

DEPARTMENT OF PLANNING & ZONING PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION 100 W Washington Street, Room 2000 April 1, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

OLD BUSINESS

Washington County Planning & Zoning Department [RZ-24-001] – Jill Baker * Discussion/Action
Recommendation for the proposed text amendment to amend Section 23.4(a) of the Washington County Zoning
Ordinance to remove exemptions for height restrictions on high-density warehouse structures

NEW BUSINESS

MINUTES

- 1. March 4, 2024 Planning Commission regular meeting * Discussion/Action
- 2. March 11, 2024 Planning Commission workshop meeting * Discussion/Action

PRELIMINARY CONSULTATION

<u>7 Brew – Hagerstown</u> [PC-24-001] – Misty Wagner-Grillo * *Information/Discussion* Concept plan for a proposed drive-thru coffee shop at 1711 Massey Boulevard; Zoning: BG (Business General)

ORDINANCE MODIFICATION

1. Mark D. Myers [OM-24-001] – Misty Wagner-Grillo * Discussion/Action

Modification to allow an 11-foot wide panhandle to serve as usable road frontage for the subdivision of an existing parcel with two single-family detached dwellings at 14710 National Pike; Zoning: A(R) – (Agricultural Rural)

SITE PLAN

Proposed Fuel Station & Convenience Store [SP-23-024] – Scott Stotelmyer * Discussion/Action
Proposed 5,915 sq. ft. convenience store and 8 unit fuel canopy located at 13610 Pennsylvania Avenue; Zoning:
BG (Business General)

OTHER BUSINESS

1. Update of Projects Initialized – Jennifer Kinzer * Information/Discussion

ADJOURNMENT

UPCOMING MEETINGS

- 1. April 15, 2024, 4:30 p.m. Washington County Planning Commission workshop meeting
- 2. April 22, 2024, 4:30 p.m Washington County Planning Commission workshop meeting
- 3. April 30, 2024, 4:30 p.m Washington County Planning Commission workshop meeting
- 4. May 6, 2024, 6:00 p.m. Washington County Planning Commission regular meeting

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

^{*}attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

PRELIMINARY CONSULTATION PC-24-001 – 7 Brew - Hagerstown

A preliminary consultation was held on February 29, 2024 at 1 p.m. in the Washington County Administrative Annex at 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for the construction of a proposed drive thru coffee shop at 1711 Massey Boulevard. The property is currently zoned BG (Business General).

The following were in attendance: Misty Wagner-Grillo, Planner; Adam Tressler, GIS Technician; and Debra Eckard, Administrative Assistant, Washington County Department of Planning & Zoning; Rebecca Calimer, Chief of Plan Review, Washington County Division of Engineering; Anthony Mace, Capacity Manager, and Karen Flook, Allocation Coordinator, Washington County Department of Water Quality; Alerik Hoeh, City of Hagerstown Water Department; Becky Gander, Chief of Permitting, Washington County Dept. of Permitting; and Nicole Vicary, Larry Wilson, Fran Taylor, Ashley Rivera, Michael Lannon, and Mr. Lazzano, all representing the applicant Kinetic Design and Development.

Department of Planning & Zoning

Ms. Wagner-Grillo stated that an appeal was granted on March 16, 2021 to allow the reduction of the required minimum parking spaces for several businesses located on the Valley Plaza parcel. She explained that because the proposed business would sit on top of some of the parking spaces, another variance would be required to reduce the number of parking spaces even further. The appeal would need to be approved prior to the submittal of a site plan.

Ms. Wagner-Grillo explained that the summary of the preliminary consultation will be presented to the Planning Commission for their review and comments. She stated that the site plan must meet all requirements of the Washington County Zoning Ordinance and would be presented to the Planning Commission for its approval.

Forest Conservation

Mr. Travis Allen of the Washington County Department of Planning & Zoning provided written comments. The project will most likely be exempt from Forest Conservation Ordinance requirements since the site is mostly impervious area.

Washington County Health Department

Ms. Kimmy Armstrong provided written comments stating that the wastewater and water allocation forms will need to be completed and submitted to the Health Department as well as a \$25.00 review fee prior to approval of the site plan.

Addressing

Mr. Tresler stated he performed a site visit because the addressing in this area is extremely tight and not in accordance with County standards. An address has been assigned for the site plan phase; however, at the time of construction, the site must be properly signed for 911 purposes.

Department of Water Quality

Ms. Flook noted that the applicant will need to contact the Department of Water Quality to discuss the consumption for sewer EDUs. She noted it would be a benefit to the applicant to install deduct meters on the drink line. These meters must meet the Department of Water Quality standards.

Division of Engineering

Ms. Calimer stated that written comments have been uploaded to the Citizen Access Portal for the applicant. She briefly reviewed the comments as follows:

- a traffic impact study will be required to assess the adequacy of the road network supporting this development
- 2) there are several concerns regarding the parking and circulation for this site; the site plan must provide detailed vehicular turning movements to demonstrate safe navigation of large delivery vehicles
- 3) traffic signage must follow MUTCD based on FHWA rules issued in 2007
- 4) the project must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance
- 5) a Stormwater Concept Plan must be submitted and approved prior to site plan submittal.

City of Hagerstown Water Department

Mr. Hoeh asked if the site is going to be subdivided. The applicant is unsure at this time. There was a brief discussion regarding how the service will be handled in either situation. If the lot is not subdivided, the applicant would connect to the existing private water service and an additional meter would not be required from the City of Hagerstown unless additional water usage allocation is needed. Ms. Wagner-Grillo explained that if the lot is subdivided, an ordinance modification would be required because it would be considered a lot without public road frontage.

Washington County Department of Permitting

Ms. Becky Gander, Chief of Permitting, joined the consultation at the request of the applicant to discuss the permitting process. Permits are submitted through the Citizen Access Portal; permits are processed in the order in which they are received. Permit applications are sent to reviewing agencies. Once approved by all reviewing agencies, the permit will be issued. Minimum time for review is approximately 3 to 4 weeks; however, the State Fire Marshall's office review time is approximately 6 weeks or longer.

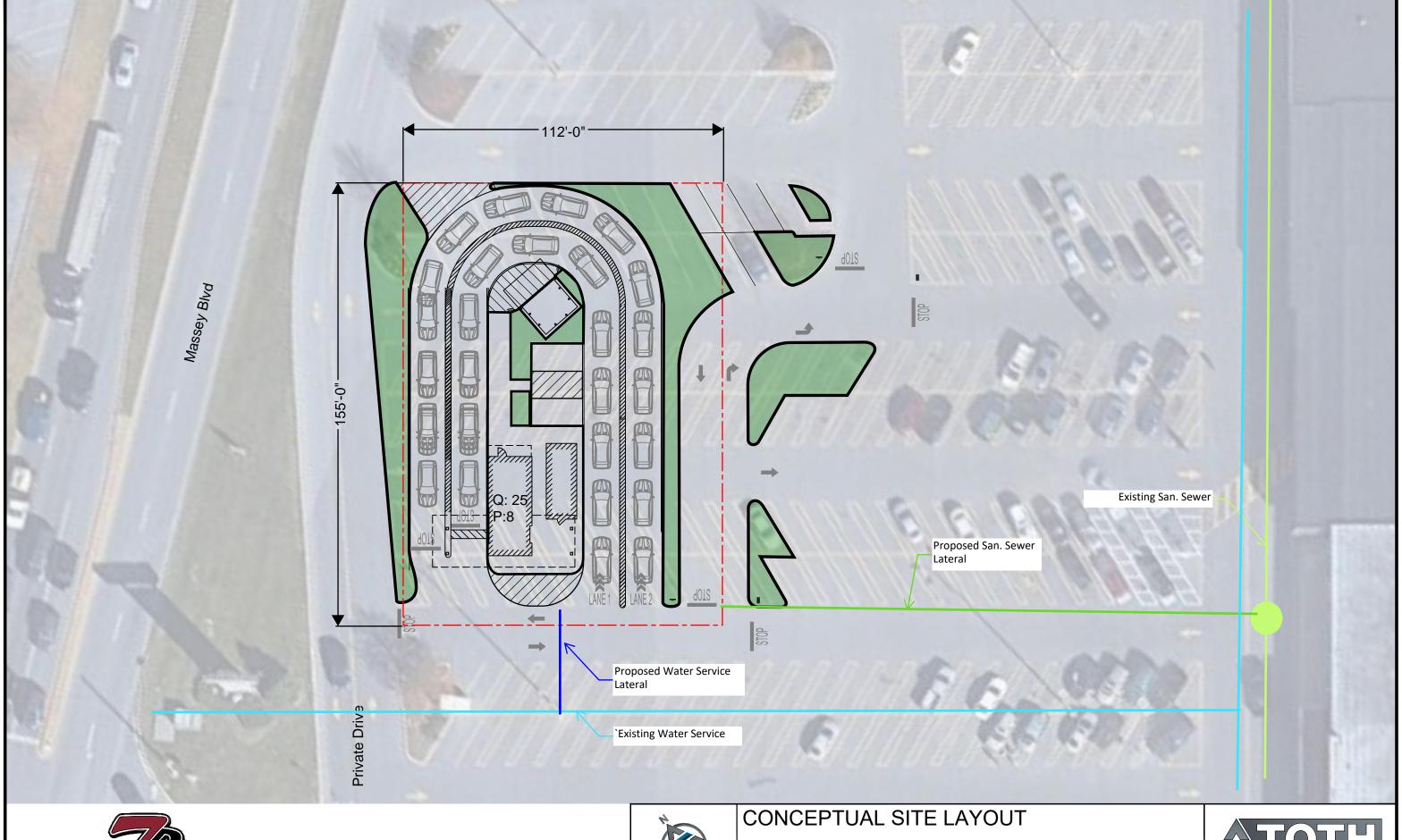
Closing Comments

All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

Misty Wagner-Grillo Washington County Department of Planning & Zoning

MAWG/dse







7101 MASSEY BLVD Hagerstown, MD



JOB NUMBER: 91.043 ISSUE DATE: 10.03.2023 Toth & Associates, Inc.

WASHINGTON COUNTY PLANNING COMMISSION APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT			
NAME Mark	D Myers		
MAILING ADDR	ess 14710 Natio	onal Pike, Clear	Spring, MD 21722
TELEPHONE _	(home)	(work)	(cell)
PROPERTY OV	VNER		
	as Applicant		
NAME Carrie	, 40 / tpp		
MAILING ADDI	RESS		
TELEPHONE			
	(home)	(work)	(cell)
CONSULTANT			
	c/o Ed Schre	eiber	
NAME	9 S Potomac	St Hagersto	own, MD 21740
ADDRESS 12	0 3 Fotomac	Ot, Hagorote	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
TELEPHONE			
DESCRIPTION	OF PROPERTY		
	31	_{GPID} 16	PARCEL 79
PARCEL REFE	KENCE: MAP	UNID	4 43
PROPOSED LO	T ACREAGE 3.31	TOTAL SIT	PARCEL 79 E ACREAGE 4.43
ZONING DISTI	RICT A(R)	ROAD FRON	TAGE(FT)

LOCATION / ADDRESS
14710 National Pike, Clear Spring, MD 21722
EXISTING AND PROPOSED USE OF PROPERTY Two existing Single Family Detached homes exist on this property. Proposed to subdivide and provide each dwelling with its own lot and road frontage
LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER Yes
SUBDIVISION MODIFICATION INFORMATION
MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11.B
MODIFICATION IS TO ALLOW Create a panhandle 11 feet in width to serve one of two dwellings on the same property.
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other
The irregular shaped property is improved with two (2) existing dwellings. The owner is proposing to subdivide the
property creating a fee simple lot for each of the dwellings. Given the exiting conditions and driveway access location
the most logical location for the panhandle is along the existing driveway between one of the dwellings and the property line.
Currently there is only 22.5 feet between the existing dwelling and the existing property line. By splitting the 22.5 foot
right side yard there is only 11 feet for the panhandle to extend back to the second dwelling. Although the Planning
Director does have the ability to allow subdivisions on land improved with more than one dwelling without road frontage.we thought it best
to provide a lesser amount of frontage then none at all.
(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

Applicant's Signature	Date
Property Owner's Signature	3/14/24 Date
Property Owner's Signature	240
TAFF USE ONLY:	

PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE STANDARDS OF THE SUBDIVISION ORDINANCE

- 1. Modification request applications shall be filed with the Washington County Planning Department, Washington County Administrative Annex, 80 West Baltimore Street, Hagerstown, Maryland 21740, Phone: 240-313-2430, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed off of the Planning Department website at www.washco-md.net/planning/plan.shim. A Filing fee of \$115.00 dollars is required and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.
- 2. The Planning Commission meets on a monthly basis (schedule attached) in Conference Room 1A of the County Administrative Annex, 80 West Baltimore Street, Hagerstown. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.
- 3. Upon receipt of the modification application, the Planning Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.
- 4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):
 - (a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.
 - (b) The hardship is not the result of the applicant's own actions that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.
 - (c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.
 - (d) That the modification is to correct inequities resulting from a physical hardship such as topography.
 - (e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.
- 5. The Planning Director shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:
 - (a) Where it is impractical to dedicate the full right-of-way required by the Washington County Engineering Land Development or State Highway Administration are satisfied with the acquired right-of-way.
 - (b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.
 - (c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification

from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Engineering – Land Development and/or State Highway; and have no negative impact on neighboring properties.

- (d) Panhandle Length up to 50% from current maximum length of 400 feet based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site
- (e) Public Road Frontage Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by the County Engineering Land Development and/or State Highway Administration. There is no negative impact on neighboring properties.
- (f) The Planning Director shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.
- 6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.
- 7. Appeal by any person aggrieved from any action of the Planning Commission or the Planning Director shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 Subdivision Ordinance). The BZA is located within the Department of Permits and Inspections, 80 West Baltimore Street, Hagerstown, Maryland 21740 Phone: 240-313-2460 www.washco-md.net/permits/zoning.shtm

ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

 SITE NAME......
 Mark D Myers

 NUMBER.....
 OM-24-001

OWNER...... MYERS MARK D

CLEAR SPRING, MD 21722

DESCRIPTION...... Allow an 11 foot wide panhandle (versus 25 ft) to serve as useable road

frontage for a subdivision of an existing parcel with two existing Single Family Detached Dwellings on the property. The proposed subdivision will create a lot

around each of the dwellings thus correcting a zoning infraction.

ZONING..... Agricultural, Rural

 PLANNING SECTOR......
 5

 ELECTION DISTRICT......
 23

TYPE.....:

GROSS ACRES..... 4.43

DWELLING UNITS....:

TOTAL LOTS...... 1

DENSITY.....: N/L Units Per Acre

PLANNER..... Misty Wagner-Grillo

ENGINEER..... FREDERICK SEIBERT & ASSOCIATES

RECEIVED.....: March 14, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

 FLOOD ZONE......
 No

 WETLANDS.....
 No

WATERSHED...... Conococheague Creek

ENDANGERED SPECIES...... None

HISTORIC INVENTORY...... No Resources Present

EASEMENTS PRESENT...... None

SCHOOL INFORMATION

Staff Comments: ELEMENTARY MIDDLE HIGH
SCHOOL DISTRICT Clear Spring Clear Spring Clear Spring

CURRENT ENROLLMENT

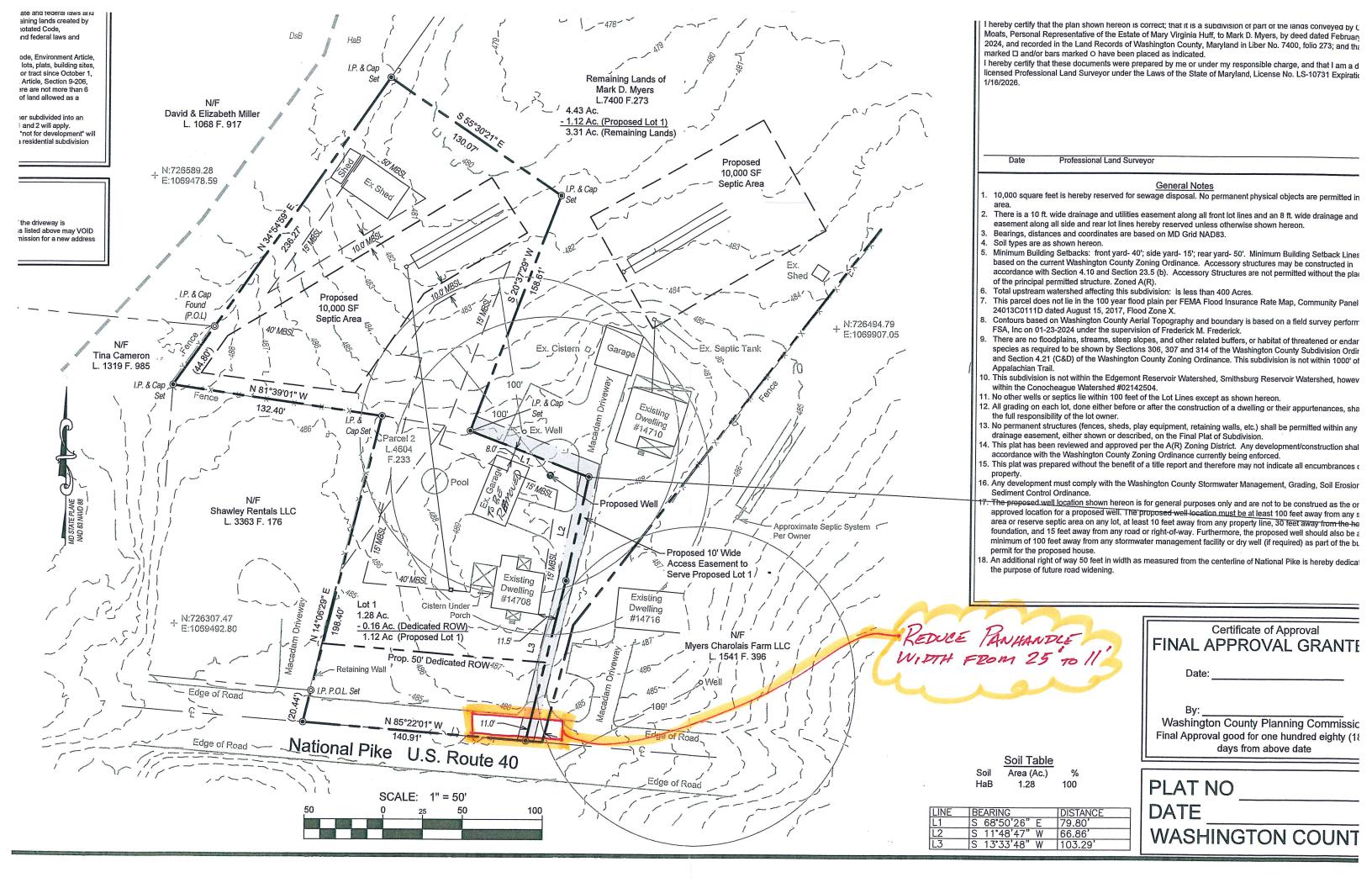
MAXIMUM CAPACITY

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT....: Clear Spring
AMBULANCE DISTRICT....: Clear Spring



	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD:	Well/Cistern	Septic Tank
SERVICE AREA:	Well	Septic
PRIORITY:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS:		
GALLONS PER DAY SEWAGE:		
PLANT INFO:		None



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME...... Proposed Fuel Station & Convenience Store

NUMBER....: SP-23-024

OWNER...... HAGERSTOWN PENNSYLVANIA LLC

LOCATION.....: 13610 PENNSYLVANIA Avenue

HAGERSTOWN, MD 21742

DESCRIPTION...... Approx. 5,915 SF convenience store and 8 unit fuel canopy, pavement, utilities,

stormwater management and other associated improvements.

ZONING.....: Business, General

COMP PLAN LU....: Commercial **PARCEL....:** 27011136

PLANNING SECTOR...... 1
ELECTION DISTRICT...... 27

TYPE...... Commercial

GROSS ACRES.....: 3.457

DWELLING UNITS.....:

TOTAL LOTS...... 1

DENSITY.....: 0 Units Per Acre

PLANNER..... Scott A Stotelmyer

ENGINEER..... BOHLER ENGINEERING P C

RECEIVED.....: August 3, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE...... No WETLANDS...... None

WATERSHED.....: Antietam Creek

ENDANGERED SPECIES...... None

HISTORIC INVENTORY...... No Resources Present

EASEMENTS PRESENT...... None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

	SITE DESIGN			
Impervious Area Plan	Impervious Maximum All	owed	Open Space Area Planned	
Open Space Minimum Required	Residential Amenity Plans		Solid Waste Disposal Plans	
Materials Stored on Site	Buffer Design Meets Requir	ements La	andscaping Meets Requirements	
Lighting Plan Meets Requirements	Pedestrian Access is Ade	quate Bu	Bus Stop is Within Walking Distance	
Loading Area Meets Requirements				
			Not Fast Track	
Parking Spaces - Total Planned	Parking Spaces - Per Dwelli			
Parking Spaces - Minimum Required	Recreational Parking Pro	<u>vided</u>		
	SCHOOL INFORMATION	ON		
	ELEMENTARY	MIDDLE	HIGH	
SCHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY	Maugansville	Western Heigh	ts North Hagerstown	
	PUBLIC FACILITIES INFORM	NATION		
FIRE DISTRICT:	MAUGANSVILLE			
AMBULANCE DISTRICT:	MAUGANSVILLE			
	WATER & SEWER INFORM	1ATION		
	WATER		SEWER	
METHOD:	City		County Line - City Treatment	
SERVICE AREA:	City		County Line - City Treatment	
PRIORITY:	1-Existing Service		1-Existing Service	
NEW HYDRANTS:				
GALLONS PER DAY SEWAGE:				
PLANT INFO:			Hagerstown (City)	

SP-23-024 fuel station and convenience store

- -Presented is a site plan for a Wawa fuel station and convenience store located at 13610 Pennsylvania Ave., Hagerstown
- -Access to the property is provided from Pennsylvania Avenue
- -Water to be provided by the City of Hagerstown, and sewer by Washington County.
- -Hours of operation will be 24 hours, 7 days a week
- -Proposed lighting is pole mounted and building mounted
- -Proposed signage is monument and building mounted signs
- -There are 30 parking spaces required, and 55 are being provided
- -The consultant and developer are seeking a conditional approval from the PC. Currently, City Water and Water Quality are working out water allocations, but both approved this project to be on this agenda
- -Keith Koscher from Bohler is here to answer any questions you may have

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LIMIT OF DIS	TURBANCE	LODLOD	<u> </u>	CURB INLET	<u></u>
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	ONSITE PROPERTY LINE / R.O.W. LINE		(E)	OUT	
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE			MANHOLE TELEPHONE	
	EASEMENT LINE		(7)	MANHOLE	<u> </u>
	SETBACK LINE		EB	ELECTRIC BOX	EB
	LINE	CURB AND GUTTER	EP	ELECTRIC PEDESTAL	EP
	CONCRETE CURB &	SPILL TRANSITION			
	GUTTER	DEPRESSED CURB AND GUTTER		MONITORING WELL	\bigcirc
				TEST	
	UTILITY POLE WITH LIGHT	_	* \	PIT BENCHMARK	<u> </u>
	POLE LIGHT		7	BORING	
□€	TRAFFIC LIGHT	□		BONING	lacktriangle
0	UTILITY POLE	0	SITE DAT	<i>TA:</i>	
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<u> </u>	ACORN LIGHT	\$		BEEN DESIGNED IN SUCH A MANNER THAT RADJACENT PROPERTIES.	ELIMINATES GLARE
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\bigwedge	PARKING COUNTS	X		EPARATE SIGN PERMITS WILL BE OBTAINED. DMPLY WITH THE MARYLAND BUILDING CODE	E FOR THE
<u></u>	CONTOUR	190	HANDICAPPED AND 5. AREA SUMMARY:	THE AMERICANS WITH DISABILITIES ACT.	
169 TC 516.4 OR 516.4	SPOT ELEVATIONS	TC 516.00 MATCH EX BC 515.55 (518.02 ±)	TOTAL AREA TOTAL BUILDING A		2007
SAN SAN	SANITARY	SAN		DIMPERVIOUS AREA	
	LABEL	# X	6. LOT DATA: ZONE:	BG (GENERAL BUSINESS) CONVENIENCE STORE WITH FUELING CANO	NDV
	LABEL	X #		BE STORED ON-SITE IN SCREENED TRASH I	
	SANITARY SEWER LATERAL	SL		BE PROVIDED BY A PRIVATELY CONTRACTEI STORAGE OF RECYCLABLE MATERIAL AS RE	
W	UNDERGROUND WATER LINE	W	ORDINANCE SECTION	ON 4.20 WILL BE PROVIDED BY RECYCLING S BE PROVIDED BY A PRIVATELY CONTRACTE	TORAGE AREAS.
Ε	UNDERGROUND ELECTRIC LINE	Е		BULK REQUIREMENTS:	ALLOWED/REG
G	UNDERGROUND GAS LINE		A. MIN. BUILDING SET		7.EEOWES/ITE
OH	OVERHEAD WIRE	OH	FF	RONT (PENNSYLVANIA AVE.) SIDE (MAUGANS AVE.)	40' 10'
	UNDERGROUND			REAR SETBACK (WEST)	35'
	TELEPHONE LINE UNDERGROUND			SIDE SETBACK (NORTH)	10'
	CABLE LINE STORM	, and the second	B. BUILDING GROSS F		-
	SEWER		C. MAX. BUILDING HE	IGHT (PROPOSED)	75'
= = =	SANITARY SEWER MAIN	s		ER YARD ALONG RESIDENTIAL USES/ZONES NING ORDINANCE SECTION 19.A.8	25'
~	HYDRANT	8	E. MAXIMUM IMPERVIO		85%
S	SANITARY MANHOLE		F. PARKING REQUIRED)	
D	STORM MANHOLE	(<u>©</u>)	COMMERCIAL RE	ETAIL SALES: 5 SPACES/ 1,000 S.F. OF GFA	30 SPACES (5, 5SPACES / 1,0
⊗ ^{WM}	WATER METER	•		ED: 1 SPACE/ SIDE/ PUMP	16 SPACI
WV	WATER			LING: 4 PUMPS X 2 SIDES EA. / 1 SPACE	16 SPACI

SITE PLAN SET

HAGERSTOWN PENNSYLVANIA, LLC

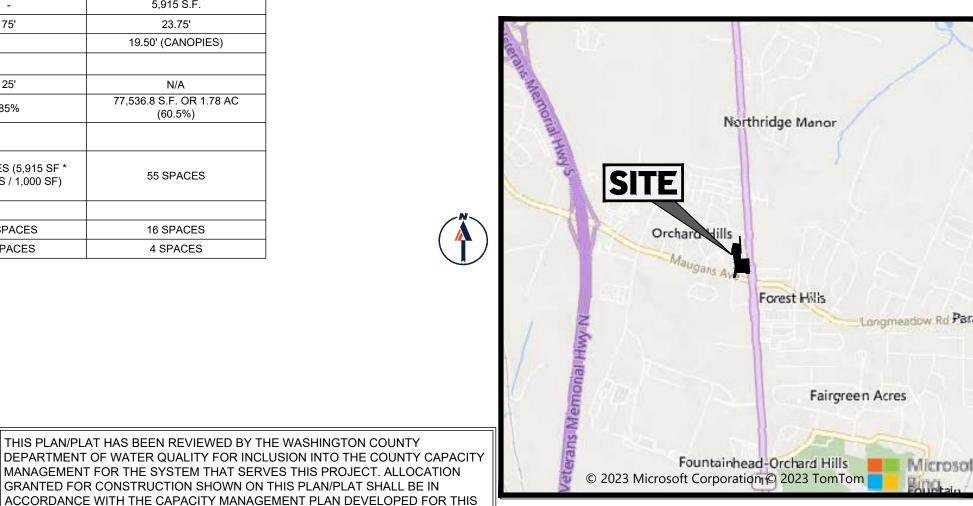
PROPOSED

PROPOSED CONVENIENCE CENTER & GAS STATION

LOCATION OF SITE 13610 PENNSYLVANIA AVENUE, HAGERSTOWN WASHINGTON COUNTY, MARYLAND MAP 0024, GRID 0017, LOT 0916

STORMWATER MANAGEMENT STATEMENT:

STORMWATER QUALITY MANAGEMENT HAS BEEN PROVIDED FOR THIS SITE BY ONE (1) DRY RETENTION FACILITY AND ONE (1) SUBMERGED GRAVEL WETLAND FACILITY. THE RETENTION DEVICE REDUCES THE 10-YR AND 100-YR STORM RUNOFF AMOUNTS TO BELOW THE PRE-DEVELOPMENT OUTFALL CONDITION



LOCATION MAP SCALE: 1" = 2,000'

ENGINEER BOHLER 16701 MELFORD BLVD, SUITE 310 BOWIE, MARYLAND 20715

DEVELOPER HAGERSTOWN PENNSYLVANIA, LLC 1401 BROAD STREET CLIFTON, NEW JERSEY 07013

PREPARED BY

BOHLER//

PLAN REFERENCES AND CONTACTS

REFERENCES

♦ BOUNDARY & TOPOGRAPHIC SURVEY BY: VALLEY LAND SERVICES, LLC 4383 HECKTOWN ROAD BETHLEHEM, PA 18020 DATED: 11/28/2022

BY: ECO-SCIENCE PROFESSIONALS GLEN ARM, MARYLAND 21057

SURVEY JOB #V22036² **ELEVATIONS: NAVD 1988**

PHONE: (301) 797-6821

PHONE: (240) 313-2460

♦ GEOTECHNICAL ENGINEERING REPORT BY: ECS MID-ATLANTIC, LLC 14505 INDUSTRY DRIVE HAGERSTOWN, MD

DATED: 03/21/2023

GOVERNING AGENCIES

SOIL CONSERVATION DISTRICT WASHINGTON COUNTRY SOIL CONSERVATION DISTRICT 1260 MARYLAND AVENUE, SUITE 101 HAGERSTOWN, MD 21740 CONTACT: DEE PRICE, DISTRICT MANAGER

♦ ENGINEERING DEPARTMENT WASHINGTON COUNTY ENGINEERING WASHINGTON COUNTY ADMINISTRATION ANNEX 80 WEST BALTIMORE STREET HAGERSTOWN MD 21740 CONTACT: SCOTT HOBBS, DIRECTOR

WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING WASHINGTON COUNTY ADMINISTRATION ANNEX 80 WEST BALTIMORE STREET

HAGERSTOWN, MD 21740 CONTACT: REBECCA CALIMER, CHIEF OF PLAN REVIEW PHONE: (240) 313-2493 **♦ PUBLIC WORKS** WASHINGTON COUNTY DIVISION OF PUBLIC WORKS 100 WEST WASHINGTON STREET, SUITE 2400

HAGERSTOWN, MD 21740 CONTACT: ANDREW ESHLEMAN, DIRECTOR PHONE: (240) 313-2257

◆MARYLAND DEPARTMENT OF THE ENVIRONMENT MARYLAND DEPARTMENT OF THE ENVIRONMENT 1800 WASHINGTON BLVD BALTIMORE MD 21230 PHONE: (410) 537-3000

UTILITY CONTACTS

POTOMAC EDISON 10802 BOWER AVENUE WILLIAMSPORT, MD 21795 CONTACT: NEW COMMERCIAL SERVICE PHONE: (800) 686-0011

DEPARTMENT OF WATER QUALITY 16232 ELLIOTT PARKWAY WILLIAMSPORT, MD 21795 CONTACT: MARK BRADSHAW, DIRECTOR PHONE: (240) 313-2600

COLUMBIA GAS 55 SYCAMORE STREET HAGERSTOWN, MD 21740 CONTACT: GREG THOMAS PHONE: (301) 964-1065

1710 UNDERPASS WAY HAGERSTOWN, MD 21740 CONTACT: DAN RUTH

PHONE: (301) 790-7115 CITY OF HAGERSTOWN UTILITIES DEPARTMENT/

WATER DIVISION 1 CLEANWATER CIRCLE HAGERSTOWN, MD 21740 CONTACT: KIMBERLY RIDENOUR PHONE: (301) 739-8577, EXT. 650

* THE ABOVE REFERENCED DOCLIMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS

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EASEMENT PLAN	C-302
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SWM QUALITY DRAINAGE AREA MAPS	C-403
PRE-DEVELOPMENT SWM QUANTITY DRAINAGE AREA MAP	C-404
POST-DEVELOPMENT SWM QUANTITY DRAINAGE AREA MAP	C-405
STORM DRAIN DRAINAGE AREA MAP	C-406
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WAWA SITE			ESD Pra	ctices Su	ummary	Table		
		Construction Type (New, Redev			edevelopm	evelopment, Restoration): Redevelopment		
LIMIT OF DISTURBANCE	2.53 AC	ESD Practices (Chapter 5 - Non-Structural & Struct				l & Structu	ral)	
BUILDING TYPE	U59-FB	T		DA to	Impervio us DA to	"WQv	"ESDv	PE Addresse
CANOPY TYPE	SLOPED	Туре	No.	Structure (AC)	Structure (AC)	(AC-FT)"	(AC-FT)"	(IN)
CANOPY CONFIGURATION	STACKED	Submerged						
SQ. FT. OF ASPHALT INSIDE OF ROW	±41,219 SF	Gravel Wetland	1.00	2.52	1.71	0.000	0.098	0.71
SQ. FT. OF LAWN AREA (TO BE MOWED)	47,596 SF							
SQ. FT. OF MULCH AREAS	8,813 SF		Non-E	SD Practice	s (Chapter	3 - Structu	ral Practice	s)
FLOOR AREA RATIO	0.05	Туре	No.	DA to Structure	Impervio us DA to	"WQv	"ESDv	PE Addresse
СИТ	551 CY (SEE NOTE 1)	Турс	NO.	(AC)	Structure (AC)	(AC-FT)"	(AC-FT)"	(IN)
FILL	6,295 CY (SEE NOTE 1)	Dry						
	_	Detention	2.00	2.52	1.71	0.000	0.000	0.00

IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJE ORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE IE SPECIFICATIONS OR APPLICABLE CODES IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD I EPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS A

OCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT LAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

PE Addresse

		REVISIONS	
REV	V DATE COMMENT		DRAWN BY
_ v	DATE	DATE COMMENT	
1	11/6/2023 COUNTY COMMENTS		DT
'	11/0/2020	OCCIVIT COMMENTE	AH
2	3/1/2024	COUNTY COMMENTS	AH
	3/1/2024	OCCIVIT COMMENTE	KK

PEVICIONS



ALWAYS CALL 811 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

DRAWN BY:

CAD I.D.

SITE PLAN SET

SP-23-024

HAGERSTOWN PENNSYLVANIA

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



SHEET TITLE:SP-23-024

COVER

REVISION 2 - 3/1/2024

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.94 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO

DISTURBED AREA QUANTITY

OWNER/DEVELOPER CERTIFICATION "I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING. CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR

BE APPROXIMATELY 2,110 CU. YDS. OF EXCAVATION AND 2,643 CU. YDS. OF FILL.

ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)." DATE

WASHINGTON COUNTY ENGINEERING PLAN APPROVAI

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION

PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION: THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT

DIESEL FUELING: 4 PUMPS X 1 SIDE EA. / 1 SPACE

10. ALL MAIL WILL BE DELIVERED TO INSIDE THE PROPOSED BUILDING

12. DELIVERIES WILL BE MADE DURING HOURS OF OPERATION.

11. HOURS OF OPERATION: 24 HOURS/7DAYS

ALLOWED/REQUIRED

5SPACES / 1.000 SF

16 SPACES

158.5' 87.9'

71.7'

19.50' (CANOPIES)

77,536.8 S.F. OR 1.78 AC (60.5%)

55 SPACES

16 SPACES

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY

GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR

EXISTING ALLOCATION UNITS - WATER (EDU):

EXISTING ALLOCATION UNITS - SEWER (EDU):

PROPOSED ALLOCATION UNITS - SEWER (EDU):

SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY

DATE **SIGNATURE** OWNER/DEVELOPER CERTIFICATION

POND STANDARD 378.

'I/WE CERTIFY ANY/ALL PARTIES RESPONSIBLE FOR CLEARING, GRADING CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPT. OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL $\parallel\parallel$ EROSION AND SEDIMENT. **GARY BAUMANN**

ENGINEER/ARCHITECT DESIGN CERTIFICATION I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND POND CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL Z ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND APPLICATIONS
FOR SOIL EROSION AND SEDIMENT CONTROL, AND MEETS FHE POND STANDARD 378

SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINE. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OF WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT 1 CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED IN THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE SIGNATURE

ALLOCATION INFORMATION

WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT

4 UNITS

CONTACT: KEITH A. KOSCHER, P.E.

1. CUT AND FILL VOLUMES ARE APPROXIMATE AND ARE PROVIDED FOR

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE PROJUBLEMENTS.

- 1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
- "SURVEY REFER TO COVER SHEET.
- "GEOTECHNICAL REPORT REFER TO COVER SHEET.
- "STORMWATER MANAGEMENT REPORT REFER TO COVER SHEET.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

- 2. ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- 3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN
- 4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- 5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
- 6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- 7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- 8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- 9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS
- 10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
- 11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
- 13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- 15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
- 18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS. OFFICERS. DIRECTORS. PARTNERS. SHAREHOLDERS. MEMBERS. PRINCIPALS. COMMISSIONERS. AGENTS. SERVANTS. EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- 19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- 20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.
- 21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED
- 22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S
- 23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
- 24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCLIRS
- 25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
- 27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
- 28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE
- 29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
- 30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES:

- 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
- VALLEY LAND SERVICES, LLC ENTITLED: "V220361D FINAL 2023-04-11.pdf"
- FILE NO: V220361D
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS
- 3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- 4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- 5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS. STATUTES. ORDINANCES AND CODES.
- 6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A.OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.

ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE SHALL NOT EXCEED 1:12 (8.3%).
- LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REQUIREMENTS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, SHALL BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 (2.0%) IN ANY DIRECTION 2.0% FOR POSITIVE DRAINAGE.
- DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCED INCORPORATED BY COD.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.
- IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY NOTES:

- 1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
- 4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- 5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES
- 6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
- 8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE CITY OF HAGERSTOWN WATER DIVISION. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
- 9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO
- 11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
- 12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
- 13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- 14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
- 16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
- 17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.
- 18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
- 19. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- 20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
- 21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.
- 22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- 23. STORM DRAINAGE PIPE:

UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- 24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.
- 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
- 26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.
- 27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.
- SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.
- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
- 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
- 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR NJDOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- 30. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BI OCKAGES CAN BE ADDRESSED.
- 31. FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATION(S) ARE SCHEMATIC FOR GENERIC BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF BLOCK AND /OR SIX (6) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 32. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
- 33. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

LIGHTING NOTES:

- 1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- 4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINARIES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- 5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- 6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- 8. IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- 9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- 10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES AS INDICATED IN THE HIGH VOLTAGE PROXIMITY REGULATIONS N.J.A.C. 12-186.
- 11. WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- 12. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL

NSULTING ENGIN SURVEYING A MANAGEMENT E ARCHITECTURE VABLE DESIGN TING SERVICES

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REVISIONS

REV DATE COMMENT

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1	11/6/2023	COUNTY COMMENTS	DT
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2	3/1/2024 COUNTY COMMENTS		AH
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It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK

07/28/2023

CNDS

PROJECT:

SITE PLAN SET SP-23-024

HAGERSTOWN
PENNSYLVANIA

PROPOSED CONVENIENCE

CENTER & GAS STATION

13610 PENNSLYVANIA AVENUE
HAGERSTOWN

WASHINGTON COUNTY, MD

BOHI FD

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501



SHEET TITLE:SP-23-024

GENERAL

SHEET NI IMBE

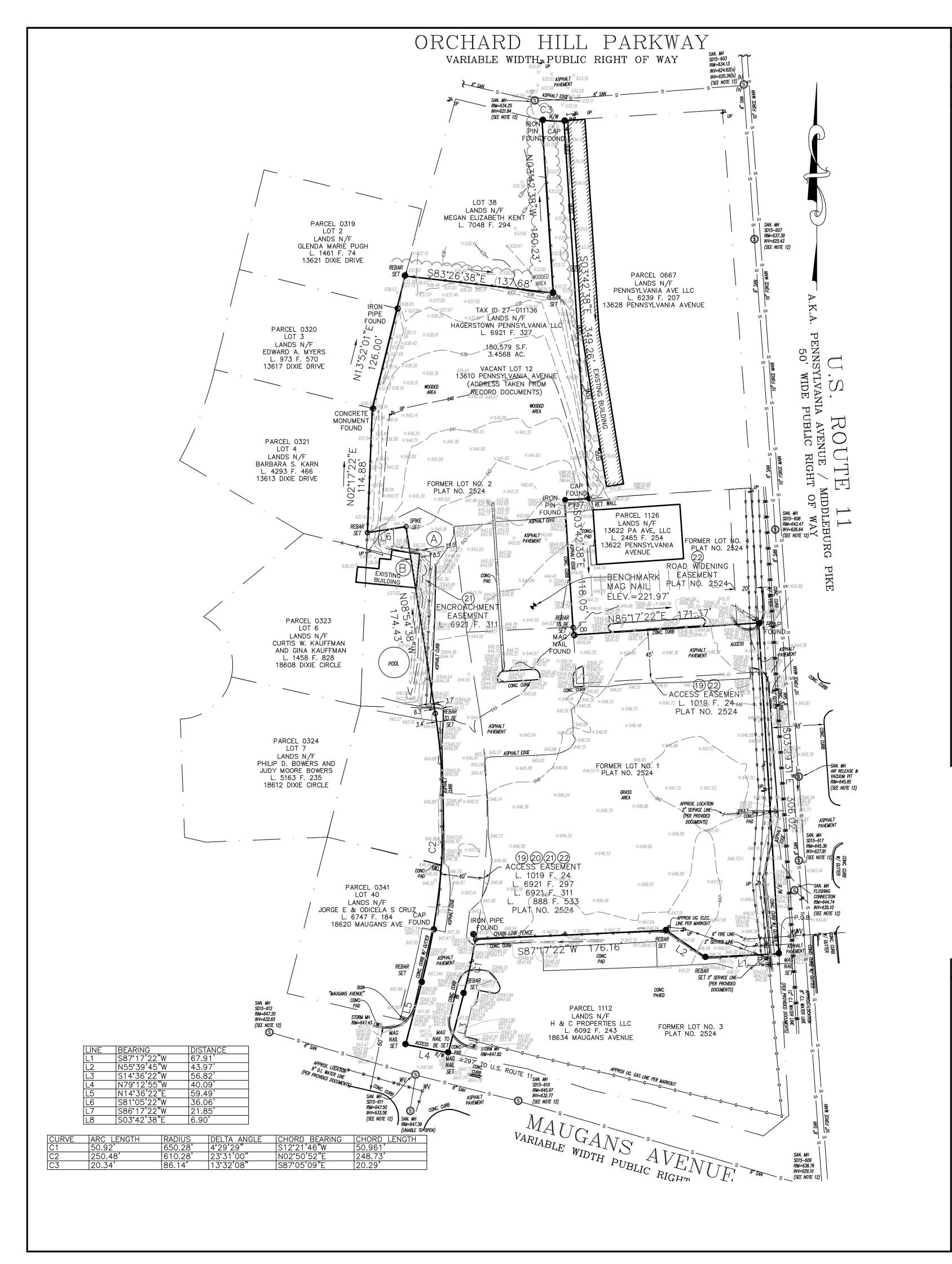
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND

THAT LAM A DULY LICENSED PROFESSIONAL ENGINEER

UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

C-102



TITLE INFORMATION

CHICAGO TITLE INSURANCE COMPANY FILE NO. PROFORMA 202201701MD EFFECTIVE DATE MARCH 31, 2023

LEGAL DESCRIPTION

Being situate along the West side of U. S. Route 11 (Pennsylvania Avenue) approximately 150 feet north of Maugans Avenue in Election District 27, Washington County, Maryland and combining Lots l and 2 as shown on Plat 2524, recorded among the Land Records of Washington County, Maryland into a single parcel, this said parcel is more particularly described in accordance with a Survey by Keller Engineers, Inc., as follows:

Beginning at an iron pin set in the West marginal line of U.S. Route 11, said pin being at the end of the first line or North 3 degrees 46 minutes West 149.93 feet, of a Deed from Martin Co. to Michael S. Guerrieri, Trustee recorded in Land Records of Washington County in Liber 831, folio 970, this same point being as shown on Washington County Right of Way Plat to be recorded as Plat No. 100-10-483, with this point offset 36.02 feet to the left of the centerline of Pennsylvania Avenue, at station 76 + 62.41; thence along said lands of Guerrieri;

1) South 87 degrees 17 minutes 22 seconds West 67.91 feet; thence

2) North 55 degrees 39 minutes 45 seconds West 43.97 feet to an iron pin; thence along said lands

3) South 87 degrees 17 minutes 22 seconds West 176.16 feet to an iron pin; thence continuing along said lands of Guerrieri, with a curve to the right with an arc length of 50.92 feet, a radius of 650.28 feet and a chord bearing and distance of

(4) South 12 degrees 21 minutes 46 seconds West 50.961 feet to an iron pin; thence

5) South 14 degrees 36 minutes 22 seconds West 56.82 feet to a mag nail set in the North marginal line of Maugans Avenue; thence along said marginal line of Maugans Avenue

6) North 79 degrees 12 minutes 55 seconds West 40.09 feet to an iron pin; thence along lands now or formerly of the Washington County Board of Commissioners (L. 1819, F. 260)) North 14 degrees 36 minutes 22 seconds East 59.49 feet to an iron pin; thence with said lands

and lands now or formerly of Philip D. Bowers (L. 614, F. 766) with a curve to the left with an arc length of 250.48 feet, a radius of 610.28 feet and a chord bearing and distance of

8) North 02 degrees 50 minutes 52 seconds East 248.73 feet to a nail; thence along lands now or

formerly of Curtis W. Kaufman, et al. (L. 1458, F. 831) (9) North 08 degrees 54 minutes 38 seconds West 174.43 feet to an iron pin; thence along lands now or formerly of Jeffrey L. Karn, et al., (L. 1627, F. 941)

10) South 81 degrees 05 minutes 22 seconds West 36.06 feet to an iron pin, thence continuing along said lands

along the lands now or formerly of Edward A. Myers (L. 973, F. 570) and lands now or formerly of Glenda Marie Pugh (L. 1461, F. 74),

11) North 02 degrees 17 minutes 22 seconds East 114.88 feet to a concrete monument; thence

12) North 13 degrees 52 minutes 01 seconds East 126.00 feet to an iron pin, thence along lands now or formerly of Carole L. Brown (L, 1553, F. 897)

13) South 83 degrees 26 minutes 38 seconds East 137.68 feet to an iron pin; thence along said

14) North 03 degrees 42 minutes 38 seconds West 160.23 feet to an iron pin in the South marginal line of Orchard Hill Parkway; thence along said marginal line with a non-tangential curve to the left with an arc length of 20.34 feet, a radius of 86.14 feet and a chord bearing and distance of

now or formerly of Robert E. Hagelberg (L. 591 F. 412) 16) South 03 degrees 42 minutes 38 seconds East 349.26 feet to an iron pin set; thence along

15) South 87 degrees 05 minutes 09 seconds East 20.29 feet to an iron pin; thence along lands

lands of now or formerly of 13622 Pennsylvania Avenue LLC (L. 2465, F. 254) 7) South 86 degrees 17 minutes 22 seconds West 21.85 feet to an iron pin; thence along said

18) South 03 degrees 42 minutes 38 seconds East 118.05 feet to an iron pin; thence along said

19) South 03 degrees 42 minutes 38 seconds East 6.95 feet to a mag nail set; thence continuing along said lands

20) North 86 degrees 17 minutes 22 seconds East 171.37 feet to an iron pin in the western

marginal line of U. S. Route 11; thence along said marginal line

(21) South 03 degrees 29 minutes 31 seconds East 306.02 feet to the place of beginning, containing 3.457 acres of land, more or less.

SYMBOLS

LIGHT POLE

STREET LIGHT POLE

ELEC, TRANSFORMER

UNDERGROUND

TRAFFIC POLES

TRAFFIC MANHOLE

SEWER MANHOLE

CLEAN OUT

SI STORM INLET

CURB INLET

— C — CABLE TELEVISION LINE (D) STORM DRAIN MANHOLE MB

T-S TRAFFIC SIGNAL BOX

(SI) ROUND STORM INLET

UNKNOWN MANHOLE

A/C AIR CONDITIONER

(E) ELEC. MANHOLE

MONUMENT FOUND

BENCHMARK TOPO

RCP REINFORCED CONC PIPE

CMP CORRUGATED METAL PIPE

RECORD DATA

(S) SURVEYED DATA

R/W RIGHT OF WAY

PVC PLASTIC PIPE

HDPE POLYETHYLENE PIPE

DIP DUCTILE IRON PIPE

DECIDUOUS TREE

EVERGREEN TREE

CIP CAST IRON PIPE

L/S LANDSCAPING

U.G. UNDER GROUND

— G — GAS LINE

— W — WATER LINE

— E — ELECTRICAL LINE

— T — TELEPHONE LINE

— OH— OVERHEAD ELECTRIC WIRE

MONUMENT TO BE SET

(THIS IS A STANDARD LEGEND. NOT ALL ITEMS ARE ON THE SURVEY.)

WATER MANHOLE

WV WATER VALVE

W WATER METER

G GAS MANHOLE

°GV GAS VALVE

G GAS METER

A PAY PHONE

F.P FLAG POLE

BOLLARD

SIGN

BORE HOLE

MC METAL TANK COVER

(A) AIR COMPRESSOR

MONITORING WELL

A HYDRANT / FDC

UNDERGROUND

GAS MARKER

TELEPHONE MANHOL

UNDERGROUND
TELEPHONE MARKER

SCHEDULE B EXCEPTIONS

- 5.) Conditions and Restrictions contained in Deed by and between Chester C. Arthur and Ruth C. Arthur, his wife and Clarence C. Startzman and Elsie A. Startzman, his wife dated October 8, 1932 and recorded among the Land Records of Washington County in Liber E.O. No. 192, folio 155 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- .)Agreement by and between Menno A. Martin, et al and The Potomac Edison Company dated April 25, 1951 and recorded among the Land Records of Washinaton County in Liber J.G.W. No. 262, folio 555 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- .) Agreement by and between Menno A. Martin, et al and The Potomac Edison Company dated April 25, 1951 and recorded among the Land Records of Washinaton County in Liber J.G.W. No. 262, folio 556 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- 8.)Easements or right of ways contained in Deed and Grant or Easement or Right of Ways by and between Menno A.Martin, et al and the City of Hagerstown dated May 18, 1953 and recorded among the Land Records of Washington County in Liber J.G.W. No. 275, folio 401 — NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- 9.)Right of Way Agreement by and between The Martin Company and The Potomac Edison Company dated June 2, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 298, folio 257 — NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
-) Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated August 26, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 301, folio 449 — NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- .) Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated October 31, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 304, folio 145 - NOT PLOTTED ON SURVEY, DOCUMENT IS PARTIALLY ILLEGIBLE.
- 2) Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated November 2, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 304, folio 146 — NOT PLOTTED ON SURVEY, BLANKET IN NATÚRE.
- 3) Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated May 15, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 310, folio 491 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- 4) Easements or rights of way contained in Deed by and between Maurice S. Martin, et al and the Potomac Edison Company dated June 25, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 312, folio 99 — NOT PLOTTED ON SURVEY, PLAT REFERENCED IN DOCUMENT NOT PROVIDED.
-) Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated June 22, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 312, folio 424 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT, EXISTING POLES AND GUY WIRES ALONG MAUGANS AVENUE ARE NOT ON, OR DO NOT TOUCH, SUBJECT PROPERTY.
-) Right of Way or Easement contained in Deed of Easement by and between The Martin Company, et al and Robert L. Gallimore and Sarah L. Gallimore, his wife dated January 11, 1960 and recorded among the Land Records of Washington County in Liber G.M.S. No. 354, folio 261 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
-) Right of Way Agreement by and between The Martin Co, et al and The Potomac Edison Company dated August 1, 1961 and recorded among the Land Records of Washington County in Liber G.M.S. No. 370, folio 693 — NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- 3) Easements contained in Deed and Release by and between Menno A. Martin, et al and The County Commissioners of Washington County dated May 12, 1969 and recorded among the Land Records of Washington County in Liber V.J.B. No. 488, folio 310 — NOT PLOTTED ON SURVEY, REFLECTS CURRENT BOUNDARY CONFIGURATION.
- 9) Right of Way contained in Deed by and between Rutledge Associates and TCR Limited Partnership dated December 13, 1991 and recorded among the Land Records of Washington County in Liber D.J.W. No. 1019, folio 24; and shown on Survey - PLOTTED ON SURVEY.
- 20) Easement Agreement by and between Hagerstown Investments, LLC, a Florida limited liability company and Philip D. Bowers and Judy Moore Bowers dated September 29, 2021 and recorded among the Land Records of Washington County in Liber K.R.T. No. 6921, folio 297; and shown on Survey — PLOTTED ON SURVEY.
- l) Easement Agreement by and between Hagerstown Investments, LLC, a Florida limited liability company and Curtis W. Kauffman and Gina Kauffman dated September 29, 2021 and recorded among the Land Records of Washington Count in Liber K.R.T. No. 6921, folio 311; and shown on Survey - PLOTTED ON SURVEY.
- 2) Terms, conditions, easements, notes, restrictions, setbacks and/or other matters set forth on the Plat recorded among the Land Records of Washington County as Plat No. 2524; and shown on Survey — PLOTTED ON SURVEY.

UTILITY NOTES

ONE CALL TICKET NUMBER 22805000 CALL DATE 11/02/22

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA

COLUMBIA GAS WASHINGTON COUNTY WATER VERIZON

POTOMAC EDISON/USIC

HAGERSTOWN WATER/TRIPLE A LOC

(301) 964-9117 (240) 313-2609 (301) 210-0355 (800) 778-9140

(410) 582-7070

SIGNIFICANT OBSERVATIONS

- eta) FENCE CROSSES PROPERTY LINE AND EASEMENT BY UP TO 19.0 FEET
- BUILDING CROSSES PROPERTY LINE AND EASEMENT BY UP TO 8.5 FEET

SURVEYOR'S CERTIFICATION

TO: Wawa, INC; Hagerstown Pennsylvania LLC; & Chicago Title Insurance Company; This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS,

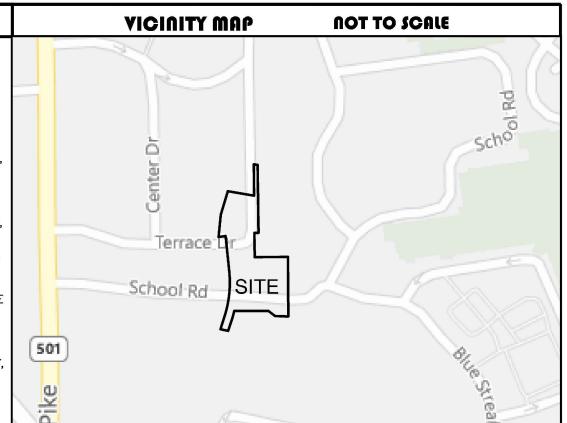


JACK W. SHOEMAKER DATE: JULY 7, 2023

In the State of Maryland Date of Survey: November 28, 2022 Date of Last Revision: April 11, 2023

Survev Performed Bv Yalley land Services, llC 4383 Hecktown Road, Suite B Bethlehem, PA 18020 Phone 610-365-2907 Fax 610-365-2958 Email: jshoemaker@firstorderllc.net

Project Ño. V220361D Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws f the State of Maryland, License No. 21043, Expiration Date: 1/22/2024. THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY.



SITE DATA

PROPERTY IS KNOWN AS ACCOUNT NUMBER 01136 IN THE 27TH ELECTION DISTRICT OF HAGERSTOWN, WASHINGTON COUNTY, MARYLAND.

LOT AREA = 150,579 S.F. OR 3.5487 AC.

NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

VERTICAL DATUM = NAVD 88 BENCHMARK - MAG NAIL ELEV.=221.97

LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

6. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.

THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.

TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = NOVEMBER 21, 2022. THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND

EMBOSSED WITH A RAISED IMPRESSION SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED. 10. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED

HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

11. COPYRIGHT © 2022, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED, NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION SEAL ARE NOT

12. INVERT INFORMATION PROVIDED BY WASHINGTON COUNTY SANITARY DISTRICT, WASHINGTON COUNTY, MARYLAND. INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION.

13. THE SUBJECT PROPERTY HAS ACCESS VIA MAUGANS AVENUE AND U.S.

14. THE BASIS OF BEARINGS FOR THIS SURVEY IS LIBER 3430 FOLIO 302. 15. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 11a, THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND PLANS AND/OR REPORTS PROVIDED BY

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF HE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 240070, MAP NUMBERS 34043C0128D AND 24043C0136D WHICH BEAR AN EFFECTIVE DATE OF AUGUST 15, 2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED HIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.(NAVD88)

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY



THE CLIENT.

VALLEY LAND SERVICES. LLC 4383 HECKTOWN ROAD BETHLEHEM, PA 18020 Phone (610) 365-2907 Fax (610) 365-2958

NJ Certificate of Authorization: 24GA28339300

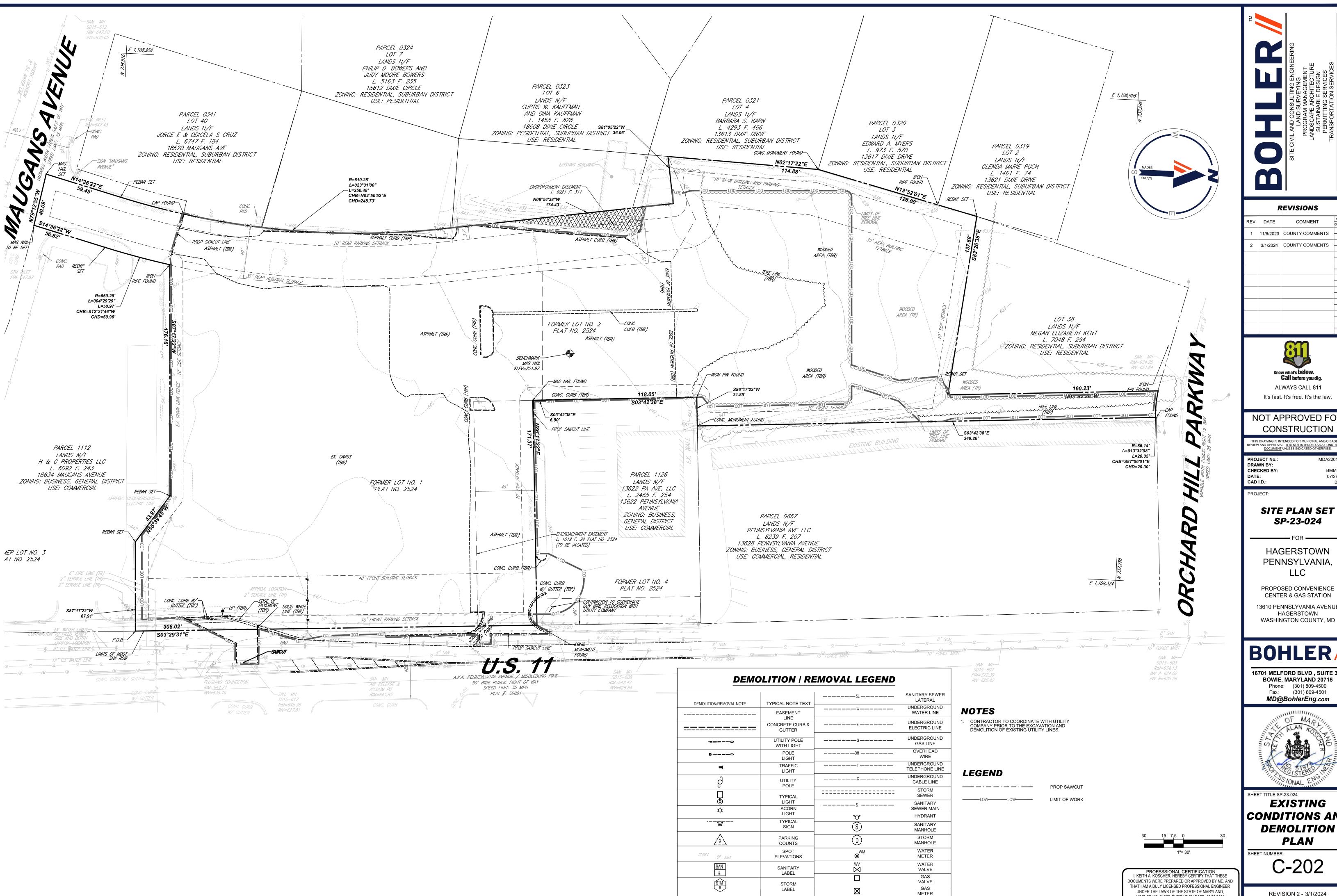
SHEET 1 OF 1

TE ADDRESS: 13610 PENNSYLVANIA AVENUE CITY OF HAGERSTOWN

WASHINGTON COUNTY, MARYLAND CLIENT: HAGERSTOWN PENNSYLVANIA, LLC

APPROVED BY: JW DRAWN BY: INDO IOB NO: V220361D DATE: NOVEMBER 28, 2022. REVISIONS: DATE DESCRIPTION ADDED WATER LINES 02-07-23 ADDED SANITARY LINES PER COUNTY DOCUMENTS 02-13-23 UPDATED ALTA TO REFLECT LEASEHOLD TITLE 04-04-23 UPDATED CERT NAMES 04-11-23





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2	3/1/2024 COUNTY COMMENTS		AH
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07/28/2023 DEMO-0

SITE PLAN SET SP-23-024

HAGERSTOWN

PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION** 13610 PENNSLYVANIA AVENUE HAGERSTOWN

BOHLER

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



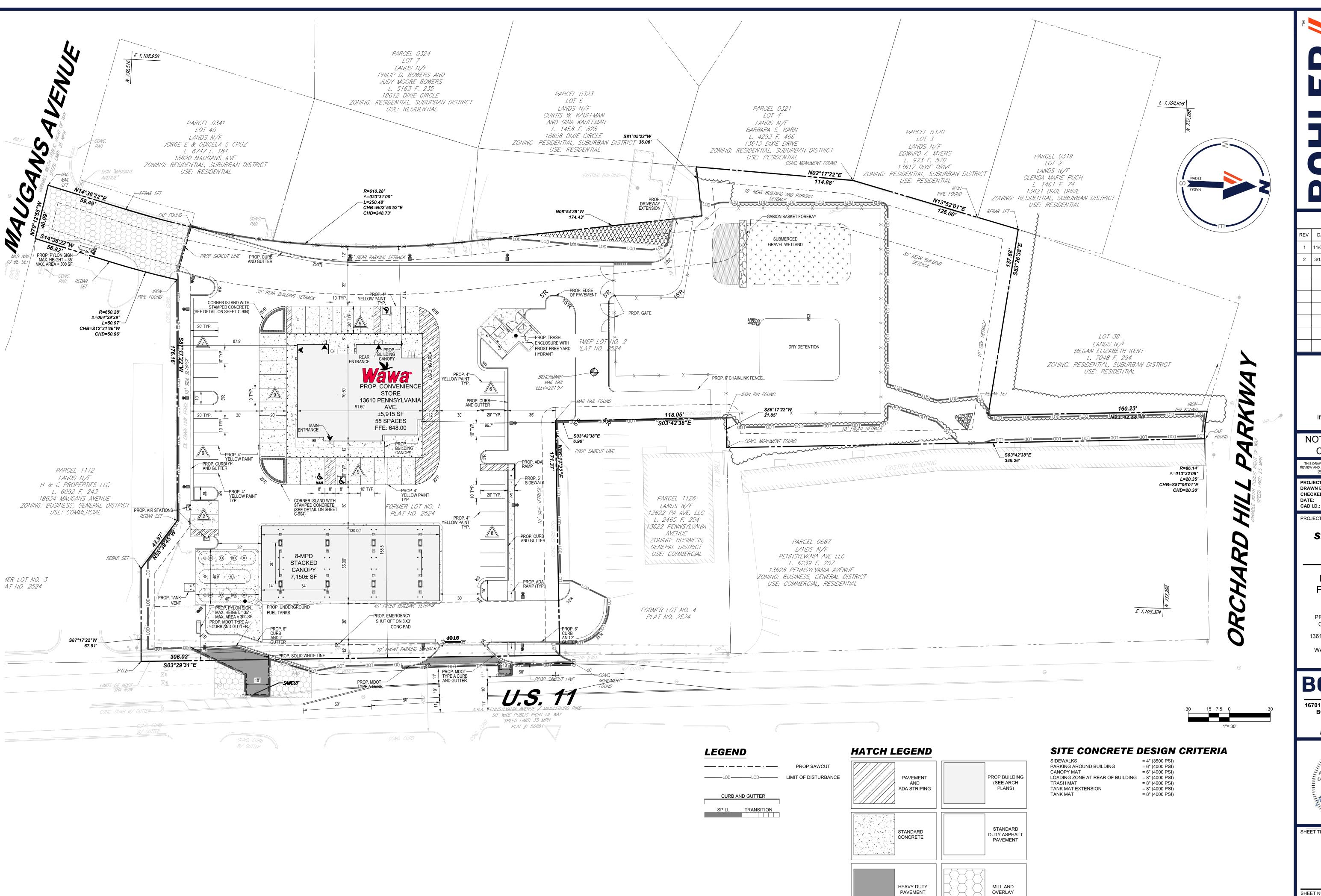
SHEET TITLE:SP-23-024

EXISTING CONDITIONS AND **DEMOLITION** PLAN

SHEET NUMBER:

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

C-202



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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT DOCUMENT UNLESS INDICATED OTHERWISE. PROJECT No.: DRAWN BY: CHECKED BY: BMM / KAK 07/28/2023 SITE-0

PROJECT:

SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



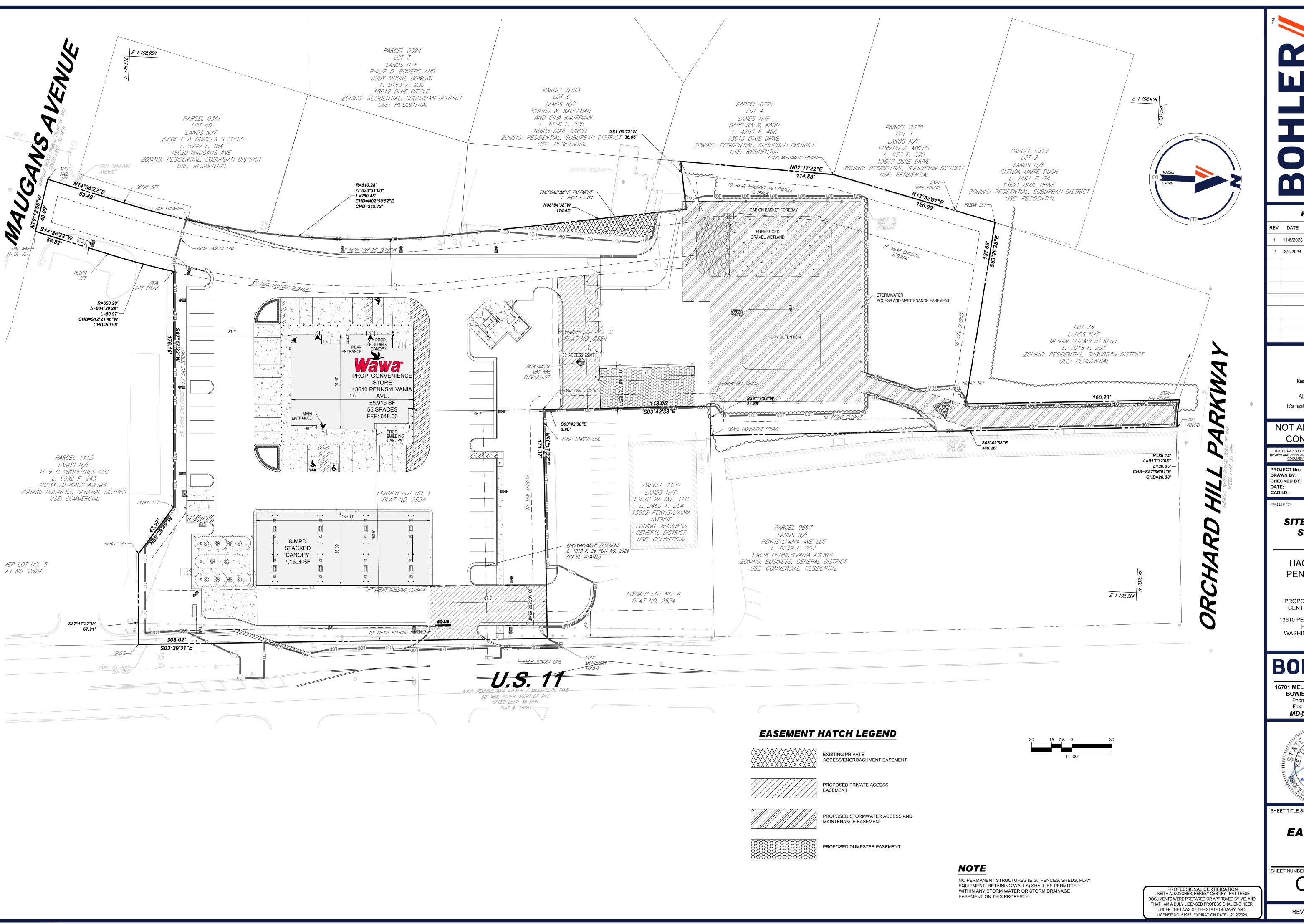
SHEET TITLE:SP-23-024

SITE PLAN

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

C-301



ΕV	DATE	COMMENT	DRAWN BY
LV	DATE	COMMENT	CHECKED BY
1	11/6/2023	COUNTY COMMENTS	DT
1	11/0/2023	COUNTY COMMENTS	AH
2	3/1/2024	COUNTY COMMENTS	AH
_	3/1/2024	COUNTY COMMENTS	KK
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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT DOCUMENT UNLESS INDICATED OTHERWISE.

BMM / KAK 07/28/2023 SITE-0

SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

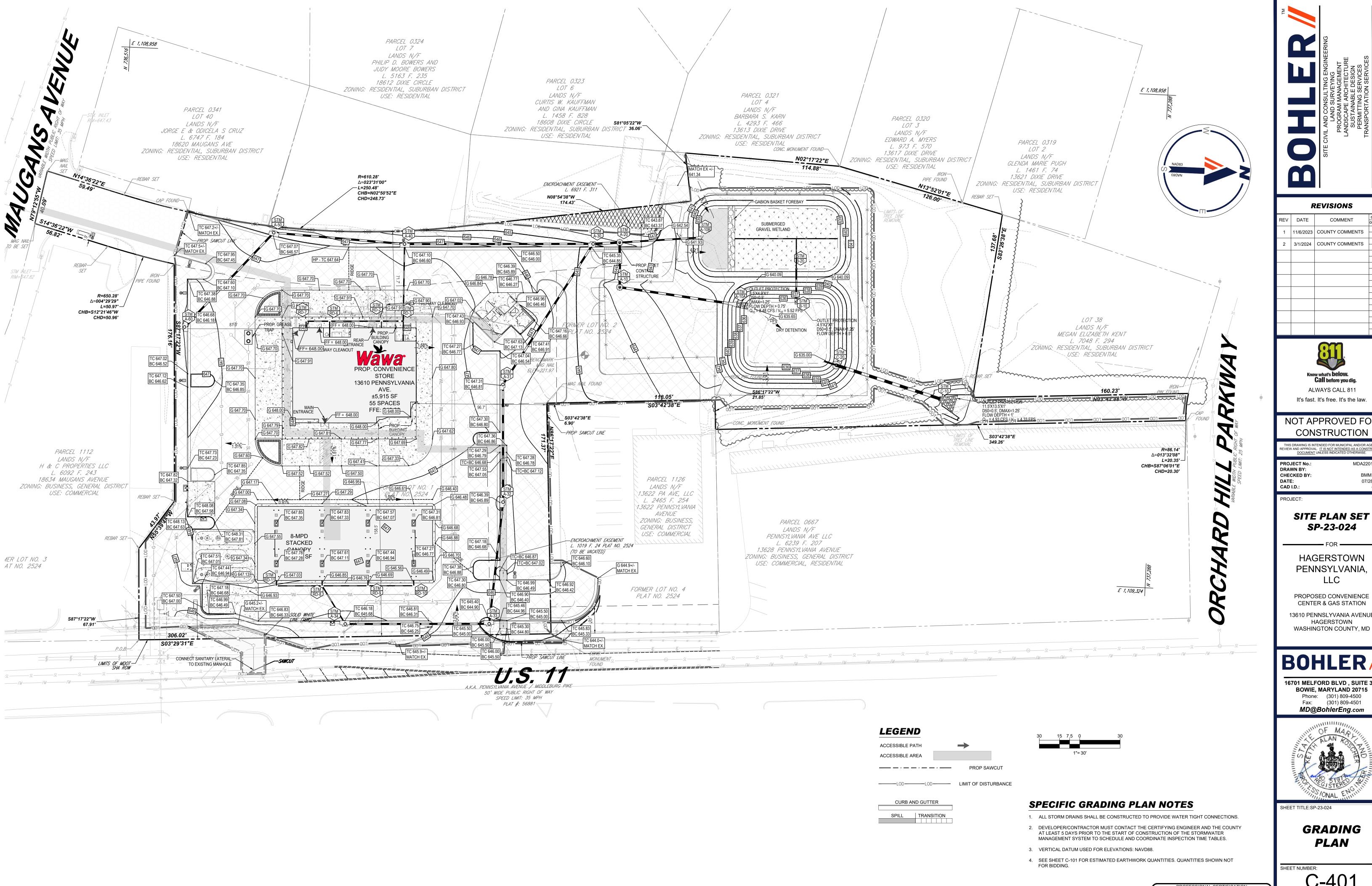
16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



SHEET TITLE:SP-23-024

EASEMENT PLAN

C-302



REV	DATE	COMMENT	DRAWN I
	44/0/0000	COUNTY COMMENTS	DT
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2	3/1/2024	COUNTY COMMENTS	AH
	3/1/2024	COONTT COMMENTS	KK
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PROJECT No.: DRAWN BY: BMM / KAK CHECKED BY: 07/28/2023

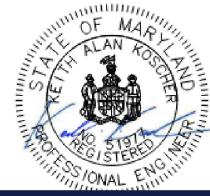
SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



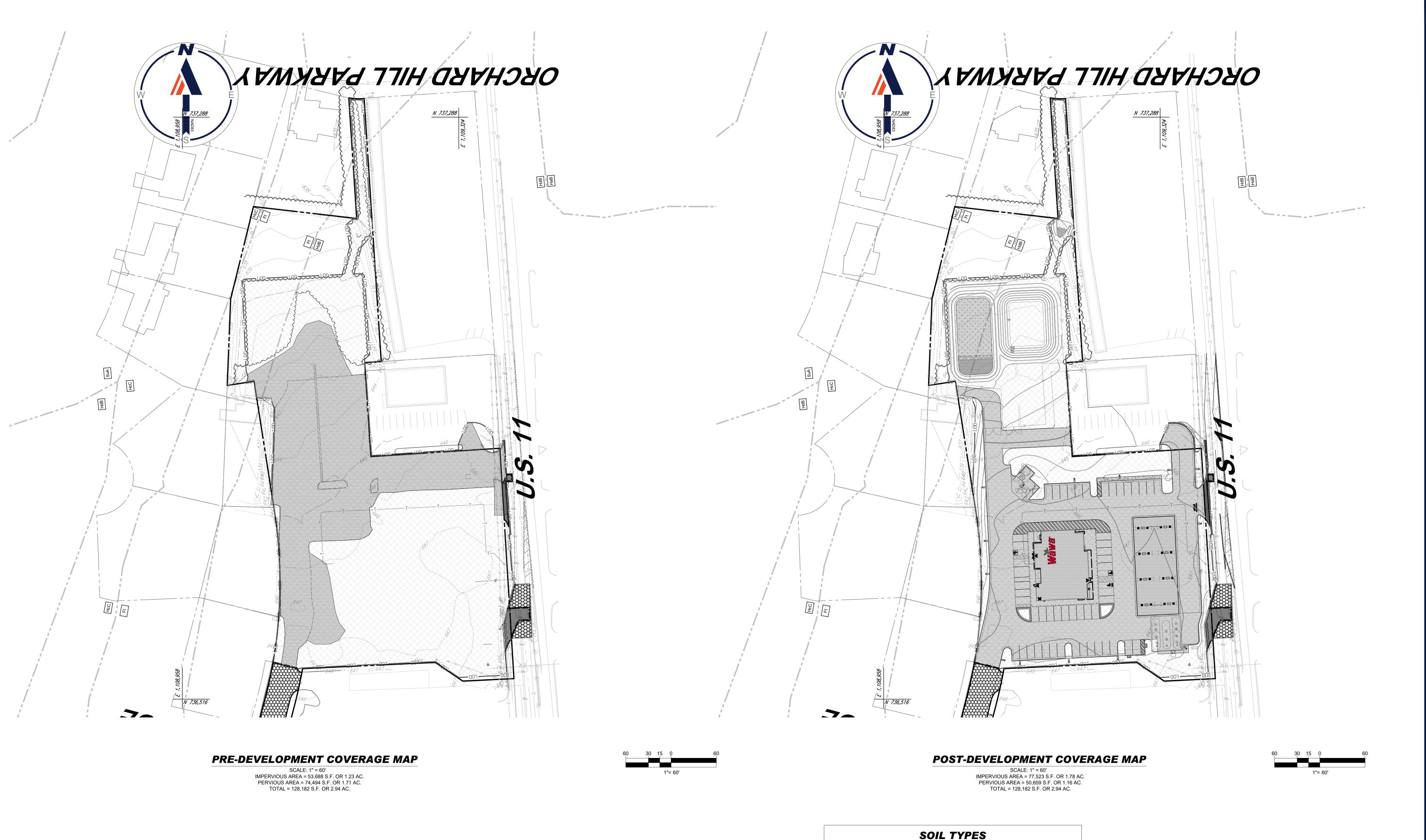
SHEET TITLE:SP-23-024

GRADING PLAN

SHEET NUMBER:

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025



SOIL TYPES				
SYMBOL	DESCRIPTION	HYDRIC SOIL	HYDROLOGIC SOIL GROUP	HIGHLY ERODIBLE
HdB	HAGERSTOWN - DUFFIELD - URBAN LAND COMPLEX, 0-8% SLOPES	NO	В	YES (K=0.37)
Ft	FUNKSTOWN SILT LOAM, 0-3% SLOPES	NO	С	YES (K=0.37)

OBTAINED FROM: USDA, NRCS, WEB SOIL SURVEY (WSS) AVAILABLE ONLINE AT HTTP://WEBSOILSURVEY.NRCS.USDA.GOV

SOIL LEGEND

SOIL BOUNDARY

LEGEND LIMIT OF DIS

LIMIT OF DISTURBANCE

IMPERVIOUS AREA WITHIN THE
LIMIT OF DISTURBANCE

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

ND CONSULTING ENGINEERING
LAND SURVEYING
OGRAM MANAGEMENT
DSCAPE ARCHITECTURE

REVISIONS

REV	DATE	COMMENT	DRAW
1	11/6/2023	COUNTY COMMENTS	D
	11/0/2020		Al-
2	3/1/2024	COUNTY COMMENTS	K



ALWAYS CALL 811

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NOT APPROVED FOR CONSTRUCTION

HIS DRAWING IS IN LENDED FOR MUNICIPAL AND/OR AGENCY
EW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION

<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

 PROJECT No.:
 MDA220191

 DRAWN BY:
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 07/28/20

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SITE PLAN SET SP-23-024

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HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER/

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

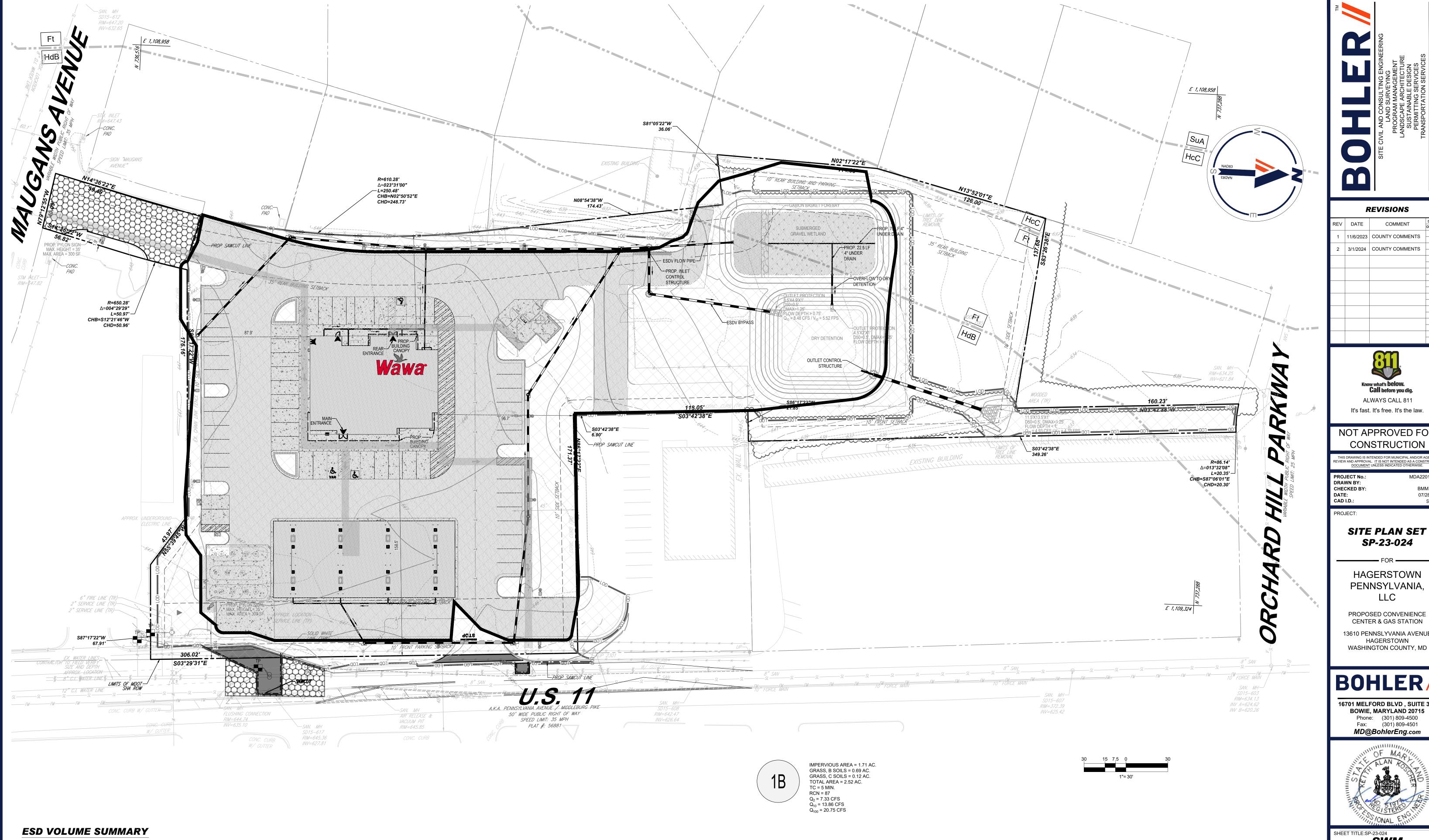


SHEET TITLE:SP-23-024

COVERAGE AREA MAPS

SHEET NUMBE

C-402



Drainage Area #	SWM Facility #	Drainage Area (Acres)	To Treatment	Target ESDv	Provided ESDv with Micro-Scale Practices	PE Provided (In.)
DA-1	SGW	2.510	100%	4267 cf	4271 cf	0.71
	Σ	2.51	100%	4267.0 cf	4271 cf	

Required Site Area ESD=	4,267 cf
Nequiled Site Alea ESD-	·
Provided Site Area ESD=	4,271 cf
Provided Site Area WQv=	00 cf
TOTAL PROVIDED PE :	
PE = (12 X ESDV) / (RV X A) =	2.2 inches
TOTAL PROVIDED QE :	
QE = PE X RV =	2.13 inches

LEGEND

IMPERVIOUS AREA

NOTES: THE SUBMERGED GRAVEL WETLAND AND THE DRY RETENTION POND ARE EXEMPT FROM MD-378

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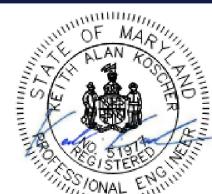
SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

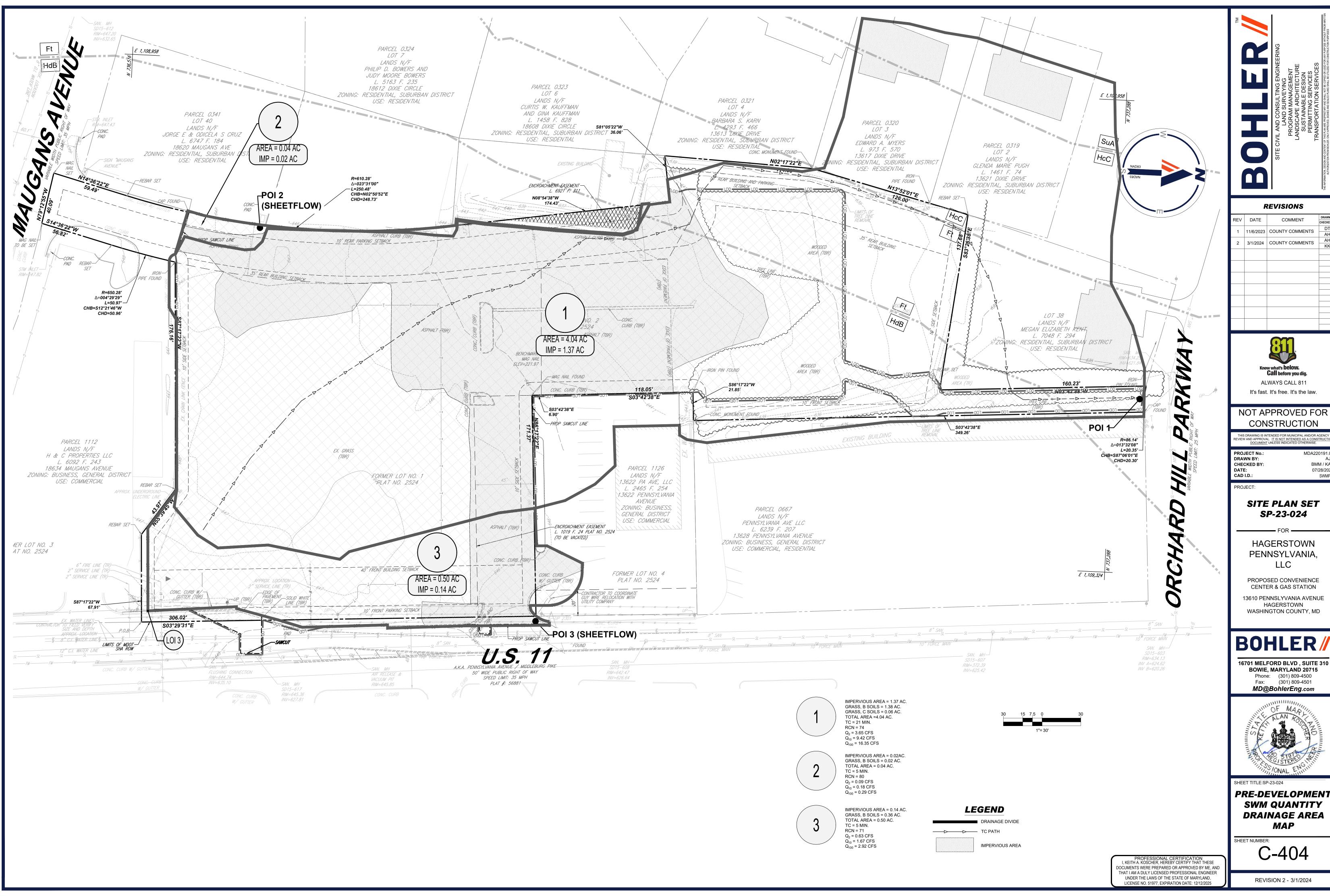
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SHEET TITLE:SP-23-024 **QUALITY** DRAINAGE AREA MAPS



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HAGERSTOWN

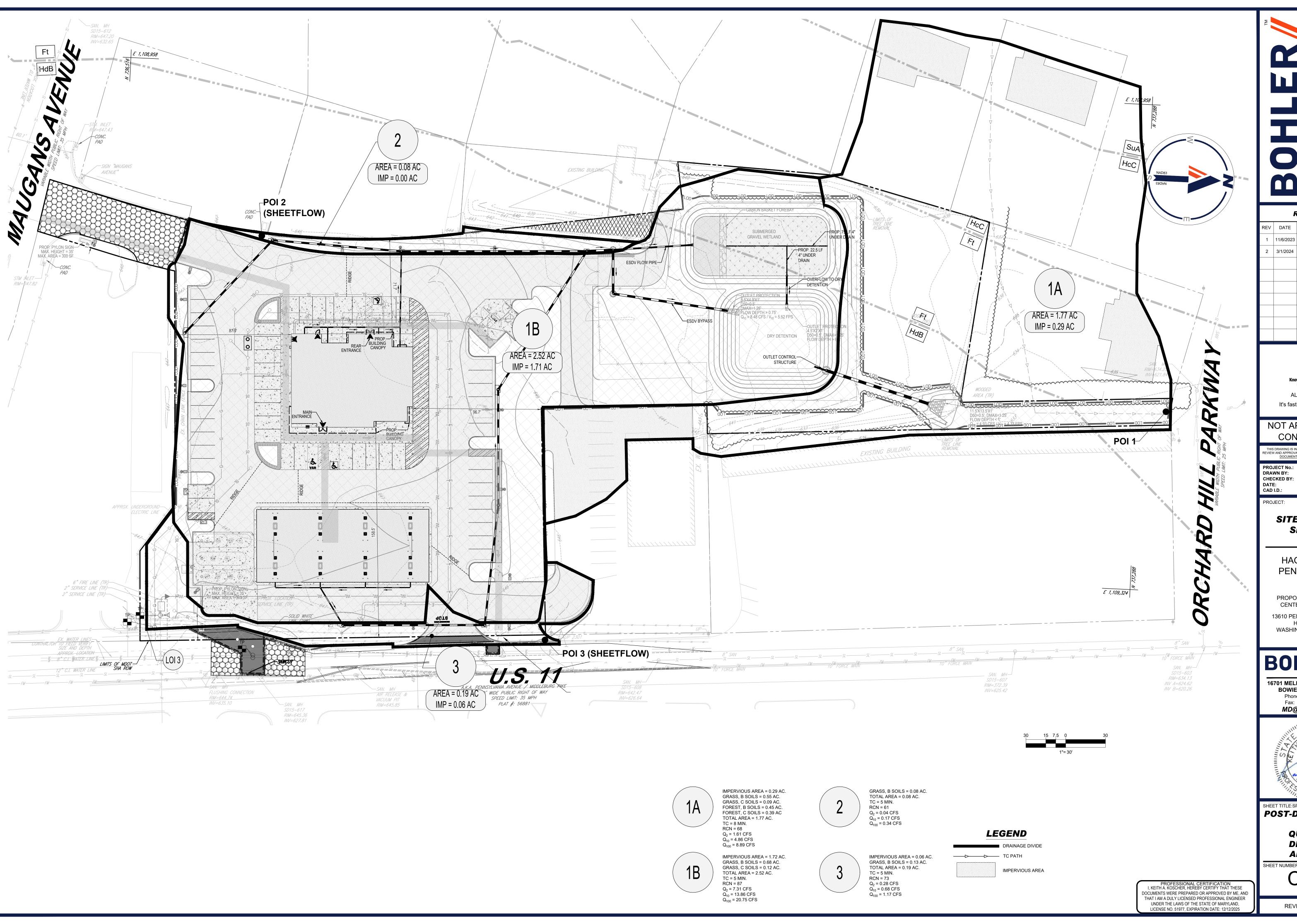
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PRE-DEVELOPMENT **SWM QUANTITY** DRAINAGE AREA





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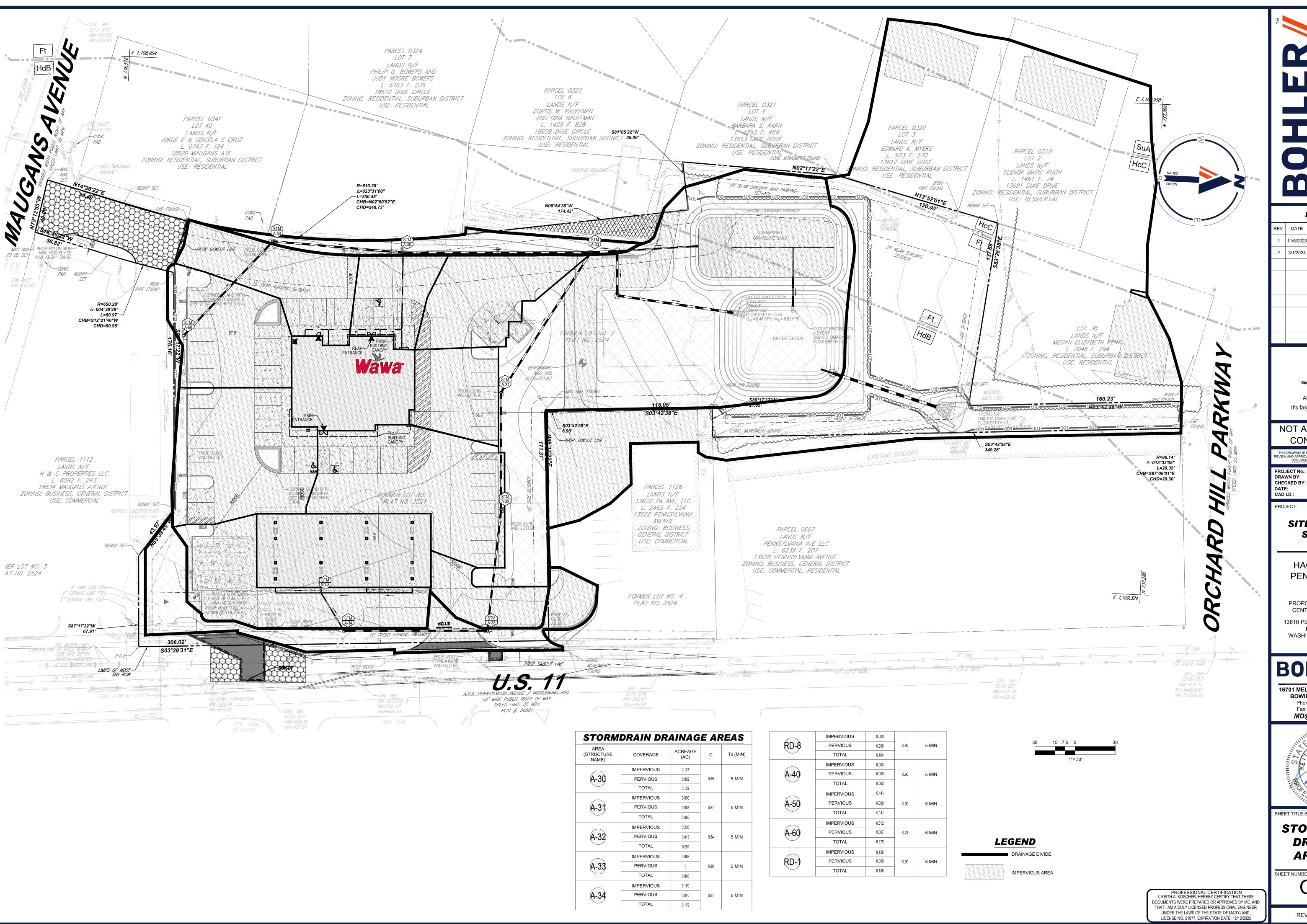
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SHEET TITLE:SP-23-024 **POST-DEVELOPMENT** SWM

QUANTITY DRAINAGE AREA MAP





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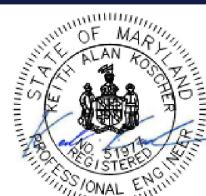
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SHEET TITLE:SP-23-024

STORM DRAIN DRAINAGE AREA MAP

M-2. Submerged Gravel Wetlands

A submerged gravel wetland is a small-scale filter using wetland plants in a rock media to provide water quality treatment. Runoff drains into the lowest elevation of the wetland, is distributed throughout the system, and discharges at the surface. Pollutant removal is achieved in a submerged gravel wetland through biological uptake from algae and bacteria growing within the filter media. Wetland plants provide additional nutrient uptake and physical and chemical treatment processes allow filtering and absorption of organic matter.

Applications:

A submerged gravel wetland can be located in limited spaces, typically set aside for site landscaping such as traffic islands or roadway medians. These systems are best suited for Maryland's Eastern Shore or areas where a high water table or poorly drained soils are present. This practice is not recommended for individual lots in a residential subdivision. Depending on individual site soil characteristics, a larger drainage area may be required to maintain saturated conditions within the wetland.

Performance:

When designed according to the guidance provided below, P_E for the contributing drainage area is based on the volume captured by submerged gravel wetlands.

Constraints:

The following constraints are critical when considering the use of submerged gravel wetlands to capture and treat stormwater runoff:

- > **Space:** Additional space is needed for pretreatment measures to prevent sediment or debris from entering and clogging the gravel bed.
- ➤ **Topography:** While surrounding local slopes should be relatively flat (<2%), there needs to be sufficient elevation drop to maintain positive drainage to and through the filter media.
- > Soils: The HSG should be C or D, or a high groundwater table, hard pan, or other confining layer should be present to maintain submerged flow conditions.
- > Drainage Area: The drainage area should be large enough (e.g., one acre) to maintain submerged flow conditions.
- ➤ Hotspot Runoff: Submerged gravel wetlands without a liner should not be used to treat hotspots that generate higher concentrations of hydrocarbons, trace metals, or toxicants than are found in typical stormwater runoff and may contaminate groundwater.

Chapter 5. Environmental Site Design... .Nonstructural and Micro-Scale Practices

➤ Wetland Vegetation Establishment: Use of native wetland plant stock obtained from a local aquatic plant nursery is recommended for establishing vegetation. Design variations may use wetland mulch or topsoil on top of the gravel, which may allow for successful seed germination. However, use of the rock media for establishing wetland conditions requires specific planting stock. Frequent inspection and maintenance will be necessary until wetland plantings are well established.

Design Guidance:

The following conditions should be considered when designing submerged gravel wetlands:

- **Conveyance:** Pretreated stormwater enters via piped or overland flow and discharges into the gravel-filled chamber. A perforated pipe (4 to 6-inch preferred) at the base of the gravel layer allows for flow-through conditions and maintains a constant water surface elevation. Discharges that exceed the ESD_v exit to a stable outfall at non-erosive velocities. These systems should be located off-line.
- > Treatment: Submerged gravel wetlands shall meet the following conditions:
- o Pretreatment shall be provided for 10% of the total ESD_v. An above ground forebay
- area or below ground pretreatment chamber may be used. • Storage for 75% of ESD_{ν} for the entire drainage area contributing to the wetland shall be provided. A P_E value based on the ESD_v captured and treated shall be applied to the contributing drainage area. Temporary ponding depth shall not be greater than the tolerance levels of the wetland vegetation. Temporary storage of ESD_v may be provided above the gravel bed.
- Storage calculations shall account for the porosity of the gravel media. • The gravel substrate shall be no deeper than four feet.
- o Surface area requirements for stormwater wetlands in Chapter 3 do not apply to this practice because pollutant removal primarily takes place within the rock media.
- ► Flow Splitter: A flow splitter should be provided to divert the ESD_v to the submerged
- gravel wetland (see Details No. 5 and No. 6, Appendix D.8). > Treatment Cells: Multiple treatment cells are optional and may be separated by earth
- ➤ Observation Wells: An observation well consisting of an anchored, six-inch diameter perforated pipe shall be required. The top of the observation well shall be at least six inches
- ➤ Landscaping: A minimum of three different types of wetland species shall be provided.

Replacement plantings may be necessary.

5.78

Chapter 5. Environmental Site Design... ..Nonstructural and Micro-Scale Practices

Construction Criteria:

The following items should be addressed during the construction of projects with submerged gravel wetlands:

- > Site Disturbance: All on-site disturbed areas should be stabilized prior to allowing runoff to enter the newly constructed wetland.
- **Erosion and Sediment Control:** The proposed location of a submerged gravel wetland shall be protected during construction. Surface runoff shall be diverted away from the practice during grading operations. Flow splitters and other conveyance infrastructure shall

Wetland construction shall be performed with lightweight, wide-tracked equipment to minimize disturbance and compaction. Excavated materials shall be placed in a contained area. Any pumping operations shall discharge filtered water to a stable outlet.

➤ Gravel Media: The aggregate shall be composed of an 18 to 48 inch layer of clean washed, uniformly graded material with a porosity of 40%. Rounded bank run gravel is recommended (e.g., ASTM D448 4,5, or 6 stone or equal)...

- Regular inspections shall be made during the following stages of construction:
 - During excavation to subgrade.
 - During placement of backfill of perforated inlet pipe and observation wells. • During placement of geotextiles and all filter media.
 - During construction of any appurtenant conveyance systems such as diversion structures, inlets, outlets, and flow distribution structures.
 - Upon completion of final grading and establishment of permanent stabilization, and before allowing runoff to enter the wetland.

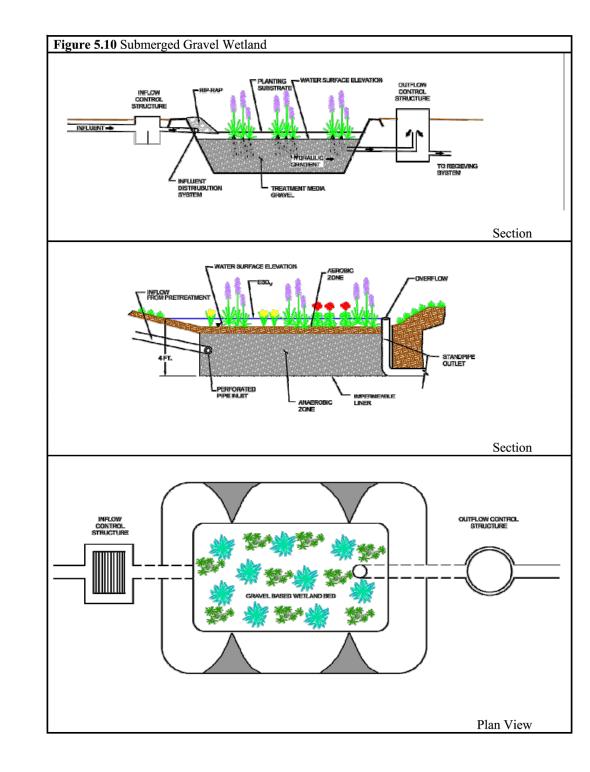
Maintenance Criteria:

The following items should be addressed to ensure proper maintenance and long-term performance of submerged gravel wetlands:

- > Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- During the first year of operation, inspections should be conducted after every major storm and poorly established areas revegetated.
- > Sediment accumulation in the pretreatment areas should be removed as necessary.

5.80

Chapter 5. Environmental Site Design... ..Nonstructural and Micro-Scale Practices



5.79

Chapter 5. Environmental Site Design... ..Nonstructural and Micro-Scale Practices

- > Signs of uneven flow distribution within the wetland may mean that the gravel or underdrain is clogged. The gravel and/or underdrain may need to be removed, cleaned, and replaced.
- A dense stand of wetland vegetation should be maintained through the life of the facility with plantings replaced as needed.
- ➤ Inlets and outlets to each submerged gravel wetland cell should be free from debris to prevent clogging.
- > Erosion at inflow points should be repaired. Flow splitters should be functional to prevent

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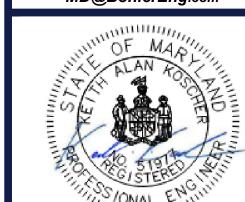
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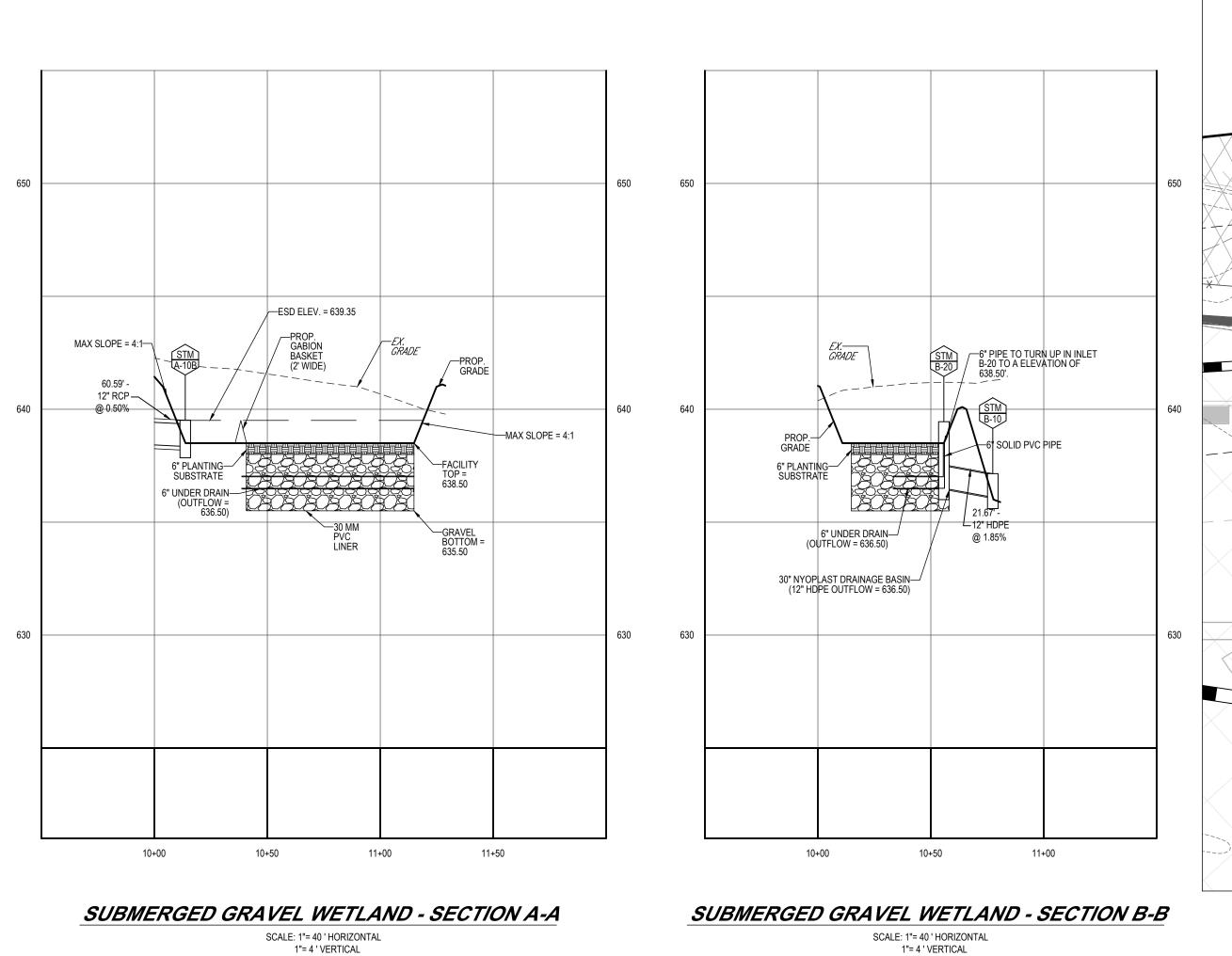


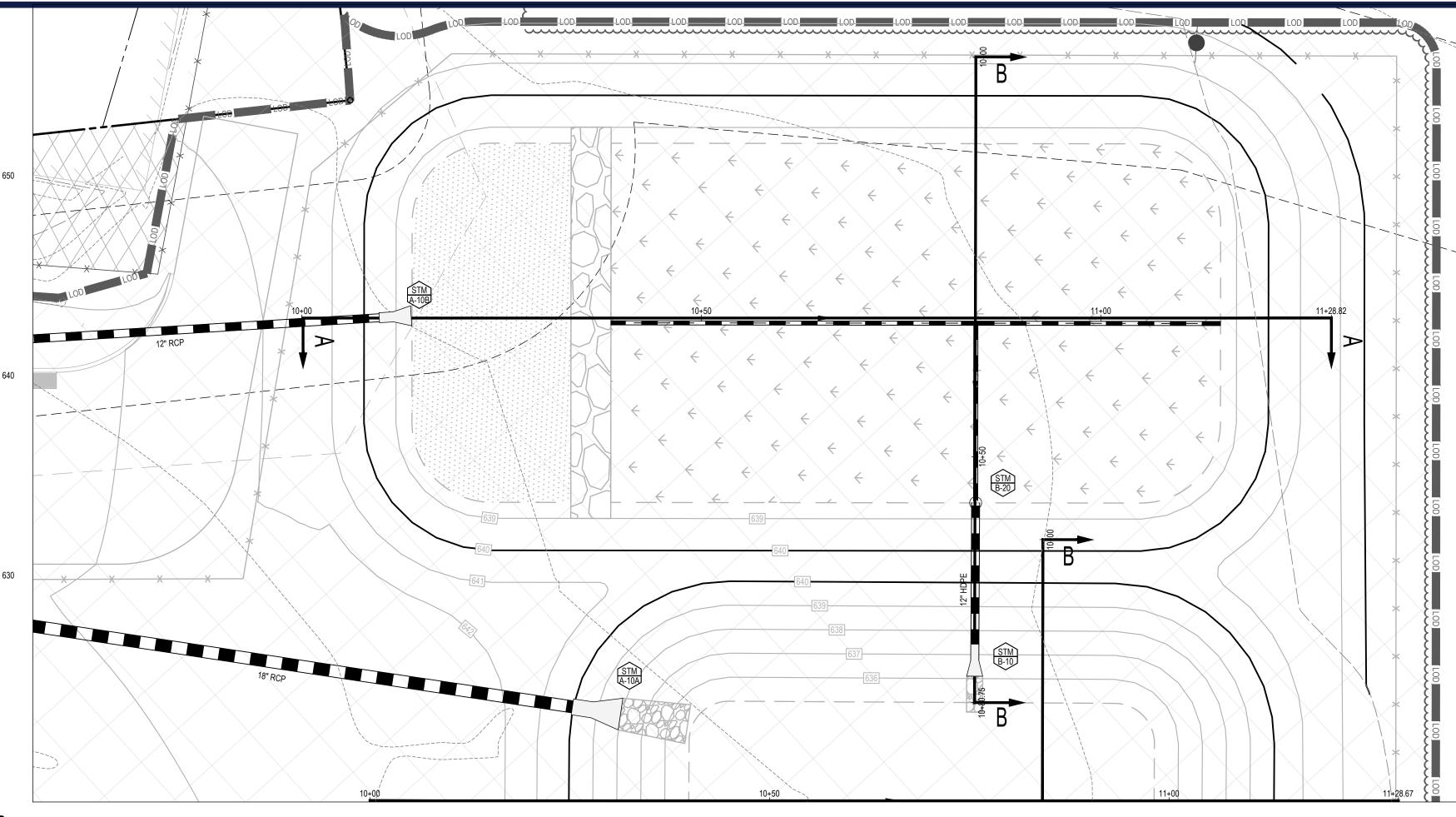
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STORMWATER MANAGEMENT **NOTES AND DETAILS**

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LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025





SUBMERGED GRAVEL WETLAND DETAIL

STORMWATER MANAGEMENT INSPECTIONS CHECKLIST FACILITY #1 (GRAVEL WETLAND FACILITY #1) SEQUENCE INITIALS DATE EXCAVATION OF FACILITY - PRIOR TO EXCAVATION, VERIFY SEDIMENT AND EROSION CONTROL FEATURES ARE IN PLACE TO PREVENT SEDIMENT INFLOW. VERIFY ALL FLAGGING REQUIRED IN THE AREA FOR SENSITIVE AREA PROTECTION. VERIFY GRADING IS ACCURATELY STAKED-OUT AND RE-STAKED AS NEEDED. FACILITY DIMENSIONS SHALL BE VERIFIED. VERIFY CONTRIBUTING AREA IS PERMANENTLY STABILIZED. VERIFY THAT WATER IS NOT PRESENT. ENSURE ROUGHENING OF SIDE WALLS IF SHEARED AND SEALED BY HEAVY EQUIPMENT. VERIFY THAT COMPACTION OF FACILITY PLACEMENT OF FILTER CLOTH AND 30-MIL PVC POLYLINER (TRENCHES) - ENSURE FILTER FABRIC IS OVERLAPPING TWO (2) FEET BETWEEN STRIPS OF CLOTH. ENSURE TREE ROOTS OR OTHER OBSTACLES ARE REMOVED FROM FACILITY WALLS OR SIDES AND BASE TO PREVENT TEARING. VERIFY THAT UPHILL FABRIC ROLL OVERLAPS TWO (2) FEET OVER DOWNHILL ROLL. PLACEMENT OF STONE RESERVOIR, UNDER DRAIN, AND OBSERVATION WELL - VERIFY DEPTH AND WIDTH OF STONE RESERVOIR. VERIFY FILL MATERIAL. LOCATION, SIZE AND MATERIAL OF UNDER DRAIN AND OBSERVATION WELLS SHALL BE VERIFIED PRIOR TO STONE PLACEMENT. VERIFY PIPE ENDS CAPPED. 4. PLACEMENT OF BRIDGING STONE - VERIFY DEPTH AND WIDTH OF BRIDING STONE. VERIFY FILL MATERIAL. PLACEMENT OF FILTERING MEDIA - VERIFY BOTTOM LAYER MATERIAL AND THICKNESS. VERIFY FILTER MEDIA LAYER MATERIAL AND THICKNESS.

STORMWATER MANAGEMENT MAINTENANCE SCHEDULE (GRAVEL WETLAND FACILITY #1) FREQUENCY ACTIVITY AFTER MAJOR STORMS REMOVE SEDIMENT ACCUMULATION (AS NECESSARY). REMOVE TRASH AND DEBRIS ACCUMULATION (AS NECESSARY). SEMI-ANNUALLY DREDGE SEDIMENT FROM WETLAND AREA TO PREVENT THE GRAVEL BASE FROM BECOMING CLOGGED, THIS MAY REQUIRE REMOVING AND REPLACING GRAVEL. REMOVE ANY INVASIVE SPECIES. REPLANT WETLAND VEGETATION IN POORLY ESTABLISHED AREAS. EVERY 1 TO 3 YEARS CLEAR DEBRIS AND CLOGGING FROM INLETS AND OUTLETS TO EACH SUBMERGED WETLAND CELL. REPAIR EROSION AT INFLOW/OUTFLOW POINTS.

NOTES

1. ALL STORM DRAINS SHALL BE CONSTRUCTED TO PROVIDE WATER TIGHT CONNECTIONS

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07/28/2023

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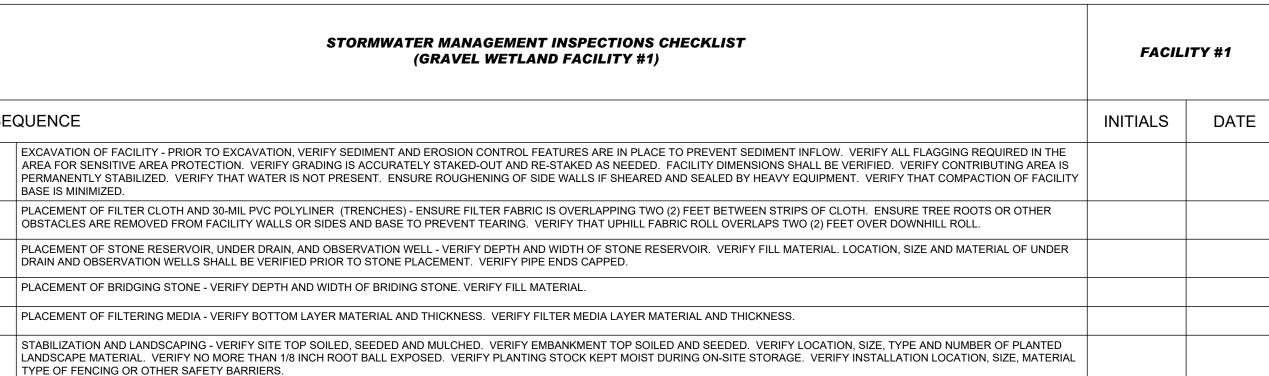
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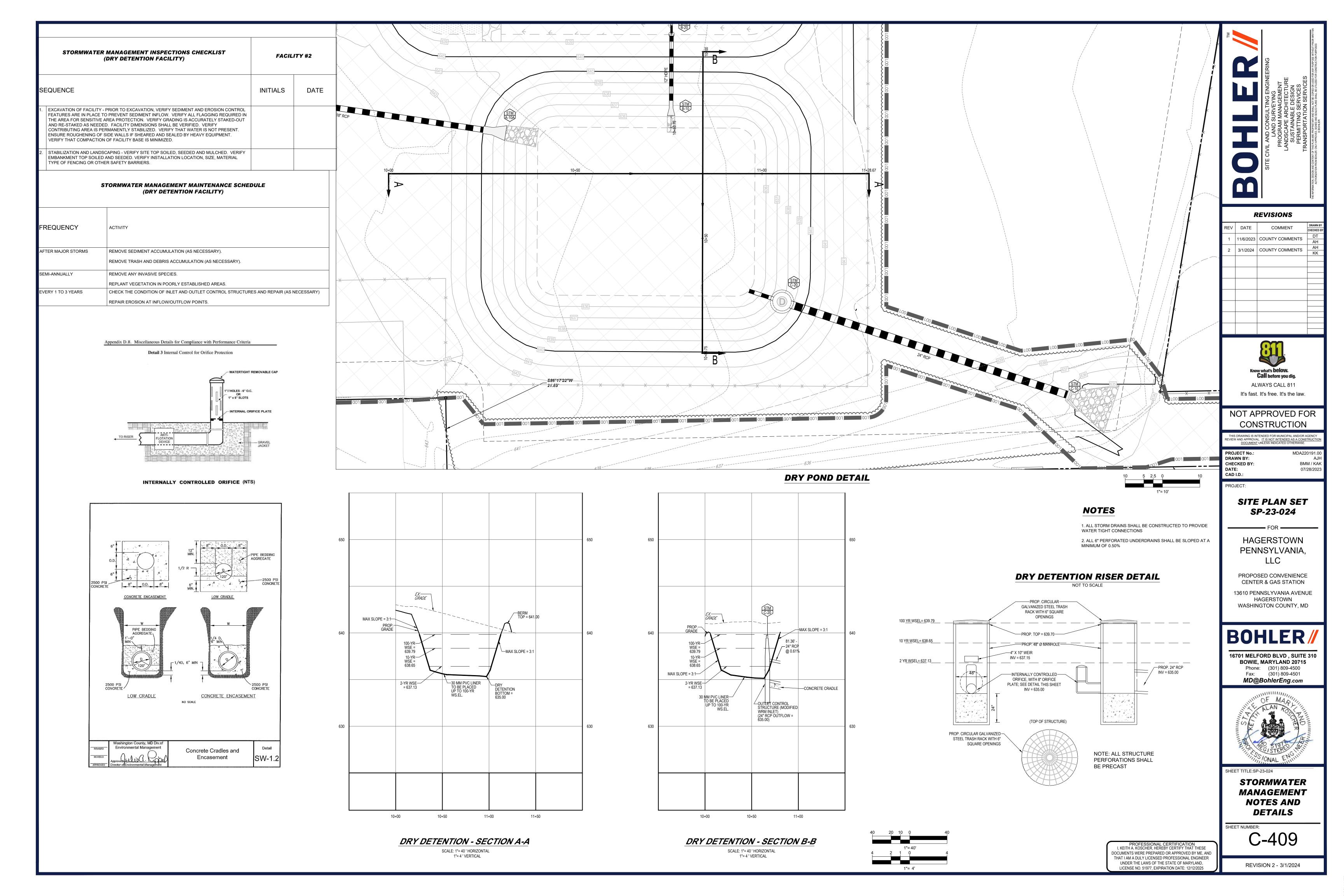
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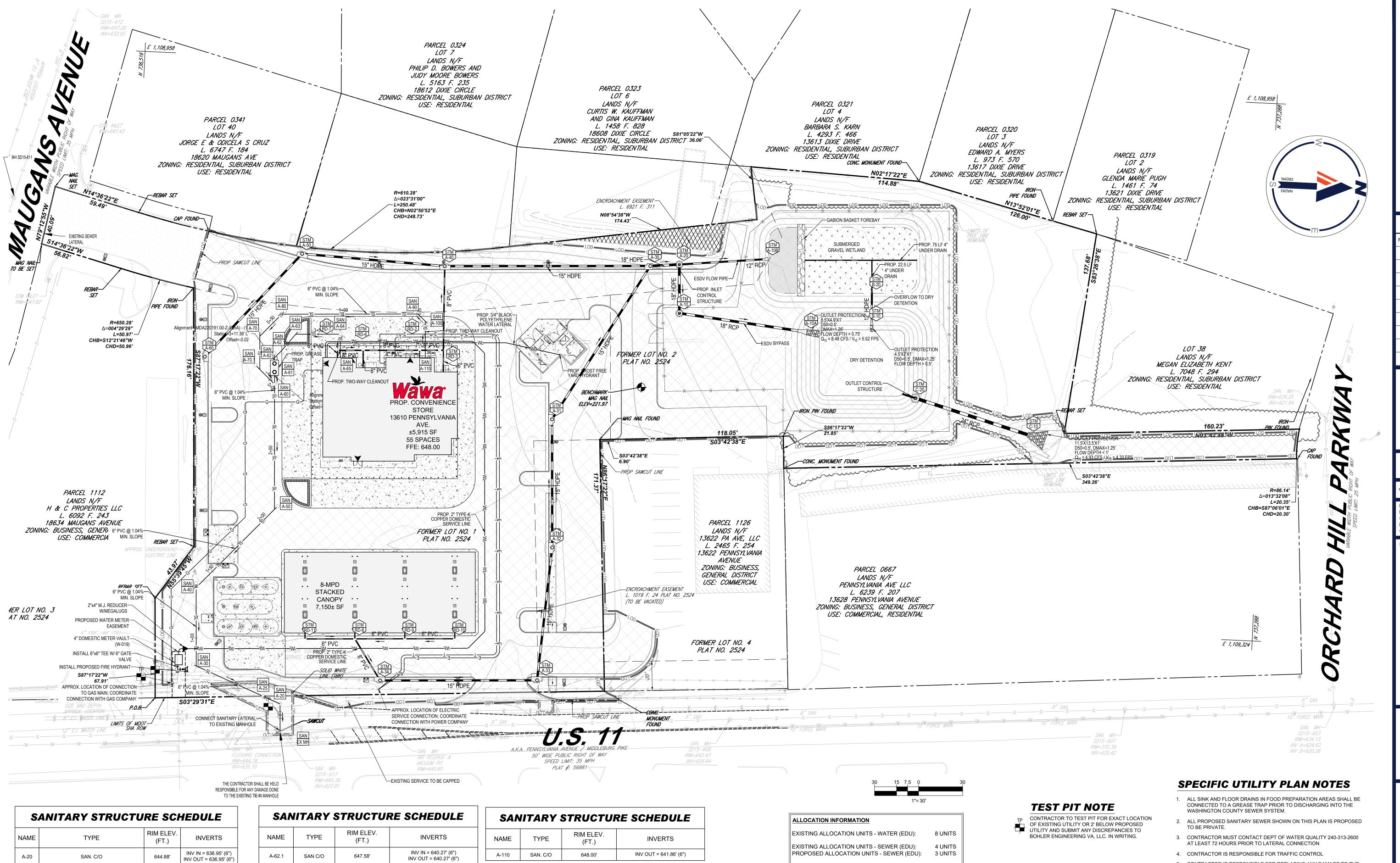


SHEET TITLE:SP-23-024

STORMWATER **MANAGEMENT NOTES AND DETAILS**







SANITARY STRUCTURE SCHEDULE						
NAME	TYPE	RIM ELEV. (FT.)	INVERTS			
A-20	SAN. C/O	644.88'	INV IN = 636.95' (6") INV OUT = 636.95' (6")			
A-25	CYLINDRICAL JUNCTION STRUCTURE NF	644.58'	INV IN = 637.08' (6") INV OUT = 637.08' (6")			
A-30	SAN. C/O	646.05'	INV IN = 637.60' (6") INV OUT = 637.60' (6")			
A-40	SAN. C/O	647.29'	INV IN = 638.15' (6") INV OUT = 638.15' (6")			
A-50	SAN. C/O	647.45'	INV IN = 638.94' (6") INV OUT = 638.94' (6")			
A-60	SAN. C/O	647.57'	INV IN = 640.09' (6") INV IN = 639.96' (6") INV OUT = 639.83' (6")			
A-61	GREASE TRAP	640.74'	INV IN = 640.17' (6") INV OUT = 640.17' (6")			
A-62	GREASE TRAP	647.58'	INV IN = 640.23' (6") INV OUT = 640.23' (6")			

NAME	TYPE	RIM ELEV. (FT.)	INVERTS	
A-62.1	SAN C/O	647.58'	INV IN = 640.27' (6") INV OUT = 640.27' (6")	
A-63	SAN C/O	647.75'	INV IN = 640.50' (6") INV OUT = 640.50' (6")	
A-64	SAN C/O	647.83'	INV IN = 640.81' (6") INV OUT = 640.81' (6"	
A-65	SAN. C/O	648.00'	INV OUT = 640.98' (6'	
A-70	SAN. C/O	647.38'	INV IN = 640.35' (6") INV OUT = 640.35' (6")	
A-70.1	SAN C/O	647.32'	INV IN = 640.11' (6") INV OUT = 640.11' (6")	
A-80	SAN. C/O	647.49'	INV IN = 640.57' (6") INV OUT = 640.57' (6")	
A-90	SAN. C/O	647.66'	INV IN = 641.53' (6") INV OUT = 641.53' (6")	

NAME TYPE RIM ELEV. (FT.)
A-110 SAN. C/O 648.00' INV OUT

CITY OF HAGERSTOWN UTILITIES **DEPARTMENT - WATER DIVISION**

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) (DATE)

- 5. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY DAMAGE TO THE
- EXISTING MANHOLE. 6. A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF
- HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE, CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577 EXT 653 FOR THE PERMIT APPLICATION

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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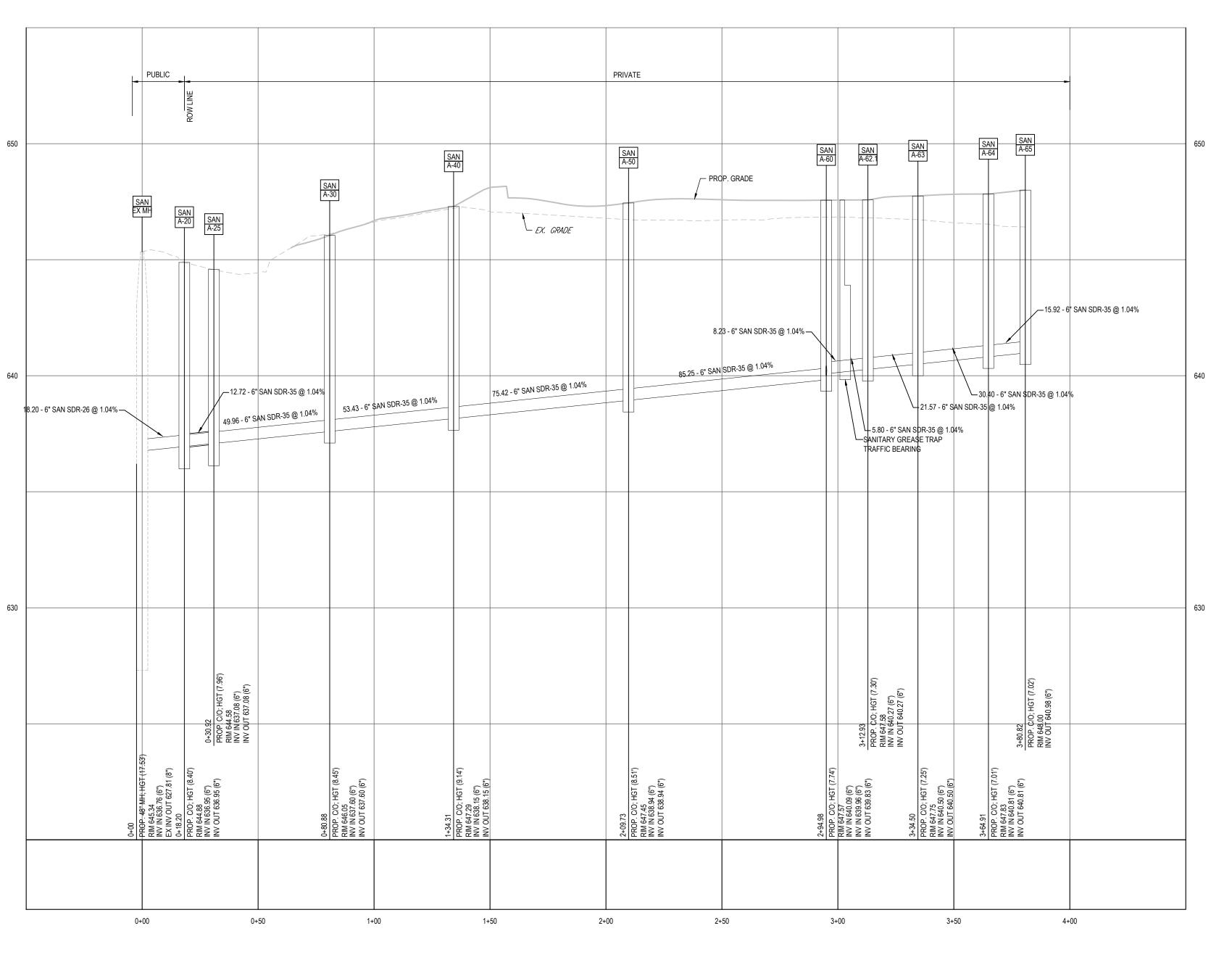
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SHEET TITLE:SP-23-024

UTILITY PLAN

C-501



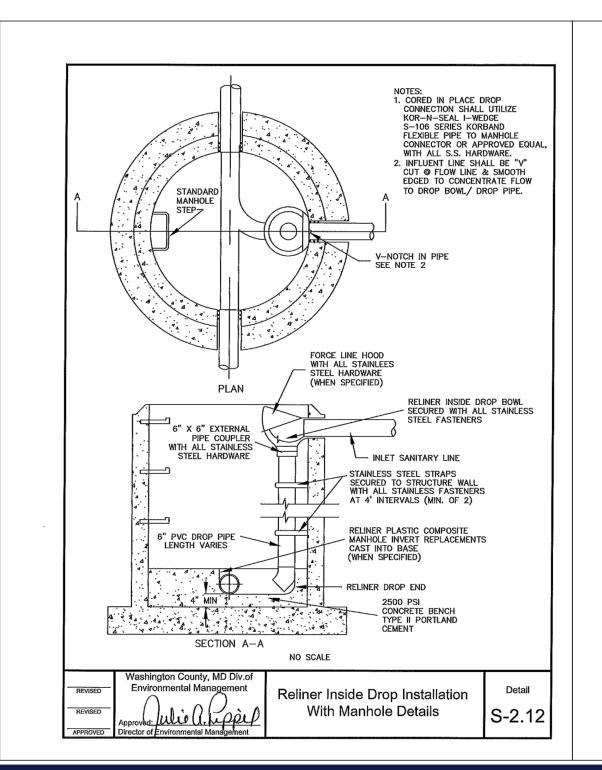
PRIVATE PROP. GRADE EX. GRADE — __24.58 - 6" SAN SDR-35 @ 1.04% ___21.17 - 6" SAN SDR-35 @ 1.04% 92.72 - 6" SAN SDR-35 @ 1.04% 22.67 - 6" SAN SDR-35 @ 1.04% -14.14 - 6" SAN SDR-35 @ 1.04% -└_7.07 - 6" SAN SDR-35 @ 1.04% 0+00 1+00

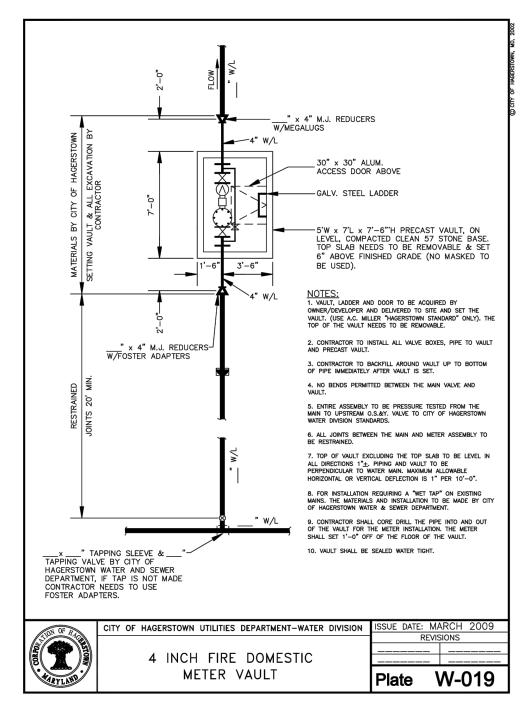
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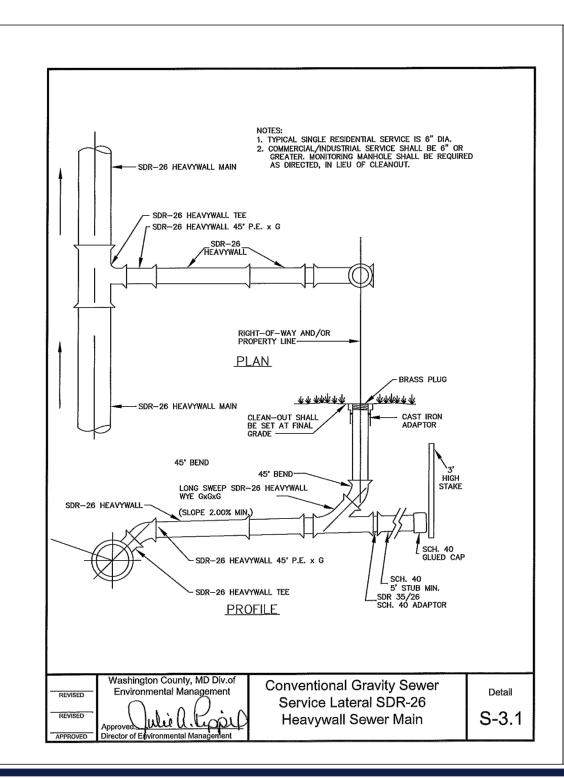
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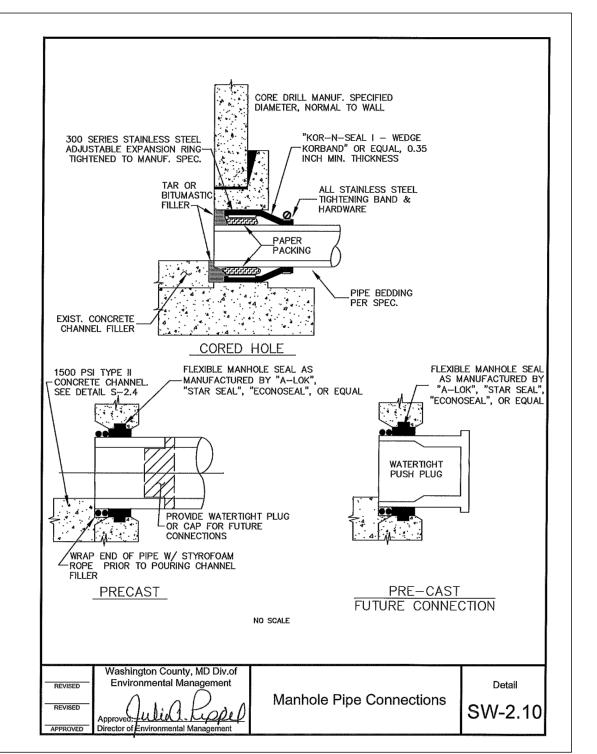
PROPOSED EX MH TO A-65 SCALE: 1"= 30 ' HORIZONTAL

1"= 3 ' VERTICAL









THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY

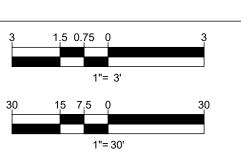
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

TEST PIT NOTE:

CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING IN WRITING PRIOR TO CONSTRUCTION

NOTES:

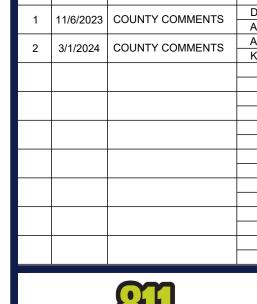
1. CONTRACTOR TO VERIFY ALL STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES



DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

REVISIONS

REV DATE COMMENT





NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE. PROJECT No.: MDA220191.00 DRAWN BY: CHECKED BY: BMM / KAK DATE: CAD I.D.: 07/28/2023

PROJECT:

SITE PLAN SET

SP-23-024

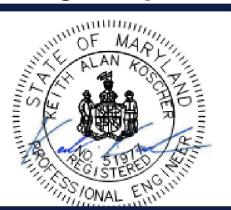
HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION** 13610 PENNSLYVANIA AVENUE

HAGERSTOWN WASHINGTON COUNTY, MD

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501

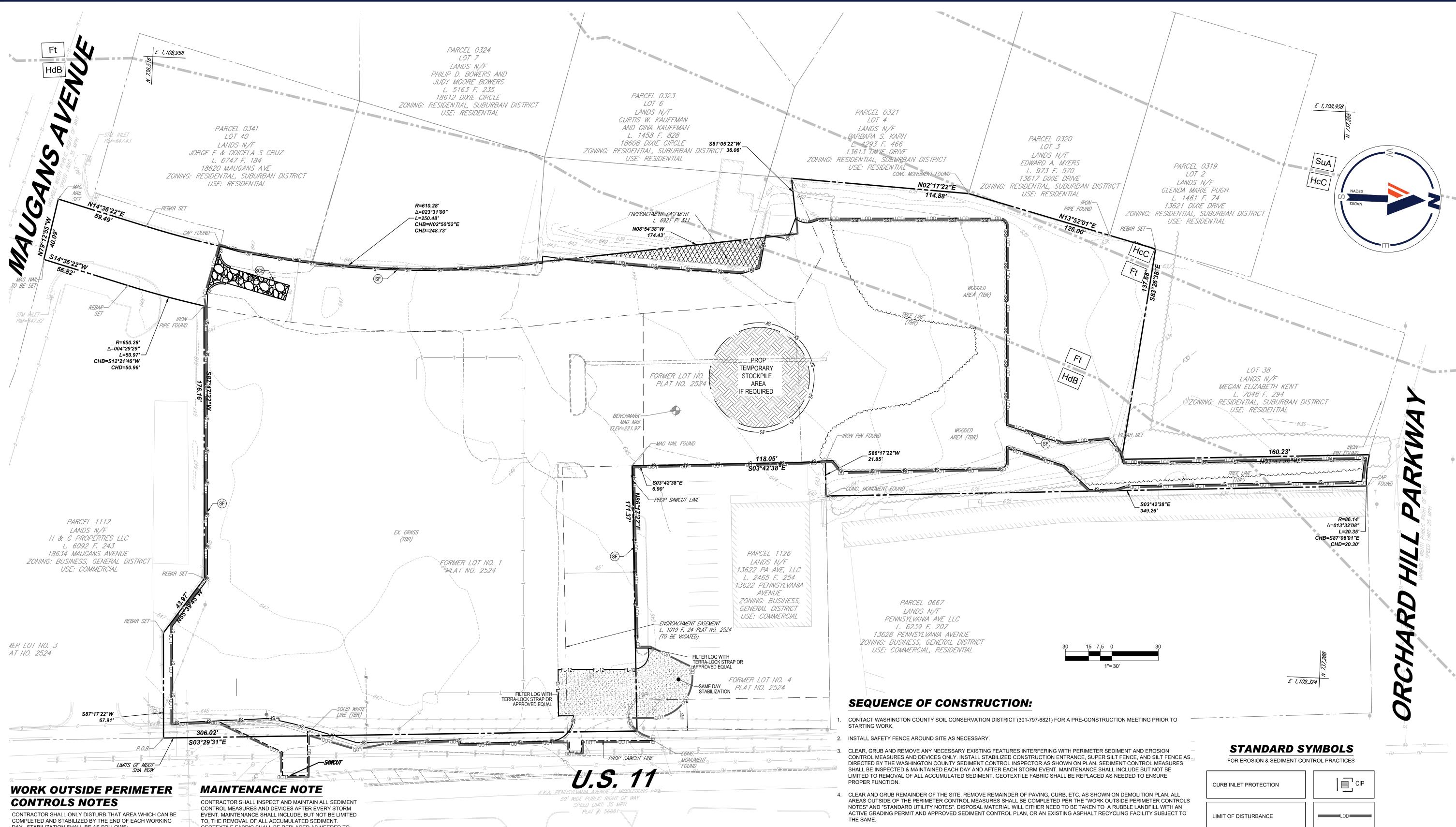
MD@BohlerEng.com



SHEET TITLE:SP-23-024

UTILITY PROFILE AND **DETAILS**

C-502



DAY. STABILIZATION SHALL BE AS FOLLOWS:

2. FOR AREAS TO BE VEGETATIVELY STABILIZED a. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR

1. FOR AREAS TO BE PAVED, THE APPLICATION OF STONE

SWALES b. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS. ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

STANDARD UTILITY NOTES

CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED . CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED TO AN APPROVED LOCATION TO WASTED MATERIALS

TO PAVED AREAS . CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORKING DAY. . IN AREAS WHERE CONSTRUCTION TAKES PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE

TRENCH ON THE UPHILL SIDE. 5. IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP TO A FILTER BAG TO DEWATER.

. CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.

. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.

GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO

ENSURE PROPER FUNCTION. WATERSHED

THIS SITE IS LOCATED WITHIN THE ANTIETAM CREEK WATERSHED WHICH IS NOT TIER II WATERSHED.

QUANTITY TAKEOFF OF SEDIMENT CONTROL MEASURES

STABILIZED CONSTRUCTION ENTRANCE: 1 EA. CURB INLET PROTECTION: 9 EA.

CUT: 2,110 C.Y. NET: 533 C.Y. (FILL)

> SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

> EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.

SOIL TYPES HYDROLOGIC SYMBOL DESCRIPTION HYDRIC SOIL HIGHLY ERODIBLE SOIL GROUP HAGERSTOWN - DUFFIELD YES (K=0.37) URBAN LAND COMPLEX, FUNKSTOWN SILT LOAM, YES (K=0.37) 0-3% SLOPES

SOIL LEGEND

OBTAINED FROM: USDA, NRCS, WEB SOIL SURVEY (WSS) AVAILABLE ONLINE AT

HTTP://WEBSOILSURVEY.NRCS.USDA.GOV

SOIL BOUNDARY

LIMIT OF DISTURBANCE: 128,070 S.F. OR 2.94 AC.

CURB INLET PROTECTION	CIP
LIMIT OF DISTURBANCE	LOD
SILT FENCE	
SUPER SILT FENCE	
FILTER LOG (12-INCH)	FL-12
STABILIZED CONSTRUCTION ENTRANCE	MSCE

NOTE:

AFTER DEMOLITION ACTIVITIES HAVE OCCURRED; INSTALL DETENTION BASIN. FOLLOWING BASIN INSTALLATION, INSTALL

PROTECTION IMMEDIATELY AFTER INLET INSTALLATION.

STONE SUBBASE OR PERMANENT SEED AND MULCH.

10. INSTALL ANY REMAINING STONE SUBBASE AND BEGIN PAVING.

THEY ARE CAPABLE OF FUNCTIONING AND CAPTURING ALL UPSLOPE FLOWS.

INSTALL SILT FENCE AROUND THIS AREA.

SCHEDULING SAID MEETING).

PROPOSED STORM DRAIN STRUCTURES AND ASSOCIATED PIPES AS SHOWN ON GRADING AND DRAINAGE PLANS. BLOCK PIPE TO GRAVEL WETLANDS AND DO NOT INSTALL GRAVEL WETLANDS UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED. INSTALL INLET

6. BEGIN ROUGH GRADING SITE. FOLLOWING MASS GRADING OF THE AREA SURROUNDING THE STORMWATER MANAGEMENT AREA,

7. CONTINUE INSTALLING STORM DRAIN STRUCTURES ALONG WITH ASSOCIATED STORM DRAIN PIPES. IMMEDIATELY INSTALL INLET

8. ONCE SUBGRADES ARE REACHED, BEGIN CONSTRUCTION OF BUILDINGS, CANOPIES, UNDERGROUND FUEL TANKS, TRASH ENCLOSURE, AND CONCRETE CURB AND GUTTER. BEGIN CONSTRUCTION OF REMAINING UNDERGROUND UTILITIES. GRADES

9. COMPLETE FINE GRADING OF SITE. SITE SHALL BE BROUGHT TO GRADE AS SOON AS POSSIBLE AND STABILIZED WITH EITHER

11. UPON STABILIZATION OF THE CONTRIBUTING DRAINAGE AREA WITH ESTABLISHED VEGETATION AND WITH PERMISSION FROM THE

THE DETENTION BASIN OF FAR ANY ACCUMULATED SEDIMENT ADJUST POND TO FINAL GRADE AND PROVIDE PERMANENT.

SCHEDULE AN INTERIM INSPECTION (COUNTY MONITORS CONSTRUCTION/DISTRICT AUTHORIZES THIS PROGRESSION)

12. INSTALL LANDSCAPING. UPON STABILIZATION OF SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION FROM THE

SEDIMENT CONTROL INSPECTOR. INSTALL GRAVEL WETLAND, REMOVING SEDIMENT AND DEWATERING AS NECESSARY. DEWATER

STABILIZATION. NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, AND THE WASHINGTON COUNTY

ENGINEERING DEPARTMENT AT 240-313-2460 AT LEAST (5) DAYS PRIOR TO THE CONSTRUCTION OF WATER QUALITY PRACTICES TO

SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS

PROCESS. NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, AND THE WASHINGTON COUNTY

ENGINEERING DEPARTMENT AT 240-313-2460 AT LEAST (5) DAYS PRIOR TO THE REMOVAL OF ANY SOIL EROSION AND SEDIMENT

CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW MEETING (VEGETATION MUST MEET THE 95% OVERALL

STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION PRIOR TO

AROUND THE BUILDING SHOULD BE DESIGNED SUCH THAT ALL RUNOFF WILL FLOW AROUND THE BUILDING.

PROTECTION ON PROPOSED INLETS. CONTRACTOR SHALL PERFORM SUFFICIENT GRADING SURROUNDING INLETS, TO ENSURE

ANY SPOIL AND/OR BORROW MUST COME FROM AND/OR GO TO A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

16701 MELFORD BLVD, SUITE 310

BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

BOHLER

REVISIONS

11/6/2023 COUNTY COMMENTS

3/1/2024 | COUNTY COMMENTS

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ALWAYS CALL 811

It's fast. It's free. It's the law.

NOT APPROVED FOR

CONSTRUCTION

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<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

SITE PLAN SET

SP-23-024

HAGERSTOWN

PENNSYLVANIA

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE

HAGERSTOWN

WASHINGTON COUNTY, MD

BMM / KAK 07/28/2023

PROJECT No.:

CHECKED BY:

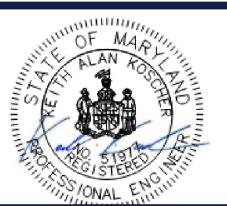
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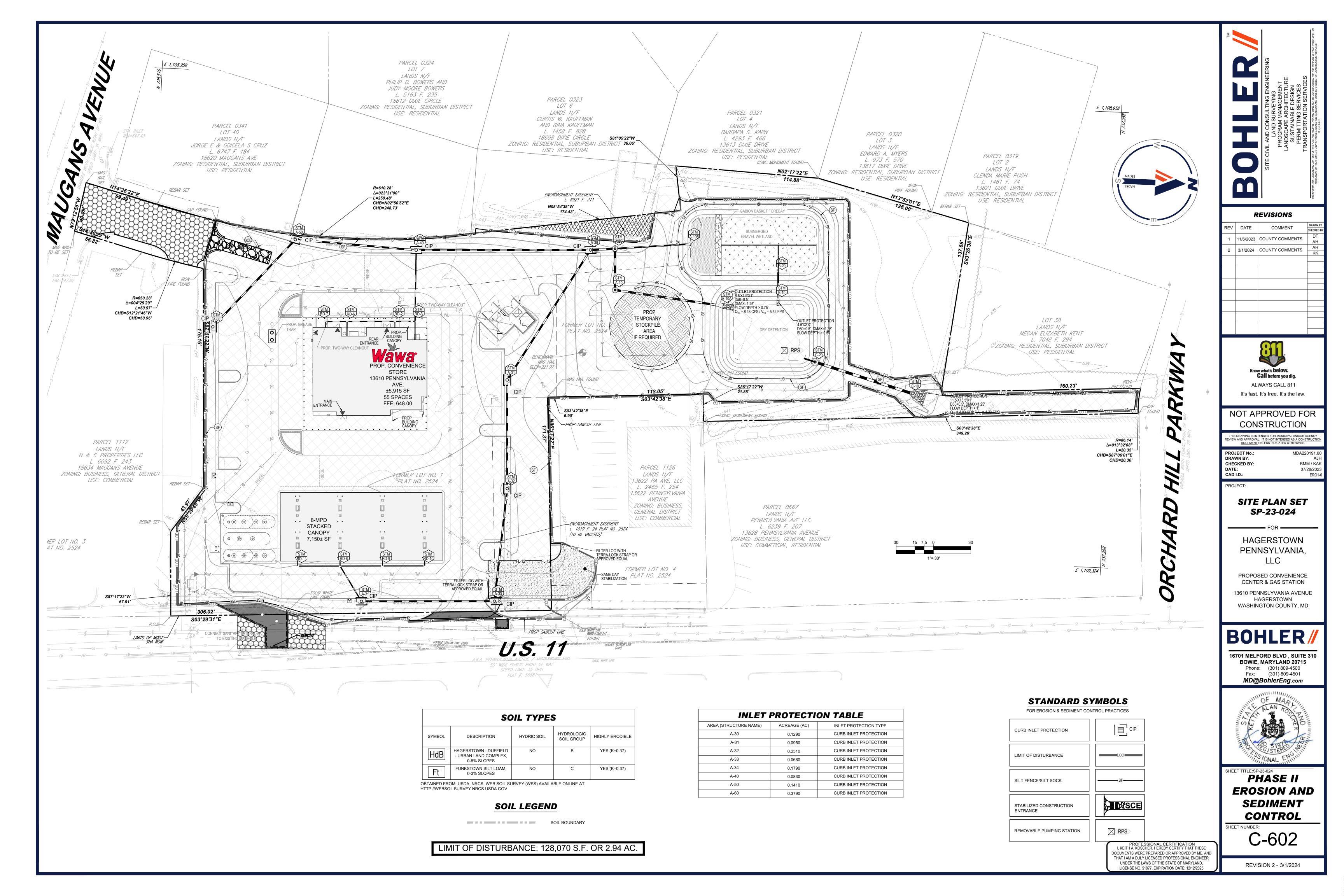
COMMENT

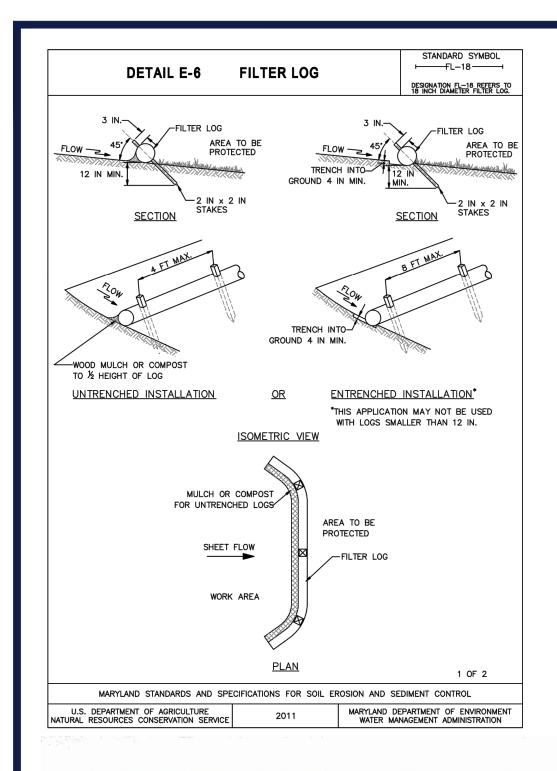
REV DATE



PHASE I **EROSION AND** SEDIMENT CONTROL

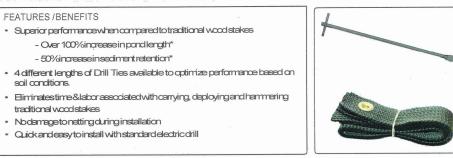
C-601





「erra-Lock™ Sock-Lok with Drill Tie Stake *⊑⊑ERIPPLE*

The new Terra-Lock™ Sock-Lok is An ASTM D 7351 and D 7208 Tested 'Compost Filter Sock' anchoring device bringing specifiable and measurable benefits to the installation and performance of the system. The Sock-Lok can be installed using our Drill Tie Stake when placing a sediment device on a hard surface such as frozen soil or Asphalt.



INSTALLATION TOOLS



www.gripple.com

NOTE:

1. CONTRACTOR TO UTILIZE TERRA-LOCK DEVICES OR APPROVED EQUALS WHERE "FILTER LOG

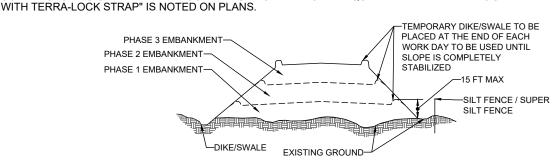


FIGURE B-2 - INCREMENTAL **STABILIZATION - FILL**

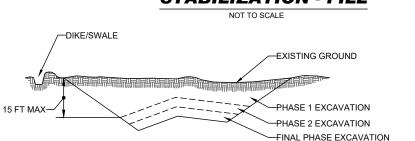
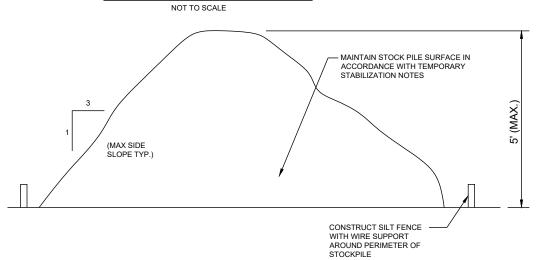


FIGURE B-1 - INCREMENTAL **STABILIZATION - CUT**



TEMPORARY STOCKPILE DETAIL

Table B.1: Temporary Seeding for Site Stabilization

Diag Consis	Seeding Rate 1/		Seeding	Recommended Seeding Dates by Plant Hardiness Zone 3/		
Plant Species	lb/ac	lb/1000 ft ²	Depth ^{2/} (inches)	5b and 6a	6b	a and 7b
Cool-Season Grasses						
Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	1.0	0.5	Mar 15 v May 31; Aug 1 to Sep	Mar 1 to May 15; Aug 1 to Oct 15	Feb 5 to Apr 30; Aug 15 to Nov 30
Barley (Hordeum vulgare)	96	2.2	1.0	Mar 15 to May 31; Aug / to Sep 3	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 3/; Aug 15 to Nov 30
Oats (Avena sativa)	72	1.7	1.0	Mar 15 to May 3 : Aug 1 to Sep 3	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Ap 30; Aug 15 to Nov 3
Wheat (Triticum aestivum)	120	2.8	1.0	Mar 15 to May 1; Aug 1 to Sep 3	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Ap 30; Aug 15 to No 30
Cereal Rye (Secale cereale)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 3	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Fec 15
Warm-Season Grasses						
Foxtail Millet (Setaria italica)	30	0.7	0.5	Jun / to Jul 31	May 16 to Jul 31	My 1 to Aug 14
Pearl Millet (Pennisetum glaucum)	20	0.5	0.5	an 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14

1/ Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixes, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur in very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.

Oats are the recommended nurse crop for warm-season grasses.

2/ For sandy soils, plant seeds at twice the depth listed above. 3/ The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

B.20

Table B.5: Recommended Planting Dates for Permanent Cover in Maryland ¹

Type of Plant Material	Plant Hardiness Zones					
Type of Plant Material	5b and 6a	6b	7a and 7b			
Seeds - Cool-Season Grasses (includes mixes with forbs and/or legumes)	Mar 15 to May 31 Aug 1 to Sep 30	Mar 1 to May 15 Aug 1 to Oct 15	Feb 15 to Apr 30 Aug 15 to Oct 31 Yoy 1 to Nov 30			
Seeds - Warm-Season/Cool-Season Grass Mixes (includes mixes with forbs and/or legumes)	Ma 15 to May 31♦ ♦ Jun to Jun 15*	Mar 1 to May 15 ♦ ♦ May 16 to Jun 15*	Feb 5 to Apr 3 • • May Nto May 31*			
Sod - Cool-Season	Mar 15 May 31 Jun 1 6 Aug 31* Sep to No. 1*+	Mar 1 to May 15 May 16 to Sep 14* Sep 15 to Nov 15* +	Feb 15 to Apr 30 May 1 to S to 30* Oct 1 to Dec 1*+			
Unrooted Woody Materials; Bare-Root Plants; Bulbs, Rhizomes, Corms, and Tubers ^{2/}	Mar 15 to May 31 Jun 1 to Jun 30*	Mar 1 to May 15 May 16 to Jun 30*	Fel 15 to Apr 3 May 1 to Jun 30*			
Containerized Stock; Balled-and-Burlapped Stock	Mar 15 to May 31 Jun 1 to Jun 30* Sep 1 to Nov 15*+	Mar 1 to May 15 May 16 to Jun 30* Sep 15 to Nov 30* +	Feb 15 to Apr 30 May 1 to Jun 30* Oct 1 to Dec 15*+			

- 1. The planting dates listed are averages for each zone. These dates may require adjustment to reflect local conditions, especially near the boundaries of the zones. When seeding toward the end of the listed planting dates, or when conditions are expected to be less than optimal, select an appropriate nurse crop from Table B.1 Temporary Seeding for Site Stabilization and plant together with the permanent seeding mix.
- 2. When planted during the growing season, most of these materials must be purchased and kept in a dormant condition until planting. Bare-root grasses are the exception—they may be supplied as growing (non-dormant) plants.
- ♦ Additional planting dates for the lower Coastal Plain, dependent on annual rainfall and temperature trends. Recommend adding a nurse crop, as noted above, if planting during this period.
- ♦ ♦ Warm-season grasses need a soil temperature of at least 50 degrees F in order to germinate. If soil temperatures are colder than 50 degrees, or moisture is not adequate, the seeds will remain dormant until conditions are favorable. In general, planting during the latter portion of this period allows more time for weed emergence and weed control prior to planting. When selecting a planting date, consider the need for weed control vs. the likelihood of having sufficient moisture for
- Additional planting dates during which supplemental watering may be needed to ensure plant establishment

DETAIL F-1 REMOVABLE PUMPING STATION

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914119

ELEVATION

USE CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS 6 INCHES ON CENTER.

. USE A MINIMUM 12 INCH DIAMETER INNER PIPE WITH AN OUTER PIPE A MINIMUM 6 INCHES LARGER IN DIAMETER. BOTTOM OF EACH PIPE MUST BE CAPPED WITH WATERTIGHT SEAL.

WRAP EACH PIPE WITH 1/4 INCH GALVANIZED HARDWARE CLOTH. ON INNER PIPE WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH.

SET TOP OF INNER AND OUTER PIPES MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE

BACKFILL PIT AROUND THE OUTER PIPE WITH ¾ TO 1½ INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE FLEVATION

A REMOVABLE PUMPING STATION REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOGS, PULL OUT INNER PIPE AND REPLACE GEOTEXTILE. KEEP POINT OF DISCHARGE FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

GEOTEXTILE

SECTION A-A

-ANTICIPATED

CONSTRUCTION SPECIFICATION'S

DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.

+ Frequent freezing and thawing of wet soils may result in frost-heaving of materials planted in late fall, if plants have not sufficiently rooted in place. Sod usually needs 4 to 6 weeks to become sufficiently rooted. Large containerized and balled-and-burlapped stock may be planted into the winter months as long as

B.34

HOOK AND CHAIN FOR REMOVAL

LCLEAN STONE
34 TO 1½ IN 7

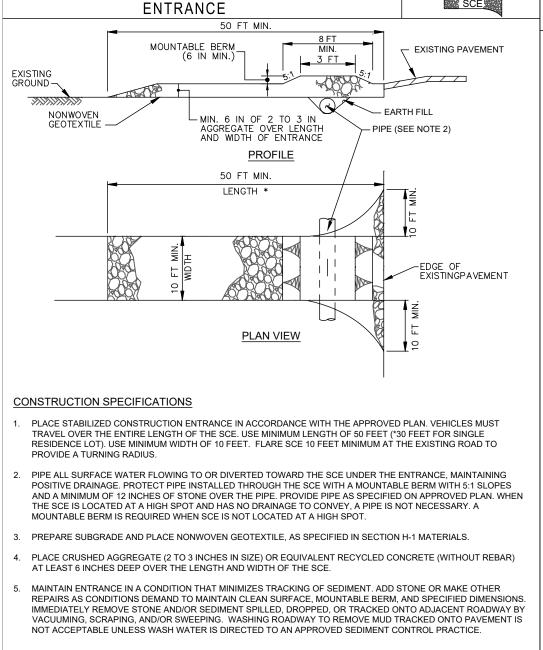
SUCTION LINE TO PUMP

- PERFORATED PIPE

EACH PIPE WITH WATERTIGHT SEAL

ADD WEIGHT AS

WRAPPED FIRST WITH 1/2, IN GALVANIZED HARDWARE CLOTH, THEN NONWOVEN GEOTEXTILE



EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN TH THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HANI ARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES WHERE NO ENDWALL IS USED. CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES. THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES. CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT MAINTAIN LINE GRADE AND CROSS SECTION, KEEP OUTLET FREE OF FROSION, REMOVE ACCUMULATED SEDIMEN MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLODGED RIPRAP. MAKE NECESSARY REPA AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE NECESSARY REPAIRS MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMENT U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE U.S. DEPARTMENT OF AGRICULTURE MARYLAND DEPARTMENT OF ENVIRONMENT MARYLAND DEPARTMENT OF ENVIRONMEN U.S. DEPARTMENT OF AGRICULTURE WATER MANAGEMENT ADMINISTRATION STANDARD SYMBOL STANDARD SYMBOL STANDARD SYMBOL DETAIL E-9-3 CURB INLET DETAIL E-1 SILT FENCE DETAIL E-1 SILT FENCE **PROTECTION** MAXIMUM DRAINAGE AREA = 1/4 ACRE CENTER TO CENTER DRIVEN MIN. 16 IN INTO GROUND CONSTRUCTION SPECIFICATIONS OF 2 IN x 4 IN USE WOOD POSTS 1% X 1% ± 1/2 INCH (MINIMUM) SQUARE CUT OF SQUAD QUALITY HARDWOOD. AS AN 2 IN x 4 IN WEIR -SANDBAG OR ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT ANCHORING METHOI 2 IN x 4 IN SPACERS WOVEN SLIT FILM GEOTEXTILE USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY L8 IN MIN. DEPTI

ELEVATION

FENCE POST DRIVEN

MARYLAND DEPARTMENT OF ENVIRONMENT

NOTICE OF INTENT - NOI).

DUST CONTROL

36 IN MIN. FENCE

KIKIKIK.

WOVEN SLIT FILM -

MIN. OF 8 IN VERTICALLY INTO

THE GROUND, BACKFILL AND

COMPACT THE SOIL ON BOTH SIDES OF GEOTEXTILE

GEOTEXTILE

DETAIL D-4-1-B ROCK OUTLET PROTECTION I

PLAN VIEW

0% SLOPE INVERT

NONWOVEN GEOTEXTILE // OR STONE FILTER

CONSTRUCTION SPECIFICATIONS

9.000.000.00

RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.

- 12 IN MIN.

USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURIN

CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A

MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.

PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (% TO 1½ INCH STONE FOR 6 INCH MINIMUM DEPTH)

AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSIT OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.

DETAIL D-4-1-C ROCK OUTLET PROTECTION III

EXISTING STABILIZED

L₁₂ IN MIN.

USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING,

TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.

INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN

EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL

WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH

45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SIL $^{\circ}$

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT

REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

MARYI AND DEPARTMENT OF ENVIRONME

PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE

EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT

SECTION H-1 MATERIALS

ON BOTH SIDES OF FABRIC

U.S. DEPARTMENT OF AGRICULTURE

CLOSEOUT REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.

GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - NOT.

PARTICLES EXITING THE SITE PERIMETER.

CONSTRUCTION ACTIVITY, NPDES PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 20CP, OR AN INDIVIDUAL

RECORDED ON THE "STANDARD INSPECTION FORM". "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH

CONSTRUCTION ACTIVITY" PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT

STABILIZED, AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT

ARE ELIMINATED, THE AUTHORIZED PERMITTEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT,

WATER TRUCKS OR OTHER DUST CONTROL AGENTS WILL BE USED AS NEEDED DURING CONSTRUCTION TO

MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST

IS IN COMPLIANCE WITH APPLICABLE LOCAL AND STATE DUST CONTROL REGULATIONS.

MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST

WATER MANAGEMENT ADMINISTRATION NATURAL RESOURCES CONSERVATION SERVI

PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A

ITING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHEF

RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.

PLAN VIEW

GEOTEXTILE OR STONE FILTER

ONSTRUCTION SPECIFICATIONS

DISCHARGE TO CONFINED

CHANNEL SECTION

HEIGHT OF H

THICKNESS (T

19 IN

32 IN

46 IN

RIPRAP

CLASS

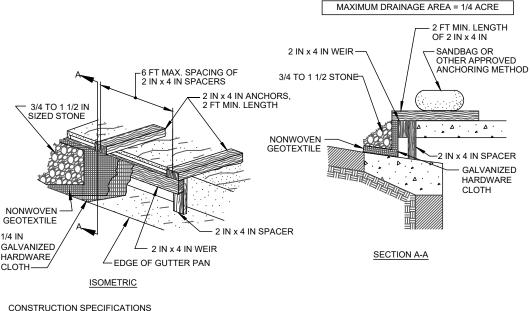
SIDE SLOPES TO TRANSITION FROM 2:1 AT PIPE OUTLET TO THE EXISTING CHANNEL SLOPE

SECTION A-A

SLOPE TO DRAIN

ROPIII

OR STONE FILT



U.S. DEPARTMENT OF AGRICULTURE

GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE

ELEVATION

CROSS SECTION

FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.

WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

⊢—SSF——I

DETAIL E-3 SUPER SILT FENCE

CHAIN LINK FENCING

WOVEN SLIT FILM GEOTEXTILE-

FLOW —

- 1. USE NOMINAL 2 INCH x 4 INCH LUMBER 2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- 3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART)

ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

- 4. ATTACH A CONTINUOUS PIECE OF 1/4 INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEE $^{-1}$ BEYOND THROAT ON EACH SIDE.
- 5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING
- . INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
- INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
- AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS. AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

B FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE

MARYLAND DEPARTMENT OF ENVIRONMENT

STAPLE ----STAPLE-TWIST POSTS TOGETHER STAPLE -____STAPLE STAPLE-JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW 1 OF 2 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

CROSS SECTION

MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (% TO 1% INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN TI SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL REVISIONS COMMENT DATE 11/6/2023 COUNTY COMMENTS 3/1/2024 | COUNTY COMMENTS

> **ALWAYS CALL 811** It's fast. It's free. It's the law. NOT APPROVED FOR

Call before you dig.

CONSTRUCTION

HIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGEN EVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUC'</u>

<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE. PROJECT No.: MDA220191.

DRAWN BY: BMM / KAK CHECKED BY: 07/28/202 CAD I.D.

PROJECT:

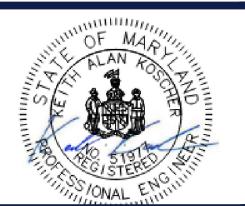
SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA

PROPOSED CONVENIENCE **CENTER & GAS STATION** 13610 PENNSLYVANIA AVENUE

HAGERSTOWN WASHINGTON COUNTY, MD

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



EROSION AND 1. CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION EXIT. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED BEYOND THE PERMITTED PROJECT AREA BY CONSTRUCTION TRAFFIC. LARGE AREAS OF SOIL THAT ARE DENUDED OF VEGETATION AND HAVE NO PROTECTION SEDIMENT FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO LIMIT WIND TRANSPORTED CONTROL NOTES **AND DETAILS**

WASHINGTON COUNTY SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

1. ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.

WATER MANAGEMENT ADMINISTRATION NATURAL RESOURCES CONSERVATION SERVIC

- 2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL 12. FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED: EROSION AND SEDIMENT CONTROL", "SECTION B -- GRADING AND STABILIZATION" AND THE PROVISIONS OF THE A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A
- OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL / INDIVIDUAL PERMIT - NOTICE OF INTENT - NOI) EROSION AND SEDIMENT CONTROL'. AND THE APPROVED PLAN
- 4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA INC. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) SHALL BE INSPECTED AND THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN
- AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER
- 6 STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITHIN THE 7 DAY STABILIZATION REQUIREMENT AS WELL AS
- 7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN
- 9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN
- 10. NO SLOPE SHALL BE GREATER THAN 2:1.
- 11. AS REQUIRED BY SECTION B OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON

COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE

U.S. DEPARTMENT OF AGRICULTURE

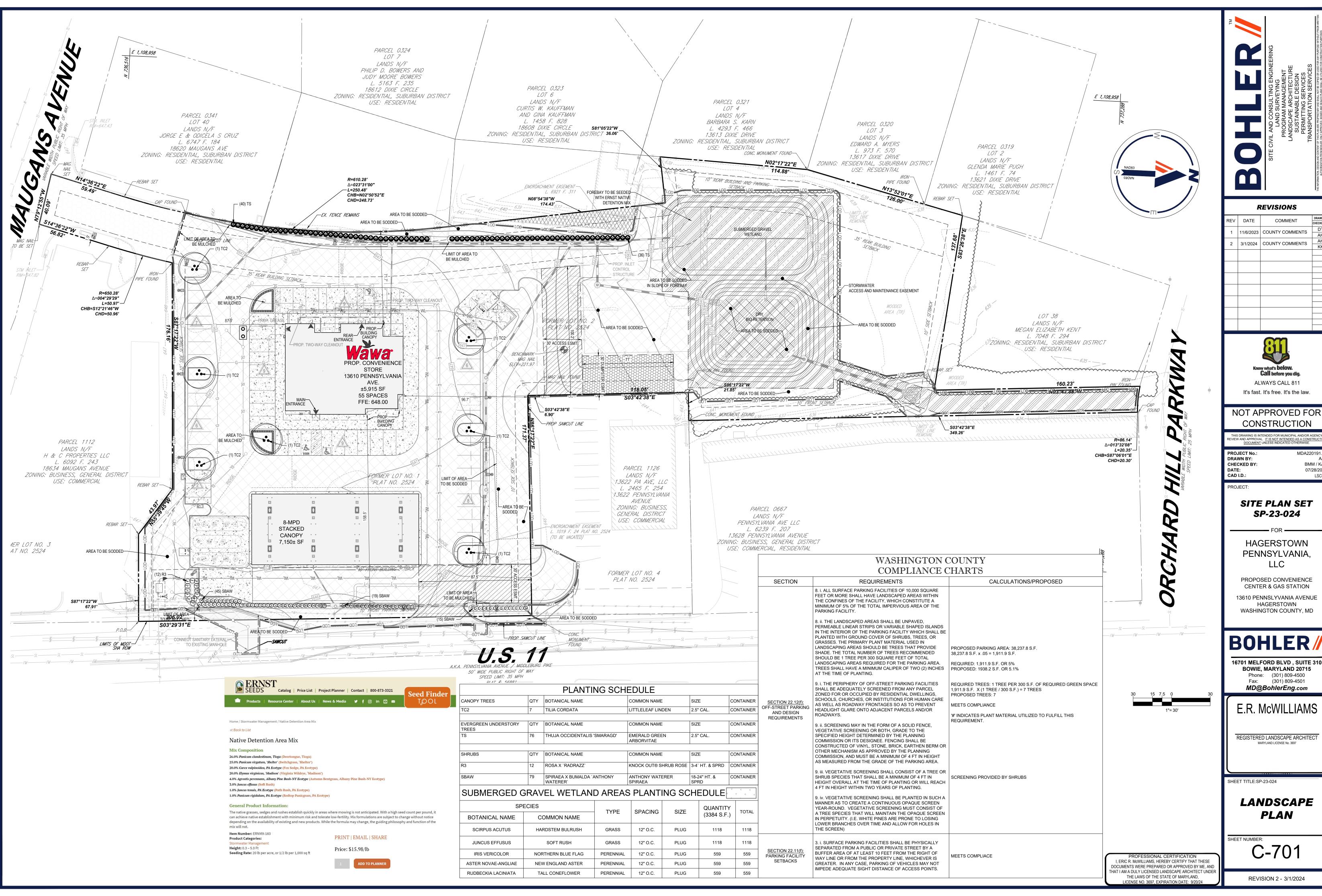
- 3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO
- D. FOLLOWING CONSTRUCTION AND RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL BY THE 5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY, OR PERMANENT STABILIZATION MUST BE COMPLETED WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E. ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY

a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES,

- ACTIVE GRADING.
- STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION (AS APPLICABLE).
- 8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.

DOCUMENTS WERE PREPARED OR APPROVED BY ME. AND THAT LAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

CONTROL APPLICATIONS. DUST CONTROL MUST BE PROVIDED BY THE GENERAL CONTRACTOR TO A DEGREE THAT



REVISIONS

REV	DATE	COMMENT	DRAWN E
_	4.4/0/0000	COLINITY COMMENTS	DT
1	11/6/2023	6/2023 COUNTY COMMENTS	
2	3/1/2024	COUNTY COMMENTS	AH
	3/1/2024	OCCIVIT COMMENTS	KK



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CONSTRUCTION

REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUC'</u>

<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

BMM / KAK 07/28/2023

SITE PLAN SET

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT MARYLAND LICENSE No. 3697

LANDSCAPE

C-701

LANDSCAPE SPECIFICATIONS

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

- A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
- B. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE 9. PLANTING MATTER AND CLAY CLODS
- CLIAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- 1.2. SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
-). MULCH THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN. 6% PHOSPHORUS AND

 E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY

. PLANT MATERIAL

- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PI ANT MATERIAL
- 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- 1.4. TREES WITH ABRASION OF THE BARK. SUN SCALDS. DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1½". WHICH HAVE NOT BEEN COMPLETELY CALLUSED. SHALL BE REJECTED PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
- 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX
- INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER. THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE 1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL

- . CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

- A BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

- . CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- . A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE'. OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED

 P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING WITHIN THE TREE PROTECTION DETAIL
- WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS
- THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC
- MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE AVOID MATERIAL WITH A PH HIGHER THAN 7.5
- 1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
- 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- A. UNLESS OTHERWISE CONTRACTED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL
- . ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY

 A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS

- D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1.000 SQUARE FOOT AREA):
- 1.1. 20 POUNDS 'GROW POWER' OR APPROVED FOUAL 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- . THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- : ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING
- 1.1 PLANTS: MARCH 15 TO DECEMBER 15 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- 3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL
- H. FURTHERMORE. THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA
- POPULOUS VARIETIES **BETULA VARIETIES** CARPINUS VARIETIES PRUNUS VARIETIES **CRATAEGUS VARIETIES** PYRUS VARIETIES KOFI RELITERIA QUERCUS VARIETIES LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA

LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- 1 PART PEAT MOSS • 1 PART COMPOSTED COW MANURE BY VOLUME
- 3 PARTS TOPSOIL BY VOLUME
- 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: A) 2 TABLETS PER 1 GALLON PLANT
 - B) 3 TABLETS PER 5 GALLON PLANT C) 4 TABLETS PER 15 GALLON PLANT
- D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- 3. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY
 - ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT
 - L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
 - M. GROUND COVER AREAS SHALL RECEIVE A ¼" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION
 - EXISTING STRUCTURES AND SIDEWALKS.
 - . ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OF SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
 - SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

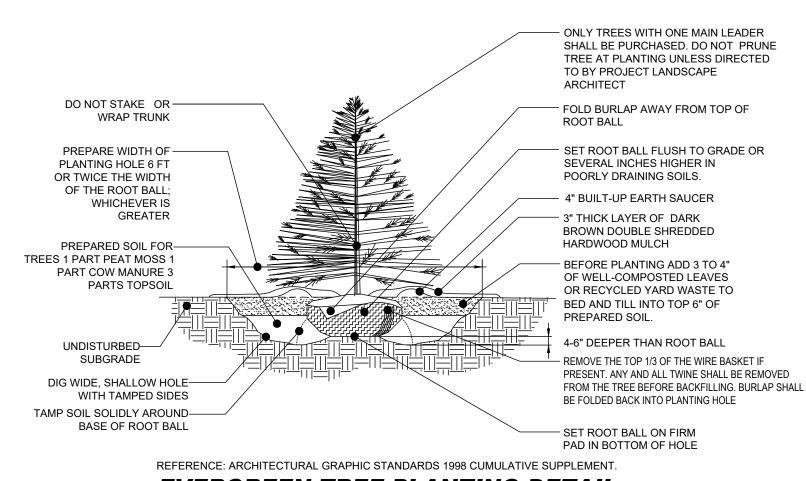
TREE REPLACEMENT GUIDELINES

- A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S

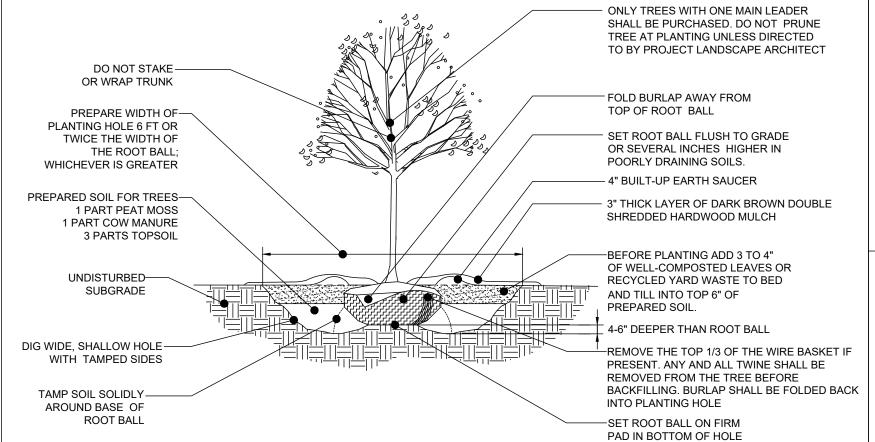
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING.

- WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALI NEWLY PLANTED TREES.
- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS. HEALTHY GROWTH.

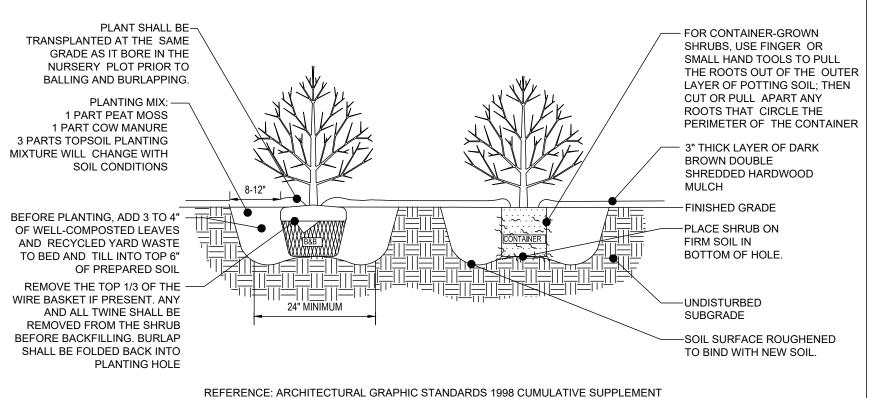
- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE
- B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR



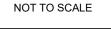
EVERGREEN TREE PLANTING DETAIL

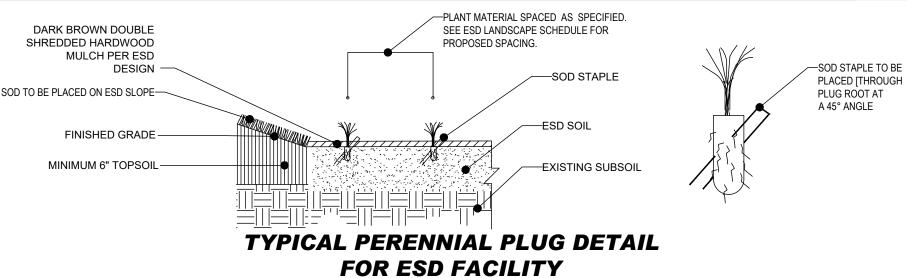


REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. **DECIDUOUS TREE PLANTING DETAIL**

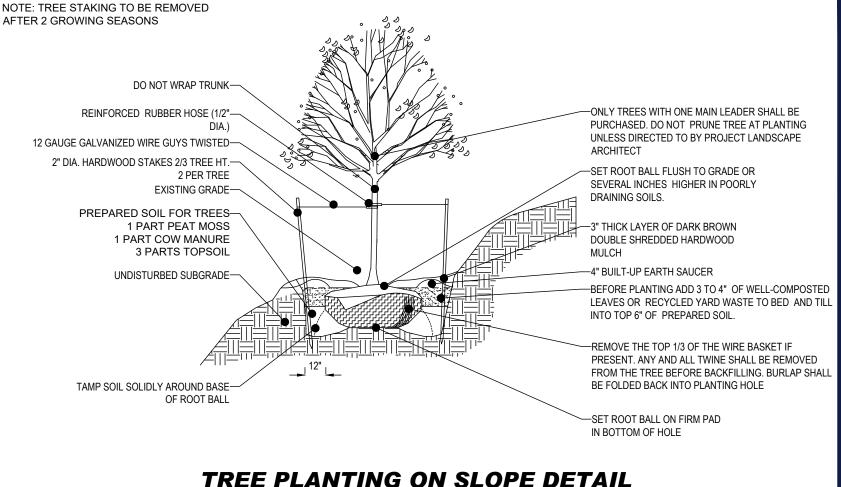


DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

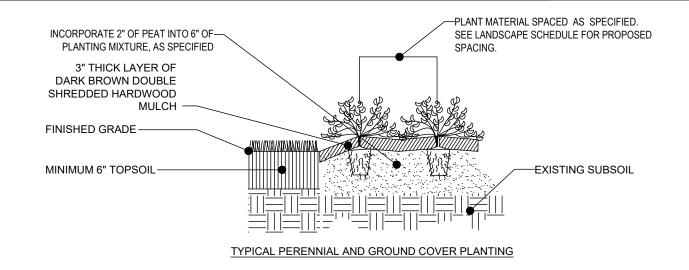


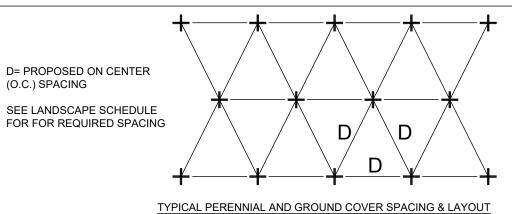


NOT TO SCALE



TREE PLANTING ON SLOPE DETAIL





PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE

SEEDING SPECIFICATIONS

PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER

PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. SEEDING RATES: PERENNIAL RYEGRASS KENTUCKY BLUEGRASS

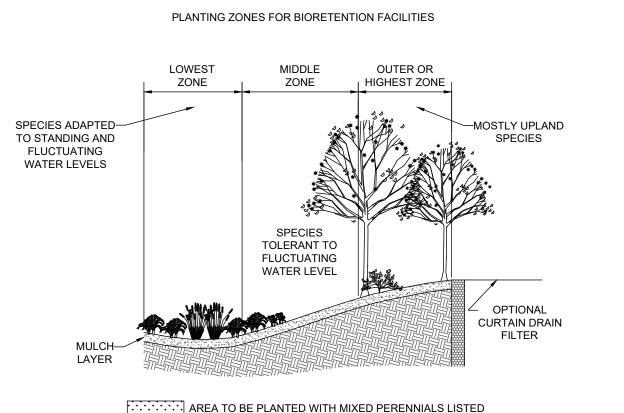
RED FESCUE

SPREADING FESCUE

FERTILIZER (20:10:10)

1/2 LB/1,000 SQ FT 1 LB/1,000 SQ FT 1 1/2 LBS/1,000 SQ FT 1 1/2 LBS/1.000 SQ FT 14 LBS/1.000 SQ FT 90 LBS/1,000 SQ FT

GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.



IN BIORETENTION AREAS PLANTING SCHEDULE

HERBACEOUS PERENNIALS TO BE PLANTED 12" O.C. IN GROUPS BETWEEN 15 TO 20 PLUGS LANDSCAPE CONTRACTOR TO GROUP LIKE PLANTS TOGETHER IN EACH BED AS SHOWN IN PLANTING DISTRIBUTION

LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS.

PATTERN DETAIL.

PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12" TO 18" LIFTS THAT ARE LOOSELY COMPACTED (TAMPED

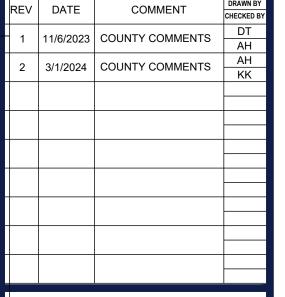
TYPICAL PLANTING FOR SUBMERGED GRAVEL WETLAND AREAS

ALL BIORETENTION AREAS ARE TO BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.

I. ERIC R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND HAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDEF THE LAWS OF THE STATE OF MARYLAND. LICENSE NO 3697 EXPIRATION DATE: 9/20/2

PROFESSIONAL CERTIFICATION

REVISIONS





NOT APPROVED FOR CONSTRUCTION

EVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUC</u>

<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

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PROJECT No.: DRAWN BY: BMM / KAK **CHECKED BY**

07/28/2023

PROJECT:

CAD I.D.:

SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA.

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE

HAGERSTOWN

WASHINGTON COUNTY, MD

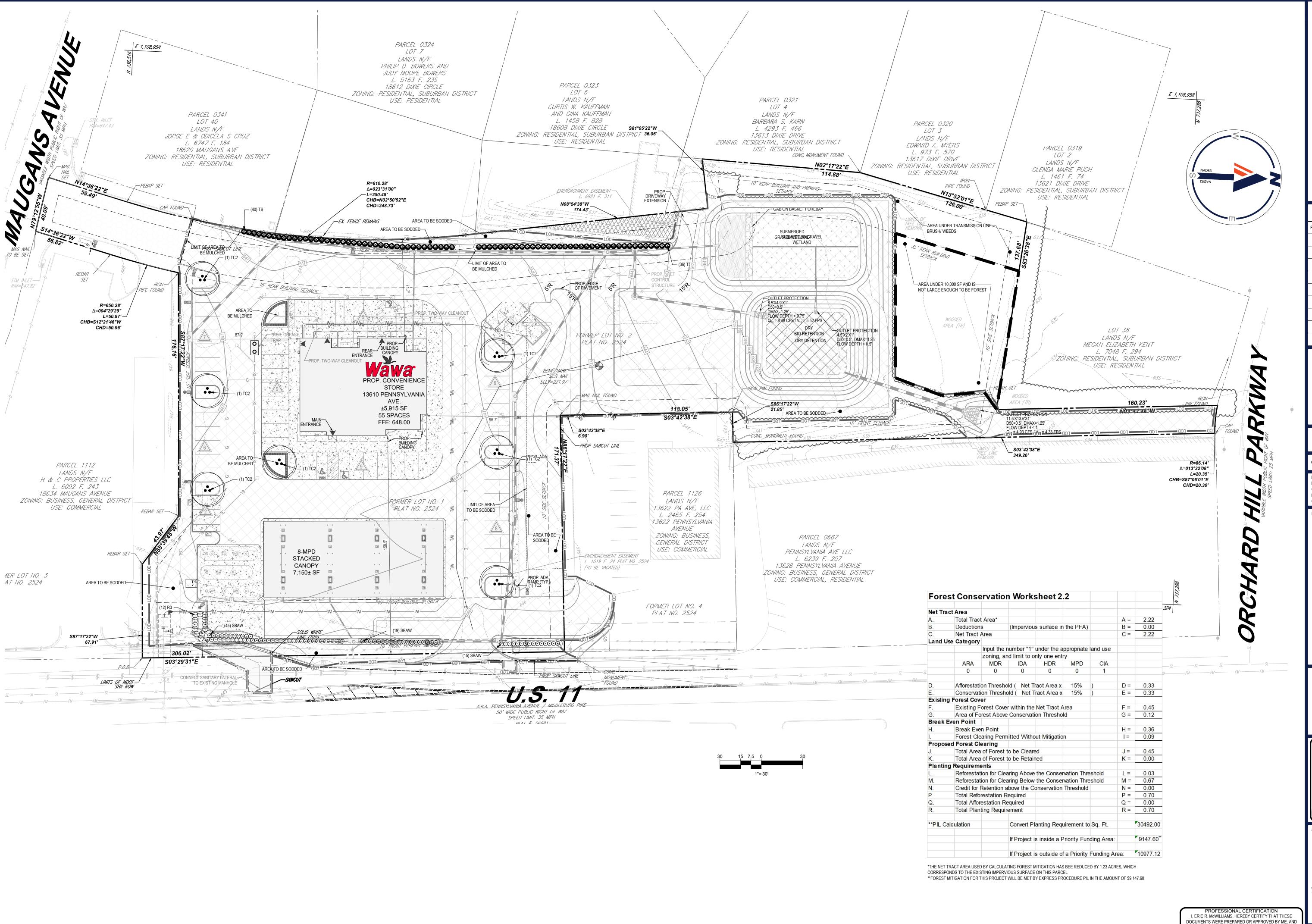
BOHLER

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

REGISTERED LANDSCAPE ARCHITECT

LANDSCAPE **NOTES**

DETAILS



CONSULTING ENGINEERING
AND SURVEYING
RAM MANAGEMENT

	REVISIONS								
REV	DATE	COMMENT	DRAWN BY						
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1	11/6/2023	COUNTY COMMENTS	DT						
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2	3/1/2024	COUNTY COMMENTS	AH						
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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

 PROJECT No.:
 MDA220191.00

 DRAWN BY:
 AJH

 CHECKED BY:
 BMM / KAK

 DATE:
 07/28/2023

 CAD I.D.:
 LSCP2-0

PROJECT:

SITE PLAN SET SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION 13610 PENNSLYVANIA AVENUE

HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER/

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT
MARYLAND LICENSE No. 3697

SHEET TITLE:SP-23-024

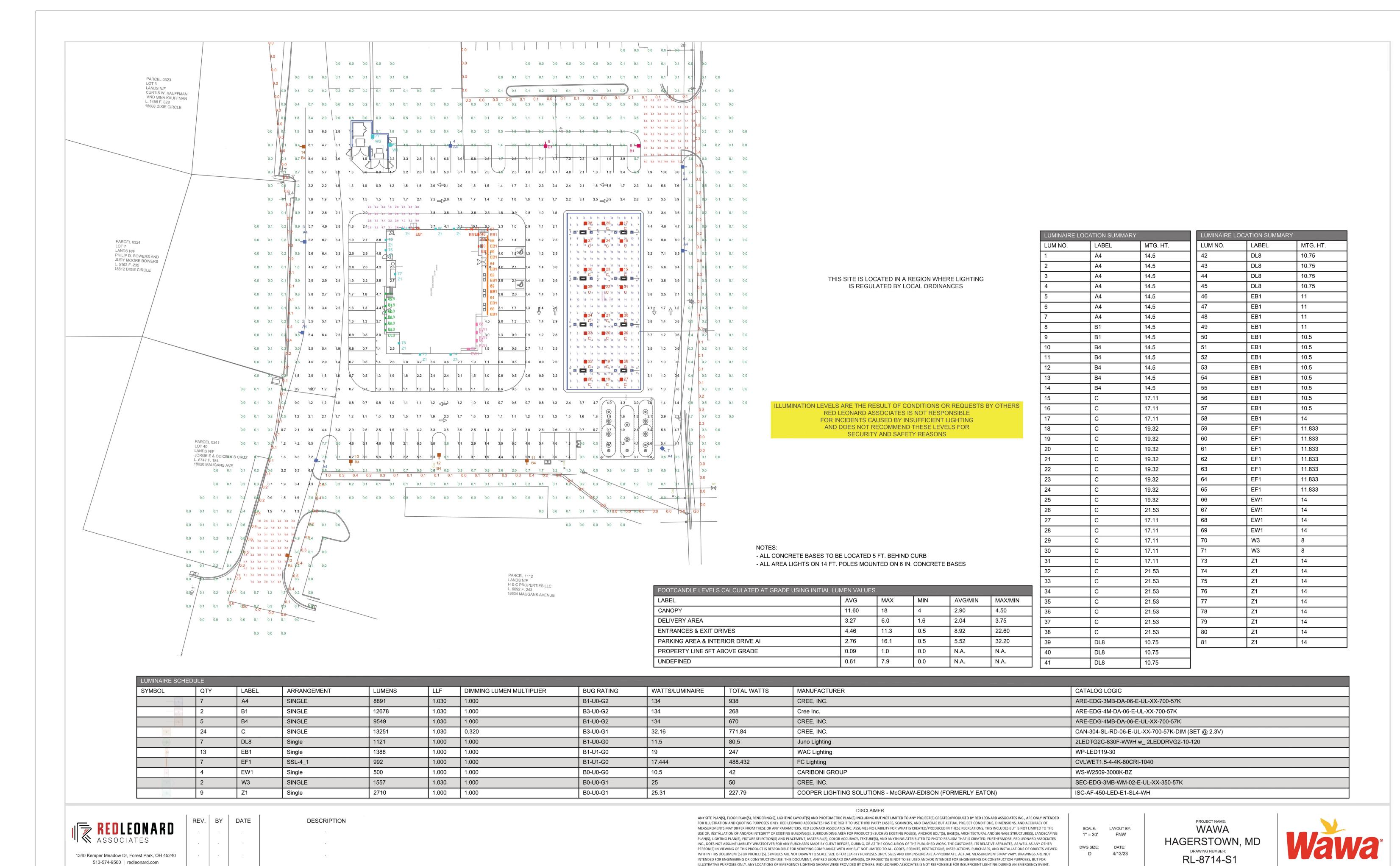
FOREST CONSERVATION PLAN

HEET NI IMBER:

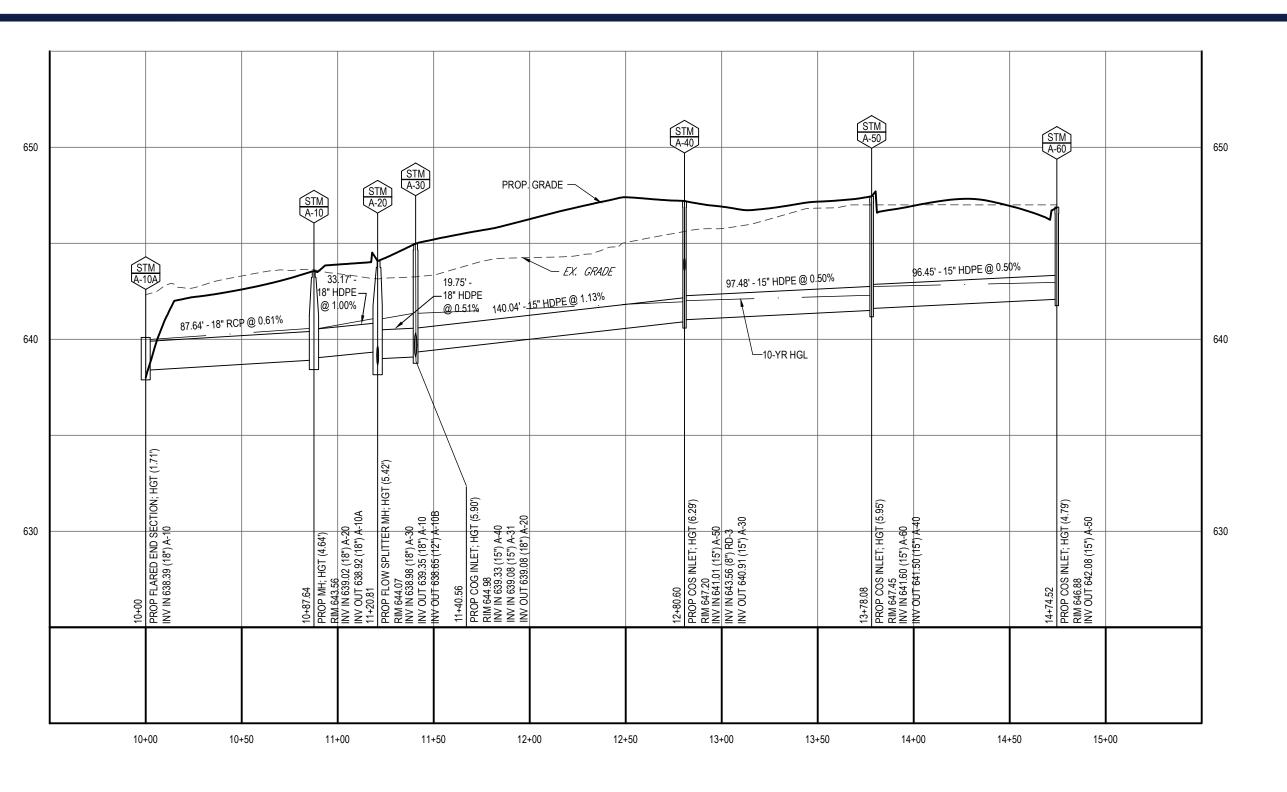
THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND,

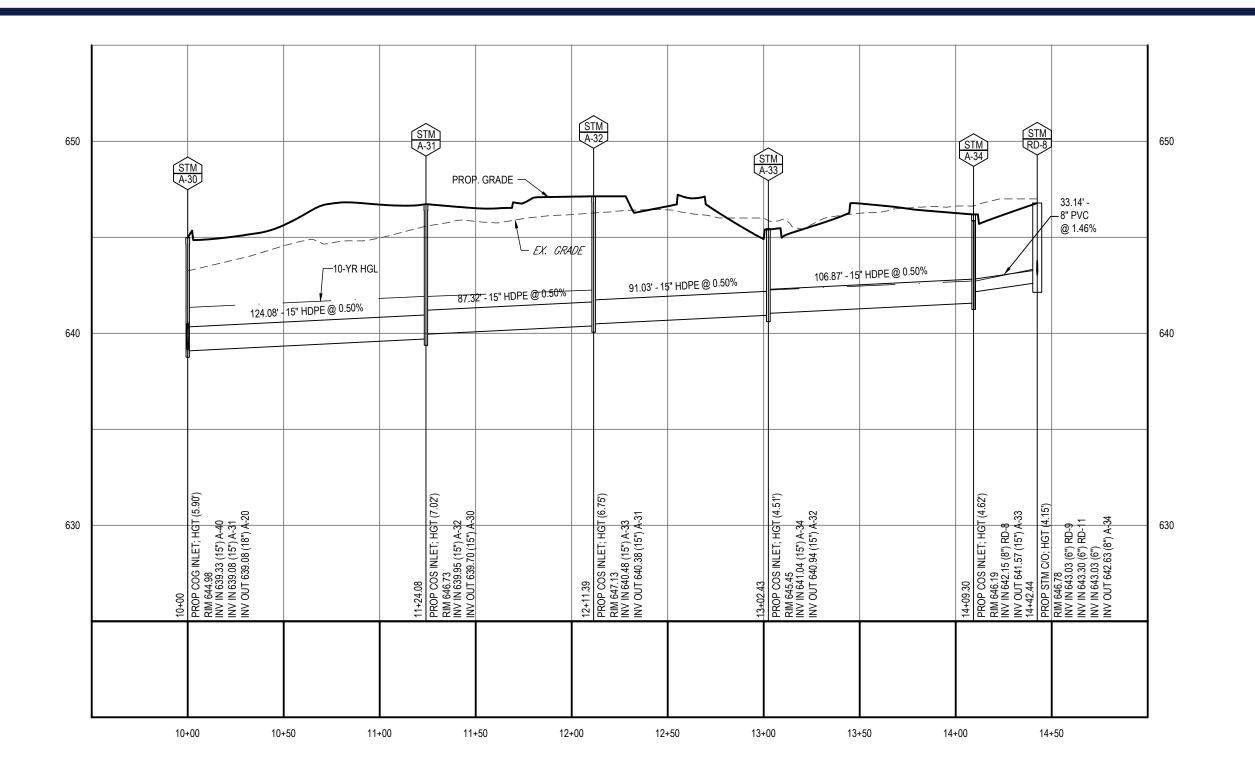
LICENSE NO. 3697, EXPIRATION DATE: 9/20/24

C-703



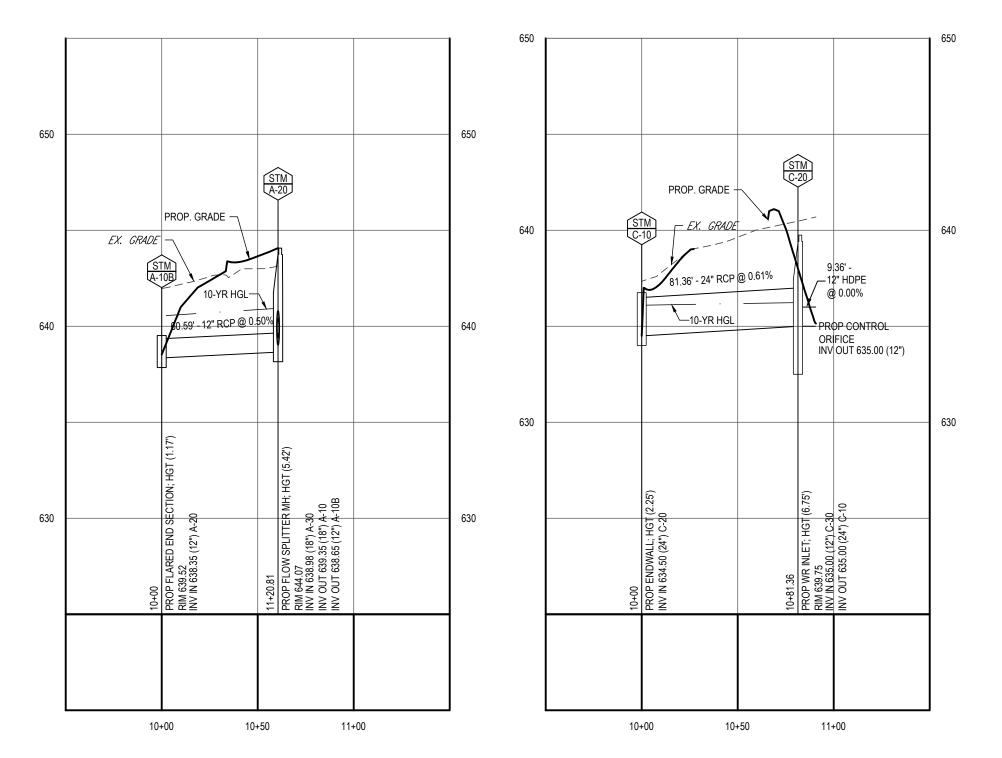
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PROP. STM PROFILE (A-10A TO A-60)

SCALE: 1"= 50 ' HORIZONTAL 1"= 5 ' VERTICAL



PROP. STM PROFILE (A-10B TO A-20)

SCALE: 1"= 50 ' HORIZONTAL

1"= 5 ' VERTICAL

PROP. STM PROFILE (C-10 TO C-20) SCALE: 1"= 50 ' HORIZONTAL 1"= 5 ' VERTICAL

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-10	МН	643.56'	INV IN = 639.02' (18" INV OUT = 638.92' (18
A-10A	FLARED END SECTION	640.09'	INV IN = 638.39' (18"
A-10B	FLARED END SECTION	639.52'	INV IN = 638.35' (12"
A-20	FLOW SPLITTER MH	644.07'	INV IN = 638.98' (18" INV OUT = 639.35' (18 INV OUT = 638.65' (12
A-30	COG INLET	644.98'	INV IN = 639.33' (15" INV IN = 639.08' (15" INV OUT = 639.08' (18
A-31	COS INLET	646.73'	INV IN = 639.95' (15" INV OUT = 639.70' (15
A-32	COS INLET	647.13'	INV IN = 640.48' (15" INV OUT = 640.38' (15
A-33	COS INLET	645.45'	INV IN = 641.04' (15" INV OUT = 640.94' (15
A-34	COS INLET	646.19'	INV IN = 642.15' (8") INV OUT = 641.57' (15
A-40	COS INLET	647.20'	INV IN = 641.01' (15" INV IN = 643.56' (8") INV OUT = 640.91' (15
A-50	COS INLET	647.45'	INV IN = 641.60' (15" INV OUT = 641.50' (15
A-60	COS INLET	646.88'	INV OUT = 642.08' (15
RD-2	STM C/O	647.95'	INV IN = 644.27' (8") INV IN = 644.27' (4") INV OUT = 644.27' (8
RD-3	STM C/O	647.94'	INV IN = 644.14' (8") INV IN = 644.14' (6") INV OUT = 644.13' (8
RD-6	STM C/O	647.95'	INV IN = 644.81' (8") INV IN = 644.91' (6") INV OUT = 644.81' (8
RD-7	STM C/O	647.95'	INV IN = 644.98' (6") INV OUT = 644.98' (8
RD-8	STM C/O	646.78'	INV IN = 643.03' (6") INV IN = 643.30' (6") INV IN = 643.03' (6") INV OUT = 642.63' (8
RD-9	STM C/O	646.63'	INV IN = 643.30' (6") INV IN = 643.30' (6") INV OUT = 643.20' (6
RD-10	STM C/O	646.53'	INV IN = 643.47' (6") INV OUT = 643.47' (6
RD-11	STM C/O	646.97'	INV IN = 643.47' (6")

STORM STRUCTURE SCHEDULE							
NAME	TYPE	RIM ELEV. (FT.)	INVERTS				
B-10	FLARED END SECTION	637.15'	INV IN = 636.10' (12")				
B-20	30" NYLOPLAST DRAIN BASIN	639.45'	INV IN = 636.50' (6") INV OUT = 636.50' (12")				

ST	STORM STRUCTURE SCHEDULE								
NAME	TYPE	RIM ELEV. (FT.)	INVERTS						
C-10	ENDWALL	636.75'	INV IN = 634.50' (24")						
C-20	WR INLET	639.75'	INV IN = 635.00' (12") INV OUT = 635.00' (24")						
C-30	12" ENDWALL	636.05'	INV OUT = 635.00' (12")						

PROP. STM PROFILE (A-30 TO A-34) SCALE: 1"= 50 ' HORIZONTAL

1"= 5 ' VERTICAL

FROM	FROM INV	то	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
BLDG	644.28'	RD-3	644.14'	15'	1.00%	6"	PVC
BLDG	644.32'	RD-2	644.27'	5'	1.00%	4"	PVC
BLDG	644.79'	RD-6	644.91'	12'	-1.00%	6"	PVC
BLDG	645.03'	RD-7	644.98'	5'	1.00%	6"	PVC
CAN	643.51'	RD-10	643.47'	4'	1.00%	6"	PVC
CAN	643.34'	RD-9	643.30'	4'	1.00%	6"	PVC
CAN	643.07'	RD-8	643.03'	4'	1.00%	6"	PVC
CAN	643.51'	RD-11	643.47'	4'	1.00%	6"	PVC
A-10	638.92'	A-10A	638.39'	88'	0.61%	18"	RCP
A-20	639.35'	A-10	639.02'	33'	1.00%	18"	HDPE
A-20	638.65'	A-10B	638.35'	61'	0.50%	12"	RCP
A-30	639.08'	A-20	638.98'	20'	0.51%	18"	HDPE
A-31	639.70'	A-30	639.08'	124'	0.50%	15"	HDPE
A-32	640.38'	A-31	639.95'	87'	0.50%	15"	HDPE
A-33	640.94'	A-32	640.48'	91'	0.50%	15"	HDPE
A-34	641.57'	A-33	641.04'	107'	0.50%	15"	HDPE
A-40	640.91'	A-30	639.33'	140'	1.13%	15"	HDPE
A-50	641.50'	A-40	641.01'	97'	0.50%	15"	HDPE
A-60	642.08'	A-50	641.60'	96'	0.50%	15"	HDPE
RD-2	644.27'	RD-6	644.81'	38'	1.40%	8"	PVC
RD-3	644.14'	RD-2	644.27'	16'	0.85%	8"	PVC
RD-3	644.13'	A-40	643.56'	57'	1.00%	8"	PVC
RD-7	644.98'	RD-6	644.81'	18'	1.00%	8"	PVC
RD-8	642.63'	A-34	642.15'	33'	1.46%	8"	PVC
RD-9	643.20'	RD-8	643.03'	34'	0.50%	6"	PVC
RD-10	643.47'	RD-9	643.30'	34'	0.50%	6"	PVC
RD-11	643.47'	RD-8	643.30'	34'	0.50%	6"	PVC

STORM SEWER PIPE SCHEDULE							
FROM	FROM INV	то	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
	636.50'		636.50'	31'	0.00%	6"	N12 HDPE
	636.50'		636.50'	46'	0.00%	6"	N12 HDPE
	636.50'	B-20	636.50'	22'	0.00%	6"	N12 HDPE
B-20	636.50'	B-10	636.10'	22'	1.85%	12"	HDPE

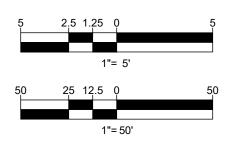
STORM SEWER PIPE SCHEDULE								
FROM	FROM INV	то	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	
C-20	635.00'	C-10	634.50'	81'	0.61%	24"	RCP	
C-30	635.00'	C-20	635.00'	9'	0.00%	12"	HDPE	

TEST PIT NOTE:

CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING IN WRITING PRIOR TO CONSTRUCTION

NOTES:

- 1. ALL HDPE PIPE SHALL CONFORM TO ASTM F-2648. 2. PIPE INSTALLATION TO COMPLY WITH ASTM D-2321. 3. CONTRACTOR TO VERIFY ALL MANHOLE SIZES PRIOR
- TO ORDERING STRUCTURES. 4. RUBBER GASKETS SHALL BE PROVIDED FOR ALL RCP



DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

REVISIONS

ГΕ	COMMENT
2023	COUNTY COMMENTS

	REV	DATE	COMMENT	DRAWN DI
	KEV	DATE	COMMENT	CHECKED BY
	1	11/6/2023	COUNTY COMMENTS	DT
	ı	11/0/2023	COONTT COMMENTS	AH
	2	3/1/2024	COUNTY COMMENTS	AH
		3/1/2024	OCCIVITI COMMENTO	KK
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PROJECT No.: DRAWN BY: CHECKED BY: BMM / KAK DATE: CAD I.D.: 07/28/2023 PSTM-0

PROJECT:

SITE PLAN SET SP-23-024

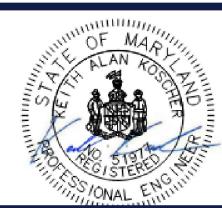
HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER/

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 **MD@BohlerEng.com**

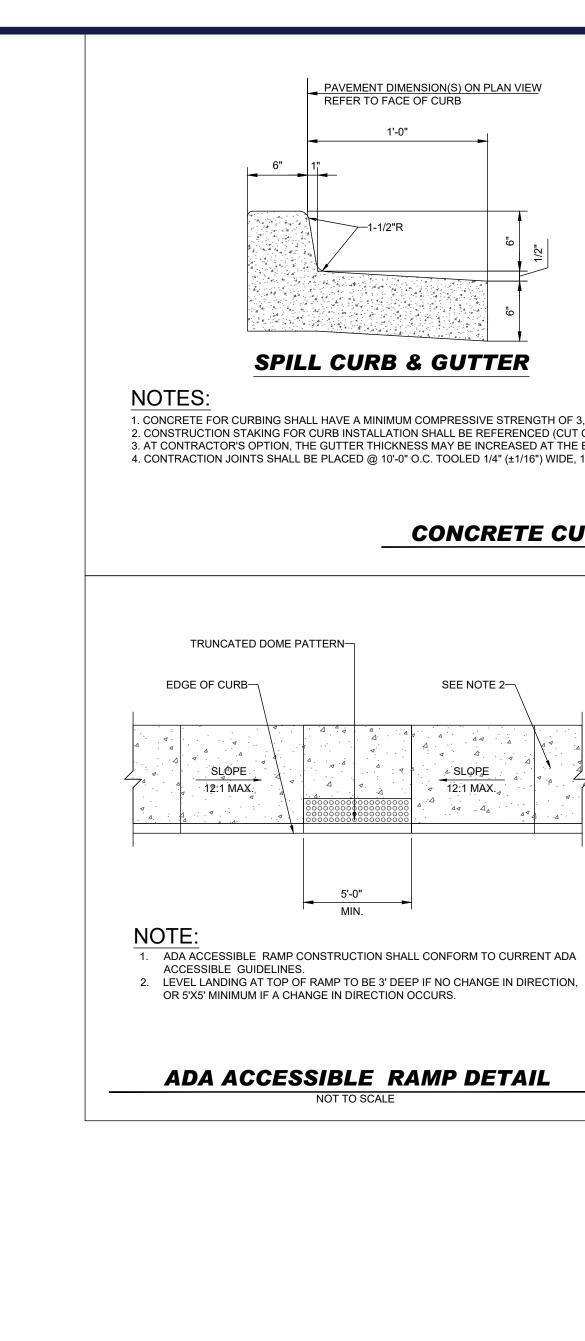


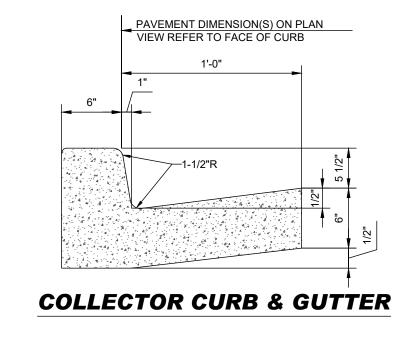
SHEET TITLE:SP-23-024

STORMWATER PROFILES

SHEET NUMBER:

C-801

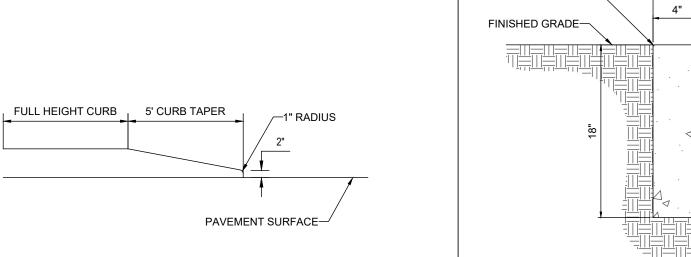




1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS. 2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB. 3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.

4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.

CONCRETE CURB & GUTTER DETAIL



2. LEVEL LANDING AT TOP OF RAMP TO BE 3' DEEP IF NO CHANGE IN DIRECTION, OR 5'X5' MINIMUM IF A CHANGE IN DIRECTION OCCURS.

SEE NOTE 2-

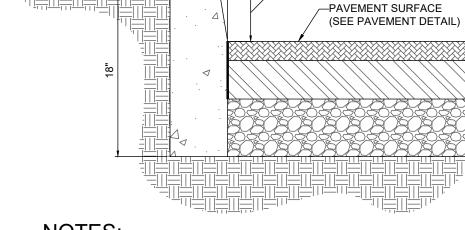
△ SLOP₄E

12:1 MAX.

ADA ACCESSIBLE RAMP DETAIL

5'-0"

CURB TAPER DETAIL



CONCRETE-TO-ASPHALT DETAIL

∕-2" RADIUS

∕-6" REVEAL

CONCRETE PAVEMENT SECTION

TACK COAT-

(APPLIED AT A RATE OF 0.2 GALLONS/S.Y.)

PAVEMENT SURFACE (SEE PAVEMENT DETAIL)

NOTES:

1/4" RADIUS-

 EXPANSION JOINTS TO BE INSTALLED AT 20' INTERVALS.
 THIS ITEM MAY BE PRECAST OR CAST IN PLACE. 3. CONCRETE TO BE CLASS A3 IF CAST IN PLACE OR 4000 P.S.I. IF PRECAST.

HEADER CURB DETAIL

NOT TO SCALE



REVISIONS

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	REV	DATE	COMMENT	DRAWN BY CHECKED BY
ı	1	11/6/2023	COUNTY COMMENTS	DT
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	2	3/1/2024	COUNTY COMMENTS	AH
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PROJECT No.: DRAWN BY: CHECKED BY: BMM / KAK 07/28/2023 CNDS-0

DATE: CAD I.D.: PROJECT:

SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

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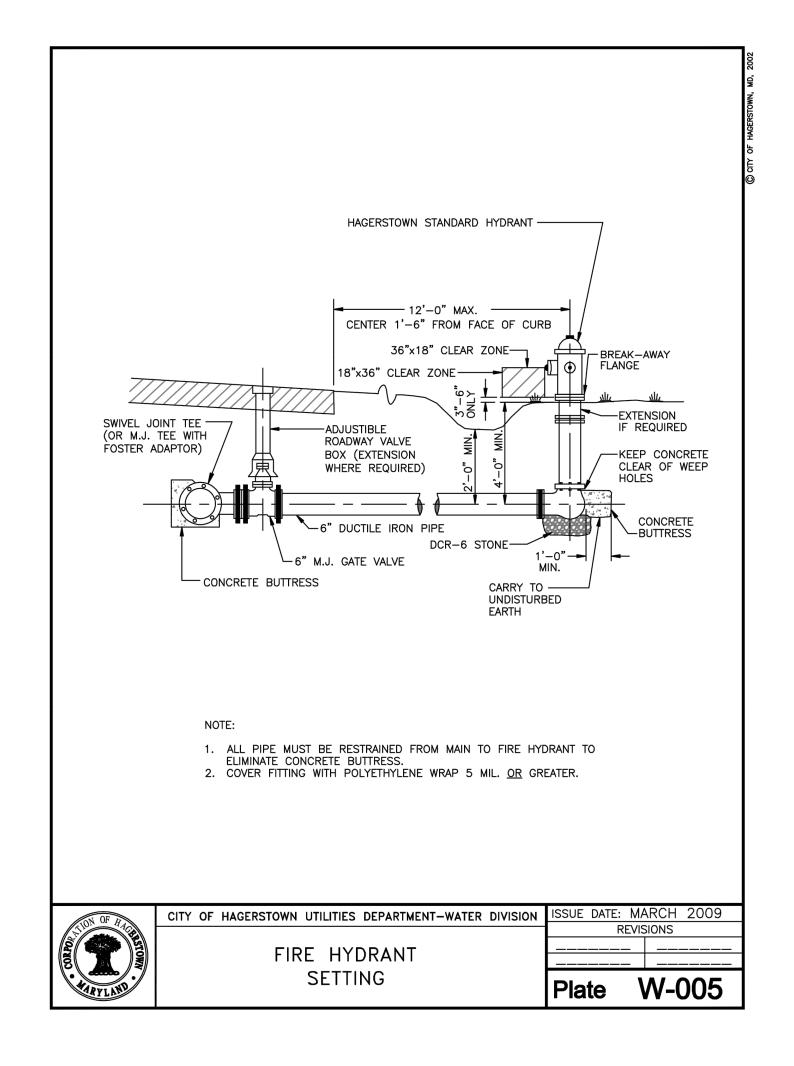


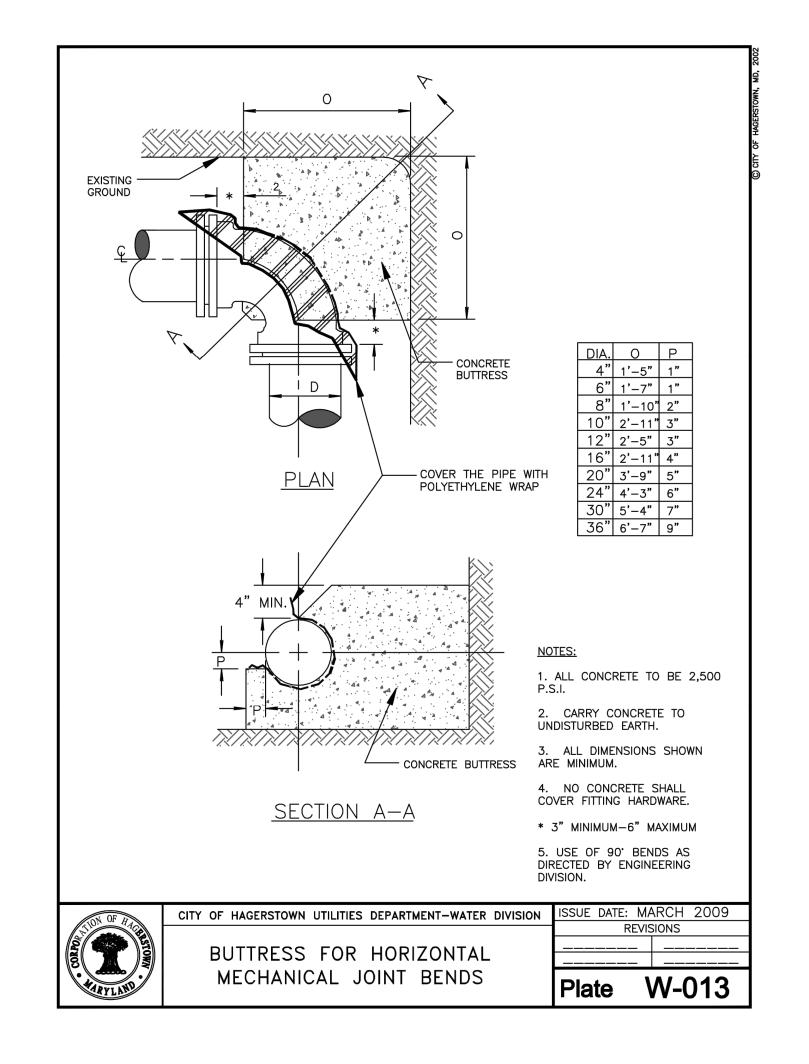
SHEET TITLE:SP-23-024

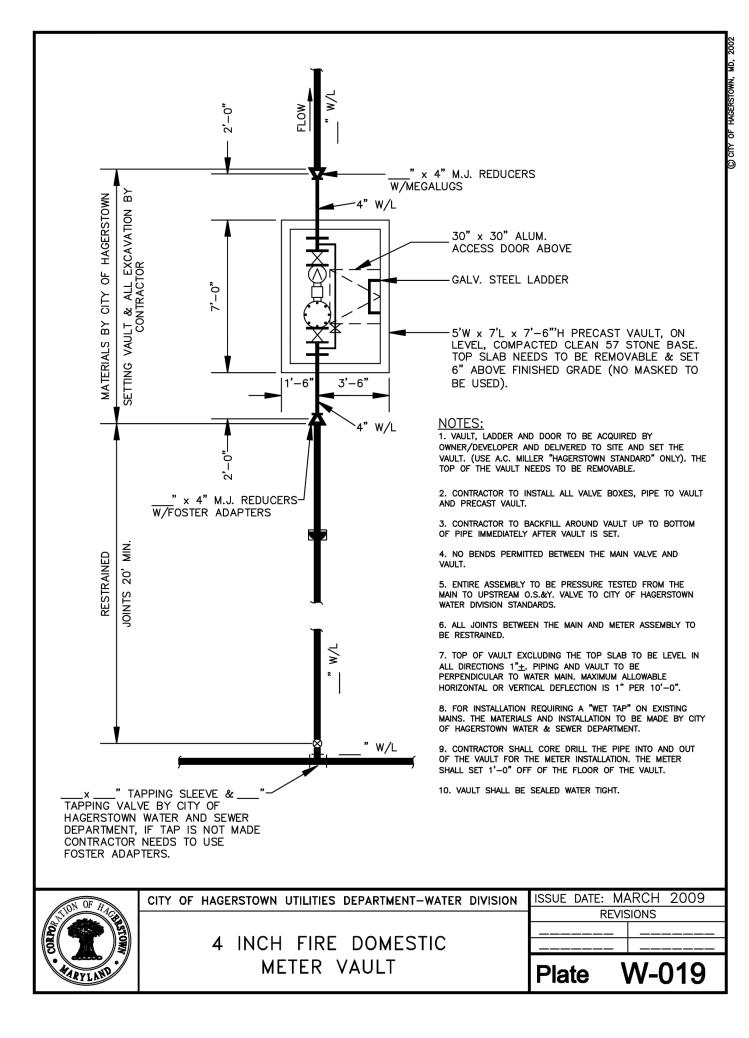
CONSTRUCTION **DETAILS**

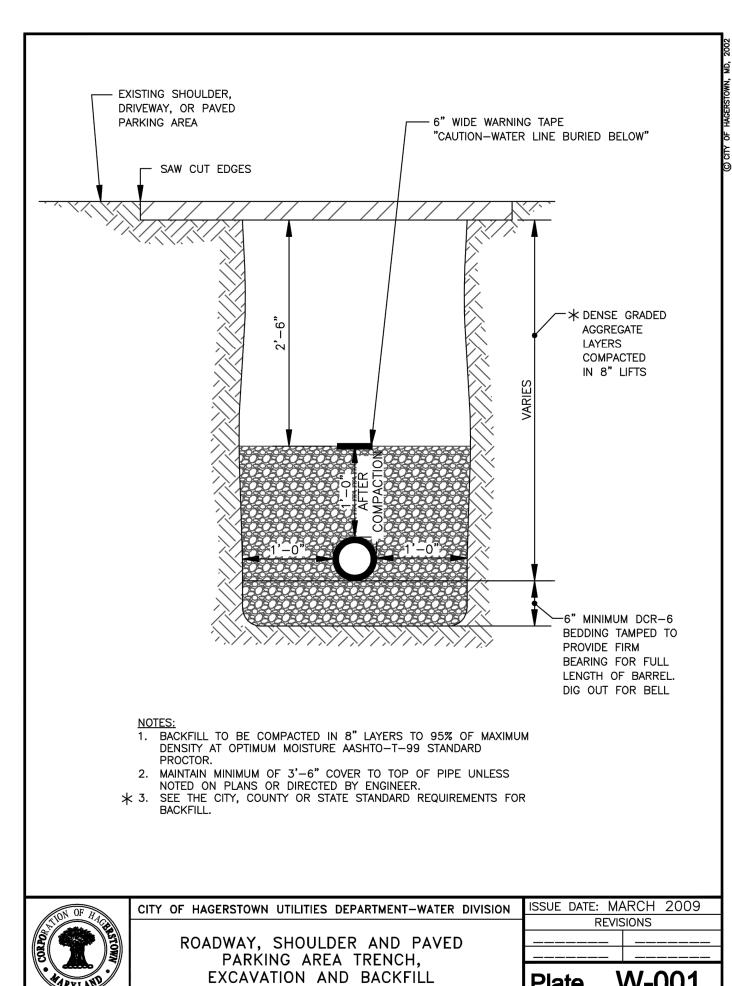
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

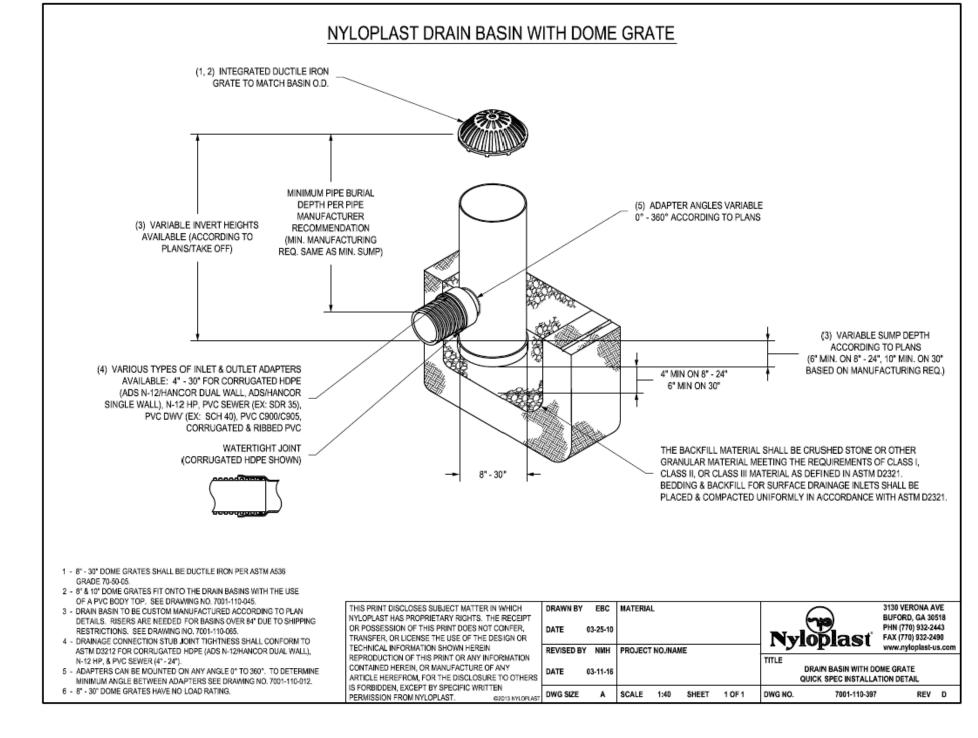
C-901











CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) (DATE)

MD-374.41 - STANDARD COS INLETS

FOR ALL SHA STANDARDS REFERRED TO ON THE PLANS THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSED AT:

MD-374.05 - STANDARD WRM INLET

MD-374.31 - STANDARD COG INLETS

THE FOLLOWING MDOT SHA STANDARDS ARE REQUIRED FOR THIS PROJECT:

MD-358.01 - STANDARD TYPE F ENDWALL METAL OR CONCRETE ROUND PIPE MD-368.01 - STANDARD CONCRETE END SECTION ROUND CONCRETE PIPE

MDOT SHA STANDARD DETAILS NOTES:

http://apps.roads.maryland.gov/businesswithsha/bizstdsspecs/desmanualstdpub/publicationsonline/ohd/bookstd/index.asp

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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 PROJECT No.:
 MDA220191.00

 DRAWN BY:
 AJH

 CHECKED BY:
 BMM / KAK

 DATE:
 07/28/2023

 CAD I.D.:
 CNDS-0

PROJECT:

SITE PLAN SET SP-23-024

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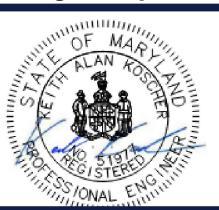
HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSLYVANIA AVENUE HAGERSTOWN WASHINGTON COUNTY, MD

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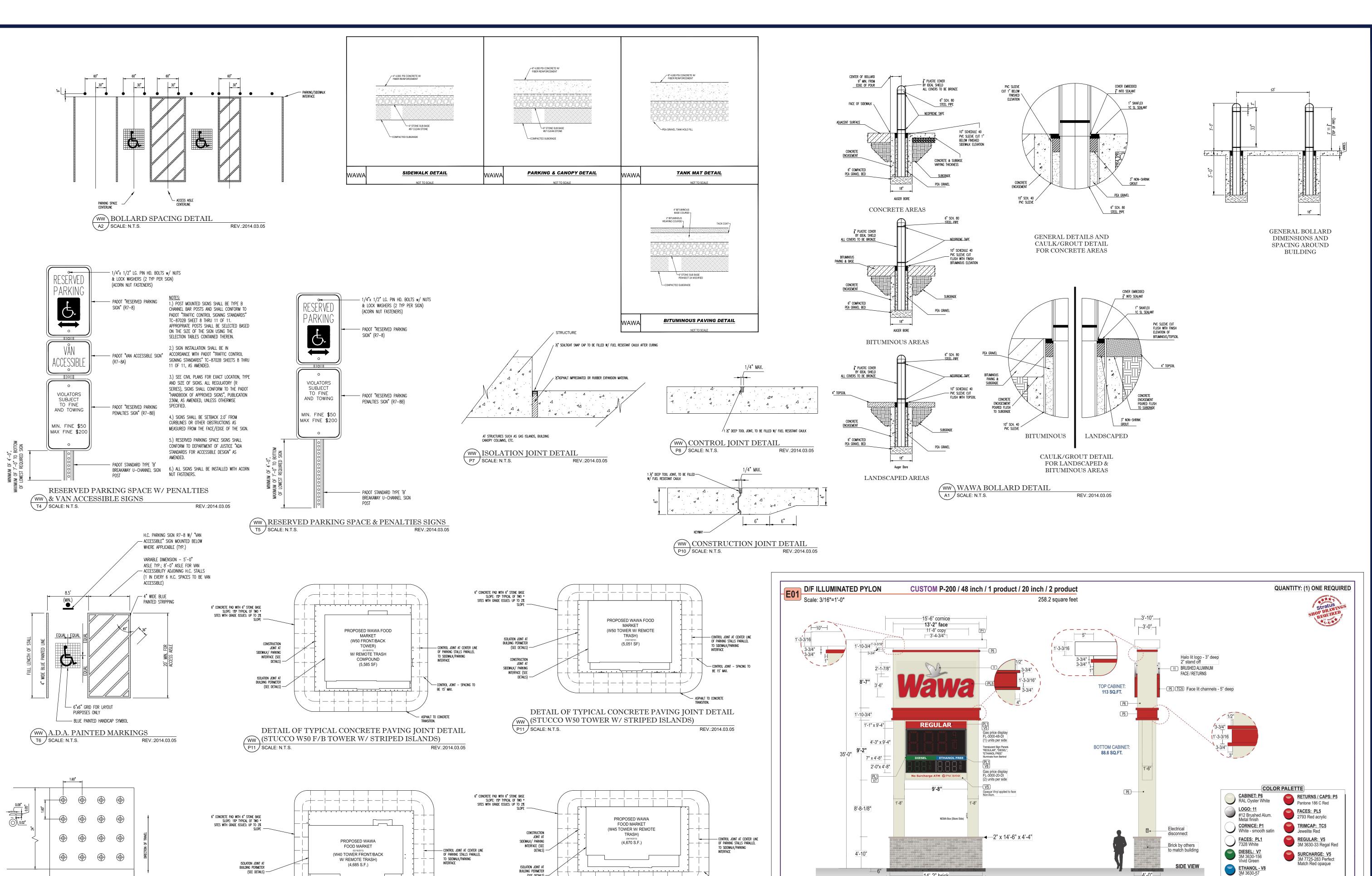


SHEET TITLE:SP-23-024

CONSTRUCTION DETAILS

HEET NUMBER:

C-902



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DETAIL OF TYPICAL CONCRETE PAVING JOINT DETAIL

(STUCCO W45 TOWER W/ STRIPED ISLANDS)

P11 SCALE: N.T.S.

DETAIL OF TYPICAL CONCRETE PAVING JOINT DETAIL

(STUCCO W40 F/B TOWER W/ STRIPED ISLANDS)

- CONTROL JOINT - SPACING TO

SIDEWALK/ PARKING INTERFACE (SEE

REV.:2014.03.05

P11 SCALE: N.T.S.

RAMP WIDTH VARIES

CURB

WW TRUNCATED DOME TOOL DESIGN P16 SCALE: N.T.S.

PATENT PENDING ADA DETECTABLE WARNING

Olympic Blue 6" DEEP CONCRETE PAD 5'-0" −15'-2" pad− All paint finishes to be satin unless otherwise noted **Stratus**[™] 1203236 453782 11/09/23 MS Added cladding ROJECT MANAGER: 454600 11/21/23 AKS | Corrected dimension ELECTRONIC FILE NAME: Hedgesville Rd & Industrial Circle Martinsburg, WV 25403 . C:\ACCOUNTS\W\Wawa\LOCATIONS\2023\WV\6782506_Martin 6782506_Martinsburg_R5.cdr 888.503.1569 NOTE: THE ABOVE DETAILS ARE PROVIDED BY OTHERS.

BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THIS DETAIL AND/OR STRUCTURAL FAILURE.

—14'-2" brick—

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

REVISIONS

| REV | DATE | COMMENT | DRAWN BY |
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| 1 | 11/6/2023 | COUNTY COMMENTS | DT |
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BMM / KAK

07/28/2023 SITE

PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD I.D.:

PROJECT:

SITE PLAN SET

SP-23-024

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

13610 PENNSLYVANIA AVENUE **HAGERSTOWN** WASHINGTON COUNTY, MD

BOHLER

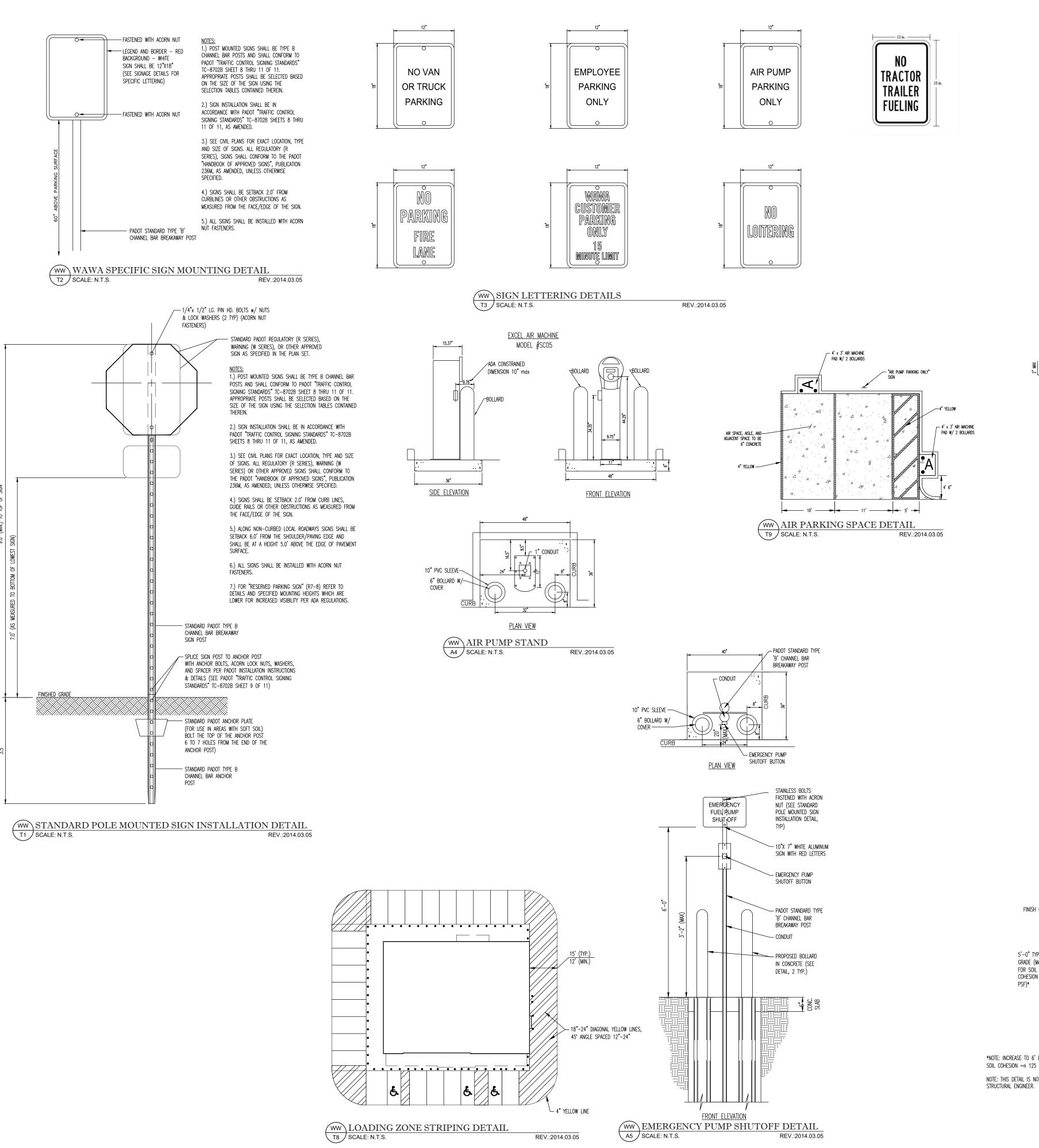
16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

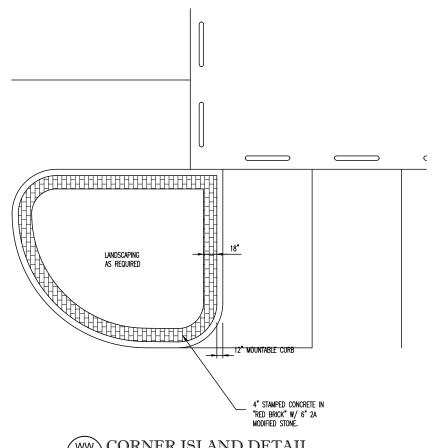


SHEET TITLE:SP-23-024

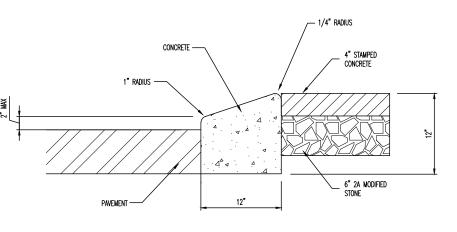
WAWA SITE **DETAILS**

C-903



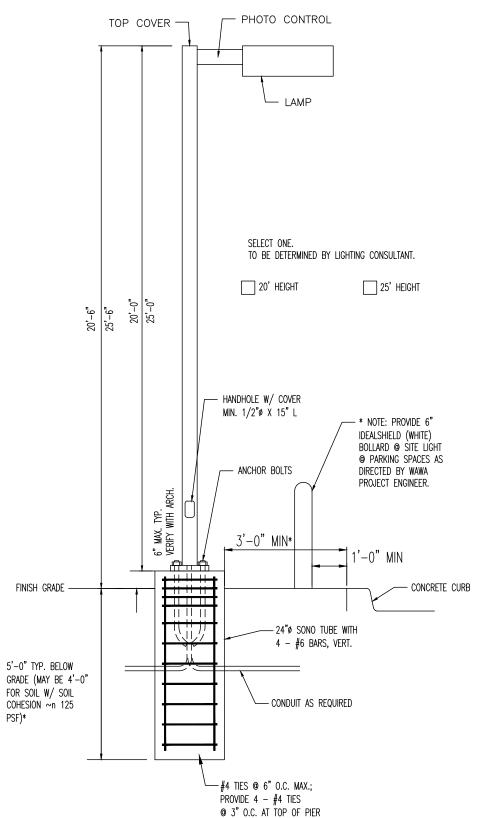


WW CORNER ISLAND DETAIL
P15 SCALE: N.T.S. REV.:2014.03.05



MOUNTABLE CURB DETAIL

WW STAMPED CONCRETE DETAIL
P14 SCALE: N.T.S. REV.:2014.03.05

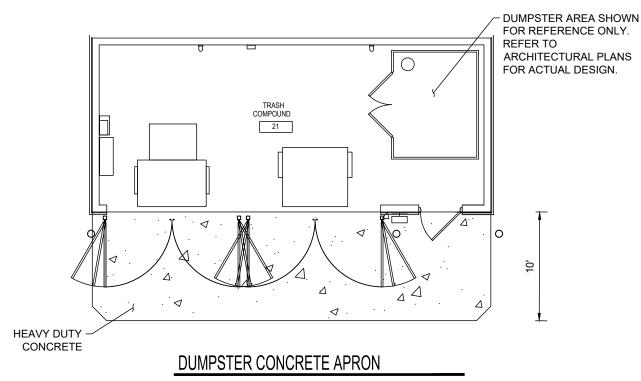


*NOTE: INCREASE TO 6' BELOW GRADE FOR POLE HEIGHT GREATER THAN 20' (MAY BE REDUCED TO 5' FOR SOIL WITH SOIL COHESION ~n 125 PSF)

NOTE: THIS DETAIL IS NOT CERTIFIED. FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS CERTIFIED BY

LIGHT POLE WITH STANDARD ANCHORING DETAIL

NOTE: THE ABOVE DETAILS ARE PROVIDED BY OTHERS.
BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE
EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN
THIS DETAIL AND/OR STRUCTURAL FAILURE.



ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 6" FROM THE BOTTOM OF THE GREASE TRAP.

TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION.

TANK IS 5000 PSI CONCRETE-STEEL REINFORCED (@ 28 DAYS) CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2, ASTM A615 AND A185

-DIMENSION: 151" INTERIOR/ 163" EXTERIOR LENGTH x 72" INTERIOR/ 84" EXTERIOR WIDTH

NOTES:

1) WHEN LOCATED IN DRIVEWAYS OR PAVED AREAS, GREASE TRAP TO BE DESIGNED FOR APPROPRIATE LOAD BEARING CONDITIONS. GREASE TRAP SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.

2) ALL PIPE PENETRATIONS SHALL BE WATERTIGHT.

2) ALL PIPE PENETRATIONS SHALL BE WATERTIGHT.

3) GREASE TRAP SHALL BE PROVIDED WITH GAS-TIGHT MANHOLE COVERS, IN ACCORDANCE WITH TOWNSHIP STANDARD SPECIFICATIONS.

4) PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH 5000 PSI.

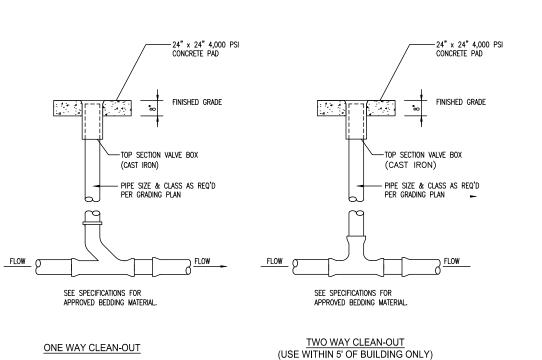
5) EXTERIOR CONCRETE SURFACES BELOW GRADE SHALL HAVE 2 COATS OF COAL TAR EPOXY.

6) SPECIFIC SEALANT DETAIL AT CONCRETE RISER TO CONCRETE VAULT INTERFACE SHALL BE WATERTIGHT. AT A MINIMUM, THE JOINT SHALL BE SEALED WITH BUTYL RUBBER SEALANT (KENT SEAL #2 OR APPROVED EQUIVALENT) AND THE EXTERIOR OF THE JOINT SHALL BE SEALED WITH NON-SHRINK GROUT IN CONFORMANCE WITH THE TOWNSHIP STANDARD GREASE TRAP DETAIL.

7) TANK SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING FOR 24 HRS. TO SOAK, THEN TOPPED OFF, AND THEN WATCHED FOR 24 HRS. NO DROP IN WATER IS ALLOWED.

8) CAST IRON SHALL BE BOLTED TO CONCRETE WITH MASTIC TAPE (KENT SEAL OR APPROVED EQUIVALENT) SEALANT.
9) MAXIMUM EARTH COVER=5.0', HS-20 LOADING.
10) INLET AND OUTLET EQUIPPED WITH PIPE SEALS.

WW GREASE TRAP - 1500 GALLON (2 COMPARTMENT) TANK
X1 SCALE: N.T.S. REV.:2014.03.05



S2 SCALE: N.T.S. REV.:2014.03.05

WW TYPICAL CLEANOUT DETAIL

SITE CIVIL AND CONSULTING ENGINE

LAND SURVEYING

PROGRAM MANAGEMENT

LAND SURVEYING

PROGRAM MANAGEMENT

LAND SURVEYING

PROGRAM MANAGEMENT

LAND SURVEYING

PROGRAM MANAGEMENT

LAND SURVEYING

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

THE INFORMATION DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED PRANS SHALL BE UTILIZED TO BE SOFHER OR SHALL BE SOFHER SHALL BE SOFT TO BE SOFHER OR SHALL BE SOFT TO BE SOFT TO

 REVISIONS

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PROJECT No.: MDA220191.00

 PROJECT No.:
 MDA220191.00

 DRAWN BY:
 AJH

 CHECKED BY:
 BMM / KAK

 DATE:
 07/28/2023

 CAD I.D.:
 SITE

PROJECT:

SITE PLAN SET

SP-23-024

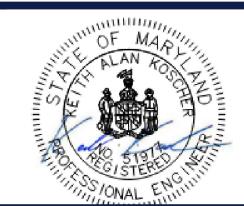
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SHEET TITLE:SP-23-024

WAWA SITE DETAILS

SHEET NUMBER: C-904

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THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025





REAR ELEVATION

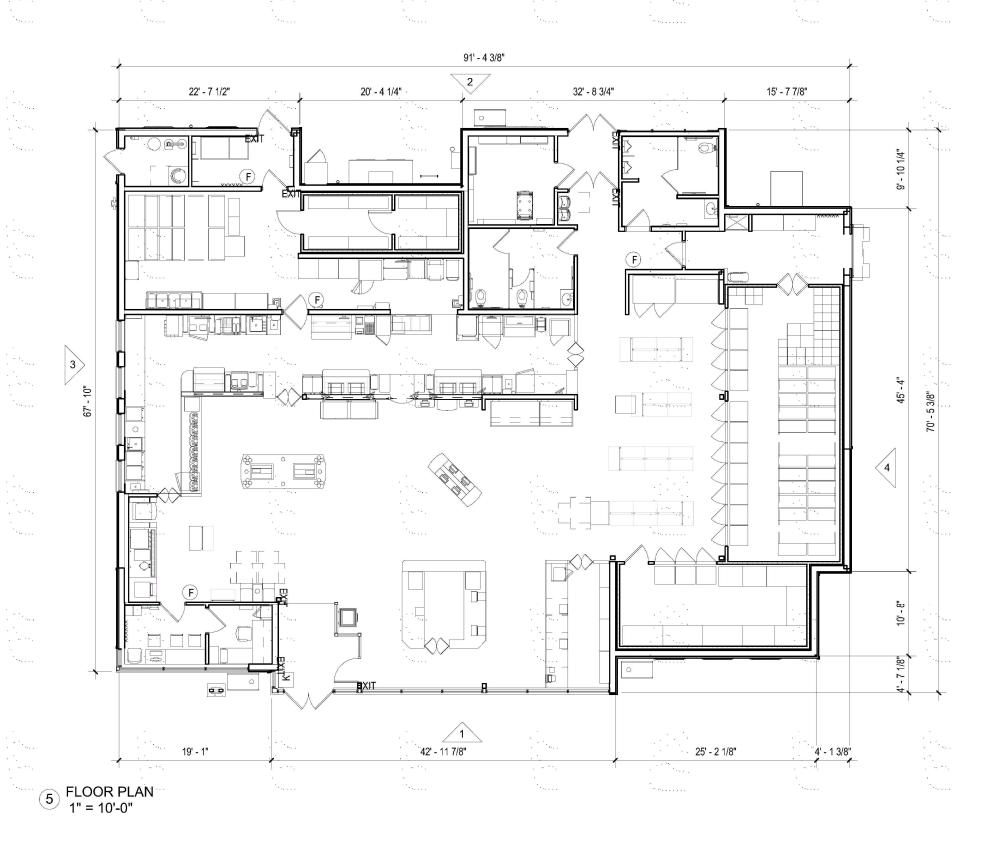
GLAZING CALCS - REAR ELEVATION: CLEAR GLAZING - 68 SQFT SPANDREL GLASS - 136 SQFT TOTAL BUILDING - 1,712 SQFT GLAZING - 204/1,712 = 30%

TOTAL BUILDING - 1,753 SQFT

GLAZING - 541/1,753 = 31%

MATERIAL CALCS - REAR ELEVATION: BRICK - 576 SQFT COMPOSITE - 543 TILE - 69 SQFT - 5% TOTAL - 1,508 SQFT

TILE - 82 SQFT TOTAL - 1,212 SQFT



MATERIALS:



EXTERIOR FINISH PACKAGE: BRICK-1



3 SIDE ELEVATION 3/1,6" = 1'-0"

GLAZING CALCS - SIDE ELEVATION: CLEAR GLAZING - 110 SQFT MATERIAL CALCS - SIDE ELEVATION: BRICK - 806 SQFT SPANDREL GLASS - 46 SQFT TOTAL - 156 SQFT

COMPOSITE - 224 SQFT STUCCO/EIFS - 88 SQFT TILE - 63 SQFT TOTAL BUILDING - 1,337 SQFT GLAZING - 300/1,337 = 22% TOTAL - 1,181 SQFT

4 SIDE ELEVATION 3/16" = 1'-0"

T.O PARAPET (HIGH) 18' - 8" T.O PARAPET (LOW)

> MATERIAL CALCS - SIDE ELEVATION:
> BRICK - 363 SQFT
> COMPOSITE - 552 SQFT
> STUCCO/EIFS - 334 SQFT TILE - 87 SQFT TOTAL - 1,336 SQFT



WAWA U59FB-R



NOTE: THE ABOVE DETAILS ARE PROVIDED BY OTHERS. BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE **EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN** THIS DETAIL AND/OR STRUCTURAL FAILURE.

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

REVISIONS

| REV | DATE | COMMENT | DRAWN B |
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07/28/2023 SITE

DRAWN BY: CHECKED BY: DATE: CAD I.D.:

PROJECT:

SITE PLAN SET SP-23-024

HAGERSTOWN PENNSYLVANIA,

PROPOSED CONVENIENCE **CENTER & GAS STATION**

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BOHLER

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SHEET TITLE:SP-23-024

BUILDING ELEVATIONS

C-905

| | | | | L | and Development Reviews | | |
|---------------|-----------------------------|---------------------------|--------------------------|--|---|--------------------------------|--|
| Record # | Туре | Status | Accepted
Date | Title | Location | Consultant | Owner |
| FS-24-001 | Forest Stand
Delineation | In Review | | ELDRIDGE FRAZIER, JR | RAVEN ROCK ROAD
SMITHSBURG, MD 21783 | R LEE ROYER & ASSOCIATES |
 FRAZIER ELDRIDGE LAVADA JR |
| FS-24-002 | Forest Stand
Delineation | Revisions Required |

 15-Feb-24
 | FOREST STAND DELINEATION PLAN FOR GOLDEN WOOD - LAPPANS ROAD | 18126 LAPPANS ROAD
FAIRPLAY, MD 21733 | APEX LAND SOLUTIONS LLC | EBERLY LYNN EUGENE EBERLY
SUZANN LEHMAN |
| SIM24-006 | IMA | Active | 02-Feb-24 | 20322 TOWNSEND
ROAD RO | 20322 TOWNSEND ROAD
ROHRERSVILLE, MD 21779 | FREDERICK SEIBERT & ASSOCIATES | POULIN KARL POULIN KELLY |
| SIM24-007 | IMA | Active | 05-Feb-24 | GRUMBACKER LANE LLC | | FREDERICK SEIBERT & ASSOCIATES | 10319 GRUMBACKER LANE LLC |
| SIM24-008 | IMA | Active | 13-Feb-24 | MERITUS SCHOOL OF OSTEOPATHIC | 19513 INNOVATION
MD |

 HRG | BOARD OF EDUCATION |
| SIM24-009 | IMA | Active | 16-Feb-24 |
 14103 MAPLE RIDGE HK | 14103 MAPLE RIDGE
HANCOCK, MD 21750 | DEAN METCALFE JR. | CARDONE DOMINIC CARDONE CHRISTINE |
| SIM24-010 | IMA | Active | 20-Feb-24 | PATTON
WAREHOUSING &
LOGISTICS | 18525 BREEZE HILL DRIVE
HAGERSTOWN, MD 21742 | FREDERICK SEIBERT & ASSOCIATES | PATTON HAGERSTOWN LLC |
| SIM24-011 | IMA | Active | 26-Feb-24 | | 5550 AMOS REEDER ROAD
BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES | KING DAVID W & KING MARIE L |
| SIM24-012 | IMA | Active | 26-Feb-24 | 19163 LAPPANS ROAD
BO | 19163 LAPPANS ROAD
BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES | MMM RE LLC MCCLEARY MARCIE |
| SIM24-013 | IMA |
 Requested | 26-Feb-24 | 4654 COURIE DOON
LANE RO |
 | FOX & ASSOCIATES INC | COURIE DOON FARM LLC |
| SIM24-014 | IMA | Active | 26-Feb-24 | | 7608 SHENANDOAH COURT
BOONSBORO, MD 21713 | TRIAD ENGINEERING | OLIVER JOHN R CO INC |
| SIM24-015 | IMA | Active | 26-Feb-24 | | 11835 SAINT PAUL ROAD
CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES |
 |
| TWN-24-002 | Improvement Plan | In Review | 20-Feb-24 | | 139 EA MAIN STREET
SHARPSBURG, MD 21782 | FREDERICK SEIBERT & ASSOCIATES | MAYOR AND COUNCIL OF SHARPSBURG |
| TWN-24-003 | Improvement Plan | In Review | 22-Feb-24 | SEWER LINE | 7700 OLD NATIONAL PIKE
BOONSBORO, MD 21713 | | DIPIETRO AND SON LLC |
| PP-24-002 | Preliminary Plat | In Review | 06-Feb-24 | ELMWOOD FARM
REVISED SECTION 5D | | FOX & ASSOCIATES INC |
 Felix's Folly LLC |
| S-24-003 | Preliminary-Final Plat | Approval
Letter Issued | 20-Feb-24 | LOTS 63-A AND 63-B,
TAMMANY HEIGHTS
NORTH | 16712 CUSTER COURT
WILLIAMSPORT, MD 21795 | TRIAD ENGINEERING | OLIVER MARK B |
| S-24-004 | Preliminary-Final Plat | In Review | 27-Feb-24 | HORST, LOT 1 | 17811 REIFF CHURCH ROAD
HAGERSTOWN, MD 21740 | FREDERICK SEIBERT & ASSOCIATES | HORST RONALD J & HORST JOYLIN F |
| PWA2024-002 | PWA |

 Active | 14-Feb-24 | | 1311 YALE DRIVE
HAGERSTOWN, MD 21742 |

 HRG | BOARD OF EDUCATION |
| SP-16-034.R02 | Redline Revision | Signatures
Complete | 20-Feb-24 | DAILY DRIVE AUTO | DALEY ROAD W/S | FREDERICK SEIBERT & ASSOCIATES | MARTIN CARLIN & CHERYL 14204
DALEY ROAD |

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| | | | | ı | Land Development Reviews | | |
|------------|----------------------------|-----------|------------------|------------------------------------|--|--------------------------------|---|
| Record # | Туре | Status | Accepted
Date | Title | Location | Consultant | Owner |
| SI-24-003 | Simplified Plat | In Review | 21-Feb-24 | TRUNNELL PARCELS A&B | 11417 PINE TREE LANE
WILLIAMSPORT, MD 21795 | FREDERICK SEIBERT & ASSOCIATES | TRUNNELL MICHAEL S |
| SP-24-003 | Site Plan | In Review | 16-Feb-24 | SHEETZ- SPIELMAN
ROAD | 15919 SPIELMAN ROAD
WILLIAMSPORT, MD 21795 | FREDERICK SEIBERT & ASSOCIATES | BOWMAN SPIELMAN LLC |
| SP-24-004 | Site Plan | In Review | 23-Feb-24 | YOURTEE TANK SITE PLAN APPLICATION | 20304 YOURTEE ROAD
KNOXVILLE, MD 21758 | | BRUNSWICK MAYOR & COUNCIL |
| GP-24-002 | Site Specific Grading Plan | In Review | 20-Feb-24 | PARCEL 1 "BOWMAN
NORTH, LLC" | 18400 PRECISION PLACE
HAGERSTOWN, MD 21742 | | MORGAN PROPERTY INVESTMENTS |
| SGP-24-009 | Standard Grading Plan | Approved | 12-Feb-24 | STASH AND JULIE
NICODEMUS | 9540 STOTTLEMYER ROAD
BOONSBORO, MD 21713 | |
 |
| SGP-24-010 | Standard Grading Plan | Approved | 12-Feb-24 | SHEHADI, DAVID | 12706 SPICKLER ROAD
CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | FREEMAN JARED MICHAEL FREEMAN KATRINA LEE |
| SGP-24-011 | Standard Grading Plan | In Review | 15-Feb-24 | LAURA RIDER | 14646 CEARFOSS PIKE
HAGERSTOWN, MD 21740 | FREDERICK SEIBERT & ASSOCIATES | RIDER BENJAMIN D RIDER LAURA
ANN ELIZABETH |
| SGP-24-012 | Standard Grading Plan | Approved | 16-Feb-24 | SHENANDOAH ESTATES LOT 7 (KNIGHT) | 7609 SHENANDOAH COURT
BOONSBORO, MD 21713 | TRIAD ENGINEERING | OLIVER JOHN R CO INC |
| SGP-24-013 | Standard Grading Plan | Approved | 21-Feb-24 | MATTHEW SPRECHER | 20734 TROVINGER MILL ROAD
HAGERSTOWN, MD | FREDERICK SEIBERT & ASSOCIATES | SPRECHER BARRY E SPRECHER PENNY SUE |
| SGP-24-014 | Standard Grading Plan | Approved | 28-Feb-24 | MARK WILHIDE | 7301 MONROE ROAD
BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES |
 WILHIDE MARK |
| SWCP24-001 | Stormwater Concept
Plan | Approved | 02-Feb-24 | MYERS MANAGEMENT |
 | | ROWLAND ON HOLDINGS LLC |
| SWCP24-002 | Stormwater Concept Plan | In Review | 15-Feb-24 | GOLDEN WOOD -
LAPPANS ROAD | 18126 LAPPANS ROAD
FAIRPLAY, MD 21733 | | EBERLY LYNN EUGENE EBERLY SUZANN LEHMAN |
| SSWP24-008 | Stormwater Standard Plan | Approved | 12-Feb-24 | STASH AND JULIE
NICODEMUS | 9540 STOTTLEMYER ROAD
BOONSBORO, MD 21713 | |
 |
| SSWP24-009 | Stormwater Standard Plan | Approved | 12-Feb-24 | SHEHADI, DAVID | 12706 SPICKLER ROAD
CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | FREEMAN JARED MICHAEL
FREEMAN KATRINA LEE |
| SSWP24-010 | Stormwater Standard Plan | In Review | 15-Feb-24 | LAURA RIDER | 14646 CEARFOSS PIKE
HAGERSTOWN, MD 21740 | FREDERICK SEIBERT & ASSOCIATES | RIDER BENJAMIN D RIDER LAURA
ANN ELIZABETH |
| SSWP24-011 | Stormwater Standard Plan | Approved | 20-Feb-24 | MATTHEW SPRECHER | 20734 TROVINGER MILL ROAD
HAGERSTOWN, MD | FREDERICK SEIBERT & ASSOCIATES | SPRECHER BARRY E SPRECHER PENNY SUE |
| SSWP24-012 | Stormwater Standard Plan | Approved | 28-Feb-24 | MARK WILHIDE | 7301 MONROE ROAD
BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES |
 WILHIDE MARK |
| TIS-24-002 | Traffic Impact Study | Pending | 07-Feb-24 | SMITHSBURG SHEETZ | 11840 MAPLEVILLE ROAD
SMITHSBURG, MD 21783 | STREET TRAFFIC STUDIES, LTD | BOWMAN CAVETOWN LLC |
| TYU-24-003 | Two Year Update | In Review | 14-Feb-24 | GATEWAY BUSINESS
PARK | WEST SIDE OF THE SHARPSBURG PIKE | FREDERICK SEIBERT & ASSOCIATES | WASHCO ARNETT FARM LLC |
| TYU-24-004 | Two Year Update | In Review | 20-Feb-24 | BOWMAN TRUCK
TERMINAL | WEST SIDE OF GOVERNOR LANE BLVE | FREDERICK SEIBERT & ASSOCIATES | BOWMAN DONALD M JR |
| GPT-24-008 | Type 2 Grading Plan | Approved | 09-Feb-24 | GAVER MEADOWS LOT
81 | 4 BESSY NAOMI DRIVE
HAGERSTOWN, MD 21740 | FREDERICK SEIBERT & ASSOCIATES | DAVID C LYLES DEVELOPERS LLC |
| GPT-24-009 | Type 2 Grading Plan | Approved | 09-Feb-24 | GAVER MEADOWS LOT 83 | 5 BESSY NAOMI DRIVE
HAGERSTOWN, MD 21740 | FOX & ASSOCIATES INC | DAVID C LYLES DEVELOPERS LLC |

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| | | | | | Permits Reviews | | |
|------------|------------------------|-------------|------------------|----------------------------------|--|-----------------------|---|
| Record # | Туре | Status | Accepted
Date | Title | Location | Consultant | Owner |
| 2024-00504 | Entrance Permit | In Progress | 05-Feb-24 | STICK BUILT HOME | SI-09-012 5550 AMOS REEDER ROAD,
TRACT 4 | EBY WILLIAM | KING DAVID W & KING MARIE L |
| 2024-00574 | Entrance Permit | In Progress | 09-Feb-24 | STICK BUILT HOME | S-23-038 20734 TROVINGER MILL ROAD,
LOT 3 | MAJOR LEAGUE BUILDERS | |
| 2024-00581 | Entrance Permit | In Progress | 09-Feb-24 | STICK BUILT HOME | S-18-035 9367 ALLOWAY DRIVE, LOT 773 | | WESTFIELDS INVESTMENT LLC |
| 2024-00653 | Entrance Permit | Approved | 14-Feb-24 | STICK BUILT HOME | S-06-191 12706 SPICKLER ROAD, LOT 6 | OLIVER HOMES INC | David E. Shehadi |
| 2024-00674 | Entrance Permit | Approved | 15-Feb-24 | COMMERCIAL | SP-23-010 18525 BREEZE HILL DRIVE | | |
| 2024-00713 | Entrance Permit | Approved | 16-Feb-24 | STICK BUILT HOME | S-07-023 7609 SHENANDOAH COURT,
LOT 7 | OLIVER HOMES INC | OLIVER JOHN R CO INC |
| 2024-00737 | Entrance Permit | In Progress | 20-Feb-24 |
 SEMI-DETACHED HOME |
 S-21-031 19651 LAVENDER LANE, LOT 115 |
 | DAN RYAN BUILDERS MID ATLANTIC |
| 2024-00742 | Entrance Permit | In Progress | 20-Feb-24 |
 SEMI-DETACHED HOME |
 S-21-031 19653 LAVENDER LANE, LOT 116 |
 | DAN RYAN BUILDERS MID ATLANTIC |
| 2024-00754 | Entrance Permit | In Progress | 20-Feb-24 | STICK BUILT HOME | MAPLE RIDGE ROAD |
 | CARDONE DOMINIC CARDONE CHRISTINE |
| 2024-00764 | Entrance Permit | In Progress | 21-Feb-24 | STICK BUILT HOME | S-22-040 9540 STOTTLEMYER ROAD, LOT 18A | CONRAD HOMES, INC. | |
| 2024-00770 | Entrance Permit | In Progress | 21-Feb-24 |
 SEMI-DETACHED HOME | S-21-031 19627 LAVENDER LANE, LOT 107 |
 | DAN RYAN BUILDERS MID ATLANTIC |
| 2024-00778 | Entrance Permit | In Progress | 21-Feb-24 |
 SEMI-DETACHED HOME | S-21-031 19629 LAVENDER LANE |
 | DAN RYAN BUILDERS MID ATLANTIC |
| 2024-00857 | Entrance Permit | Approved | 26-Feb-24 | STICK BUILT HOME | S-23-041 7359 MOUNTAIN LAUREL ROAD,
LOT 2 |
 | THACKER DEWEY RALPH THACKER BETTY JEAN |
| 2024-00892 | Entrance Permit | Review | 28-Feb-24 |
 -
 FOREST HARVEST | END OF SAMPLES MANOR DRIVE, 0.25 MILES NORTH OF INTERSECTION OF HARPERS FERRY ROAD AND CHESTNUT GROVE ROAD |
 | BROWN RACHEL M TRUSTEE OTZELBERGER ROGER L JR TRUSTEE |
| 2024-00524 | Entrance Permit | Approved | 06-Feb-24 | FOREST HARVEST | | | MARTIN INEZ S |
| 2024-00726 | Entrance Permit | Review | | STICK BUILT HOME | PP-22-001 19302 COPPER CANYON DRIVE | Ĭ | P OVERLOOK LLLP |
| 2024-00525 | Grading Permit | Pending | 06-Feb-24 |
 INDUSTRIAL | SP-21-023 22523 LEITERSBURG | RK&K | WASH CO COMMISSIONERS BOARD OF |
| 2024-00582 | Grading Permit | In Progress | 09-Feb-24 | WESTFIELDS LOT #773 | S-18-035 9367 ALLOWAY DRIVE, LOT 773 | ĺ | WESTFIELDS INVESTMENT LLC |
| 2024-00587 | Grading Permit | Approved | 09-Feb-24 | | TWN-19-007 4 BESSY NAOMI DRIVE, LOT | l | DAVID C LYLES DEVELOPERS LLC |
| 2024-00588 | Grading Permit | Approved | 09-Feb-24 | GRADING FOR GAVER MEADOWS LOT 83 | TWN-19-007 5 BESSY NAOMI DRIVE, LOT | [
[| DAVID C LYLES DEVELOPERS LLC |
| 2024-00655 | Grading Permit | Approved | 14-Feb-24 | STICK BUILT HOME | S-06-191 12706 SPICKLER ROAD, LOT 6 | OLIVER HOMES INC | David E. Shehadi |
| 2024-00673 | Grading Permit | | | MATTHEW SPRECHER | S-23-038 20734 TROVINGER MILL ROAD,
LOT 3 | [| SPRECHER BARRY E SPRECHER PENNY SUE |
| 2024-00679 | Grading Permit | In Progress | 15-Feb-24 |
 LAURA RIDER | S-23-014 14646 CEARFOSS PIKE, LOT 1 | 1 | RIDER BENJAMIN D RIDER LAURA
ANN ELIZABETH |
| 2024-00739 | Grading Permit | In Progress | 20-Feb-24 | ROSEHILL MANOR LOT
#115 | S-21-031 19651 LAVENDER LANE, LOT 115 | 1 | DAN RYAN BUILDERS MID ATLANTIC |
| 2024-00745 | Grading Permit | Approved | 20-Feb-24 | STICK BUILT HOME | S-07-023 7609 SHENANDOAH COURT,
LOT 7 | OLIVER HOMES INC | OLIVER JOHN R CO INC |

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| | Permits Reviews | | | | | | | |
|------------|---|-------------------------------|------------------|------------------------------|---|-------------------------------|---|--|
| Record # | Туре | Status | Accepted
Date | Title | Location | Consultant | Owner | |
| 2024-00765 | Grading Permit | In Progress | 21-Feb-24 | STICK BUILT HOME | S-22-040 9540 STOTTLEMYER ROAD, LOT
18A | CONRAD HOMES, INC. | | |
| 2024-00773 | Grading Permit | In Progress | 21-Feb-24 | | S-21-031 19627 & 19629 LAVENDER
LANE, LOTS 107 & 108 |
 | DAN RYAN BUILDERS MID ATLANTIC | |
| 2024-00868 | Grading Permit | In Progress | 27-Feb-24 | STICK BUILT HOME | S-21-037 21115 MOUSETOWN ROAD, LOT
2 | <u> </u>
 | MICHELE A MCKENNA REVOCABLE TRUST MCKENNA MICHELE A TRUSTEE | |
| 2024-00877 | Grading Permit | Pending | 27-Feb-24 | -COMMERCIΔI | SP-23-024 13610 PENNSYLVANIA
AVENUE, WAWA MARKET |
 | HAGERSTOWN PENNSYLVANIA LLC | |
| 2024-00578 | Grading Permit | Review | 09-Feb-24 | RICHARD ALLEN
COLLINS JR. | SP-23-010 18525 BREEZE HILL DRIVE |
 | PATTON HAGERSTOWN LLC | |
| 2024-00792 | Grading Permit | Review | 21-Feb-24 | | 18400 PRECISION PLACE
HAGERSTOWN, MD 21742 |]
[| MORGAN PROPERTY INVESTMENTS | |
| 2024-00819 | Non-Residential New Construction Permit | Review | 22-Feb-24 | -COMMERCI∆I | SP-23-024 13610 PENNSYLVANIA
AVENUE, WAWA MARKET |]
 | HAGERSTOWN PENNSYLVANIA LLC | |
| 2024-00720 | Utility Permit | Approved | 18-Feb-24 | ANTIETAM BROADBAND | 14729 BLAIRS VALLEY ROAD | ANTIETAM CABLE TELEVISION INC | STAMBACH SYLVIA H & CARTER MORRIS | |
| 2024-00826 | Utility Permit | Approved | 23-Feb-24 | POTOMAC EDISON | LICKING CREEK ROAD | POTOMAC EDISON | EBY CHAD EBY GENEVA | |
| 2024-00849 | Utility Permit | Approved | 26-Feb-24 | ANTIETAM BROADBAND | WALNUT POINT ROAD | ANTIETAM CABLE TELEVISION INC | ARTZ CAROL E | |
| 2024-00870 | Utility Permit | Review | 27-Feb-24 | | NORTH EDGEWOOD DRIVE, MOUNT
AETNA ROAD, ROBINWOOD DRIVE | l | MERITUS MEDICAL CENTER INC | |
| 2024-00900 | Utility Permit | Approved | 28-Feb-24 | POTOMAC EDISON | 11326 MARNBERN ROAD | POTOMAC EDISON | GEARHART LLOYD W JR | |
| 2024-00498 | Utility Permit | Approved | 05-Feb-24 | ANTIETAM BROADBAND | 9234 JORDAN ROAD | ANTIETAM CABLE TELEVISION INC | WELTY LARRY E | |
| 2024-00500 | Utility Permit | Approved | 05-Feb-24 | ANTIETAM BROADBAND | 10205 MAR ROCK DRIVE | ANTIETAM CABLE TELEVISION INC | SMITH DARRELL WARREN SMITH BETH A | |
| 2024-00521 | Utility Permit | Pending

 Information | 06-Feb-24 |
 COMCAST
 | WINDING OAK DR, SOUTH POINTE DR, E OAK RIDGE DR, SUNFLOWER DR, BUTTERCUP DR, S FORK DR, SOUTHERN OAK DR, PLANTATION DR, GRAND OAK DR, S VALLEY DR |
 | DOUGLAS SUE | |
| 2024-00576 | Utility Permit | Approved | 09-Feb-24 | POTOMAC EDISON | 10309 EASTERDAY COURT | POTOMAC EDISON | SHULL DAVID L & IRIS C | |
| 2024-00584 | Utility Permit | Pending
Information | 09-Feb-24 | COMCAST | GEETING ROAD, RED HILL ROAD | l | MARKLE ROBERT R | |
| 2024-00643 | Utility Permit | Approved | 13-Feb-24 | ANTIETAM BROADBAND | 12001 BAYER DRIVE | ANTIETAM CABLE TELEVISION INC | GOMPERS CHRISTINE M | |

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| | Туре | Total |
|-----------------------|---|-------|
| LandDev | Forest Stand Delineation | 2 |
| Total by Group:
41 | IMA | 10 |
| | Improvement Plan | 2 |
| | Preliminary Plat | 1 |
| | Preliminary-Final Plat | 2 |
| | PWA | 1 |
| | Redline Revision | 1 |
| | Simplified Plat | 1 |
| | Site Plan | 2 |
| | Site Specific Grading Plan | 1 |
| | Standard Grading Plan | 6 |
| | Stormwater Concept Plan | 2 |
| | Stormwater Standard Plan | 5 |
| | Traffic Impact Study | 1 |
| | Two Year Update | 2 |
| | Type 2 Grading Plan | 2 |
| Permits | Entrance Permit | 16 |
| Total by Group:
43 | Grading Permit | 15 |
| .5 | Non-Residential New Construction Permit | 1 |
| | Utility Permit | 11 |
| Total | | 84 |

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