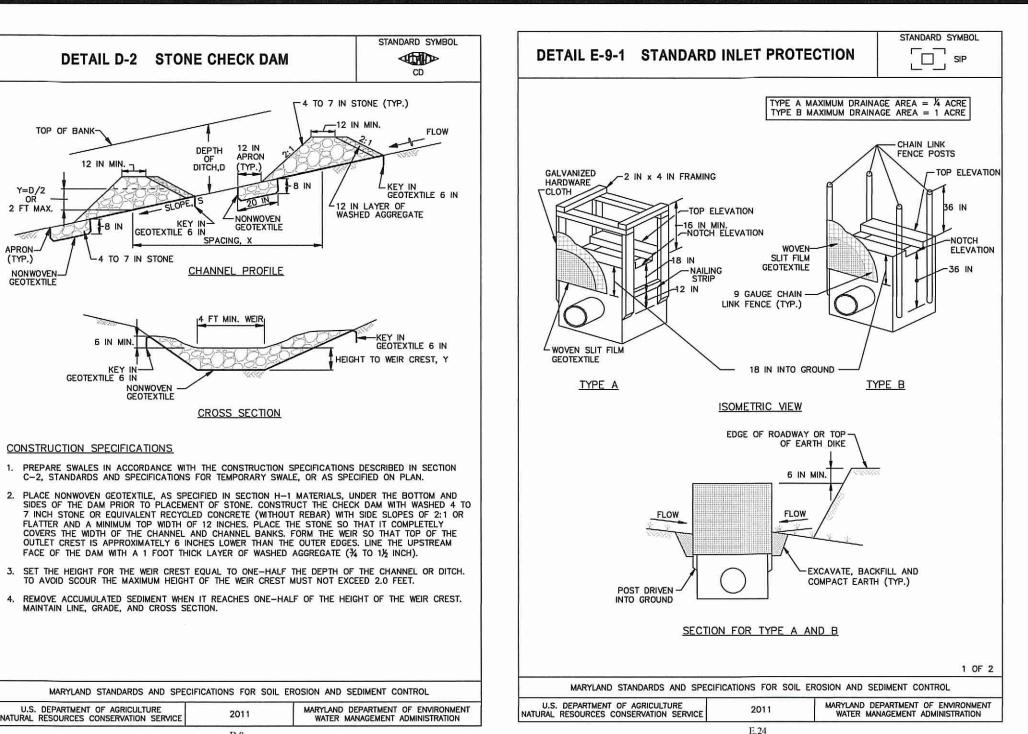


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Earth Science Division



# SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- 1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- 2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND
- SEDIMENT CONTROL". "SECTION B GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN. 3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE
- CONTROL", AND THE APPROVED PLAN. 4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION

INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

- 5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN: a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL
- 6. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
- 7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- 8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- 9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.

### 10. NO SLOPE SHALL BE GREATER THAN 2:1.

SCE ME

EXISTING PAVEMENT

-EARTH FILL

-PIPE (SEE NOTE 2)

MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION

DETAIL B-1 STABILIZED CONSTRUCTION

**PROFILE** 

PLAN VIEW

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN, VEHICLES

FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE, PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE, PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN, WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT NOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS

MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.

CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAUL

3. CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE

IN AREAS WHERE THE CONSTRUCTION TAKES PLACE OUTSIDE OF THE EXISTING

ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED

CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.

CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR

TO AN APPROVED LOCATION. NO WASTE MATERIALS TO BE PLACED ON PAVED

PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE

WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.

**ENTRANCE** 

CONSTRUCTION SPECIFICATIONS

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

STANDARD UTILITY NOTES

DISTURBED AREAS THE SAME WORKING DAY.

TO A FILTER BAG TO DEWATER.

MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.

11. AS REQUIRED BY SECTION B. OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

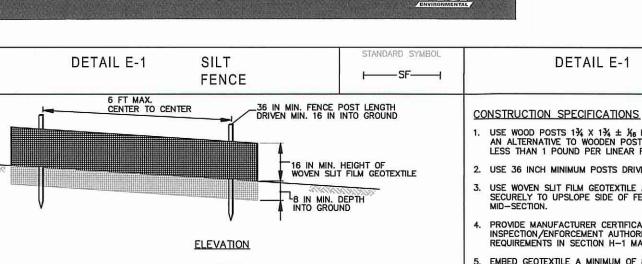
# FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:

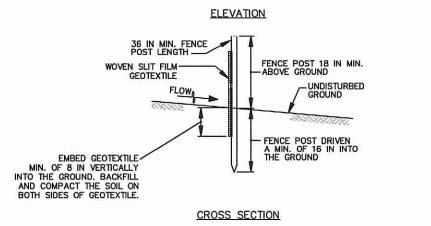
SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

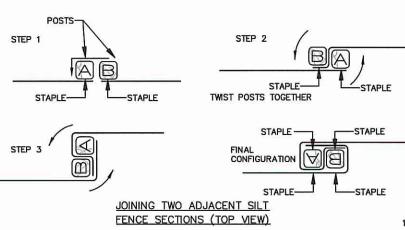
- A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY,
- N.P.D.E.S. PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 14GP, OR AN INDIVIDUAL PERMIT. B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- C. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND

THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT — NOTICE OF INTENT — N.O.I.). FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITE SHALL SUBMIT







F-4 STANDARDS AND SPECIFICATIONS

**FOR** 

FILTER BAG

Definition

Conditions Where Practice Applies

Design Criteria

The filter bag should be placed in a location that allows for ease of disposal of the trapped sediment and has

If the filter bag clogs, it needs to be replaced. Rips, tears, and punctures also necessitate replacement of the filter

bag. The connection between the pump hose and the filter bag needs to be kept water tight during operation. If

When dewatering is needed in association with excavations, trenches, cofferdams, sediment traps or basins.

A geotextile bag through which sediment-laden water is pumped.

minimal interference with construction activities and pedestrian traffic

To filter sediment-laden water prior to discharge

the bedding becomes displaced, it must be replaced.

1 OF 2 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

USE WOOD POSTS 1 $\frac{1}{4}$  X 1 $\frac{1}{4}$   $\pm$   $\frac{1}{16}$  Inch (Minimum) square cut of sound quality hardwood. As an alternative to wooden post use standard "t" or "u" section steel posts weighing not less than 1 pound per linear foot. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE

SILT

**FENCE** 

DETAIL E-1

EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN

EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE. Slopes: It is recommended the blankets be installed vertically on the slope; however, on short slopes it may be more practical to install horizontally across the width of the application. If more than one width is required, simply abut the edges together and Curlex blankets is not required. Curlex blankets shall be trenched at the head of the slope if the blanket cannot be extended three feet over the slope crest or if overland flow is anticipated from upslope areas.

Channels: Curlex blankets shall be centered to offset a seam in the middle of the waterway. They shall be installed in the same direction as the water flow. The adjoining blankets shall be installed away from the center of channel and overlapped. Curlex planket installation should continue up the side slopes three feet above the anticipated high water elevation. Flanks exposed to runoff, or sheet flow, must be protected by a check slot or trenched. Curlex blankets shall be trenched at the start of the channel and anchored using a staggered staple pattern at end of roll overlaps and end of roll

CURLEX® EROSION CONTROL BLANKETS

INSTALLATION GUIDELINES

Representative to ensure it has been properly compacted and fine graded to remove any

conditions are present. After the area has been properly shaped, seeded, fertilized, and

sure the roll is facing toward the area to be covered, and then roll out the product. The

product shall be rolled out flat, even, and smooth without stretching the material then

impacted, remove the Curlex protective cover. Next, locate the start of the roll, making

Before installing Curlex blankets, the seedbed shall be inspected by the Owner's

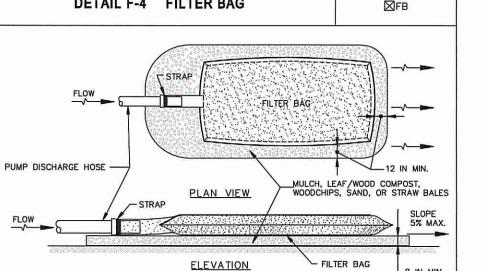
existing rills. It shall be free of obstructions, such as tree roots, projections such as

stones, and other foreign objects. The contractor shall proceed when satisfactory

Proud Participant in NTPEP & Proud Member of

((())

sclaimer: Curlex is a system for erosion control and revegetation on slopes and channels. Americal



CONSTRUCTION SPECIFICATIONS

TIGHTLY SEAL SLEEVE AROUND THE PUMP DISCHARGE HOSE WITH A STRAP OR SIMILAR DEVICE. . PLACE FILTER BAG ON SUITABLE BASE (E.G., MULCH, LEAF/WOOD COMPOST, WOODCHIPS, SAND, OR

CONTROL PUMPING RATE TO PREVENT EXCESSIVE PRESSURE WITHIN THE FILTER BAG IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS. AS THE BAG FILLS WITH SEDIMENT, REDUCE PUMPING RATE.

USE NONWOVEN GEOTEXTILE WITH DOUBLE STITCHED SEAMS USING HIGH STRENGTH THREAD. SIZE SLEEVE TO ACCOMMODATE A MAXIMUM 4 INCH DIAMETER PUMP DISCHARGE HOSE. THE BAG MUST BE MANUFACTURED FROM A NONWOVEN GEOTEXTILE THAT MEETS OR EXCEEDS MINIMUM AVERAGE ROLL

VALUES (MARV) FOR THE FOLLOWING: GRAB TENSILE PUNCTURE FLOW RATE 70 GAL/MIN/FT2 APPARENT OPENING SIZE (AOS) 0.15-0.18 MM

REPLACE FILTER BAG IF BAG CLOGS OR HAS RIPS, TEARS, OR PUNCTURES, DURING OPERATION KEEP

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011

STANDARD SYMBOL DETAIL F-4 FILTER BAG ⊠FB ELEVATION L8 IN MIN

STABILIZED AREA. EXTEND BASE A MINIMUM OF 12 INCHES FROM EDGES OF BAG.

REMOVE AND PROPERLY DISPOSE OF FILTER BAG UPON COMPLETION OF PUMPING OPERATIONS OR AFTER BAG HAS REACHED CAPACITY, WHICHEVER OCCURS FIRST. SPREAD THE DEWATERED SEDIMENT FROM THE BAG IN AN APPROVED UPLAND AREA AND STABILIZE WITH SEED AND MULCH BY THE END OF THE WORK DAY, RESTORE THE SURFACE AREA BENEATH THE BAG TO ORIGINAL CONDITION UPON

ASTM D-4833 ASTM D-4491 0% STRENGTH @ 500 HOURS

ASTM D-4491 ASTM D-4355

CONNECTION BETWEEN PUMP HOSE AND FILTER BAG WATER TIGHT, REPLACE BEDDING IF IT BECOMES DISPLACED.

xcelsior Company (AEC) believes that the information contained herein to be reliable and accurate for use erosion control and re-vegetation applications. However, since physical conditions vary from job site to ib site and even within a given job site, AEC makes no performance guarantees and assumes no obligation r liability for the reliability or accuracy of information contained herein for the results, safety, or suitability of sing Curlex, or for damages occurring in connection with the installation of any erosic MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL nether or not made by AEC or its affiliates, except as separately and specifically made in writing. These 850 Avenue H East \* Arlington, Texas 76011 Phone 1-800-777-SOIL \* Fax 817-385-3585 \* www.Curlex.com American Proud Participant in NTPEP & Proud Member of: Excelsion Company  $\bigcirc$ Earth Science Division CURLEX® I (.73) MATERIAL SPECIFICATIONS Materials: Great Lakes Aspen Excelsion Polypropylene Netting QuickGRASS® (green excelsior – optional)

Roll Sizes: Width: 4.0 ft (1.2 m) Length: 180.0 ft (54.9 m) r: 80.0 yd<sup>2</sup> (66.9 m<sup>2</sup>) Weight: 58.4 lb (26.5 kg)

Curlex I erosion control blanket is a natural, stitched excelsior blanket that provides a temporary organic cover to reduce erosion, protect seeds, enhance germination, and hasten re-vegetation. Curlex I is furnished in rolls with polyethylene wrapping to protect against the elements prior to installation, and may be ordered stretch-netted in Master-Paks of six rolls each to minimize material handling requirements. Curlex I has a design C-factor (RUSLE Cover Management Factor) of .018 and is

typically suitable for slopes up to 2:1. Curlex I is rated for channel flows up to 5.0 ft/s

Great Lakes Aspen Excelsior with no weed seeds

Physical Properties: Fiber:

Fiber Size:

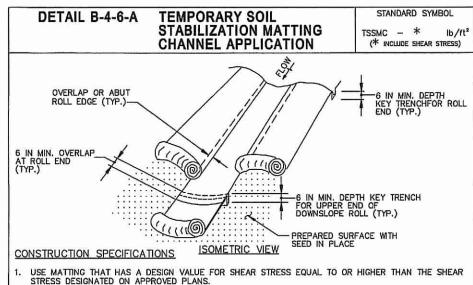
Net Openings

(1.5 m/s) and 1.55 lb/ft2 (74 Pa) shear stress.

Curled, interlocking fibers with barbed edges 80% of fibers a minimum of 6" (15.2 cm) lon 0.038" ± 0.008" wide x 0.018" ± 0.003" thick 0.97 mm ± 0.20 mm wide x 0.46 mm ± 0.08 mm thick)  $0.73 \text{ lb/yd}^2 (0.40 \text{ kg/m}^2) \pm 10\%$ olypropylene (green or white with UV degrader additive) 0.75" wide x 1.625" long (19.1 mm wide x 41.3 mm long) green 1.0" wide x 1.0" long (25.4 mm wide x 25.4 mm long) white

All measurements are based on product at time of manufacture.

850 Avenue H East \* Arlington, Texas 76011 Phone 1-800-777-SOIL \* Fax 817-385-3585 \* www.Curlex.com SOIL STABILIZATION MATTING SHALL BE CURLEX I AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY OR EQUAL.

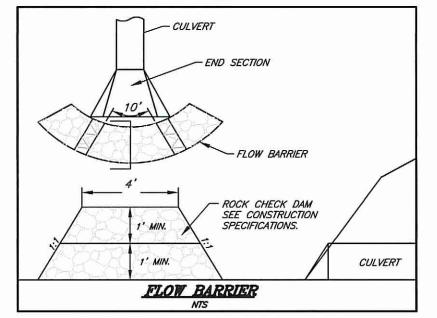


USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.

USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM)
NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND
DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT, CHEMICALS USED IN THE MAT
MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS
TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF
2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG, "T" SHAPED STAPLES MUST HAVE A MINIMUM B INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH—SAWN HARDWOOD, 2 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND

. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MAT SMOOTHLY AND FIRMLY ON THE SEEDED SURFACE, AVOID STRETCHING THE MATTING. . KEY—IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END. OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.

 ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011



# TEMPORARY SEEDING SUMMARY

	SEED MIX	TURE (HARDINES. FROM TABLE B.	FERTILIZER			
No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE
2	BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 8/1 - 10/15	1.0"	436 LBS./AC. (10 LBS/1000 S.F.)	2 TONS/AC. (90 LBS/1000 S.F.)
SA	ECTION R-4-4 OF T		ARY SEEDING SHAL		WITH FROSION AND SEDIM	VENT CONTROL

# PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.3				FERTILIZER RATE (10–20–20)			LIME	
No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	RATE
6	TALL FESCUE WHITE CLOVER PERENNIAL RYE GRASS	40 8 25	3/1 - 5/15 8/1 - 10/15	1 - 12"	45 LB/AC (1.0 LB/ 1000 S.F.)	90 LB/AC (2 LB/ 1000 S.F.)	90 LB/AC (2 LB/ 1000 S.F.)	2 TONS/AC (90 LB/ 1000 S.F.)
	SECTION B-4-5 OF THE		T SEEDING SHALI IND STANDARDS			AND SEDI	MENT CON	TROL

### SEQUENCE OF CONSTRUCTION PRE-CONSTRUCTION NOTIFICATION TO SCHEDULE A PRE-CONSTRUCTION MEETING. NOTIFY THE

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 EXTENSION 3 AND THE WASHINGTON COUNTY DEPARTMENT OF PERMITS AND INSPECTIONS AT 240-313-2400 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.

- ANY SPOIL AND/OR BORROW, MUST COME FROM AND/OR GO TO, A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.
- 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATIONS INDICATED.
- 4. PLACE SMART FENCE 42 AND SILT FENCES TO THE LIMITS SHOWN ON THE SESC PLAN.
- 5. PLACE INLET PROTECTION AT EXISTING INLET THAT SWM OUTLET PIPE WILL CONNECT TO.
- 6. REMOVE TOPSOIL AND STOCKPILE IN THE AREA OF THE 18" BYPASS CULVERT/INLET AND DRAINAGE CHANNEL G-G INSTALLATION.
- 7. STABILIZE TOPSOIL STOCKPILE IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.
- 8. INSTALL 18" BY-PASS CULVERT/INLET TO LINES AND GRADES SHOWN ON PROFILE.
- 9. PLACE STANDARD INLET PROTECTION TYPE B ON NEWLY INSTALLED INLET. DUE TO 1.50-ACRE DRAINAGE AREA CONTRIBUTING TO INLET USE SMART FENCE 42 IN LIEU OF STANDARD SILT FENCE.
- 10. GRADE FOR INSTALLATION OF DRAINAGE CHANNEL G-G. START AT DOWNSTREAM END AND WORK UPSTREAM. PLACE SOIL STABILIZATION MATTING AS CHANNEL CONSTRUCTION ADVANCES UPSTREAM.
- 11. PLACE STONE CHECK DAMS IN DRAINAGE CHANNEL G-G UPON COMPLETION. 12. REMOVE TOPSOIL AND STOCKPILE IN THE AREA OF THE 18" BY-PASS CULVERT AND DRAINAGE CHANNEL
- 13. STABILIZE TOPSOIL STOCKPILE IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.
- 14. BEGIN SITE EXCAVATION TO INCLUDE TRAILER PARKING AREA AND SWM FACILITY.
- 15. INSTALL CULVERT UNDER TRAILER STORAGE AREA PER THE PROFILE PROVIDED ON THE APPROVED PLANS.
- 16. PLEASE FLOW BARRIER ON UPSTREAM END OF 18" CULVERT. 17. PLACE RIPRAP APRON AT DISCHARGE OF 18" CULVERT PER THE SPECIFICATIONS LISTED.
- 18. GRADE DRAINAGE CHANNEL LEADING TO 18" CULVERT.
- 19. PLACE TOPSOIL ON NEWLY GRADED DRAINAGE CHANNEL AND PERMANENTLY STABILIZE IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES.
- 20. PLACE SOIL STABILIZATION MATTING IN NEWLY STABILIZED CHANNEL AND INSTALL STONE CHECK DAMS TO THE LIMITS INDICATED. 21. SPREAD TOPSOIL OVER AREAS ADJACENT TO TRAILER PARKING AREA TO BE SEEDED AND STABILIZE IN
- ACCORDANCE WITH SEEDING NOTES. 22. FINE GRADE TRAILER PARKING AREA TO SUBGRADE ELEVATION REQUIRED TO RECEIVE STONE SURFACING. 23. PLACE STONE SURFACING IN TRAILER PARKING AREA.
- 24. ONCE AREAS CONTRIBUTING TO THE PROPOSED SWM FEATURE ARE COMPLETELY STABILIZED CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 EXTENSION 3 AND THE WASHINGTON COUNTY DEPARTMENT OF PERMITS AND INSPECTIONS AT 240-313-2400 TO REQUEST AN INTERIM INSPECTION AND THEIR APPROVAL TO BEGIN THE INSTALLATION OF THE SITE SWM FEATURE, SPECIFICALLY THE POND LINER AND FILTER MEDIA.
- 25. INSTALL GRAVEL DIAPHRAGM PRE-TREATMENT TRENCHES ALONG PERIMETER OF GRAVEL PARKING AREA. 26. THE PROJECT'S SWM FEATURE IS NOT DESIGNED AS A TEMPORARY SEDIMENT BASIN. DURING CONSTRUCTION OF THE SITE'S SWM FEATURE THERE IS THE LIKELIHOOD THAT STORMWATER COULD
- ACCUMULATED STORMWATER SHALL BE DEWATERED THROUGH A PUMPING OPERATION UTILIZING A FILTER BAG. REFER TO FILTER BAG DETAIL PROVIDED ON THE PROJECT PLANS. 27. INSTALL SWM OUTLET PIPE INCLUDING ANTI-SEEP COLLARS, OBSERVE THE STANDARD UTILITY NOTES DURING THE INSTALLATION OF THE SWM OUTLET PIPE. ONCE PIPE IS INSTALLED PLACE TOPSOIL AND

ACCUMULATE IN THE SWM FEATURE. IF THIS CONDITION DOES OCCUR THE AREA CONTAINING

- SEED AND MULCH DISTURBED AREA ASSOCIATED WITH INSTALLATION OF SWM OUTLET PIPE. 28. EXCAVATE SWM AREA TO REQUIRED SUBGRADE ELEVATION TO RECEIVE 30 MIL PVC LINER. 29. INSTALL LINER IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
- 5. IF DEWATERING OF THE TRENCH IS REQUITED, CONTRACTOR TO PUMP WATER REQUEST THAT THE GEOTECHNICAL ENGINEER CONDUCT A PRE-INSTALLATION INSPECTION PRIOR TO THE LINER BEING INSTALLED CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY 30. ONCE THE ENTIRE CONTRIBUTING AREA IS STABILIZED PLACE THE 6" PERFORATED UNDERDRAIN, STONE BACKFILL, AND PLANTING SOIL. USE EXTREME CARE WHEN PLACING UNDERDRAIN, STONE, AND PLANTING
  - 31. INSTALL PLANTINGS WITHIN SWM AREA PER THE PLANTING SCHEDULE. SEED THE BOTTOM OF THE SWM AREA USING THE SPECIFIED ERNST SEED MIX.
  - 32. SPREAD TOPSOIL OVER ANY REMAINING AREAS TO BE SEEDED AND STABILIZE IN ACCORDANCE WITH SEEDING NOTES. 33. ONCE ALL AREAS ARE PERMANENTLY STABILIZED CLEAN UP THE ENTIRE CONSTRUCTION SITE.
  - 34. POST-CONSTRUCTION NOTIFICATION-WHEN THE SITE IS 95 % STABILIZED; NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 EXT. 3 AND THE WASHINGTON COUNTY DEPARTMENT OF ENGINEERING AND CONSTRUCTION AT 240-313-2400 PRIOR TO REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL MEASURES.

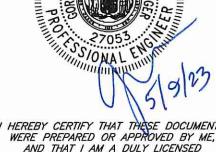
35. REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

# DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 3.0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 20,800 C.Y. OF EXCAVATION AND 2,100 C.Y. OF FILL.

\* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

OF MARY



SCALE: AS SHOWN

& ASSOCIATES INC

Est. 1966

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CIATE

SSO

PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MARYLAND. LICENSE No.: 27053 EXP. DATE: 1/25/2

PROJECT NO. 21-31742 DRAWING NO.\_\_\_\_ D-9034 DATE: OCTOBER 2022 WMH DRAWN BY:\_\_ CHECKED BY: SCC

SHEET 10 OF 11

SP-22-035

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. TEST PITS		ENGIN	HILLIS - CARNES NEERING ASSOCIATES, INC.	HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
	est Pit# TP-1 Job # H22123	Project Morningside East Location Hagerstown, Maryland	TEST PITS  Test Pit# TP-2  Job # H22123	TEST PITS           Project         Morningside East         Test Pit#         TP-3           Location         Hagerstown, Maryland         Job #         H22123
Datum MSL Equipment: Rubber Tire Ba	•		uipment: Rubber Tire Backhoe	Datum MSL Equipment: Rubber Tire Backhoe
Date Started August 29, 2022	Inspector C. Coleman  Date Completed August 29, 2022	Surf. Elev.  Date Started August 29, 2022	Inspector C. Coleman  Date Completed August 29, 2022	Surf. Elev. Inspector C. C Date Started August 29, 2022 Date Completed August
Test Pit SOIL DESCRIPTION DEPTH Depth Color, Moisture, Density, Size, Proportion SCALE BLOW	DCP BORING & SAMPLING WS 1.75" NOTES	Test Pit SOIL DESCRIPTION	DEPTH DCP BORING & SAMPLING	Test Pit SOIL DESCRIPTION DEPTH DCP BORING & SAMPLI
(ft.) SURFACE 0.0	Topsoil: 12"	Depth Color,Moisture,Density,Size,Propor (ft.) SURFACE Topsoil/Fill Materials	rtion SCALE BLOWS 1.75" NOTES	Depth Color,Moisture,Density,Size,Proportion SCALE BLOWS 1.75" NOTES  (ft.) SURFACE 0.0  Topsoil/Fill Materials Topsoil: 12"
Reddish brown, moist, lean CLAY				
with sand (CL)	<u> </u>		2.5	
	-	Reddish brown, moist, lean CLAY with sand (CL)		Reddish brown, moist, lean CLAY with sand (CL)
Rock Refusal at 2.5' 5.0		Bottom of Test Pit: 4.0' Rock Refusal at 4.0'	5.0	5.0
			7.5	Bottom of Test Pit: 6.0'
			10.0	
			12.5	
			15.0	15.0
			17.5	
	<u></u>			
			20.0	
Ground Water Depth Encountered at: <u>Dry</u>			Ground Water Depth ed at: Dry	Ground Water Depth Encountered at: Dry
After 24 hours: N/A		After 24	4 hours: N/A	After 24 hours: N/A
HILLIS - CARNES			HILLIS - CARNES	HILLIS - CARNES
ENGINEERING ASSOCIATES, INC. TEST PITS		ENGIN	IEERING ASSOCIATES, INC. TEST PITS	ENGINEERING ASSOCIATES, INC. TEST PITS
Project Morningside East Te Location Hagerstown, Maryland	est Pit# TP-4	Project Morningside East	Test Pit# TP-5	Project Morningside East Test Pit# TP-6
	Job # <u>H22123</u>	Location Hagerstown, Maryland	Job#H22123	Location Hagerstown, Maryland Job # H22123
Datum MSL Equipment: Rubber Tire Bac Surf. Elev.	Inspector C. Coleman	Surf. Elev.	uipment: Rubber Tire Backhoe Inspector C. Coleman	Datum MSL Equipment: Rubber Tire Backhoe Surf. Elev Inspector C. C.
Date Started August 29, 2022	Date CompletedAugust 29, 2022	Date Started August 29, 2022	Date Completed August 29, 2022	Date Started August 29, 2022 Date Completed August
Test Pit SOIL DESCRIPTION DEPTH Depth Color, Moisture, Density, Size, Proportion SCALE BLOW		Test Pit SOIL DESCRIPTION	DEPTH DCP BORING & SAMPLING	1
	DCP BORING & SAMPLING WS 1.75" NOTES	Depth Color, Moisture, Density, Size, Proport	tion   SCALE   BLOWS 1.75"   NOTES	Test Pit SOIL DESCRIPTION DEPTH DCP BORING & SAMPLII  Depth Color, Moisture, Density, Size, Proportion SCALE BLOWS 1.75" NOTES
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(ft.) SURFACE 0.0 Brown, moist, Silt with trace organics (ML) Reddish brown, moist, lean CLAY (CL)	WS 1.75" NOTES	Depth Color,Moisture,Density,Size,Proport  (ft.) SURFACE  Topsoil  Bottom of Test Pit: 0.5'	tion SCALE BLOWS 1.75" NOTES	Depth   Color,Moisture,Density,Size,Proportion   SCALE   BLOWS 1.75"   NOTES
(ft.) SURFACE 0.0  Brown, moist, Silt with trace organics (ML)  Reddish brown, moist, lean CLAY (CL)  Bottom of Test Pit: 2.0'	WS 1.75" NOTES	Depth Color,Moisture,Density,Size,Proport  (ft.) SURFACE  Topsoil  Bottom of Test Pit: 0.5'	tion SCALE BLOWS 1.75" NOTES	Depth (ft.) SURFACE 0.0 Topsoil/Fill Materials Topsoil: 12"  Reddish brown, moist, lean CLAY
(ft.) SURFACE 0.0  Brown, moist, Silt with trace organics (ML)  Reddish brown, moist, lean CLAY (CL)  Bottom of Test Pit: 2.0'  Rock Refusal at 2.0'	WS 1.75" NOTES	Depth Color,Moisture,Density,Size,Proport  (ft.) SURFACE  Topsoil  Bottom of Test Pit: 0.5'	tion SCALE BLOWS 1.75" NOTES  0.0	Depth (ft.) SURFACE 0.0 Topsoil/Fill Materials Topsoil: 12"  Reddish brown, moist, lean CLAY with sand (CL)
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(ft.)   SURFACE   0.0	WS 1.75" NOTES	Depth (ft.) SURFACE Topsoil Bottom of Test Pit: 0.5' Rock Refusal at 0.5'	tion SCALE BLOWS 1.75" NOTES  0.0	Depth (ft.)   SURFACE   0.0   Topsoil/Fill Materials   Topsoil: 12"
(ft.)   SURFACE   0.0	WS 1.75" NOTES	Depth (ft.) SURFACE Topsoil Bottom of Test Pit: 0.5' Rock Refusal at 0.5'	tion SCALE BLOWS 1.75" NOTES    0.0	Depth (ft.)   Color, Moisture, Density, Size, Proportion   SCALE   BLOWS 1.75"   NOTES
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(ft.)   SURFACE   0.0	WS 1.75" NOTES	Depth (ft.) SURFACE Topsoil  Bottom of Test Pit: 0.5' Rock Refusal at 0.5'	tion SCALE BLOWS 1.75" NOTES    0.0	Depth (ft.)   Color, Moisture, Density, Size, Proportion   SCALE   BLOWS 1.75"   NOTES
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I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 21-31742
DRAWING NO. D-9034
DATE: OCTOBER 2022
DRAWN BY: WMH
CHECKED BY: SCC

SCALE: NTS

& ASSOCIATES INC.
Est. 1966

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733—8503
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or (301)733—1853
FAX: (301)293—6009

WMH WMH WMH WMH

05.03.23 04.12.23 01.03.23 12.02.22

SHEET\_11 OF\_11

SP-22-035

#### **INSTRUCTIONS**

Each Planning Commission/Board must approve an Annual Report for the reporting calendar year 2022 (January 1, 2022 - December 31,2022), as required under §1-207(b) of the Land Use Article. In addition, the Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (MDP), via email to <a href="mailto:david.dahlstrom@maryland.gov">david.dahlstrom@maryland.gov</a> and cc: to <a href="mailto:mdp.planreview@maryland.gov">mdp.planreview@maryland.gov</a>.

A jurisdiction may use the attached template form, or any of the previous Annual Report forms. The requirements have not changed for calendar year 2022, however, an optional survey is included in Section VII. We encourage all jurisdictions to respond.

Section I- New Residential Permits, and Section II- Amendments and Growth-Related Changes, are required by all local jurisdictions.

**Section III- Development Capacity Analysis**, is required every three years.

**Section IV- Locally Funded Agriculture Preservation**, is required for counties only.

**Section V – Measures and Indicators,** is required for jurisdictions reporting more than 50 new residential permits in Section I.

**Section VI- Adequate Public Facility Ordinances**, is required every two years for jurisdictions with adopted Adequate Public Facility Ordinances (APFOs).

Section VII - Planning Survey Questions is optional

### Section I: New Residential Permits Issued (Inside and Outside the PFA)

§1-208(c)(1)(i) and (c)(3)(ii)

(A) In Table 1, New Residential Permits Issued (Inside and Outside the PFA) below, enter the number of new <u>residential building permits issued</u> in calendar year (2022). Enter 0 if no new residential building permits were issued in 2022.

Table 1: New Residential Permits Issued Inside and Outside the Priority Funding Area (PFA)

Residential – Calendar Year 2022	PFA	Non - PFA	Total
New Residential Permits Issued	188	54	242

# Section II: Amendments and Growth Related Changes In Development Patterns (§1-207(c)(1) through (c)(4))

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A)	Were any new comprehensive plan or plan elements adopted?If yes, briefly	<sup>,</sup> summariz	ze what
	was adopted.	Y 🗌	$N \boxtimes$

No new comprehensive plan or plan elements were formally adopted. A draft of the 2040 Washington County Comprehensive Plan is due to be released for public comment in June 2023. All elements of the plan have been presented to the Washington County Planning Commission to gain their input prior to taking the plan for adoption by the Board of County Commissioners.

(B) Were there any amendments to zoning regulations or zoning map? If yes, briefly summarize each amendment, include a map, or GIS shapefile, if available. Y  $\boxtimes$  N  $\square$ 

Case Number	Name	Location	Total Acres	From Zone	To Zone	Decision Date
RZ-21-006	Keedysville Town Boundary (Map Line Adjustment)	19228 Shepherdstown Pike	6.51	Town	Р	09/07/2021
RZ-22-001	Washington County Planning Commission (Text)	Sections 21A.1, 21B.1 & 21C.1 (Educational Facilities)	n/a	n/a	n/a	11/15/2022
RZ-22-002	JTA Investments LLC (MAP)	9170 Stottlemyer Road	5.64	RB (AR)	A(R)	08/09/2022
RZ-22-003	Dan & Sharon Blickenstaff (Map)	16363 Mount Tabor Road	2.64	RB (EC)	EC	11/15/2022

#### RZ-21-006

• Map Line Adjustment – Zoning Map correction to address a Town boundary line issue on the w/s of the Town of Keedysville, north of Coffman Farms Road. The Planning Director has the authority to adjust zoning district boundaries per Section 27.8 of the Zoning Ordinance. This adjustment removes 6.51 acres from the Town of Keedysville boundary, placing it in the County Preservation Zoning district. This adjustment was mistakenly omitted from the 2021 Annual Report.

#### RZ-22-001

Text application - Zoning Ordinance text amendment to Sections 21A1, 21B.1 and 21C.1
pertaining to Educational Facilities in the ORT, ORI and ERT sections of the Zoning Ordinance.
The amendment is to provide consistency in addressing accessory uses associated with educational facility campuses.

#### RZ-22-002

 Piecemeal application — Zoning Ordinance map amendment to remove a Rural Business floating zone over 5.64 acres, located at 9170 Stottlemyer Road. The underlying zoning of Agriculture-Rural will be re-activated on the property as the property owners are no longer interested in pursuing commercial activities on the site.

#### RZ-22-003

- Piecemeal application Zoning Ordinance map amendment to remove a Rural Business floating zone over 2.64 acres, located at 16333 Mount Tabor Road. The underlying zoning of Environmental Conservation will be re-activated on the property as the property owners are no longer interested in pursuing commercial activities on the site.
- (C) Were there growth-related changes, including land use, annexations, zoning ordinance changes, new schools, changes in water or sewer service areas, municipal annexations that changed municipal or unincorporated area boundaries? If yes, describe or attach a map of the changes, and describe how they are consistent with internal, state, or adjoining jurisdiction plans.

 $Y \boxtimes N \square$ 

#### WS-22-001

• Washington County received a request to expand the priority sewerage service area boundary for the Town of Keedysville to include a property located at 39 Mt. Hebron Road with a designation change from S-7 (no planned service) to S-3 (programmed service). A portion of the property is located within the municipal boundary while the remainder is an active farm that has been permanently preserved through the Rural Legacy program. The reason for the request is due to the property's location within the Boonsboro wellhead protection area, where the Boonsboro/Keedysville Regional Water System obtains its water supply from two springs. The property owners are seeking to construct the one accessory residence allowed per their Rural Legacy contract and no other development rights remain.

#### Hagerstown Annexation: A-2002-001

• The Unger Annexation is located along the s/s of Virginia Avenue, north of West Oak Ridge Drive, consisting of 115.84 acres, and was effective on 9/9/2022. County Zoning was Residential Urban, proposed City zoning is Residential - Moderate Density.

#### Funkstown Annexation: RS-2021-1

• The Crampton Annexation is located along the w/s of South Edgewood Drive, north of Poplar Street, consisting of 4.79 acres, and was effective on 2/24/2022. County Zoning was Residential Suburban, proposed Town zoning is Suburban Residential.

#### Keedysville De-Annexation: R-2022-1

- The Milburn De-Annexation is located along the w/s of Shepherdstown Pike, n/e of Coffman Farms Road, consisting of 30.04 acres, and was effective on 2/24/2022. Proposed County Zoning is Preservation, Town zoning was Suburban Residential.
- (D) If yes to municipal annexations, have copies of each adopted resolution been submitted to: Georgeanne Carter, Legislative Counsel Municipal Resolution Reposition Department of Legislative Services, 90 State Circle, Annapolis MD, 21401-1991? Y N N
   (E) Did your jurisdiction recommend improvements to the local planning and development process? If yes, please describe.

### Section III: Development Capacity Analysis (DCA)(§1-208(c)(1)(iii))

Note: MDP provides technical assistance to local governments in completing development capacity analyses. Please contact your MDP regional planner for more information.

- (A) Has an updated DCA been submitted with your annual report or to MDP within the last three years? Y  $\square$  N  $\boxtimes$ 
  - 1. If no, explain why not, such as, no substantial growth changes.

An updated development capacity analysis is being completed as part of our 2040 Comprehensive Plan update due to be released for public review and comment in June 2023.

2. If yes, when was the last DCA submitted? Identify month and year:

Note: A DCA is not due if a comprehensive plan was updated in the past three years (2020-2022). MDP recommends that jurisdictions share DCAs with local school boards.

Was the DCA shared with the local school board facilities planner? Y  $\square$  N  $\square$ 

**(B)** Using the most current DCA available, provide the following data on capacity inside and outside the PFA in *Table 2, Residential Development Capacity (Inside and Outside the PFA)*:

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

# Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) (§1-208(C)(1)(iv and v)

(A) How many acres were preserved using <u>local</u> agricultural land preservation funding? Enter 0 if no land was preserved using **local** funds. Enter the value of local program funds, if available.

**Table 3: Locally Funded Agricultural Land Preservation** 

Local Preservation Program Type	Acres	Value (\$)
CREP Easements (1)	307.67	\$932,559.86
MALPF Easements (2)	293.29	\$1,448,326.40
Rural Legacy Easements (3)	369.49	\$1,199,826.95
MARBIDCO (2)	252.35	\$901,690.00
Total	1222.80	\$4,482,403.21

<sup>\*</sup>State funded agricultural land preservation acres and values are not required to be reported as state funding is documented.

(B) What is the county's established local land use percentage goal? This percentage should include land uses within PFAs, not including PFA comment areas %

Washington County does not have a percentage goal for land preservation efforts. We have had a long-established acreage goal of 50,000 acres.

- **(C)** What is the timeframe for achieving the local land use percentage goal? 20-30 Years.
- (D) Has there been any progress in achieving the local land use percentage goal?

Yes, more than 38,000 acres of land has been permanently preserved across all programs since the start of the County's participation in agricultural land preservation 40 years ago.

**(E)** What are the resources necessary (e.g. legislative actions (programs incentives), functional planning, and capital funding) for infrastructure inside the PFAs?

Additional funding and streamlining regulations that have similar goals but require dedicated infrastructure to accomplish required mandates (i.e., programs that address water quality).

- **(F)** What are the resources necessary (e.g. legislative actions (program incentives and zoning changes), preservation planning, and easement funding) for land preservation outside the PFAs?
  - a. Promote the Agricultural Preservation program(s) as a method to incentivize farmers to preserve their land until funds become available for permanent easements.
  - b. Seek out permanent funding sources that can sustain agricultural easements and development rights acquisition.

- c. Place an emphasis on preserving large contiguous blocks of permanent farmland in excess of 1,000 acres by factoring this variable more heavily in the priority ranking system.
- d. Implement strategies that deter land uses that would remove large blocks of prime agricultural land from active farm production.
- e. Promote start up assistance and provide educational awareness to inspire a new generation of young farmers.
- f. Provide and highlight additional agritourism opportunities for farmers to expand operations with value added products and agricultural industry type uses.

### Section V: Measures and Indicators (§1-208(c)(1))

Note: Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new <u>residential</u> <u>building permits</u> in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non - PFA	Total
Total Minor Subdivisions Approved	9	11	20
Total Minor Subdivision Lots Approved	10	14	24
Total Residential Units Approved in Minor Subdivisions*	10	14	24
Gross Acres of All Approved Minor Subdivisions	63.71	79.50	143.21
Net Lot Area** in Acres of All Approved Minor Subdivisions	63.01	78.64	141.65
Total Major Subdivisions Approved	5	0	5
Total Major Subdivision Lots Approved	122	0	122
Total Residential Units Approved in Major Subdivisions	122	0	122
Gross Acres of All Approved Major Subdivisions	58.70	0	58.70
Net Lot Area** in Acres of All Approved Major Subdivisions	49.08	0	49.08
Total Residential Units Constructed	188	54	242
Total Residential Units Demolished***	16	3	19
Total Residential Units Reconstructed/Replaced***	3	7	10

<sup>\*</sup> Residential units may be greater than lots if they include duplexes, triplexes. or multifamily

Table 4B: Net Density of Residential Growth (Inside and Outside PFAs)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Residential Units Approved (Major + Minor Subdivisions)	132	14	146
Total Approved Net Lot Area (Major + Minor Subdivisions)	112.09	78.64	190.73

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Units Approved (Major + Minor Subdivisions)	132	14	146
% of Total Units (Approved Residential Units)	90.4%	9.6	100%

<sup>\*\*</sup>Net lot area is the sum of all developed lots, minus open spaces and right-of-way, other publicly dedicated land.

<sup>\*\*\*</sup>Not required.

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non - PFA	Total
Site Plans			
Total # of Commercial Site Plans Approved	24	7	31
Gross Acres of All Approved Commercial Site Plans	660.38	42.23	702.61
Gross Building Area Approved in Square Feet for Commercial Site Plans	6,248,956	14,410	6,263,366
Building Permits			
Total Commercial Building Permits Issued	28	8	36
Gross Building Area Constructed in Square Feet for issued Building Permits	5,577,359	12,188	5,589,547

# Section VI: Adequate Public Facility Ordinance (APFO) Restrictions (§7-104) (Section VI is only required by jurisdictions with adopted APFOs)

Note: Jurisdictions with adopted APFOs <u>must</u> submit a biennial APFO report. The APFO report is due by July 1 of each <u>even</u> year and covers the reporting period for the previous two calendar years. APFO reports for 2020 and 2021 are due July 1, 2022. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

\*The Washington County APFO has not restricted development during the 2022 reporting period. Therefore, no biennial APFO report is required.

(A) What type of infrastructure is monitored and may trigger development approval restrictions or require a developer to address deficiencies? (List each for schools, roads, water, sewer, stormwater, health care, fire, police or solid waste.)

The Washington County Adequate Public Facilities Ordinance applies to infrastructure including: Roads, Schools, Sewage Disposal Systems, Water Supply and Distribution Systems and Fire Protection.

- (B) Has APFO impacted development approvals? Y/N No, not during the 2022 reporting period.
- (c) If APFO has delayed, limited, or denied development, defined here as a "restriction":
  - a. Are there infrastructure or service facility deficiencies that have triggered denials of development requests, or held up development approvals? Y/N n/a

    Note: This does not include APFO required developer-funded projects, , or phased development approvals due to APFO limitations, or APFO required study areas for approval.
  - b. Can the impact area of facility deficiencies/ development restrictions, which temporarily delay development approvals, be mapped? Y/N n/a
    - (D) If yes for (C)(b), where is each restriction located? (Identify on a map, including PFA boundary.) n/a
- (E) Describe what is causing each restriction. The following restrictions, due to the County's APFO, could be identified in the future.
  - Schools: Some of the County's school districts are over the designated school capacity due to population growth and there are limited funds for new school construction.
  - Roads: The majority of restrictions are in the rural areas where some roads are not considered adequate by today's standards.
  - Sewer: Collection systems are aging, and need upgraded. Availability of treatment capacity is limited by water quality regulations.
  - Water: Distribution systems are aging, and need upgraded. Availability of water is limited by permitting and water quality regulations.
  - Fire: There are no restrictions at this time.

- **(F)** If applicable, what is the proposed resolution of each restriction? The following are proposed resolutions to future restrictions:
  - Schools: The County has adopted an Alternative Mitigation Contribution option for developers who will voluntarily pay a fee to help mitigate the impact of new development on school districts. Funds collected go towards expanding capacity in the educational system.
  - Roads: Restrictions are mitigated on a case-by-case basis.
  - Sewer: Developers are required to install and/or upgrade infrastructure to service their development. There is no local control that can resolve the issue of diminishing availability due to State and Federal water quality regulations.
  - Water: Same as Sewer
  - Fire: No restrictions at this time.
- (G) If applicable, what is the estimated date to resolve each restriction?

All categories are mitigated on a case-by-case basis and have no established timeline for resolution.

- (H) If a development restriction has been addressed, what was the resolution that lifted each restriction? n/a
- (I) If a development restriction has been addressed, when was each restriction lifted? n/a

# **Section VII: Planning Survey Questions (Optional)**

This information can help MDP and MDOT staff to identify potential pedestrian/bicycle projects and their funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan	? Y	N□
<ol> <li>Plan name</li> <li>Date Completed (MM/DD/YR)</li> <li>Has the plan been adopted?</li> <li>Is the plan available online?</li> <li>How often do you intend to update it? (Every</li> <li>Are existing and planned bicycle and pedestrian</li> </ol>		N
<b>(B)</b> Does your jurisdiction have a transportation functional process comprehensive plan?	lan in addition to a Y 🗌	N 🗌
<ol> <li>Plan name</li> <li>Date completed (MM/DD/YY)</li> <li>Has plan been adopted?</li> <li>Is the plan available online?</li> <li>How often do you intend to update it? (Every</li> </ol>	Y ☐ Y ☐ years)	N
(C) Has your jurisdiction completed and submitted a five year mi implementation review report this year?	d-cycle comprehensive plan	N 🗌
Note: To find out if your jurisdiction is scheduled consult the Transition Schedule (Counties) <a href="https://planning.maryland.gov/pages/OurWork/year.aspx">https://planning.maryland.gov/pages/OurWork/year.aspx</a>	section located at:	
If yes, please include the 5-Year Report as an attachmen	t.	
END		

### **Submitting Annual Reports and Technical Assistance**

(A) Annual Reports may be submitted via email (preferred) to <a href="mailto:david.dahlstrom@maryland.gov">david.dahlstrom@maryland.gov</a> with a cc: to mdp.planreview@maryland.gov, or if emailing is not possible one copy may be mailed to:

Office of the Secretary Maryland Department of Planning 301 W. Preston Street, Suite 1101 Baltimore, Maryland 21201-2305 Attn: David Dahlstrom, AICP

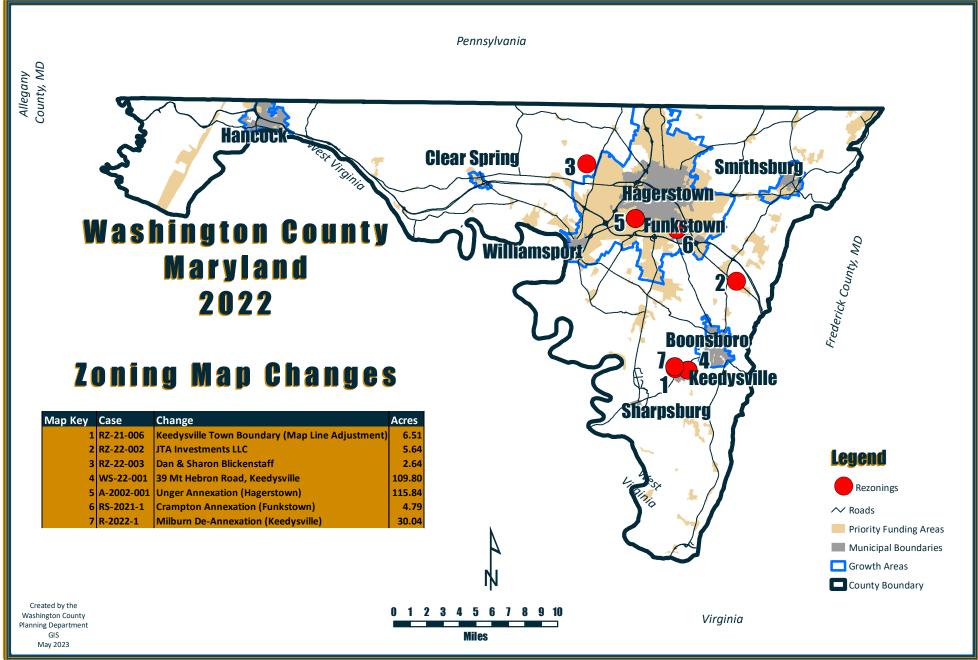
- (B) Annual reports should include a cover letter indicating that it has been approved by the planning commission and that a copy has been filed with the local legislative body. The cover letter should also indicate a point of contact(s) should MDP have questions about the report.
- **(C)** If you need assistance to prepare or submit reports, MDP regional planners are available to assist. Contact information is found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml
- **(D)** You may wish to send <u>additional</u> copies directly to your MDP regional planner or school board facilities planner.
- (E) Copies of this annual report worksheet, and links to legislation about annual report requirements can be found on the Maryland Department of Planning website:

  Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml
- **(F)** If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at <a href="mailto:david.dahlstrom@maryland.gov">david.dahlstrom@maryland.gov</a>.

# Washington County



# Maryland



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				L	and Development Reviews		
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
AR-23-001	APFO Road Adequacy	   Paid 	24-Apr-23	13870 PATRIOT WAY, LOT 128, FREEDOM HILLS, SEC. C-1	13870 PATRIOT WAY HAGERSTOWN, MD 21740	 	FREEDOM HILL HOMES LLC
FS-23-009	Forest Stand Delineation	Approved	11-Apr-23	FOREST STAND DELINEATION	10215 SHARPSBURG PIKE HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	INTERSTATE 70 PARTNERS LLC
FS-23-010	Forest Stand Delineation	     Approved	     13-Apr-23 	FOREST STAND DELINEATION FOR GRUMBACKER LANE, LLC	 	  -  FREDERICK SEIBERT & ASSOCIATES	  -  10319 GRUMBACKER LANE LLC
SIM23-025	IMA	Requested	13-Apr-23	20100 MARBLE QUARRY ROAD KE AG STRUCTURE	20100 MARBLE QUARRY ROAD KEEDYSVILLE, MD 21756	 	ZHANDOSOV DULAT
SIM23-026	IMA	Active	13-Apr-23	20041 PEAR TREE LANE	20041 PEAR TREE LANE KNOXVILLE, MD 21758	FREDERICK SEIRERT & ASSOCIATES	TOBERY CHARLES L & TOBERY TAMMY L
SIM23-027	IMA	Active	14-Apr-23	13142 EDGEMONT ROAD SM	13142 EDGEMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	PEACOE BRIAN KEITH PEACOE
SIM23-028	IMA	Active	21-Apr-23		15630 KAYLA LANE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	STONER THEODORE
SIM23-029	IMA	Active	21-Apr-23	2208 ROHRERSVILLE ROAD KN	2208 ROHRERSVILLE ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	MYERS EDITH M
SIM23-030	IMA	Active	21-Apr-23	9832 PEMBROKE DRIVE	9832 PEMBROKE DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	CARNES WILLIAM EARL CARNES DARLENE ALANA
TWN-23-004	Improvement Plan	In Review	03-Apr-23	BLUE MOUNTAIN ESTATES	12 BISHOP LANE SMITHSBURG, MD 21783	[ [	HOUSING AUTHORITY OF WASH CO
TWN-23-005	Improvement Plan	In Review	20-Apr-23		20 -19 WE POPLAR STREET FUNKSTOWN, MD 21734	 	FUNKSTOWN TOWN OF
OM-23-005	Ordinance Modification	In Review	12-Apr-23	RIGHT OF WAY MODIFICATION	1333 DUAL HIGHWA HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	GHATTAS ENTERPRISES MAUGANS AVENUE LIMITED PARTNERSHIP
OM-23-006	Ordinance Modification	I In Review	21-Apr-23	CASCADE TOWN CENTRE LOT 2 SUBDIVISION INTO 22 INDIVIDUAL TOWNHOME LOTS	    14203 CUSHMAN AVENUE  CASCADE, MD 21719	FOX & ASSOCIATES INC	CASCADE TOWN CENTRE DEVELOPMENT LL
PC-23-003	Preliminary Consultation	In Review	04-Apr-23	GREENCASTLE PIKE - EBY PROPERTY	13237 GREENCASTLE PIKE HAGERSTOWN, MD 21740	DYNAMIC ENGINEERING	EBY MICHAEL D & EBY MARIETTA L
PC-23-004	Preliminary Consultation	In Review	06-Apr-23		19112 KEEP TRYST ROAD KNOXVILLE, MD 21758	MORRIS & RITCHIE ASSOCIATES,	HEFFNER GEORGE D JR
SP-17-023.R01	Redline Revision	Approved	03-Apr-23	ATLANTIC HOMES LLC	SOUTH SIDE OF WEST OAK RIDGE DRIVE	FREDERICK SEIBERT & ASSOCIATES	BRAWNER TROY & BRAWNER ROBIN
SP-21-007.R01	Redline Revision	Approved	13-Apr-23	SHEEHY BUICK GMC REDLINE TO MOVE PYLON SIGN	JUST SOUTH OF I-70 EAST	FREDERICK SEIBERT & ASSOCIATES	SHEEHY HAGERSTOWN PROPERTY LLC
SI-23-001	Simplified Plat	Waiting for Final Paper Copies	05-Apr-23	PAUL & WILMA EBERLY PARCELS A&B	NORTH SIDE OF REIDTOWN ROAD	  FREDERICK SEIBERT & ASSOCIATES 	ESHLEMAN DON R & KARLENE J

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				i	and Development Reviews		
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
SI-23-002	Simplified Plat	Waiting for Final Paper Copies		WILLIAM BOWERS & PATRICK BOWERS PARCELS K&L	SOUTHSIDE OF NEWCOMER BENEVOLA ROAD	FREDERICK SEIBERT & ASSOCIATES	William R Bowers
SI-23-003	Simplified Plat	Approval Letter Issued	07-Apr-23	SIMPLIFIED PLAT - LANDS OF CHARLES REID & ALECIA REID	NORTHWEST SIDE OF PHEASANT TRAIL	FOX & ASSOCIATES INC	REID CHARLES REID ALECFIA
SP-23-010	Site Plan	In Review	03-Apr-23	PATTON WAREHOUSING & LOGISTICS	  18525 BREEZE HILL DRIVE  HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	Breeze Hill LLC
SP-23-011	Site Plan	In Review	03-Apr-23	DOWNSVILLE SOLAR II - SITE PLAN	17137 BLACK STALLION LANE HAGERSTOWN, MD 21740	KIMLEY-HORN & ASSOCIATES INC	VATERS MICHAEL D SR
SP-23-012	Site Plan	In Review	06-Apr-23	PARAMOUNT CELL	19224 LONGMEADOW ROAD HAGERSTOWN, MD 21742	MARC MAZULLO	K & S LONGMEADOW LLC
GP-23-007	Site Specific Grading Plan	In Review	11-Apr-23	COURIE DOON FARM	4314 LOCUST GROVE ROAD ROHRERSVILLE, MD 21779		COURIER DOON FARM LLC
SGP-23-019	Standard Grading Plan	Approved	06-Apr-23	ZURITA - ROSE COTTAGE LANE	8102 ROSE COTTAGE LANE FAIRPLAY, MD 21733	FREDERICK SEIBERT & ASSOCIATES	Bernabel S. Zurita Leon WHITCRAFT DEBRA L
SGP-23-020	Standard Grading Plan	Approved	10-Apr-23	FAITH MASSEY	11016 HICKORY SCHOOL ROAD WILLIAMSPORT, MD 21795		MASSEY JERRY E MASSEY DAWN C
SGP-23-021	Standard Grading Plan	Approved	11-Apr-23	JOSEPH W. GERACI AND DAWN GERACI, LOT 1	4947 MOUNT BRIAR ROAD KEEDYSVILLE, MD 21756		GERACI JOSEPH W & GERACI DAWN
SGP-23-022	Standard Grading Plan	In Review	12-Apr-23	KARISSA COCHRAN - 3710 HARPERS FERRY ROAD	3710 HARPERS FERRY ROAD SHARPSBURG, MD 21782	 	KALBFLESH SHERRY A
SGP-23-023	Standard Grading Plan	In Review	18-Apr-23	JEFFREY SHOWALTER	18926 REIDTOWN ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SHOWALTER JEFFREY LEE
SGP-23-024	Standard Grading Plan	Approved	21-Apr-23	  BERTKA/FEI	6248 RIVER ROAD SHARPSBURG, MD 21782		FEI YINGWEI BERTKA CONSTANCE M
SGP-23-025	Standard Grading Plan	In Review	24-Apr-23	HARPER PARK LOT 4 (MODEL HOME)	 	FREDERICK SEIBERT & ASSOCIATES	HARPER PARK LLC
SGP-23-026	Standard Grading Plan	Pending Payment	26-Apr-23	CURTIS AND CARI HOUSER	16801 SPRECHER ROAD SHARPSBURG, MD 21782	TRIAD ENGINEERING	HOUSER CURTIS HOUSER CARL
SWCP23-009	Stormwater Concept Plan	In Review	03-Apr-23	PROPOSED CONVENIENCE CENTER & GAS STATION - SWCP	  13610 PENNSYLVANIA AVENUE  HAGERSTOWN, MD 21742	BOHLER ENGINEERING P C	HAGERSTOWN PENNSYLVANIA LLC
SWCP23-010	Stormwater Concept Plan	In Review	11-Apr-23	KIEFFER FUNK SOLAR	11609 KIEFFER FUNK ROAD SMITHSBURG, MD 21783	BECKER MORGAN GROUP INC	JOACHIM WILLIAM LEE JOACHIM JAMES ALAN
SWCP23-011	Stormwater Concept Plan	In Review	13-Apr-23	GRUMBACK LANE, LLC TRAILER PARKING	i I	FREDERICK SEIBERT & ASSOCIATES	
SWCP23-012	Stormwater Concept Plan	In Review	27-Apr-23	LIGHTNER OVERNIGHT PARKING LOT	<u> </u> 	FREDERICK SEIBERT & ASSOCIATES	BOWMAN SPIELMAN LLC
SSWP23-018	Stormwater Standard Plan	Approved	06-Apr-23	ZURITA - ROSE COTTAGE LANE	8102 ROSE COTTAGE LANE FAIRPLAY, MD 21733		Barnabel Salvador Zurita Leon WHITCRAFT DEBRA L
SSWP23-019	Stormwater Standard Plan	Approved	11-Apr-23	FAITH MASSEY	11016 HICKORY SCHOOL ROAD WILLIAMSPORT, MD 21795	TRIAD ENGINEERING	MASSEY JERRY E MASSEY DAWN C

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					Land Development Reviews		
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
SSWP23-020	Stormwater Standard Plan	Revisions Required	12-Apr-23	KARISSA COCHRAN - 3710 HARPERS FERRY ROAD	  3710 HARPERS FERRY ROAD  SHARPSBURG, MD 21782	 	KALBFLESH SHERRY A
SSWP23-021	Stormwater Standard Plan	Approved	12-Apr-23	JOSEPH W. GERACI AND DAWN GERACI, LOT 1	4947 MOUNT BRIAR ROAD KEEDYSVILLE, MD 21756	TRIAD ENGINEERING	GERACI JOSEPH W & GERACI DAWN
SSWP23-022	Stormwater Standard Plan	In Review	18-Apr-23	  JEFFREY SHOWALTER	18926 REIDTOWN ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SHOWALTER JEFFREY LEE
SSWP23-023	Stormwater Standard Plan	Approved	21-Apr-23	BERTKA/FEI	6248 RIVER ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	FEI YINGWEI BERTKA CONSTANCE M
SSWP23-024	Stormwater Standard Plan	Pending Payment	26-Apr-23	CURTIS AND CARI HOUSER	16801 SPRECHER ROAD SHARPSBURG, MD 21782	 	HOUSER CURTIS HOUSER CARL
TIS-23-003	Traffic Impact Study	Traffic Impact Study Received	     05-Apr-23	    EBY PROPERTY 	13237 GREENCASTLE PIKE HAGERSTOWN, MD 21740	    STREET TRAFFIC STUDIES, LTD	    EBY MICHAEL D & EBY MARIETTA L
TYU-23-006	Two Year Update	In Review	     03-Apr-23 	2005 GREENCASTLE PIKE LLC - HUYETT BUSINESS PARK	S/W CORNER OF THE INTERSECTION OF BUSINESS PARKWAY AND WILLIAMSPORT-GREENCASTLE PIKE (MD RTE 63)	    FOX & ASSOCIATES INC 	2005 GREENCASTLE PIKE LLC ATTN: BRAD FULTON
TYU-23-007	Two Year Update	In Review		LUKE RUDOLPH - AGRICULTURAL IMPROVEMENT PLAN	  10814 MAPLEVILLE ROAD  HAGERSTOWN, MD 21742	TRIAD ENGINEERING	RUDOLPH LUKE R RUDOLPH FAYE E
TYU-23-008	Two Year Update	In Review	20-Apr-23	GAVER MEADOWS -	W OF INTERSECTION OF BEAVER CREEK ROAD & EMMERT ROAD	FREDERICK SEIBERT & ASSOCIATES	LYLES FAMILY VENTURE LLC
GPT-23-034	Type 2 Grading Plan	Approved		SITE SPECIFIC GRADING PLAN - GAVER MEADOWS LOT 43	  99 CHARLOTTE STREET  HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-035	Type 2 Grading Plan	Approved	16-Apr-23	GAVER MEADOWS LOT	61 RAYMOND CROSSI HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-23-036	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 43 - 9840 RIPPLE DR	9840 RIPPLE DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-23-037	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 48 - 9860 RIPPLE DR	9860 RIPPLE DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-23-038	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD 55 13506 MELLOTT LANE	13506 MELLOTT LANE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	
GPT-23-039	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 136 REVISED	10009 WILKES DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	FELIXS FOLLY LLC
GPT-23-040	Type 2 Grading Plan	Approved	27-Apr-23	ELMWOOD LOT 137 REVISED	10013 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC

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					Permits Reviews		
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
2023-01902	Entrance Permit	Approved	04-Apr-23	STICK BUILT HOME	S-18-004 13221 ONYX DRIVE, LOT 165	PAUL CRAMPTON CONTRACTORS	EMERALD POINTE INC
2023-02030	Entrance Permit	Approved	13-Apr-23	STICK BUILT HOME	S-18-035 9309 ALLOWAY DRIVE, LOT 86		WESTFIELDS INVESTMENT LLC
2023-02065	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10024 MAIDS FANCY WAY, LOT 229	 	
2023-02068	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10027 MAIDS FANCY WAY, LOT 189	1	
2023-02071	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10031 MAIDS FANCY WAY, LOT 190	 	
2023-02074	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10035 MAIDS FANCY WAY, LOT 216	[ 	
2023-02077	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10039 MAIDS FANCY WAY, LOT 217	[ [	
2023-02080	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10043 MAIDS FANCY WAY, LOT 218	 	
2023-02083	Entrance Permit	Approved	14-Apr-23	STICK BUILT HOME	S-21-001 10047 MAIDS FANCY WAY, LOT 219	 	
2023-02151	Entrance Permit	In Progress	18-Apr-23	STICK BUILT HOME	S-21-059 18926 REIDTOWN ROAD, LOT 1F	(	SHOWALTER JEFFREY LEE
2023-02180	Entrance Permit	Approved	19-Apr-23	STICK BUILT HOME	S-21-001 18807 FORSYTH COURT, LOT	l I	LGI HOMES MARYLAND LLC
2023-02186	Entrance Permit	Approved	19-Apr-23	STICK BUILT HOME	S-21-001 18803 FORSYTH COURT, LOT	 	LGI HOMES MARYLAND LLC
2023-02268	Entrance Permit	In Progress	24-Apr-23	STICK BUILT HOME	S-21-019 10009 WILKES DRIVE, LOT 136	T	FELIXS FOLLY LLC
2023-02273	Entrance Permit	In Progress	24-Apr-23	STICK BUILT HOME	S-21-019 10013 WILKES DRIVE, LOT 137	1	FELIXS FOLLY LLC
2023-02304	Entrance Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 9860 RIPPLE DRIVE, LOT 48	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
2023-02309	Entrance Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 13506 MELLOTT LANE, LOT 55	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2023-02372	Entrance Permit	Approved	28-Apr-23	STICK BUILT HOME	S-04-061 10127 MAIDS FANCY WAY, LOT 177	1	LGI HOMES MARYLAND LLC
2023-01903	Grading Permit	Approved	04-Apr-23	STICK BUILT HOME	S-18-004 13221 ONYX DRIVE, LOT 165	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2023-02016	<b>Grading Permit</b>	In Progress	12-Apr-23	STICK BUILT HOME	6248 RIVER ROAD, LOT 76	OLIVER HOMES INC	FEI YINGWEI BERTKA CONSTANCE M
2023-02031	Grading Permit	Approved	13-Apr-23	WESTFIELDS LOT 86	S-18-035 9309 ALLOWAY DRIVE, LOT 86		WESTFIELDS INVESTMENT LLC
2023-02043	Grading Permit	In Progress	13-Apr-23	STICK BUILT HOME	15630 KAYLA LANE WILLIAMSPORT, MD 21795	 	STONER THEODORE
2023-02066	Grading Permit	Approved	14-Apr-23	10024 MAIDS FANCY WAY	S-21-001 10024 MAIDS FANCY WAY, LOT 229		
2023-02069	Grading Permit	Approved	14-Apr-23	10027 MAIDS FANCY WAY LOT 189	S-21-001 10027 MAIDS FANCY WAY, LOT 189	 	
2023-02072	Grading Permit	Approved	14-Apr-23	10031 MAIDS FANCY WAY LOT 190	S-21-001 10031 MAIDS FANCY WAY, LOT 190	l	
2023-02075	Grading Permit	Approved	14-Apr-23	10035 MAIDS FANCY WAY LOT 216	S-21-001 10035 MAIDS FANCY WAY, LOT 216	l .	

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Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
2023-02078	Grading Permit	Approved	14-Apr-23	10039 MAIDS FANCY WAY LOT 217	S-21-001 10039 MAIDS FANCY WAY, LOT 217	 	 
2023-02081	Grading Permit	Approved	14-Apr-23	10043 MAIDS FANCY WAY LOT 218	S-21-001 10043 MAIDS FANCY WAY, LOT 218	 	<u> </u> 
2023-02084	Grading Permit	Approved	14-Apr-23	I .	S-21-001 10047 MAIDS FANCY WAY, LOT 219	l	 
2023-02085	Grading Permit	In Progress	14-Apr-23	STICK BUILT HOME	LOR 11016 HICKORY SCHOOL ROAD	MT. TABOR BUILDERS	MASSEY JERRY E MASSEY DAWN C
2023-02095	Grading Permit	Approved	16-Apr-23	GAVER MEADOWS LOT 43 GRADING	TWN-19-007 99 CHARLOTTE STREET, LOT	 	DAVID C LYLES DEVELOPERS LLC
2023-02096	Grading Permit	Approved	16-Apr-23	GAVER MEADOWS LOT 131 GRADING	TWN-19-007 61 RAYMOND CROSSING, LOT 131	 	DAVID C LYLES DEVELOPERS LLC
2023-02147	Grading Permit	In Progress	18-Apr-23	COMMERCIAL	LOR 6720 OLD NATIONAL PIKE		Anderson Enterprises LLC 19709 Roxbury Road
2023-02153	Grading Permit	In Progress	18-Apr-23	JEFFREY SHOWALTER	S-21-059 18926 REIDTOWN ROAD, LOT 1R		SHOWALTER JEFFREY LEE
2023-02182	Grading Permit	Approved	19-Apr-23	LOT 225	S-21-001 18807 FORSYTH COURT, LOT 225		LGI HOMES MARYLAND LLC
2023-02187	Grading Permit	   Approved	19-Apr-23	18803 FORSYTH COURT LOT 224	S-21-001 18803 FORSYTH COURT, LOT 224	 	LGI HOMES MARYLAND LLC
2023-02193	Grading Permit	Approved	19-Apr-23	GRADING PERMIT	11112 KEMPS MILL ROAD		WASH CO COMMISSIONERS
2023-02208	Grading Permit	Approved	20-Apr-23	STICK BUILT HOME	S-22-026 4947 MOUNT BRIAR ROAD	OLIVER HOMES INC	GERACI JOSEPH W & GERACI DAWN
2023-02271	Grading Permit	In Progress	24-Apr-23	ELMWOOD 136 REV 10009 WILKES DR	S-21-019 10009 WILKES DRIVE, LOT 136		FELIXS FOLLY LLC
2023-02275	Grading Permit	In Progress	24-Apr-23	ELMWOOD 137 REV 10013 WILKES DR	  S-21-019 10013 WILKES DRIVE, LOT 137		FELIXS FOLLY LLC
2023-02305	Grading Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 9860 RIPPLE DRIVE, LOT 48	MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
2023-02310	Grading Permit	In Progress	25-Apr-23	STICK BUILT HOME	S-21-019 13506 MELLOTT LANE, LOT 55	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2023-02326	Grading Permit	In Progress	18-Apr-23	STICK BUILT HOME	S-22-031 4380 LOCUST GROVE ROAD	HURD BUILDERS	COURIE DOON FARM LLC
2023-02373	Grading Permit	Approved	28-Apr-23	I .	S-04-061 10127 MAIDS FANCY WAY, LOT 177		LGI HOMES MARYLAND LLC
2023-02350	Non-Residential New Construction Permit	Review	27-Apr-23	COMMERCIAL	   SP-22-034 13725 OLIVER DRIVE, LOT 1A	UNITED ENTERPRISES CONSTRUCTION LLC	COMMUNITY RESCUE SERVICE INC
2023-02017	Utility Permit	Approved	12-Apr-23		13850 CRAYTON BOULEVARD	CONEWAGO ENTERPRISES	SHOWALTER FARM LLC
2023-01946	Utility Permit	Revisions Required	06-Apr-23	ANTIETAM BROADBAND	12635 LICKING CREEK ROAD	ANTIETAM CABLE TELEVISION INC	GODLOVE RONALD L
2023-01949	Utility Permit	Revisions Required	07-Apr-23	ANTIETAM BROADBAND	14536 WELLER ROAD	ANTIETAM CABLE TELEVISION INC	ANNS RETREAT LLC
2023-01951	Utility Permit	Revisions Required	07-Apr-23	ANTIETAM BROADBAND	21013 LEHMANS MILL ROAD	ANTIETAM CABLE TELEVISION INC	MARTIN TIMOTHY R & MARTIN LAVONDA K
2023-02130	Utility Permit	Approved	18-Apr-23	POTOMAC EDISON	17729 STONE VALLEY DRIVE	POTOMAC EDISON	GRASSO VICTOR A GRASSO SHARON
2023-02203	Utility Permit	Approved		ANTIETAM BROADBAND	Y	PURE LIFE CABLE	KLEIN DANIEL S KLEIN EVA M
2023-02220	Utility Permit	Approved		COLUMBIA GAS	10825 ALLEN AVENUE	COLUMBIA GAS OF MARYLAND INC	
2023-02320	Utility Permit	Approved	26-Apr-23	I	232 NORTH COLONIAL DRIVE	1	MULLINS GENE E MULLINS TINA M

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					Permits Reviews		
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner
2023-01952	Utility Permit	Review	07-Apr-23	ANTIETAM BROADBAND	22914 WELTY CHURCH ROAD	ANTIETAM CABLE TELEVISION INC	WYNKOOP TARA M & WYNKOOP DOUGLAS R II
2023-01953	Utility Permit	Approved	07-Apr-23	ANTIETAM BROADBAND	13413 RITCHIE ROAD	ANTIETAM CABLE TELEVISION INC	BENTZ TYLER M & MYERS REBEKAH
2023-02040	Utility Permit	Approved	13-Apr-23	ANTIETAM BROADBAND	10908 GAYWOOD DRIVE	ANTIETAM CABLE TELEVISION INC	MINER BARBARA J & WARRENFELTZ
2023-02199	Utility Permit	Review	20-Apr-23	POINT BROADBAND	13502 HALIFAX DRIVE	PURE LIFE CABLE	SALVATION ARMY
2023-02209	Utility Permit	Approved	20-Apr-23	POINT BROADBAND	13510 PARADISE DRIVE	PURE LIFE CABLE	DELAUTER KENNETH R JR HARRISON M SUSAN
ADJ2023-002	Zoning Admin Adjustment	Granted	05-Apr-23	NON-RESIDENTIAL	20148 COOL HOLLOW ROAD		Amanda Caffee & Yevgeniy Nikolayev 20129 Cool Hollow Road

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	Туре	Total
LandDev	APFO Road Adequacy	1
Total by Group: 54	Forest Stand Delineation	2
	IMA	6
	Improvement Plan	2
	Ordinance Modification	2
	Preliminary Consultation	2
	Redline Revision	2
	Simplified Plat	3
	Site Plan	3
	Site Specific Grading Plan	1
	Standard Grading Plan	8
	Stormwater Concept Plan	4
	Stormwater Standard Plan	7
	Traffic Impact Study	1
	Two Year Update	3
	Type 2 Grading Plan	7
Permits	Entrance Permit	17
Total by Group: 58	Grading Permit	26
38	Non-Residential New Construction Permit	1
	Utility Permit	13
	Zoning Admin Adjustment	1
Total		112

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2031	388,000	517,000 517,000 50,000 288,000 386,000 15,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2030	93,549,000 55,000 0 55,000 0 0 3,214,000 0 192,000 0 0 3,549,000	25,000 0 0 0 0 0 0 0 42,000 42,000 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2029	37,000 50,000 0 73,000 0 0 0 0 0 0 0 0 0 0	150,000 0 0 0 0 0 0 407,000 0 37,000 0 0 0 0 0 0 0 0 0 0 0 0 446,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2028	37,000 50,000 0 40,000 0 0 0 0 0 0 0 0 0 0 0 0 0	200,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2027	36,000 50,000 0 1,410,000 0 0 0 0 0 0 0 0 0 0 0 0	262,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2026	6,300,000 35,000 0 650,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	24,000 0 0 0 0 0 0 265,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2025	0 35,000 405,000 0 363,000 0 3,524,000 0 0 1,350,000 0 0 108,000	1,000,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
2024	700,000 378,000 20,000 195,000 5,000,000 323,000 1,060,000 0 150,000 335,000 0 0 600,000	175,000 400,000 400,000 100,000 275,000 306,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Prior Appr.	0 173,000 99,627 177,165 931,567 300,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	48,806 2,498,500 2,564,600 108,000 4,489,000 35,000 500,000 40,000 0 0 0 0 0 0 0 0 0 0 0 0 0
Total	7,000,000 532,000 1,282,627 197,165 4,237,567 6,300,000 3,847,000 1,060,000 3,514,000 1,500,000 4,016,000 1,320,000 1,320,000 1,320,000 1,320,000 1,320,000 1,320,000 1,320,000 1,320,000	697,806 2,888,500 2,964,600 338,000 333,000 2,695,000 567,000 443,000 979,000 559,000 559,000 559,000 575,000 429,000 757,000 429,000 446,000 446,000 446,000 446,000 465,000 6387,000 6387,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000 6484,000
Alroort	Air Traffic Control Tower T-Hangar 1, 2, & 3 Replacement Airport Systemic Improvement Projects Airport Security System Enhancements Captal Equipment - Airport Taxiway F Rehabilitation Runway 2/20 Rehabilitation Runway 9/27 Lighting and Signage Replacement Runway 9/27 Lighting and Signage Replacement T-Hangar Taxi Lanes Rehabilitation T-Exiway A Rehabilitation Taxiway G Rehabilitation Taxiway G Bulding Expansion Airway G Rehabilitation Airway Bulding Expansion Airport	Bridges Bridge Irspection and Inventory Crystal Falls Drive W3051 Keedysviile Road Bridge W5651 Cleaning & Painting of Steel Bridges Halfway Boulevard Bridges W0912 Country Store Lane Culvert 16/06 Gardenhour Road Bridge W2431 Greenspring Furnace Road Culvert 116/15 Gardenhour Road Bridge W2184 Ashton Road Culvert 14/01 Appletown Road Bridge W2184 Ashton Road Culvert 04/06 Bowie Road Culvert 04/06 Bowie Road Culvert 04/06 Gruber Road Culvert 16/14 Gruber Road Culvert 15/12 Culper Road Culvert 15/12 Long Hollow Road Culvert 05/05 Herline Road Culvert 05/05 Herline Road Culvert 05/05 Horitown's Road Culvert 15/12 Long Hollow Road Culvert 15/12 Remsburg Road Culvert 15/21 Poplar Grove Road Bridge W2432 Remsburg Road Culvert 14/03 Rinehart Road Culvert 14/03 Stone Masonry Bridge Repairs

2033 834,000 0 0 834,000	400,000 75,000 0 0 0 0 1,890,000	14,580,000 14,580,000 0 0 1,635,000 0 0 0 1,204,000 0 250,000 3,089,000	45,000 0 45,000 17,714,000 500,000 75,000 0 0 250,000 15,000 100,000
2032 510,000 0 0 0 3,538,000	0 950,000 75,000 0 0 0 0 0 0 0	15,218,000 0 15,218,000 0 135,000 0 0 2,365,000 0 0	45,000 0 0 45,000 17,763,000 500,000 75,000 0 100,000 15,000 0
2031 35,000 0 0 0 1,372,000	350,000 900,000 50,000 0 0 0 0 0 0 0 0 0 0 0	14,507,000 0 0 14,507,000 0 0 500,000 1,231,000 0 0 1,731,000	40,000 0 40,000 16,278,000 500,000 75,000 0 15,000 15,000 100,000
2030 0 172,000 1,482,000 2,855,000	900,000 50,000 350,000 0 0 0 0 0 0 0 1,300,000	14,033,000 0 14,033,000 0 0 0 900,000 0 0 0 0	40,000 3,464,000 3,504,000 18,437,000 500,000 75,000 0 100,000 15,000 15,000 0 100,000
2029 0 151,000 620,000 2,529,000	0 50,000 5,000 0 259,000 0 0 0 0 0 0 0	13,125,000 0 13,125,000 0 0 3,800,000 500,000 0 0 4,300,000	35,000 9,717,000 9,752,000 27,177,000 500,000 100,000 15,000 15,000 15,000
2028 0 0 0 0 884,000	0 900,000 50,000 0 0 0 0 0 285,000	13,915,000 2,956,000 16,865,000 0 0 3,656,000 0 0 0 0 0 0 0 0 3,656,000	35,000 1,756,000 1,791,000 22,306,000 500,000 100,000 0 100,000 15,000 15,000 15,000
2027 0 0 0 0 1,576,000	259,000 900,000 50,000 174,000 0 450,000 214,000 0 0 2,038,000	11.536,000 19.833,000 31.369,000 0 0 4,399,000 0 0 500,000 4,899,000	30,000 634,000 664,000 36,932,000 1,000,000 100,000 15,000 15,000 15,000 100,000
2026 0 0 0 3,283,000	0 900,000 50,000 57,000 0 150,000 75,000 0 0	5,152,000 19,813,000 24,965,000 0 0 1,462,000 0 0 0 0 0 1,462,000	30,000 0 30,000 26,457,000 1,000,000 100,000 15,000 15,000 15,000
2025 0 0 0 0 1,504,000	250,000 800,000 50,000 0 0 50,000 0 0 0 0 0 1,150,000	15,060,000 0 0 15,060,000 0 0 0 0 0 0 0 0 500,000 500,000	25,000 0 25,000 15,585,000 1,000,000 200,000 250,000 15,000 15,000 15,000 16,000 100,000
2024 0 0 0 0 1,988,000	0 50,000 50,000 0 0 0 0 0 0 0 0 0 0 0 0	12,791,000 1,500,000 14,291,000 1,040,000 0 0 0 0 0 0 0 0 0 0 1,800,000 0 2,840,000	25,000 0 25,000 17,156,000 88,000 700,000 200,000 0 75,000 15,000 15,000
Prior Appr. 0 0 0 10,420,906	1,056,782 5,744,205 300,000 0 0 0 0 0 0 0 0 0 0 0 7,100,987	19,518,314 0 19,518,314 5,939,000 0 0 0 0 0 0 0 0 0	76,492 50,000 126,492 25,583,806 80,000 1,068,007 1,500,000 75,000 151,653 105,709 17,000 936,195
Total 1,379,000 323,000 2,102,000 30,777,906	2,306,782 14,594,205 850,000 231,000 609,000 200,000 525,000 214,000 415,000 20,229,987	149,435,314 44,096,000 193,531,314 6,979,000 1,770,000 1,770,000 1,000,000 1,000,000 1,000,000 1,800,000 1,250,000 31,810,000	426,492 15,621,000 16,047,492 241,388,806 978,000 7,768,007 2,600,000 325,000 1,276,653 255,709 37,000 1,936,195
Taylors Landing Road Bridge W7101 Willow Road Culvert 05/10 Yarrowsburg Road Bridge W6191 Bridges Total	Drainage Stream Restoration at Various Locations Stormwater Retrofits Drainage Improvements at Various Locations Broadfording Church Road Culvert Draper Road Drainage Improvements Fort Ritchie Dam Repairs Harpers Ferry Road Drainage, 3600 Block Shank Road Drainage Trego Mountain Road Drainage University Road Culvert Drainage Total	Education Board of Education Capital Maintenance - BOE Replacement Elementary School Board of Education Hagerstown Community College Second Entrance Drive Widening Project ARCC Renovation ATC Renovation Campus Road & Parking Lot Overlays Career Programs Roof Replacement NACC Renovation Multi-Roof Project Hagerstown Community College Public Libraries	Systemic Projects - Library Williamsport Library Replacement Public Libraries Education Total  General Government Cost of Bond Issuance Systemic Improvements - Building Facilities Roof Repairs Equipment and Vehicle Wash Facility Information Systems Replacement Program Financial System Management & Upgrades County Wireless Infrastructure General - Equipment and Vehicle Replacement Program

Courthouse Courtroom 1. Renovation Stormwater Management and Watershed Services Office Building General Government Total	Total 1,300,000 1,100,000 17,576,564	Prior Appr. 0 0 3,933,564	2024 0 200,000 1,378,000	2025 0 900,000 2,675,000	2026 0 0 1,405,000	2027 0 0 1,405,000	2028 0 0 905,000	2029 0 0 905,000	2030 0 0 880,000	2031 150,000 0 1,030,000	2032 1,150,000 0 2,030,000	2033 0 0 1,030,000
Parks and Recreation												
Black Rock Capital Equipment Program	389,618	54,618	25,000	100,000	25,000	25,000	25,000	25,000	25,000	25,000	30,000	30,000
Agriculture Education Center Indoor Multipurpose Building	8,670,000	4,050,000	550,000	1,270,000	2,800,000	0	0 1	0 0	0 !	ם נ	0 1	0 1,
Hardcourt Playing Surfaces	339,963	204,963	o (	15,000	15,000	15,000	15,000	15,000	15,000	000,51	15,000	000,51
Ag Center Land Development	2,198,000	198,000	0	1,000,000	1,000,000	0	0	0	0	0	0	0
Park Equipment/Surfacing Replacement, Various Locations	1,400,731	700,731	0	O	175,000	0	175,000	0	175,000	0	175,000	0
Parking Lot Repair/Overlay, Various Locations	525,896	75,896	0	20'000	20,000	50,000	50,000	20,000	20,000	20,000	20,000	20,000
Antietam Creek Water Trail	357,000	242,000	15,000	20,000	20,000	0	0	0	0	0	0	o
Ag Center Show Area Floor	50,000	0	50,000	0	0	0	0	0	0	0	0	0
Black Rock Bunker Rehabilitation	250,000	0	0	0	250,000	0	0	0	0	0	0	0
Conococheague Creek Water Trail	310,000	0	0	0	10,000	180,000	120,000	0	0	0	0	0
Doubs Woods Disc Golf	50,000	0	0	0	0	0	0	0	0	50,000	0	0
Kemps Miil Park Trails	100,000	0	0	0	100,000	0	0	0	0	O	0	0
Marty Snook Park Multimodal Trail and Parking	700,000	0	0	0	100,000	300,000	300,000	0	0	0	0	0
Marty Snook Park Pool Renovation and Accessible Entrance	750,000	0	O	0	350,000	400,000	0	0	0	0	0	0
Mt. Briar Wetland Preserve Trails and Conservation Area	100,000	0	0	100,000	0	o	0	0	0	0	0	0
North Central County Park	5,400,000	0	Ó	100,000	0	200,000	800,000	800,000	800,000	800,000	800,000	800,000
Park Entrance and Security Undrades	200.000		0	C	100.000	100,000	C	C	0	o	o	0
Don Nov. Dot Dischip Companies Constitute	000,005	o c		20.00	170,000	2004	120,000	, c	) C	) C	) C	, c
	000,052		000	20,00	220,000	<b>,</b>	220,000	o c	o c	o c	o c	
Reciteduolial rieid Bieachers	00007	<b>5</b> (	0000		<b>&gt;</b> (	> 0	> 0	> 0	<b>&gt;</b> (	<b>&gt;</b> (	<b>.</b>	<b>5</b> (
Regional Park Dog Park	80,000	0	0	000'08	0	0	5	0	<b>3</b>	Э	<b>o</b>	<b>&gt;</b>
Parks and Recreation	22,231,208	5,526,208	710,000	2,815,000	5,145,000	1,570,000	1,605,000	890,000	1,065,000	940,000	1,070,000	895,000
Public Safety												
Datention Center - Systemic Projects	5.272.173	872.173	190.000	700.000	700.000	450.000	500.000	200.000	500,000	550.000	60.000	250.000
Burn Building - DCTC Training Conter	2 500 000	000 005 1	1 000 000	<u> </u>	-	<u></u>	2	C	C	c	c	c
	17 500 000	200,000	1 100 000	000 000 0	200000	טטט טטט די	טטט טטט כ	4000000	1 000 000	· c	, c	, c
radiological Relocation	77.500,000	000,000	7,100,000	2,300,000	מטט טבי	000,000,0	000,000	200,000,+	000,000,1	> 0	<b>&gt;</b> C	> <
Collisiantication ( ower (s) various	2/00/00	11 075 000	000,00	, ממק	000'0TT	<b>.</b>	000,011	<b>&gt;</b> c	o c	o c	<b>.</b>	<b>,</b>
PZS URIT PUBLIC Salety Radio Communications System Upgrade	000'00a'7T	000'C/0'TT	٠ :	UUU, C.Z.C, I	0 0	0 0	0 00	0 00	0 00	000	0 70	0 0
Portable Radio Replacement Program - Sheriff	1,320,105	114,105	114,000	000'9TT	000,811	120,000	120,000	122,000	122,000	124,000	124,000	125,000
Portable Radio Replacement Program - Emergency Services	4,435,000	2,435,000	200,000	200,000	200,000	200,000	200,000	700,000	200,002	700,000	700,000	700,000
Law Enforcement - Vehicle & Equipment Replacement Program	13,274,053	2,065,053	1,129,000	1,000,000	1,030,000	1,060,000	1,090,000	1,120,000	1,150,000	1,180,000	1,210,000	1,240,000
Emergency Services Equipment & Vehicle Program	680'009'6	7,375,089	200,000	205,000	210,000	215,000	220,000	225,000	230,000	235,000	240,000	245,000
Canteen/Rehab Unit Replacement	534,000	90,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000	30,000	30,000
Incident Safety Officer Vehicle Replacement Program	176,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000
Police Indoor Firing Range	750,000	0	0	0	o	0	0	0	0	250,000	250,000	250,000
PSTC Apparatus Operator / Defensive Driving Track	2,250,000	0	250,000	2,000,000	0	0	0	0	0	0	0	0
PSTC Tactical Village / Signalation Training Area	16 750.000	С	2.250.000	C	C	C	C	C	1.960.000	4.043.000	4,143,000	4,354,000
011 Center Building Expansion	1 800 000	· c	c	· c	· c	· c			c	578 000	000 275 1	c
out center outroing cyparisms Dublic Cofety	90, 955 08	300 300 30	6 587 000	000 017 g	2 /32 000	5 100 000	4 304 000	000 126 9	226,000	7 174 000	7 545 000	6 711 000
ו מסור חווים ו	0.000000	no productions	and inclo	object to	20242515	202-204-20	2001-001-	O Company	202	>>=i-	Poster of v	2001
Railroad												
Railroad Crossing Improvements	2,082,450	936,450	0	0	0	200,000	0	250,000	0	300,000	0	396,000
Railroad	2,082,450	936,450	0	0	0	200,000	0	250,000	0	300,000	0	396,000

2033	0 6,000,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0	66,000 40,000 0 0 0 0	375,000 2,700,000 210,000 0 0 3,285,000	33,000 0 25,000 95,000 0 153,000
2032	0 6,000,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0	65,000 40,000 0 0 0 0 105,000	375,000 0 0 0 0 0 375,000	32,000 25,000 95,000 0
2031	750,000 100,000 6,000,000 0 0 0 0 0 0 0 0 0 0 0 0	64,000 35,000 0 0 0 0	375,000 0 105,000 0 0 480,000	32,000 0 25,000 95,000 0 152,000
2030	0 100,000 6,000,000 0 2,256,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	63,000 35,000 0 0 0 0 8,000	375,000 0 0 0 0 0 375,000	31,000 0 25,000 95,000 0 151,000
2029	0 100,000 6,000,000 845,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	62,000 35,000 0 0 0 0 0 97,000	375,000 0 0 0 0 100,000 475,000	0 0 25,000 95,000 0 120,000
2028	750,000 100,000 5,000,000 518,000 2,700,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	60,000 35,000 0 0 0 0 95,000	375,000 0 210,000 0 0 0 585,000	0 0 25,000 90,000 0
2027	0 1100,000 6,000,000 1,970,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	60,000 35,000 0 0 0 95,000	375,000 900,000 0 0 0 0 1,275,000	0 0 24,000 90,000 0 114,000
2026	0 100,000 5,000,000 359,000 0 0 2,422,000 0 0 0 0 0 0 0 0 0 1,280,000	35,000 35,000 171,000 5,000,000 0 5,241,000	375,000 0 105,000 0 0 480,000	0 0 24,000 85,000 0
2025	750,000 5,000,000 0 0 0 1,274,000 500,000 0 650,000 0 0 0 0 0 0 0 1,213,000 9,887,000	35,000 34,000 3,472,000 5,100,000 0 8,641,000	00000	0 494,000 23,000 85,000 0 602,000
2024	0 100,000 5,000,000 0 1,500,000 385,000 1,500,000 1,500,000 1,25,000 0 0 0 0 0 0 0 0 0 0 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28,000 1,28	30,000 34,000 440,000 500,000 1,150,000	0 0 0 40,000 125,000	0 400,000 30,000 80,000 250,000 <b>760,000</b>
Prior Appr.	520,177 376,774 9,141,399 0 0 8,967,100 2,691,300 3,006,000 1,853,000 6,473,000 0 0 0 0 0 0 0 0 2,298,161 37,999,911	64,042 72,674 0 0 0 0	495,307 2,242,317 2,305 73,848 0	44,177 70,000 185,117 289,162 0 588,456
Total	2,770,177 1,776,774 67,141,399 2,105,000 10,603,000 10,467,100 6,772,300 4,506,000 3,348,000 5,44,000 5,473,000 7,402,000 7,50,000 1,025,000 5,000 1,025,000 5,000 1,7,233,161 145,850,911	604,042 430,674 4,083,000 10,600,000 15,000 15,867,716	3,495,307 5,842,317 632,305 113,848 225,000	172,177 964,000 436,117 1,194,162 250,000 3,016,456
	Road Improvement Intersection & Signal Improvements Transportation ADA Pavement Maintenance and Rehab Program Longmeadow Road Eastern Boulevard Extended Eastern Bloud Widening Phase II Eastern Bloud Widening Phase II Eastern Bloud Antietam Drive Improvements Professional Boulevard Extended Phase III Halfway Boulevard Extended Phase III Halfway Boulevard Extended Wright Road Wright Road Burnside Bridge Road Spot Improvements E. Oak Ridge Drive/South Pointe Signal Mt. Actura Road Spot Improvements E. Oak Ridge Drive/South Pointe Signal Mt. Actura Road and Independence Road Spot Improvements Sandstone Drive Side Improvements Highway - Vehicle & Equipment Replacement Program Road Improvement	Contingency - Solid Waste Contingency - Solid Waste SW Equipment & Vehicle Replacement 40 West Landfill - Cell 5 Construction 40 West Landfill Pretreatment Facility Mechanics Grane Truck Replacement Solid Waste	<u>Transit</u> Vehicle Preventive Maintenance Fixed Route Bus Replacement Program ADA Bus Replacement Support Vehicles Transportation Development Plan	Water Quality Utility Administration Contingency - Utility Admin General Building Improvements Lab Equipment Replacement WQ Equip/Vehicle Replacement Program SCADA Replacement Utility Administration

Total	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
226,939	26,939	0	0	0	0	0	0	20,000	50,000	20,000	50,000
1,190,000	125,000	125,000	125,000	125,000	125,000	000'06	95,000	95,000	000'56	95,000	95,000
5,755,447	2,320,447	100,000	200,000	885,000	0	750,000	0	750,000	0	750,000	0
3,976,121	156,121	0	670,000	0	000'006	0	750,000	0	750,000	0	750,000
175,000	125,000	25,000	25,000	0	0	0	0	0	0	0	0
26,881,087	11,381,087	0	0	0	0	0	0	5,500,000	5,000,000	5,000,000	0
1,122,500	22,500	250,000	300,000	250,000	300,000	0	0	0	Ö	0	0
1,280,807	345,807	200,000	200,000	200,000	105,000	35,000	35,000	40,000	40,000	40,000	40,000
1,700,000	0	0	0	Ó	O	1,700,000	0	0	0	0	0
42,307,901	14,502,901	700,000	1,520,000	1,460,000	1,430,000	2,575,000	880,000	6,435,000	5,935,000	5,935,000	935,000
1,000,000	1,000,000	0	0	o	0	0	0	0	0	0	0
293,239	143,239	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
2,366,000	566,000	100,000	100,000	0	0	100,000	0	500,000	200,000	200,000	0
645,336	55,336	0	0	290,000	0	0	0	0	0	0	0
1,434,342	254,342	290,000	0	0	290,000	0	0	250,000	250,000	0	100,000
336,000	0	0	0	0	0	0	0	336,000	o	0	0
6,074,917	2,018,917	405,000	115,000	000'509	305,000	115,000	15,000	1,101,000	765,000	515,000	115,000
51,399,274	17,110,274	1,865,000	2,237,000	2,174,000	1,849,000	2,805,000	1,015,000	7,687,000	6,852,000	6,602,000	1,203,000
689,775,184	139,553,184	55,442,000	58,989,000	79,145,000	63,641,000	48,148,000	52,709,000	52,842,000	46,672,000	50,454,000	42,180,000
т, ф	Total 226,939 1,190,000 5,755,447 3,976,121 175,000 26,881,087 1,122,500 1,122,500 1,122,500 1,122,500 1,100,000 42,307,901 1,000,000 2,366,000 645,336 1,434,342 336,000 6,074,917		26,939 125,000 2,320,447 156,121 125,000 11,381,087 22,500 345,807 0 14,502,901 1,000,000 143,239 566,000 55,336 254,342 0 2,018,917 17,110,274	26,939 0 125,000 2,320,447 100,000 125,000 125,000 125,000 125,000 11,381,087 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Prior Appr.         2024         2025           26,939         0         0           125,000         125,000         125,000           2,320,447         100,000         200,000           1156,121         0         670,000           11,381,087         0         0           22,500         25,000         25,000           345,807         200,000         0           0         0         0           14,502,901         700,000         1,520,000           56,000         100,000         15,000           55,336         0         0           254,342         290,000         0           0         0         0           25,018,917         405,000         115,000           2,018,917         405,000         115,000           2,018,917         1,865,000         2,2337,000           17,110,274         1,865,000         5,2337,000           139,53,184         55,442,000         58,989,000	Prior Appr.         2024         2025         2026           26,939         0         0         0           125,000         125,000         125,000         125,000           2,320,447         100,000         200,000         865,000           11,56,121         0         670,000         0           11,381,087         0         0         0           22,500         25,000         250,000         360,000           345,807         200,000         200,000         0           0         0         0         0           14,502,901         700,000         1,460,000         1,460,000           1,000,000         0         0         0           1,43,239         15,000         15,000         15,000           56,000         0         0         0           56,000         0         0         0           25,336         0         0         0           0         0         0         0           0         0         0         0           25,018,917         1,865,000         2,237,000         2,174,000           17,110,274         15,442,000         58,989,000<	26,939         0         0         0         0           26,939         0         0         0         0           125,000         125,000         125,000         125,000         0           2,320,447         100,000         200,000         0         0           11,581,037         25,000         25,000         0         0           11,381,087         0         0         0         0           11,381,087         0         0         0         0           0         0         0         0         0           0         0         0         0         0           14,502,901         700,000         1,460,000         1,430,000           14,502,901         15,000         1,460,000         1,430,000           14,3,239         15,000         15,000         0         0           55,336         0         0         0         0           55,336         0         15,000         15,000         0           55,336         0         0         0         0           25,336         0         0         0         0           25,34,300         0	26,339         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0 <td>26,339         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0<td>Z6,339         0         0         0         0         0         0         50,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         60         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0<!--</td--><td>Z6533         0         0         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000</td></td></td>	26,339         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0 <td>Z6,339         0         0         0         0         0         0         50,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         60         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0<!--</td--><td>Z6533         0         0         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000</td></td>	Z6,339         0         0         0         0         0         0         50,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         55,000         60         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0         0 </td <td>Z6533         0         0         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000</td>	Z6533         0         0         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000         50,000

T ottal 108 887 408	Prior Appr.	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
	319,000	500,000	6,500,000	6,500,000	6,750,000	6,750,000	7,000,000	7,000,000	7,250,000	7,250,000	7,500,000
	CYECT	000'000	000,000	200,000	ດດດ,ດດດ	000,002	200,000	200,000	200,000	500,000	200,000
_	245,24	000		0 00	o	0	0	0	0	0	0
	240,75	714,000	000'80	000'07	000,68	95,000	97,000	000'86	000'66	105,000	106,000
	356,056	360,000	108,000	109,000	114,000	115,000	120,000	151,000	152,000	152,000	153,000
	268,239	340,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15.000	15,000
	2,344,116	350,000	350,000	325,000	230,000	125,000	130,000	185,000	185,000	185,000	185,000
3,957,860	461,860	951,000	785,000	627,000	157,000	157,000	107,000	271,000	103,000	183,000	155.000
ac)	27,383,128	12,000,000	13,000,000	14,000,000	14,000,000	14,000,000	14,000,000	14.000,000	14.000.000	14 000 000	14 000 000
	6,022,951	2,055,000	10,011,000	000'968'9	1,175,000	825,000	490,000	7,336,000	6.500,000	6.250.000	A50.000
	3,972,170	0	0	0	0	0	0	C	c	c	
26,002,606	5,002,606	3,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	2 000 000	2 000 000	טטט טטט ב	2 000 000
	567,031	0	0	385,000	385,000	150,000	0	C	2000	2,000,000	2,000,2
_	487,620	126,000	126,000	126,000	126,000	125,000	126,000	126,000	126,000	126,000	126.000
	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29,000	29.000
	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10.000
	354,473	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
	405,644	o	0	0	0	0	0	0	. 0	. C	
_	1,122,000	6,500,000	2,893,000	6,865,000	2,624,000	2,747,000	4,696,000	2,930,000	0.777.000	1 942 000	• C
	200,000	0	915,000	1,380,000	1,000,000	0	2,000,000	0			, c
1,770,000	0	0	0	770,000	1.000,000	C	C	· c	o c	o c	> <
5,797,812	272,812	0	1,525,000	1.000.000	3.000.000		· c	· c	) C	<b>&gt;</b> c	> <
1,000,000	0	0	0	0	1.000.000	· C	) C	o c	<b>)</b> (	<b>&gt;</b> (	0 0
77,423,034	27,440,034	9,502,000	5,464,000	18,091,000	2,619,000	1.224.000	1.306.000	4 730 000	טטט אָצּאַ	3 605 000	000 000 C
183,923,437	20,685,437	12,160,000	14,639,000	19,147,000	26,733,000	17.404.000	19 957 000	13 411 000	12.042.000	000,500,0	2,808,000 12 £02 £00
4,548,215	1,122,215	1,045,000	Q	250,000	29,000	1.826.000	276.000		000,27	7,7,7,000	000,000,00
689,775,184	139,553,184	55,442,000	58,989,000	79,145,000	63,641,000	48,148,000	52,709,000	52,842,000	46,672,000	50,454,000	42,180,000