



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
April 1, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

OLD BUSINESS

1. **Washington County Planning & Zoning Department [RZ-24-001]** – Jill Baker * ***Discussion/Action***
Recommendation for the proposed text amendment to amend Section 23.4(a) of the Washington County Zoning Ordinance to remove exemptions for height restrictions on high-density warehouse structures

NEW BUSINESS

MINUTES

1. March 4, 2024 Planning Commission regular meeting * ***Discussion/Action***
2. March 11, 2024 Planning Commission workshop meeting * ***Discussion/Action***

PRELIMINARY CONSULTATION

1. **7 Brew – Hagerstown [PC-24-001]** – Misty Wagner-Grillo * ***Information/Discussion***
Concept plan for a proposed drive-thru coffee shop at 1711 Massey Boulevard; Zoning: BG (Business General)

ORDINANCE MODIFICATION

1. **Mark D. Myers [OM-24-001]** – Misty Wagner-Grillo * ***Discussion/Action***
Modification to allow an 11-foot wide panhandle to serve as usable road frontage for the subdivision of an existing parcel with two single-family detached dwellings at 14710 National Pike; Zoning: A(R) – (Agricultural Rural)

SITE PLAN

1. **Proposed Fuel Station & Convenience Store [SP-23-024]** – Scott Stotelmyer * ***Discussion/Action***
Proposed 5,915 sq. ft. convenience store and 8 unit fuel canopy located at 13610 Pennsylvania Avenue; Zoning: BG (Business General)

OTHER BUSINESS

1. **Update of Projects Initialized** – Jennifer Kinzer * ***Information/Discussion***

ADJOURNMENT

UPCOMING MEETINGS

1. April 15, 2024, 4:30 p.m. – Washington County Planning Commission workshop meeting
2. April 22, 2024, 4:30 p.m. – Washington County Planning Commission workshop meeting
3. April 30, 2024, 4:30 p.m. – Washington County Planning Commission workshop meeting
4. May 6, 2024, 6:00 p.m. - Washington County Planning Commission regular meeting

*attachments

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

PRELIMINARY CONSULTATION
PC-24-001 – 7 Brew - Hagerstown

A preliminary consultation was held on February 29, 2024 at 1 p.m. in the Washington County Administrative Annex at 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for the construction of a proposed drive thru coffee shop at 1711 Massey Boulevard. The property is currently zoned BG (Business General).

The following were in attendance: Misty Wagner-Grillo, Planner; Adam Tressler, GIS Technician; and Debra Eckard, Administrative Assistant, Washington County Department of Planning & Zoning; Rebecca Calimer, Chief of Plan Review, Washington County Division of Engineering; Anthony Mace, Capacity Manager, and Karen Flook, Allocation Coordinator, Washington County Department of Water Quality; Alerik Hoeh, City of Hagerstown Water Department; Becky Gander, Chief of Permitting, Washington County Dept. of Permitting; and Nicole Vicary, Larry Wilson, Fran Taylor, Ashley Rivera, Michael Lannon, and Mr. Lazzano, all representing the applicant Kinetic Design and Development.

Department of Planning & Zoning

Ms. Wagner-Grillo stated that an appeal was granted on March 16, 2021 to allow the reduction of the required minimum parking spaces for several businesses located on the Valley Plaza parcel. She explained that because the proposed business would sit on top of some of the parking spaces, another variance would be required to reduce the number of parking spaces even further. The appeal would need to be approved prior to the submittal of a site plan.

Ms. Wagner-Grillo explained that the summary of the preliminary consultation will be presented to the Planning Commission for their review and comments. She stated that the site plan must meet all requirements of the Washington County Zoning Ordinance and would be presented to the Planning Commission for its approval.

Forest Conservation

Mr. Travis Allen of the Washington County Department of Planning & Zoning provided written comments. The project will most likely be exempt from Forest Conservation Ordinance requirements since the site is mostly impervious area.

Washington County Health Department

Ms. Kimmy Armstrong provided written comments stating that the wastewater and water allocation forms will need to be completed and submitted to the Health Department as well as a \$25.00 review fee prior to approval of the site plan.

Addressing

Mr. Tresler stated he performed a site visit because the addressing in this area is extremely tight and not in accordance with County standards. An address has been assigned for the site plan phase; however, at the time of construction, the site must be properly signed for 911 purposes.

Department of Water Quality

Ms. Flook noted that the applicant will need to contact the Department of Water Quality to discuss the consumption for sewer EDUs. She noted it would be a benefit to the applicant to install deduct meters on the drink line. These meters must meet the Department of Water Quality standards.

Division of Engineering

Ms. Calimer stated that written comments have been uploaded to the Citizen Access Portal for the applicant. She briefly reviewed the comments as follows:

- 1) a traffic impact study will be required to assess the adequacy of the road network supporting this development
- 2) there are several concerns regarding the parking and circulation for this site; the site plan must provide detailed vehicular turning movements to demonstrate safe navigation of large delivery vehicles
- 3) traffic signage must follow MUTCD based on FHWA rules issued in 2007
- 4) the project must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance
- 5) a Stormwater Concept Plan must be submitted and approved prior to site plan submittal.

City of Hagerstown Water Department

Mr. Hoeh asked if the site is going to be subdivided. The applicant is unsure at this time. There was a brief discussion regarding how the service will be handled in either situation. If the lot is not subdivided, the applicant would connect to the existing private water service and an additional meter would not be required from the City of Hagerstown unless additional water usage allocation is needed. Ms. Wagner-Grillo explained that if the lot is subdivided, an ordinance modification would be required because it would be considered a lot without public road frontage.

Washington County Department of Permitting

Ms. Becky Gander, Chief of Permitting, joined the consultation at the request of the applicant to discuss the permitting process. Permits are submitted through the Citizen Access Portal; permits are processed in the order in which they are received. Permit applications are sent to reviewing agencies. Once approved by all reviewing agencies, the permit will be issued. Minimum time for review is approximately 3 to 4 weeks; however, the State Fire Marshall's office review time is approximately 6 weeks or longer.

Closing Comments

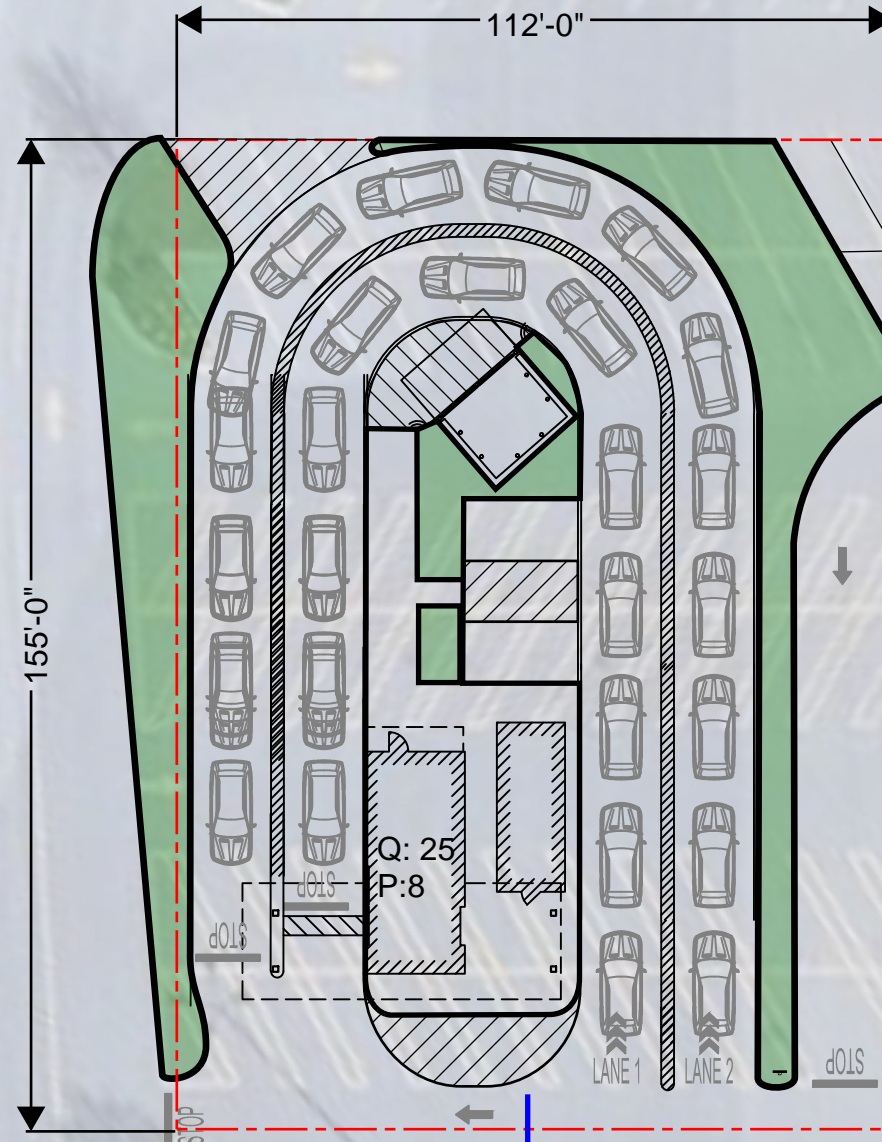
All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

Misty Wagner-Grillo
Washington County Department of
Planning & Zoning

MAWG/dse

Massey Blvd



Existing San. Sewer

Proposed San. Sewer Lateral

Proposed Water Service Lateral

Existing Water Service

Private Drive



SCALE: 1" = 30'

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CONCEPTUAL SITE LAYOUT

7101 MASSEY BLVD
Hagerstown, MD



1550 E. Republic Rd, Suite A, Springfield MO. 65804

Toth & Associates, Inc.

JOB NUMBER: 91.043
ISSUE DATE: 10.03.2023

APPLICANT

PROPERTY OWNER

CONSULTANT

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 31 GRID 16 PARCEL 79
PROPOSED LOT ACREAGE 3.31 TOTAL SITE ACREAGE 4.43
ZONING DISTRICT A(R) ROAD FRONTAGE(FT) 11'

LOCATION / ADDRESS

14710 National Pike, Clear Spring, MD 21722

EXISTING AND PROPOSED USE OF PROPERTY

Two existing Single Family Detached homes exist on this property. Proposed to subdivide and provide each dwelling with its own lot and road frontage

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER Yes

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11.B

MODIFICATION IS TO ALLOW Create a panhandle 11 feet in width to serve one of two dwellings on the same property.

STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

The irregular shaped property is improved with two (2) existing dwellings. The owner is proposing to subdivide the property creating a fee simple lot for each of the dwellings. Given the exiting conditions and driveway access location the most logical location for the panhandle is along the existing driveway between one of the dwellings and the property line. Currently there is only 22.5 feet between the existing dwelling and the existing property line. By splitting the 22.5 foot right side yard there is only 11 feet for the panhandle to extend back to the second dwelling. Although the Planning Director does have the ability to allow subdivisions on land improved with more than one dwelling without road frontage, we thought it best to provide a lesser amount of frontage then none at all.

(Attach additional sheets if necessary)

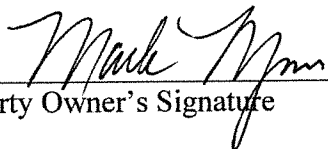
In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.

Applicant's Signature

Date





Property Owner's Signature

3/14/24

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE STANDARDS OF THE SUBDIVISION ORDINANCE

1. Modification request applications shall be filed with the Washington County Planning Department, Washington County Administrative Annex, 80 West Baltimore Street, Hagerstown, Maryland 21740, Phone: 240-313-2430, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed off of the Planning Department website at www.washco-md.net/planning/plan_s.htm. A Filing fee of \$115.00 dollars is required and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.
2. The Planning Commission meets on a monthly basis (schedule attached) in Conference Room 1A of the County Administrative Annex, 80 West Baltimore Street, Hagerstown. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.
3. Upon receipt of the modification application, the Planning Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.
4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):
 - (a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.
 - (b) The hardship is not the result of the applicant's own actions – that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.
 - (c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.
 - (d) That the modification is to correct inequities resulting from a physical hardship such as topography.
 - (e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.
5. The Planning Director shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:
 - (a) Where it is impractical to dedicate the full right-of-way required by the Washington County Engineering – Land Development or State Highway Administration are satisfied with the acquired right-of-way.
 - (b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.
 - (c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification

from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Engineering – Land Development and/or State Highway; and have no negative impact on neighboring properties.

(d) Panhandle Length – up to 50% from current maximum length of 400 feet based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.

(e) Public Road Frontage – Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by the County Engineering – Land Development and/or State Highway Administration. There is no negative impact on neighboring properties.

(f) The Planning Director shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.

6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.

7. Appeal by any person aggrieved from any action of the Planning Commission or the Planning Director shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 – Subdivision Ordinance). The BZA is located within the Department of Permits and Inspections, 80 West Baltimore Street, Hagerstown, Maryland 21740 Phone: 240-313-2460 www.washco-md.net/permits/zoning.shtm

**ORDINANCE MODIFICATION STAFF REPORT****BASE INFORMATION**

SITE NAME.....: Mark D Myers
NUMBER.....: OM-24-001

OWNER.....: MYERS MARK D
LOCATION.....: 14710 NATIONAL Pike
CLEAR SPRING, MD 21722

DESCRIPTION.....: Allow an 11 foot wide panhandle (versus 25 ft) to serve as useable road frontage for a subdivision of an existing parcel with two existing Single Family Detached Dwellings on the property. The proposed subdivision will create a lot around each of the dwellings thus correcting a zoning infraction.

ZONING.....: Agricultural, Rural
COMP PLAN LU.....: Agriculture
PARCEL.....: 23000431
PLANNING SECTOR.....: 5
ELECTION DISTRICT.....: 23

TYPE.....:
GROSS ACRES.....: 4.43
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: March 14, 2024

SITE ENGINEERING*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

Staff Comments:	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT <i>Not Applicable</i>	Clear Spring	Clear Spring	Clear Spring
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: Clear Spring
AMBULANCE DISTRICT.....: Clear Spring



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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WATER & SEWER INFORMATION

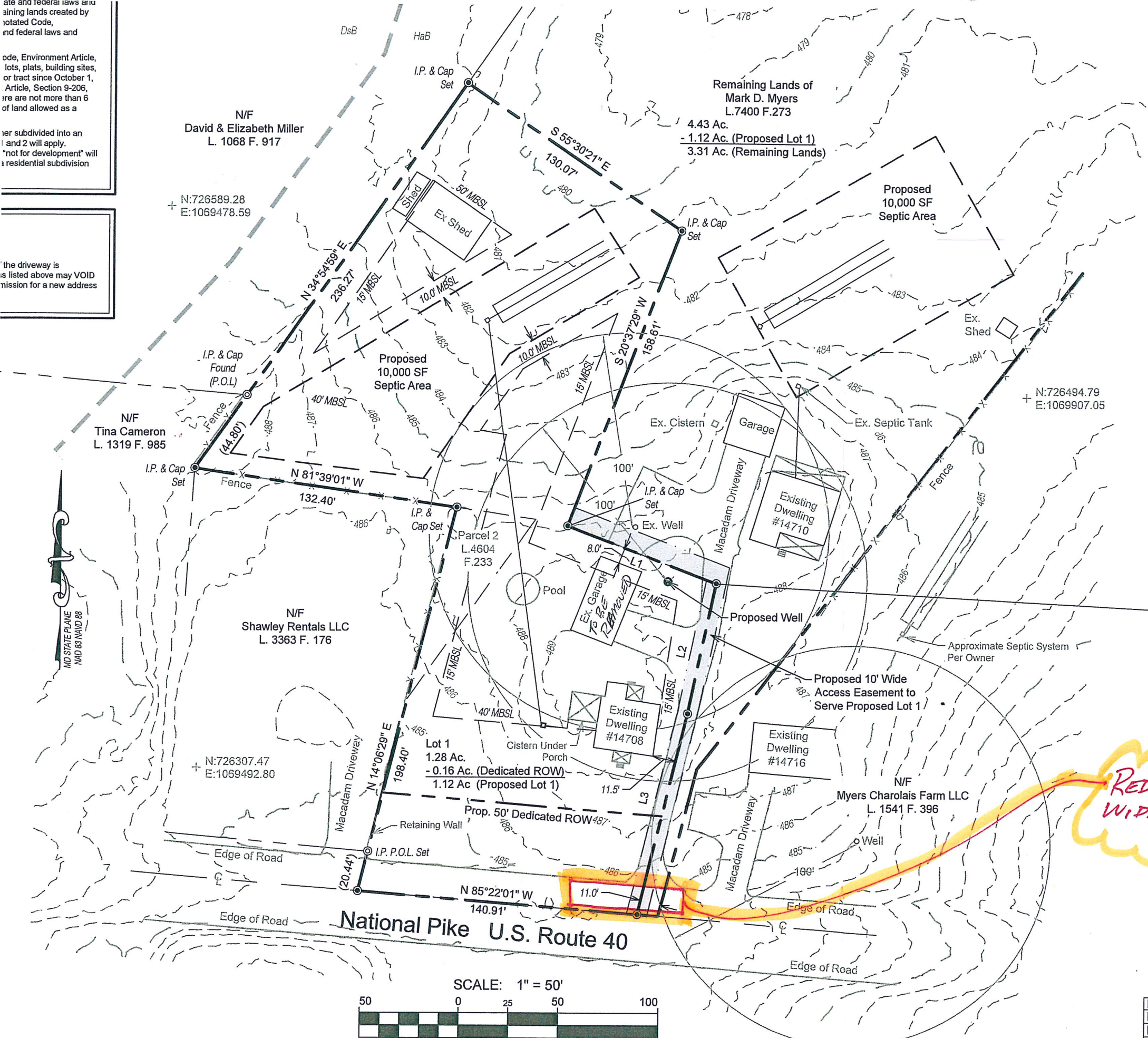
	WATER	SEWER
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

ate and federal laws and
aining lands created by
otated Code,
nd federal laws and

ode, Environment Article,
lots, plats, building sites,
or tract since October 1,
Article, Section 9-206,
re are not more than 6
of land allowed as a

er subdivided into an
and 2 will apply.
"not for development" will
a residential subdivision

the driveway is
s listed above may VOID
mission for a new address



I hereby certify that the plan shown hereon is correct; that it is a subdivision or part of the lands conveyed by C. Moats, Personal Representative of the Estate of Mary Virginia Huff, to Mark D. Myers, by deed dated February 2024, and recorded in the Land Records of Washington County, Maryland in Liber No. 7400, folio 273; and the marked \square and/or bars marked O have been placed as indicated.

I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the Laws of the State of Maryland, License No. LS-10731 Expiration 1/16/2026.

Date _____ Professional Land Surveyor _____

- General Notes**
- 10,000 square feet is hereby reserved for sewage disposal. No permanent physical objects are permitted in area.
 - There is a 10 ft. wide drainage and utilities easement along all front lot lines and an 8 ft. wide drainage and easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.
 - Bearings, distances and coordinates are based on MD Grid NAD83.
 - Soil types are as shown hereon.
 - Minimum Building Setbacks: front yard- 40'; side yard- 15'; rear yard- 50'. Minimum Building Setback Lines based on the current Washington County Zoning Ordinance. Accessory structures may be constructed in accordance with Section 4.10 and Section 23.5 (b). Accessory Structures are not permitted without the plan of the principal permitted structure. Zoned A(R).
 - Total upstream watershed affecting this subdivision: is less than 400 Acres.
 - This parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel 24013C0111D dated August 15, 2017, Flood Zone X.
 - Contours based on Washington County Aerial Topography and boundary is based on a field survey performed by FSA, Inc on 01-23-2024 under the supervision of Frederick M. Frederick.
 - There are no floodplains, streams, steep slopes, and other related buffers, or habitat of threatened or endangered species as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (C&D) of the Washington County Zoning Ordinance. This subdivision is not within 1000' of Appalachian Trail.
 - This subdivision is not within the Edgemont Reservoir Watershed, Smithsburg Reservoir Watershed, however within the Conococheague Watershed #02142504.
 - No other wells or septic systems lie within 100 feet of the Lot Lines except as shown hereon.
 - All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.
 - No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any drainage easement, either shown or described, on the Final Plat of Subdivision.
 - This plat has been reviewed and approved per the A(R) Zoning District. Any development/construction shall be in accordance with the Washington County Zoning Ordinance currently being enforced.
 - This plat was prepared without the benefit of a title report and therefore may not indicate all encumbrances on property.
 - Any development must comply with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
 - The proposed well location shown hereon is for general purposes only and are not to be construed as the approved location for a proposed well. The proposed well location must be at least 100 feet away from any septic area or reserve septic area on any lot, at least 10 feet away from any property line, 30 feet away from the foundation, and 15 feet away from any road or right-of-way. Furthermore, the proposed well should also be a minimum of 100 feet away from any stormwater management facility or dry well (if required) as part of the building permit for the proposed house.
 - An additional right of way 50 feet in width as measured from the centerline of National Pike is hereby dedicated for the purpose of future road widening.

Certificate of Approval
FINAL APPROVAL GRANTED

Date: _____

By: _____
Washington County Planning Commission
Final Approval good for one hundred eighty (180) days from above date

PLAT NO _____
DATE _____
WASHINGTON COUNTY

Soil Table		
Soil	Area (Ac.)	%
HaB	1.28	100

LINE	BEARING	DISTANCE
L1	S 68°50'26" E	79.80'
L2	S 11°48'47" W	66.86'
L3	S 13°33'48" W	103.29'



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Proposed Fuel Station & Convenience Store
NUMBER.....: SP-23-024

OWNER.....: HAGERSTOWN PENNSYLVANIA LLC
LOCATION.....: 13610 PENNSYLVANIA Avenue
HAGERSTOWN, MD 21742

DESCRIPTION.....: Approx. 5,915 SF convenience store and 8 unit fuel canopy, pavement, utilities, stormwater management and other associated improvements.

ZONING.....: Business, General
COMP PLAN LU.....: Commercial
PARCEL.....: 27011136
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 27

TYPE.....: Commercial
GROSS ACRES.....: 3.457
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Scott A Stotelmyer
ENGINEER.....: BOHLER ENGINEERING P C
RECEIVED.....: August 3, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Maugansville	Western Heights	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	MAUGANSVILLE
AMBULANCE DISTRICT.....:	MAUGANSVILLE

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County Line - City Treatment
SERVICE AREA.....:	City	County Line - City Treatment
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

SP-23-024 fuel station and convenience store

- Presented is a site plan for a Wawa fuel station and convenience store located at 13610 Pennsylvania Ave., Hagerstown
- Access to the property is provided from Pennsylvania Avenue
- Water to be provided by the City of Hagerstown, and sewer by Washington County.
- Hours of operation will be 24 hours, 7 days a week
- Proposed lighting is pole mounted and building mounted
- Proposed signage is monument and building mounted signs
- There are 30 parking spaces required, and 55 are being provided
- The consultant and developer are seeking a conditional approval from the PC. Currently, City Water and Water Quality are working out water allocations, but both approved this project to be on this agenda
- Keith Koscher from Bohler is here to answer any questions you may have

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "SURVEY - REFER TO COVER SHEET.
- "GEOTECHNICAL REPORT - REFER TO COVER SHEET.
- "STORMWATER MANAGEMENT REPORT - REFER TO COVER SHEET.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKIA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLATIFICATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO RESTORE ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RECEIPT OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTORS' PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE LATEST EDITION OF THE SWPPP. IF THE SWPPP IS NOT CURRENT (THE SWPPP, IF THE SWPPP REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES, CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES:

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

VALLEY LAND SERVICES, LLC
ENTITLED "V2203610 FINAL 2023-04-11.pdf"
FILE NO: V2203610
DATED: NOVEMBER 21, 2022

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FORTO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON JOB FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.

ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%)
- LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. THE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REQUIREMENTS MUST BE ADHERED TO, A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, SHALL BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND 'LEVEL' LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 (2.0%) IN ANY DIRECTION 2.0% FOR POSITIVE DRAINAGE.

- DOORWAYS - MUST HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCED INCORPORATED BY CODE.)

- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.

- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY NOTES:

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SPACE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN IDENTIFIED AND TERMINATED WITHIN THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXIST BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE CITY OF HAGERSTOWN WATER DIVISION. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE CITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT THE AREAS WITHIN THE PROPOSED AREAS FOR EXCAVATION AND/OR TRENCHING TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER SUBSTANCES. SHOULD A SUBBASE BE REQUIRED, THE SUBBASE SHALL BE OWNED/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND TRENCHING, MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND UTILITY STRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE SITE PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, DITCHES, DRAINAGE CURBS, AND ALL CONCRETE SURFACES, AND 1% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. REFER TO SITE PLAN FOR ADDITIONAL NOTES.

20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL, LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

23. STORM DRAINAGE PIPE:

UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SIGHT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHTO M24 and TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SIGHT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

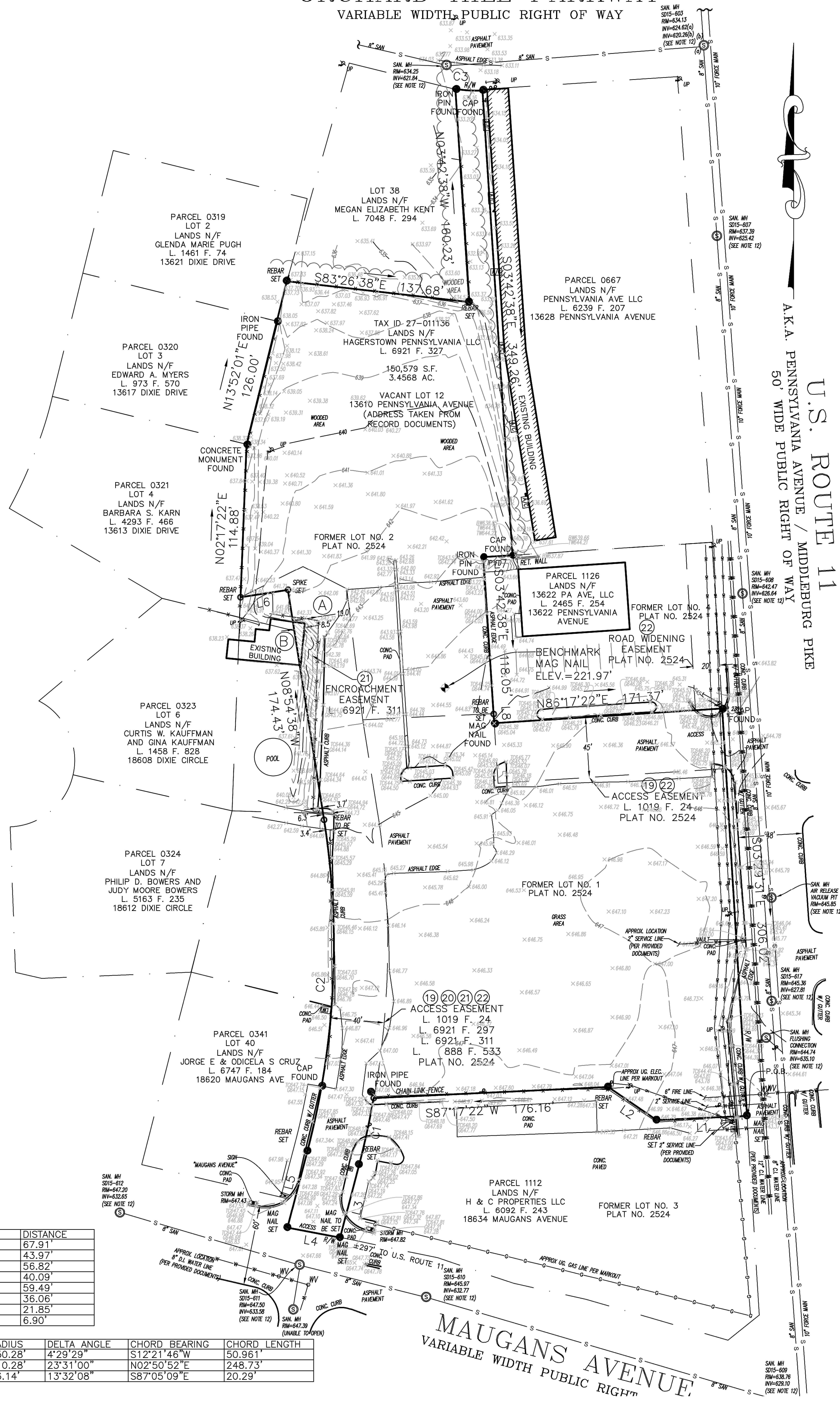
27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

ORCHARD HILL PARKWAY
VARIABLE WIDTH PUBLIC RIGHT OF WAY



LINE	BEARING	DISTANCE
L1	S87°17'22\"W	67.91'
L2	N55°38'45\"W	43.97'
L3	S14°36'02\"W	56.82'
L4	N79°12'55\"W	40.09'
L5	N14°36'22\"E	59.49'
L6	S81°05'22\"W	36.06'
L7	S86°17'22\"W	21.85'
L8	S03°42'38\"E	6.90'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.92'	650.28'	4°29'29\"	S12°21'46\"W	50.961'
C2	250.48'	610.28'	23°31'00\"	N02°50'52\"E	248.73'
C3	20.34'	86.14'	13°32'08\"	S87°05'09\"E	20.29'

TITLE INFORMATION

CHICAGO TITLE INSURANCE COMPANY
FILE NO. PROFORMA 202201701MD
EFFECTIVE DATE MARCH 31, 2023

LEGAL DESCRIPTION

Being situate along the West side of U. S. Route 11 (Pennsylvania Avenue) approximately 150 feet north of Maugans Avenue in Election District 27, Washington County, Maryland and combining Lots 1 and 2 as shown on Plat 2524, recorded among the Land Records of Washington County, Maryland into a single parcel, this said parcel is more particularly described in accordance with a Survey by Keller Engineers, Inc., as follows:

Beginning at an iron pin set in the West marginal line of U. S. Route 11, said pin being at the end of the first line or North 3 degrees 48 minutes West 149.93 feet, of a Deed from Martin Co. to Michael S. Guerrieri, Trustee recorded in Land Records of Washington County in Liber 831, folio 970, this same point being as shown on Washington County Right of Way Plat to be recorded as Plat No. 100-10-483, with this point offset 36.02 feet to the left of the centerline of Pennsylvania Avenue, at station 76 + 41, thence along said lands of Guerrieri,

- South 87 degrees 17 minutes 22 seconds West 67.91 feet; thence
- North 55 degrees 39 minutes 45 seconds West 43.97 feet to an iron pin; thence along said lands
- South 87 degrees 17 minutes 22 seconds West 176.16 feet to an iron pin; thence continuing along said lands of Guerrieri, with a curve to the right with an arc length of 50.92 feet, a radius of 650.28 feet and a chord bearing and distance of
- South 12 degrees 21 minutes 46 seconds West 50.961 feet to an iron pin; thence
- South 14 degrees 36 minutes 22 seconds West 56.82 feet to a mag nail set in the North marginal line of Maugans Avenue; thence along said marginal line of Maugans Avenue
- North 79 degrees 12 minutes 55 seconds West 40.09 feet to an iron pin; thence along lands now or formerly of the Washington County Board of Commissioners (L. 1619, F. 260)
- North 14 degrees 36 minutes 22 seconds East 59.49 feet to an iron pin; thence with said lands and lands now or formerly of Philip D. Bowers (L. 614, F. 766) with a curve to the left with an arc length of 250.48 feet, a radius of 610.28 feet and a chord bearing and distance of
- North 02 degrees 50 minutes 52 seconds East 248.73 feet to a nail; thence along lands now or formerly of Curtis W. Kaufman, et al. (L. 1458, F. 831)
- North 08 degrees 54 minutes 38 seconds West 174.43 feet to an iron pin; thence along lands now or formerly of Jeffrey L. Kam, et al. (L. 1627, F. 941)
- South 81 degrees 05 minutes 22 seconds West 36.06 feet to an iron pin; thence continuing along said lands
- North 02 degrees 17 minutes 22 seconds East 114.88 feet to a concrete monument; thence along the lands now or formerly of Edward A. Myers (L. 973, F. 570) and lands now or formerly of Glenda Marie Pugh (L. 1461, F. 74),
- North 13 degrees 52 minutes 01 seconds East 126.00 feet to an iron pin; thence along lands now or formerly of Carole L. Brown (L. 1553, F. 897)
- South 83 degrees 26 minutes 38 seconds East 137.68 feet to an iron pin; thence along said lands
- North 03 degrees 42 minutes 38 seconds West 160.23 feet to an iron pin in the South marginal line of Orchard Hill Parkway; thence along said marginal line with a non-tangential curve to the left with an arc length of 20.34 feet, a radius of 86.14 feet and a chord bearing and distance of
- South 87 degrees 05 minutes 09 seconds East 20.29 feet to an iron pin; thence along lands now or formerly of Robert E. Hagelberg (L. 591 F. 412)
- South 03 degrees 42 minutes 38 seconds East 349.26 feet to an iron pin set; thence along lands of now or formerly of 13622 Pennsylvania Avenue LLC (L. 2465, F. 254)
- South 86 degrees 17 minutes 22 seconds West 21.85 feet to an iron pin; thence along said lands,
- South 03 degrees 42 minutes 38 seconds East 118.05 feet to an iron pin; thence along said lands
- South 03 degrees 42 minutes 38 seconds East 6.95 feet to a mag nail set; thence continuing along said lands
- North 86 degrees 17 minutes 22 seconds East 171.37 feet to an iron pin in the western marginal line of U. S. Route 11; thence along said marginal line
- South 03 degrees 29 minutes 31 seconds East 306.02 feet to the place of beginning, containing 3.457 acres of land, more or less.

UTILITY NOTES

ONE CALL TICKET NUMBER 22805000 CALL DATE 11/02/22

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE;

COLUMBIA GAS	(301) 964-9117
WASHINGTON COUNTY WATER	(240) 313-2609
VERIZON	(301) 210-0355
POTOMAC EDISON/USIC	(800) 778-9140
HAGERSTOWN WATER/TRIPLE A LOC	(410) 582-7070

SIGNIFICANT OBSERVATIONS

- FENCE CROSSES PROPERTY LINE AND EASEMENT BY UP TO 19.0 FEET
- BUILDING CROSSES PROPERTY LINE AND EASEMENT BY UP TO 8.5 FEET

SURVEYOR'S CERTIFICATION

TO: Wawa, INC; Hagerstown Pennsylvania LLC; & Chicago Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 8, 9, 11a, & 13 of Table A thereto.

Date of field survey: November 28, 2022

Digitally signed by Jack W. Shoemaker
Date: July 7, 2023

Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610-365-2907
Fax 610-365-2958
Email: jshoemaker@firstorderllc.net
Project No. V220361D

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer, under the laws of the State of Maryland, License No. 21043, Expiration Date: 1/22/2024.

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DESIGNATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY FOR LANDS OR INTERESTS OF OTHERS OR FOR THE USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

SCHEDULE B EXCEPTIONS

- Conditions and Restrictions contained in Deed by and between Chester C. Arthur and Ruth C. Arthur, his wife and Clarence C. Startzman and Elsie A. Startzman, his wife dated October 8, 1932 and recorded among the Land Records of Washington County in Liber E.O. No. 192, folio 155 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Agreement by and between Menno A. Martin, et al and The Potomac Edison Company dated April 25, 1951 and recorded among the Land Records of Washington County in Liber J.G.W. No. 262, folio 555 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Agreement by and between Menno A. Martin, et al and The Potomac Edison Company dated April 25, 1951 and recorded among the Land Records of Washington County in Liber J.G.W. No. 262, folio 556 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Easements or right of ways contained in Deed and Grant or Easement or Right of Ways by and between Menno A. Martin, et al and the City of Hagerstown dated May 18, 1953 and recorded among the Land Records of Washington County in Liber J.G.W. No. 275, folio 401 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Right of Way Agreement by and between The Martin Company and The Potomac Edison Company dated June 2, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 298, folio 257 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated August 26, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 301, folio 449 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated October 31, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 304, folio 145 - NOT PLOTTED ON SURVEY, DOCUMENT IS PARTIALLY ILLEGIBLE.
- Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated November 2, 1955 and recorded among the Land Records of Washington County in Liber G.M.S. No. 304, folio 146 - NOT PLOTTED ON SURVEY, BLANKET IN NATURE.
- Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated May 15, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 312, folio 424 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Easements or rights of ways contained in Deed by and between Maurice S. Martin, et al and the Potomac Edison Company dated June 25, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 312, folio 99 - NOT PLOTTED ON SURVEY, PLAT REFERENCED IN DOCUMENT NOT PROVIDED.
- Right of Way Agreement by and between Maurice S. Martin, et al and The Potomac Edison Company dated June 22, 1956 and recorded among the Land Records of Washington County in Liber G.M.S. No. 312, folio 424 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT, EXISTING POLES AND GUY WIRES ALONG MAUGANS AVENUE ARE NOT ON, OR DO NOT TOUCH, SUBJECT PROPERTY.
- Right of Way or Easement contained in Deed of Easement by and between The Martin Company, et al and Robert L. Gallimore and Sarah L. Gallimore, his wife dated January 11, 1960 and recorded among the Land Records of Washington County in Liber G.M.S. No. 354, folio 261 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Right of Way Agreement by and between The Martin Co., et al and The Potomac Edison Company dated August 1, 1961 and recorded among the Land Records of Washington County in Liber G.M.S. No. 370, folio 693 - NOT PLOTTED ON SURVEY, LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT.
- Easements contained in Deed and Release by and between Menno A. Martin, et al and the County Commissioners of Washington County dated May 12, 1969 and recorded among the Land Records of Washington County in Liber J.G.S. No. 488, folio 310 - NOT PLOTTED ON SURVEY, REFLECTS CURRENT BOUNDARY CONFIGURATION.
- Right of Way contained in Deed by and between Rutledge Associates and TCR Limited Partnership dated December 13, 1991 and recorded among the Land Records of Washington County in Liber D.J.W. No. 1019, folio 24; and shown on Survey - PLOTTED ON SURVEY.
- Easement Agreement by and between Hagerstown Investments, LLC, a Florida limited liability company and Philip D. Bowers and Judy Moore Bowers dated September 29, 2021 and recorded among the Land Records of Washington County in Liber K.R.T. No. 6921, folio 297; and shown on Survey - PLOTTED ON SURVEY.
- Easement Agreement by and between Hagerstown Investments, LLC, a Florida limited liability company and Curtis W. Kauffman and Gina Kauffman dated September 29, 2021 and recorded among the Land Records of Washington County in Liber K.R.T. No. 6921, folio 311; and shown on Survey - PLOTTED ON SURVEY.
- Terms, conditions, easements, notes, restrictions, setbacks and/or other matters set forth on the Plat recorded among the Land Records of Washington County as Plat No. 2524; and shown on Survey - PLOTTED ON SURVEY.

UTILITY NOTES

ONE CALL TICKET NUMBER 22805000 CALL DATE 11/02/22

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Date of field survey: November 28, 2022

Digitally signed by Jack W. Shoemaker
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Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610-365-2907
Fax 610-365-2958
Email: jshoemaker@firstorderllc.net
Project No. V220361D

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VICINITY MAP NOT TO SCALE



SITE DATA

- PROPERTY IS KNOWN AS ACCOUNT NUMBER 01136 IN THE 27TH ELECTION DISTRICT OF HAGERSTOWN, WASHINGTON COUNTY, MARYLAND.
- LOT AREA = 150,579 S.F. OR 3.5487 AC.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- VERTICAL DATUM = NAVD 88 . BENCHMARK - MAG NAIL ELEV.=221.97
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT: THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = NOVEMBER 21, 2022.
- THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH A RAISED IMPRESSION SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- COPYRIGHT ©2022, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION SEAL ARE NOT VALID.
- INVERT INFORMATION PROVIDED BY WASHINGTON COUNTY SANITARY DISTRICT, WASHINGTON COUNTY, MARYLAND. INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY HAS ACCESS VIA MAUGANS AVENUE AND U.S. ROUTE 11.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS LIBER 3430 FOLIO 302.
- IN RESPONSE TO ALTA/NSPS TABLE A ITEM 11a, THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND PLANS AND/OR REPORTS PROVIDED BY THE CLIENT.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 240070, MAP NUMBERS 34043C01280 AND 24043C01360 WHICH BEAR AN EFFECTIVE DATE OF AUGUST 15, 2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE, AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.(NAVD88)

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

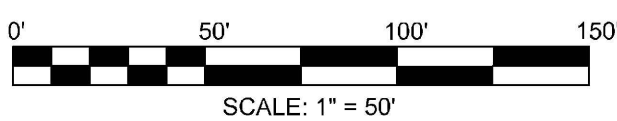
VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
Phone (610) 365-2907 Fax (610) 365-2958
NJ Certificate of Authorization: 246A28339300

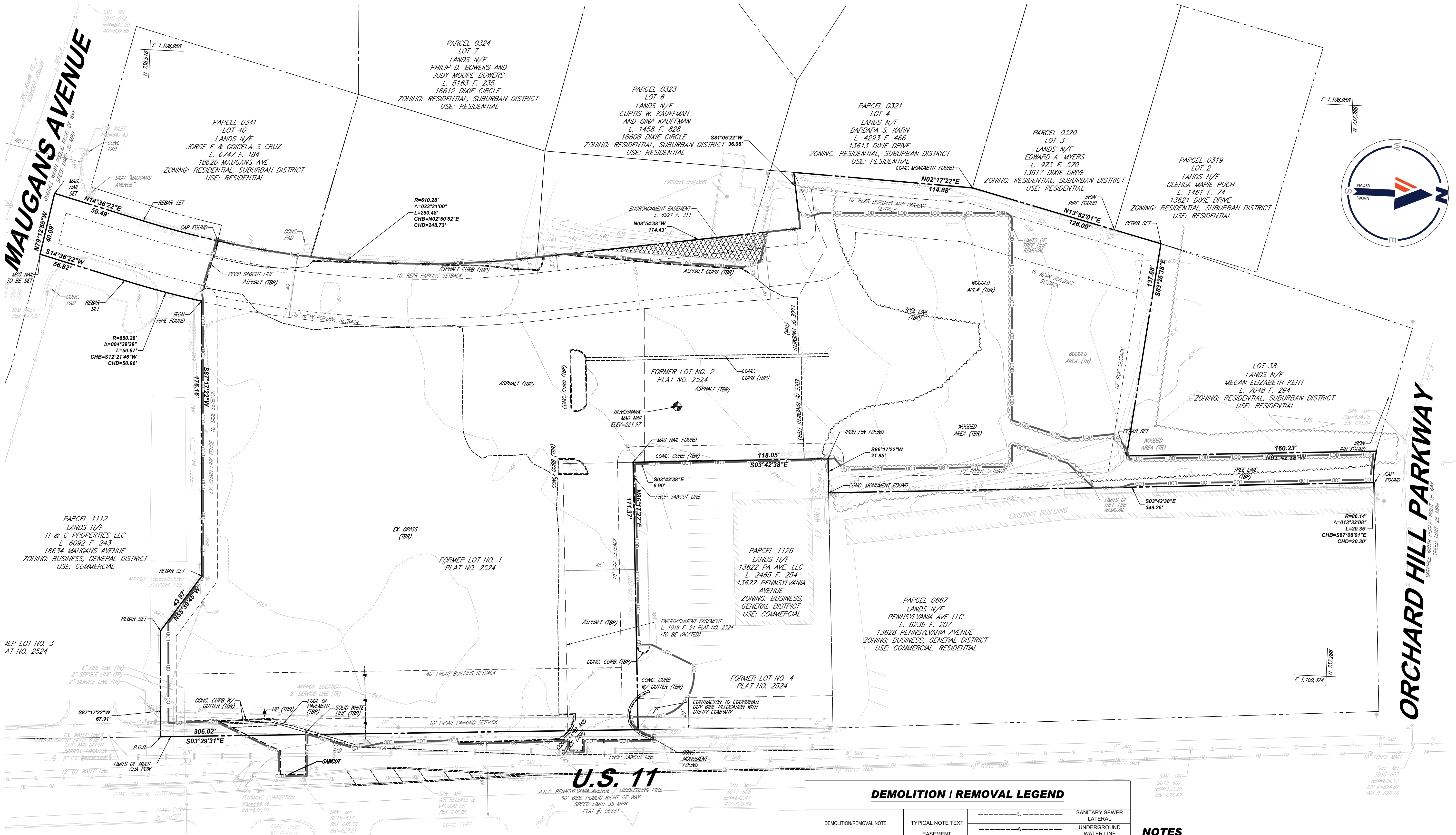
SITE ADDRESS: 13610 PENNSYLVANIA AVENUE
CITY OF HAGERSTOWN
WASHINGTON COUNTY, MARYLAND.
CLIENT: HAGERSTOWN PENNSYLVANIA, LLC

JOB NO: V220361D DRAWN BY: INDO APPROVED BY: JWS

DATE: NOVEMBER 28, 2022.

NO.	DATE	DESCRIPTION
1	02-07-23	ADDED WATER LINES
2	02-13-23	ADDED SANITARY LINES PER COUNTY DOCUMENTS
3	04-04-23	UPDATED ALTA TO REFLECT LEASEHOLD TITLE
4	04-11-23	UPDATED CERT NAMES





DEMOLITION REMOVAL LEGEND		
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT	
-----	EASEMENT LINE	-----S----- SANITARY SEWER
-----	CONCRETE CURB & GUTTER	-----W----- UNDERGROUND WATER LINE
-----	UTILITY POLE WITH LIGHT	-----E----- UNDERGROUND ELECTRIC LINE
-----	POLE LIGHT	-----G----- UNDERGROUND GAS LINE
-----	TRAFFIC LIGHT	-----OH----- OVERHEAD WIRE
-----	UTILITY POLE	-----T----- UNDERGROUND TELEPHONE LINE
-----	TYPICAL LIGHT	-----C----- UNDERGROUND CABLE LINE
-----	ACORN LIGHT	-----S----- STORM SEWER
-----	TYPICAL SIGN	-----S----- SANITARY SEWER MAIN
-----	PARKING COUNTS	-----H----- HYDRANT
-----	SPOT ELEVATIONS	-----S----- SANITARY MANHOLE
-----	SANITARY LABEL	-----S----- STORM MANHOLE
-----	STORM LABEL	-----S----- WATER METER
-----		-----S----- WATER VALVE
-----		-----S----- GAS VALVE
-----		-----S----- GAS METER

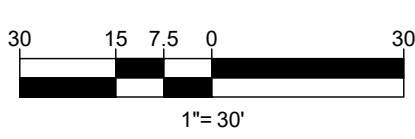
NOTES

1. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO THE EXCAVATION AND DEMOLITION OF EXISTING UTILITY LINES.

LEGEND

----- PROP SAWCUT

----- LIMIT OF WORK



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1	11/6/2023	COUNTY COMMENTS	DT	DT
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PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: DEMO-0

SITE PLAN SET
SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

STATE OF MARYLAND
KEITH A. KOSCHER
REGISTERED PROFESSIONAL ENGINEER
NO. 5197

SHEET TITLE SP-23-024
EXISTING CONDITIONS AND DEMOLITION PLAN
SHEET NUMBER:
C-202
REVISION 2 - 3/1/2024

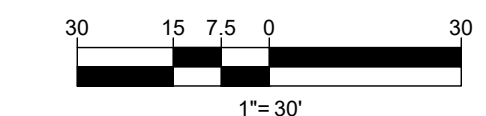
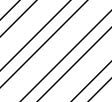
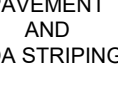


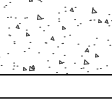



Diagram illustrating the components of a road cross-section:

- PROP SAWCUT
- LIMIT OF DISTURBANCE (LOD)
- CURB AND GUTTER
- SPILL
- TRANSITION

	PAVEMENT AND ADA STRIPING		PROP BUILDING (SEE ARCH. PLANS)
	STANDARD CONCRETE		STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY PAVEMENT		MILL AND OVERLAY

SIDEWALKS	= 4" (3500 PSI)
PARKING AROUND BUILDING	= 6" (4000 PSI)
CANOPY MAT	= 6" (4000 PSI)
LOADING ZONE AT REAR OF BUILDING	= 8" (4000 PSI)
TRASH MAT	= 8" (4000 PSI)
TANK MAT EXTENSION	= 8" (4000 PSI)
TANK MAT	= 8" (4000 PSI)

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I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE
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[illegible]

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SITE PLAN SET
SP-23-024

FOR

**HAGERSTOWN
PENNSYLVANIA,
LLC**

PROPOSED CONVENIENCE
CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

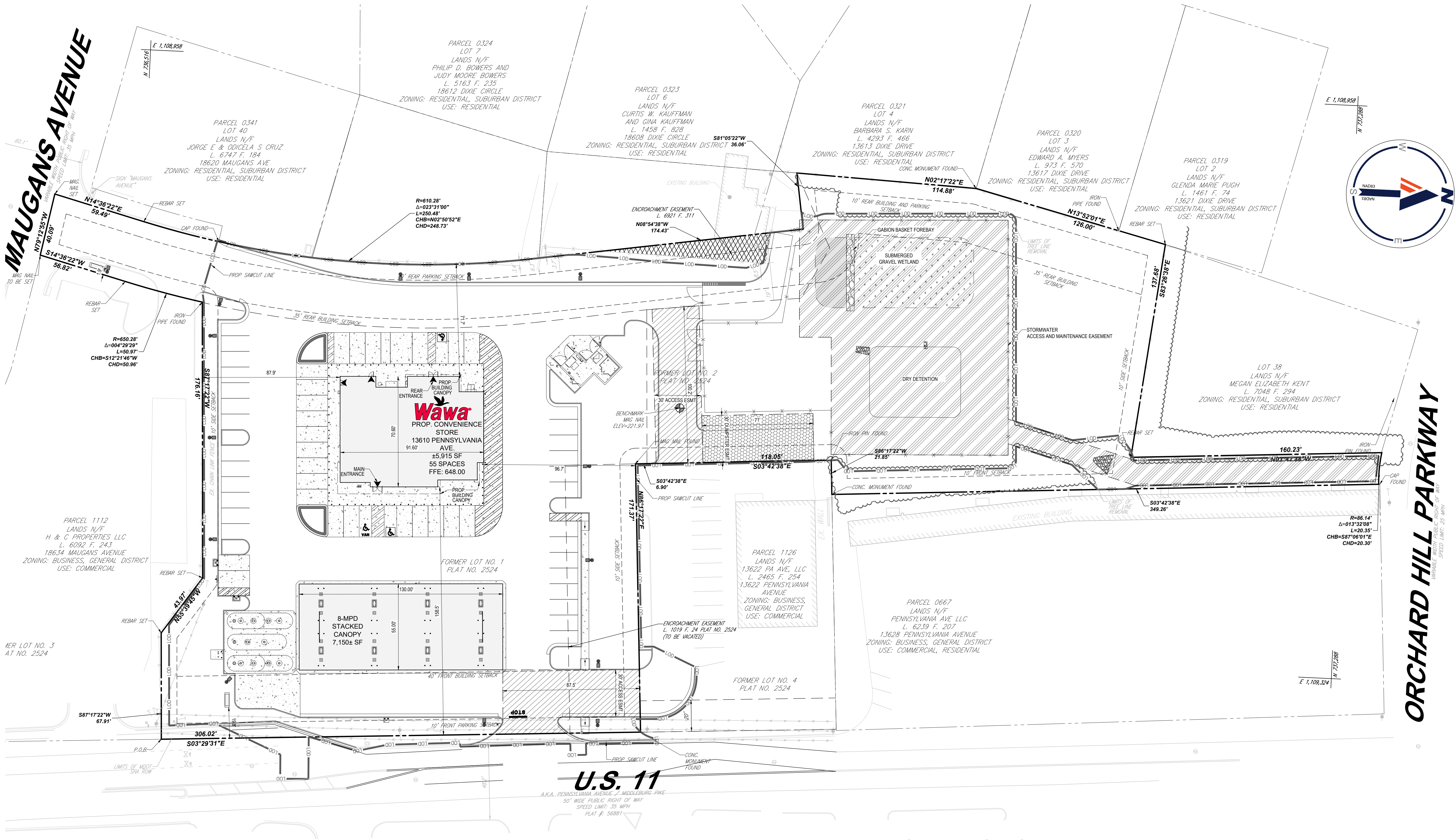
SHEET TITLE: SP-23-024

**SITE
PLAN**

SHEET NUMBER:

C-301

REVISION 2 - 3/1/2024



EASEMENT HATCH LEGEND

- EXISTING PRIVATE ACCESS/ENCROACHMENT EASEMENT
- PROPOSED PRIVATE ACCESS EASEMENT
- PROPOSED STORMWATER ACCESS AND MAINTENANCE EASEMENT
- PROPOSED DUMPSTER EASEMENT

NOTE

NO PERMANENT STRUCTURES (E.G., FENCES, SHEDS, PAVEMENT, ETC.) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51917, EXPIRATION DATE: 12/31/2025

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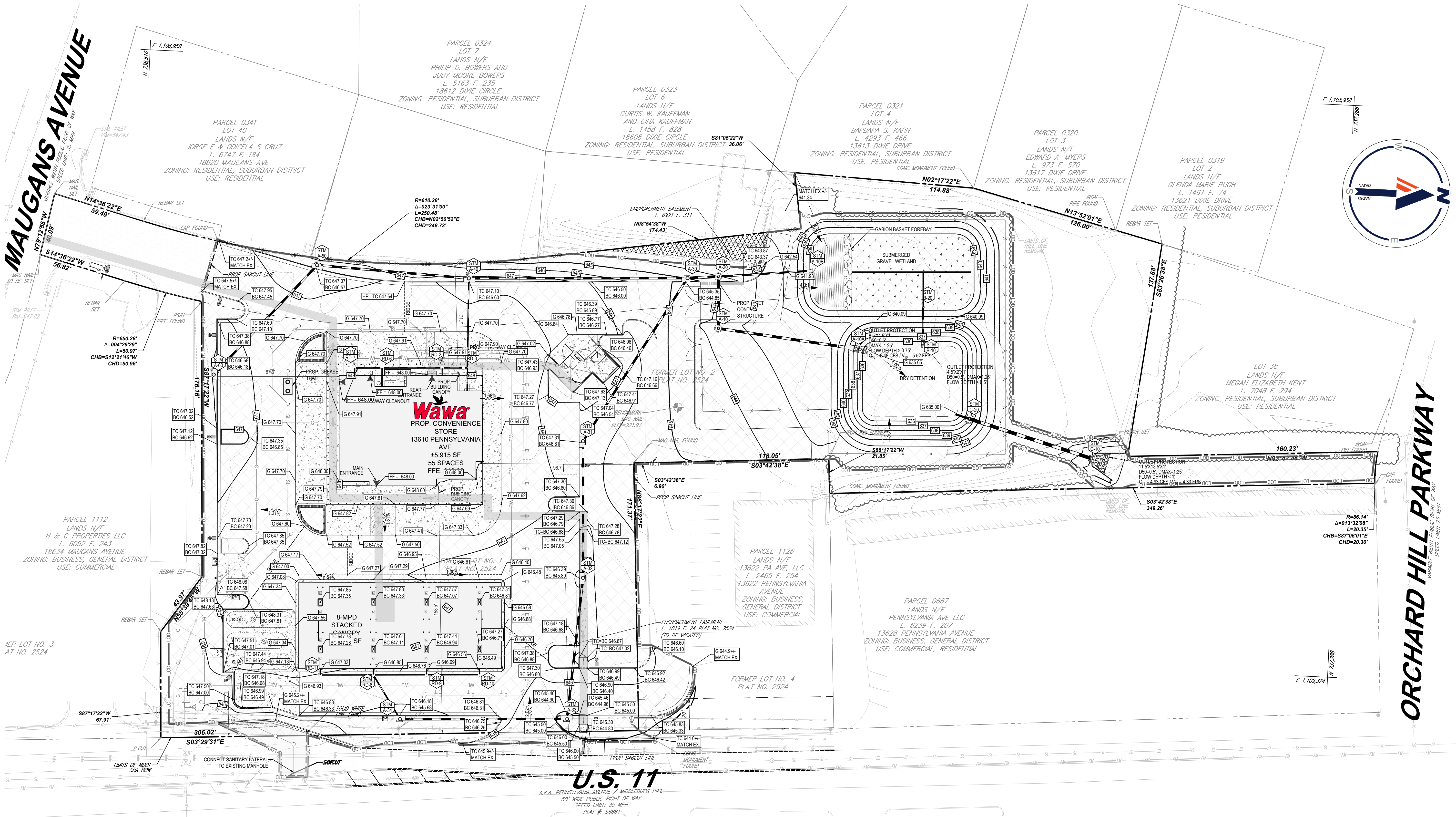
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DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SITE-0

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SP-23-024**
FOR
**HAGERSTOWN
PENNSYLVANIA,
LLC**
PROPOSED CONVENIENCE
CENTER & GAS STATION
13610 PENNSYLVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

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16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
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MD@BohlerEng.com

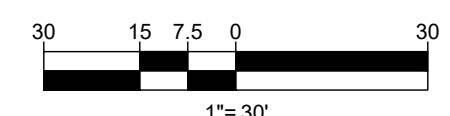


SHEET TITLE SP-23-024
**EASEMENT
PLAN**
SHEET NUMBER:
C-302
REVISION 2 - 3/1/2024



LEGEND

- ACCESSIBLE PATH
- ACCESSIBLE AREA
- PROP SAWCUT
- LIMIT OF DISTURBANCE
- CURB AND GUTTER
- SPILL
- TRANSITION



SPECIFIC GRADING PLAN NOTES

- ALL STORM DRAINS SHALL BE CONSTRUCTED TO PROVIDE WATER TIGHT CONNECTIONS.
- DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- VERTICAL DATUM USED FOR ELEVATIONS: NAVD88.
- SEE SHEET C-101 FOR ESTIMATED EARTHWORK QUANTITIES. QUANTITIES SHOWN NOT FOR BIDDING.

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CAD ID: GRAD-0

PROJECT:

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SP-23-024

FOR

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PENNSYLVANIA,

LLC

PROPOSED CONVENIENCE

CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE

HAGERSTOWN

WASHINGTON COUNTY, MD

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STATE OF MARYLAND

KEITH A. KOSCHER

PROFESSIONAL ENGINEER

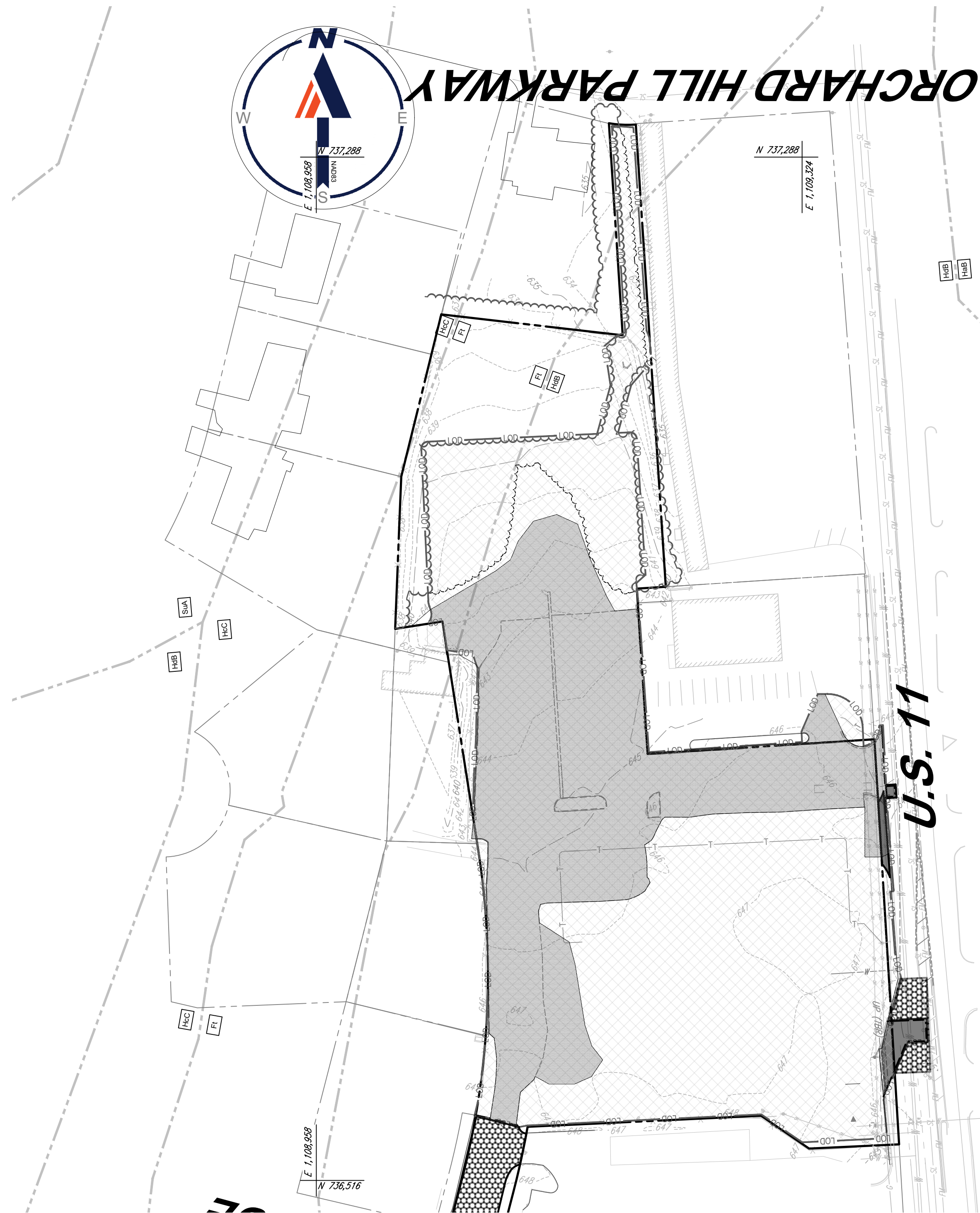
SHEET TITLE SP-23-024

GRADING PLAN

SHEET NUMBER:

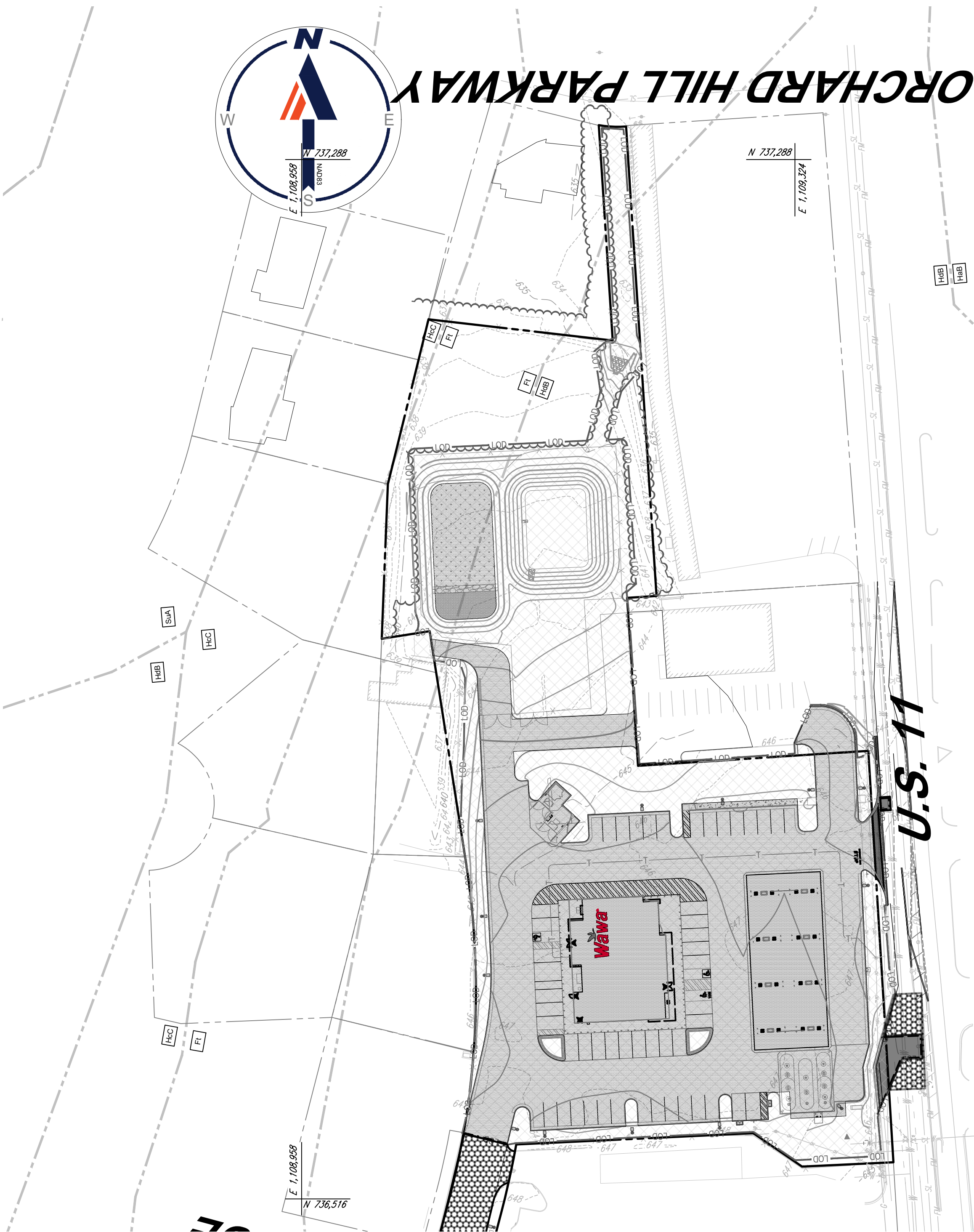
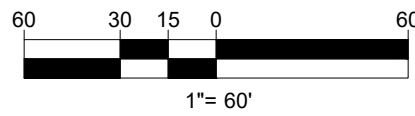
C-401

REVISION 2 - 3/1/2024



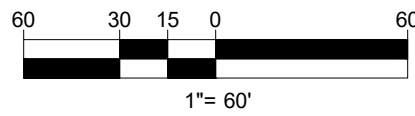
PRE-DEVELOPMENT COVERAGE MAP

SCALE: 1" = 60'
IMPERVIOUS AREA = 53,688 S.F. OR 1.23 AC.
PERVIOUS AREA = 74,494 S.F. OR 1.71 AC.
TOTAL = 128,182 S.F. OR 2.94 AC.



POST-DEVELOPMENT COVERAGE MAP

SCALE: 1" = 60'
IMPERVIOUS AREA = 77,523 S.F. OR 1.78 AC.
PERVIOUS AREA = 50,659 S.F. OR 1.16 AC.
TOTAL = 128,182 S.F. OR 2.94 AC.



SOIL TYPES				
SYMBOL	DESCRIPTION	HYDRIC SOIL	HYDROLOGIC SOIL GROUP	HIGHLY ERODIBLE
HdB	HAGERSTOWN - DUFFIELD - URBAN LAND COMPLEX, 0-8% SLOPES	NO	B	YES (K=0.37)
Ft	FUNKSTOWN SILT LOAM, 0-3% SLOPES	NO	C	YES (K=0.37)

OBTAINED FROM: USDA, NRCS, WEB SOIL SURVEY (WSS) AVAILABLE ONLINE AT
HTTP://WEBSOILSURVEY.NRCS.USDA.GOV

SOIL LEGEND

--- SOIL BOUNDARY

LEGEND

--- LIMIT OF DISTURBANCE

IMPERVIOUS AREA WITHIN THE
LIMIT OF DISTURBANCE

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LICENSE NO. 51917, EXPIRATION DATE: 12/12/2025

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PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SWMP-0

PROJECT:

**SITE PLAN SET
SP-23-024**

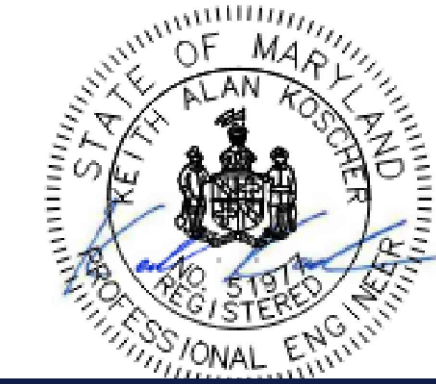
FOR

**HAGERSTOWN
PENNSYLVANIA,
LLC**

PROPOSED CONVENIENCE
CENTER & GAS STATION

13610 PENNSLYVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com



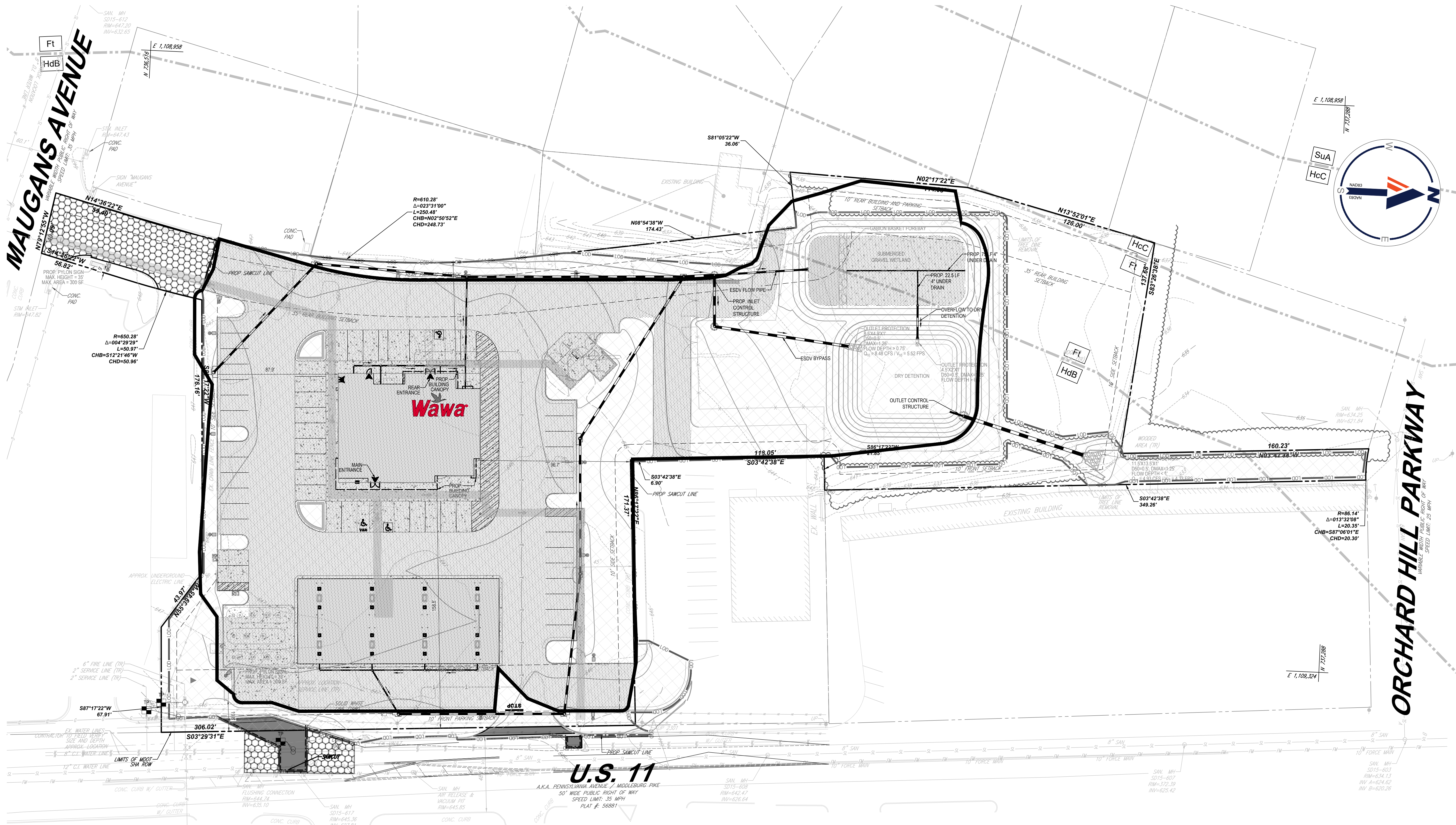
SHEET TITLE: SP-23-024

**COVERAGE
AREA
MAPS**

SHEET NUMBER:

C-402

REVISION 2 - 3/1/2024



ESD VOLUME SUMMARY

Drainage Area #	SWM Facility #	Drainage Area (Acres)	To Treatment	Target ESDv	Provided ESDv with Micro-Scale Practices	PE Provided (In.)
DA-1	SGW	2.510	100%	4267 cf	4271 cf	0.71
	Σ	2.51	100%	4267.0 cf	4271 cf	

Summary of Environmental Site Design	
Required Site Area ESD=	4,267 cf
Provided Site Area ESD=	4,271 cf
Provided Site Area WQv=	00 cf
TOTAL PROVIDED PE:	
PE = (12 X ESDv) / (RV X A) =	2.2 inches
TOTAL PROVIDED QE:	
QE = PE X RV =	2.13 inches

LEGEND

— DRAINAGE DIVIDE

IMPERVIOUS AREA

NOTES:

1. THE SUBMERGED GRAVEL WETLAND AND THE DRY RETENTION POND ARE EXEMPT FROM MD-375

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CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SWMP-0

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SP-23-024**

FOR

HAGERSTOWN
PENNSYLVANIA,
LLC

PROPOSED CONVENIENCE
CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

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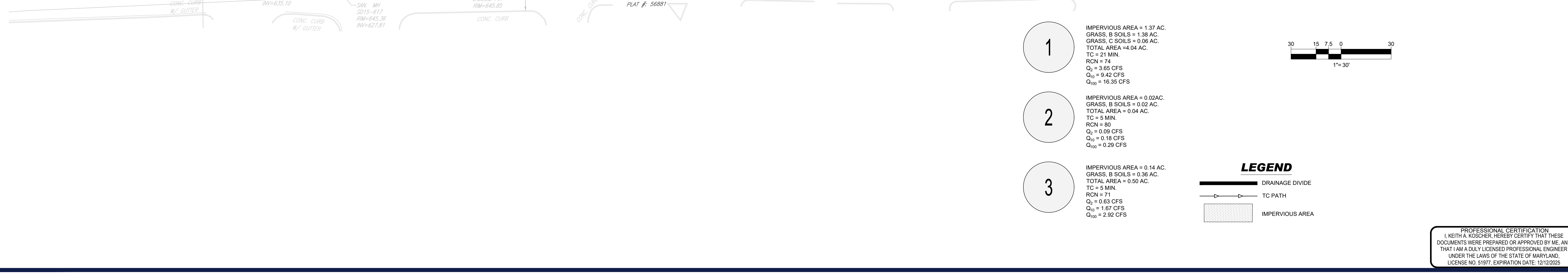
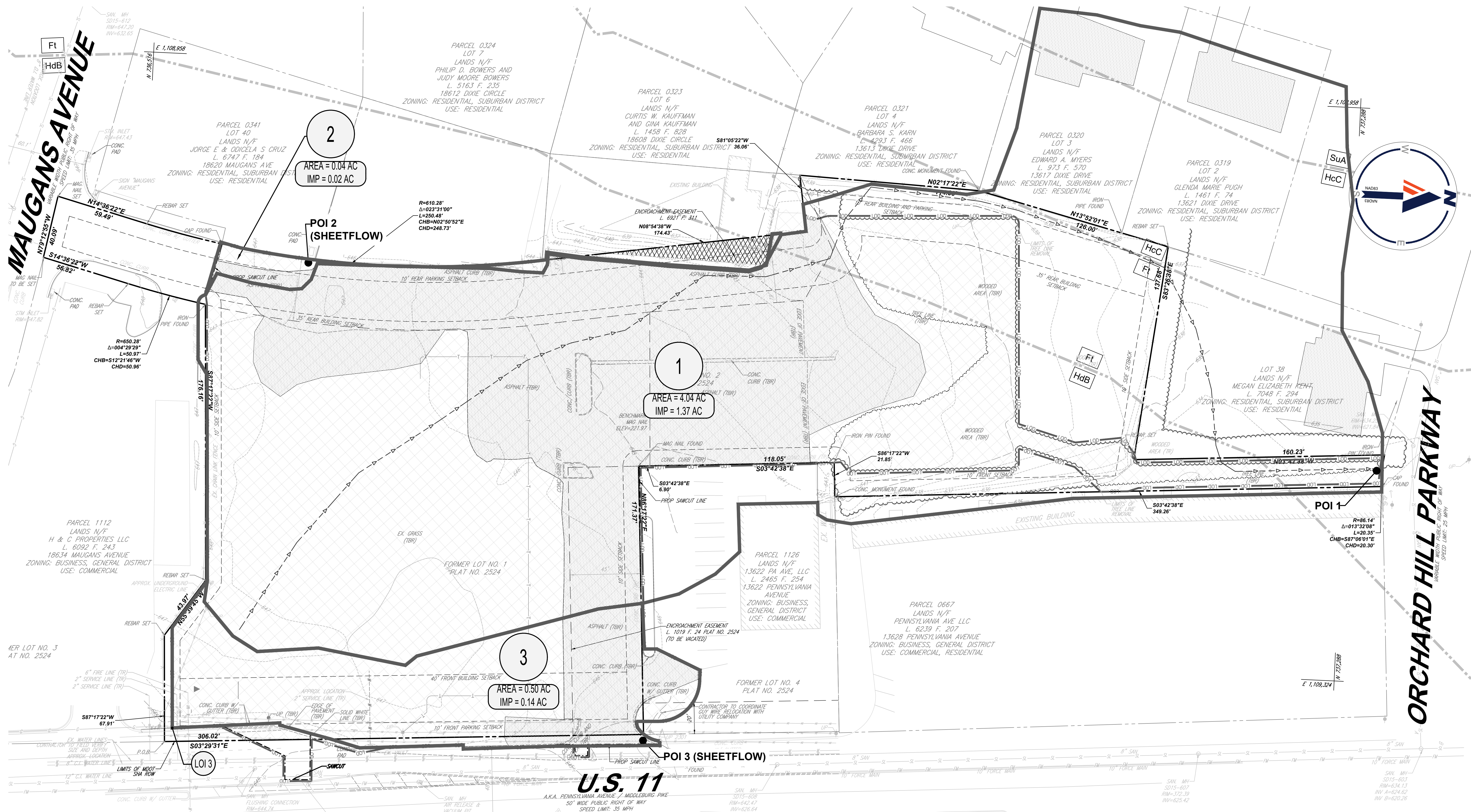
STATE OF MARYLAND
KEITH A. KOSCHER
REGISTERED PROFESSIONAL ENGINEER
NO. 51917

SHEET TITLE SP-23-024

**SWM
QUALITY
DRAINAGE
AREA MAPS**

SHEET NUMBER:
C-403

REVISION 2 - 3/1/2024



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CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SWMP-0

SITE PLAN SET SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION
13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

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STATE OF MARYLAND
KEITH A. KUCHNER
NO. 5191
REGISTERED PROFESSIONAL ENGINEER
MECHANICAL ENGINEERING

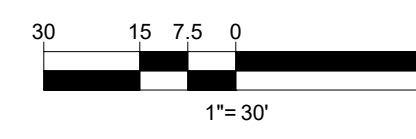
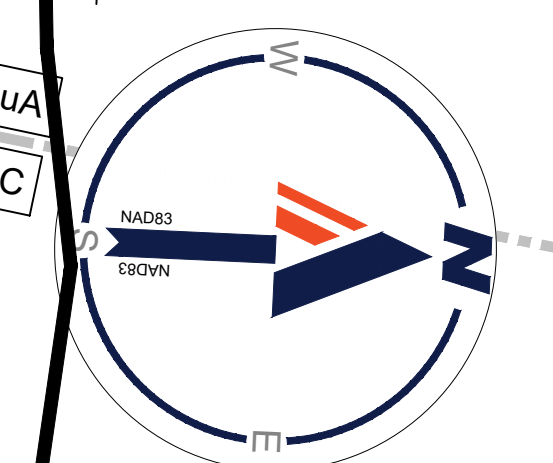
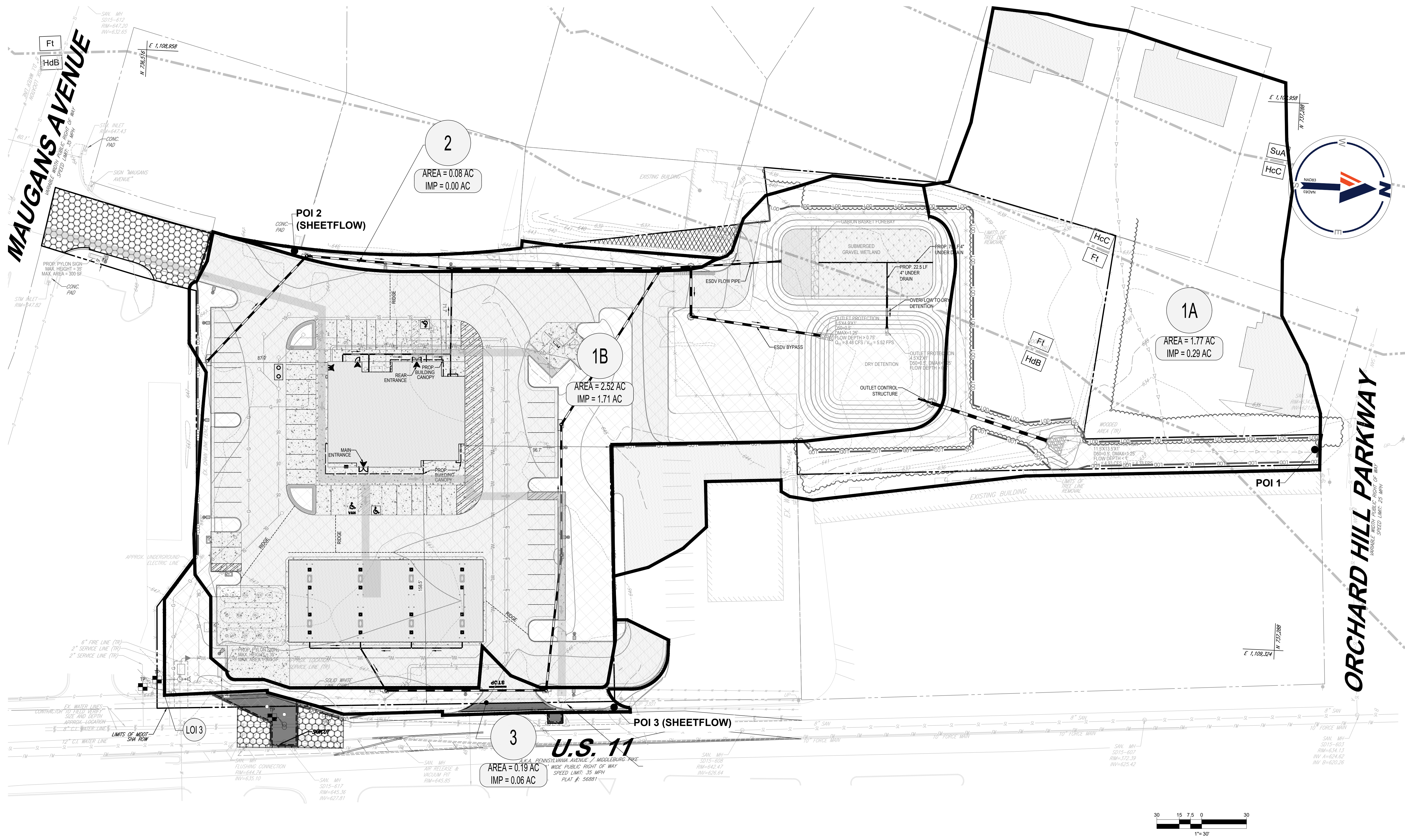
SHEET TITLE: SP-23-024

PRE-DEVELOPMENT SWM QUANTITY DRAINAGE AREA MAP

SHEET NUMBER: **C-404**

REVISION 2 - 3/1/2024

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1A

IMPERVIOUS AREA = 0.29 AC.
GRASS, B SOILS = 0.56 AC.
GRASS, C SOILS = 0.09 AC.
FOREST, B SOILS = 0.45 AC.
FOREST, C SOILS = 0.39 AC
TOTAL AREA = 1.77 AC.
TC = 8 MIN.
RCN = 68
Q₁₀ = 1.61 CFS
Q₂ = 4.86 CFS
Q₁₀₀ = 8.89 CFS

1B

IMPERVIOUS AREA = 1.72 AC.
GRASS, B SOILS = 0.68 AC.
GRASS, C SOILS = 0.12 AC.
TOTAL AREA = 2.52 AC.
TC = 5 MIN.
RCN = 73
Q₁₀ = 7.31 CFS
Q₂ = 13.86 CFS
Q₁₀₀ = 20.75 CFS

2

GRASS, B SOILS = 0.08 AC.
TOTAL AREA = 0.08 AC.
TC = 5 MIN.
RCN = 61
Q₁₀ = 0.04 CFS
Q₂ = 0.17 CFS
Q₁₀₀ = 0.34 CFS

3

IMPERVIOUS AREA = 0.06 AC.
GRASS, B SOILS = 0.13 AC.
TOTAL AREA = 0.19 AC.
TC = 5 MIN.
RCN = 73
Q₁₀ = 0.28 CFS
Q₂ = 0.68 CFS
Q₁₀₀ = 1.17 CFS

LEGEND

- DRAINAGE DIVIDE
- TC PATH
- IMPERVIOUS AREA

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PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SWMP-0

PROJECT:

**SITE PLAN SET
SP-23-024**

FOR

**HAGERSTOWN
PENNSYLVANIA,
LLC**

PROPOSED CONVENIENCE
CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

BOHLER

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Phone: (301) 809-4500
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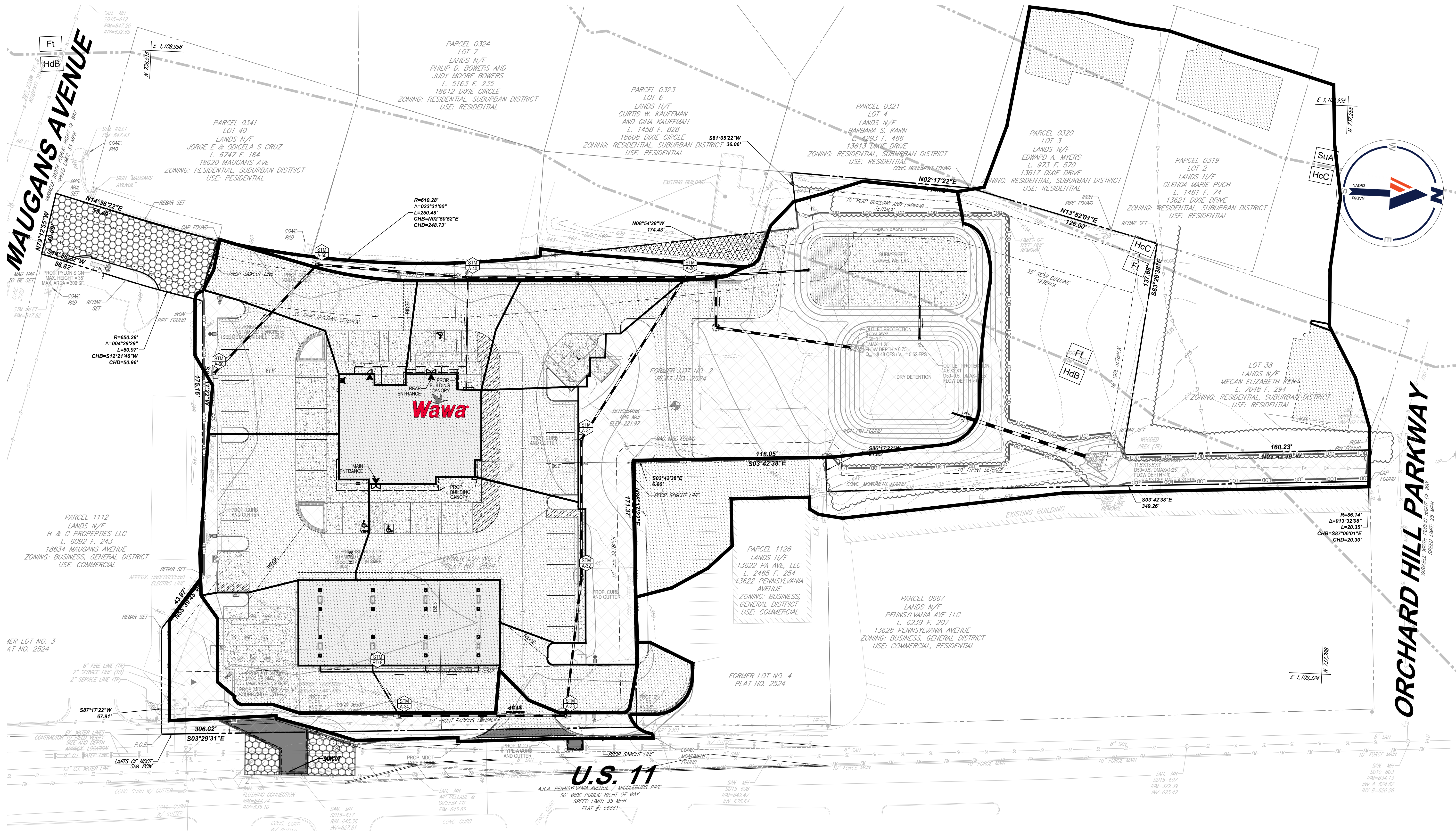


SHEET TITLE SP-23-024
**POST-DEVELOPMENT
SWM
QUANTITY
DRAINAGE
AREA MAP**

SHEET NUMBER:
C-405

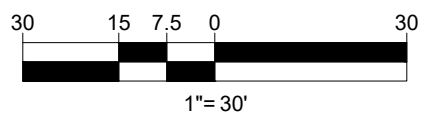
REVISION 2 - 3/1/2024

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UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 5193, EXPIRATION DATE: 12/31/2025



STORMDRAIN DRAINAGE AREAS				
AREA (STRUCTURE NAME)	COVERAGE	ACREAGE (AC)	C	Tc (MIN)
A-30	IMPERVIOUS	0.127	0.89	5 MIN
	PERVIOUS	0.002		
	TOTAL	0.129		
A-31	IMPERVIOUS	0.090	0.87	5 MIN
	PERVIOUS	0.005		
	TOTAL	0.095		
A-32	IMPERVIOUS	0.236	0.84	5 MIN
	PERVIOUS	0.015		
	TOTAL	0.251		
A-33	IMPERVIOUS	0.088	0.90	5 MIN
	PERVIOUS	0		
	TOTAL	0.088		
A-34	IMPERVIOUS	0.169	0.87	5 MIN
	PERVIOUS	0.010		
	TOTAL	0.179		

RD-8	IMPERVIOUS	0.000	0.90	5 MIN
	PERVIOUS	0.000		
	TOTAL	0.164		
A-40	IMPERVIOUS	0.083	0.90	5 MIN
	PERVIOUS	0.000		
	TOTAL	0.083		
A-50	IMPERVIOUS	0.141	0.90	5 MIN
	PERVIOUS	0.000		
	TOTAL	0.141		
A-60	IMPERVIOUS	0.312	0.78	5 MIN
	PERVIOUS	0.067		
	TOTAL	0.379		
RD-1	IMPERVIOUS	0.136	0.90	5 MIN
	PERVIOUS	0.000		
	TOTAL	0.136		



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CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SWMP-0

SITE PLAN SET
SP-23-024

FOR

HAGERSTOWN
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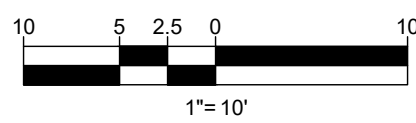
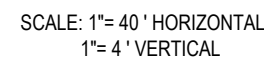
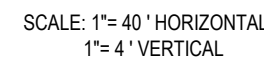
STATE OF MARYLAND
KEITH A. KOSCHER
REGISTERED PROFESSIONAL ENGINEER
NO. 51917
EXPIRATION DATE 12/31/2025

SHEET TITLE SP-23-024

STORM DRAIN
DRAINAGE
AREA MAP

SHEET NUMBER:
C-406

REVISION 2 - 3/1/2024



**STORMWATER MANAGEMENT MAINTENANCE SCHEDULE
(GRAVEL WETLAND FACILITY #1)**

NOTES

1. ALL STORM DRAINS SHALL BE CONSTRUCTED TO PROVIDE
WATER TIGHT CONNECTIONS

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CHECKED BY:	BMM / KAK
DATE:	07/28/2023
CAD I.D.:	

PROJECT

SITE PLAN SET
SP-23-024

- FOR -

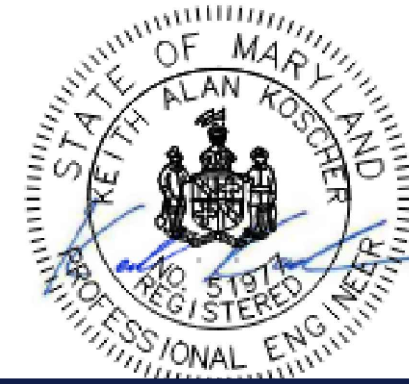
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SHEET TITLE:SP-23-024

STORMWATER MANAGEMENT NOTES AND DETAILS

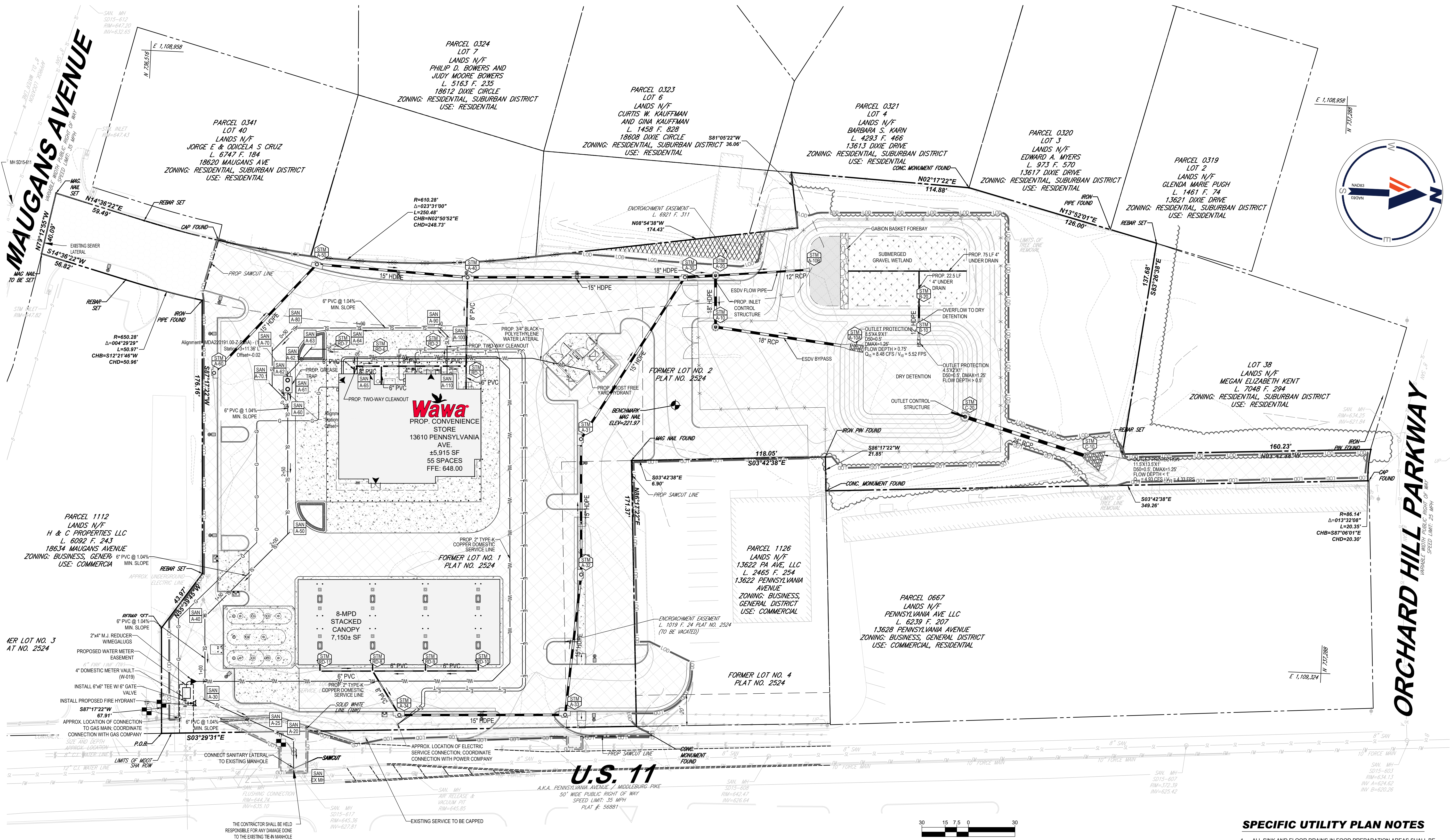
SHEET NUMBER

C-408

REVISION 2 - 3/1/2024



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SANITARY STRUCTURE SCHEDULE			
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-20	SAN. C/O	644.88'	INV IN = 636.95' (6") INV OUT = 636.95' (6")
A-25	CYLINDRICAL JUNCTION STRUCTURE NF	644.58'	INV IN = 637.08' (6") INV OUT = 637.08' (6")
A-30	SAN. C/O	646.05'	INV IN = 637.60' (6") INV OUT = 637.60' (6")
A-40	SAN. C/O	647.29'	INV IN = 638.15' (6") INV OUT = 638.15' (6")
A-50	SAN. C/O	647.45'	INV IN = 638.94' (6") INV OUT = 638.94' (6")
A-60	SAN. C/O	647.57'	INV IN = 640.09' (6") INV IN = 639.96' (6") INV OUT = 639.93' (6")
A-61	GREASE TRAP	640.74'	INV IN = 640.17' (6") INV OUT = 640.17' (6")
A-62	GREASE TRAP	647.58'	INV IN = 640.23' (6") INV OUT = 640.23' (6")

SANITARY STRUCTURE SCHEDULE			
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-62.1	SAN C/O	647.58'	INV IN = 640.27' (6") INV OUT = 640.27' (6")
A-63	SAN C/O	647.75'	INV IN = 640.50' (6") INV OUT = 640.50' (6")
A-64	SAN C/O	647.83'	INV IN = 640.81' (6") INV OUT = 640.81' (6")
A-65	SAN. C/O	648.00'	INV OUT = 640.98' (6")
A-70	SAN. C/O	647.38'	INV IN = 640.35' (6") INV OUT = 640.35' (6")
A-70.1	SAN C/O	647.32'	INV IN = 640.11' (6") INV OUT = 640.11' (6")
A-80	SAN. C/O	647.49'	INV IN = 640.57' (6") INV OUT = 640.57' (6")
A-90	SAN. C/O	647.66'	INV IN = 641.53' (6") INV OUT = 641.53' (6")

SANITARY STRUCTURE SCHEDULE			
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A-110	SAN. C/O	648.00'	INV OUT = 641.96' (6")

ALLOCATION INFORMATION			
EXISTING ALLOCATION UNITS - WATER (EDU):		8 UNITS	
EXISTING ALLOCATION UNITS - SEWER (EDU):		4 UNITS	
PROPOSED ALLOCATION UNITS - SEWER (EDU):		3 UNITS	

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

TEST PIT NOTE

CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY OR 2' BELOW PROPOSED UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING VA, LLC. IN WRITING.

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE _____

SPECIFIC UTILITY PLAN NOTES

1. ALL SINK AND FLOOR DRAINS IN FOOD PREPARATION AREAS SHALL BE CONNECTED TO A GREASE TRAP PRIOR TO DISCHARGING INTO THE WASHINGTON COUNTY SEWER SYSTEM.
2. ALL PROPOSED SANITARY SEWER SHOWN ON THIS PLAN IS PROPOSED TO BE PRIVATE.
3. CONTRACTOR MUST CONTACT DEPT OF WATER QUALITY 240-313-2600 AT LEAST 72 HOURS PRIOR TO LATERAL CONNECTION
4. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL
5. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY DAMAGE TO THE EXISTING MANHOLE.
6. A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE, CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577 EXT 653 FOR THE PERMIT APPLICATION

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CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: GRAD-0

PROJECT:

SITE PLAN SET SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION
13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

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Bowie, Maryland 20715
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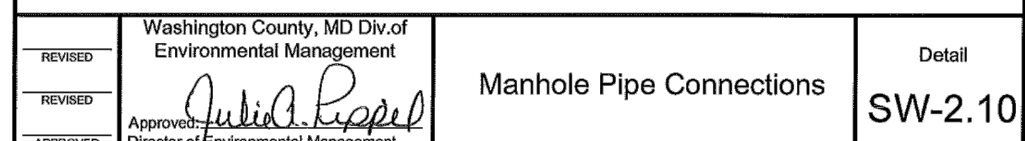
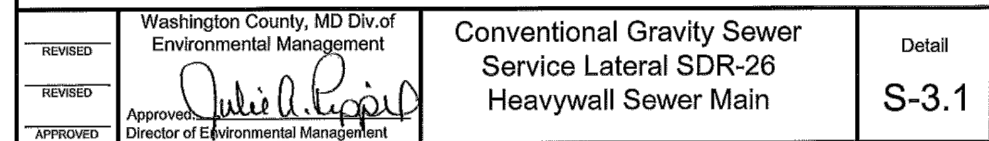
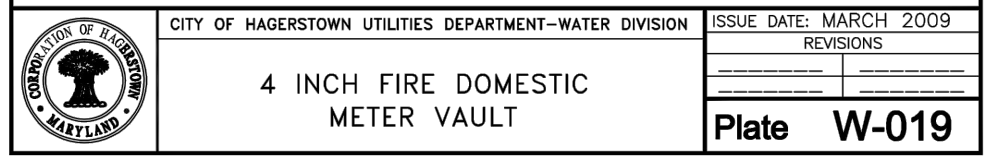
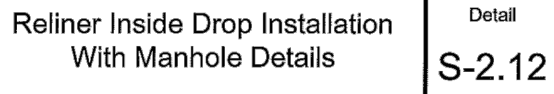
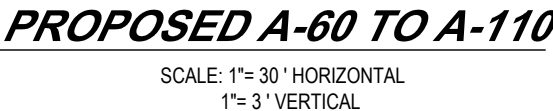
STATE OF MARYLAND
KEITH A. KOSCHER
REGISTERED PROFESSIONAL ENGINEER
NO. 5197

SHEET TITLE SP-23-024

UTILITY PLAN

SHEET NUMBER: **C-501**

REVISION 2 - 3/1/2024



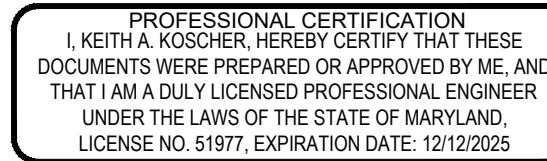
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

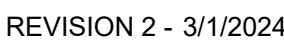
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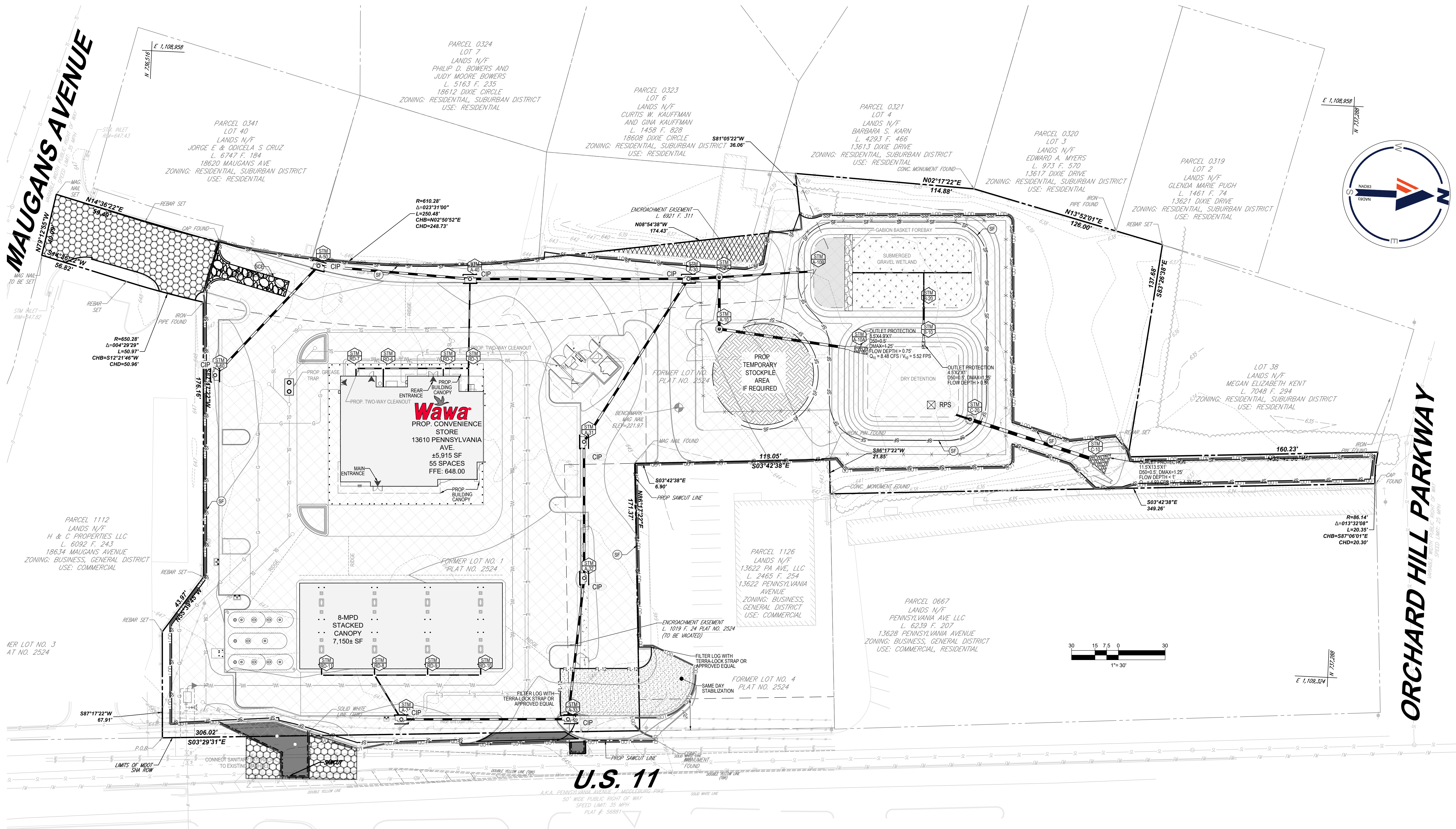
1. CONTRACTOR TO VERIFY ALL STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES.

NOTES:

1. CONTRACTOR TO VERIFY ALL STRUCTURE SIZES PRIOR TO ORDERING STRUCTURES.







SOIL TYPES				
SYMBOL	DESCRIPTION	HYDRIC SOIL	HYDROLOGIC SOIL GROUP	HIGHLY ERODIBLE
HdB	HAGERSTOWN - DUFFIELD - URBAN LAND COMPLEX, 0-8% SLOPES	NO	B	YES (K=0.37)
Ft	FUNKSTOWN SILT LOAM, 0-3% SLOPES	NO	C	YES (K=0.37)

OBTAINED FROM: USDA, NRCS, WEB SOIL SURVEY (WSS) AVAILABLE ONLINE AT
HTTP://WEBSOILSURVEY.NRCS.USDA.GOV

SOIL LEGEND

SOIL BOUNDARY

LIMIT OF DISTURBANCE: 128,070 S.F. OR 2.94 AC.

INLET PROTECTION TABLE		
AREA (STRUCTURE NAME)	ACREAGE (AC)	INLET PROTECTION TYPE
A-30	0.1290	CURB INLET PROTECTION
A-31	0.0950	CURB INLET PROTECTION
A-32	0.2510	CURB INLET PROTECTION
A-33	0.0680	CURB INLET PROTECTION
A-34	0.1790	CURB INLET PROTECTION
A-40	0.0830	CURB INLET PROTECTION
A-50	0.1410	CURB INLET PROTECTION
A-60	0.3790	CURB INLET PROTECTION

STANDARD SYMBOLS
FOR EROSION & SEDIMENT CONTROL PRACTICES

CURB INLET PROTECTION	CIP
LIMIT OF DISTURBANCE	LOD
SILT FENCE/SILT SOCK	SF
STABILIZED CONSTRUCTION ENTRANCE	SCE
REMOVABLE PUMPING STATION	RPS

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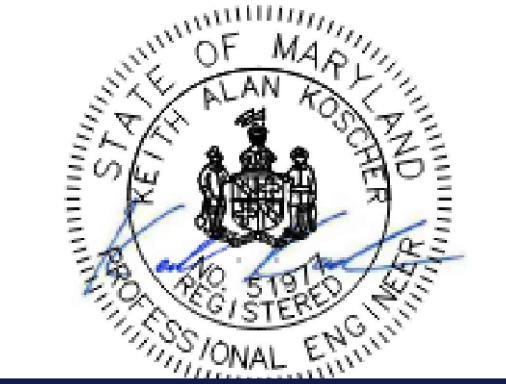
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DATE: 07/28/2023
CAD ID: ERD10

SITE PLAN SET
SP-23-024

FOR
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PHASE II
EROSION AND
SEDIMENT
CONTROL

SHEET NUMBER:
C-602

REVISION 2 - 3/1/2024

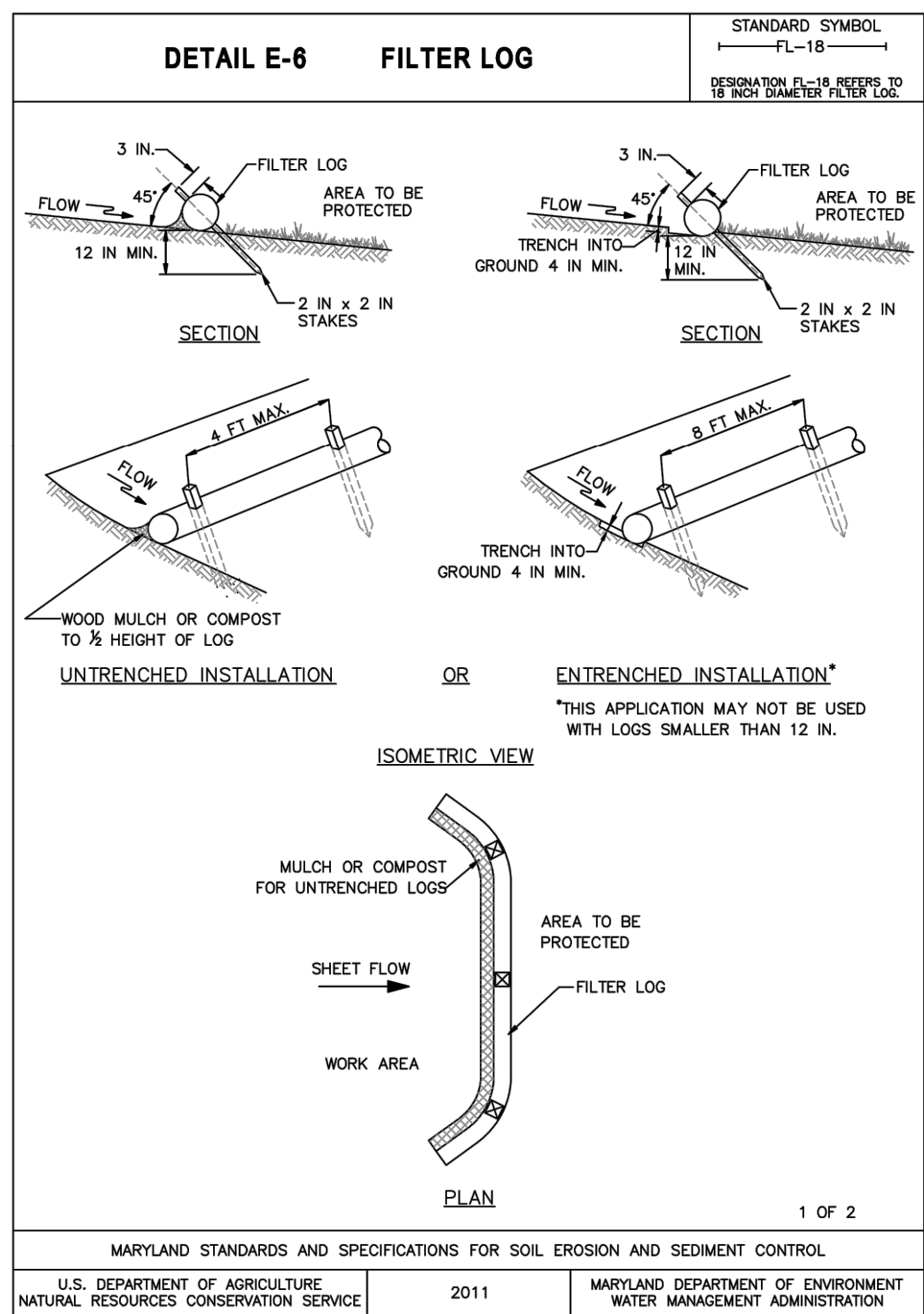
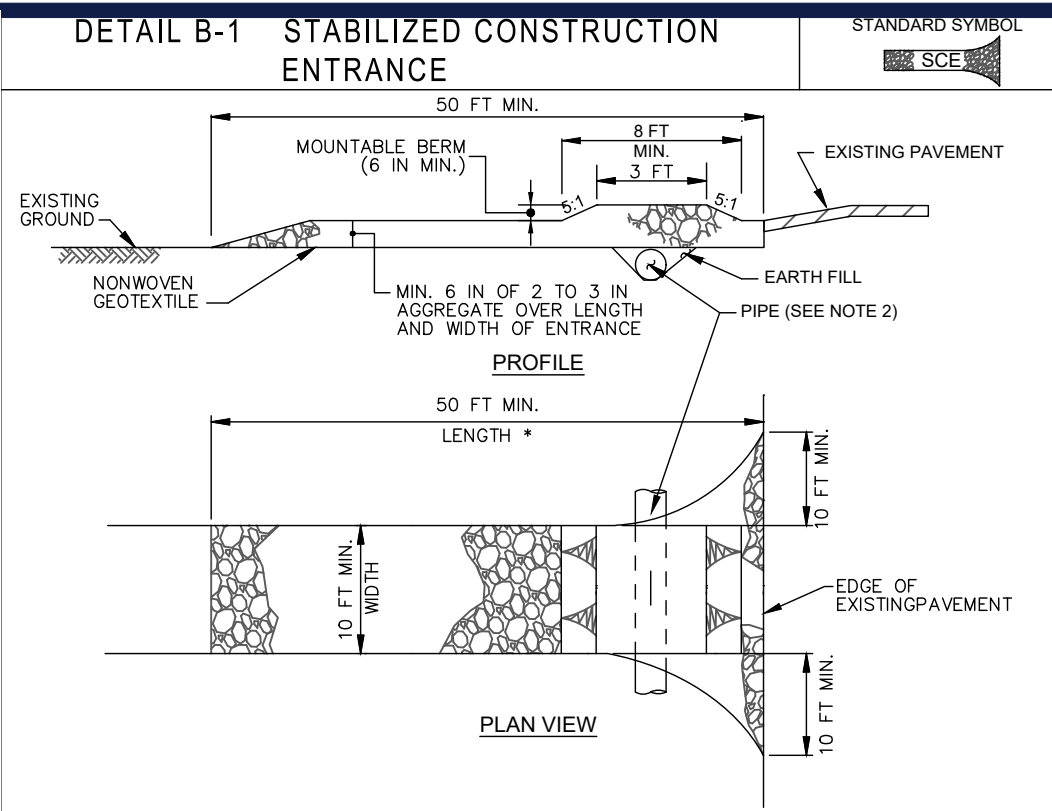


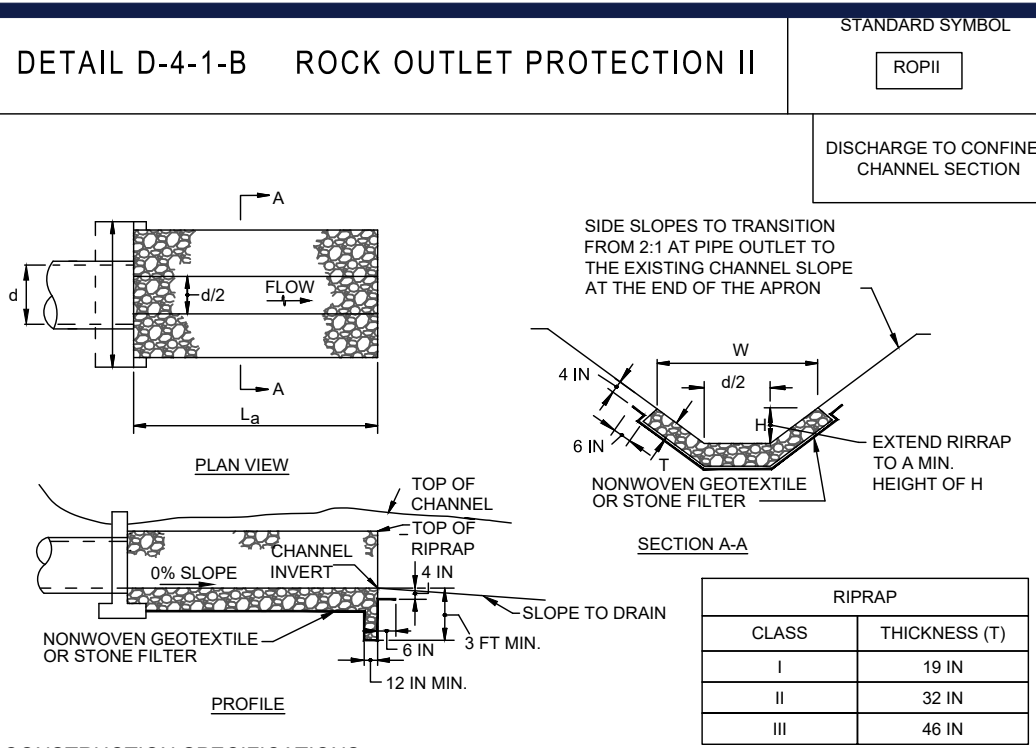
Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ¹			Recommended Seeding Dates by Plant Hardiness Zone ²		
	lb/ac	lb/1000 ft ²	Depth (inches)	5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (<i>Lolium perenne</i> ssp. <i>multiflorum</i>)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Oct 15	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 1 to Oct 15
Barley (<i>Hordeum vulgare</i>)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Oct 15	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 1 to Oct 15
Oats (<i>Avena sativa</i>)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Oct 15	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 1 to Oct 15
Wheat (<i>Triticum aestivum</i>)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 15	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 1 to Oct 15
Cereal Rye (<i>Secale cereale</i>)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 15	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 1 to Oct 15
Warm-Season Grasses						
Foxtail Millet (<i>Setaria italica</i>)	30	0.7	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14
Pearl Millet (<i>Pennisetum glaucum</i>)	20	0.5	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14

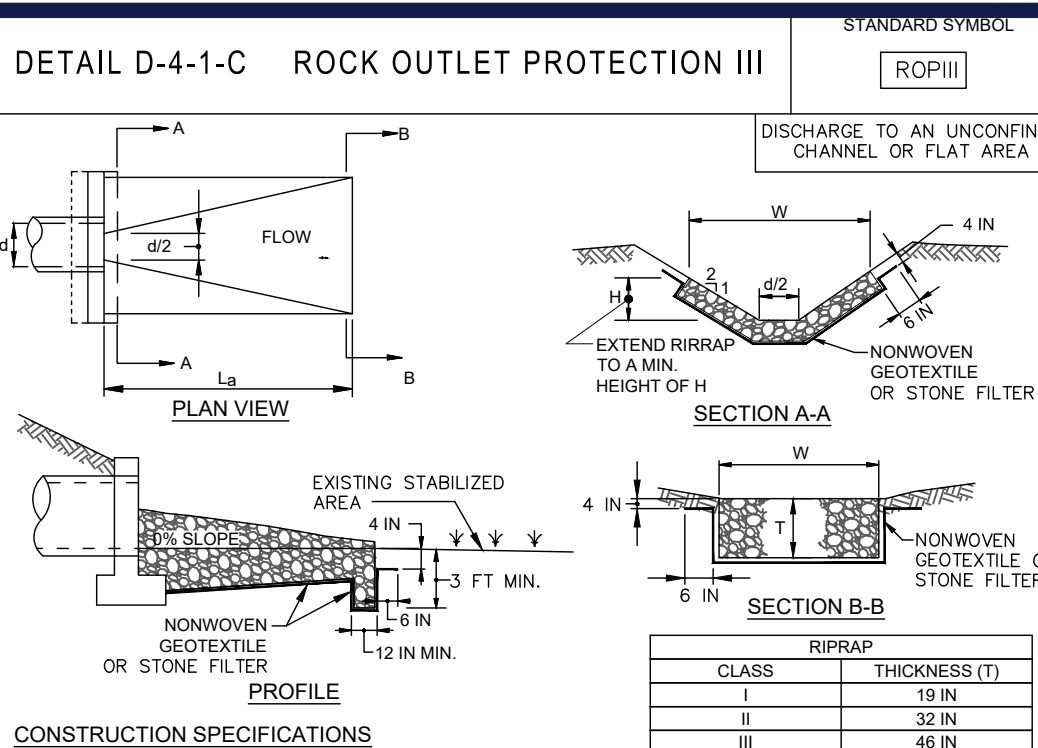
- NOTES:**
- Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.
 - Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixes, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur in a very late fall before the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. It may be used as a nurse crop, seed at 1/3 of the rate listed above.
 - Oats are the recommended nurse crop for warm-season grasses.
 - For sandy soils, plant seeds at twice the depth listed above.
 - The planting dates listed are averages for each zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.



- CONSTRUCTION SPECIFICATIONS**
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE OVER THE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
 - PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 - PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 4 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
 - MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRUBBING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.



- CONSTRUCTION SPECIFICATIONS**
- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
 - USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
 - PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 1/3 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 - EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
 - CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
 - WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
 - CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
 - MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF OBSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.



- CONSTRUCTION SPECIFICATIONS**
- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
 - USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
 - PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 1/3 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
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 - CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
 - MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF OBSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

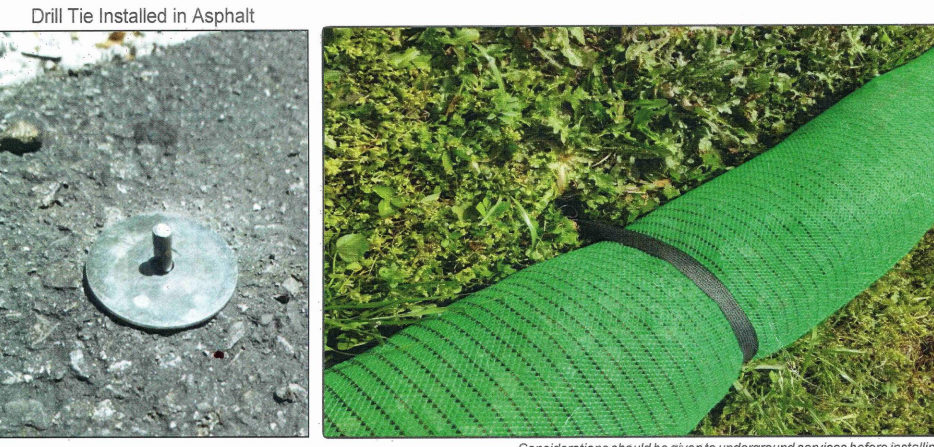
Terra-Lock™ Sock-Lok with Drill Tie Stake

The new Terra-Lock™ Sock-Lok is an ASTM D 7351 and D 7208 Tested "Compost Filter Sock" anchoring device bringing specific and measurable benefits to the installation and performance of the system. The Sock-Lok can be installed using our Drill Tie Stake when placing a sediment device on a hard surface such as frozen soil or asphalt.

- FEATURES/BENEFITS**
- Superior performance when compared to traditional wood stakes
 - Over 100% increase in pull strength
 - Over 100% increase in sediment retention
 - 4 different lengths of Drill Tie available to optimize performance based on soil conditions
 - Eliminates the labor associated with carrying, deploying and hammering traditional wood stakes
 - No damage to existing grading or installation
 - Quick and easy to install with standard electric drill

INSTALLATION TOOLS

SPR FENCE	Ditch Check	Perimeter Protection
8"	5'	10'
12"	5'	10'
18"	5'	10'
24"	5'	10'
32"	5'	5'



NOTE:

- CONTRACTOR TO UTILIZE TERRA-LOCK DEVICES OR APPROVED EQUALS WHERE "FILTER LOG WITH TERRA-LOCK STRAP" IS NOTED ON PLANS.

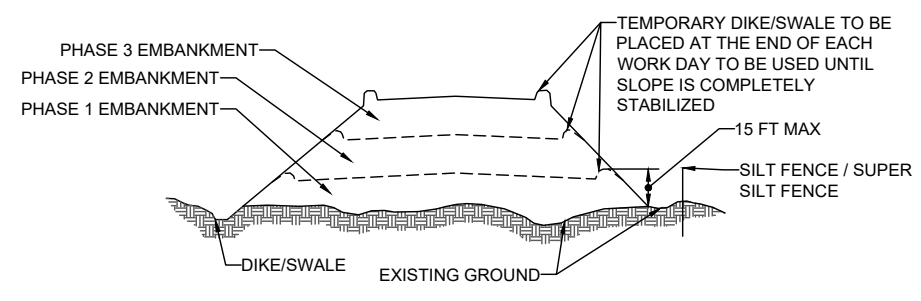


FIGURE B-2 - INCREMENTAL STABILIZATION - FILL

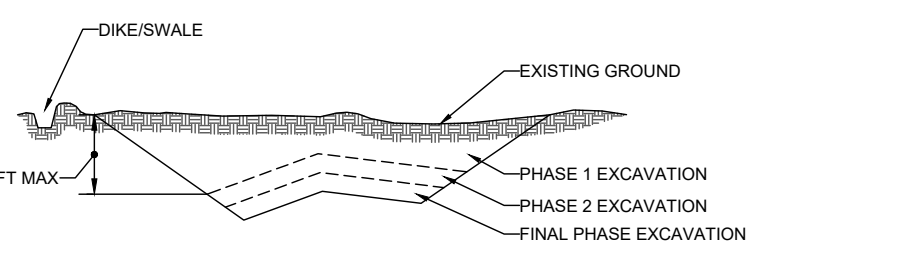
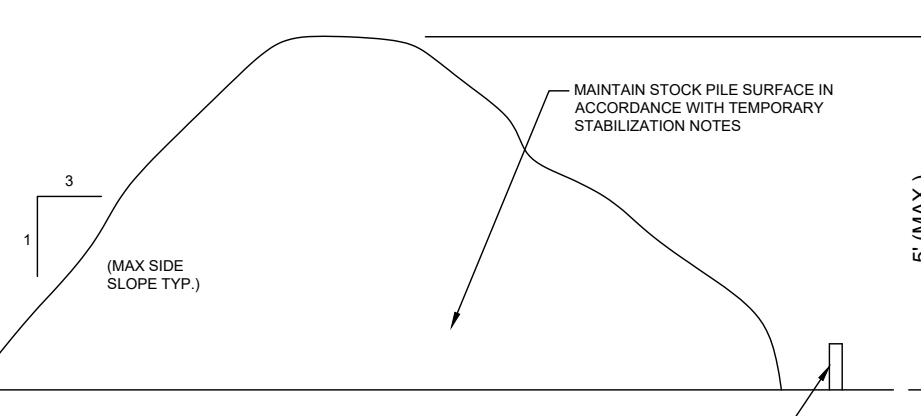
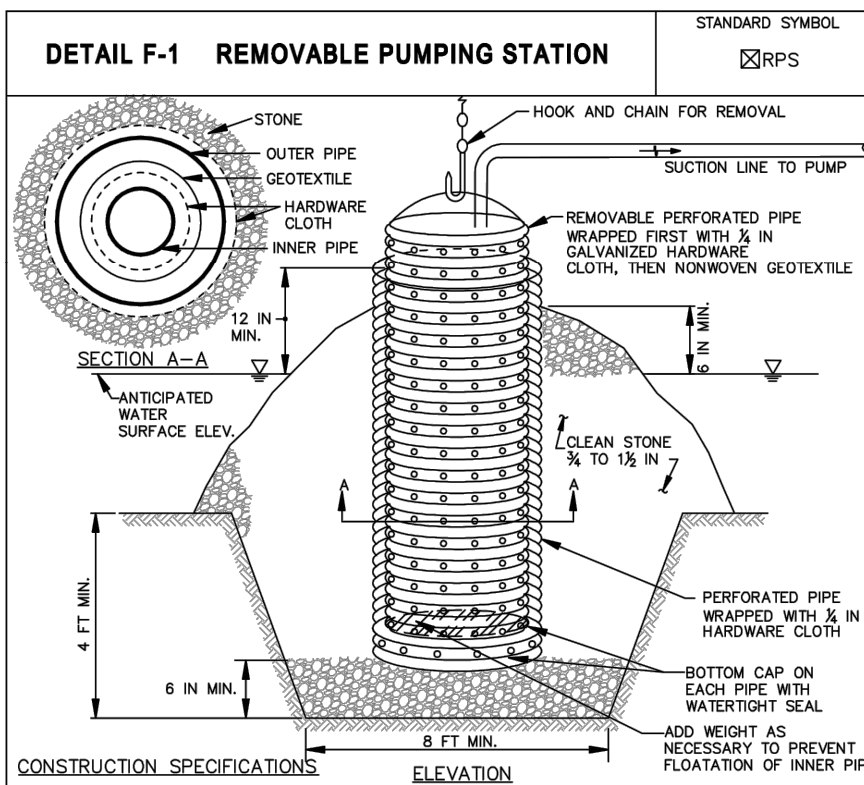


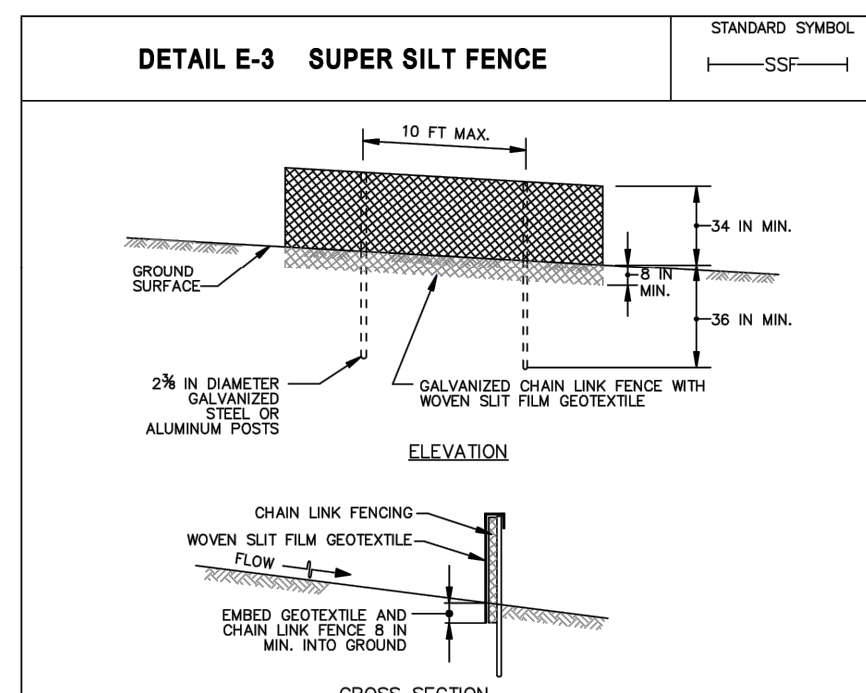
FIGURE B-1 - INCREMENTAL STABILIZATION - CUT



TEMPORARY STOCKPILE DETAIL



- CONSTRUCTION SPECIFICATIONS**
- USE CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS 6 INCHES ON CENTER.
 - USE A MINIMUM 12 INCH DIAMETER INNER PIPE WITH AN OUTER PIPE A MINIMUM 6 INCHES LARGER IN DIAMETER. BOTTOM OF EACH PIPE MUST BE CAPPED WITH WATER TIGHT SEAL.
 - WRAP EACH PIPE WITH 1/2 INCH GALVANIZED HARDWARE CLOTH, OR INNER PIPE WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH.
 - EXCAVATE 8 FEET X 8 FEET X 4 FEET DEEP PIT FOR PIPE PLACEMENT. PLACE CLAY TO 18 INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH PRIOR TO PIPE PLACEMENT.
 - SET TOP OF INNER AND OUTER PIPE MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION (OR RISE DREST ELEVATION WHEN DRAINING A BASIN).
 - BACKFILL PIT AROUND THE OUTER PIPE WITH 1/2 TO 1/3 INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE, AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
 - DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.
 - A REMOVABLE PUMPING STATION REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOS, PULL OUT INNER PIPE AND REPLACE GEOTEXTILE. KEEP TOP OF DISCHARGE FREE OF OBSTRUCTION.



- CONSTRUCTION SPECIFICATIONS**
- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.098 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. SET THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
 - FASTEN 2 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR LUGS RINGS.
 - FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 12 INCHES AT THE TOP AND MID-SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 6 INCHES INTO THE GROUND.
 - WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEEDING BY PASS.
 - EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
 - PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTATE CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

WASHINGTON COUNTY SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", "SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMPs) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IS RECORDED ON THE "STANDARD INSPECTION FORM". GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - NOI).
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY, OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITHIN THE 7 DAY STABILIZATION REQUIREMENT AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-2 TEMPORARY STABILIZATION (AS APPLICABLE).
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TEMPORAL INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION" IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON

COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSURE REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

- MARYLAND DEPARTMENT OF THE ENVIRONMENT. GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, NPDES PERMIT NUMBER MDR-C, STATE DISCHARGE PERMIT NUMBER 200P, OR AN INDIVIDUAL PERMIT.
- THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - NOI) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMPs) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM". GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - NOI).
- FOLLOWING CONSTRUCTION AND RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E. ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED. THE AUTHORIZED PERMITTEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - NOT.

DUST CONTROL

- CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION EXIT. THE PURPOSE IS TO TRAP DUST AND MUD THAT BEYOND THE PERMITTED PROJECT AREA BY CONSTRUCTION TRAFFIC. LARGE AREAS OF SOIL THAT ARE DENuded OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO LIMIT WIND TRANSPORTED PARTICLES EXITING THE SITE PERIMETER.
- WATER TRUCKS OR OTHER DUST CONTROL AGENTS WILL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. DUST CONTROL MUST BE PROVIDED BY THE GENERAL CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE LOCAL AND STATE DUST CONTROL REGULATIONS.

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 5197, EXPIRATION DATE: 12/12/2025

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/6/2023	COUNTY COMMENTS	DT
2	3/1/2024	COUNTY COMMENTS	AH
			KK

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MDA220191.00
DRAWN BY: BMM / KAK
DATE: 07/28/2023
CAD ID: CND50

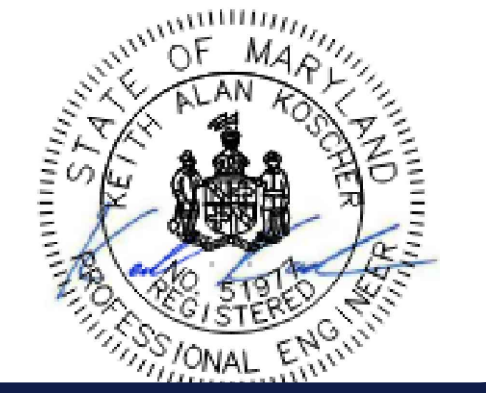
SITE PLAN SET SP-23-024

FOR
HAGERSTOWN PENNSYLVANIA, LLC

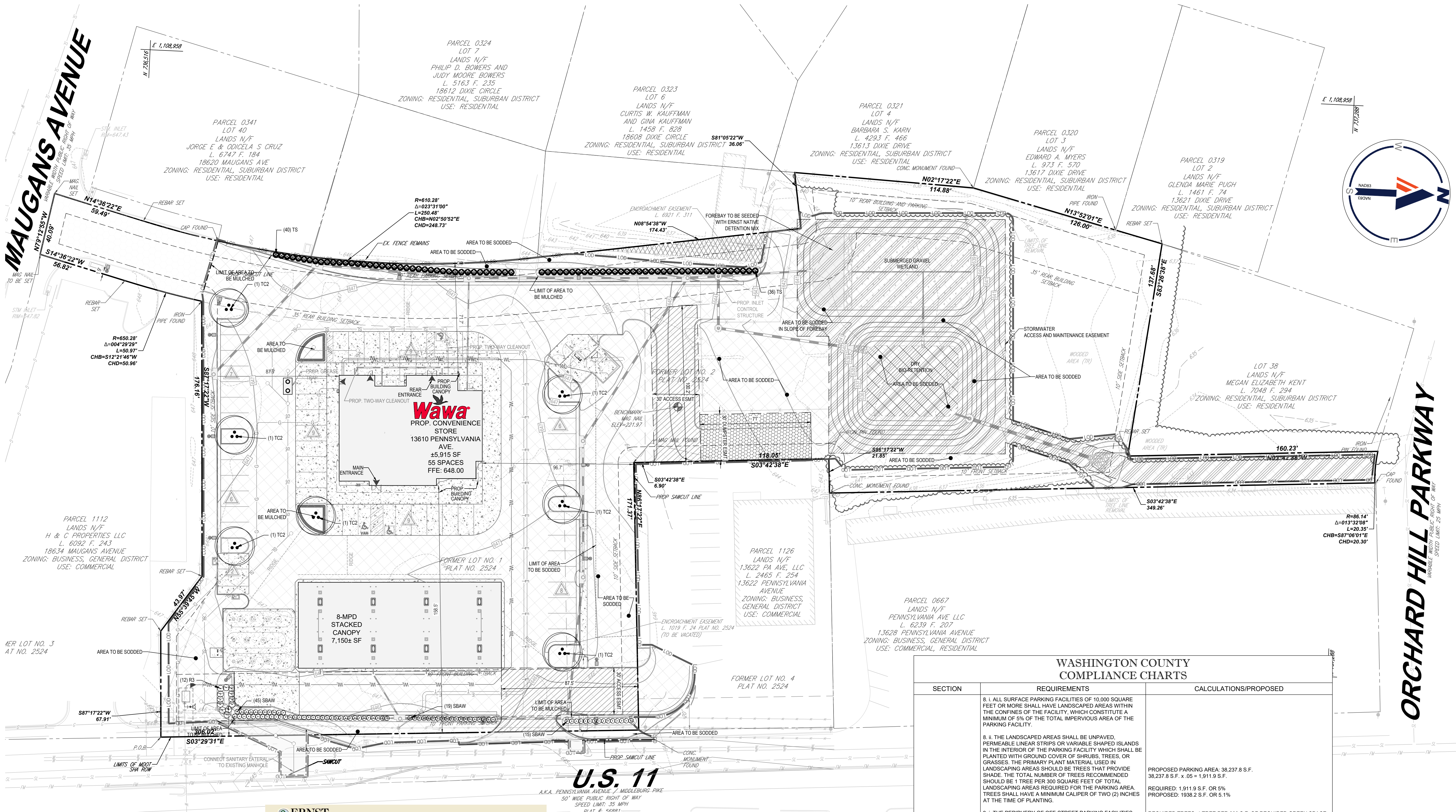
PROPOSED CONVENIENCE CENTER & GAS STATION
13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com



SHEET TITLE SP-23-024
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
SHEET NUMBER:
C-603
REVISION 2 - 3/1/2024



Ernst Seeds

Home | Stormwater Management | Native Detention Area Mix

Back to List

Mix Composition

26.0% *Panicum clandestinum* 'Tingo' (Drevoengras, Tingo)

25.0% *Panicum virgatum* 'Shelter' (Switchgrass, Shelter)

20.0% *Carex vulpinoidea* PA Ecotype (Fox Sedge, PA Ecotype)

20.0% *Thymus virginicus* 'Madison' (Virginia Wildmary, Madison)

4.0% *Agraria perennans*, *Albany Pine Bush-NY Ecotype* (Autumn Bontgrass, Albany Pine Bush-NY Ecotype)

3.0% *Juncus effusus* (Soft Rush)

1.0% *Juncus tenuis* PA Ecotype (Path Rush, PA Ecotype)

1.0% *Panicum ripidulum* PA Ecotype (Reitrop Panicgrass, PA Ecotype)

General Product Information:

The native grasses, sedges and rushes establish quickly in areas where mowing is not anticipated. With a high seed count per pound, it can achieve native establishment with minimum risk and tolerate low fertility. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Item Number: ERNAX-183

Product Categories: Stormwater Management

Height: 0.3 - 5.0 Ft

Seeding Rate: 20 lb per acre, or 1/2 lb per 1,000 sq ft

Seed Finder TOOL

Print | Email | Share

Price: \$15.98/lb

Add to Planner

PLANTING SCHEDULE					
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TC2	7	TILIA CORDATA	LITTLELEAF LINDEN	2.5" CAL.	CONTAINER
EVERGREEN UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TS	76	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	2.5" CAL.	CONTAINER
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
R3	12	ROSA 'X' 'RADRAZZ'	KNOCK OUT® SHRUB ROSE	3-4" HT. & SPRD	CONTAINER
SBW	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SBW	79	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	18-24" HT. & SPRD	CONTAINER
SUBMERGED GRAVEL WETLAND AREAS PLANTING SCHEDULE					
SPECIES		TYPE	SPACING	SIZE	QUANTITY (3384 S.F.)
BOTANICAL NAME	COMMON NAME				TOTAL
SCIRPUS ACUTUS	HARDSTEM BULRUSH	GRASS	12" O.C.	PLUG	1118
JUNCUS EFFUSUS	SOFT RUSH	GRASS	12" O.C.	PLUG	1118
IRIS VERICOLOR	NORTHERN BLUE FLAG	PERENNIAL	12" O.C.	PLUG	559
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	PERENNIAL	12" O.C.	PLUG	559
RUDBECKIA LACINIATA	TALL CONEFLOWER	PERENNIAL	12" O.C.	PLUG	559

WASHINGTON COUNTY COMPLIANCE CHARTS		
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
SECTION 22.120: OFF-STREET PARKING AND DESIGN REQUIREMENTS	<p>8. i. ALL SURFACE PARKING FACILITIES OF 10,000 SQUARE FEET OR MORE SHALL HAVE LANDSCAPED AREAS WITHIN THE CONFINES OF THE FACILITY, WHICH CONSTITUTE A MINIMUM OF 5% OF THE TOTAL IMPERVIOUS AREA OF THE PARKING FACILITY.</p> <p>8. ii. THE LANDSCAPED AREAS SHALL BE UNPAVED, PERMEABLE LINEAR STRIPS OR VARIABLE SHAPED ISLANDS IN THE INTERIOR OF THE PARKING FACILITY WHICH SHALL BE PLANTED WITH GROUND COVER OF SHRUBS, TREES, OR GRASSES. THE PRIMARY PLANT MATERIAL USED IN LANDSCAPING AREAS SHOULD BE TREES THAT PROVIDE SHADE. THE TOTAL NUMBER OF TREES RECOMMENDED SHOULD BE 1 TREE PER 300 SQUARE FEET OF TOTAL LANDSCAPING AREAS REQUIRED FOR THE PARKING AREA. TREES SHALL HAVE A MINIMUM CALIPER OF TWO (2) INCHES AT THE TIME OF PLANTING.</p> <p>9. i. THE PERIPHERY OF OFF-STREET PARKING FACILITIES SHALL BE ADEQUATELY SCREENED FROM ANY PARCEL ZONED FOR OR OCCUPIED BY RESIDENTIAL DWELLINGS, SCHOOLS, CHURCHES, OR INSTITUTIONS FOR HUMAN CARE AS WELL AS ROADWAY FRONTAGES SO AS TO PREVENT HEADLIGHT GLARE ONTO ADJACENT PARCELS AND/OR ROADWAYS.</p> <p>9. ii. SCREENING MAY IN THE FORM OF A SOLID FENCE, VEGETATIVE SCREENING OR BOTH, GRADE TO THE SPECIFIED HEIGHT DETERMINED BY THE PLANNING COMMISSION OR ITS DESIGNEE. FENCING SHALL BE CONSTRUCTED OF VINYL, STONE, BRICK, EARTHEN BERM OR OTHER MECHANISM AS APPROVED BY THE PLANNING COMMISSION, AND MUST BE A MINIMUM OF 4 FT IN HEIGHT AS MEASURED FROM THE GRADE OF THE PARKING AREA.</p> <p>9. iii. VEGETATIVE SCREENING SHALL CONSIST OF A TREE OR SHRUB SPECIES THAT SHALL BE A MINIMUM OF 4 FT IN HEIGHT OVERALL AT THE TIME OF PLANTING OR WILL REACH 4 FT IN HEIGHT WITHIN TWO YEARS OF PLANTING.</p> <p>9. iv. VEGETATIVE SCREENING SHALL BE PLANTED IN SUCH A MANNER AS TO CREATE A CONTINUOUS OPAQUE SCREEN YEAR-ROUND. VEGETATIVE SCREENING MUST CONSIST OF A TREE SPECIES THAT WILL MAINTAIN THE OPAQUE SCREEN IN PERPETUITY. (I.E. WHITE PINES ARE PRONE TO LOSING LOWER BRANCHES OVER TIME AND ALLOW FOR HOLES IN THE SCREEN)</p> <p>3. i. SURFACE PARKING FACILITIES SHALL BE PHYSICALLY SEPARATED FROM A PUBLIC OR PRIVATE STREET BY A BUFFER AREA OF AT LEAST 10 FEET FROM THE RIGHT OF WAY LINE OR FROM THE PROPERTY LINE, WHICHEVER IS GREATER. IN ANY CASE, PARKING OF VEHICLES MAY NOT IMPEDE ADEQUATE SIGHT DISTANCE OR ACCESS POINTS.</p>	<p>PROPOSED PARKING AREA: 38,237.8 S.F.</p> <p>38,237.8 S.F. x 0.05 = 1,911.9 S.F.</p> <p>REQUIRED: 1,911.9 S.F. OR 5%</p> <p>PROPOSED: 1938.2 S.F. OR 5.1%</p> <p>REQUIRED TREES: 1 TREE PER 300 S.F. OF REQUIRED GREEN SPACE</p> <p>1,911.9 S.F. x (1 TREE / 300 S.F.) = 7 TREES</p> <p>PROPOSED TREES: 7</p> <p>MEETS COMPLIANCE</p> <p>*INDICATES PLANT MATERIAL UTILIZED TO FULFILL THIS REQUIREMENT.</p> <p>SCREENING PROVIDED BY SHRUBS</p> <p>MEETS COMPLIANCE</p>
SECTION 22.110: PARKING FACILITY SETBACKS		

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

LANDSCAPE ARCHITECTURE

PROGRAM MANAGEMENT

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/6/2023	COUNTY COMMENTS	DT
2	3/1/2024	COUNTY COMMENTS	KK

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PROJECT No.: MDA220191.00

DRAWN BY: AIJH

CHECKED BY: BMM / KAK

DATE: 07/28/2023

CAD ID: LSC22-0

SITE PLAN SET

SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE

HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 Melford Blvd., Suite 310

Bowie, Maryland 20715

Phone: (301) 809-4500

Fax: (301) 809-4501

MD@BohlerEng.com

E.R. McWilliams

REGISTERED LANDSCAPE ARCHITECT

MARYLAND LICENSE NO. 3997

SHEET TITLE: SP-23-024

LANDSCAPE PLAN

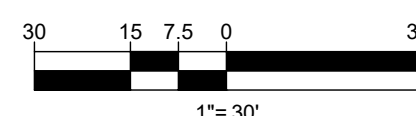
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C-701

REVISION 2 - 3/1/2024

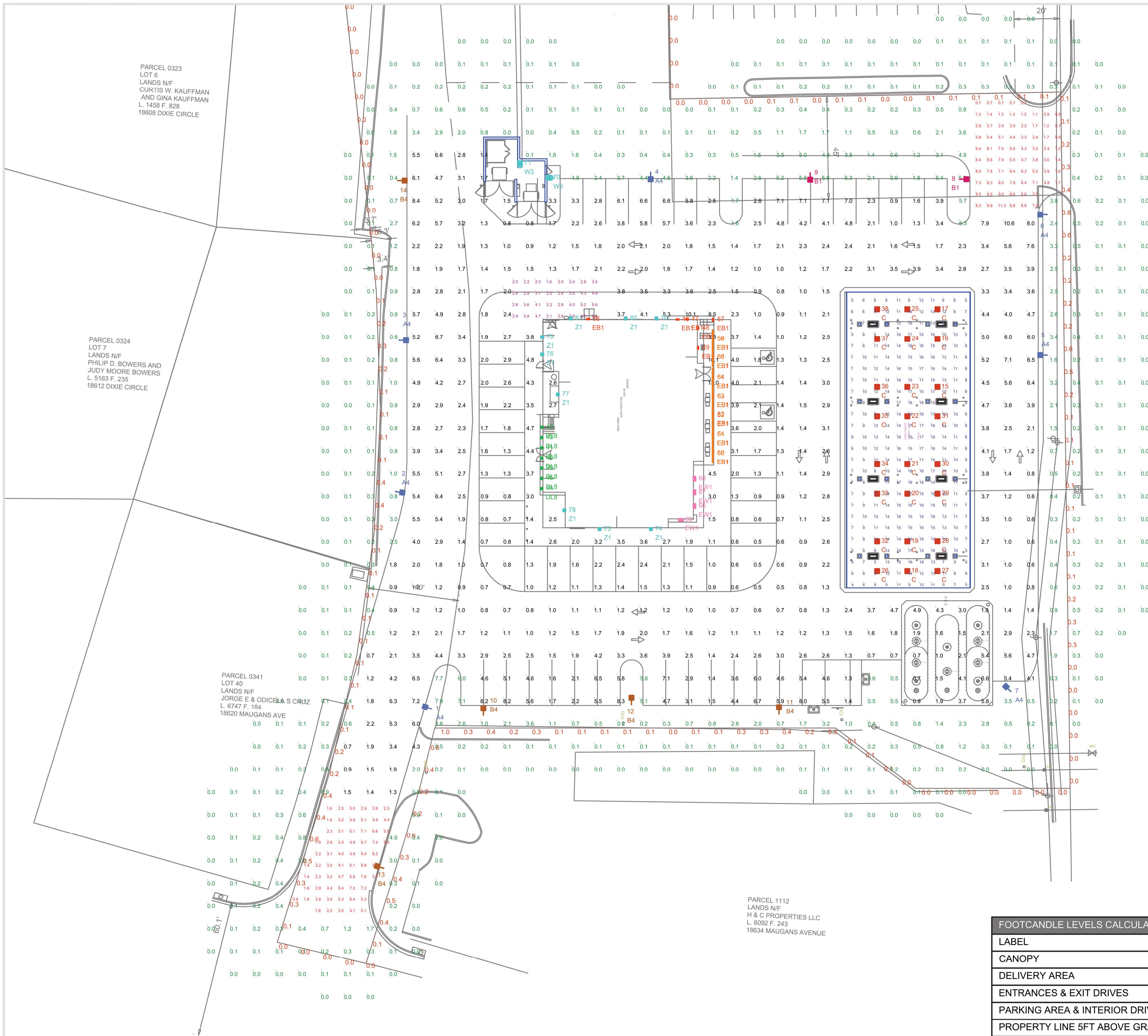
PROFESSIONAL CERTIFICATION

ERIC R. McWilliams, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3997, EXPIRATION DATE: 9/20/24



*THE NET TRACT AREA USED BY CALCULATING FOREST MITIGATION HAS BEEN REDUCED BY 1.23 ACRES, WHICH CORRESPONDS TO THE EXISTING IMPERVIOUS SURFACE ON THIS PARCEL

PROFESSIONAL CERTIFICATION
I, ERIC R. McWILLIAMS, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER
THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 3697, EXPIRATION DATE: 9/20/24



THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES











ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING
AND DOES NOT RECOMMEND THESE LEVELS FOR
SECURITY AND SAFETY REASONS

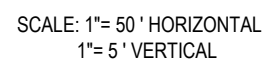
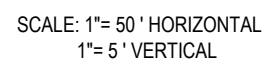
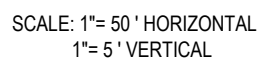
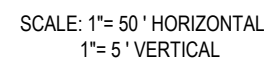
- NOTES:
- ALL CONCRETE BASES TO BE LOCATED 5 FT. BEHIND CURB
 - ALL AREA LIGHTS ON 14 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES

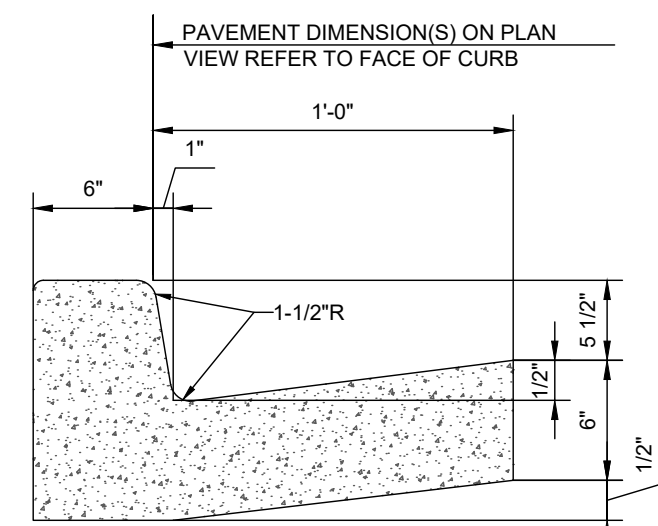
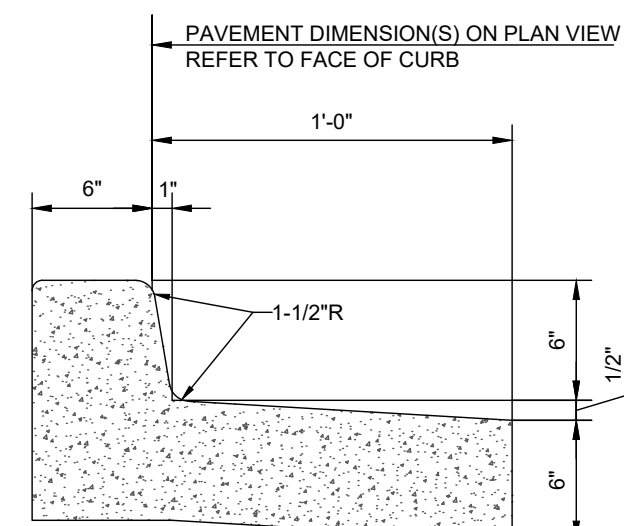
FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	11.60	18	4	2.90	4.50
DELIVERY AREA	3.27	6.0	1.6	2.04	3.75
ENTRANCES & EXIT DRIVES	4.46	11.3	0.5	8.92	22.60
PARKING AREA & INTERIOR DRIVE AI	2.76	16.1	0.5	5.52	32.20
PROPERTY LINE 5FT ABOVE GRADE	0.09	1.0	0.0	N.A.	N.A.
UNDEFINED	0.61	7.9	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	14.5
2	A4	14.5
3	A4	14.5
4	A4	14.5
5	A4	14.5
6	A4	14.5
7	A4	14.5
8	B1	14.5
9	B1	14.5
10	B4	14.5
11	B4	14.5
12	B4	14.5
13	B4	14.5
14	B4	14.5
15	C	17.11
16	C	17.11
17	C	17.11
18	C	19.32
19	C	19.32
20	C	19.32
21	C	19.32
22	C	19.32
23	C	19.32
24	C	19.32
25	C	19.32
26	C	21.53
27	C	17.11
28	C	17.11
29	C	17.11
30	C	17.11
31	C	17.11
32	C	21.53
33	C	21.53
34	C	21.53
35	C	21.53
36	C	21.53
37	C	21.53
38	C	21.53
39	DL8	10.75
40	DL8	10.75
41	DL8	10.75

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
42	DL8	10.75
43	DL8	10.75
44	DL8	10.75
45	DL8	10.75
46	EB1	11
47	EB1	11
48	EB1	11
49	EB1	11
50	EB1	10.5
51	EB1	10.5
52	EB1	10.5
53	EB1	10.5
54	EB1	10.5
55	EB1	10.5
56	EB1	10.5
57	EB1	10.5
58	EB1	14
59	EF1	11.833
60	EF1	11.833
61	EF1	11.833
62	EF1	11.833
63	EF1	11.833
64	EF1	11.833
65	EF1	11.833
66	EW1	14
67	EW1	14
68	EW1	14
69	EW1	14
70	W3	8
71	W3	8
73	Z1	14
74	Z1	14
75	Z1	14
76	Z1	14
77	Z1	14
78	Z1	14
79	Z1	14
80	Z1	14
81	Z1	14

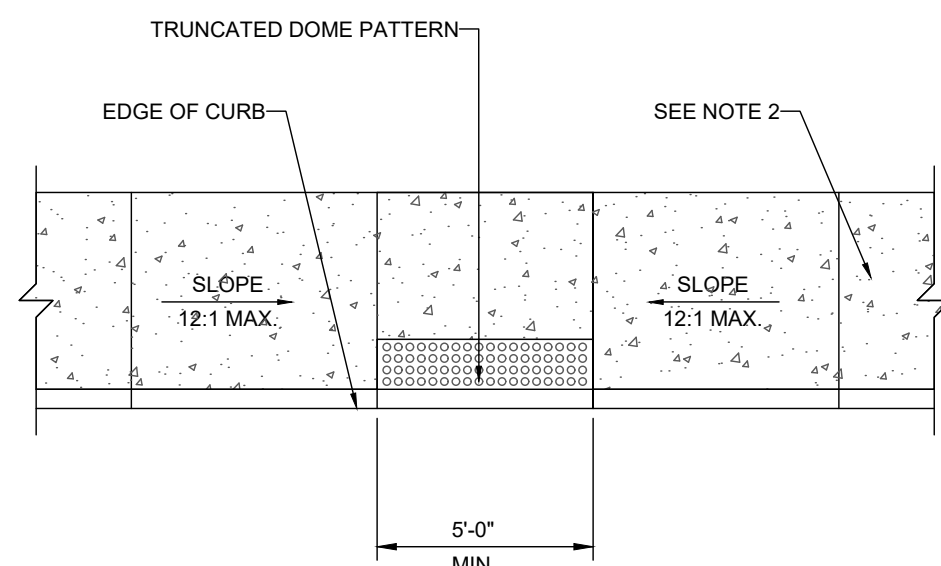
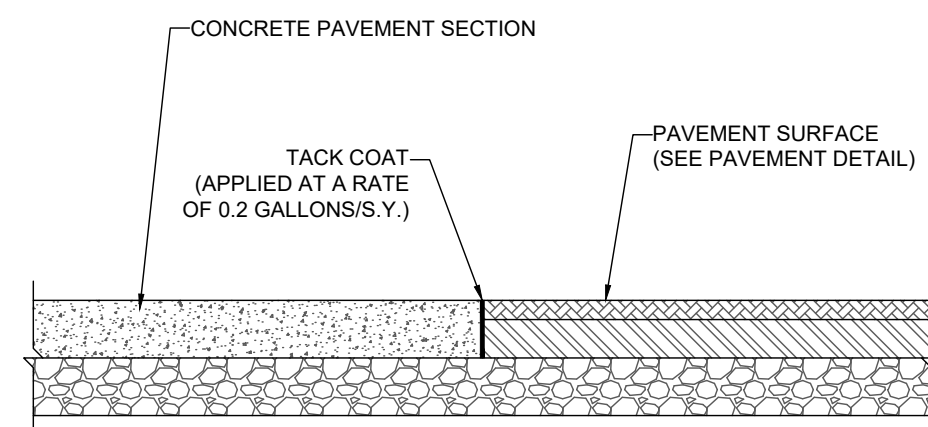
LUMINAIRE SCHEDULE											CATALOG LOGIC	
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING LUMEN MULTIPLIER	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER		
	7	A4	SINGLE	8891	1.030	1.000	B1-U0-G2	134	938	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-XX-700-57K	
	2	B1	SINGLE	12678	1.030	1.000	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K	
	5	B4	SINGLE	9549	1.030	1.000	B1-U0-G2	134	670	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-57K	
	24	C	SINGLE	13251	1.030	0.320	B3-U0-G1	32.16	771.84	CREE, INC.	CAN-304-SL-RD-06-E-UL-XX-700-57K-DIM (SET @ 2.3V)	
	7	DL8	Single	1121	1.000	1.000	B1-U0-G0	11.5	80.5	Juno Lighting	2LEDTG2C-830F-WWW w_2LEDDRVG2-10-120	
	13	EB1	Single	1388	1.000	1.000	B1-U1-G0	19	247	WAC Lighting	WP-LED119-30	
	7	EF1	SSL-4_1	992	1.000	1.000	B1-U1-G0	17.444	488.432	FC Lighting	CVLWET1.5-4-4K-80CRI-1040	
	4	EW1	Single	500	1.000	1.000	B0-U0-G0	10.5	42	CARBONI GROUP	WS-W2509-3000K-BZ	
	2	W3	SINGLE	1557	1.030	1.000	B0-U0-G1	25	50	CREE, INC.	SEC-EDG-3MB-WM-02-E-UL-XX-350-57K	
	9	Z1	Single	2710	1.000	1.000	B0-U0-G1	25.31	227.79	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	ISC-AF-450-LED-E1-SL4-WH	

REVISION 2 - 3/1/2024



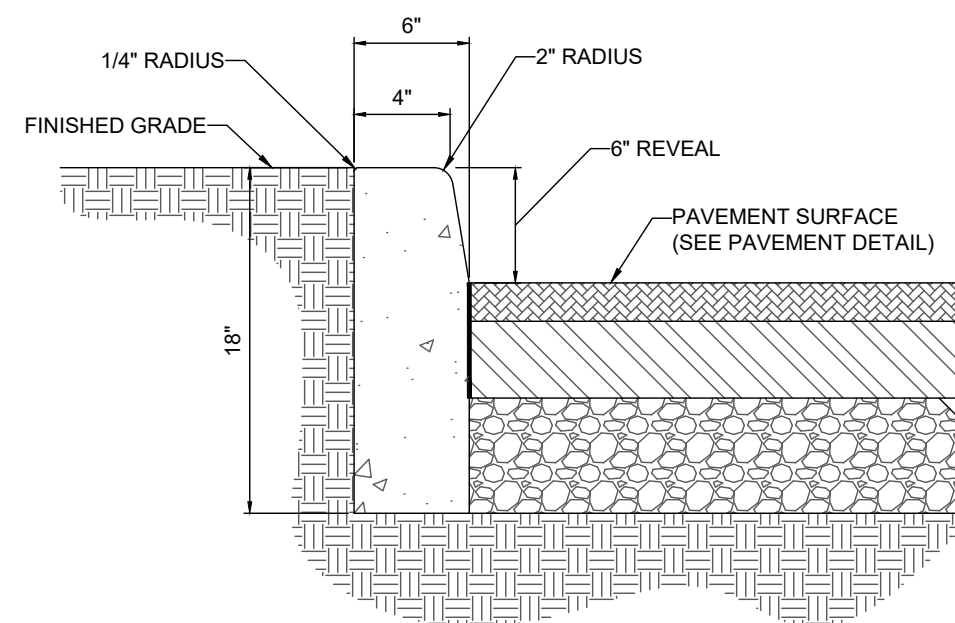
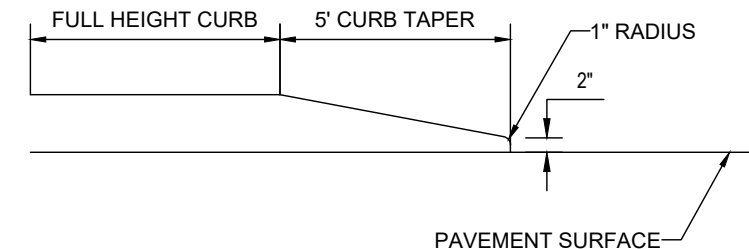
NOTES:

1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (1 1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.



NOTE:

1. ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.
2. LEVEL LANDING AT TOP OF RAMP TO BE 3' DEEP IF NO CHANGE IN DIRECTION OR 5'X5' MINIMUM IF A CHANGE IN DIRECTION OCCURS.



NOTES:

1. EXPANSION JOINTS TO BE INSTALLED AT 20' INTERVALS.
2. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
3. CONCRETE TO BE CLASS A3 IF CAST IN PLACE OR 4000 P.S.I. IF PRECAST.

[illegible]

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PROJECT No.:	MDA202191.00
DRAWN BY:	AJH
CHECKED BY:	BMM / KAK
DATE:	07/28/2023
CAD I.D.:	CND5-0

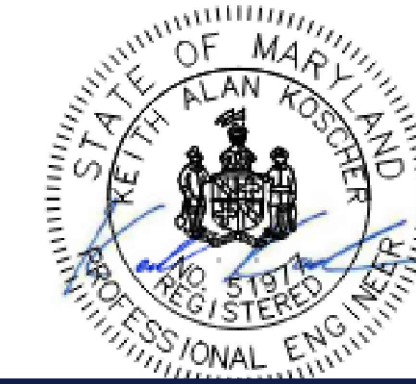
SITE PLAN SET
SP-23-024

HAGERSTOWN
PENNSYLVANIA,
LLC

PROPOSED CONVENIENCE
CENTER & GAS STATION
13610 PENNSYLVANIA AVENUE
HAGERSTOWN
WASHINGTON COUNTY, MD

BOHLER//

16701 MELFORD BLVD , SUITE 310
BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
MD@BohlerEng.com



SHEET TITLE:SP-23-024

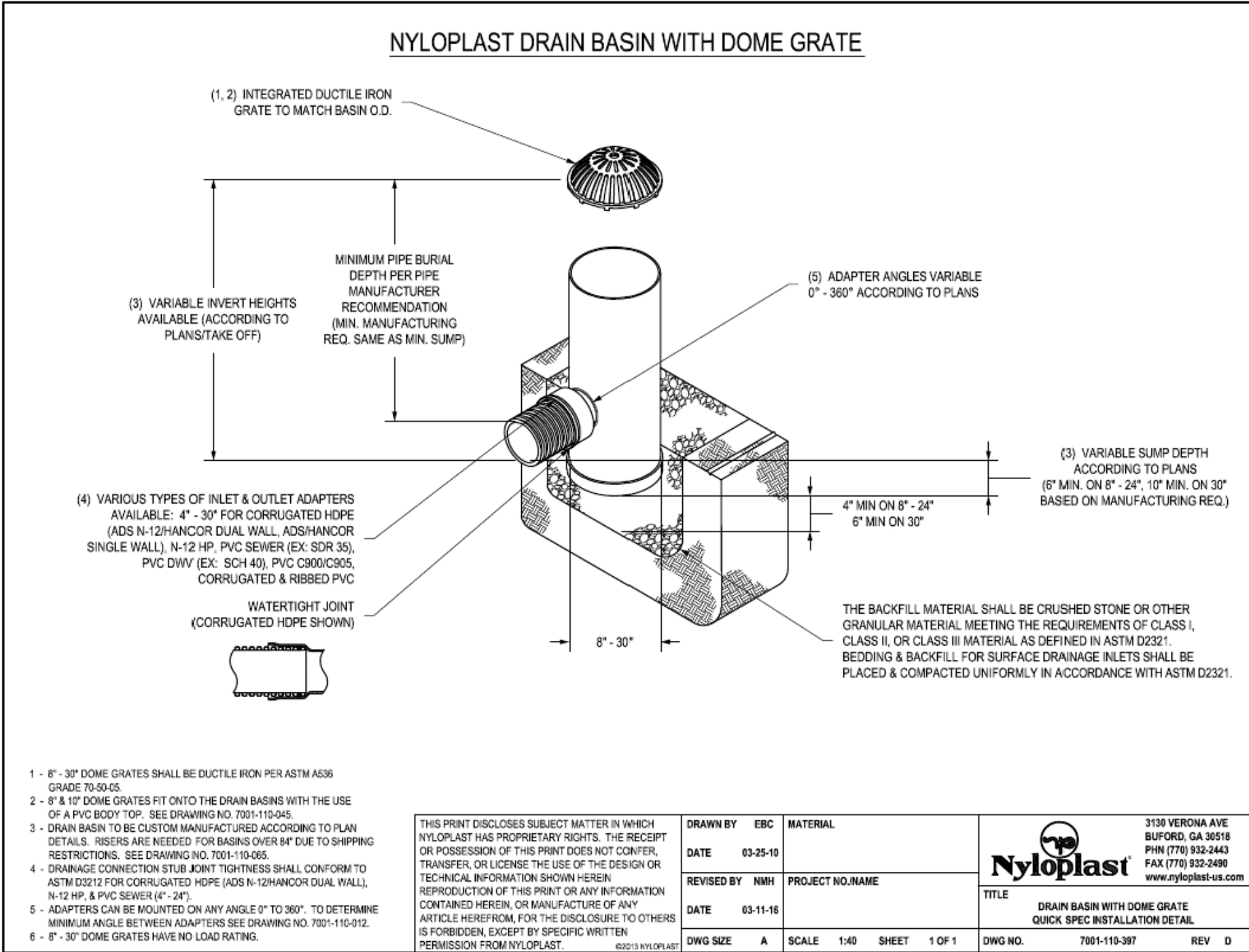
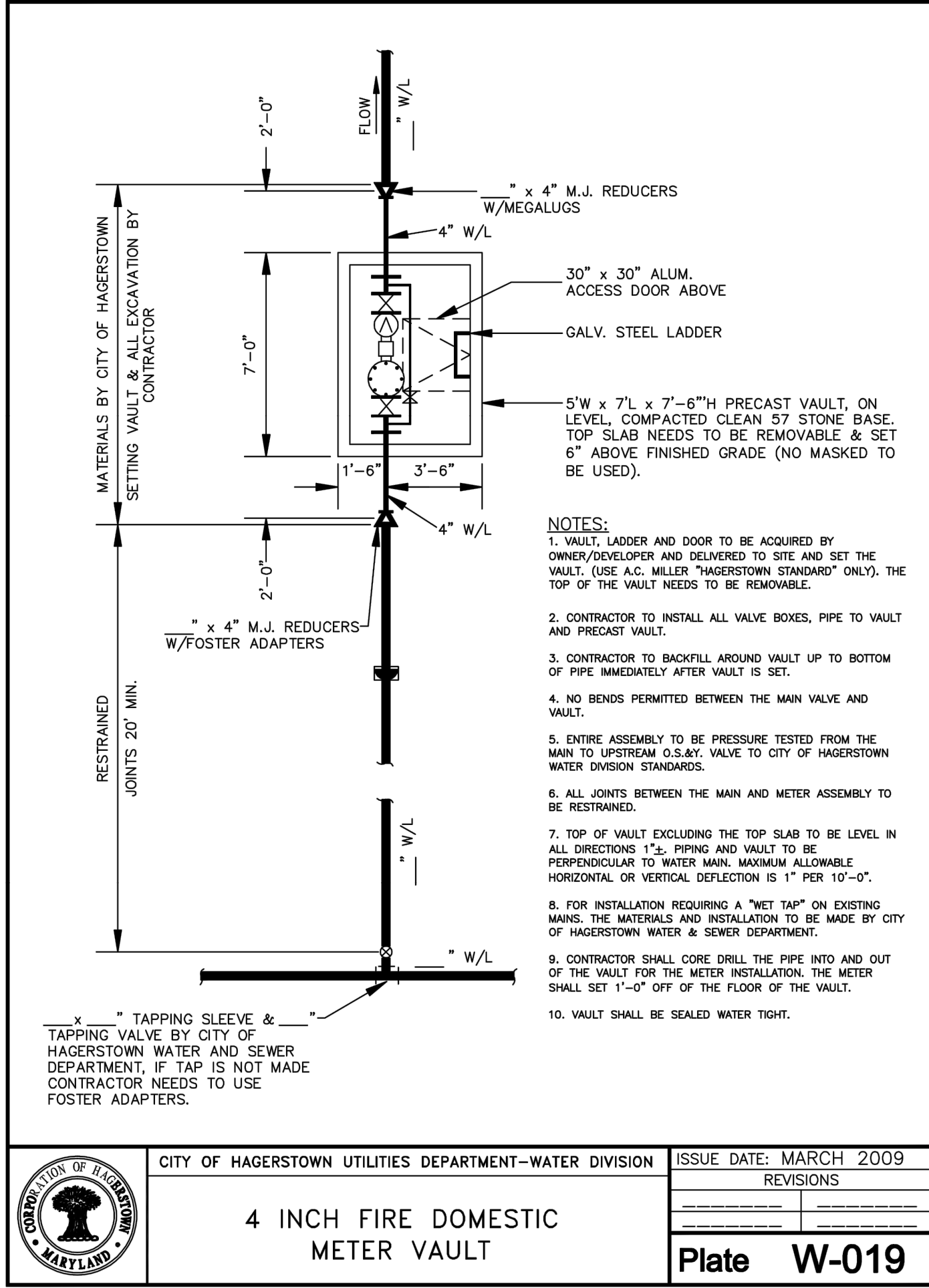
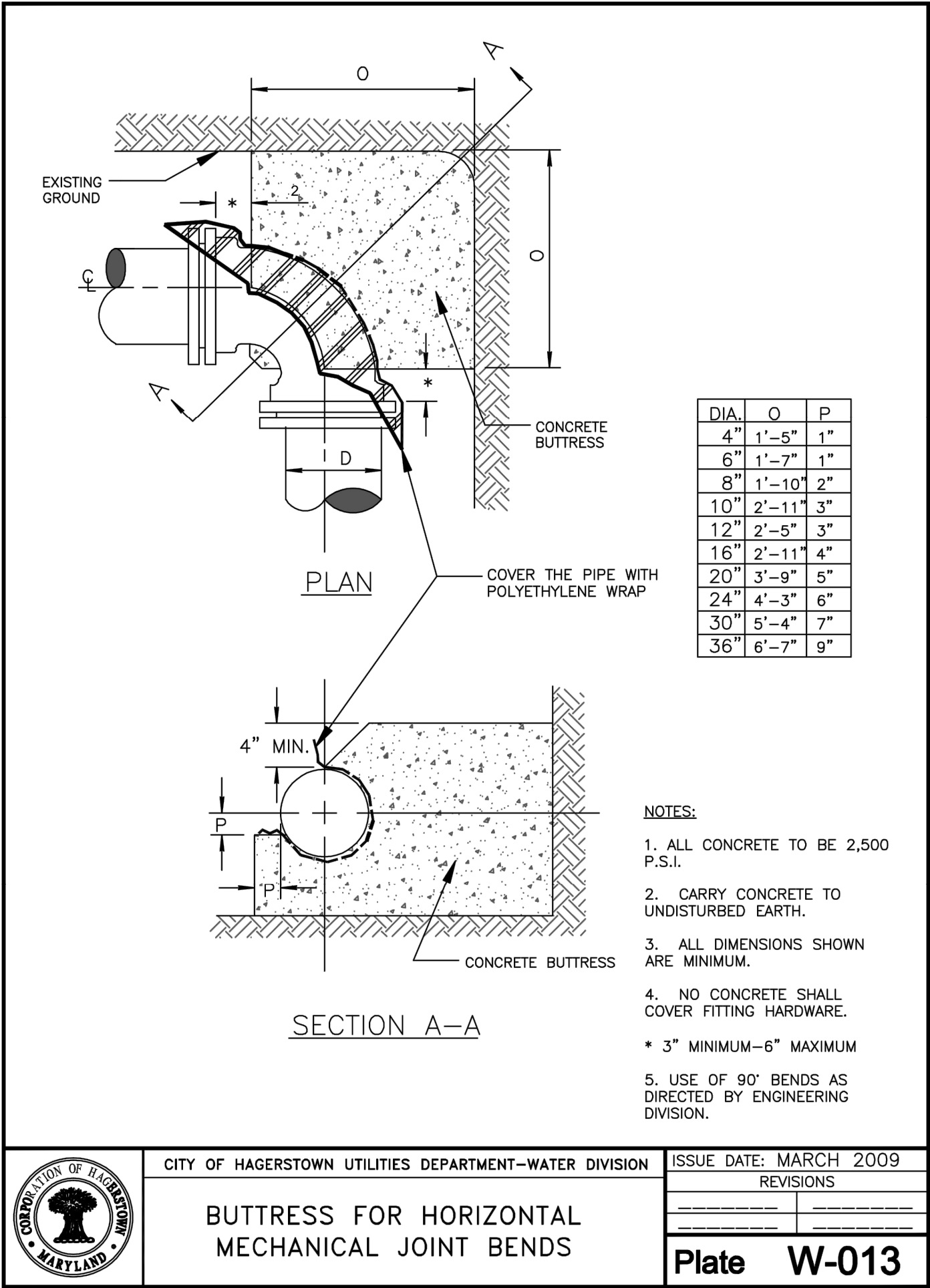
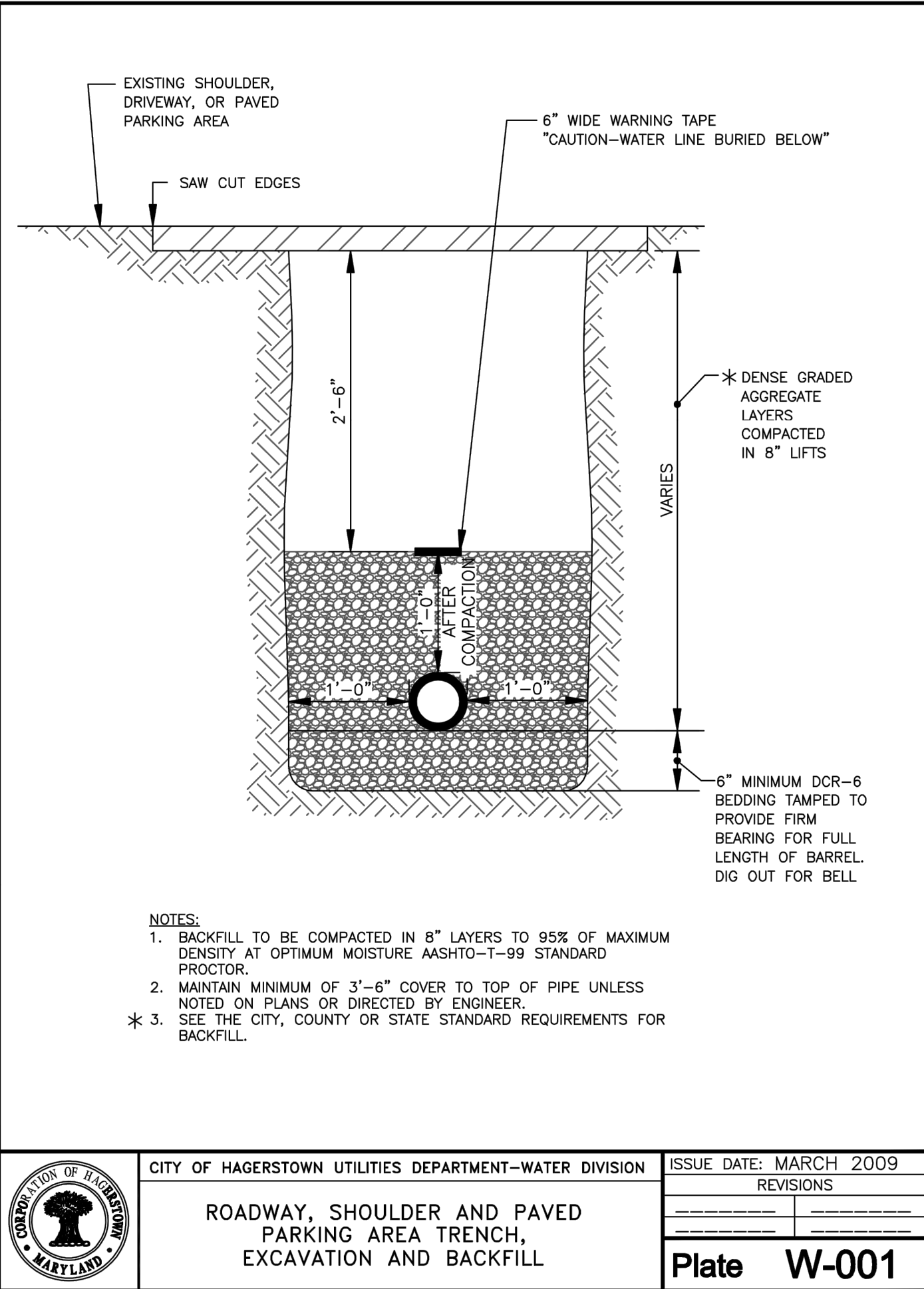
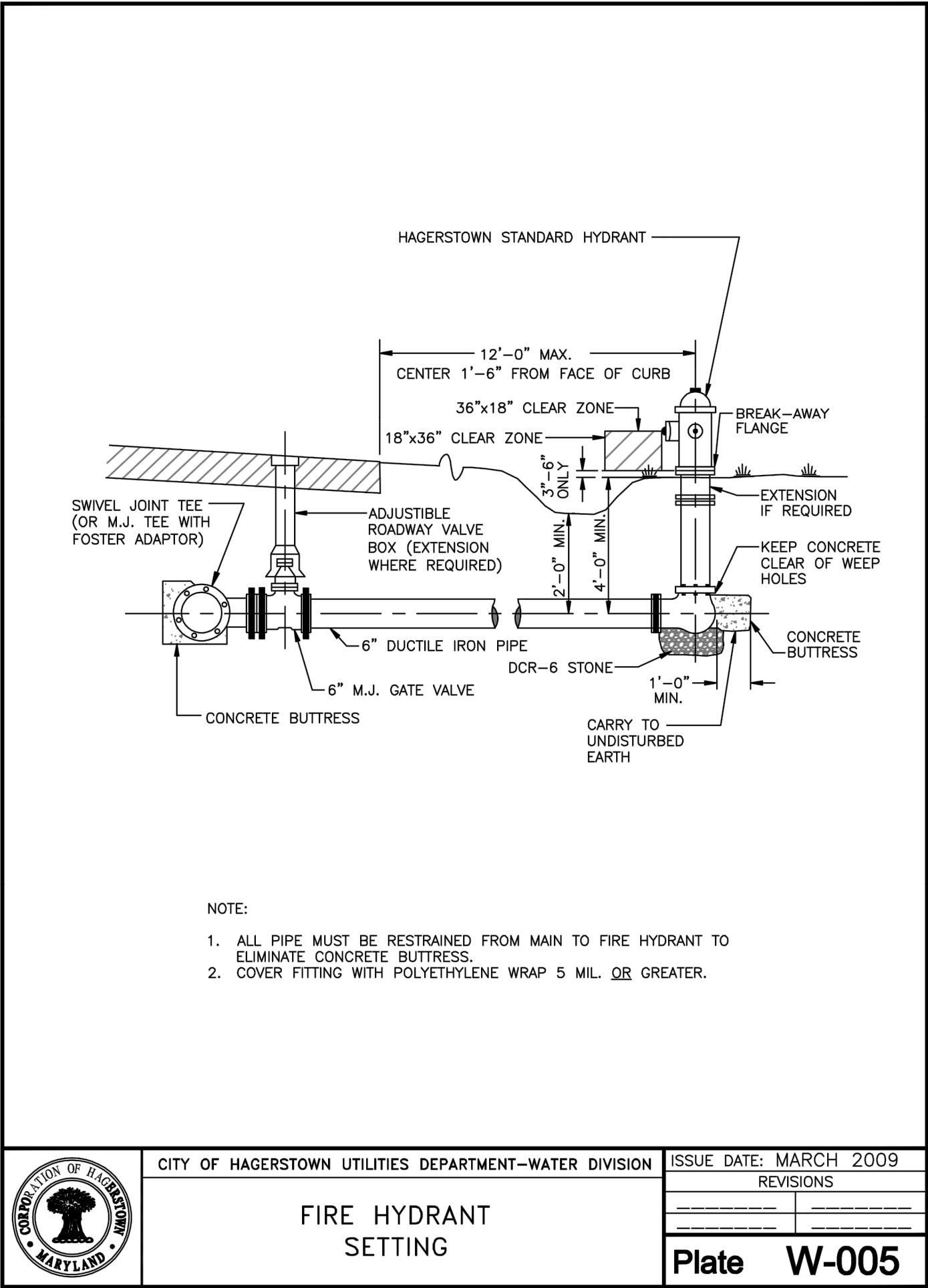
CONSTRUCTION DETAILS

SHEET NUMBER

C-901

REVISION 2 - 3/1/2024

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025



CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

MDOT SHA STANDARD DETAILS NOTES:

THE FOLLOWING MDOT SHA STANDARDS ARE REQUIRED FOR THIS PROJECT:

- MD-358.01 - STANDARD TYPE F ENDWALL METAL OR CONCRETE ROUND PIPE
- MD-368.01 - STANDARD CONCRETE END SECTION ROUND CONCRETE PIPE
- MD-374.05 - STANDARD WRM INLET
- MD-374.31 - STANDARD COG INLETS
- MD-374.41 - STANDARD COS INLETS

FOR ALL SHA STANDARDS REFERRED TO ON THE PLANS THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSED AT:

<http://apps.roads.maryland.gov/businesswitha/bizstdsspecs/desmanualstdpub/publicationsonline/ohd/bookstd/index.asp>

PROFESSIONAL CERTIFICATION

I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 5197, EXPIRATION DATE: 12/12/2025

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	11/6/2023	COUNTY COMMENTS	DT	AH
2	3/1/2024	COUNTY COMMENTS	AH	KK

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PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: CND5-0

SITE PLAN SET SP-23-024

FOR

HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
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MD@BohlerEng.com

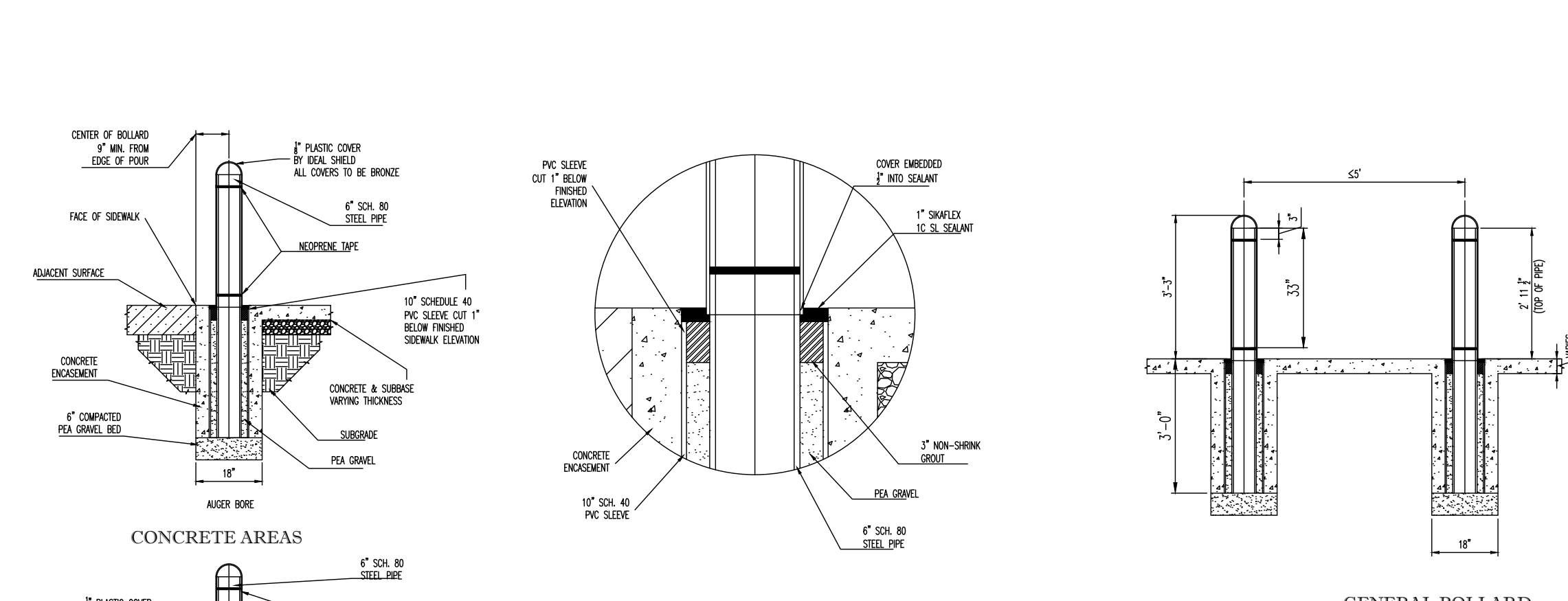


SHEET TITLE SP-23-024

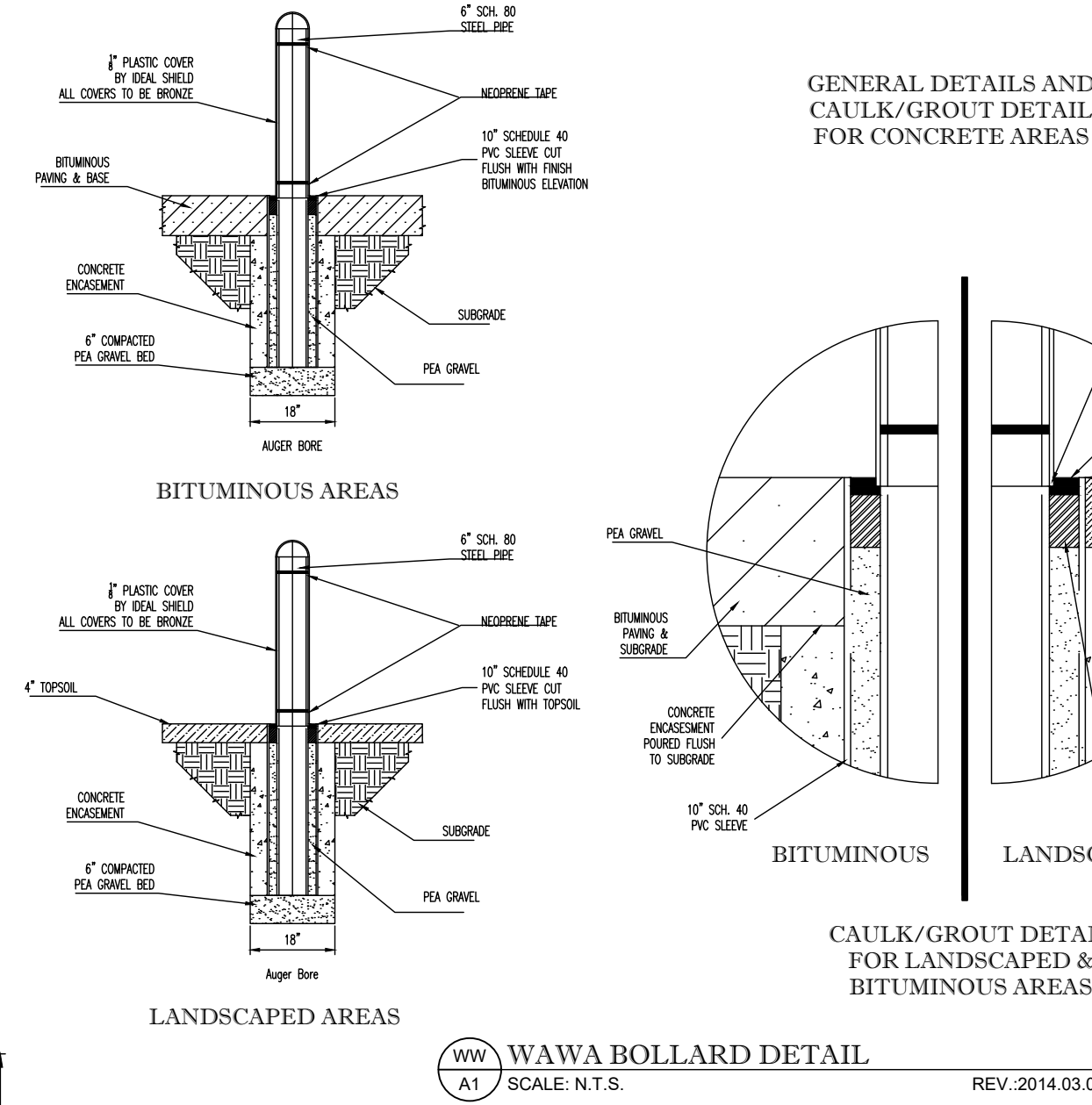
CONSTRUCTION DETAILS

SHEET NUMBER: **C-902**

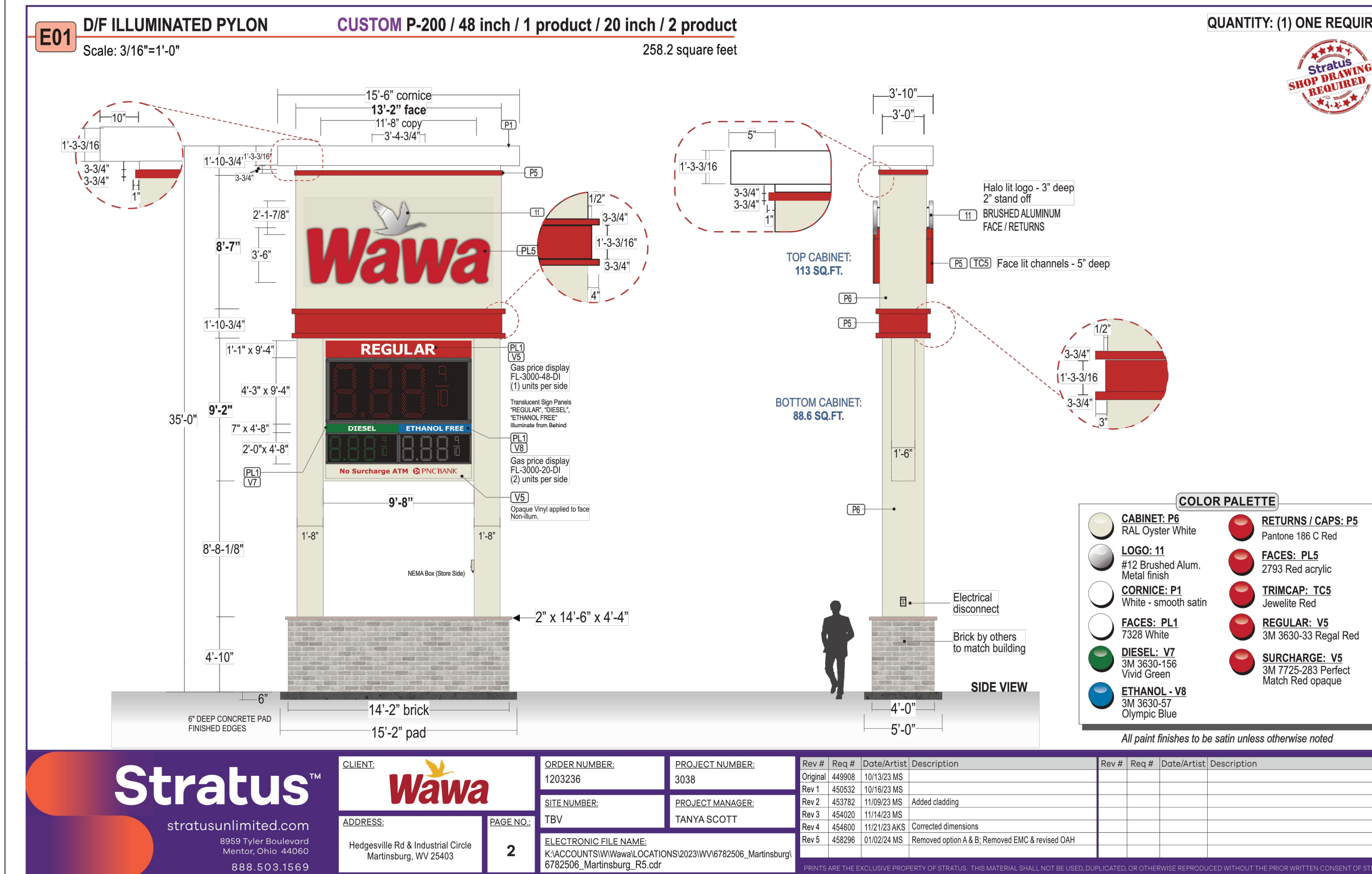
REVISION 2 - 3/1/2024



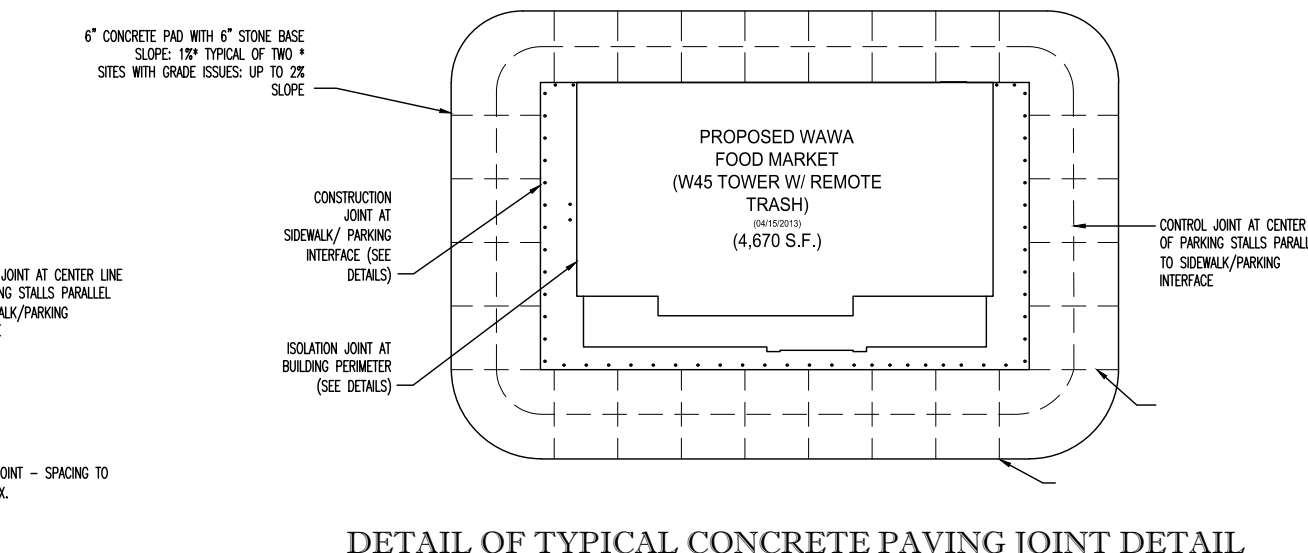
GENERAL BOLLARD DIMENSIONS AND SPACING AROUND BUILDING



CAULK/GROUT DETAIL FOR LANDSCAPED & BITUMINOUS AREAS

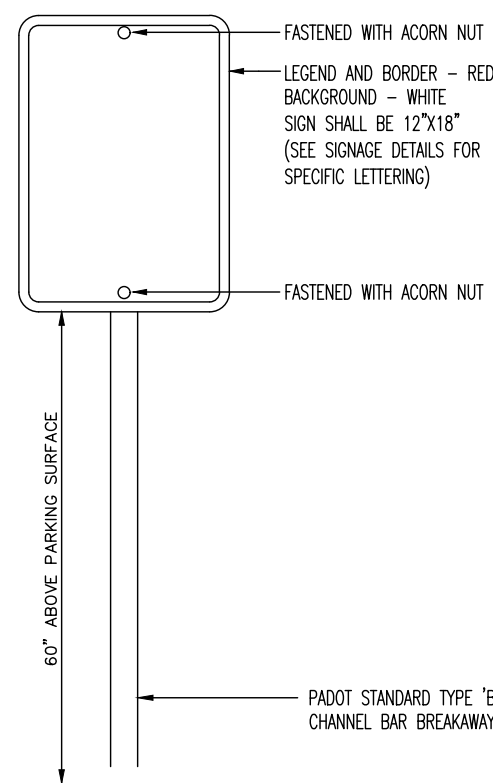


QUANTITY: (1) ONE REQUIRE



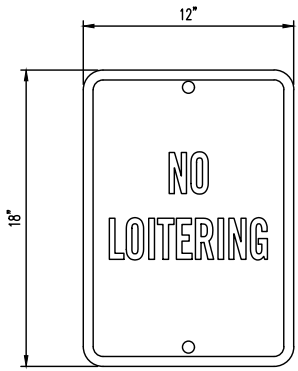
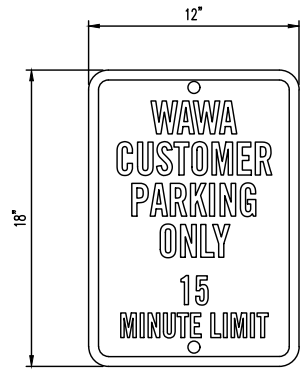
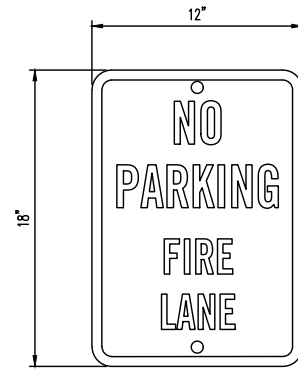
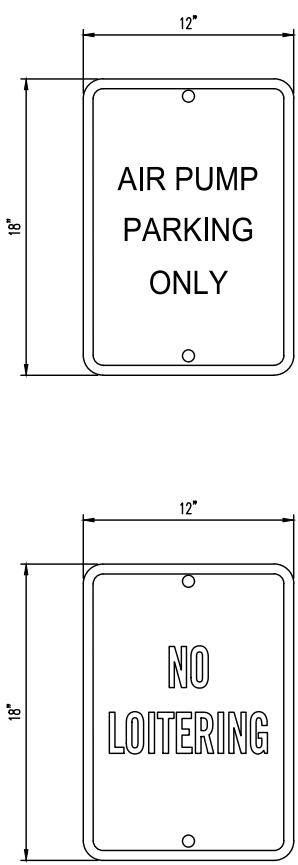
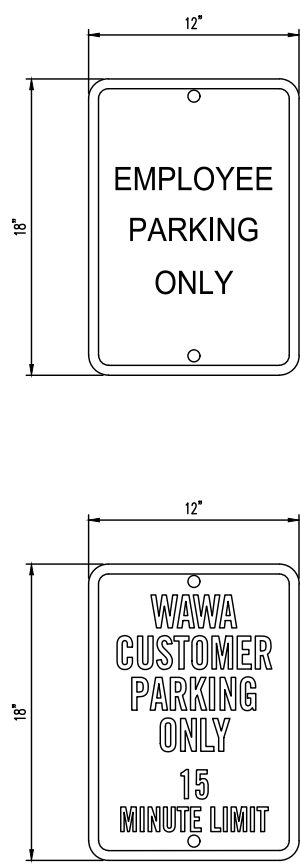
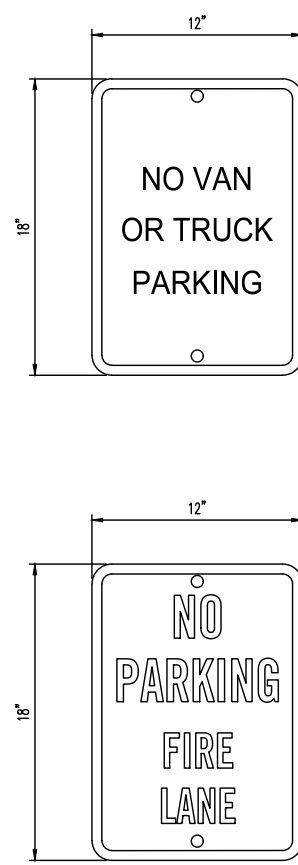
PROJECT NUMBER:	3038
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PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 51977, EXPIRATION DATE: 12/12/2025

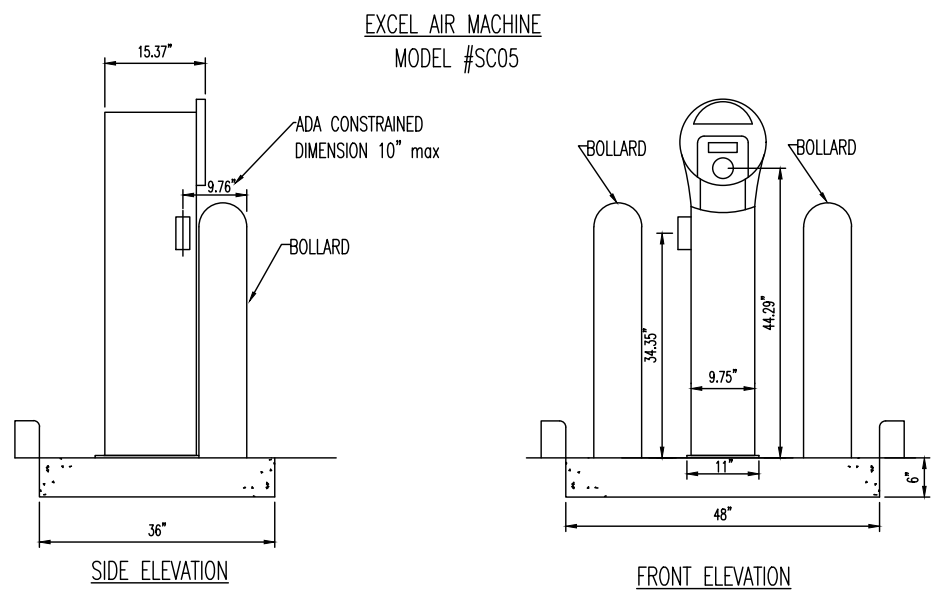


- NOTES:
- 1) POST MOUNTED SIGNS SHALL BE TYPE B CHANNEL BAR POSTS AND SHALL CONFORM TO PADOT "TRAFFIC CONTROL SIGNING STANDARDS" TC-8702B SHEET 8 THRU 11 OF 11. APPROPRIATE POSTS SHALL BE SELECTED BASED ON THE SIZE OF THE SIGN USING THE SELECTION TABLES CONTAINED THEREIN.
 - 2) SIGN INSTALLATION SHALL BE IN ACCORDANCE WITH PADOT "TRAFFIC CONTROL SIGNING STANDARDS" TC-8702B SHEETS 8 THRU 11 OF 11, AS AMENDED.
 - 3) SEE CIVIL PLANS FOR EXACT LOCATION, TYPE AND SIZE OF SIGNS. ALL REGULATORY (R SERIES), SIGNS SHALL CONFORM TO THE PADOT "HANDBOOK OF APPROVED SIGNS", PUBLICATION 238A, AS AMENDED, UNLESS OTHERWISE SPECIFIED.
 - 4) SIGNS SHALL BE SETBACK 2.0' FROM CURB/RAILS OR OTHER OBSTRUCTIONS AS MEASURED FROM THE FACE/EDGE OF THE SIGN.
 - 5) ALL SIGNS SHALL BE INSTALLED WITH ACORN NUT FASTENERS.

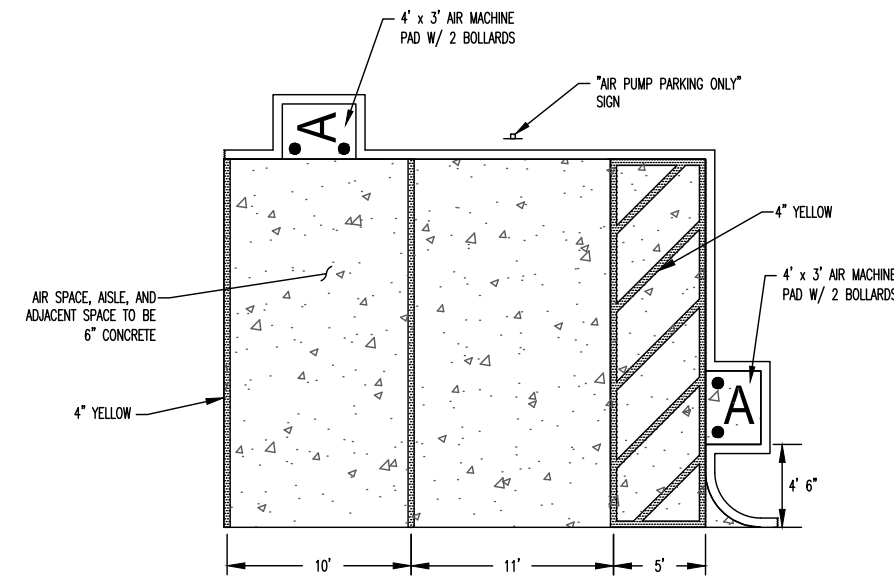
WAWA SPECIFIC SIGN MOUNTING DETAIL
T2 SCALE: N.T.S.



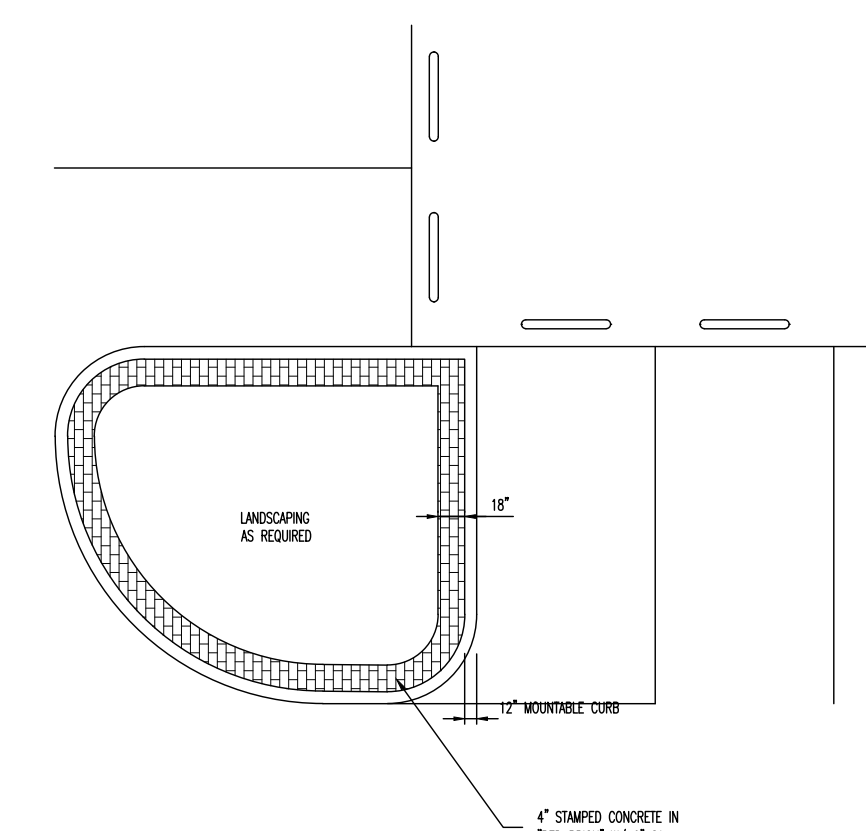
SIGN LETTERING DETAILS
T3 SCALE: N.T.S.



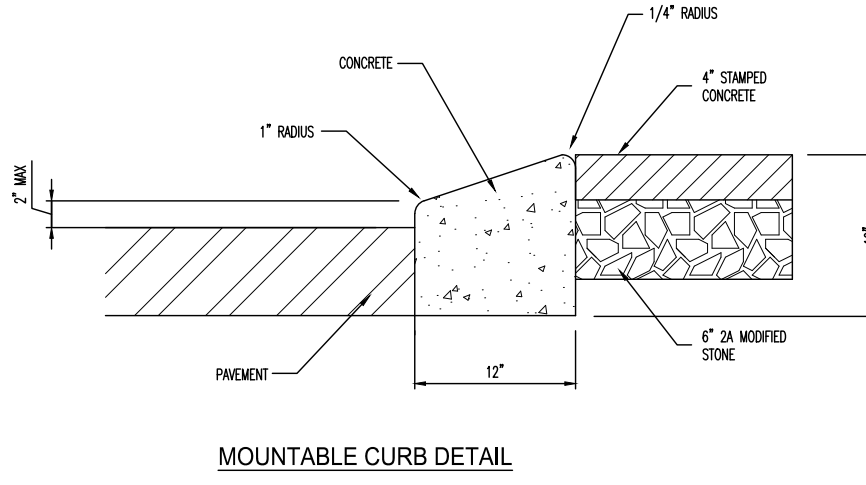
AIR PUMP STAND
A4 SCALE: N.T.S.



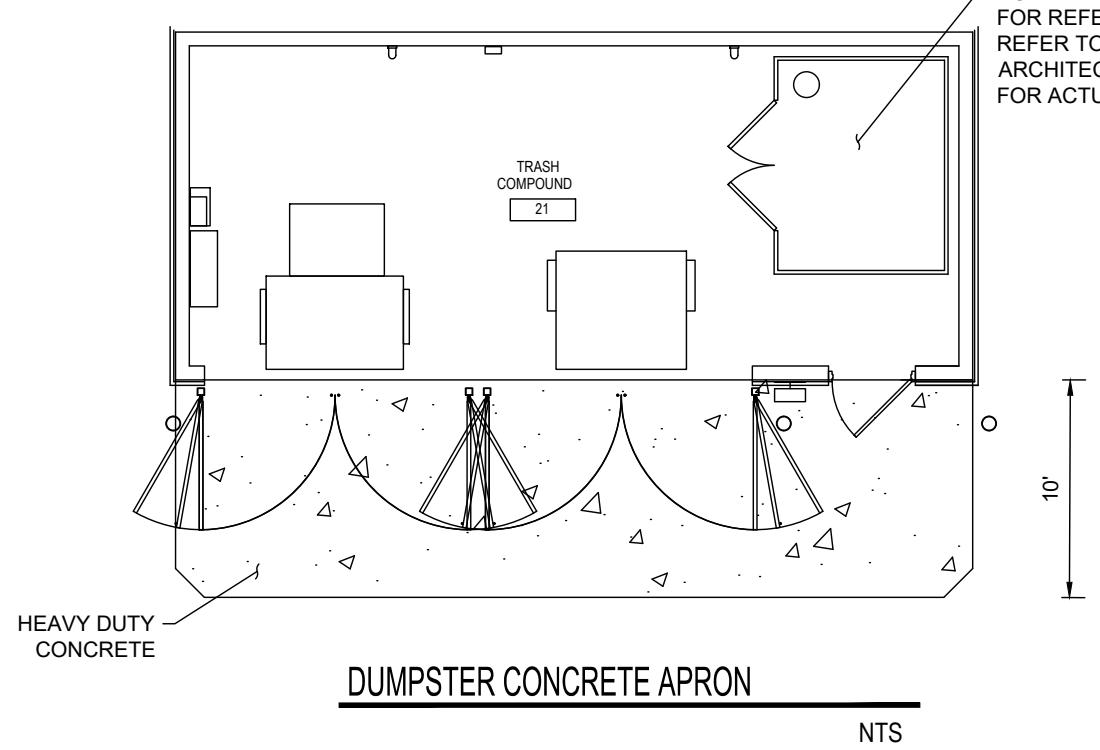
AIR PARKING SPACE DETAIL
T8 SCALE: N.T.S.



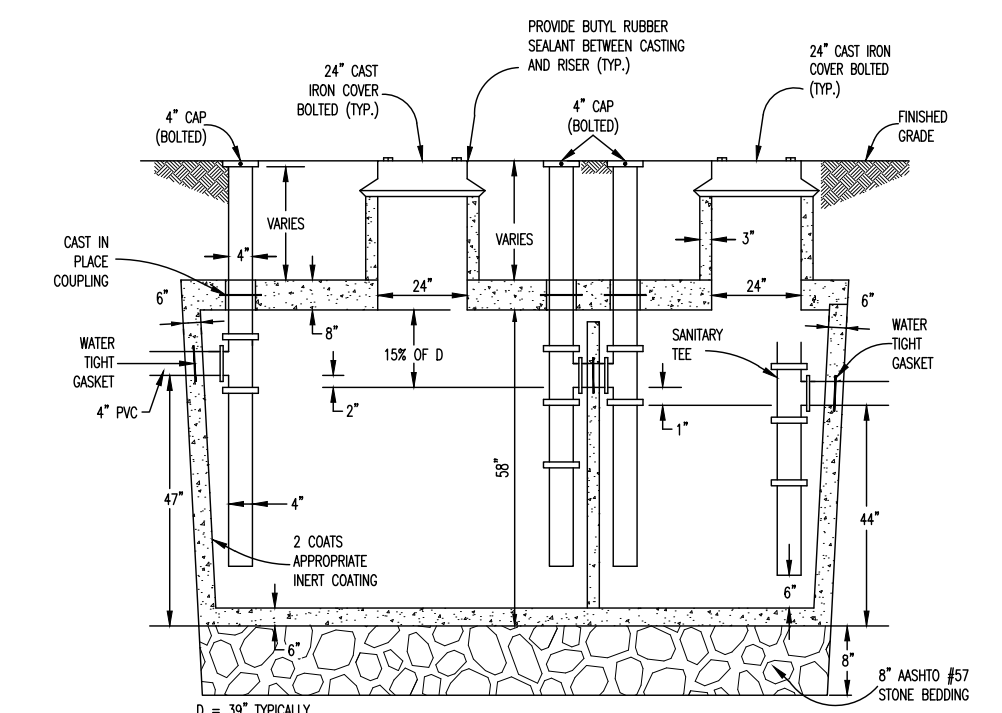
CORNER ISLAND DETAIL
P15 SCALE: N.T.S.



STAMPED CONCRETE DETAIL
P14 SCALE: N.T.S.

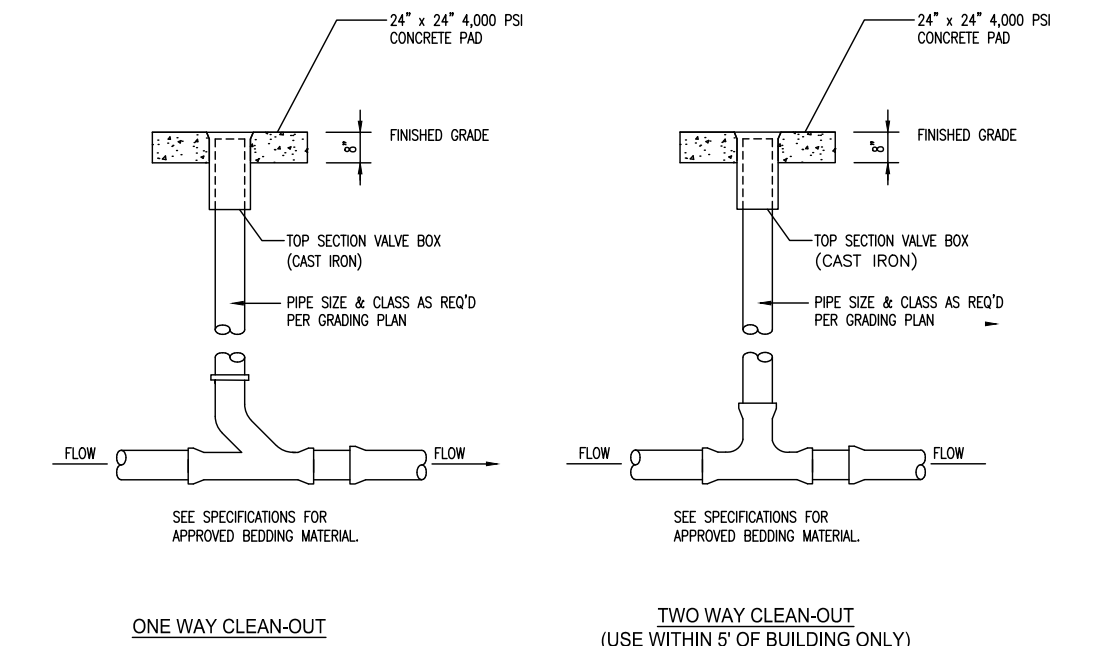


DUMPSTER CONCRETE APRON
NTS

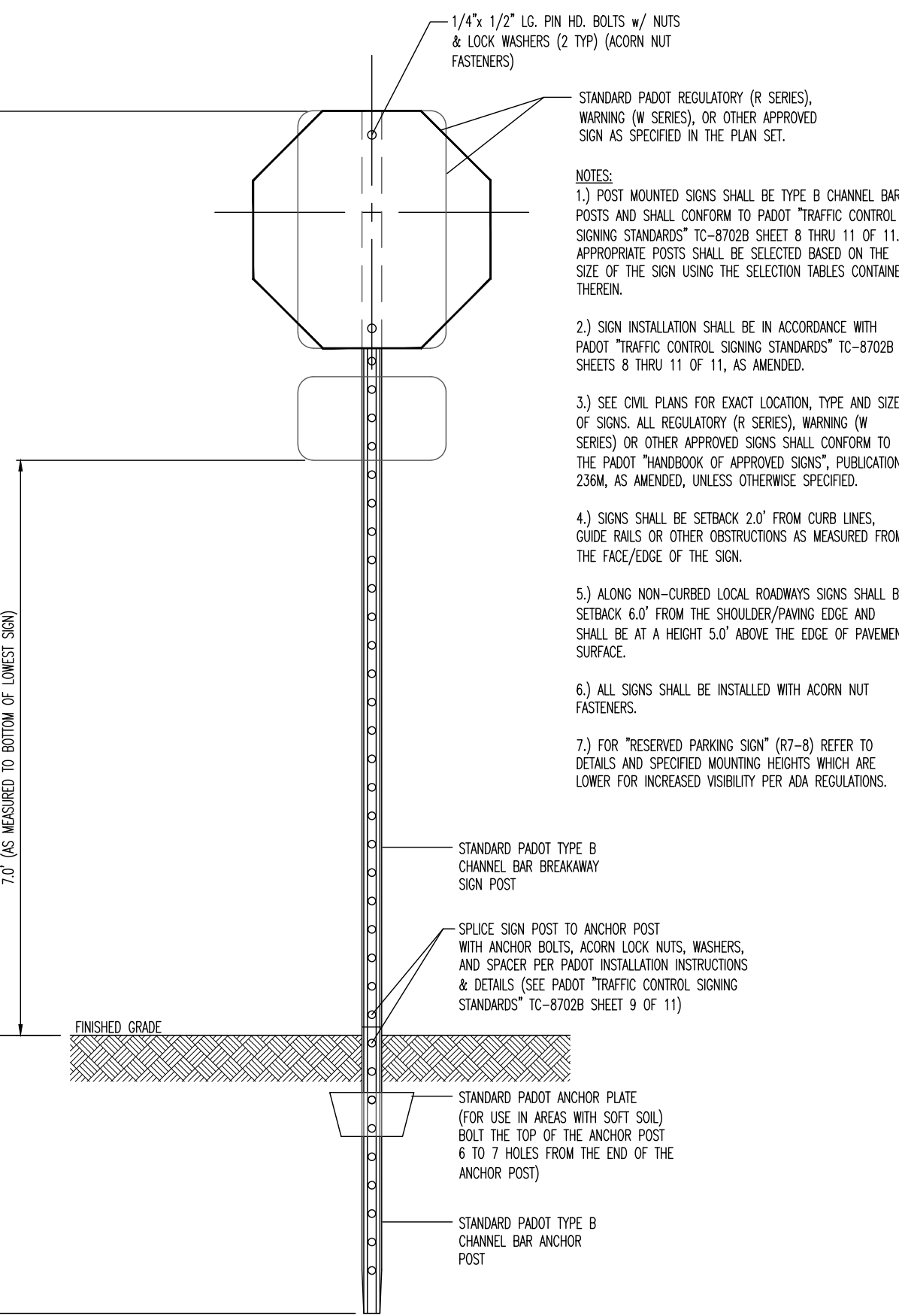


- ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 6" FROM THE BOTTOM OF THE GREASE TRAP. TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION.
- TANK IS 5000 PSI CONCRETE-STEEL REINFORCED (Ø 28 DAYS) CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2, ASTM A630 AND A630.
- DIMENSION: 151" INTERIOR/ 163" EXTERIOR LENGTH x 72" INTERIOR/ 84" EXTERIOR WIDTH
- NOTES:
- 1) WHEN LOCATED IN DRIVEWAYS OR PAVED AREAS, GREASE TRAP TO BE DESIGNED FOR APPROPRIATE LOAD BEARING CONDITIONS. GREASE TRAP SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.
 - 2) ALL PIPE PENETRATIONS SHALL BE WATER TIGHT.
 - 3) GREASE TRAP SHALL BE PROVIDED WITH GAS-TIGHT MANHOLE COVERS, IN ACCORDANCE WITH TOWNSHIP STANDARD SPECIFICATIONS.
 - 4) PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH 5000 PSI.
 - 5) EXTERIOR CONCRETE SURFACES BELOW GRADE SHALL HAVE 2 COATS OF COAL TAR EPOXY.
 - 6) SPECIFIC SEALANT DETAIL AT CONCRETE RISER TO CONCRETE VAULT INTERFACE SHALL BE WATER TIGHT, AT A MINIMUM, THE JOINT SHALL BE SEALED WITH BUTYL RUBBER SEALANT (KENT SEAL #2 OR APPROVED EQUIVALENT) AND THE EXTERIOR OF THE JOINT SHALL BE SEALED WITH NON-SHRINK GROUT IN CONFORMANCE WITH THE TOWNSHIP STANDARD GREASE TRAP DETAIL.
 - 7) TANK SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING FOR 24 HRS. TO SOAK, THEN TOPPED OFF, AND THEN WATCHED FOR 24 HRS. NO DROP IN WATER IS ALLOWED.
 - 8) CAST IRON SHALL BE BOLTED TO CONCRETE WITH WASTIC TAPE (KENT SEAL OR APPROVED EQUIVALENT) SEALANT.
 - 9) MAXIMUM EARTH COVER=5.0', HS-20 LOADING.
 - 10) INLET AND OUTLET EQUIPPED WITH PIPE SEALS.

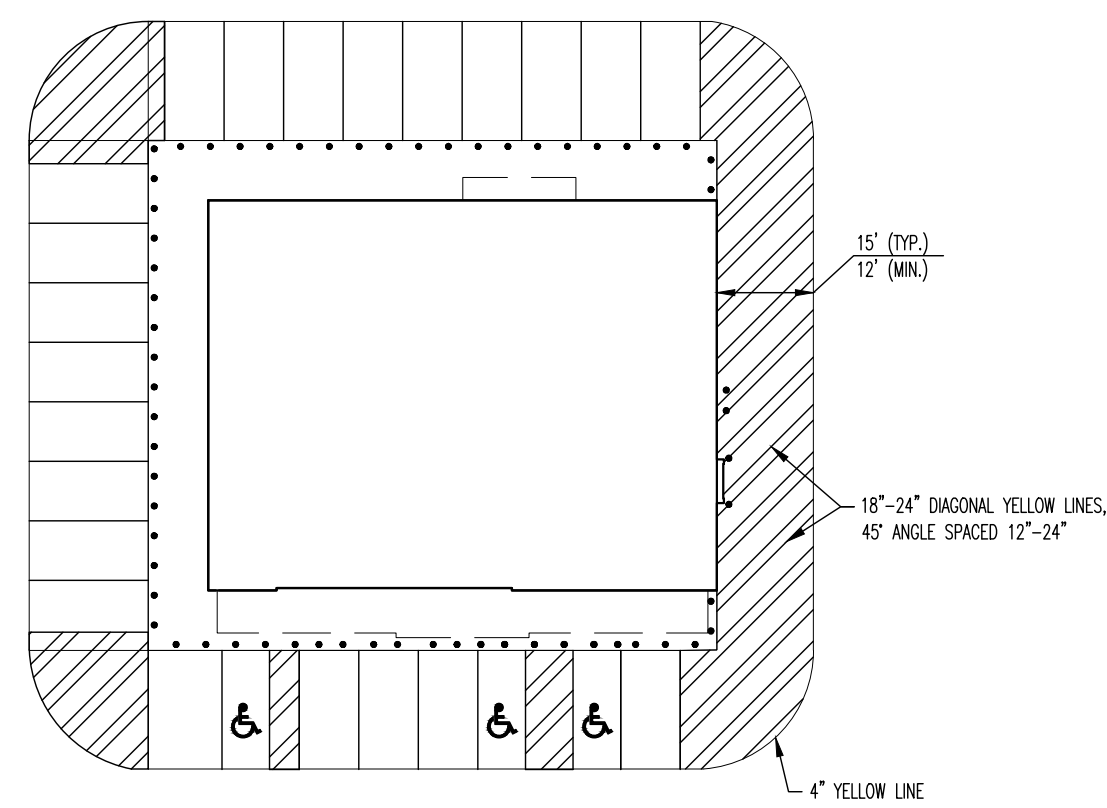
GREASE TRAP - 1500 GALLON (2 COMPARTMENT) TANK
X1 SCALE: N.T.S.



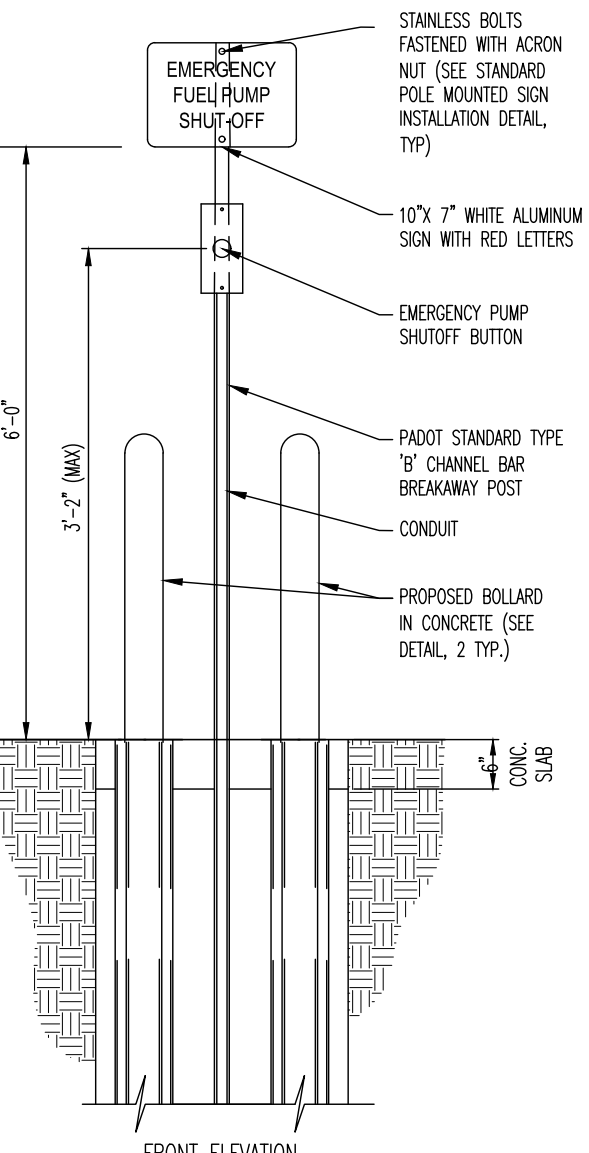
TYPICAL CLEANOUT DETAIL
S2 SCALE: N.T.S.



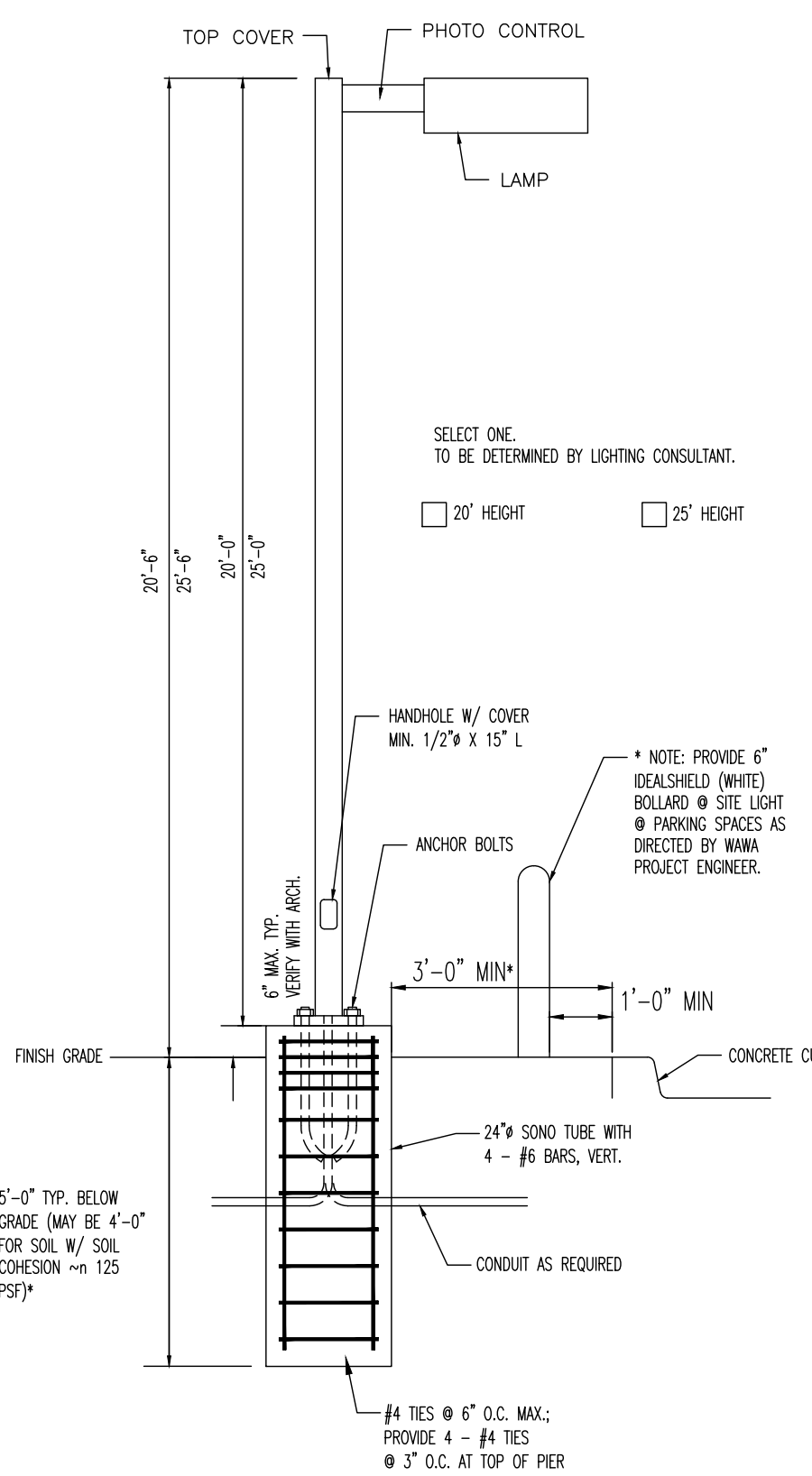
STANDARD POLE MOUNTED SIGN INSTALLATION DETAIL
T1 SCALE: N.T.S.



LOADING ZONE STRIPING DETAIL
T6 SCALE: N.T.S.



EMERGENCY PUMP SHUTOFF DETAIL
A5 SCALE: N.T.S.



LIGHT POLE WITH STANDARD ANCHORING DETAIL
NTS

*NOTE: INCREASE TO 6' BELOW GRADE FOR POLE HEIGHT GREATER THAN 20' (MAY BE REDUCED TO 5' FOR SOIL WITH SOIL COHESION \geq 125 PSF)

NOTE: THIS DETAIL IS NOT CERTIFIED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS CERTIFIED BY STRUCTURAL ENGINEER.

NOTE: THE ABOVE DETAILS ARE PROVIDED BY OTHERS. BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THIS DETAIL AND/OR STRUCTURAL FAILURE.

PROFESSIONAL CERTIFICATION
I, KEITH A. KOSCHER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 5197, EXPIRATION DATE: 12/12/2025

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	11/6/2023	COUNTY COMMENTS	DT	DT
2	3/1/2024	COUNTY COMMENTS	AH	AH
			KK	KK

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MDA220191.00
DRAWN BY: ALH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SITE

SITE PLAN SET SP-23-024

FOR
HAGERSTOWN PENNSYLVANIA, LLC

PROPOSED CONVENIENCE CENTER & GAS STATION

13610 PENNSYLVANIA AVENUE
HAGERSTOWN WASHINGTON COUNTY, MD

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

STATE OF MARYLAND
KEITH A. KOSCHER
REGISTERED PROFESSIONAL ENGINEER
NO. 5197

SHEET TITLE SP-23-024

WAWA SITE DETAILS

SHEET NUMBER:
C-904

REVISION 2 - 3/1/2024



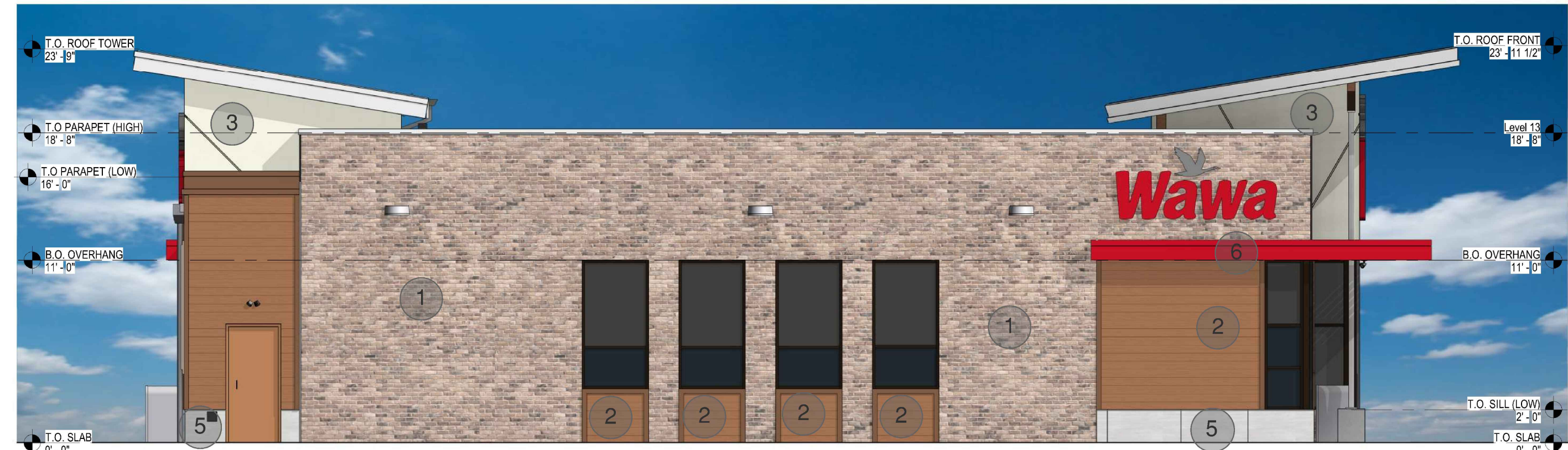
1 FRONT ELEVATION
3/16" = 1'-0"

GLAZING CALCS - FRONT ELEVATION: CLEAR GLAZING - 462 SQFT SPANDREL GLASS - 77 SQFT TOTAL - 541 SQFT TOTAL BUILDING - 1,753 SQFT GLAZING - 541/1,753 = 31%	MATERIAL CALCS - FRONT ELEVATION: BRICK - 301 SQFT COMPOSITE - 383 SQFT STUCCO/EIFS - 446 SQFT TILE - 82 SQFT TOTAL - 1,212 SQFT
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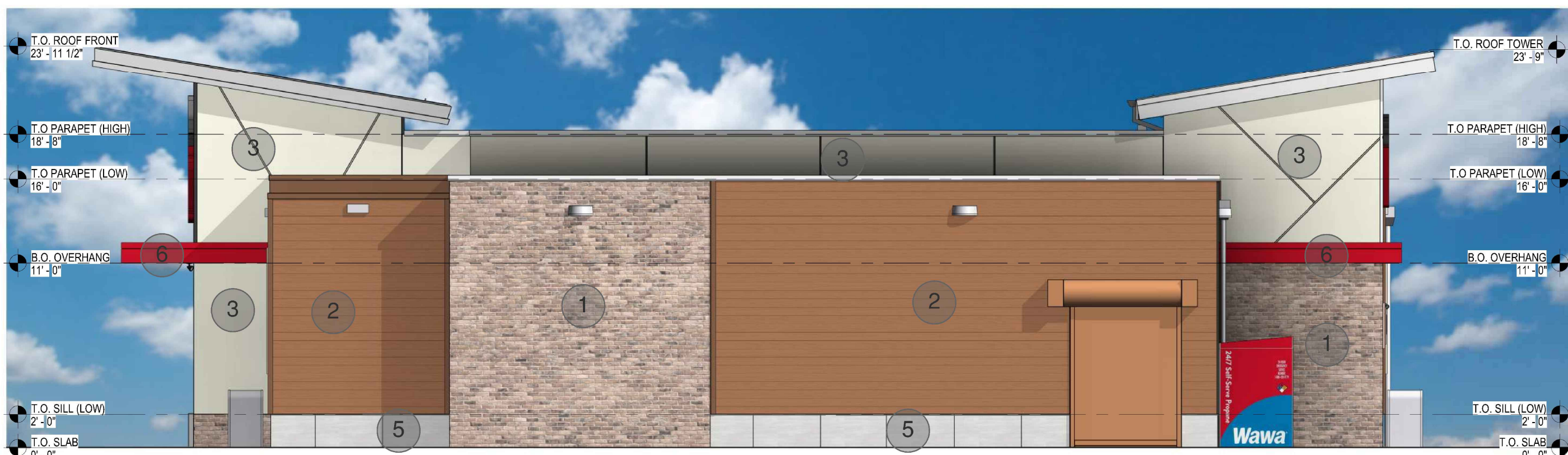
2 REAR ELEVATION
3/16" = 1'-0"

GLAZING CALCS - REAR ELEVATION: CLEAR GLAZING - 68 SQFT SPANDREL GLASS - 136 SQFT TOTAL - 204 SQFT TOTAL BUILDING - 1,712 SQFT GLAZING - 204/1,712 = 30%	MATERIAL CALCS - REAR ELEVATION: BRICK - 576 SQFT COMPOSITE - 543 STUCCO/EIFS - 320 SQFT TILE - 69 SQFT - 5% TOTAL - 1,508 SQFT
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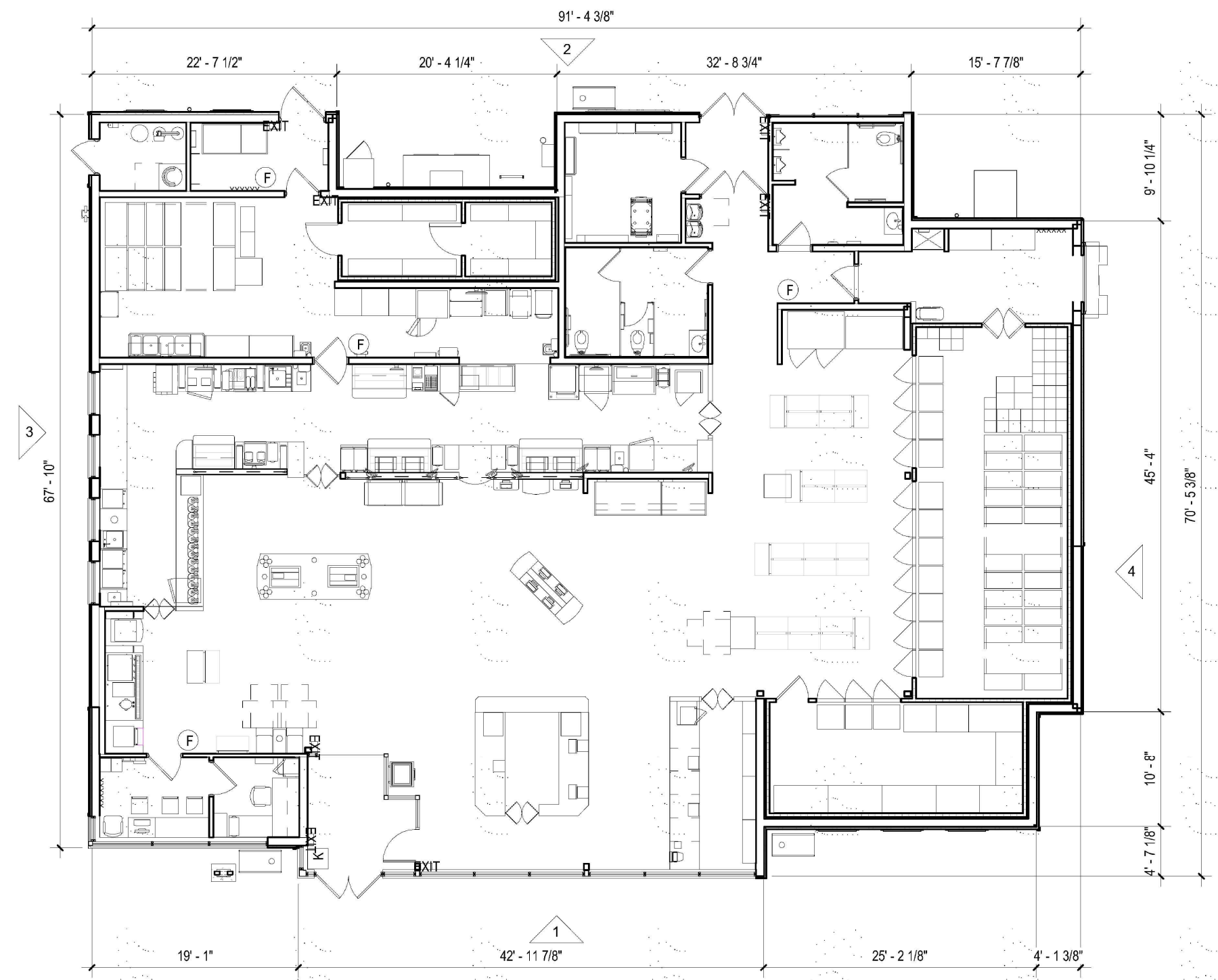
3 SIDE ELEVATION
3/16" = 1'-0"

GLAZING CALCS - SIDE ELEVATION: CLEAR GLAZING - 110 SQFT SPANDREL GLASS - 46 SQFT TOTAL - 156 SQFT TOTAL BUILDING - 1,337 SQFT GLAZING - 300/1,337 = 22%	MATERIAL CALCS - SIDE ELEVATION: BRICK - 806 SQFT COMPOSITE - 224 SQFT STUCCO/EIFS - 88 SQFT TILE - 63 SQFT TOTAL - 1,181 SQFT
---	---



4 SIDE ELEVATION
3/16" = 1'-0"

MATERIAL CALCS - SIDE ELEVATION: BRICK - 363 SQFT COMPOSITE - 552 SQFT STUCCO/EIFS - 334 SQFT TILE - 87 SQFT TOTAL - 1,336 SQFT
--



5 FLOOR PLAN
1" = 10'-0"

MATERIALS:



EXTERIOR FINISH PACKAGE: BRICK-1

HFA

WAWA U59FB-R

Wawa

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LICENSE NO. S1917, EXPIRATION DATE: 12/12/2025

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/6/2023	COUNTY COMMENTS	DT
2	3/1/2024	COUNTY COMMENTS	AH
			KK



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MDA220191.00
DRAWN BY: AJH
CHECKED BY: BMM / KAK
DATE: 07/28/2023
CAD ID: SITE

PROJECT:

SITE PLAN SET
SP-23-024

FOR

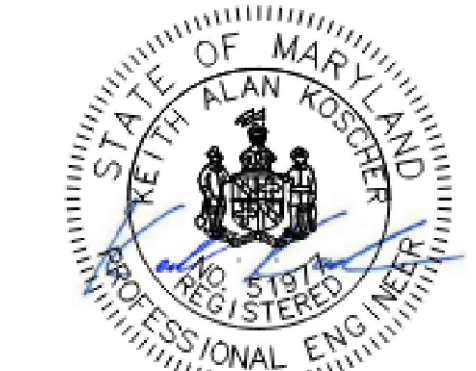
HAGERSTOWN
PENNSYLVANIA,
LLC

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WASHINGTON COUNTY, MD

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16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com



SHEET TITLE SP-23-024

BUILDING
ELEVATIONS

SHEET NUMBER:

C-905

REVISION 2 - 3/1/2024

Plan Review Projects Initialized - February 01, 2024 - February 29, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
FS-24-001	Forest Stand Delineation	In Review	13-Feb-24	ELDRIDGE FRAZIER, JR	RAVEN ROCK ROAD SMITHSBURG, MD 21783	R LEE ROYER & ASSOCIATES	FRAZIER ELDRIDGE LAVADA JR
FS-24-002	Forest Stand Delineation	Revisions Required	15-Feb-24	FOREST STAND DELINEATION PLAN FOR GOLDEN WOOD - LAPPANS ROAD	18126 LAPPANS ROAD FAIRPLAY, MD 21733	APEX LAND SOLUTIONS LLC	EBERLY LYNN EUGENE EBERLY SUZANN LEHMAN
SIM24-006	IMA	Active	02-Feb-24	20322 TOWNSEND ROAD RO	20322 TOWNSEND ROAD ROHRERSVILLE, MD 21779	FREDERICK SEIBERT & ASSOCIATES	POULIN KARL POULIN KELLY
SIM24-007	IMA	Active	05-Feb-24	GRUMBACKER LANE LLC		FREDERICK SEIBERT & ASSOCIATES	10319 GRUMBACKER LANE LLC
SIM24-008	IMA	Active	13-Feb-24	MERITUS SCHOOL OF OSTEOPATHIC MEDICINE GRADUATE STUDENT HOUSING	19513 INNOVATION MD	HRG	BOARD OF EDUCATION
SIM24-009	IMA	Active	16-Feb-24	14103 MAPLE RIDGE HK	14103 MAPLE RIDGE HANCOCK, MD 21750	DEAN METCALFE JR.	CARDONE DOMINIC CARDONE CHRISTINE
SIM24-010	IMA	Active	20-Feb-24	PATTON WAREHOUSING & LOGISTICS	18525 BREEZE HILL DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	PATTON HAGERSTOWN LLC
SIM24-011	IMA	Active	26-Feb-24	5550 AMOS REEDER ROAD BO	5550 AMOS REEDER ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	KING DAVID W & KING MARIE L
SIM24-012	IMA	Active	26-Feb-24	19163 LAPPANS ROAD BO	19163 LAPPANS ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	MMM RE LLC MCCLEARY MARCIE
SIM24-013	IMA	Requested	26-Feb-24	4654 COURIE DOON LANE RO		FOX & ASSOCIATES INC	COURIE DOON FARM LLC
SIM24-014	IMA	Active	26-Feb-24	7608 SHEENANDOAH COURT BO	7608 SHEENANDOAH COURT BOONSBORO, MD 21713	TRIAD ENGINEERING	OLIVER JOHN R CO INC
SIM24-015	IMA	Active	26-Feb-24	11835 SAINT PAUL ROAD CS	11835 SAINT PAUL ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	
TWN-24-002	Improvement Plan	In Review	20-Feb-24	SHARPSBURG HISTORICAL PARK	139 EA MAIN STREET SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	MAYOR AND COUNCIL OF SHARPSBURG OF SHARPSBURG
TWN-24-003	Improvement Plan	In Review	22-Feb-24	DIPIETRO & SON, LLC - SEWER LINE	7700 OLD NATIONAL PIKE BOONSBORO, MD 21713		DIPIETRO AND SON LLC
PP-24-002	Preliminary Plat	In Review	06-Feb-24	ELMWOOD FARM REVISED SECTION 5D		FOX & ASSOCIATES INC	Felix's Folly LLC
S-24-003	Preliminary-Final Plat	Approval Letter Issued	20-Feb-24	LOTS 63-A AND 63-B, TAMMANY HEIGHTS NORTH	16712 CUSTER COURT WILLIAMSPORT, MD 21795	TRIAD ENGINEERING	OLIVER MARK B
S-24-004	Preliminary-Final Plat	In Review	27-Feb-24	RONALD & JOYLINE HORST, LOT 1	17811 REIFF CHURCH ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	HORST RONALD J & HORST JOYLIN F
PWA2024-002	PWA	Active	14-Feb-24	MERITUS SCHOOL OF OSTEOPATHIC MEDICINE GRADUATE STUDENT HOUSING	1311 YALE DRIVE HAGERSTOWN, MD 21742	HRG	BOARD OF EDUCATION
SP-16-034.R02	Redline Revision	Signatures Complete	20-Feb-24	DAILY DRIVE AUTO SALES	DALEY ROAD W/S	FREDERICK SEIBERT & ASSOCIATES	MARTIN CARLIN & CHERYL 14204 DALEY ROAD

Plan Review Projects Initialized - February 01, 2024 - February 29, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SI-24-003	Simplified Plat	In Review	21-Feb-24	TRUNNELL PARCELS A&B	11417 PINE TREE LANE WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	TRUNNELL MICHAEL S
SP-24-003	Site Plan	In Review	16-Feb-24	SHEETZ- SPIELMAN ROAD	15919 SPIELMAN ROAD WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	BOWMAN SPIELMAN LLC
SP-24-004	Site Plan	In Review	23-Feb-24	YOURTEE TANK SITE PLAN APPLICATION	20304 YOURTEE ROAD KNOXVILLE, MD 21758		BRUNSWICK MAYOR & COUNCIL
GP-24-002	Site Specific Grading Plan	In Review	20-Feb-24	PARCEL 1 "BOWMAN NORTH, LLC"	18400 PRECISION PLACE HAGERSTOWN, MD 21742		MORGAN PROPERTY INVESTMENTS LLC
SGP-24-009	Standard Grading Plan	Approved	12-Feb-24	STASH AND JULIE NICODEMUS	9540 STOTTLEMYER ROAD BOONSBORO, MD 21713		
SGP-24-010	Standard Grading Plan	Approved	12-Feb-24	SHEHADI, DAVID	12706 SPICKLER ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	FREEMAN JARED MICHAEL FREEMAN KATRINA LEE
SGP-24-011	Standard Grading Plan	In Review	15-Feb-24	LAURA RIDER	14646 CEARFOSS PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	RIDER BENJAMIN D RIDER LAURA ANN ELIZABETH
SGP-24-012	Standard Grading Plan	Approved	16-Feb-24	SHENANDOAH ESTATES LOT 7 (KNIGHT)	7609 SHENANDOAH COURT BOONSBORO, MD 21713	TRIAD ENGINEERING	OLIVER JOHN R CO INC
SGP-24-013	Standard Grading Plan	Approved	21-Feb-24	MATTHEW SPRECHER	20734 TROVINGER MILL ROAD HAGERSTOWN, MD	FREDERICK SEIBERT & ASSOCIATES	SPRECHER BARRY E SPRECHER PENNY SUE
SGP-24-014	Standard Grading Plan	Approved	28-Feb-24	MARK WILHIDE	7301 MONROE ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	WILHIDE MARK
SWCP24-001	Stormwater Concept Plan	Approved	02-Feb-24	MYERS MANAGEMENT			ROWLAND ON HOLDINGS LLC
SWCP24-002	Stormwater Concept Plan	In Review	15-Feb-24	GOLDEN WOOD - LAPPANS ROAD	18126 LAPPANS ROAD FAIRPLAY, MD 21733		EBERLY LYNN EUGENE EBERLY SUZANN LEHMAN
SSWP24-008	Stormwater Standard Plan	Approved	12-Feb-24	STASH AND JULIE NICODEMUS	9540 STOTTLEMYER ROAD BOONSBORO, MD 21713		
SSWP24-009	Stormwater Standard Plan	Approved	12-Feb-24	SHEHADI, DAVID	12706 SPICKLER ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	FREEMAN JARED MICHAEL FREEMAN KATRINA LEE
SSWP24-010	Stormwater Standard Plan	In Review	15-Feb-24	LAURA RIDER	14646 CEARFOSS PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	RIDER BENJAMIN D RIDER LAURA ANN ELIZABETH
SSWP24-011	Stormwater Standard Plan	Approved	20-Feb-24	MATTHEW SPRECHER	20734 TROVINGER MILL ROAD HAGERSTOWN, MD	FREDERICK SEIBERT & ASSOCIATES	SPRECHER BARRY E SPRECHER PENNY SUE
SSWP24-012	Stormwater Standard Plan	Approved	28-Feb-24	MARK WILHIDE	7301 MONROE ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	WILHIDE MARK
TIS-24-002	Traffic Impact Study	Pending	07-Feb-24	SMITHSBURG SHEETZ	11840 MAPLEVILLE ROAD SMITHSBURG, MD 21783	STREET TRAFFIC STUDIES, LTD	BOWMAN CAVETOWN LLC
TYU-24-003	Two Year Update	In Review	14-Feb-24	GATEWAY BUSINESS PARK	WEST SIDE OF THE SHARPSBURG PIKE	FREDERICK SEIBERT & ASSOCIATES	WASHCO ARNETT FARM LLC
TYU-24-004	Two Year Update	In Review	20-Feb-24	BOWMAN TRUCK TERMINAL	WEST SIDE OF GOVERNOR LANE BLVE	FREDERICK SEIBERT & ASSOCIATES	BOWMAN DONALD M JR
GPT-24-008	Type 2 Grading Plan	Approved	09-Feb-24	GAVER MEADOWS LOT 81	4 BESSY NAOMI DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-24-009	Type 2 Grading Plan	Approved	09-Feb-24	GAVER MEADOWS LOT 83	5 BESSY NAOMI DRIVE HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	DAVID C LYLES DEVELOPERS LLC

Plan Review Projects Initialized - February 01, 2024 - February 29, 2024

Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-00504	Entrance Permit	In Progress	05-Feb-24	STICK BUILT HOME	SI-09-012 5550 AMOS REEDER ROAD, TRACT 4	EBY WILLIAM	KING DAVID W & KING MARIE L
2024-00574	Entrance Permit	In Progress	09-Feb-24	STICK BUILT HOME	S-23-038 20734 TROVINGER MILL ROAD, LOT 3	MAJOR LEAGUE BUILDERS	
2024-00581	Entrance Permit	In Progress	09-Feb-24	STICK BUILT HOME	S-18-035 9367 ALLOWAY DRIVE, LOT 773		WESTFIELDS INVESTMENT LLC
2024-00653	Entrance Permit	Approved	14-Feb-24	STICK BUILT HOME	S-06-191 12706 SPICKLER ROAD, LOT 6	OLIVER HOMES INC	David E. Shehadi
2024-00674	Entrance Permit	Approved	15-Feb-24	COMMERCIAL	SP-23-010 18525 BREEZE HILL DRIVE		
2024-00713	Entrance Permit	Approved	16-Feb-24	STICK BUILT HOME	S-07-023 7609 SHENANDOAH COURT, LOT 7	OLIVER HOMES INC	OLIVER JOHN R CO INC
2024-00737	Entrance Permit	In Progress	20-Feb-24	SEMI-DETACHED HOME	S-21-031 19651 LAVENDER LANE, LOT 115		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00742	Entrance Permit	In Progress	20-Feb-24	SEMI-DETACHED HOME	S-21-031 19653 LAVENDER LANE, LOT 116		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00754	Entrance Permit	In Progress	20-Feb-24	STICK BUILT HOME	MAPLE RIDGE ROAD		CARDONE DOMINIC CARDONE CHRISTINE
2024-00764	Entrance Permit	In Progress	21-Feb-24	STICK BUILT HOME	S-22-040 9540 STOTTLEMYER ROAD, LOT 18A	CONRAD HOMES, INC.	
2024-00770	Entrance Permit	In Progress	21-Feb-24	SEMI-DETACHED HOME	S-21-031 19627 LAVENDER LANE, LOT 107		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00778	Entrance Permit	In Progress	21-Feb-24	SEMI-DETACHED HOME	S-21-031 19629 LAVENDER LANE		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00857	Entrance Permit	Approved	26-Feb-24	STICK BUILT HOME	S-23-041 7359 MOUNTAIN LAUREL ROAD, LOT 2		THACKER DEWEY RALPH THACKER BETTY JEAN
2024-00892	Entrance Permit	Review	28-Feb-24	FOREST HARVEST	END OF SAMPLES MANOR DRIVE, 0.25 MILES NORTH OF INTERSECTION OF HARPERS FERRY ROAD AND CHESTNUT GROVE ROAD		BROWN RACHEL M TRUSTEE OTZELBERGER ROGER L JR TRUSTEE
2024-00524	Entrance Permit	Approved	06-Feb-24	FOREST HARVEST			MARTIN INEZ S
2024-00726	Entrance Permit	Review	19-Feb-24	STICK BUILT HOME	PP-22-001 19302 COPPER CANYON DRIVE		P OVERLOOK LLLP
2024-00525	Grading Permit	Pending	06-Feb-24	INDUSTRIAL	SP-21-023 22523 LEITERSBURG SMITHSBURG ROAD	RK&K	WASH CO COMMISSIONERS BOARD OF
2024-00582	Grading Permit	In Progress	09-Feb-24	WESTFIELDS LOT #773	S-18-035 9367 ALLOWAY DRIVE, LOT 773		WESTFIELDS INVESTMENT LLC
2024-00587	Grading Permit	Approved	09-Feb-24	GRADING FOR GAVER MEADOWS LOT 81	TWN-19-007 4 BESSY NAOMI DRIVE, LOT 81		DAVID C LYLES DEVELOPERS LLC
2024-00588	Grading Permit	Approved	09-Feb-24	GRADING FOR GAVER MEADOWS LOT 83	TWN-19-007 5 BESSY NAOMI DRIVE, LOT 83		DAVID C LYLES DEVELOPERS LLC
2024-00655	Grading Permit	Approved	14-Feb-24	STICK BUILT HOME	S-06-191 12706 SPICKLER ROAD, LOT 6	OLIVER HOMES INC	David E. Shehadi
2024-00673	Grading Permit	In Progress	15-Feb-24	MATTHEW SPRECHER	S-23-038 20734 TROVINGER MILL ROAD, LOT 3		SPRECHER BARRY E SPRECHER PENNY SUE
2024-00679	Grading Permit	In Progress	15-Feb-24	LAURA RIDER	S-23-014 14646 CEARFOSS PIKE, LOT 1		RIDER BENJAMIN D RIDER LAURA ANN ELIZABETH
2024-00739	Grading Permit	In Progress	20-Feb-24	ROSEHILL MANOR LOT #115	S-21-031 19651 LAVENDER LANE, LOT 115		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00745	Grading Permit	Approved	20-Feb-24	STICK BUILT HOME	S-07-023 7609 SHENANDOAH COURT, LOT 7	OLIVER HOMES INC	OLIVER JOHN R CO INC

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-00765	Grading Permit	In Progress	21-Feb-24	STICK BUILT HOME	S-22-040 9540 STOTTLEMYER ROAD, LOT 18A	CONRAD HOMES, INC.	
2024-00773	Grading Permit	In Progress	21-Feb-24	ROSEHILL MANOR LOT #107	S-21-031 19627 & 19629 LAVENDER LANE, LOTS 107 & 108		DAN RYAN BUILDERS MID ATLANTIC INC
2024-00868	Grading Permit	In Progress	27-Feb-24	STICK BUILT HOME	S-21-037 21115 MOUSETOWN ROAD, LOT 2		MICHELE A MCKENNA REVOCABLE TRUST MCKENNA MICHELE A TRUSTEE
2024-00877	Grading Permit	Pending	27-Feb-24	COMMERCIAL	SP-23-024 13610 PENNSYLVANIA AVENUE, WAWA MARKET		HAGERSTOWN PENNSYLVANIA LLC
2024-00578	Grading Permit	Review	09-Feb-24	RICHARD ALLEN COLLINS JR.	SP-23-010 18525 BREEZE HILL DRIVE		PATTON HAGERSTOWN LLC
2024-00792	Grading Permit	Review	21-Feb-24	GRADING FOR DEMOLITION	18400 PRECISION PLACE HAGERSTOWN, MD 21742		MORGAN PROPERTY INVESTMENTS LLC
2024-00819	Non-Residential New Construction Permit	Review	22-Feb-24	COMMERCIAL	SP-23-024 13610 PENNSYLVANIA AVENUE, WAWA MARKET		HAGERSTOWN PENNSYLVANIA LLC
2024-00720	Utility Permit	Approved	18-Feb-24	ANTIETAM BROADBAND	14729 BLAIRS VALLEY ROAD	ANTIETAM CABLE TELEVISION INC	STAMBACH SYLVIA H & CARTER MORRIS
2024-00826	Utility Permit	Approved	23-Feb-24	POTOMAC EDISON	LICKING CREEK ROAD	POTOMAC EDISON	EBY CHAD EBY GENEVA
2024-00849	Utility Permit	Approved	26-Feb-24	ANTIETAM BROADBAND	WALNUT POINT ROAD	ANTIETAM CABLE TELEVISION INC	ARTZ CAROL E
2024-00870	Utility Permit	Review	27-Feb-24		NORTH EDGEWOOD DRIVE, MOUNT AETNA ROAD, ROBINWOOD DRIVE		MERITUS MEDICAL CENTER INC
2024-00900	Utility Permit	Approved	28-Feb-24	POTOMAC EDISON	11326 MARNBERN ROAD	POTOMAC EDISON	GEARHART LLOYD W JR
2024-00498	Utility Permit	Approved	05-Feb-24	ANTIETAM BROADBAND	9234 JORDAN ROAD	ANTIETAM CABLE TELEVISION INC	WELTY LARRY E
2024-00500	Utility Permit	Approved	05-Feb-24	ANTIETAM BROADBAND	10205 MAR ROCK DRIVE	ANTIETAM CABLE TELEVISION INC	SMITH DARRELL WARREN SMITH BETH A
2024-00521	Utility Permit	Pending Information	06-Feb-24	COMCAST	WINDING OAK DR, SOUTH POINTE DR, E OAK RIDGE DR, SUNFLOWER DR, BUTTERCUP DR, S FORK DR, SOUTHERN OAK DR, PLANTATION DR, GRAND OAK DR, S VALLEY DR		DOUGLAS SUE
2024-00576	Utility Permit	Approved	09-Feb-24	POTOMAC EDISON	10309 EASTERDAY COURT	POTOMAC EDISON	SHULL DAVID L & IRIS C
2024-00584	Utility Permit	Pending Information	09-Feb-24	COMCAST	GEETING ROAD, RED HILL ROAD		MARKLE ROBERT R
2024-00643	Utility Permit	Approved	13-Feb-24	ANTIETAM BROADBAND	12001 BAYER DRIVE	ANTIETAM CABLE TELEVISION INC	GOMPERS CHRISTINE M

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	Type	Total
LandDev Total by Group: 41	Forest Stand Delineation	2
	IMA	10
	Improvement Plan	2
	Preliminary Plat	1
	Preliminary-Final Plat	2
	PWA	1
	Redline Revision	1
	Simplified Plat	1
	Site Plan	2
	Site Specific Grading Plan	1
	Standard Grading Plan	6
	Stormwater Concept Plan	2
	Stormwater Standard Plan	5
	Traffic Impact Study	1
	Two Year Update	2
	Type 2 Grading Plan	2
Permits Total by Group: 43	Entrance Permit	16
	Grading Permit	15
	Non-Residential New Construction Permit	1
	Utility Permit	11
Total		84