



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION

March 7, 2022, 7:00 PM

CALL TO ORDER AND ROLL CALL

MINUTES

1. February 7, 2022 Planning Commission rezoning public information meeting and regular meeting minutes * **Discussion/Action**

OLD BUSINESS

1. **Recommendation - Sharpsburg Pike Holdings LLC [RZ-21-005]** – Proposed map amendment of 9.92 acres of property located at 10319 Sharpsburg Pike from HI (Highway Interchange) to MXC (Mixed Use Residential and Commercial); Planner: Jennifer Kinzer (on behalf of Travis Allen) * **Discussion/Action**
2. **Recommendation - 19817 Beaver Creek LLC [RZ-21-007]** - Proposed rezoning of 131.28 acres of property located at 19817 Beaver Creek Road and along the west side of Dual Highway; Current Zoning: RM (Residential Multi-family; Proposed Zoning: HI (Highway Interchange) Planner: Jennifer Kinzer (on behalf of Travis Allen) * **Discussion/Action**

NEW BUSINESS

ORDINANCE MODIFICATIONS

1. **Sharpsburg Pike Holdings LLC [OM-22-002]** – Modification to create 4 lots without usable public road frontage (3 lots will be for commercial purposes); Location: 10319 Sharpsburg Pike; Zoning: HI (Highway Interchange); Planner: Lisa Kelly * **Discussion/Action**
2. **Cascade Towne Center Development LLC [OM-22-003]** – Modification to create 2 multi-family lots without public road frontage; Location: 14475 Molleville Drive, Cascade; Planner: Lisa Kelly * **Discussion/Action**

SITE PLANS

1. **Emerald Pointe, Phase 4, Sections 2-6 [PSP-21-001]** – Preliminary Plat/Site Plan for Emerald Pointe PUD; Current Zoning: RS/RT PUD (Residential Suburban/Residential Transition with a Planned Unit Development overlay); Planner: Lisa Kelly * **Discussion/Action**
2. **JT Repairs [SP-21-029]** – Site plan for a proposed truck terminal on an industrial lot; Location: 1454 Oak Ridge Place; Current Zoning: IR (Industrial Restricted); Planner: Lisa Kelly * **Discussion/Action**

OTHER BUSINESS

1. **Update of Staff Approvals** – Jennifer Kinzer * **Information/Discussion**

ADJOURNMENT

UPCOMING MEETINGS

1. Monday, March 21, 2022, 6:30 p.m. – Washington County Planning Commission rezoning public information meeting
2. Monday, March 28, 2022, 6:30 p.m. – Washington County Planning Commission Workshop
3. Monday, April 4, 2022, 7:00 p.m. – Washington County Planning Commission regular meeting

****a t t a c h m e n t s***

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

RZ-21-005 2nd PC Recommendation Summary

A second Public Information Meeting was held last month concerning the proposed rezoning of Lot 7 at the Shops at Sharpsburg Pike development 1/3 mile south of the I-70 interchange totaling 9.92 acres. The applicant is requesting to establish a new Mixed Use Commercial (MXC) floating zone atop the current Highway Interchange (HI) Zoning.

This second meeting was held to consider additional information provided by the applicant concerning their plan to address school capacity under the requirements of the County's Adequate Public Facilities Ordinance. Specifically, the applicant discussed the possibility of making this development Age Restricted, as the South High School District is already over capacity. This information was not available to the public or to the Planning Commission at the August 30 Public Information Meeting. Therefore, the BOCC remanded this application back to the Planning Commission for additional review and to provide another opportunity for public comment.

All other elements of the concept plan remain the same. Previously stated concerns, such as the availability of public water to meet the potential increase in demand from a more intensive land use, remain from the original application as well. Outside agencies did not review or comment on the information now provided by the applicant.

The case is now up for you to reconsider your recommendation to the Board of County Commissioners for their consideration when the matter is later taken up at a public hearing.

Staff is available to answer any questions you may have concerning this rezoning case.

PUBLIC COMMENTS
RECEIVED FOR
SECOND PUBLIC REZONING INPUT MEETING
RZ-21-005
SHARPSBURG PIKE HOLDINGS LLC

From: [Shayla Jackson](#)
To: [Planning Email](#)
Subject: RZ-21-005
Date: Tuesday, January 4, 2022 7:15:50 PM

WARNING!! This message originated from an **External Source**. Please use proper judgment and caution when opening attachments, clicking links, or responding to this email.

Any claims of being a County official or employee should be disregarded.

I am writing to express my strong opposition to RZ-21-005, the proposed rezoning for Sharpsburg Pike Holdings, LLC. As a resident of the Cross Creek neighborhood, I am completely opposed to the addition of multi-family housing that will cause traffic and safety problems, create even more problems with schools that are already over-capacity, destroy local wildlife habitat, and potentially lower the property values of the existing community.

Traffic and safety of pedestrians are major areas of concern. Traffic jams in this area already span the distance of Sharpsburg Pike and the Sharpsburg Pike/Col Henry K Douglas Drive intersection during rush hour.

Schools in the area are already reported at capacity, and the council should not approve multi-family dwellings that creates or exacerbates a situation that will cause school concurrency to fail for this proposal and/or other approved plans.

Wildlife has been observed in the area, and any development will destroy their habitat.

Any planned development of the property should consider the continuing impact to local wildlife habitat.

Property values are likely to go down in the area if multi-family apartments or condominiums are built. Multi family dwellings are inconsistent with the neighborhoods developed in the area.

I urge you to disapprove the proposed rezoning, and from recent meetings and discussions with my neighbors, I know my opinions are shared by many who have not managed to attend meeting or write letters and emails.

Best regards,
Shayla Jackson
Cross Creek Resident

From: ANNAMARIE WISE
To: [Planning Email](#)
Subject: RZ-21-005
Date: Tuesday, November 30, 2021 10:29:54 AM

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Any claims of being a County official or employee should be disregarded.

As residents of the Cross Creek community, we wish to express our objections to the refining plan before the board today. This proposed development will be detrimental to our quality of life, bringing more traffic, noise/light/air pollution, overload our already maxed-out schools. Please vote "NO" and advise the developer to go elsewhere! Thank you!!

Annamarie Wise
Kevin Wines

Sent from my iPhone

From: John Musselman
To: Planning Email
Subject: RZ-21-005
Date: Friday, February 4, 2022 9:26:17 AM

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Any claims of being a County official or employee should be disregarded.

To whom it may concern,

Yet another hearing for this zoning change. I understand what the developer is trying to do and that is make money. I seem to remember reading that there was a law on the books . concerning student capacities at high schools. South High is way over crowded as it is. ANYBODY that has a student in that school in the last ten years knows this. There is already a development that is building like crazy and all those kids are going to be attending South. What will another 400- 600 kids do to South High?

Next Issue, small children. Where will they play? will they end up venturing out onto Sharpsburg Pike?? Will they reduce the speed limit on the Pike? If that is the answer what happens at the I 70 interchange? It is already backed up at prime times of the day.

I live in the cross creek development. I do not want this zoning changed. The kids in the Middle and high school system are going to be the ones that pay the price, If not a small child that wonders out onto the Pike at the wrong time.

Sincerely,

John Musselman

From: DEBRA EBERSOLE
To: Planning Email
Subject: RZ 21-005
Date: Monday, February 7, 2022 3:19:47 PM

WARNING!! This message originated from an External Source. Please use proper judgment and caution when opening attachments, clicking links, or responding to this email.
Any claims of being a County official or employee should be disregarded.

I received a notice of a meeting regarding the same rezoning request meeting I emailed my opposition to back in August. Since I'm not sure if this requires a new email to be part of the record I'm going to state my opposition again.

>

> I am the homeowner and resident of 10527 Bushwillow way.

> I received notice of another meeting to discuss adding the apartments Sharpening Pike between our development and the Aldi and Dunkin Donuts that have been added within the last few years.

> There has already been so much added to this area within the last 5 years, not even including the Walmart that was added. Traffic is horrible already in this area of the Sharpsburg Pike. The Aldi and Sheetz stores have already increased traffic tremendously. It has become very dangerous to travel this area, and there are already additional homes being constructed off of Poffenberger Road, along with the villas by Walmart. The proposal of adding these apartments would add possibly an additional 200+ cars traveling daily in an already over-congested area.

> I have watched my nice area turn into a mess over the years. This time my understanding is that the developer is trying to get around the school overcrowding issue by stating the apartments are adult only, with no way to verify that. Their solution is nothing more than empty words meant to get their desired result. Please deny this request!

>

> Debbie Ebersole

>

>

>> On Aug 30, 2021, at 11:50 AM, Planning Email <askplanning@washco-md.net> wrote:

>> Your comments have been received and will be made part of the official record. Thank you.

>>

>>

>>

>> Debra S. Eckard

>> Administrative Assistant

>> Washington County Dept. of Planning & Zoning

>> 100 W. Washington Street, Suite 2600

>> Hagerstown, MD 21740

>> 240-313-2430

>>

>> **In accordance with direction provided by the Governor's Office related to current COVID-19 events, I am working remotely indefinitely. Email correspondence is encouraged as phone messages may not be returned until our offices are reopened. I apologize for any inconvenience and assure you our Department is working diligently to continue the highest level of service possible during this pandemic event. Thank you**

>>

>> -----Original Message-----

>> From: DEBRA EBERSOLE <djwinst23@aol.com>

>> Sent: Thursday, August 26, 2021 8:32 AM

>> To: Planning Email <askplanning@washco-md.net>

>> Subject: RZ 21-005

>>

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>> Any claims of being a County official or employee should be disregarded.

>>

>> I am the homeowner and resident of 10527 Bushwillow way.

>> I received notice of the meeting to discuss, among other things, adding over 100 apartments off Sharpening Pike between our development and the Aldi and Dublin Donuts that have been added within the last few years.

>> I am 100% opposed to this !!!

>> There has already been so much added to this area within the last 5 years, not even including the Walmart that was added. Traffic is horrible already in this area of the Sharpsburg Pike. The Aldi and now new Sheetz that just opened has already increased traffic tremendously. It has become very dangerous to travel this area, and there are already additional homes being constructed off of Poffenberger Road, along with the villas by Walmart. The proposal of adding 105 apartments would add possibly an additional 200+ cars traveling daily in an already over-congested area.

>> I have watched my nice area turn into a mess over the years. These builders are trying to use every square foot of property to make as much money as possible, without any concern for the area. You should spend some time observing the traffic in the area, and coming off of interstate 70, and then imagine adding 105 more apartments and their residents and cars to it.

>>

>> How many of these apartments proposed will end up being subsidized housing? Do we need more apartments for the families of the prison inmates to move here? The area growing and adding apartments isn't attracting good families from other areas. People are living here that came from the larger cities. You see it in the newspaper articles about crimes in our area all the time. And our County just seems to be providing more and more places for those people to live.

>>

>> Debbie Ebersole

>

From: Hart, Krista
To: Gary Hawbaker
Cc: Planning Email; &County Commissioners
Subject: Re: RZ-21-005 Sharpsburg Pike
Date: Friday, January 7, 2022 12:20:39 PM

Mr Hawbaker,

This email will serve to confirm receipt of your communication.

Thank you,
Krista Hart
County Clerk

On Jan 7, 2022, at 12:07 PM, Gary Hawbaker <g.hawbaker@myactv.net> wrote:

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Planning Commission and Commissioners,

This is to voice my opposition to the request to change 10319 Sharpsburg Pike from HI to MXC.

It was my understanding that one of the goals in zoning is to be consistent so that we don't get areas that have a wide use of different type's properties in a short distance. With that said it appeared that the County intended for Sharpsburg Pike between I-70 and Poffenberger Road is to be developed with non-residential properties.

I would urge all members of the Commission to drive from I-70 to Poffenberger Road and look what properties are there. Fast food, gas stations, grocery store, restaurants and of course the whole Walmart complex.

The county even extended Henry K. Douglas Drive so those type of properties could be developed. This road did open up our quiet Cross Creek Development

although my understanding is once the railroad approves crossing their tracks the county will extend the road so more residential properties can be built.

Cross Creek is a single home development and has been there for over 25 years with low crime and very little intrusion from non-residents. To change the intent of HI to MXC which would add apartments and townhomes doesn't seem logical. This would potentially have a negative effect on Cross Creek residents.

I'm also aware the schools that this complex would send children to are overcrowded and that is proven by looking at the buses that travel past my house every day that are completely full.

Once again I would ask you to take that small drive on Sharpsburg Pike and tell me that a housing complex in the middle of all the other non-residential housing makes sense. Thank You.

Gary Hawbaker
10531 Bushwillow Drive
Hagerstown, MD 21740

From: [Dennis Weaver](#)
To: [Planning Email](#)
Cc: [County Commissioners](#)
Subject: RZ-21-005 - Rezoning of 9+ acres off Sharpsburg Pike
Date: Tuesday, January 4, 2022 11:07:31 AM

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Planning Commission:

I am writing to oppose rezoning request RZ-21-005, regarding property between the existing Cross Creek development and the Sharpsburg Pike.

I own and reside at 18404 Bull Run Drive, where my back yard abuts the property proposed for rezoning from HI to MXC, with a proposal for 105 apartments and a few townhomes. Even before the recent commercial development along Sharpsburg Pike (Walmart, Sheetz, Aldi) traffic in the area was horrendous. The addition of the traffic lights at Poffenberger Road and Col Douglas Drive have helped but the close proximity to the I-70 interchange exacerbates the problem. Additionally, the proposal calls for commercial development on the first floor of one of the two apartment buildings, adding that commercial traffic to the residential traffic increase.

The recent redesign of the I-70/Sharpsburg Pike interchange was poorly planned. One often sits through three traffic-light sequences when coming off I-70 East onto Sharpsburg Pike South. And it is extremely difficult to make a left-hand turn from Rensch Road onto Sharpsburg Pike, particularly around the beginning and end of the work-day. Sharpsburg Pike is a main thoroughfare for workers from south county and from West Virginia headed to and from the Hagerstown area and the I-70 corridor. Adding this proposed dense residential development, bringing more than 200 additional resident vehicles to this section of the Sharpsburg Pike should not occur. Commercial development would bring more traffic as well, but it would presumably be spread over the course of the day rather than concentrated

In addition, as others have pointed out, schools serving this area are over capacity now, and the proposed development will make that problem worse. In addition to overcrowding in these schools, traffic into and out of South Hagerstown High, E. Russell Hicks and Emma K. Doub in the morning and afternoon is abysmal, with an extra lane needed in each direction on Sharpsburg Pike along that entire stretch. This proposed development would add to that problem as well.

I much prefer commercial development on the tract proposed for rezoning as would be allowed under the HI zoning. Give us office buildings, retail, etc, rather than multi-family residential that will definitely reduce our quality of life and our property values - particularly those of us whose properties border this tract.

I suspect that the developer is requesting this change because they are disappointed with the speed at which commercial development has occurred on their property after Walmart was built, but their desire to speed profits should not cost their neighbors.

Thank you for the opportunity to comment on this proposal. I respectfully request that you find the developer's request ill-advised and deny it. At the very least, the remainder of this property should be limited to residential only or commercial only, not a combination that doubles the impact.

Respectfully,
Dennis Weaver
18404 Bull Run Drive
Hagerstown, MD 21740

RZ-21-007 PC Recommendation Summary

Last month, a Public Information Meeting was held concerning the proposed rezoning of two properties totaling 131.28 acres at 19817 Beaver Creek Road. The applicant is contending that a mistake was made during the 2012 Comprehensive Rezoning of the Urban Growth Area in applying the current Residential Multifamily (RM) zoning to these properties. The applicant is requesting the zoning be changed to Highway Interchange (HI).

The primary topic of discussion at the meeting revolved around the development constraints posed by the inability of these properties to connect to public water and sewer. Because these properties fall outside the City's MRGA and are given a Long Term Planned Service Designation (W-5/S-5) in the County's Water and Sewer Plan, the site will not have access to public water and sewer any time in the near future. Therefore, any development pursued at this location will be on well and septic systems.

Both the existing RM zoning, and the requested HI zoning require connection to public water and sewer. The Planning Commission may, however, waive that requirement with input from the Health Department. The requirement to connect to public water was the same for both districts in 2012.

Neither the current RM zoning nor the requested HI zoning is consistent with the 2002 Comprehensive Plan Land Use Plan's recommendation of Low Density Residential for these parcels.

The RM zoning was applied by the Board in 2012 at the recommendation the Urban Growth Area Advisory Committee to facilitate opportunities for multi-family housing development.

Both RM and HI present significant questions as to whether there is adequate existing infrastructure to serve land uses that could pursued under those zoning classifications, or whether infrastructure could be upgraded to meet intensive development.

All public comments received to date have been opposed to the rezoning. Concerns voiced in comments were primarily focused on the capacity of Beaver Creek Road to handle intensive development at this location.

The case is now up for you to make a recommendation to the Board of County Commissioners for their consideration when the matter is later taken up at a public hearing.

Staff is available to answer any questions you may have concerning this rezoning case.

PUBLIC COMMENTS
RECEIVED FOR
PUBLIC REZONING INPUT MEETING
RZ-21-007
19817 BEAVER CREEK ROAD LLC

From: [Tammy Staley](#)
To: [Planning Email](#)
Subject: Proposed rezoning of 19817 Beaver Creek Road
Date: Sunday, February 6, 2022 5:47:20 PM

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Any claims of being a County official or employee should be disregarded.

I received a letter about the proposed change to the zoning status of the property at 19817 Beaver Creek Road. I have reviewed the online 63 pages of the request. It seems that whether or not a prior zoning decision was an error should not even be a point of consideration. The current as well as the proposed zoning both require public water and sewer which are not available. It should also be considered that the current road is stretched to the brink already with current use as well as the increases in traffic coming from the planned Gavers Meadows development. I think our area has had enough disturbance. I want to join the virtual meeting especially since it was not disclosed what will be done with the property if the zoning is changed. With the current disregard for our community with the allowance of massive trucking terminals at every possible interstate interchange I am not convinced the planning commission actually has any plan.

Sent from my iPad.'

From: Bette Shifler
To: [Planning Email](#)
Subject: rezoning wesst side of Dual Highway and 19817 Beaver Creek Rd
Date: Friday, February 4, 2022 12:15:14 PM

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As a resident on Beaver Creek Road very close to this property, I am opposed to this. We have a lot of traffic from the auto dealerships already and this is a small county road with no shoulder.

Bette Jo Shifler

From: [mhleatherman](#)
To: [Planning Email](#)
Subject: Beaver Creek Proposed zoning change
Date: Friday, February 4, 2022 2:17:01 PM

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Good afternoon-

I am writing to express my concerns about the proposed zoning change for 19817 Beaver Creek Rd. This zoning change would open this area/land up to building shopping or warehouse space. This area is beautiful to leave as a residential family area and not plan or try to put anymore warehouses, etc in the Washington Co area at this time. There are several areas in Wash Co that are either in the works, being built or proposed to have facilities built on land. This area is also not ready for such a complex or warehouse. The roads are back roads with no lights, shoulders, turning lanes, etc. The water/sewer is private and not the city. The time has come for Washington county to slow down with changing all the farm land to highway interchange zones for additional building.

Please deny this request to change from residential family to highway interchange.

Thank you
Hannah Leatherman

Modification for Sharpsburg Pike Holding

Shops of Sharpsburg Pike Lots 4 thru 7

Presented is a modification for the Shops of Sharpsburg Pike Preliminary Plat and Site Plan, Lots 4 thru 7.

The subject site is located along the east side of Sharpsburg Pike, south of HK Douglas Blvd. Zoning is Highway Interchange.

The developer is proposing to create 4 commercial lots on a preliminary plat/site plan that was submitted to our office for review.

A proposed common access owned and maintained by the developer will serve as the access for all 4 proposed lots. This access currently serves the Aldi, Dunkin Donuts and Taco Bell. There will be no direct access from Lots 4 & 5 onto Sharpsburg Pike.

The modification is from the Subdivision Ordinance Section 405.11B which states all lots must have usable public road frontage.

The interior access layout is preferable to eliminate additional access points onto the Sharpsburg Pike, which State Highway Administration would not be in favor of. There is a 500 foot access spacing requirement on Sharpsburg Pike as well.



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: Sharpsburg Pike Holding LLC
NUMBER.....: OM-22-002

OWNER.....: SHARPSBURG PIKE HOLDING LLC
LOCATION.....: 10319 Sharpsburg Pike Hagerstown MD 21740
DESCRIPTION.....: Modification to create 4 lots without usable public road frontage - 3 will be used for commercial purposes. Access will be a private road built by developer

ZONING.....: Highway Interchange
COMP PLAN LU.....: High Density Residential
PARCEL.....: 10020174
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....:
GROSS ACRES.....: 12.67
DWELLING UNITS.....:
TOTAL LOTS.....: 4
DENSITY.....: N/L Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: February 10, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: I521
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: FUNKSTOWN
AMBULANCE DISTRICT.....: HAGERSTOWN

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SERVICE AREA.....:

PRIORITY.....:

NEW HYDRANTS.....:

GALLONS PER DAY SEWAGE....:

PLANT INFO.....:

City

1-Existing Service

County

1-Existing Service

Conococheague

OM-22-002

RECEIVED

FEB 8 2022

WASHINGTON COUNTY
PLAN REVIEW DEPARTMENT

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Sharpsburg Pike Holding, LLC c/o Sasaan Shaool

MAILING ADDRESS 1741 Dual Highway, Suite B, Hagerstown, MD 21740

TELEPHONE _____
(home) (work) (cell)

PROPERTY OWNER

NAME Same as Above

MAILING ADDRESS _____

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME FSA c/o Trevor Frederick

ADDRESS 128 S Potomac St, Hagerstown, MD 21740

TELEPHONE _____

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 57 GRID 10 PARCEL 160

PROPOSED LOT ACREAGE 1.84 ac TOTAL SITE ACREAGE 12.67

ZONING DISTRICT HI ROAD FRONTAGE(FT) 300

LOCATION / ADDRESS

East side of Sharpsburg Pike, approximately 1000 feet south of Col Henry K Douglas Drive.

Proposed Lots 4&5 as shown on PSP 21-002, Shops at Sharpsburg Pike.

EXISTING AND PROPOSED USE OF PROPERTY

Existing vacant commercially zoned land going through the plan review process to become small retail and fast food establishments

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER NO

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11.B

MODIFICATION IS TO ALLOW Two of the lots (4&5) although they have over 300' of frontage along Sharpsburg Pike, access restrictions and congestion mitigation suggest a single point of access for multiple lots is safer and therefore Lots 4&5 have frontage however will not be accessed by a road that has been dedicated to public use.

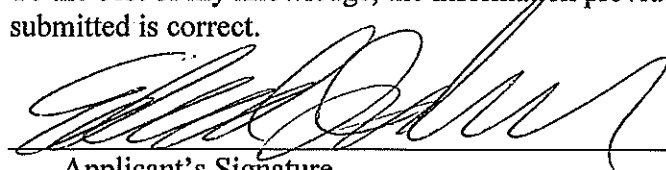
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

As stated earlier, two of the lots (4&5) which are the subject of this request have over 150 feet of frontage each along Sharpsburg Pike. SHA and County access separation criteria along with proper traffic engineering and planning principals suggest that these proposed lots and future businesses would be more safely accessed by a common access point serving several of the lots. The developer would like to provide said common access in the form of a common access point along Sharpsburg Pike serving lots 4,5,6 & 7 and eventually tie into an existing common driveway that has access to Col Henry K Douglas Dr. This is not uncommon to most shopping malls or multi-use retail centers. Detailed easements will be shown on the Final Plats and written joint use and maintenance agreements will be prepared for individual lots or users. Not permitting the modification to allow the lots without usable road frontage would not allow the highest and best uses occupy said lots.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.



Applicant's Signature

2/1/2022

Date

Property Owner's Signature

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

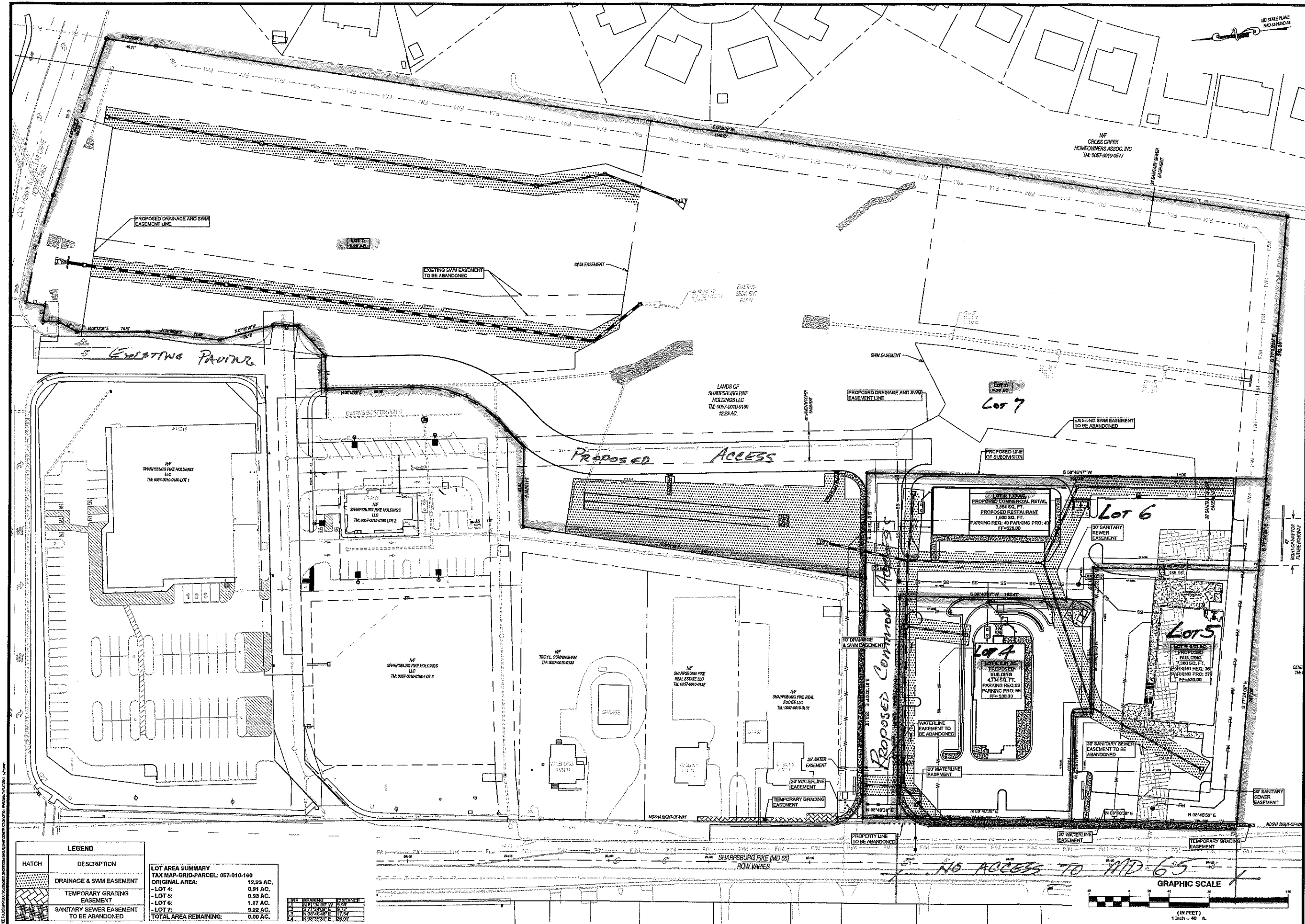
NUMBER: _____

MEETING DATE: _____

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00. Make check payable to: Washington County Treasurer . Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. dimensions & shape of proposed lot with acreage;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. size & location of existing and/or future structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. existing/proposed roadways and associated access right of way or easements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. existing/proposed entrance/exit to property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. natural or topographic peculiarities of the lot in question.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.



LEGEND	
HATCH	DESCRIPTION
[Hatch pattern]	DRAINAGE & SWM EASEMENT
[Hatch pattern]	TEMPORARY GRADING EASEMENT
[Hatch pattern]	SANITARY SEWER EASEMENT TO BE ABANDONED

LOT AREA SUMMARY	
TAX MAP GRID-PARCEL: 057-010-160	
ORIGINAL AREA:	12.23 AC.
- LOT 4:	0.91 AC.
- LOT 5:	0.93 AC.
- LOT 6:	1.17 AC.
- LOT 7:	9.22 AC.
TOTAL AREA REMAINING:	0.00 AC.

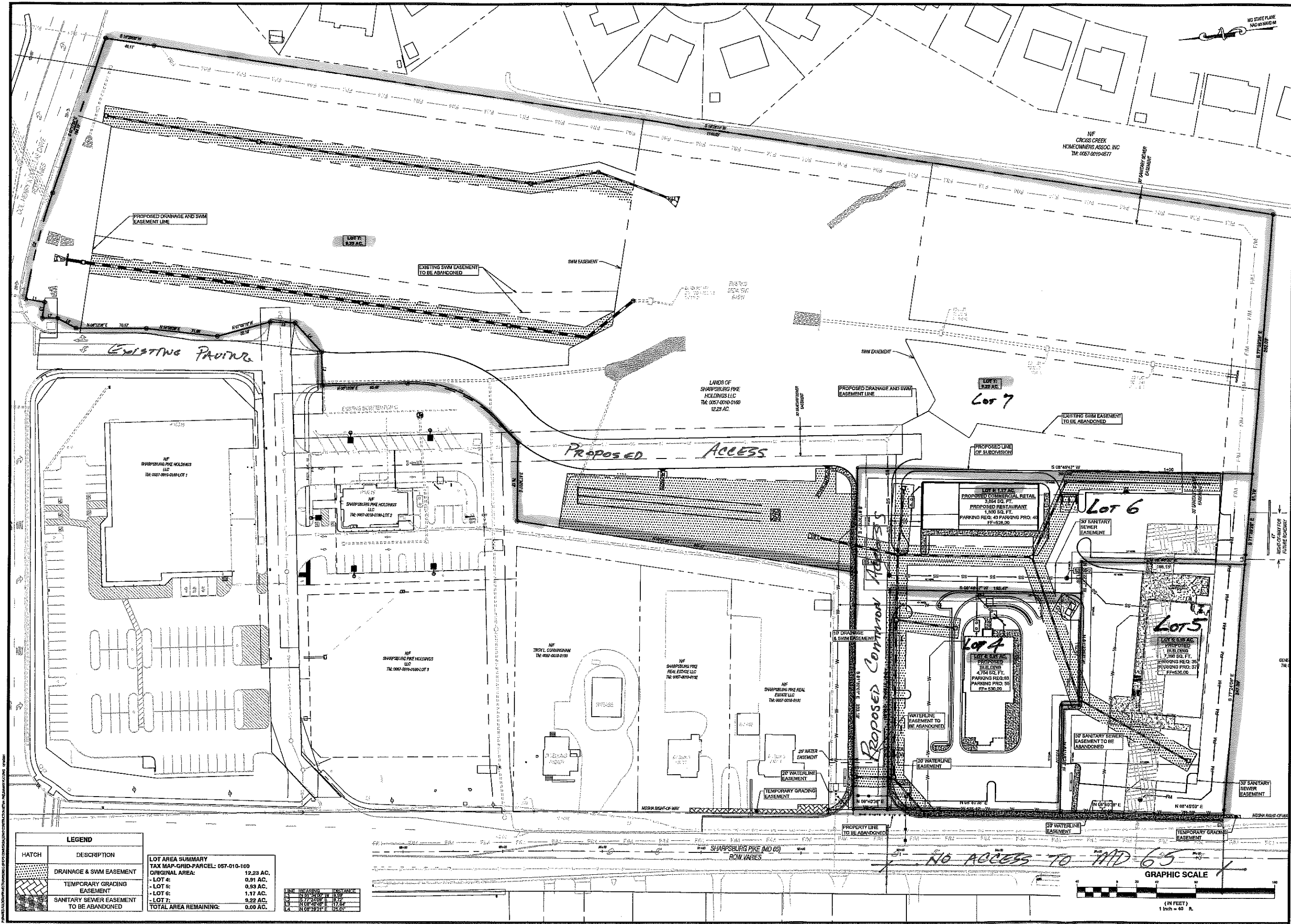
LINE	READING	DISTANCE
1	111° 20' 00" W	12.50'
2	87° 20' 00" E	12.50'
3	111° 20' 00" W	12.50'
4	87° 20' 00" E	12.50'

FS&P
FREDERICK SEIBER ASSOCIATES, INC.
CIVIL ENGINEERS & SURVEYORS
1141 DUAL HIGHWAY, SUITE B, HAGERSTOWN, MARYLAND 21740
PHONE: 410.674.5275

NOT FOR CONSTRUCTION

SHOPS AT SHARPSBURG PIKE
SITING ALONG THE EASTERN SIDE OF SHARPSBURG PIKE (MD 66) AND NORTH OF POTTERMEYER ROAD
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY
CLIENT: SHARPSBURG PIKE HOLDINGS, LLC
1141 DUAL HIGHWAY, SUITE B, HAGERSTOWN, MARYLAND 21740
PHONE: 410.674.5275

PROJECT NO. 5589.1
DRAWN BY: ADAM MYERS
PROJECT MANAGER: T. FREDERICK
TAX MAP GRID-PARCEL: 057-010-0180
SCALE: 1" = 40'
SHEET TITLE: PRELIMINARY PLAT
C-102
SHEET 04 OF 19



LEGEND	
HATCH	DESCRIPTION
[Hatch Pattern]	DRAINAGE & SWM EASEMENT
[Hatch Pattern]	TEMPORARY GRADING EASEMENT
[Hatch Pattern]	SANITARY SEWER EASEMENT TO BE ABANDONED

LOT AREA SUMMARY	
TAX MAP GRID-PARCEL: 057-010-160	
ORIGINAL AREA:	12.23 AC.
- LOT 4:	0.91 AC.
- LOT 5:	0.93 AC.
- LOT 6:	1.17 AC.
- LOT 7:	9.22 AC.
TOTAL AREA REMAINING:	0.00 AC.

LINE BEARING	DISTANCE
1. 12°11'30" W	8.52
2. 77°20'0" E	8.72
3. 10°0'0" W	12.00
4. 108°32'31" E	12.00

Professional Certification
I hereby certify that the above documents were prepared or supervised by me, and that I am a duly licensed professional engineer in the State of Maryland.
DATE: 12/02/2021
SIGNATURE: [Signature]
FREDERICK ENGINEERS ASSOCIATES, INC.
1141 DUAL HIGHWAY, SUITE B, HAGERSTOWN, MARYLAND 21740
PHONE: 301.574.8372

NOT FOR CONSTRUCTION

DATE: 12/02/2021

PROJECT: SHOPS AT SHARPSBURG PIKE

PROJECT MANAGER: T. FREDERICK

TAX MAP GRID-PARCEL: 057-010-160

SCALE: 1" = 60'

SHEET TITLE: PRELIMINARY PLAT

C-102

SHEET 04 OF 19

Modification for Cascade Town Centre Development

Presented is a modification for Cascade Town Centre Development.

The subject site is located at the old Fort Ritchie Army Base on Hart Avenue and Boyd Street. Zoning is SED Special Economic Development District.

The developer is proposing to create two large lots – 1 & 2 – with existing semi-detached and multi-family dwelling units on them. Lot 1 has 8 existing buildings on it with a total of 27 dwelling units. The lot acreage will be 6.8. Proposed Lot 2 will be 2.7 acres in size and will have 11 buildings on it with a total of 22 dwelling units.

Both lots will have frontage on existing private roads – Boyd Street and Cushman and Hart Avenues.

The modification is from Subdivision Ordinance Section 404.11 B that requires all newly created lots have a minimum of 25 feet of public road frontage.



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: Cascade Towne Centre Development LLC
NUMBER.....: OM-22-003

OWNER.....: CASCADE TOWN CENTRE DEVELOPMENT LL
LOCATION.....: Hart Ave and Boyd Street at old Fort Ritchie Army Base
DESCRIPTION.....: To create two multi family lots without public road frontage.

ZONING.....: SED; P Refer to Map
COMP PLAN LU.....: Special Economic Development
PARCEL.....: 14065764
PLANNING SECTOR.....: 4
ELECTION DISTRICT.....: 14

TYPE.....:
GROSS ACRES.....: 9.58
DWELLING UNITS.....:
TOTAL LOTS.....: 2
DENSITY.....: N/L Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: February 18, 2022

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: Yes
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Cascade	Smithsburg	Smithsburg
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: SMITHSBURG
AMBULANCE DISTRICT.....: SMITHSBURG

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	Private	Private
SERVICE AREA.....:	Private	Private



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

PRIORITY.....:
NEW HYDRANTS.....:
GALLONS PER DAY SEWAGE...:
PLANT INFO.....:

1-Existing Service

1-Existing Service

Ft. Ritchie



Washington County

M A R Y L A N D

OK-22-003

DIVISION OF
PLAN REVIEW & PERMITTING

WASHINGTON COUNTY PLANNING COMMISSION
APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME GORDON POTTENBERGER c/o FOX + ASSOC., INC.
MAILING ADDRESS 981 MT. AETNA RD. HAG. MD 21740
TELEPHONE 301 733 8503
(home) (work) (cell)

PROPERTY OWNER

NAME JOE LEE c/o CASCADE TOWN CENTRE DEV. LLC
MAILING ADDRESS 14475 MOLLEVILLE AVE CASCADE MD 21719
TELEPHONE 301 241 2037 240 432 2747
(home) (work) (cell)

CONSULTANT

NAME SAME AS APPLICANT
ADDRESS _____
TELEPHONE _____

DESCRIPTION OF PROPERTY

TAX ACCOUNT ID # (Required) 14-065764
PARCEL REFERENCE: MAP 28 GRID 01 PARCEL 169
PROPOSED LOT ACREAGE 6.81 + 2.77 TOTAL SITE ACREAGE 62.96
ZONING DISTRICT SED ROAD FRONTAGE (FT) 500 +

9/24/18

Page 1 of 7

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | TDD: 711

WWW.WASHCO-MD.NET

LOCATION / ADDRESS

CASCADE TOWN CENTRE DEVELOPMENT

EXISTING AND PROPOSED USE OF PROPERTY

EX. DECOMMISSIONED ARMY BASE
RESIDENTIAL HOUSING TO BE
CONVEYED TO BUYER FOR RESTORATION

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11.B

MODIFICATION IS TO ALLOW TWO PARCELS FRONTING ON

EX. STREET NETWORK


STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification –
i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship;
other

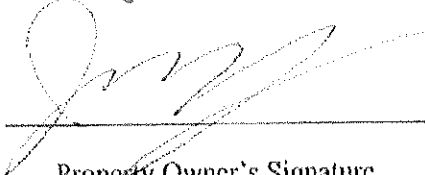
SEE ATTACHED

(Attach additional sheets if necessary)

In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.

 2/15/22
Applicant's Signature Date

 2/15/22
Property Owner's Signature Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

**PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE
STANDARDS OF THE SUBDIVISION ORDINANCE**

1. Modification request applications shall be filed with the Washington County Division of Plan Review & Permitting, Washington County Administrative Annex, 80 West Baltimore Street, Hagerstown, Maryland 21740, Phone: 240-313-2460, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed off of the <https://www.washco-md.net/index.php/2017/04/25/plan-review-forms-checklists/>. A Filing fee of \$115.00 dollars should be submitted when no engineering / outside agency review is required. A filing fee of \$265.00 is required when multiple agency review is necessary, and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.

2. The Planning Commission meets on a monthly basis (schedule attached) on the second floor of the County Administration Building, 100 West Washington Street, Room 2000, Hagerstown, Maryland. Attendees must use the entrance on West Washington Street and the elevator to the 2nd floor. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.

3. Upon receipt of the modification application, the Plan Review Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.

4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):

(a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.

(b) The hardship is not the result of the applicant's own actions – that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.

(c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.

(d) That the modification is to correct inequities resulting from a physical hardship such as topography.

(e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.

5. The Director of the Division of Plan Review & Permitting shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:

(a) Where it is impractical to dedicate the full right-of-way required by Washington County Plan Review or State Highway Administration are satisfied with the acquired right-of-way.

(b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.

(c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Plan Review and/or State Highway; and have no negative impact on neighboring properties.

(d) Panhandle Length – based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.

(e) Public Road Frontage – Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by County Plan Review and/or State Highway Administration. There is no negative impact on neighboring properties.

(f) The Director of the Division of Plan Review & Permitting shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.

6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.

7. Appeal by any person aggrieved from any action of the Planning Commission or the Director of the Division of Plan Review & Permitting shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 – Subdivision Ordinance). The BZA is located on the second floor of the County Administration Building, 100 West Washington Street, Room 2000 Hagerstown, Maryland 21740 Phone: 240-313-2460
<https://www.washco-md.net/index.php/2017/04/28/planreview-bza/>

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00 when no Engineering or outside agency review is required. A fee of \$265.00 is required when multiple agency reviews are required. Make check payable to: Washington County Treasurer. Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. dimensions & shape of proposed lot with acreage;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. size & location of existing and/or future structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. existing/proposed roadways and associated access right of way or easements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. existing/proposed entrance/exit to property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. natural or topographic peculiarities of the lot in question.
<input type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

2018 Planning Commission Meeting Schedule

December 4, 2017

January 8, 2018

February 5, 2018

March 5, 2018

April 2, 2018

May 7, 2018

June 4, 2018

July 2, 2018

August 6, 2018

September 10, 2018

October 1, 2018

November 5, 2018

December 3, 2018

The Planning Commission's Policy #7 states, "Approvals from agencies for all matters to be considered by the Commission must be received by the Planning Commission office no later than 9:00 a.m. two Monday's prior to the Commission meeting. All matters not received by the times indicated will be deferred until the Commission's regular meeting the following month." Determination for plan readiness for review by the Planning Commission is determined by the Division of Plan Review & Permitting.

All regular monthly Planning Commission meetings will be held on the second floor of the County Administration Building located at 100 West Washington Street, Room 2000, Hagerstown, Maryland. Attendees must use the entrance on West Washington Street and the elevator to the second floor. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed.

Workshop meetings will be scheduled on an as-needed basis.

CASCADE TOWN CENTRE SUBDIVISION ORDINANCE MODIFICATION REQUEST

This request entails two clusters of existing residential units within the Cascade Town Centre property which was the former, decommissioned army base (Fort Ritchie). These units which contain townhomes and duplexes are being subdivided in two parcels containing 26 and 22 units, respectively, for a total of 48 units.

The fort has an elaborate network of private streets. The property owner wishes to transfer these two parcels of duplexes and townhomes to a buyer who wishes to remodel and rent them, similar to many of the other residential units found elsewhere on the former base which are served by the existing street network. These existing units are served by public water and sewer.

Preliminary Plat/Site Plan for Emerald Pointe Phase 4 Sections 2 thru 6

Presented is a Preliminary Plat/Site Plan for Emerald Pointe Phase 4 Sections 2 thru 6.

The subject site is located along Marsh Pike and Longmeadow Road. Zoning is RT with a PUD overlay.

The developer is proposing a total of 86 semi-detached units on 18.49 acres. Open space will comprise 1.21 acres.

All lots will access interior public streets.

All lots will be served by public water & sewer.

There will be 172 parking spaces provided – 2 spaces in driveway. Garage not included.

Street lights will be provided along with sidewalks.

There will be .42 acres of forest planted behind lots 102 – 104 to complete the overall Emerald Pointe requirements.

All approvals have been received in our office.



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

PRELIMINARY PLAT SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Emerald Pointe PUD - Phase 4 - Sections 2-6
NUMBER.....: PSP-21-001

OWNER.....: EMERALD POINTE INC 222 E OAK RIDGE DRIVE STE 100
LOCATION.....: East side of Marsh Pike
DESCRIPTION.....: Prelim Plat/site plan for Emerald Pointe PUD

ZONING.....: RS; RT Refer to Map PUD
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 18065755
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 18

TYPE.....: Planned Unit Development
GROSS ACRES.....: 18.49
DWELLING UNITS.....: 86
TOTAL LOTS.....:
DENSITY.....: 4.6512 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: September 13, 2021

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
47		1.21
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Individual trash pickup
N/A	Yes	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Yes
Yes		Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
172		
Parking Spaces - Minimum Required	Recreational Parking Provided	
155	Yes	

NEW ROAD CONSTRUCTION: Yes

ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Paramount	Northern	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT	1333		
MAXIMUM CAPACITY	1423		

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	LONG MEADOW
AMBULANCE DISTRICT.....:	MAUGANSVILLE

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	County Line - City Treatment
SERVICE AREA.....:	City	County Line - City Treatment
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

GENERAL CONSTRUCTION NOTES

- THIS RESIDENTIAL SECTION IS PART OF THE EMERALD POINTE PUD ZONED 'RT' WITH A PUD OVERLAY, REZONING CASE #RZ-13-005.
- TRASH COLLECTION FOR THESE RESIDENTIAL LOTS WILL BE BY CURBSIDE PICKUP BY A PRIVATE HAULER.
- THIS PROJECT SERVED BY PUBLIC WATER BY THE CITY OF HAGERSTOWN AND SEWER COLLECTION BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY.
- NO EXISTING VEGETATION ON SITE IS PLANNED TO BE SAVED.
- THIS SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAP & THE AMERICANS WITH DISABILITIES ACT.
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND-PILOT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING. IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT, ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEDUCTION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT ARE UNDESIRABLE DURING CONSTRUCTION THAT ARE UNOCCURRED DURING THE DESIGN STAGE, OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 AND THE WASH. CO. SOIL CONSERVATION DISTRICT AT 301-797-6821 EXT. 3 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- WATER CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAGERSTOWN STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CITY UTILITIES DEPT. WATER INSPECTOR WITH M.O.S.H. ASSISTANCE.
- SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY STANDARDS AND SPECIFICATIONS.
- THIS SITE PLAN IS IN CONFORMANCE WITH THE APPROVED EMERALD POINTE PUD FINAL DEVELOPMENT PLAN (CO. FILE # DP-19-001) APPROVED 09.09.19.
- PROPOSED STORM DRAIN PIPE MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T180A STANDARDS.
- ALL GRADING ON LOT, EITHER BEFORE OR AFTER THE CONSTRUCTION OF A DWELLING OR APPURTENANCES, SHALL BE THE FULL RESPONSIBILITY OF THE LOT OWNER.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- WASHINGTON COUNTY SURVEY CONTROL MONUMENT 10-03-96 AND NGS MONUMENT PETRE AZ MK WERE USED AS A BASIS FOR THIS PLAN.

UTILITY NOTIFICATION:

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS REQUIRED BY LAW THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

SENSITIVE AREA NOTICE

THERE ARE NO FLOODPLAINS, WETLANDS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER SD ORR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.

SWM NARRATIVE

STORMWATER MANAGEMENT QUANTITY CONTROL FOR THIS PROJECT IS PROVIDED BY THE EXISTING EMERALD POINTE PUD REGIONAL POND. THIS POND ALSO PROVIDES WATER QUALITY MEASURES PER THE 2000 MD SWM DESIGN MANUAL.

AGENCY & UTILITY CONTACTS

WASH. CO. DEPT. OF WATER QUALITY
COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION
CITY UTILITIES DEPT. WATER & SEWER DIV.
POTOMAC Edison
WASH. CO. SCD
ANTETAM CABLE
VERIZON
COLUMBIA GAS

MARK BRADSHAW (240) 313-2600
KELLEN DOUGLAS (240) 313-2400
RICK USARY (301) 739-8577 X 653
DENISE PRICE (301) 797-6821 X 3
KEN BUCKLER (301) 797-1835
JULIE LUDWIG (301) 790-7135
VONDA GRIFFIN (800) 440-6111

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
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Email: foxassoc@foxassociatesinc.com

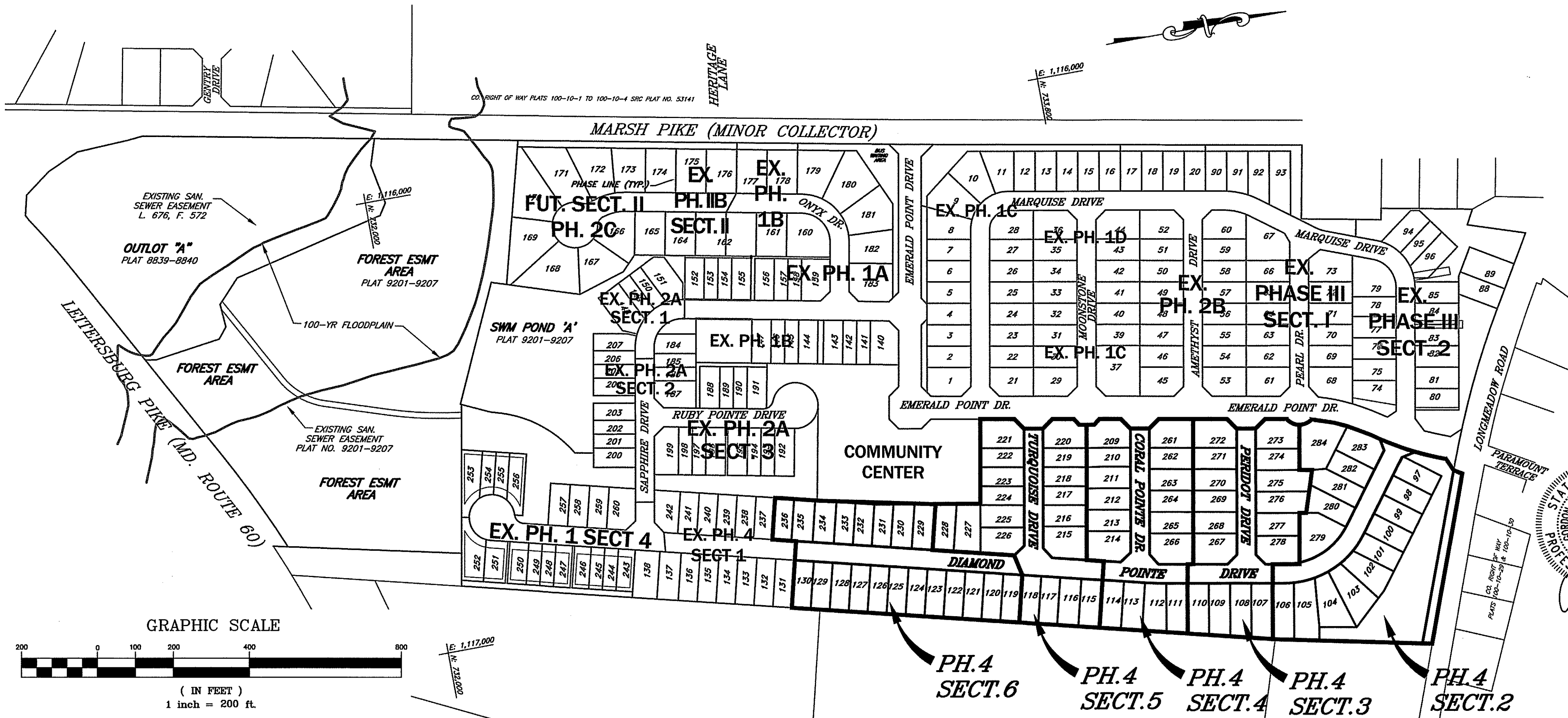
SITE PLAN / PRELIMINARY PLAT FOR EMERALD POINTE P.U.D.

PHASE 4, SECTIONS 2-6

84 DUPLEX LOTS (LOTS 97-130, 209-236, 261-278, 280-283),

2 SINGLE FAMILY LOTS (279 & 284)

SITUATE ALONG THE EAST SIDE OF MARSH PIKE, WASH. CO., MD.



OWNER/DEVELOPER
EMERALD POINTE INC.
222 EAST OAK RIDGE DRIVE
HAGERSTOWN, MARYLAND 21740
PHONE: 301-790-0101
C/O PAUL CRAMPTON

Project Name: E.P. Phase 4, Section 2-6
County Project No. (SP, PP, GP): PSP-21-001

ESD Practices (Chapter 5 - Structural & Non-Structural)

TYPE	No.	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	ESDv (ac.-ft.)	WQv (ac.-ft.)	CPv (ac.-ft.)	CPv (cfs) (Discharge)	Rev (ac.-ft.)
EX. POND	A	77.8							

ESD Practices (Chapter 3 - Structural Practices)

TYPE	No.	DA (ACRES) (To Structure)	IMPERVIOUS DA (acres) (To Structure)	RCN	STORAGE @DW (ac.-ft.)	PRINCIPLE SPILLWAY TYPE	PRINCIPLE SPILLWAY SIZE (inches)	CPv (cfs) (Discharge)	Qp10 (cfs)	Qf100 (cfs)
EX. POND	A	77.8				WEIR WALL	N/A			

Total DA (Sta)
Construction Type (circle one) New [] Redevelopment [] Restoration []

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UTILITY PLAN & PROFILE - DIAMOND POINTE DRIVE	11-13
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UTILITY PLAN & PROFILE - TURQUOISE DRIVE	15
ROADWAY PLAN & PROFILE - CORAL POINTE DRIVE	16
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ENGINEER'S AS-BUILT STREET CERTIFICATION

I VERIFY AND AFFIRM THAT THE STREET CONSTRUCTION AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.

SIGNATURE _____ DATE: _____ SEAL _____

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

DATE

OFFER OF DEDICATION

THE WATER SYSTEM IMPROVEMENTS SHOWN HEREIN FOR THIS PROJECT ARE HEREBY OFFERED TO THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT AS A CONTRIBUTION IN AID OF CONSTRUCTION, UNLESS PREVIOUSLY AGREED UPON IN WRITING. ALL WATER SYSTEM PIPE AND APPURTENANCES ON THE UPSTREAM SIDE OF THE METER DISCHARGE SHALL BECOME THE PROPERTY OF THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT UPON SUCCESSFUL TESTING OF THE COMPONENTS IN ACCORDANCE WITH CURRENT POLICIES AND STANDARDS. IT IS UNDERSTOOD THAT ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER SUCCESSFUL TESTING. IT IS FURTHER UNDERSTOOD THAT THE OWNER/DEVELOPER IS RESPONSIBLE FOR ADJUSTING THE HEIGHT OF ANY COMPONENTS SUCH AS METER TILES, INCLUDING THE METER SETTINGS AND VALVE BOXES AFFECTED BY GRADE CHANGES OR PLACEMENT OF FINAL STREET SURFACING.

OWNER/DEVELOPER

DATE

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____

DATE: _____

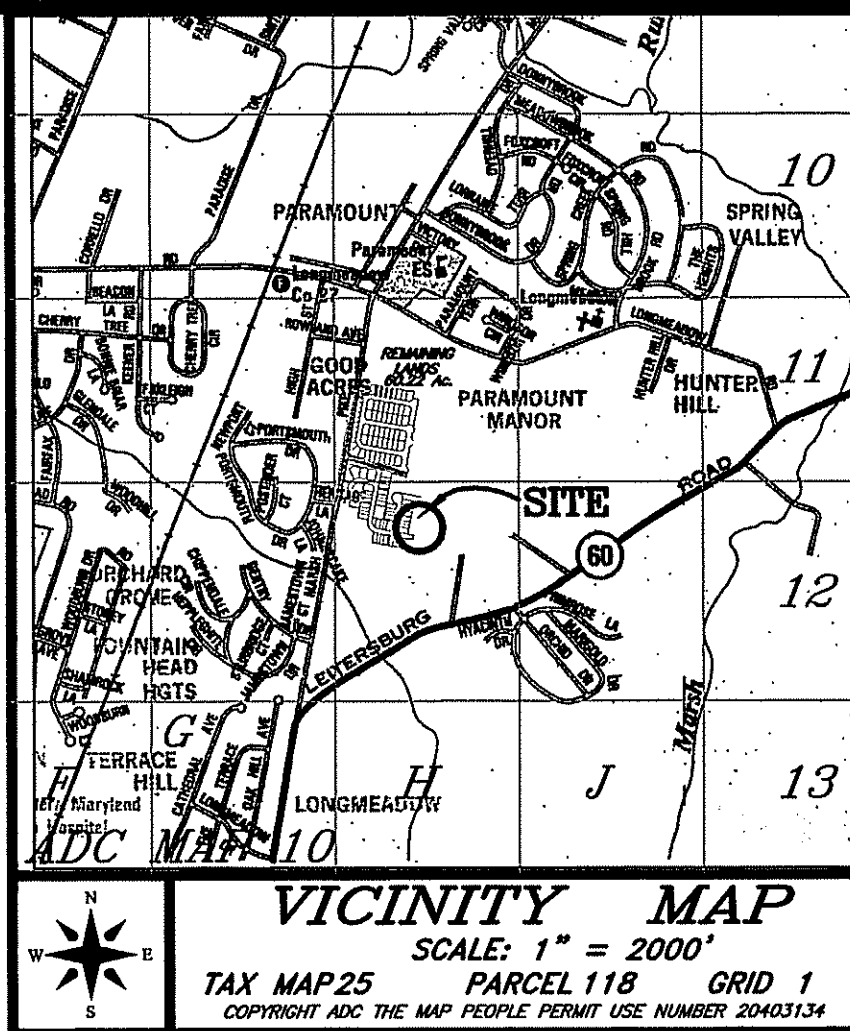
WASHINGTON COUNTY DIVISION OF ENGINEERING

COUNTY INFRASTRUCTURE (S-3) CONSTRUCTION APPROVAL

SIGNATURE

DATE

ADC MAP 10
GRID H12



PREVIOUS PLAT RECORDATION INFORMATION:

PLAT	PLAT NO.	LOT NUMBER(S)
COMMERCIAL TRACT	8839-8940	OUTLOT A
COMMUNITY CTR TRACT	10731-10732	OUTLOT B
PHASE 1A	9253-9259	
PHASE 1B	9493-9494	
PHASE 1C	10043-10044	LOTS 7, 8, 27 & 28
PHASE 1C	10075-10076	LOTS 9-12, 29-32, 39 & 40
PHASE 1C	10058-10059	LOTS 37 & 38
PHASE 1D	10134-10135	LOTS 13-16, 33-36 & 41-44
PHASE 1A SECT 1	10180-10181	
PHASE 1A SECT 2	10184-10185	
SECT 2 PHASE 2B	10580-10581	LOTS 162, 164, 175, 176
PHASE 3 SECT 1	10707-10709	LOTS 61-73 & 90-93
PHASE 3 SECT 2	10885-10888	LOTS 74-85, 88-89 & 94-96
PHASE 4 SECT 1	XXXXX-XXXXX	LOTS 131-138 & 237-242

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 18.8 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 58,375 C.Y. OF EXCAVATION AND 56,780 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

GORDON POTTENBERGER, P.E.

LICENSE No. 27053

EXPIRATION DATE 1/25/16

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.02, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

2/2/12

REG. NO. 17053

SIGNATURE

OWNER/DEVELOPERS CERTIFICATION FOR CO. DPW

WE CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

DATE PAUL CRAMPTON, JR.

SIGNATURE

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE PAUL CRAMPTON, JR.

SIGNATURE

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

BY: _____

DATE: _____

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

WASHINGTON COUNTY DIVISION OF ENGINEERING

GRADING & STORMWATER MANAGEMENT APPROVAL

SIGNATURE

DATE

PSP-21-001

D-6493

SHEET 1 OF 26

SITE DATA

TAX MAP/PARCEL	25/119
ELECTION DISTRICT	18
ZONING	RT W/ PUD OVERLAY
EXCISE TAX CLASSIFICATION	RESIDENTIAL
LAND USE	RESIDENTIAL
BUILDING HEIGHT	24'±
WATER CLASSIFICATION	W-1
SEWER CLASSIFICATION	S-1
CONTOURS	PHOTOGRAMMETRY & FIELD RUN
WATER SERVICE	CITY OF HAGERSTOWN
SEWER SERVICE	WASHINGTON COUNTY *
GROSS DWELLING UNIT DENSITY THIS PHASE	4.7 UNITS / ACRE
PARKING REQUIRED	1.8 SPACES / UNIT = 155 SPACES
PARKING PROVIDED	2 CAR GARAGE UNITS + 2 SPACES IN DRIVEWAY = 344 SPACES
PARKING RATIO	2 SPACES / UNIT = 172 SPACES (GARAGES NOT INCLUDED)
PROJECTED DAILY SEWERAGE EFFLUENT	17,200 G.P.D.
EXISTING WATER ALLOCATION	0 G.P.D.
PROPOSED WATER ALLOCATION	17,200 G.P.D.
PROJECTED MARKETING METHOD	UNITS LOT SALES
TENTATIVE PROJECTED BUILDING SCHEDULE	2 - 3 YEARS
IMPERVIOUS AREA	8.77 AC.
% IMPERVIOUS	8.77 / 18.49 = 47.43%
DEVELOPMENT RESPONSIBILITIES LANDSCAPING & RECREATION FACILITIES	DEVELOPER

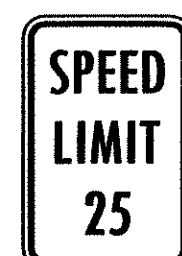
* NOTE: SEWER SERVICE IS PROVIDED BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY AND TREATMENT IS PROVIDED BY THE CITY OF HAGERSTOWN WATER TREATMENT PLANT.

LEGEND

5/8" CAPPED REBAR UNLESS OTHERWISE NOTED
CONCRETE MONUMENT
SOIL LINE
SOIL TYPE
DRAINAGE EASEMENT



(A)
R1-1
30"x30"



(B)
R2-1
18"x24"

SETBACKS:

FRONT: 20'
SIDES: (END UNITS ONLY) 8'
REAR: 10'
NOTE: MBSL DENOTES BUILDING RESTRICTION LINE

NOTES

- MBSL DENOTES MINIMUM BUILDING SETBACK LINE.
- A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE IS TO BE DEDICATED ON THE INTERIOR OF EACH REAR LOT LINE AND AN EIGHT (8) FOOT WIDE EASEMENT FOR UTILITIES AND DRAINAGE IS TO BE DEDICATED ON THE INTERIOR OF THE SIDE ON LOTS WITH END UNITS. A TEN (10) FOOT WIDE EASEMENT FOR UTILITIES TO BE DEDICATED ALONG THE FRONT LINE.
- CORNER LOTS SHALL MAINTAIN THE SPECIFIED FRONT YARD ALONG BOTH STREET FRONTS. SETBACKS FROM THE REMAINING PROPERTY LINES SHALL BE MEASURED AS IF THEY WERE SIDE YARDS.
- MARSH PIKE - MINOR URBAN COLLECTOR
- LOTS TO BE SERVED BY PUBLIC WATER & SEWER. SEWER WILL BE PROVIDED BY WASHINGTON COUNTY DEPT. OF WATER QUALITY. WATER WILL BE PROVIDED BY THE CITY OF HAGERSTOWN UTILITY DEPARTMENT.
- ALL OPEN SPACE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PROJECTED BUILD OUT OF PHASE IV, SECTION 1 IS 2-3 YEARS.
- A PORTION OF THE PROPERTY HEREON IS LOCATED WITHIN THE 100 YR. FLOOD PLAN AS SHOWN FLOOD INSURANCE RATE MAP 240070 0005B. SECTION 1 IS LOCATED ENTIRELY OUTSIDE OF THE 100 YR. FLOOD PLAN.
- THERE ARE NO STEEP SLOPES OR HABITAT OF THREATENED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- THE WASHINGTON COUNTY SOIL SURVEY, MAP 25, ISSUED 2002, IDENTIFIES SEVERAL THREE DOT INTERMITTENT STREAMS ON THE SUBJECT SITE. HOWEVER, AFTER FIELD VERIFICATION WITH A REPRESENTATIVE OF THE WASHINGTON COUNTY SOIL SURVEY, MAP 25, 2003, AND IN ACCORDANCE WITH THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT CRITERIA FOR SENSITIVE AREA STREAM BUFFERS IN WASHINGTON COUNTY, MARYLAND, ONLY THE STREAM LOCATED WITHIN THE SHOWN FLOOD PLAN REQUIRES A STREAM BUFFER. THE STREAM BUFFER WILL BE EXPANDED TO THE LIMITS OF THE OTHER STREAMS SHOWN ON THE SOIL SURVEY DO NOT MEET THE REQUIREMENTS FOR A STREAM BUFFER AND A STREAM BUFFER IS NOT REQUIRED. THESE STREAMS ARE IN AN AREA OF UPLAND SOILS IN A LIMESTONE REGION AND HAVE DRAINAGE AREAS LESS THAN 100 ACRES. THESE STREAMS, AS FIELD VERIFIED, HAVE NO KNOWN SPRING HEADS OR DEFINED CHANNELS WITH PERSISTENT FLOW, WHICH MAY BE CONSIDERED AS AN INTERMITTENT OR PERENNIAL STREAM.
- AN EASEMENT FOR USE AND MAINTENANCE OF THE PEDESTRIAN SIDEWALKS IS RESERVED WHERE THEY CROSS THE INDIVIDUAL LOTS.
- WASHINGTON COUNTY WILL NOT BE RESPONSIBLE FOR MAINTENANCE, REPAIR OR REPLACEMENT OF ANY SIDEWALK, STREET LIGHTS, AND CUSTOM SIGNAGE INSIDE OR OUTSIDE THE COUNTY RIGHT-OF-WAY.
- ADDRESS ASSIGNMENTS ARE BASED ON THE ENTRANCE LOCATION SHOWN HEREON. IF DRIVEWAYS ARE CONSTRUCTED IN A DIFFERENT LOCATION, THE ADDRESS IS VOID AND THE OWNER/DEVELOPER OF THE LOT MUST REAPPLY TO THE WASHINGTON COUNTY PLANNING COMMISSION FOR A NEW ADDRESS ASSIGNMENT.
- RESIDENTIAL DEVELOPMENT SHOWN ON THE FINAL PLAN SHALL BE AGE RESTRICTED ACCORDING TO FEDERAL REGULATIONS RESTRICTING OCCUPANCY IN THESE DWELLING UNITS TO ELDERLY PERSONS. SUCH RESTRICTIONS ARE PROMULGATED BY A DECLARATION OF COVENANTS FOR ELDERLY HOUSING AS RECORDED IN THE LAND RECORDS OF WASHINGTON COUNTY AT LIBER 3553 FOLIO 461. THESE RESTRICTIONS ALLOW FOR APPLICABLE EXEMPTIONS FROM ARTICLE V - SCHOOLS OF WASHINGTON COUNTY ADEQUATE PUBLIC FACILITIES ORDINANCE AND THE BUILDING EXCISE TAX ORDINANCE FOR WASHINGTON COUNTY.
- BUILDING RESTRICTION LINES SHOWN HEREON ARE IN ACCORDANCE WITH FINAL DEVELOPMENT PLAN, CASE DP-19-001 APPROVED 9/9/19.
- 13.78 AC. OF THE REQUIRED 14.20 AC. OF FOREST CONSERVATION REQUIREMENTS WERE SATISFIED BY THE FINAL PLAN FOR PHASE 1A RECORDED AT PLAT NO. 9201-9207. THE ADDITIONAL 0.42 AC. OF FOREST CONSERVATION AREA WILL BE DONE IN THIS SECTION (BEHIND LOTS 101-104) OF THIS DEVELOPMENT.
- TOPOGRAPHY SHOWN HEREON IS FROM PHOTOGRAMMETRY MAPPED IN SPRING 2000 BY KEDDAL AERIAL MAPPING.
- ALL GRADING ON EACH LOT, DONE EITHER BEFORE OR AFTER THE CONSTRUCTION OF A DWELLING OR ITS APPURTENANCE, SHALL BE THE FULL RESPONSIBILITY OF THE LOT OWNER.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENTS, EITHER SHOWN ON OR DESCRIBED ON THE FINAL PLAN OF SUBDIVISION.
- RV PARKING WILL BE PROVIDED IN FUTURE SECTIONS OF THIS DEVELOPMENT.
- ALL SIDEWALKS (INCLUDING THOSE LOCATED WITHIN COUNTY RIGHT-OF-WAY) SHALL BE MAINTAINED BY THE EMERALD POINTE HOMEOWNERS' ASSOCIATION.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	74.03'	45.00'	94°15'10"	N 11°28'26" E	65.96'	48.47'
C2	138.42'	440.00'	18°01'27"	S 23°41'50" W	137.85'	69.78'
C3	96.81'	150.00'	10°52'34"	N 27°16'00" E	96.66'	48.55'
C4	34.47'	58.43'	3°45'43"	N 12°17'50" E	34.48'	17.24'
C5	138.03'	125.00'	63°16'05"	N 21°13'25" W	131.12'	77.00'
C6	82.82'	75.00'	63°16'05"	N 21°13'25" W	76.67'	46.20'

AREA TABULATION:

TOTAL AREA OF LOTS	608,927 Sq. Ft.	13,97904 Ac.	75.6%
AREA OF RIGHT-OF-WAY	143,857 Sq. Ft.	3,30250 Ac.	17.9%
AREA OPEN SPACE	52,775 Sq. Ft.	1,21154 Ac.	6.5%
TOTAL AREA THIS SECTION	805,559 Sq. Ft.	18,49309 Ac.	100.0%
TOTAL NO. OF LOTS = 96			

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS PART OF THE LANDS CONVEYED BY ROMANA LLC, A MARYLAND LIMITED LIABILITY COMPANY AND ROSALYN D. SHANK, TO EMERALD POINTE, INC. BY DEED DATED NOV. 21, 2003 AND RECORDED AT LIBER 2192, FOLIO 346 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

DATE 05/21/2021

MARYLAND REG. NO. 21858

EXP. 8/24/22

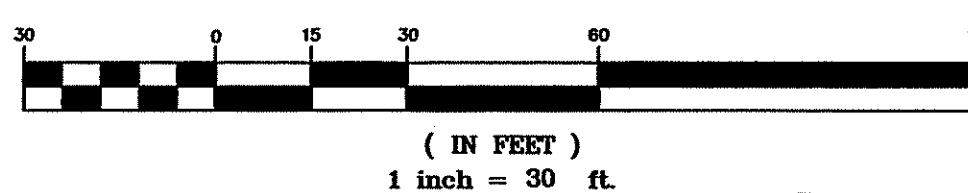
CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER & WASTEWATER DIVISIONS

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER AND WASTEWATER SYSTEM IMPROVEMENTS. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER OR WASTEWATER SERVICE. WATER AND WASTEWATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER AND/OR WASTEWATER SERVICE APPLICATION, THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE)

(DATE)

GRAPHIC SCALE



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Est. 1966

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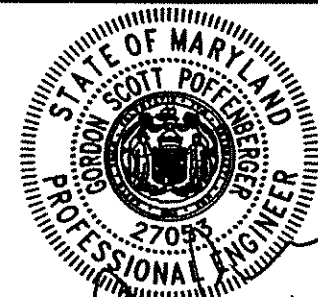
DRAWN BY

REVISION

DATE

SITE PLAN / PRELIMINARY PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSTOWN)
WASHINGTON COUNTY, MARYLAND

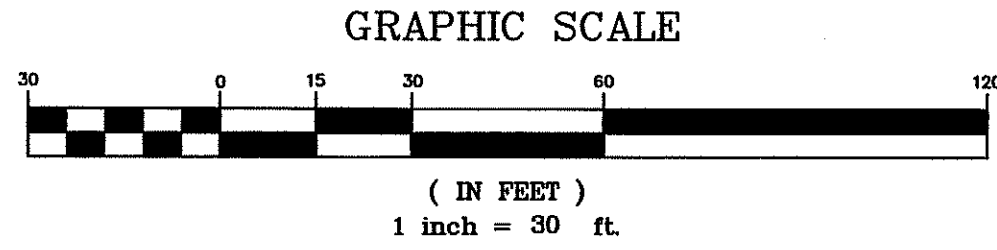
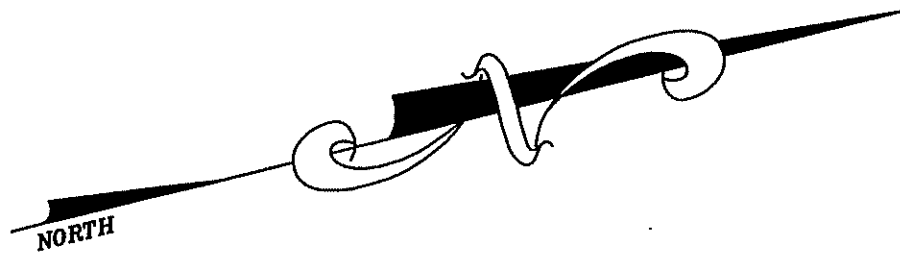
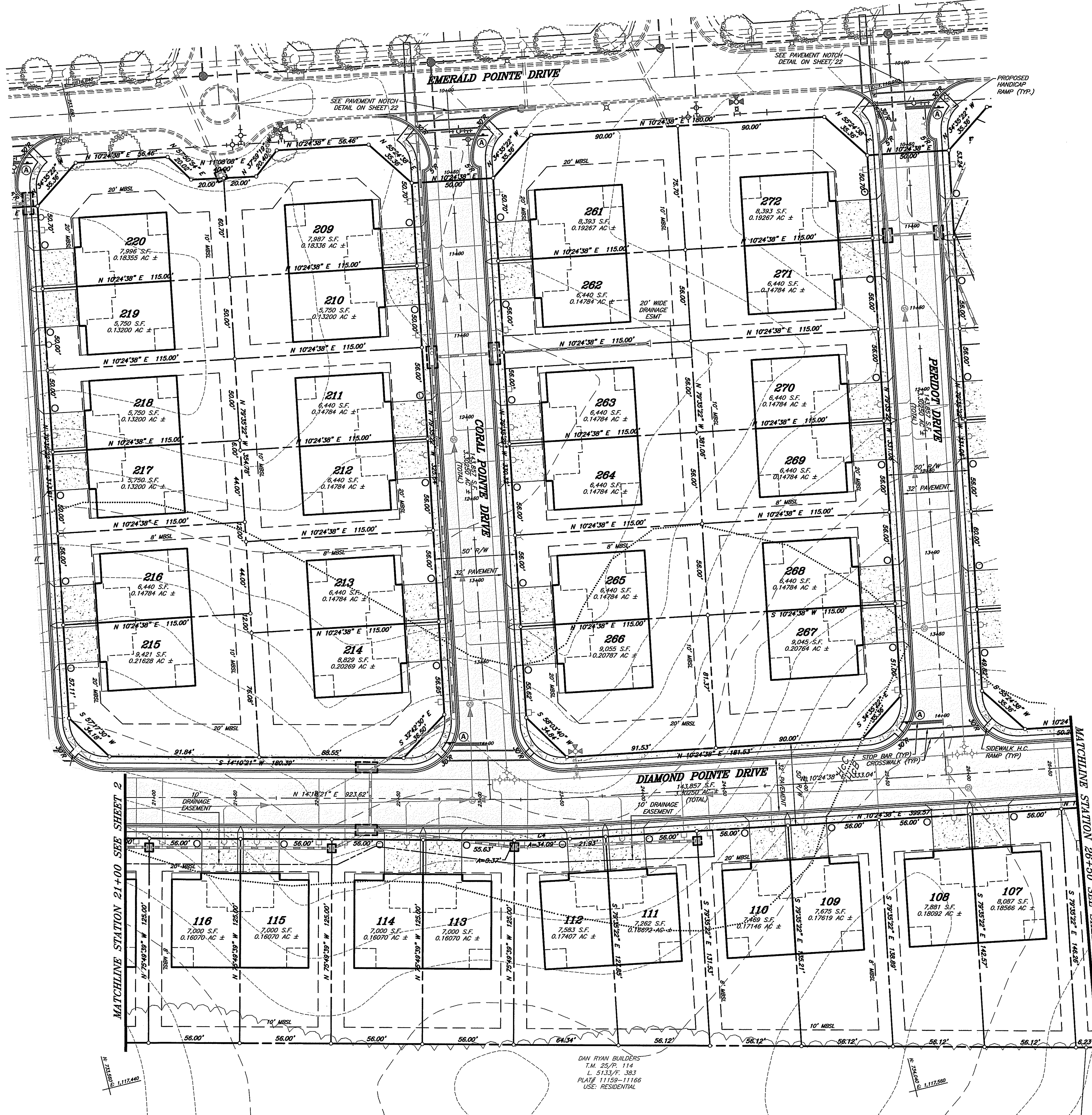
SCALE: 1"=30'



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/22

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 2 OF 26



CURVE DATA
P.C. STA = 23+20.80
P.T. STA = 23+37.22
P.T. STA = 23+53.62
RADIUS = 500.00'
LENGTH = 32.83'
DELTA = 3°45'43"
DEGREE = 11°27'33"
TANGENT = 18.42'

○ - STANDARD RESIDENTIAL DRIVEWAY LIGHT (5'± HIGH)
(LOCAL STREETS - 1 PER LOT - 86 TOTAL)

SURVEYOR'S CERTIFICATE

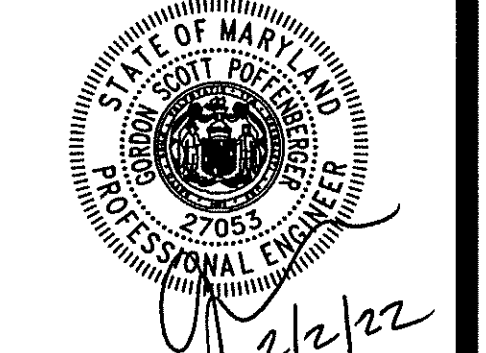
I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT, THAT IT IS PART OF THE LANDS CONVEYED BY ROKANA LLC, A MARYLAND LIMITED LIABILITY COMPANY AND ROSALYN D. SHANK, TO EMERALD POINTE, INC., BY DEED DATED NOV. 21, 2003 AND RECORDED AT LIBER 2152, FOLIO 346, SINGING HILL AND RECORDS OF WASHINGTON COUNTY, MARYLAND.



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PHONE: (301)416-7250
FAX: (301)733-1853
Email: foxasso@foxassoc.com
www.foxassoc.com

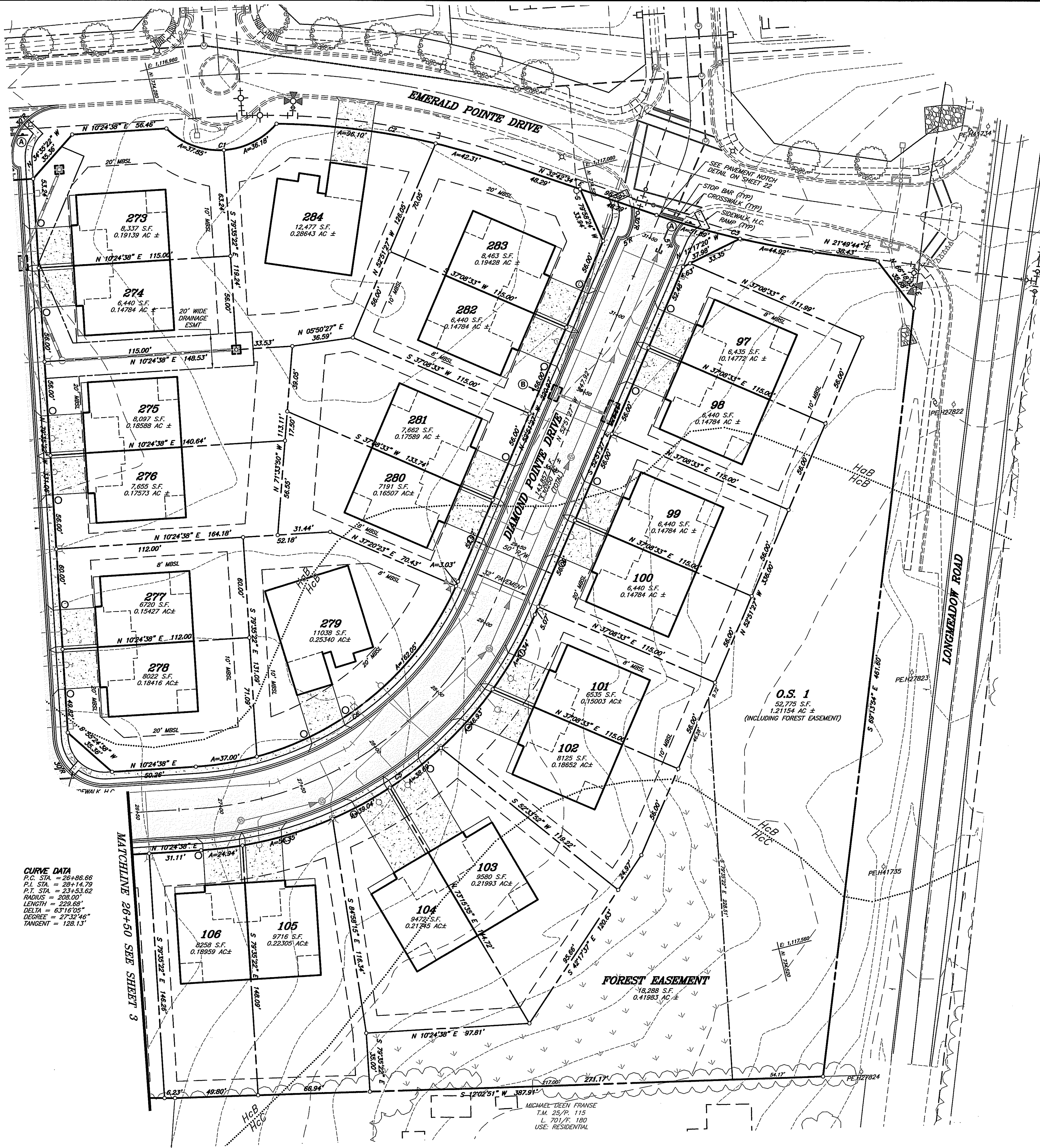
SITE PLAN / PRELIMINARY PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'



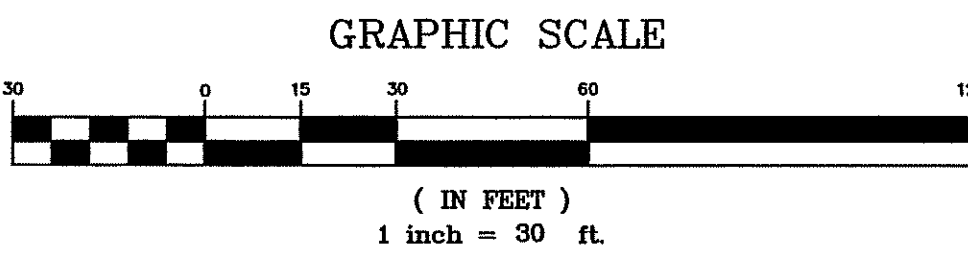
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/24
PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 3 OF 26



CURVE DATA
P.C. STA. = 20+86.66
P.L. STA. = 20+114.79
P.T. STA. = 23+53.62
RADIUS = 208.00'
LENGTH = 228.81'
DELTA = 63°16'05"
DEGREE = 27°32'46"
TANGENT = 128.13'

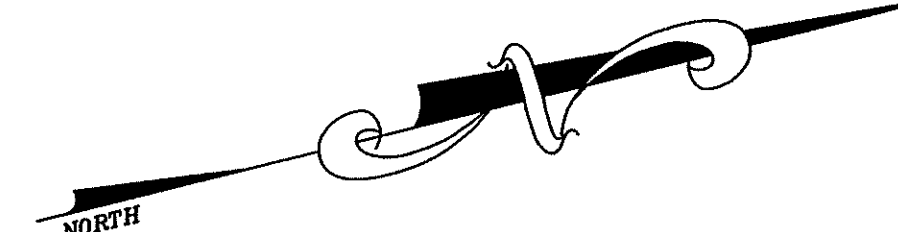
MATCHLINE 26+50 SEE SHEET 3



○ - STANDARD RESIDENTIAL DRIVEWAY LIGHT (5'± HIGH)
(LOCAL STREETS - 1 PER LOT - 86 TOTAL)

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT; THAT IT IS PART OF THE LANDS CONVEYED BY ROKANA LLC, A MARYLAND LIMITED LIABILITY COMPANY AND ROSALYN D. SHANK TO EMERALD POINTE, INC. BY DEED DATED NOV. 21, 2003 AND RECORDED AT LIBER 2192, FOLIO 346 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

DATE: 02/02/2022
MICHAEL DEEN FRANSE
T.M. 25/P. 115
L. 701/P. 180
USE: RESIDENTIAL



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PHONE: (301)416-7250
FAX: (301)733-1855
Email: foxassoc@foxassociatesinc.com
www.foxassociatesinc.com

SITE PLAN / PRELIMINARY PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 12/25/24

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 4 OF 26

X:\OTHER\Map\Map\EMERALD\Drawings\Improvement Plans\12-04-04-SP.dwg Feb. 02, 2022 - 8:30am User: rshuman

PSP-21-001

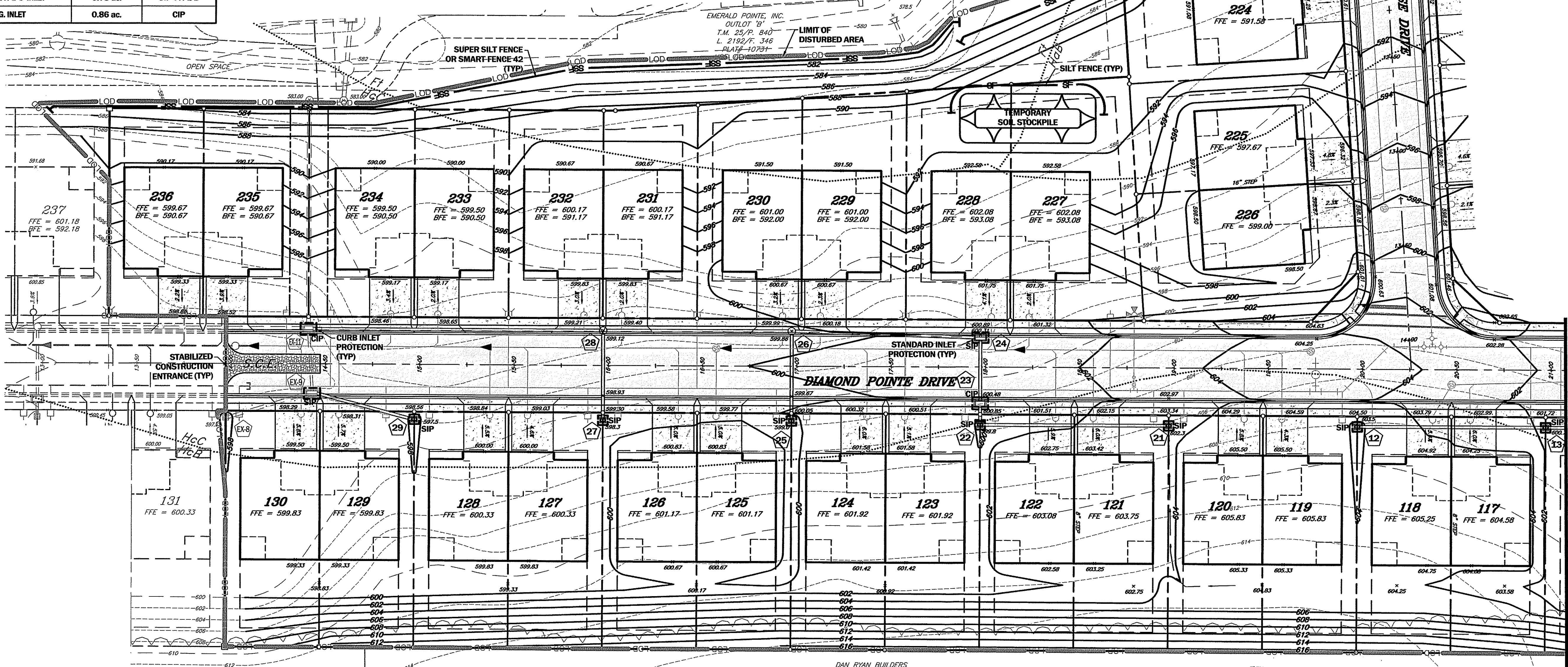
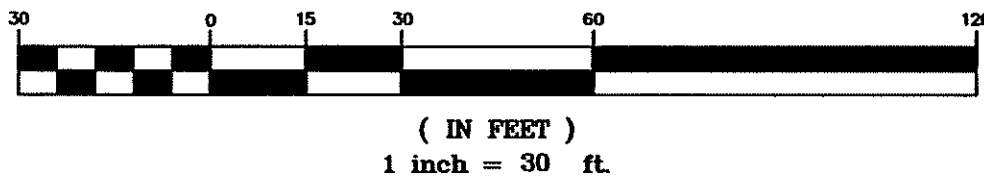
INLET PROTECTION SCHEDULE			
STRUCTURE No.	STRUCTURE TYPE	DRAINAGE AREA	I.P. TYPE
1	STD. 10' G.O.G. INLET	1.04 ac.	CIP
2	STD. MD DOUBLE TYPE 'S' INLET	0.77 ac.	SIP TYPE B
3	STD. MD YARD INLET	1.29 ac.	MOD. SIP
4	STD. 48" MANHOLE	N/A	N/A
5	STD. MD YARD INLET	0.18 ac.	SIP TYPE A
6	STD. MD DOUBLE TYPE 'S' INLET	0.66 ac.	SIP TYPE B
7	STD. MD DOUBLE TYPE 'S' INLET	0.55 ac.	SIP TYPE B
8	STD. METAL END SECTION	1.27 ac.	MOD. SIP
9	STD. 10' G.O.G. INLET	0.78 ac.	CIP
10	STD. MD YARD INLET	0.38 ac.	SIP TYPE B
11	STD. MD YARD INLET	0.59 ac.	SIP TYPE B
12	STD. MD YARD INLET	0.15 ac.	SIP TYPE A
13	STD. MD YARD INLET	0.26 ac.	SIP TYPE B
14	STD. MD YARD INLET	0.28 ac.	SIP TYPE B
15	STD. 10' G.O.G. INLET	0.94 ac.	CIP
16	STD. 10' G.O.G. INLET	0.14 ac.	CIP
17	STD. 48" MANHOLE	N/A	N/A
18	STD. 10' G.O.G. INLET	0.61 ac.	CIP
19	STD. 10' G.O.G. INLET	0.67 ac.	CIP
20	STD. 10' G.O.G. INLET	0.61 ac.	CIP
21	STD. MD YARD INLET	0.14 ac.	SIP TYPE A
22	STD. MD YARD INLET	0.26 ac.	SIP TYPE B
23	STD. 5' G.O.G. INLET	0.25 ac.	CIP
24	STD. MD DOUBLE TYPE 'S' INLET	0.21 ac.	SIP TYPE A
25	STD. MD YARD INLET	0.35 ac.	SIP TYPE B
26	STD. 48" MANHOLE	N/A	N/A
27	STD. MD YARD INLET	0.15 ac.	SIP TYPE A
28	STD. 48" MANHOLE	N/A	N/A
29	STD. MD YARD INLET	0.25 ac.	SIP TYPE A
30	STD. MD SINGLE WR INLET	1.23 ac.	MOD. SIP
EX-9	STD. MD DOUBLE TYPE 'S' INLET	0.78 ac.	SIP TYPE B
EX-11	STD. 5' G.O.G. INLET	0.86 ac.	CIP

SOILS

FL FUNKSTOWN SILT LOAM (1.2% OF SITE)*
HOB HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES (37.5% OF SITE)*
HCB HAGERSTOWN-ROCK OUTCROP COMPLEX, 3 TO 8 PERCENT SLOPES (30.8% OF SITE)*
HCC HAGERSTOWN-ROCK OUTCROP COMPLEX, 8 TO 15 PERCENT SLOPES (30.5% OF SITE)*
*NOTE: THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY SHOWS THE FL, HOB, HCB, & HCC SOIL TYPES TO BE A "HARST LANDSCAPE SOIL". THE CONTRACTOR SHALL ALERT THE OWNER IF ANY EVIDENCE OF SINKHOLE ACTIVITY IS UNCOVERED DURING EXCAVATION.

SUPER SILT FENCE COMPUTATIONS					
SUPER SILT FENCE NUMBER & LOCATION	AVG. SLOPE (%)	MAX. SLOPE LENGTH (ft.)	ACTUAL SLOPE LENGTH (ft.)	MAX. S.F. LENGTH (ft.)	ACTUAL S.F. LENGTH (ft.)
#1 - REAR OF LOTS 237-228	13	200	140	1,500	492
#2 - REAR OF LOTS 229-221	11	200	186	1,500	252
#3 - REAR OF LOTS 106-103	7	UNLIMIT.	150	UNLIMIT.	334
#4 - REAR OF LOTS 102-97	7	UNLIMIT.	146	UNLIMIT.	537

GRAPHIC SCALE



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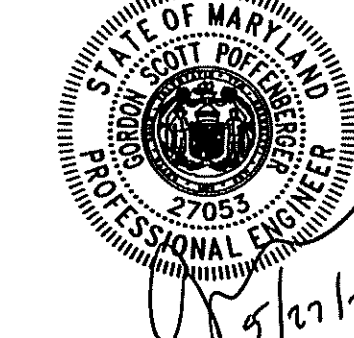
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GRADING PLAN / SESC PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'



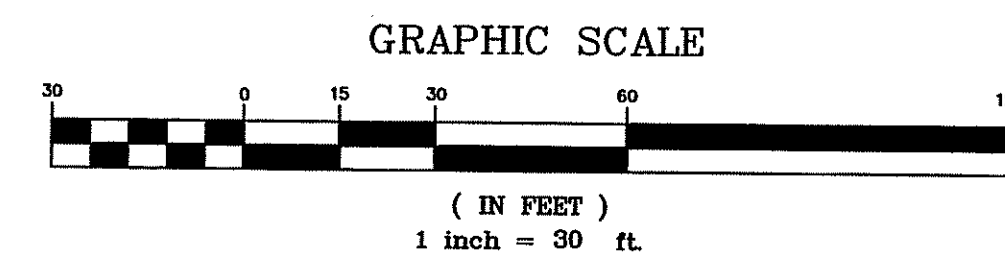
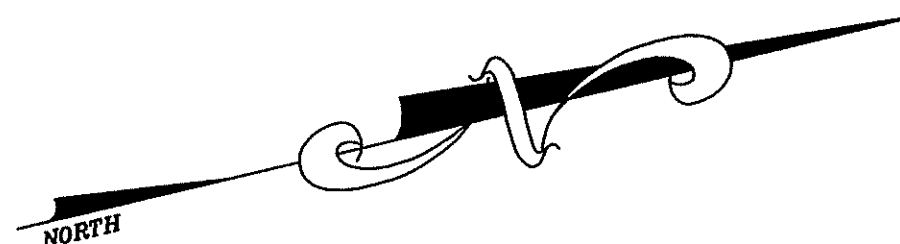
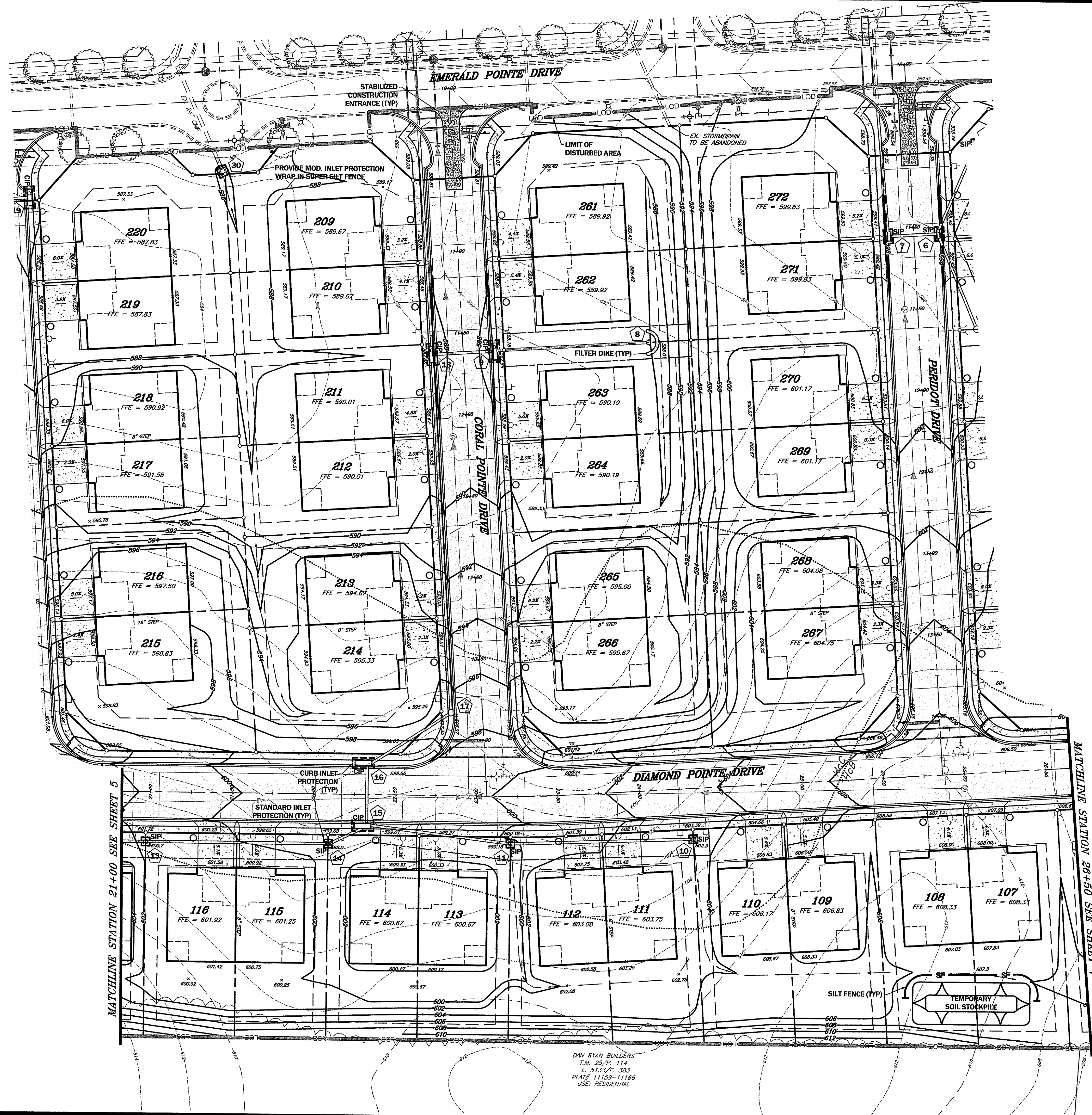
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LICENSE No.: 27053, Exp. Date: 1/25/22

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 5 OF 26

PSP-21-



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FAX: (301)733-1853

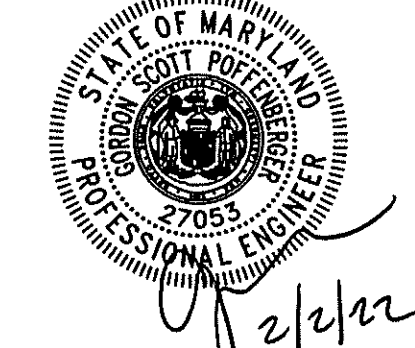
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FAX: (301)293-6009

www.foxassocdeline.com
Email: foxassoc@foxassocdeline.com

DATE	REVISION	DRAWN BY
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GRADING PLAN / SESC PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

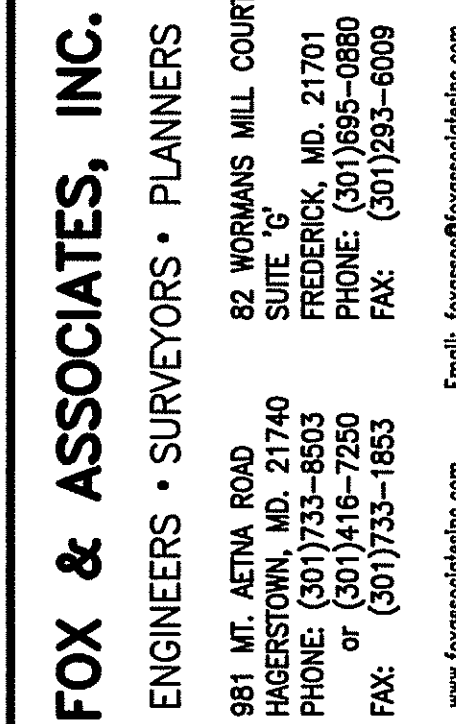


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SHEET 6 OF 26



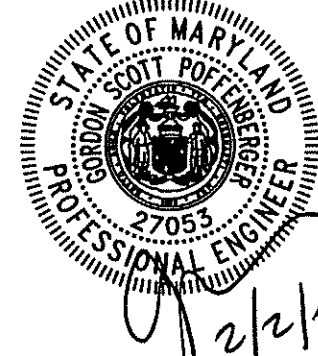
	DRAWN BY
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REVISION

DATE _____

GRADING PLAN / SESC PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

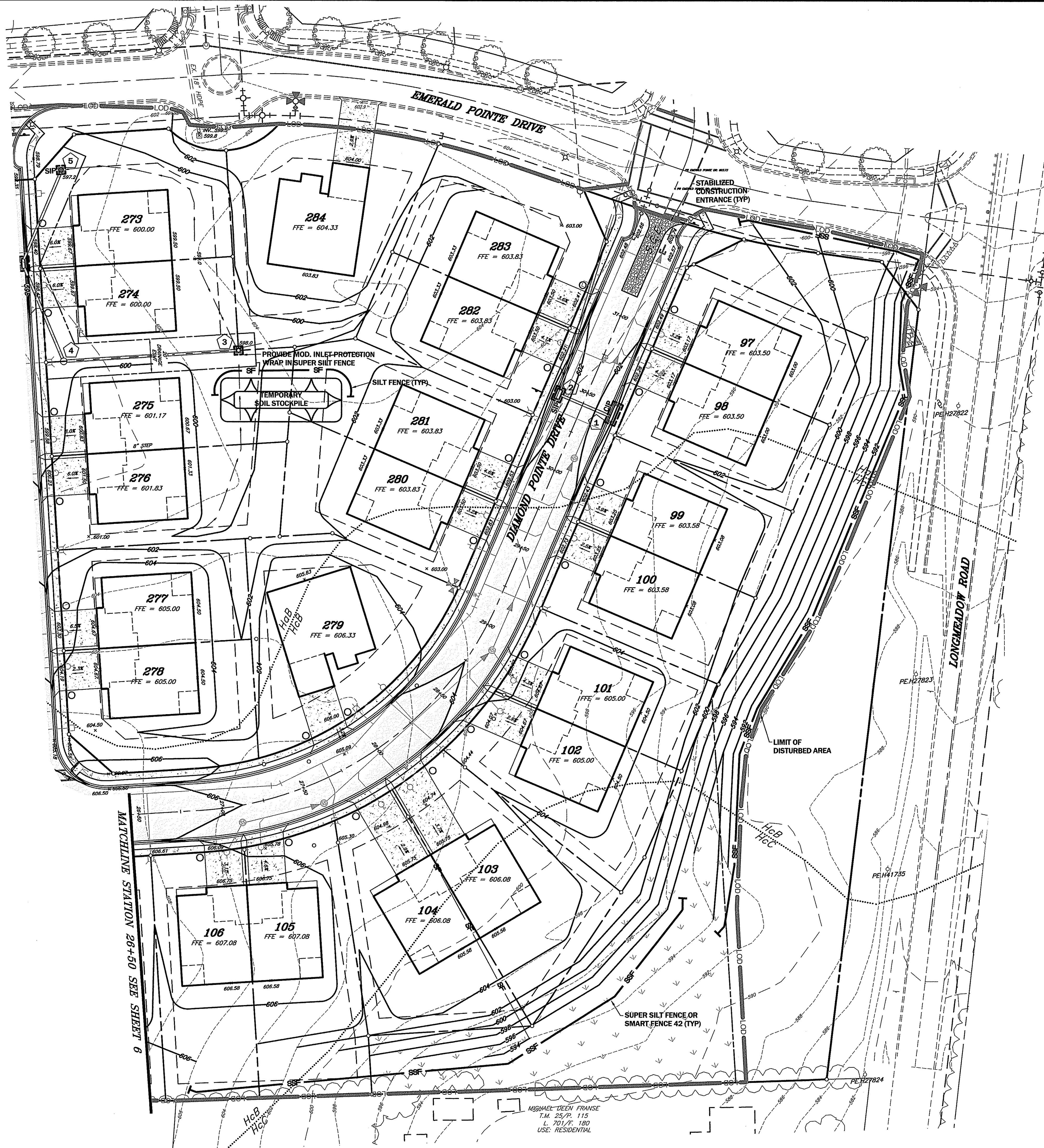


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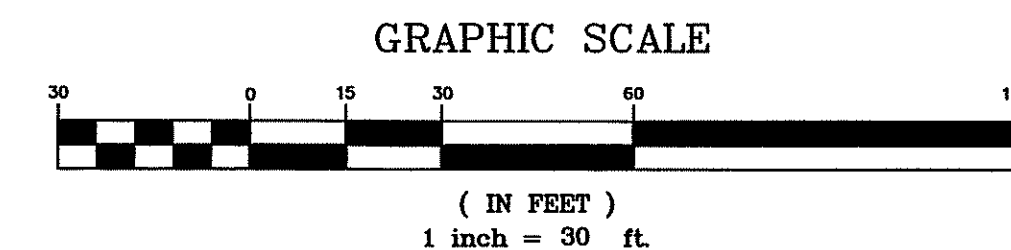
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DATE: MAY, 2021
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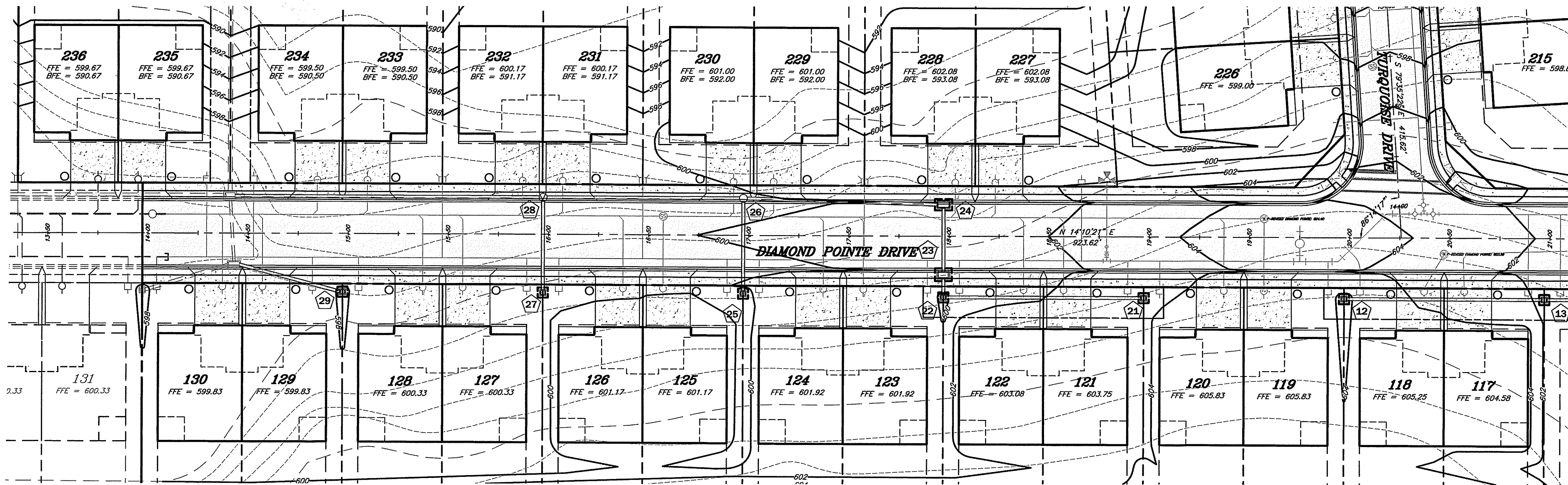
SHEET 7 OF 26



NOTE:
SOIL GRADED WITHIN THE PROPOSED FOREST EASEMENT SHALL BE
RESTORED TO PRE-DISTURBANCE CONDITIONS PRIOR TO REFORESTATION

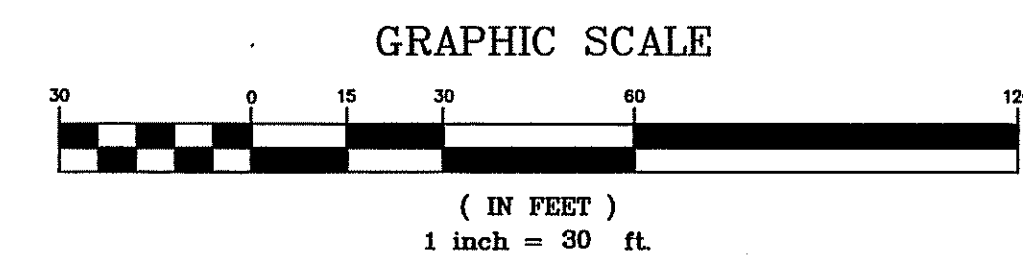


PSP-21-001

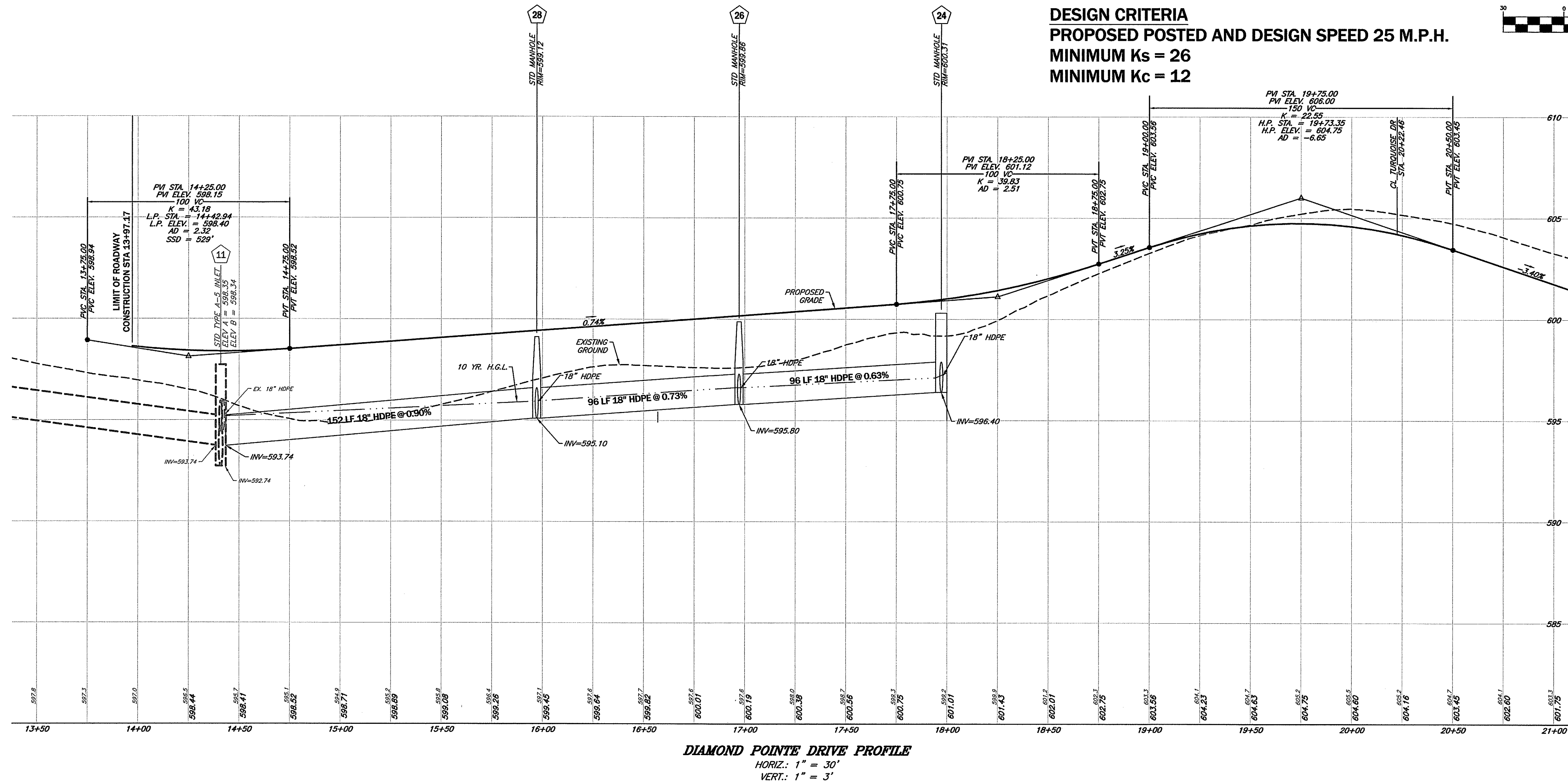


MATCHLINE STATION 21+10 SEE SHEET 9

DESIGN CRITERIA
PROPOSED POSTED AND DESIGN SPEED 25 M.P.H.
MINIMUM Ks = 26
MINIMUM Kc = 12



SCALE:
 PLAN VIEW: 1"=30'
 PROFILE: 1"=30'
 VERT: 1"=3'



MATCHLINE STATION 21+10 SEE SHEET 9

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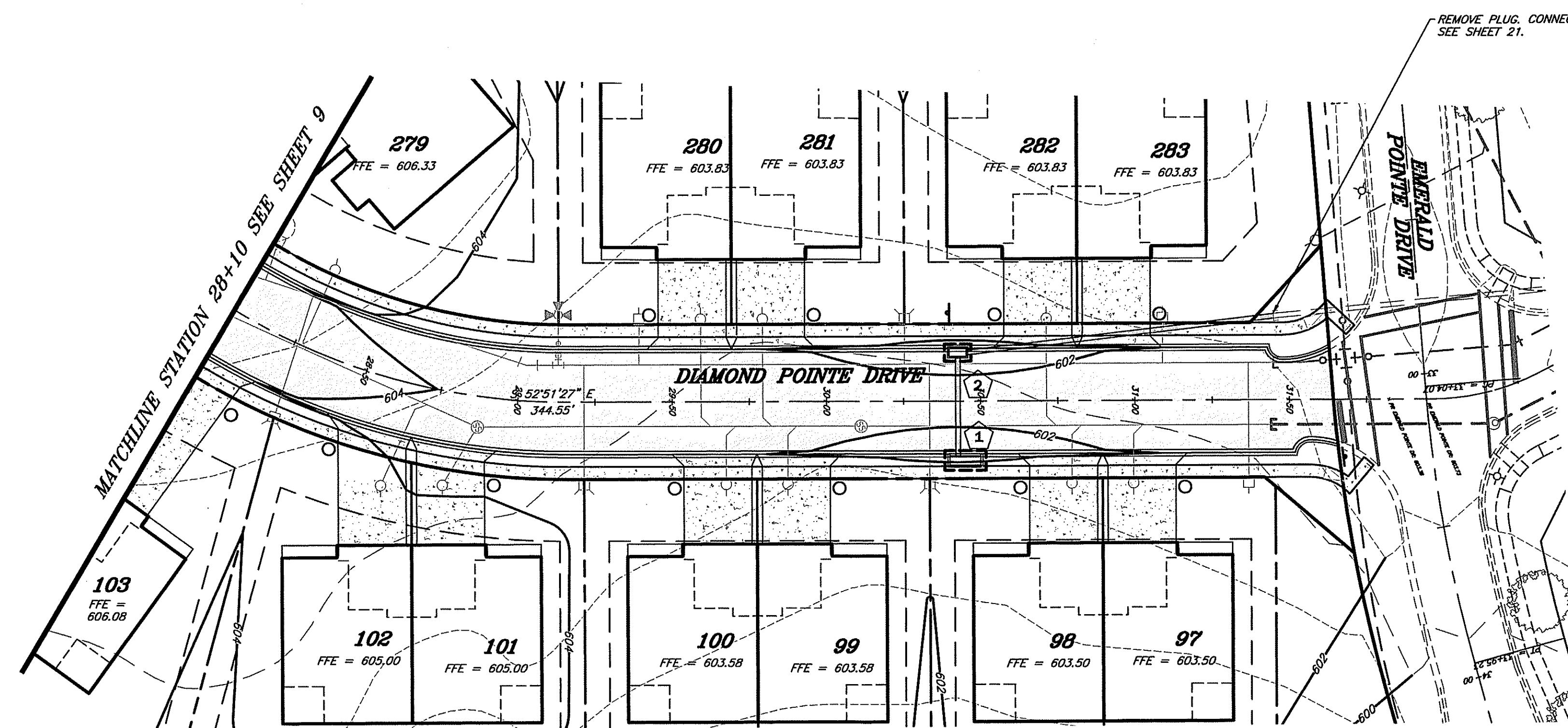
PLAN & PROFILE DIAMOND POINTE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
 SITUATE ALONG THE EAST SIDE OF MARSH PIKE
 ELECTION DISTRICT 18 (CHEWSVILLE)
 WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

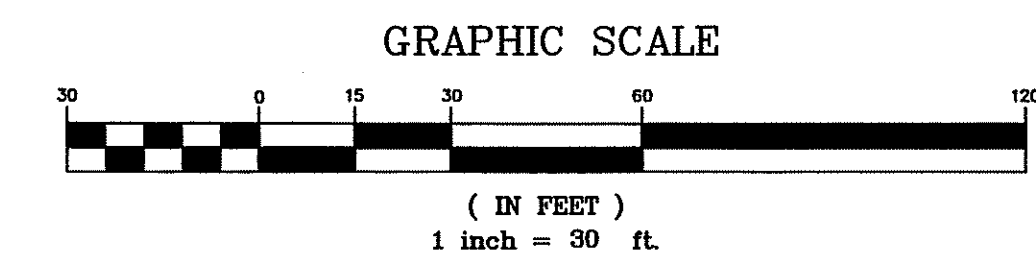
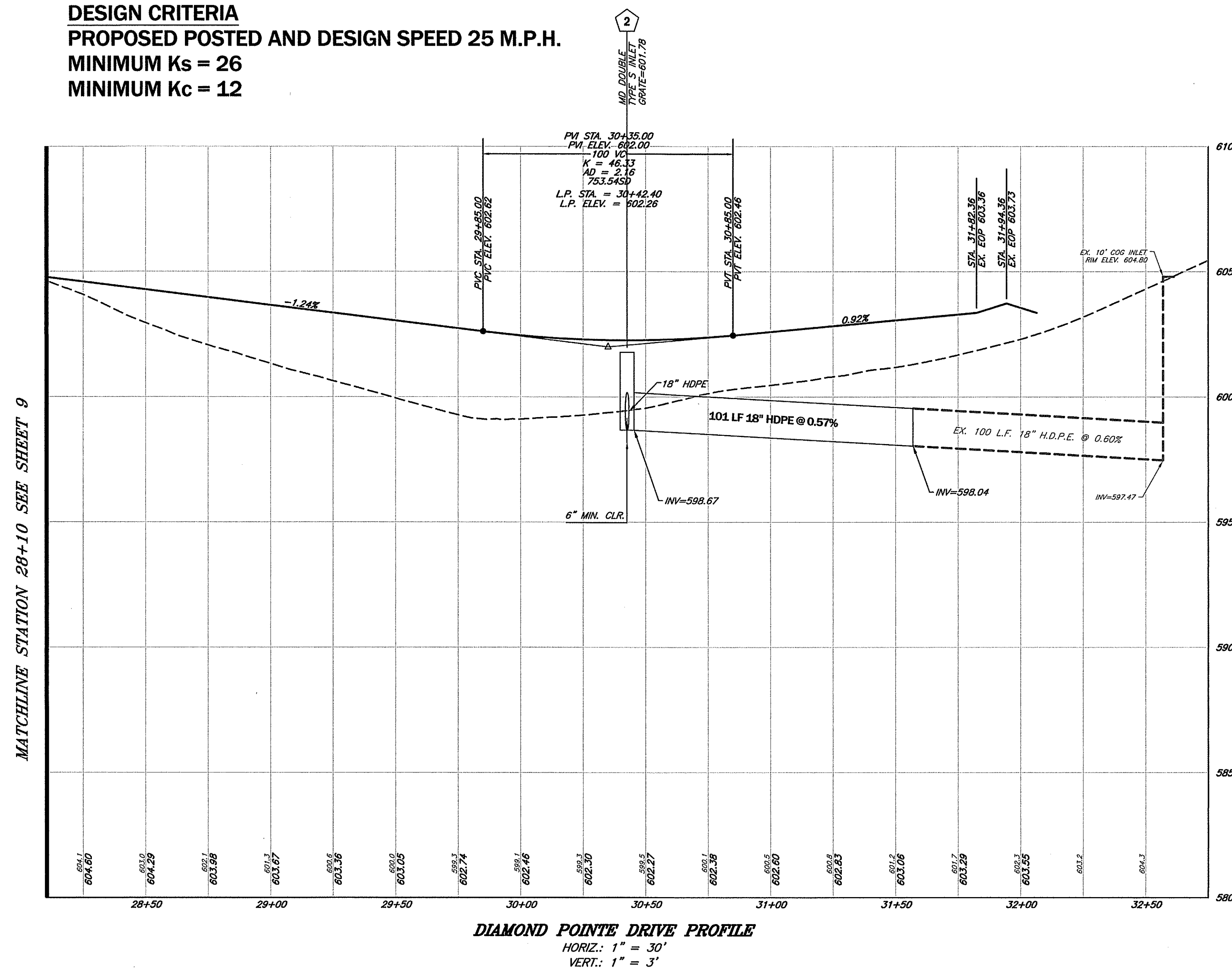
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 LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 20-51037
 DRAWING NO. D-6493
 DATE: MAY, 2021
 DRAWN BY: DCM
 CHECKED BY: GSP

SHEET 8 OF 26



DESIGN CRITERIA
PROPOSED POSTED AND DESIGN SPEED 25 M.P.H.
MINIMUM Ks = 26
MINIMUM Kc = 12



SCALE:
PLAN VIEW: 1"=30'
PROFILE: { HORZ. 1"=30'
 { VERT. 1"=3'

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DRAWN BY

REVISION

DATE _____

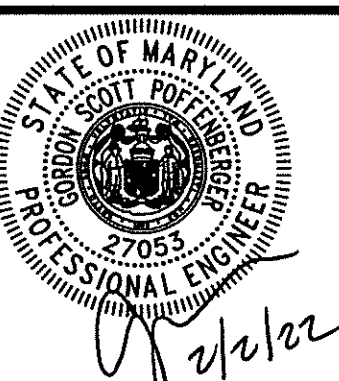
PLAN & PROFILE DIAMOND POINTE DRIVE

EMERALD POINTE P.U.D.

PHASE 4, SECTIONS 2-6

**SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND**

SCALE: AS SHOWN



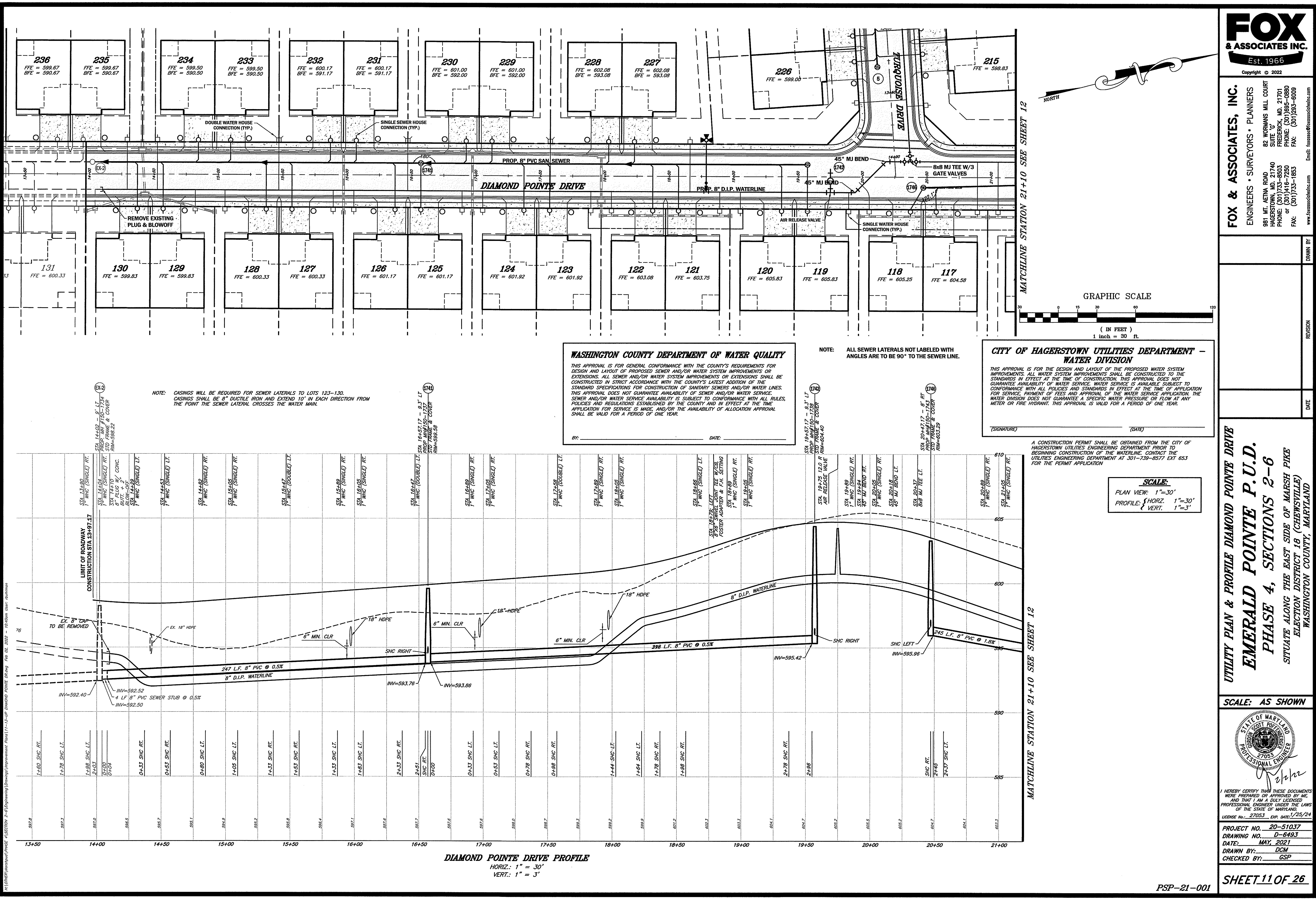
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LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 10 OF 26

PSP-21-001



WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

NOTE: ALL SEWER LATERALS NOT LABELED WITH ANGLES ARE TO BE 90° TO THE SEWER LINE.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-6577 EXT. 653 FOR THE PERMIT APPLICATION.

SCALE:
PLAN VIEW: 1"=30'
PROFILE: { HORZ. 1"=30'
 VERT. 1"=3'

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FAX: (301) 293-6009

Email: foxassoc@foxassoc.com
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UTILITY PLAN & PROFILE DIAMOND POINTE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

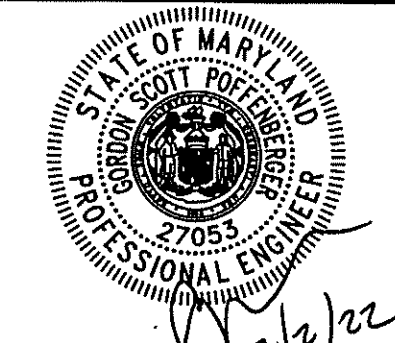
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LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 11 OF 26

**UTILITY PLAN & PROFILE DIAMOND POINTE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND**

SCALE: AS SHOWN

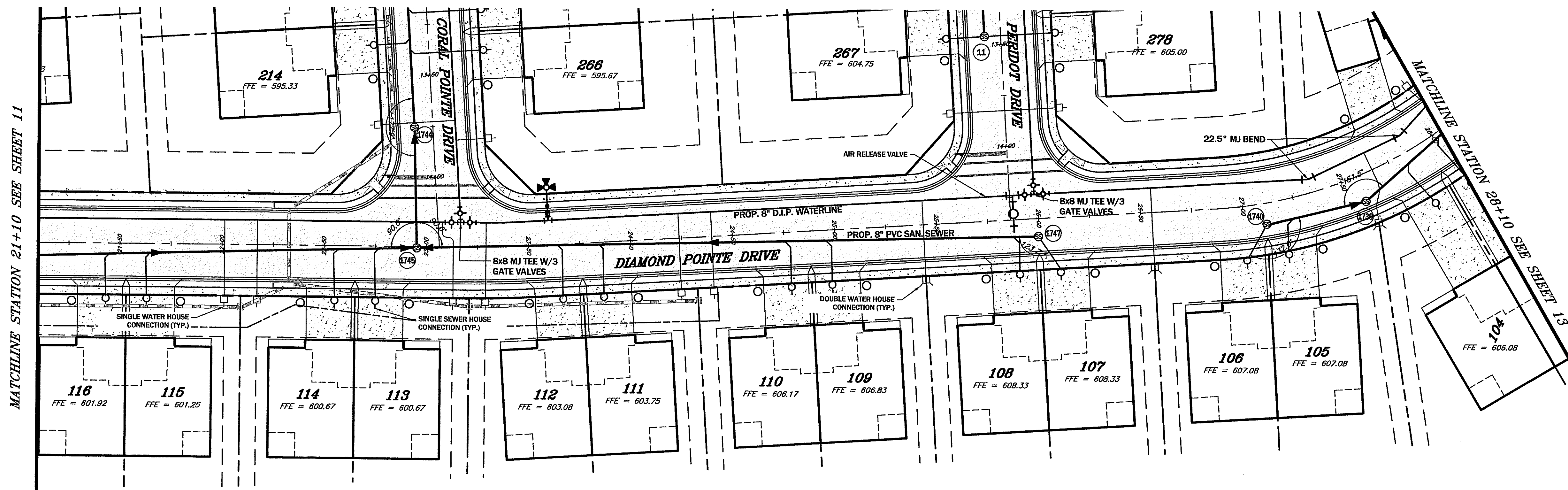


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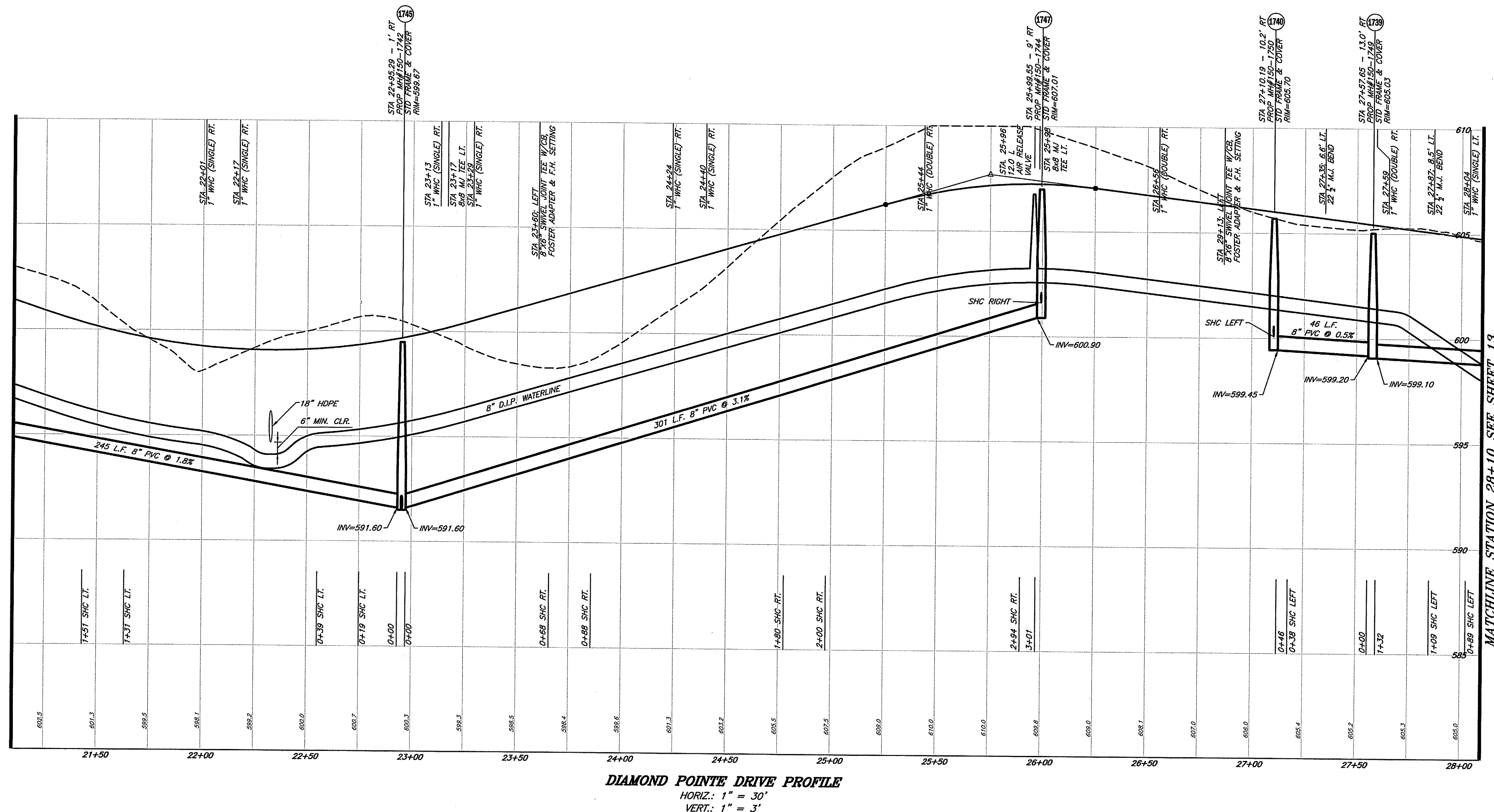
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PROJECT NO. 20-51037
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DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP


SHEET 12 OF 26



NOTE: ALL SEWER LATERALS NOT LABELED WITH ANGLES ARE TO BE 90° TO THE SEWER LINE



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

SCALE:
PLAN VIEW: 1"=30'
PROFILE: { HORZ. 1"=30'
 { VERT. 1"=3'

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD PRESCRIPTION FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE THE AVAILABILITY OF ALLOCATION FOR THE PROPOSED SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME OF THE APPLICATION FOR THE ALLOCATION. THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

**CITY OF HAGERSTOWN UTILITIES DEPARTMENT -
WATER DIVISION**

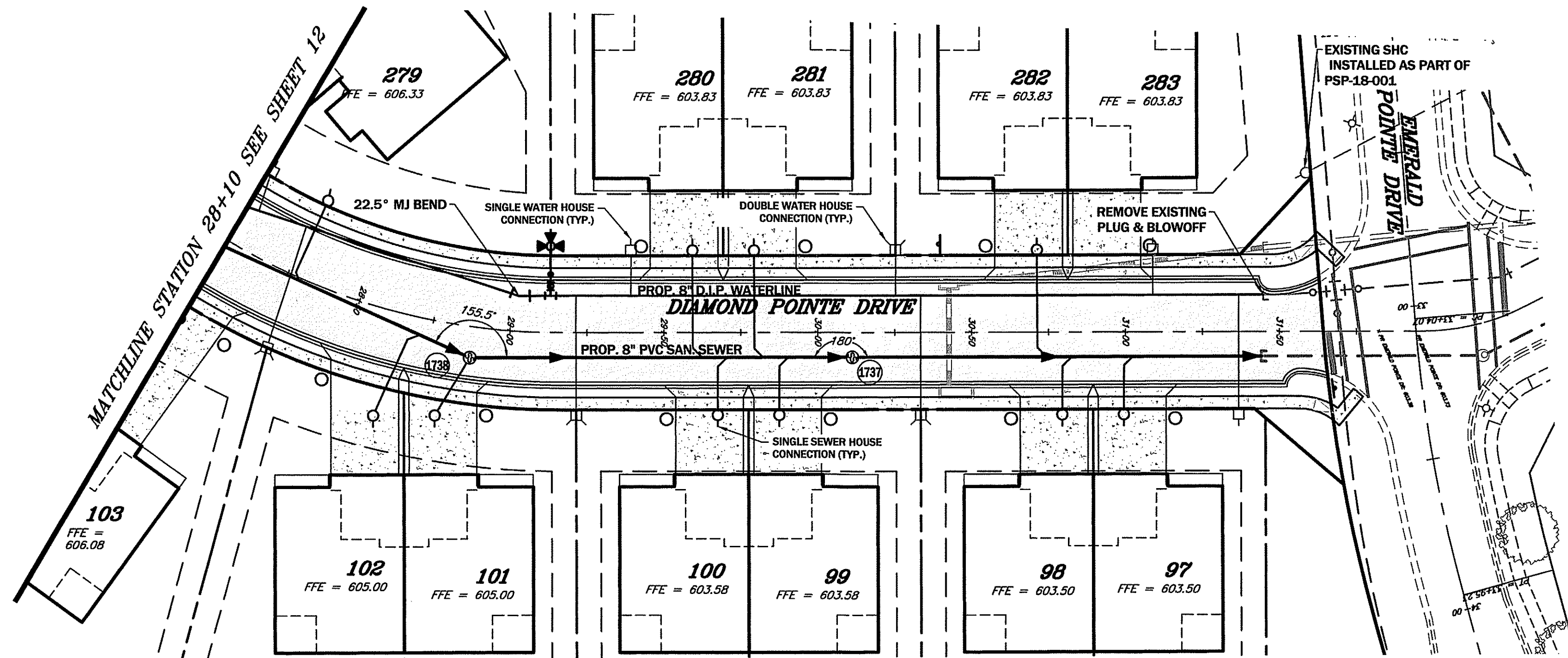
THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE, WATER SERVICE AVAILABILITY SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577 EXT 653 FOR THE PERMIT APPLICATION.

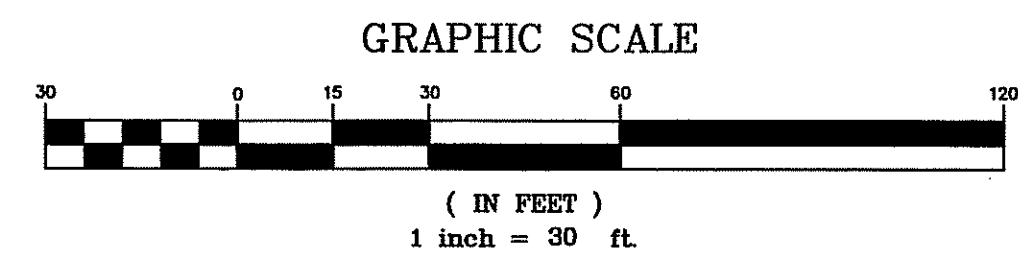
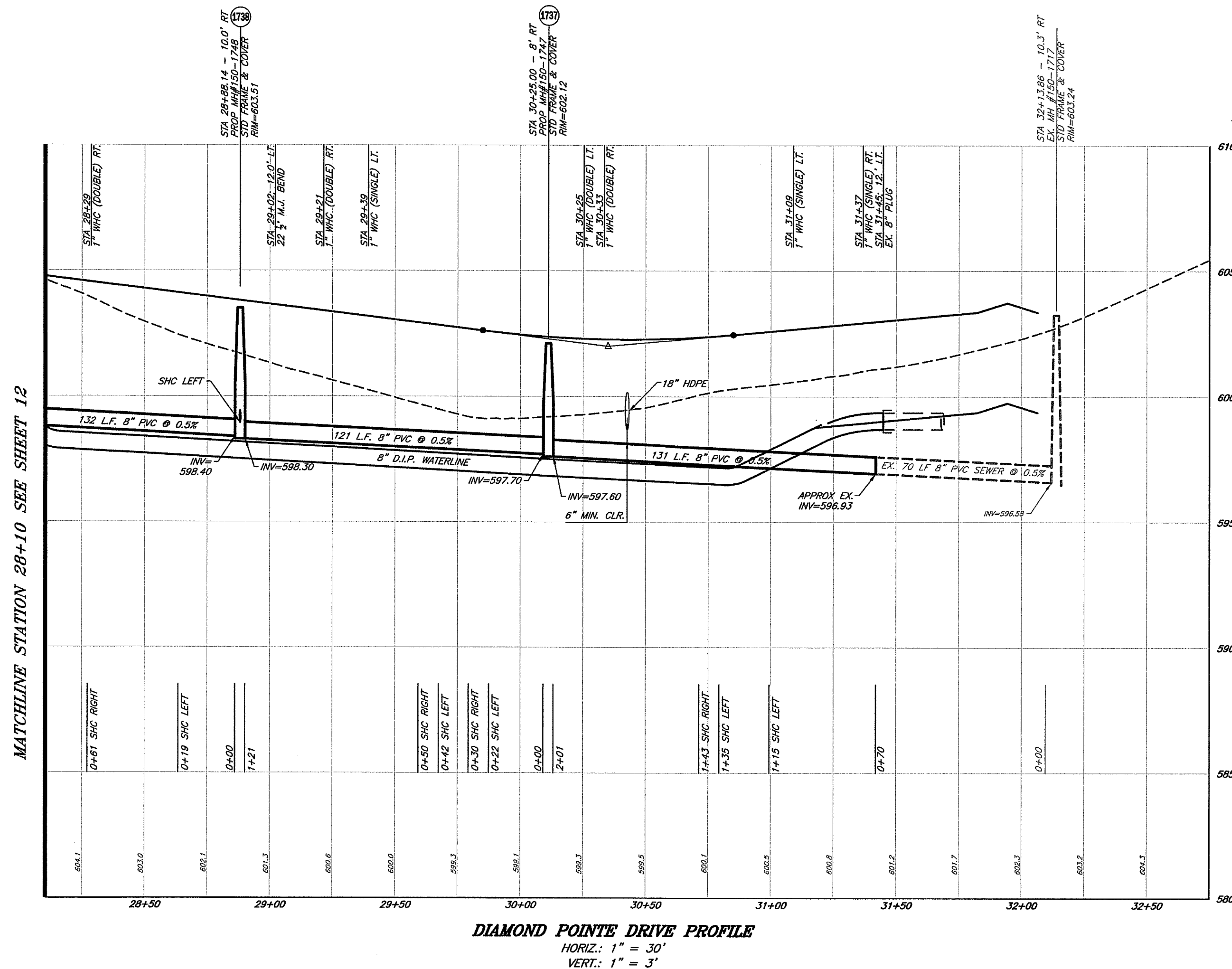
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PSP-21-001



NOTE: ALL SEWER LATERALS NOT LABELED WITH ANGLES ARE TO BE 90° TO THE SEWER LINE.

NOTE: CASINGS WILL BE REQUIRED FOR SEWER LATERALS TO LOTS 279-283. CASINGS SHALL BE 8" DUCTILE IRON AND EXTEND 10' IN EACH DIRECTION FROM THE POINT THE SEWER LATERAL CROSSES THE WATER MAIN.



SCALE:
PLAN VIEW: 1"=30'
PROFILE: HORZ. 1"=30'
VERT. 1"=3'

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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BY: _____ DATE: _____

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL RULES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-738-8977 EXT 653 FOR THE PERMIT APPLICATION

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PHONE: (301)733-8603
or (301)416-7250
FAX: (301)293-6009

Email: foxassoc@foxassocinc.com
www.foxassocinc.com

DRAWN BY

REVISION

DATE

UTILITY PLAN & PROFILE DIAMOND POINTE DRIVE

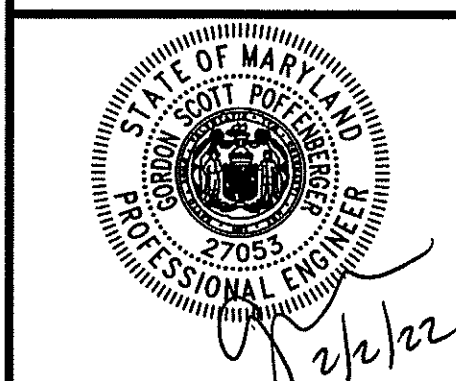
EMERALD POINTE P.U.D.

PHASE 4, SECTIONS 2-6

SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)

WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No. 27053 EXP. DATE 1/25/24

PROJECT NO. 20-51037

DRAWING NO. D-6493

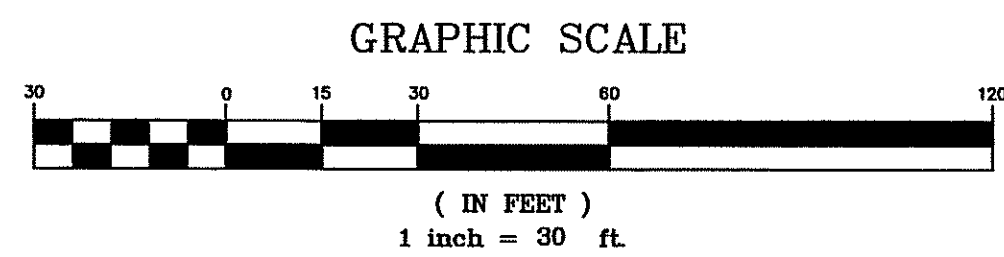
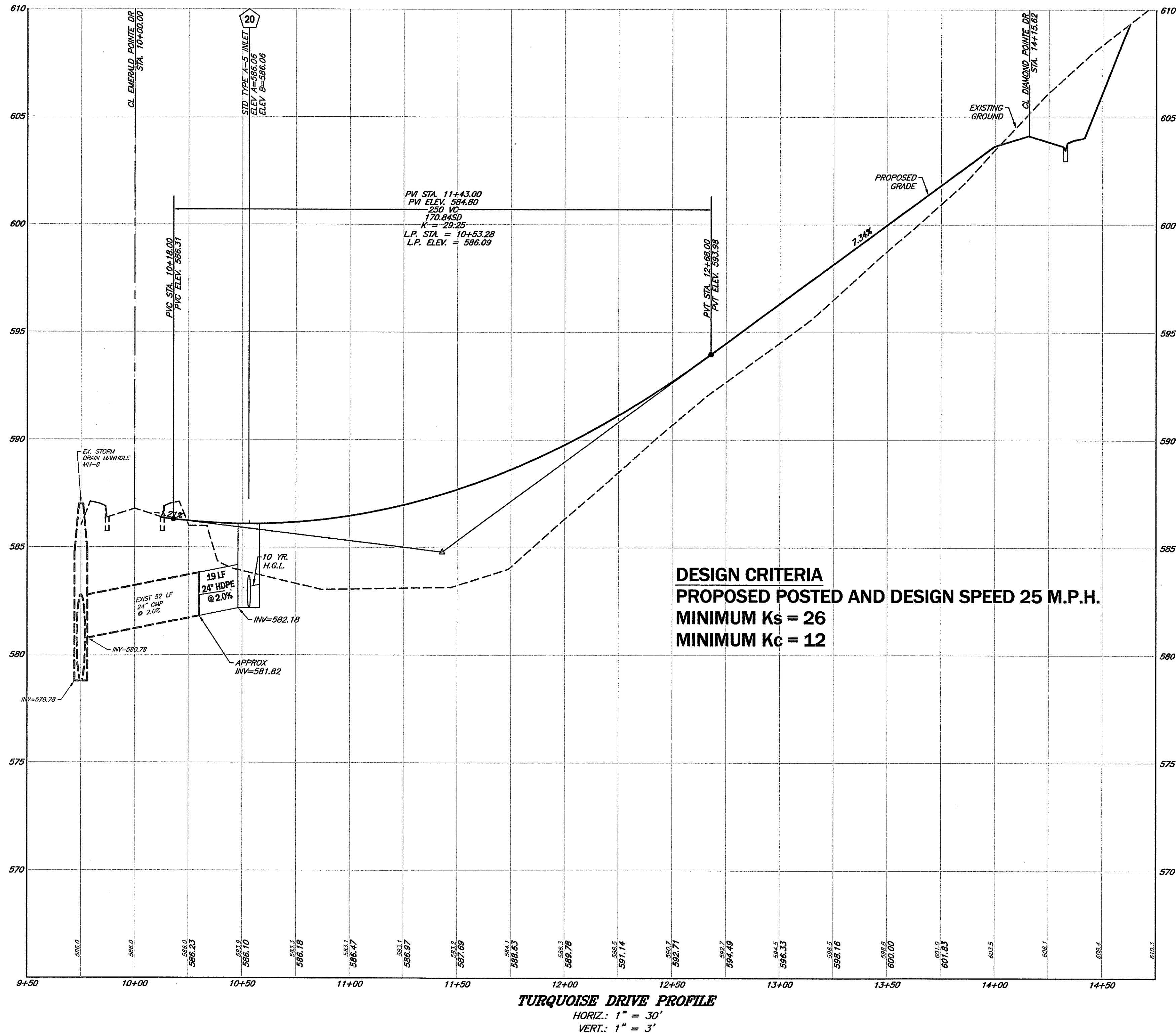
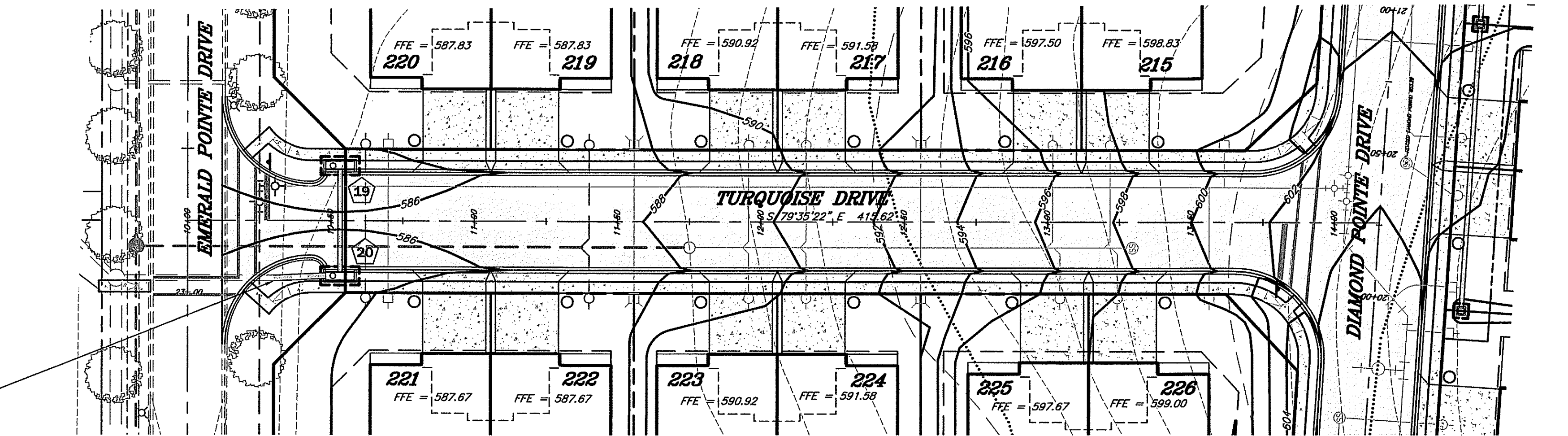
DATE: MAY, 2021

DRAWN BY: DCM

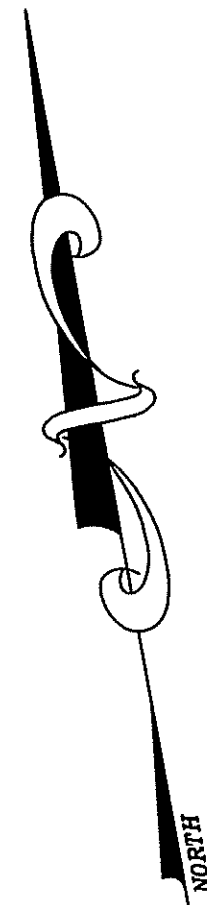
CHECKED BY: GSP

SHEET 13 OF 26

REMOVE PLUG. CONNECT NEW STORM DRAIN WITH CONTECH HUGGER BAND.
SEE SHEET 21.



SCALE:
PLAN VIEW: 1"=30'
PROFILE: 1"=30'
VERT.: 1"=3'



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Email: foxasso2@foxandassociatesinc.com

DATE

REVISION

DRAWN BY

PLAN & PROFILE TURQUOISE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

STATE OF MARYLAND
SEAL OF THE PROFESSIONAL ENGINEER
27053
J. H. HARRIS

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 14 OF 26

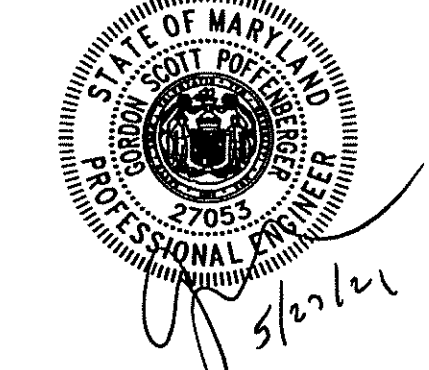
PSP-21-001

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PHONE: (301) 735-5603
FAX: (301) 735-1853
www.foxandassociates.com
Email: foxassoc@foxandassociates.com

REVISION	DATE	DRAWN BY

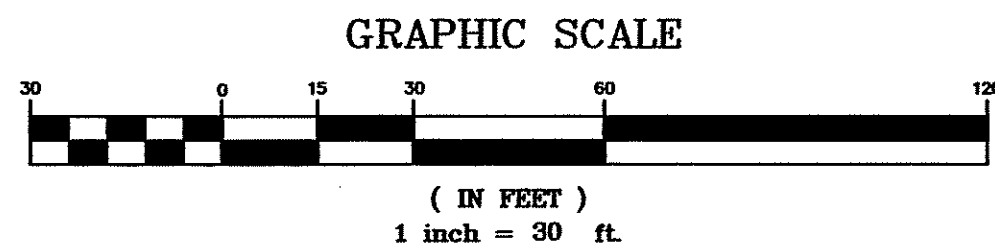
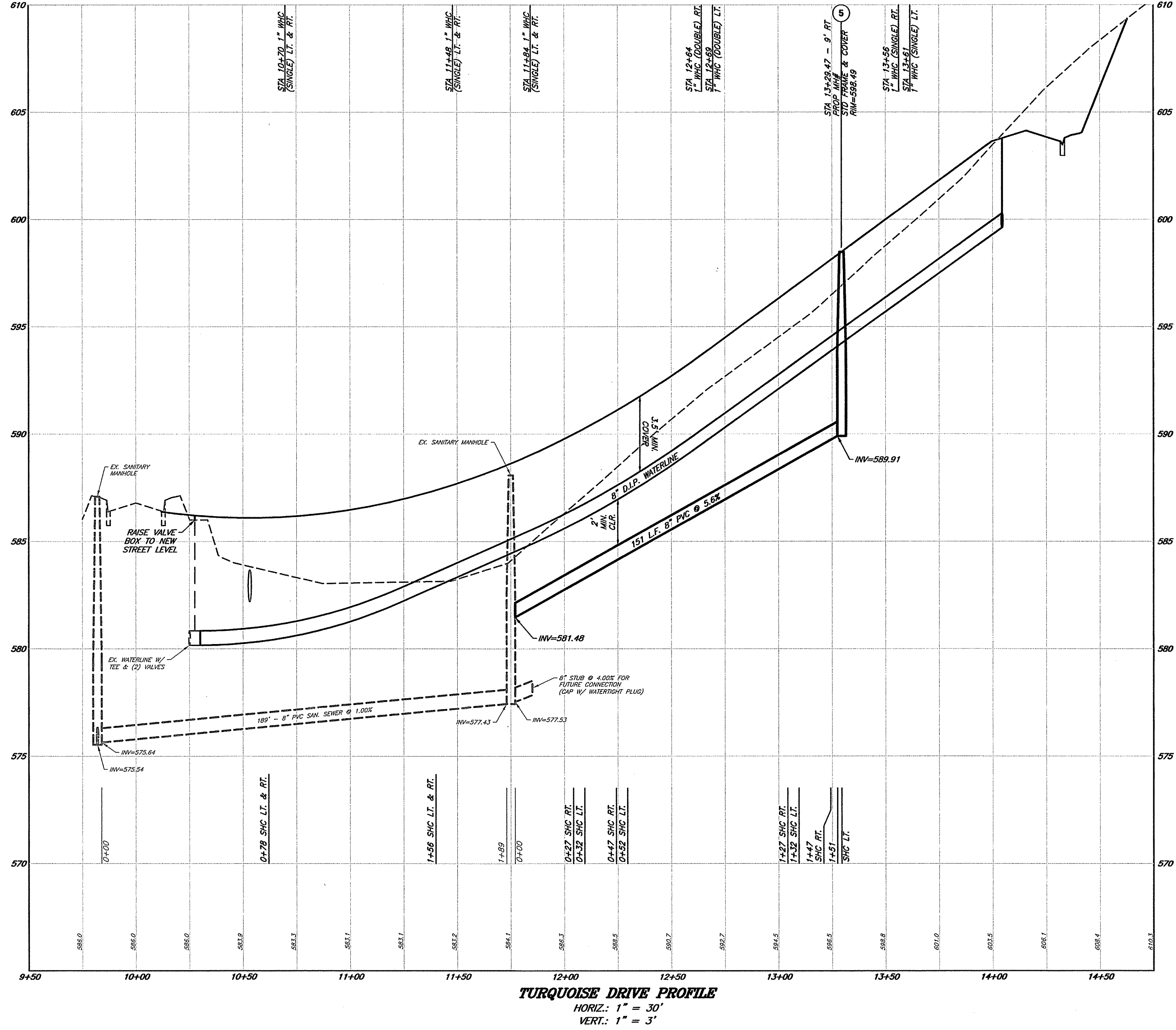
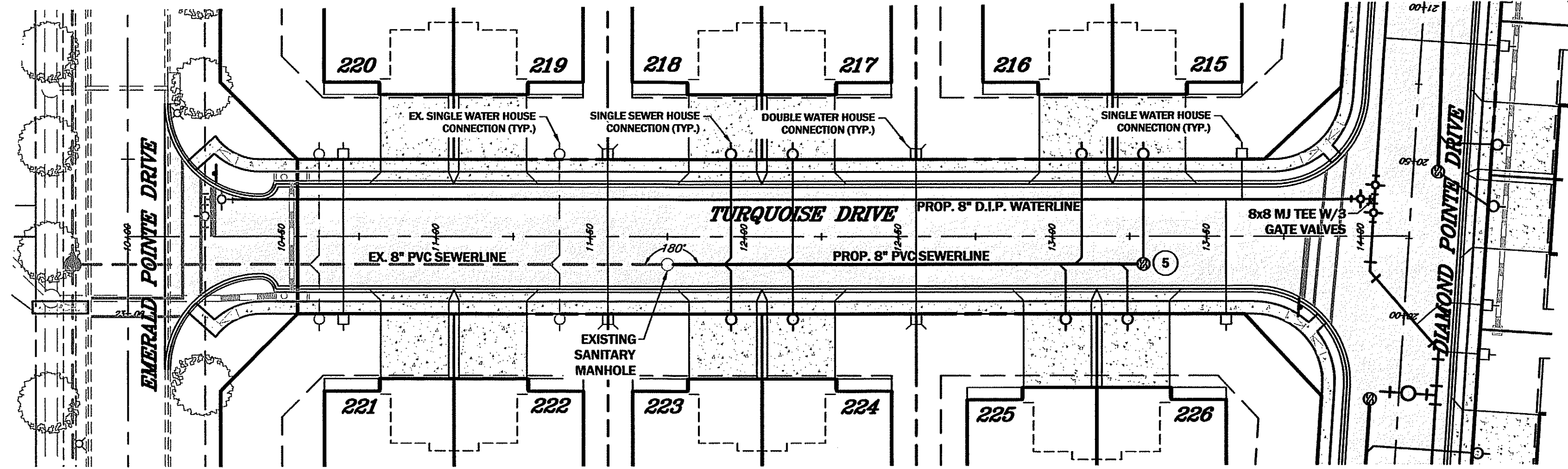
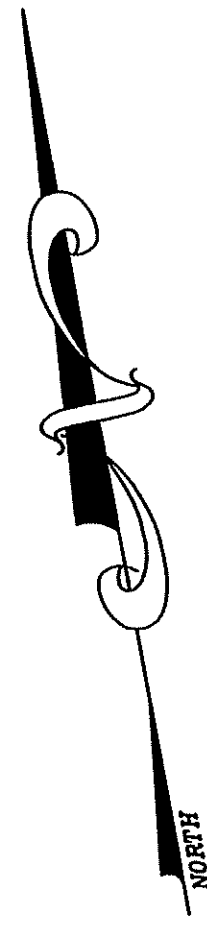
UTILITY PLAN & PROFILE TURQUOISE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/22
PROJECT NO.: 20-51037
DRAWING NO.: D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 15 OF 26



SCALE:
PLAN VIEW: 1"=30'
PROFILE: 1"=30' (HORIZ.)
1"=3' (VERT.)

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER & WASTEWATER DIVISIONS

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER AND WASTEWATER SYSTEM IMPROVEMENTS. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER OR WASTEWATER SERVICE. WATER AND WASTEWATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER AND/OR WASTEWATER SERVICE APPLICATION, THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

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www.foxassocinc.com

DATE: _____
REVISION: _____
DRAWN BY: _____

PLAN & PROFILE CORAL POINTE DRIVE

EMERALD POINTE P.U.D.

PHASE 4, SECTIONS 2-6

SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)

WASHINGTON COUNTY, MARYLAND

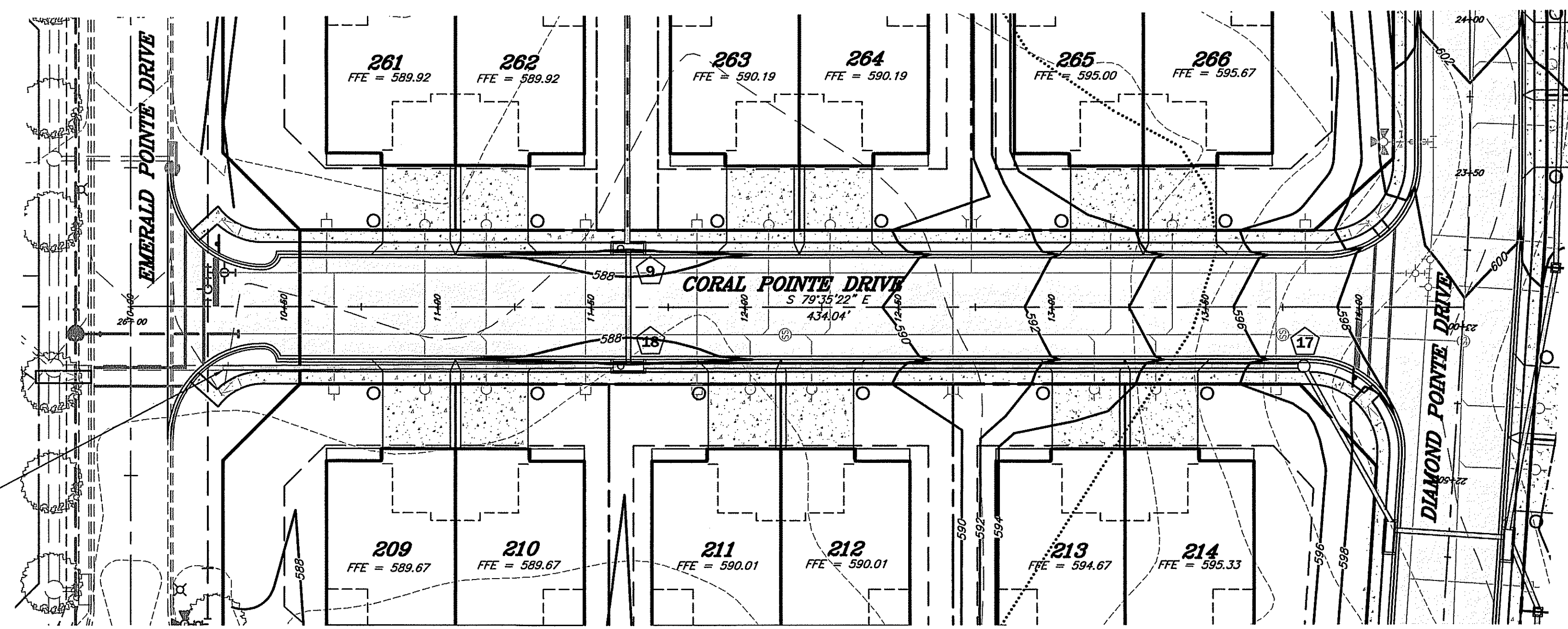
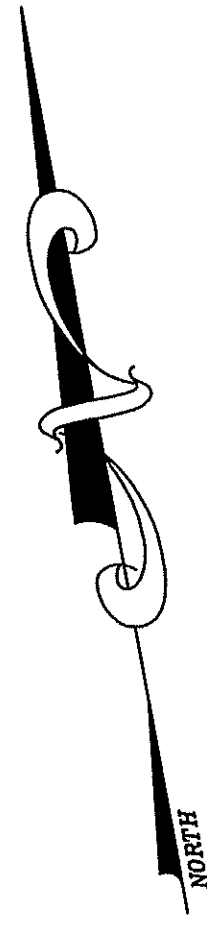
SCALE: AS SHOWN



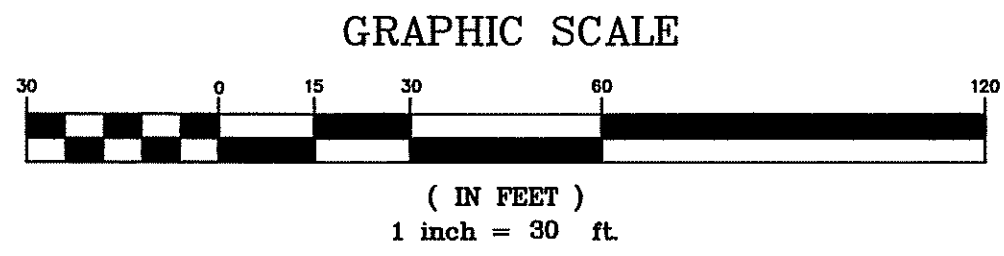
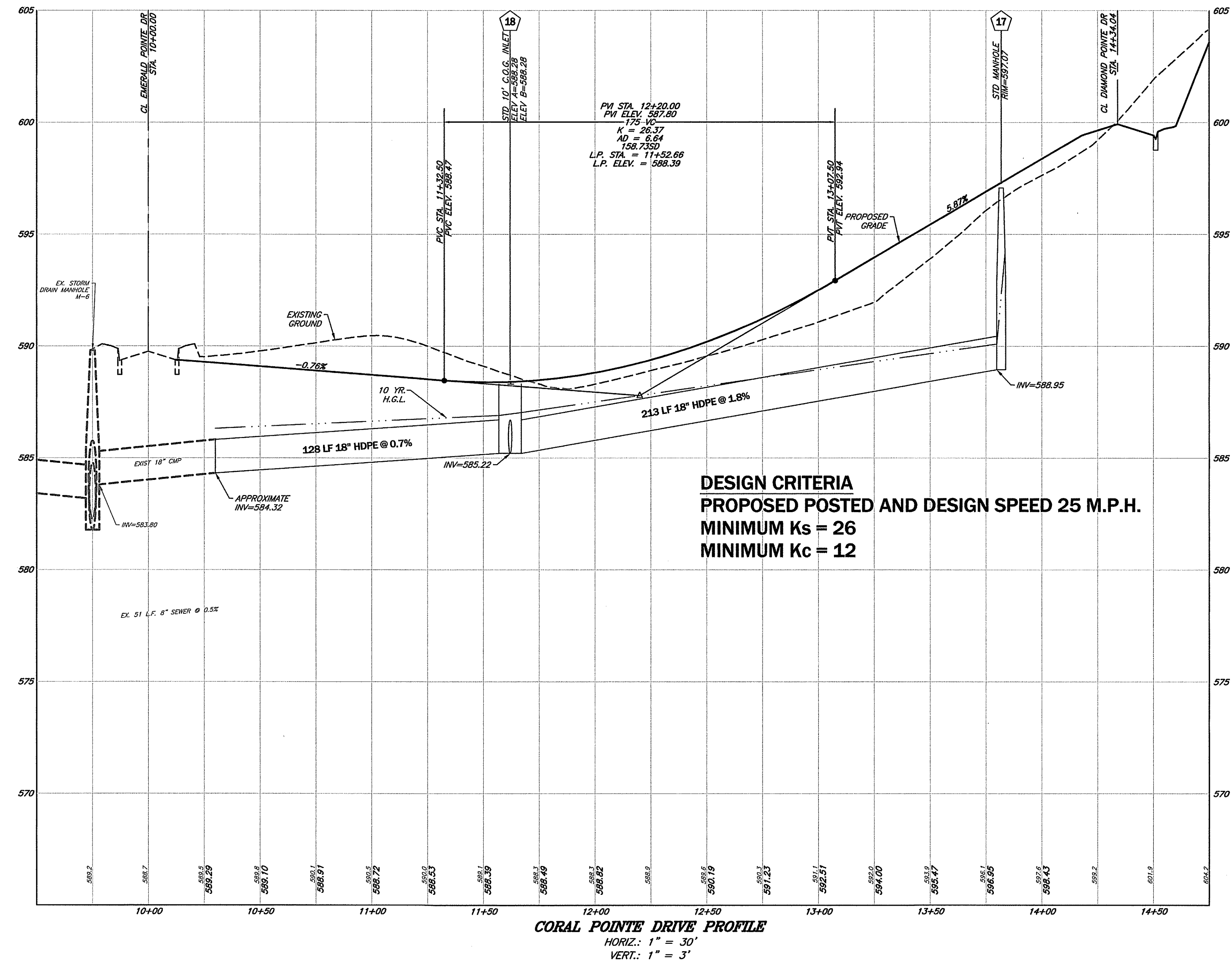
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No.: 27053, EXP. DATE: 1/25/24

PROJECT NO.: 20-51037
DRAWING NO.: D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 16 OF 26

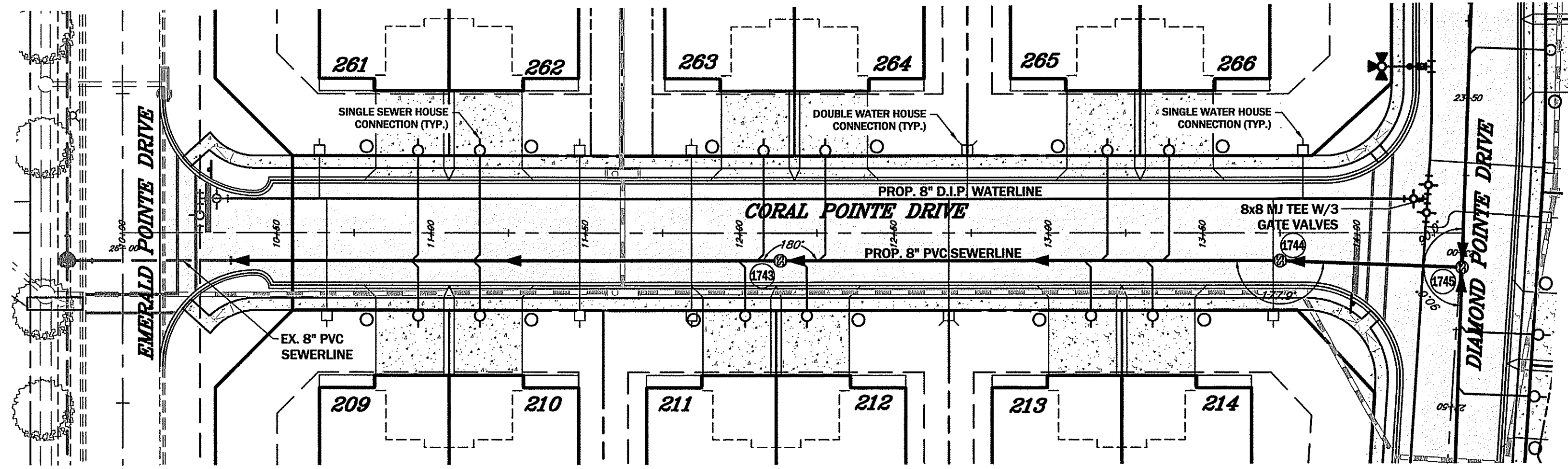


REMOVE PLUG, CONNECT NEW STORM DRAIN WITH CONTECH HUGGER BAND.
SEE SHEET 21.

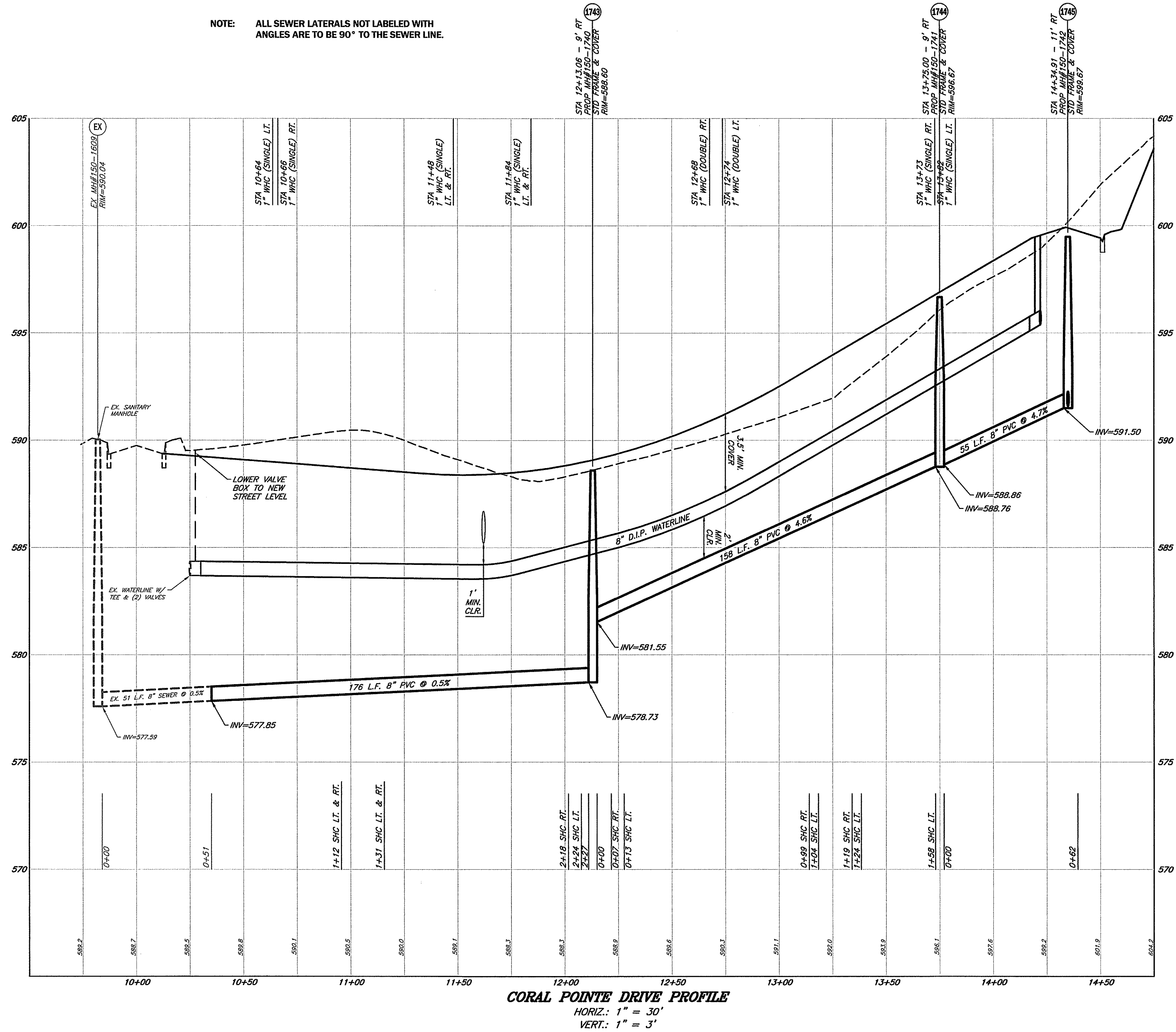


SCALE:
PLAN VIEW: 1"=30'
PROFILE: HORZ. 1"=30'
VERT. 1"=3'

CORAL POINTE DRIVE PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



NOTE: ALL SEWER LATERALS NOT LABELED WITH ANGLES ARE TO BE 90° TO THE SEWER LINE.



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

SCALE:
PLAN VIEW: 1"=30'
PROFILE: { HORIZ. 1"=30'
 { VERT. 1"=3'

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE) _____

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES ENGINEERING DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-735-6577 EXT 653 FOR THE PERMIT APPLICATION

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981 MT. AETNA ROAD
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or (301) 416-1650
FAX: (301) 735-1655
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UTILITY PLAN & PROFILE CORAL POINTE DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

STATE OF MARYLAND
PROFESSIONAL ENGINEER
27053
J. J. JONES
2/2/22

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/24

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

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HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or
FAX: (301)416-7250

www.foxassoc.com
Email: foxassoc@foxassoc.com

DRAWN BY

REVISION

DATE

**PLAN & PROFILE PERIDOT DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6**

SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

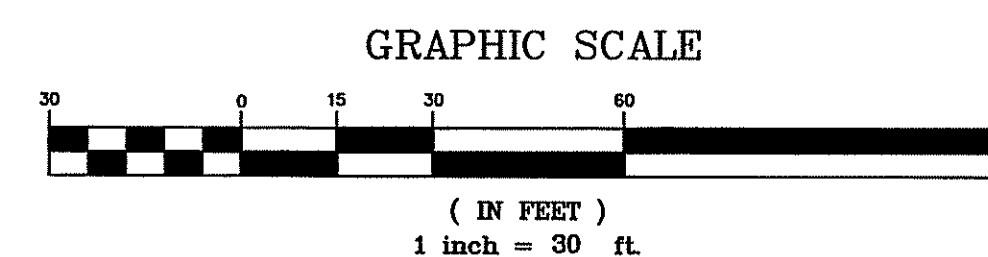
SCALE: AS SHOWN



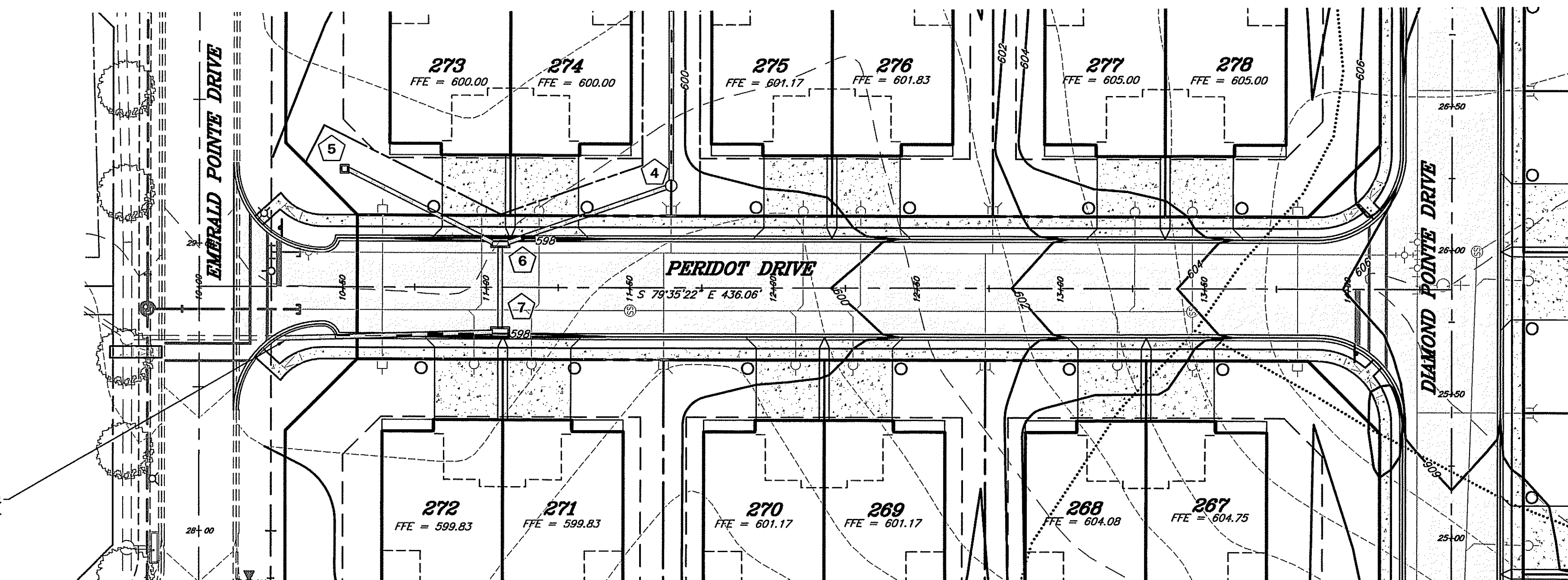
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

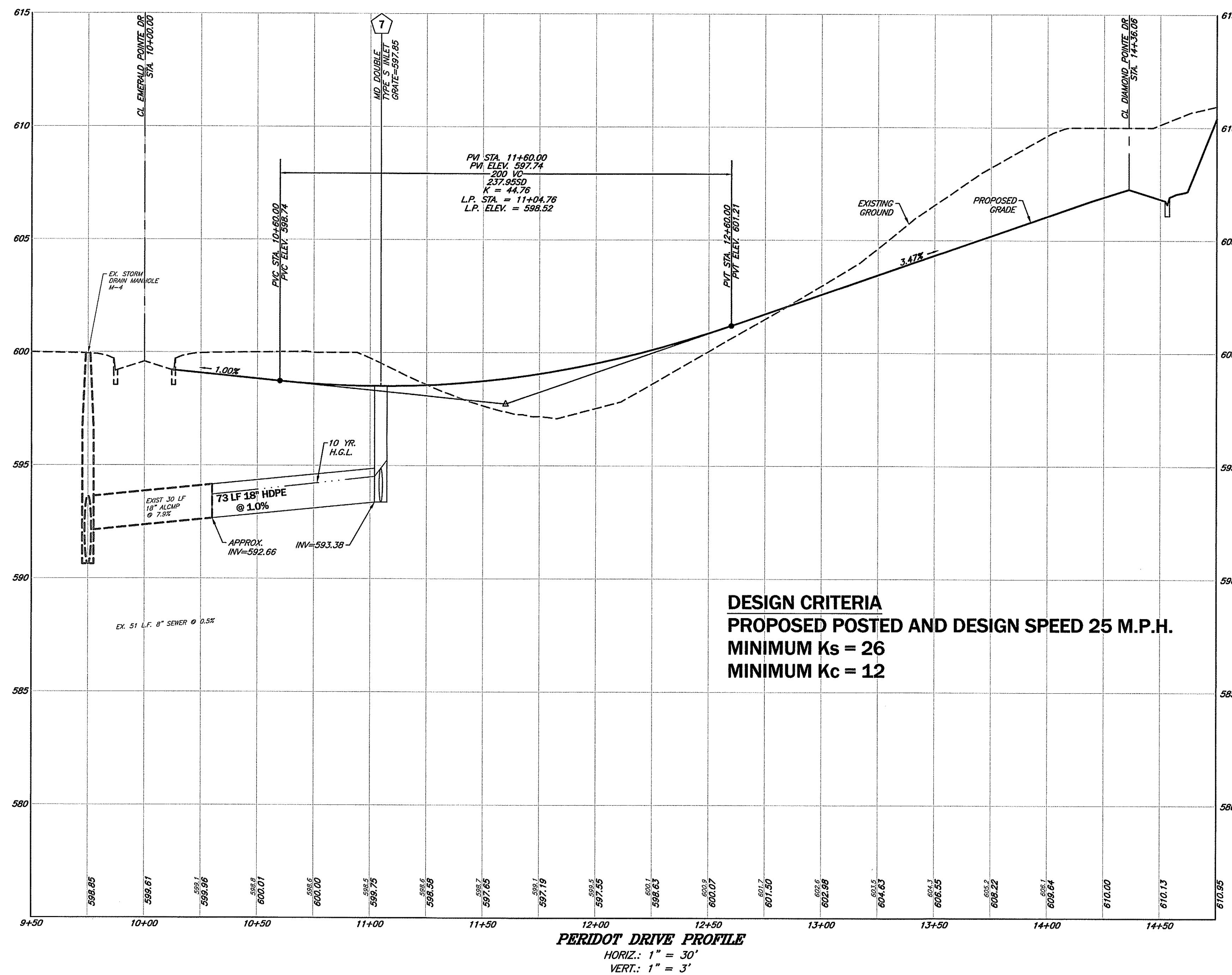
SHEET 18 OF 26



SCALE:
PLAN VIEW: 1"=30'
PROFILE: { HORIZ. 1"=30'
 { VERT. 1"=3'

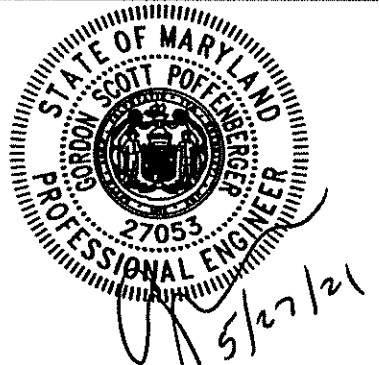


REMOVE PLUG. CONNECT NEW STORM DRAIN WITH CONTECH HUGGER BAND.
SEE SHEET 21.



**UTILITY PLAN & PROFILE PERIDOT DRIVE
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND**

SCALE: AS SHOWN

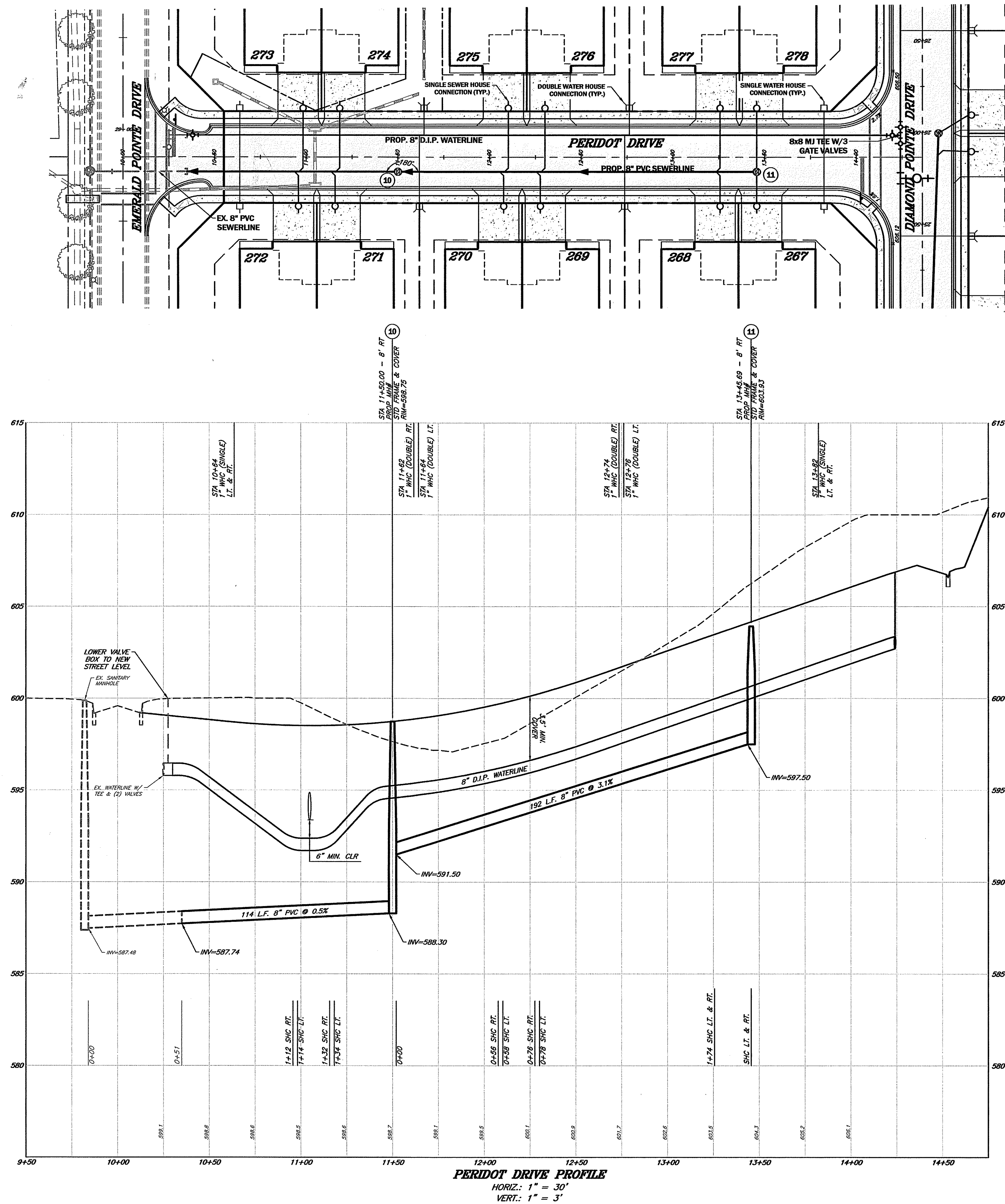


HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/2011

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 19 OF 26



WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SEWER AND WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME OF THE APPROVAL. THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

**CITY OF HAGERSTOWN UTILITIES DEPARTMENT –
WATER & WASTEWATER DIVISIONS**

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER AND WASTEWATER SYSTEM IMPROVEMENTS. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER OR WASTEWATER SERVICE. WATER AND WASTEWATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. THIS APPROVAL DOES NOT GUARANTEE PAYMENT OF FEES AND APPROVAL OF THE WATER AND/OR WASTEWATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) _____ (DATE)

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82 WORMANS MILL COURT
SUITE 'C'
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or (301) 416-7250
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www.foxassoc.com
Email: foxassoc@foxassoc.com

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REVISION

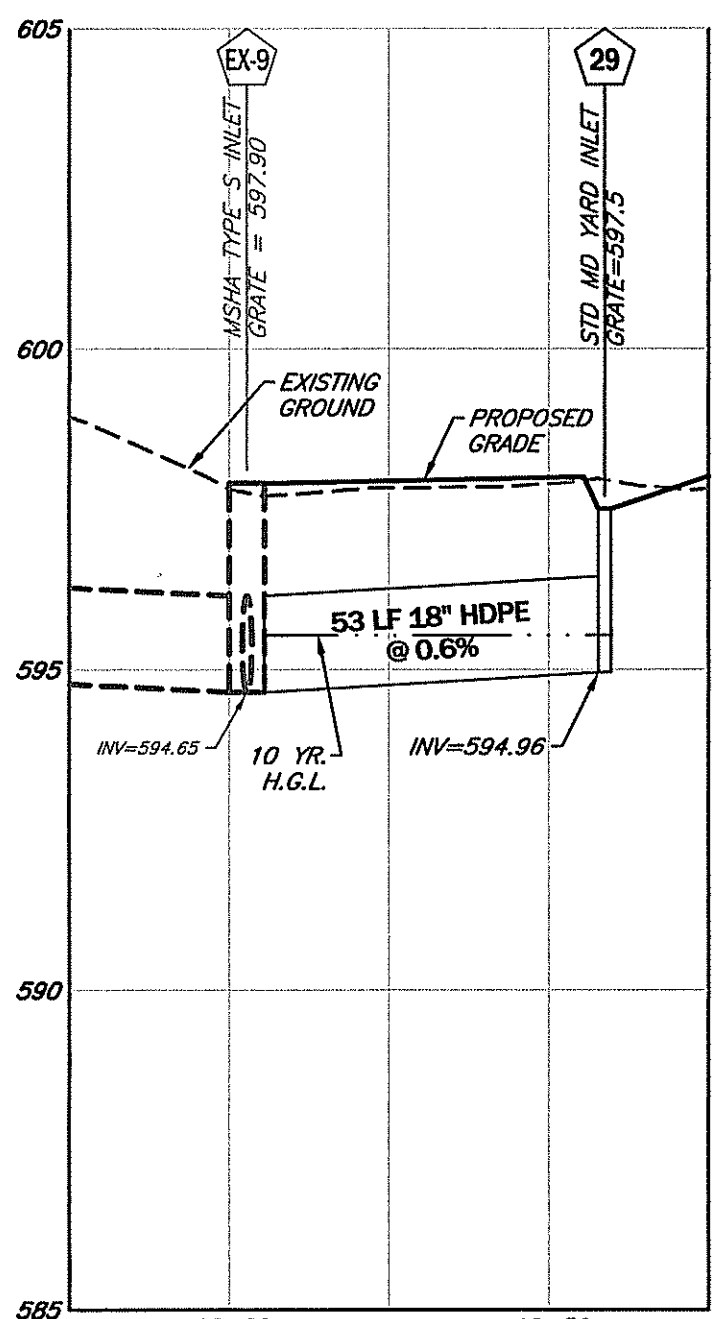
DATE

STORM DRAIN PROFILES
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

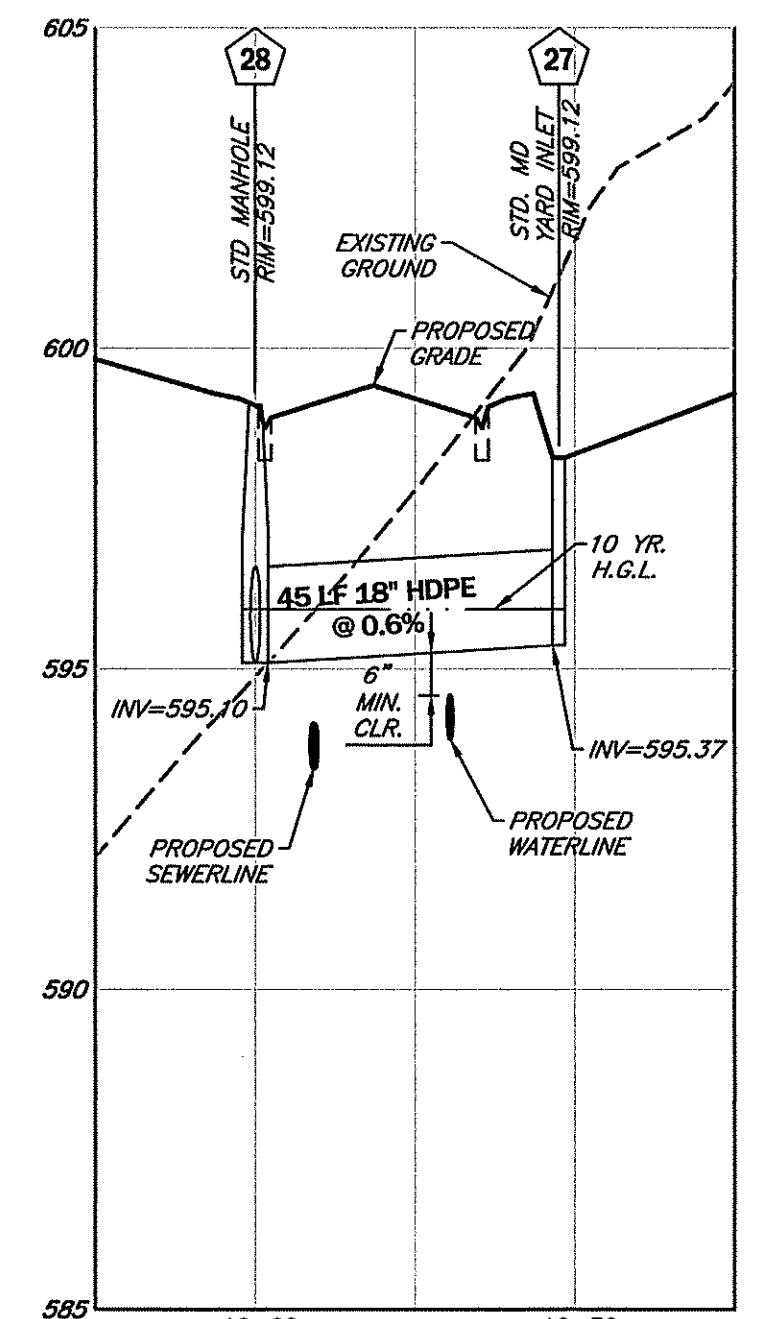
SCALE: AS SHOWN



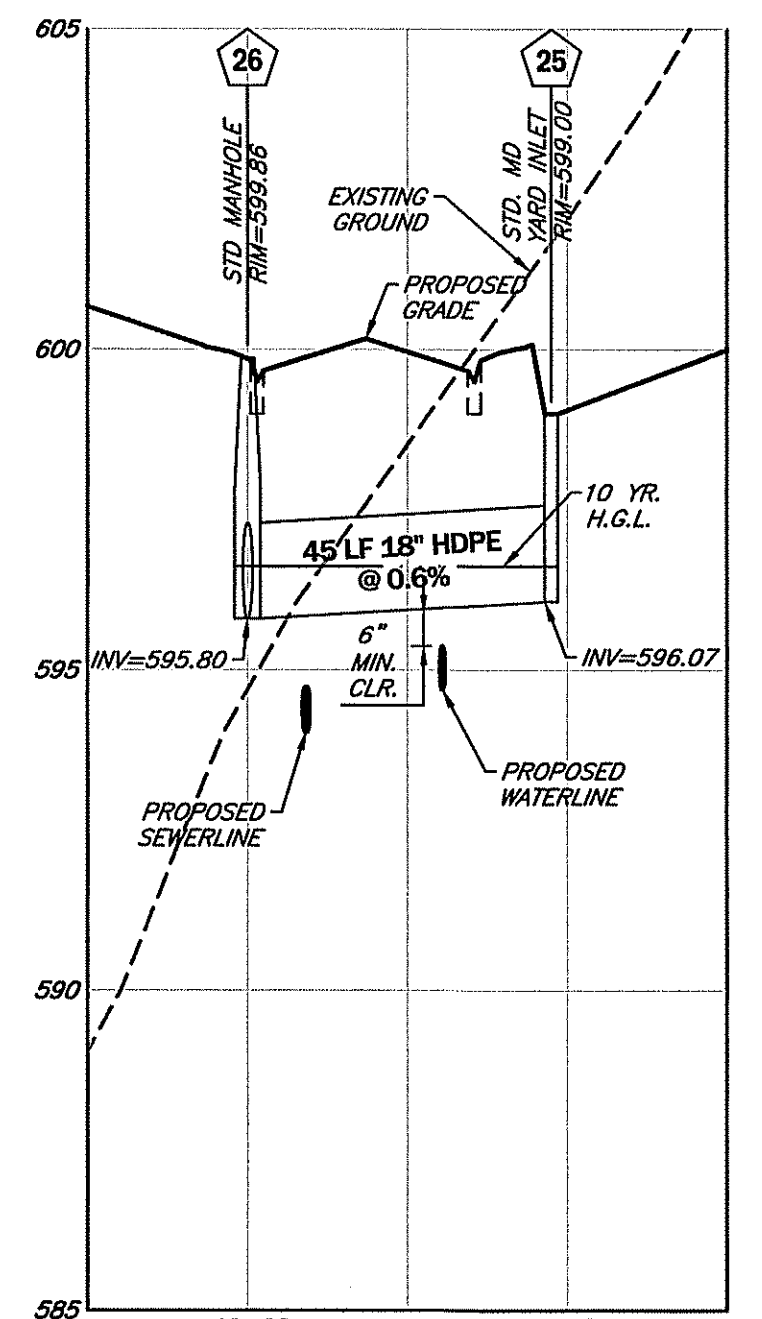
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/24
PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP



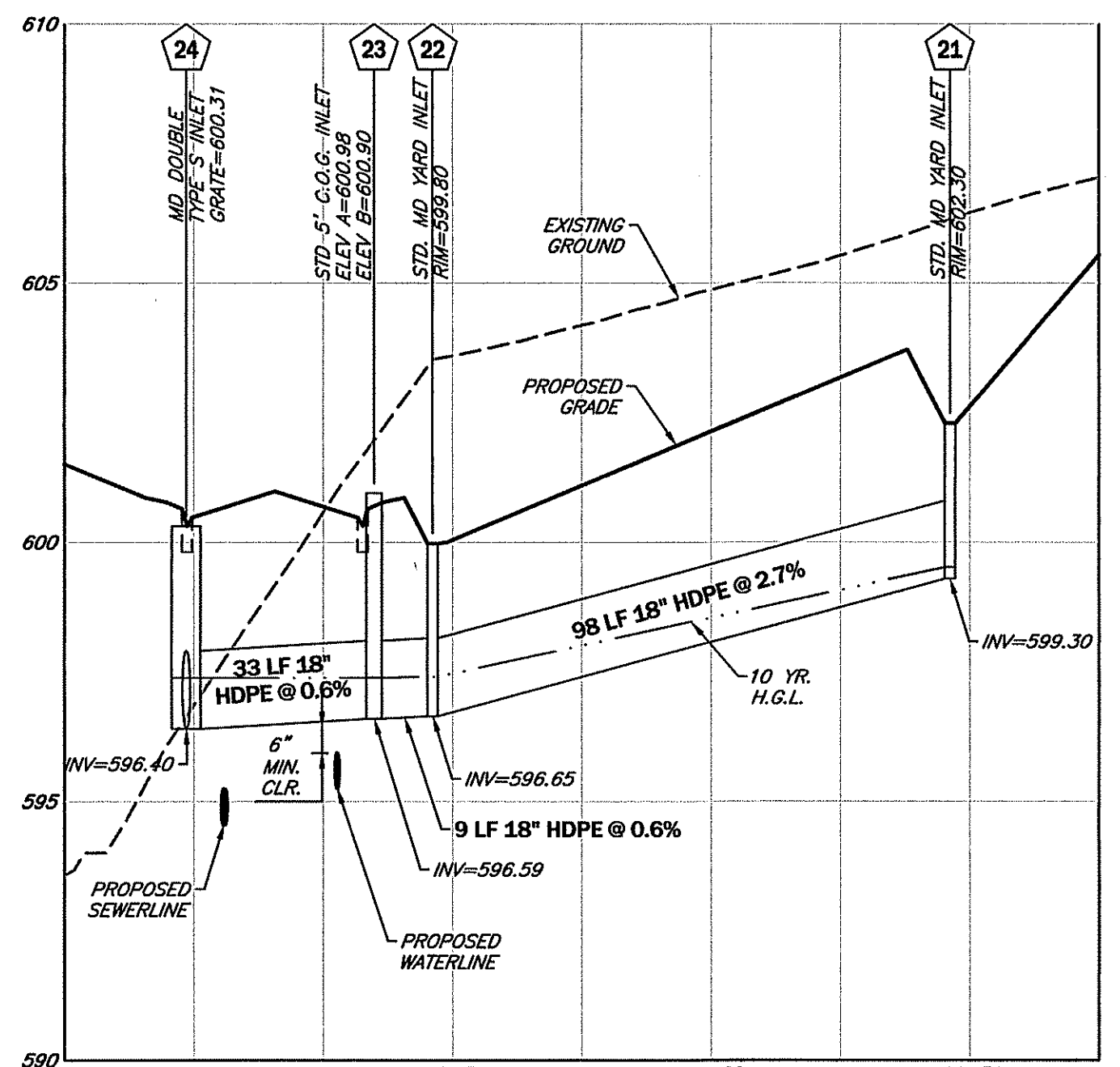
SD 9-29 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



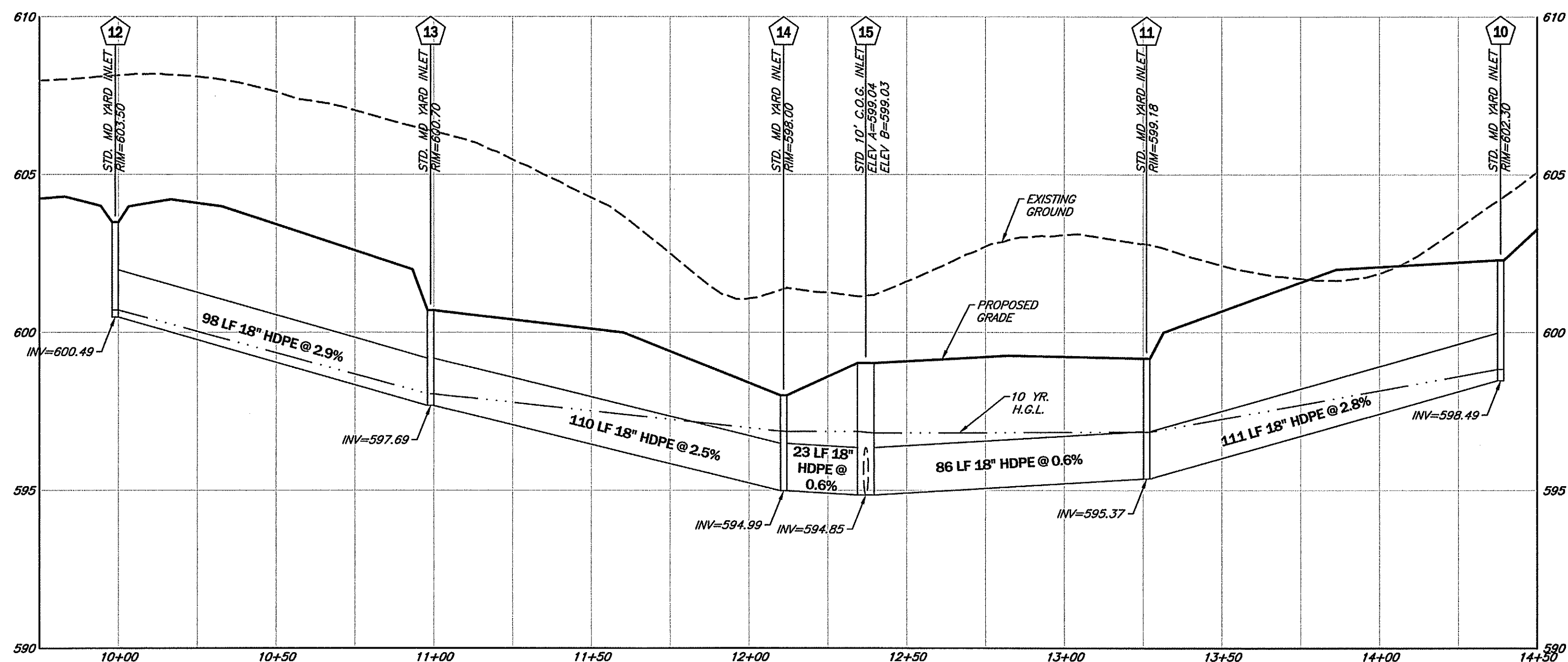
SD 28-27 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



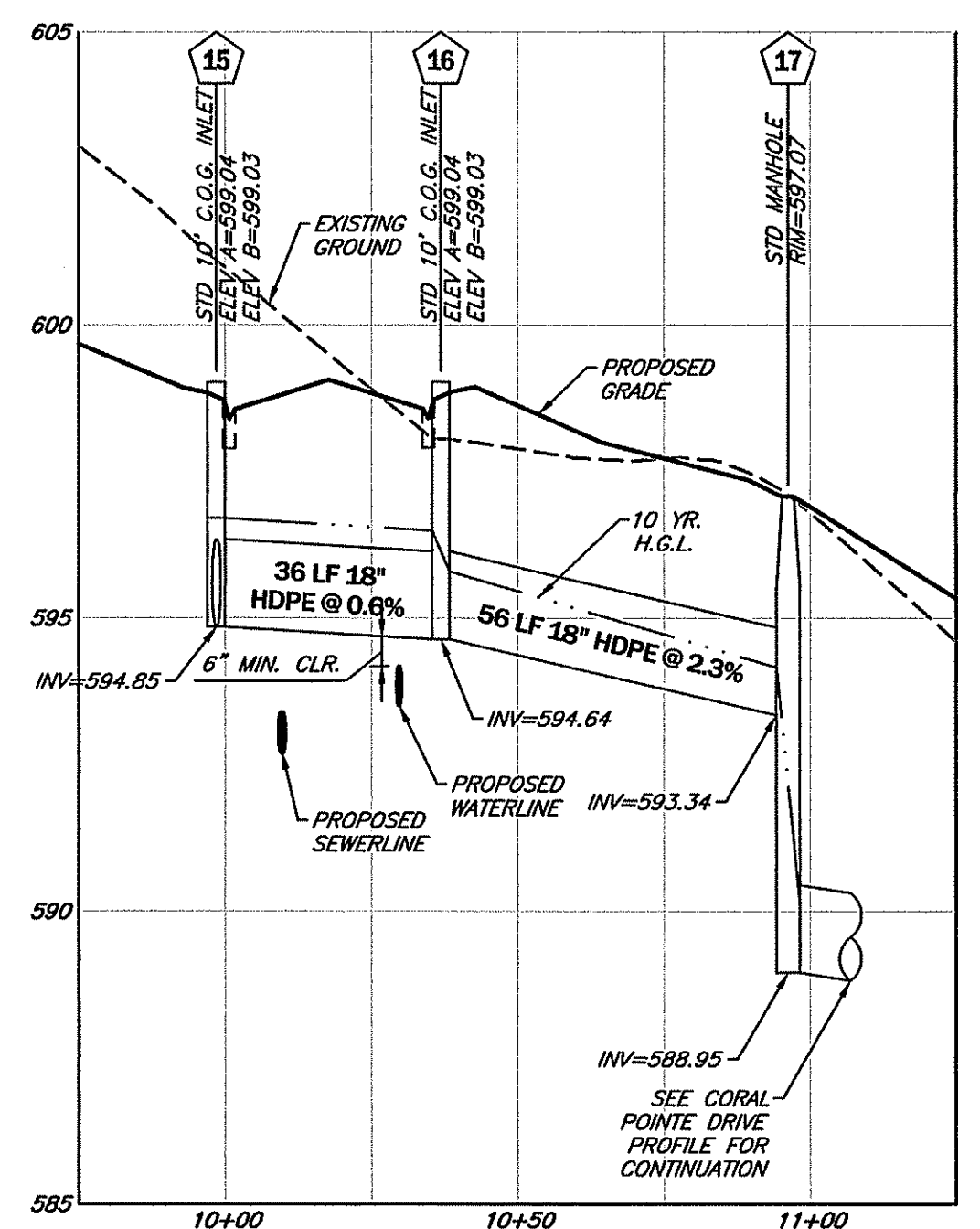
SD 26-25 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



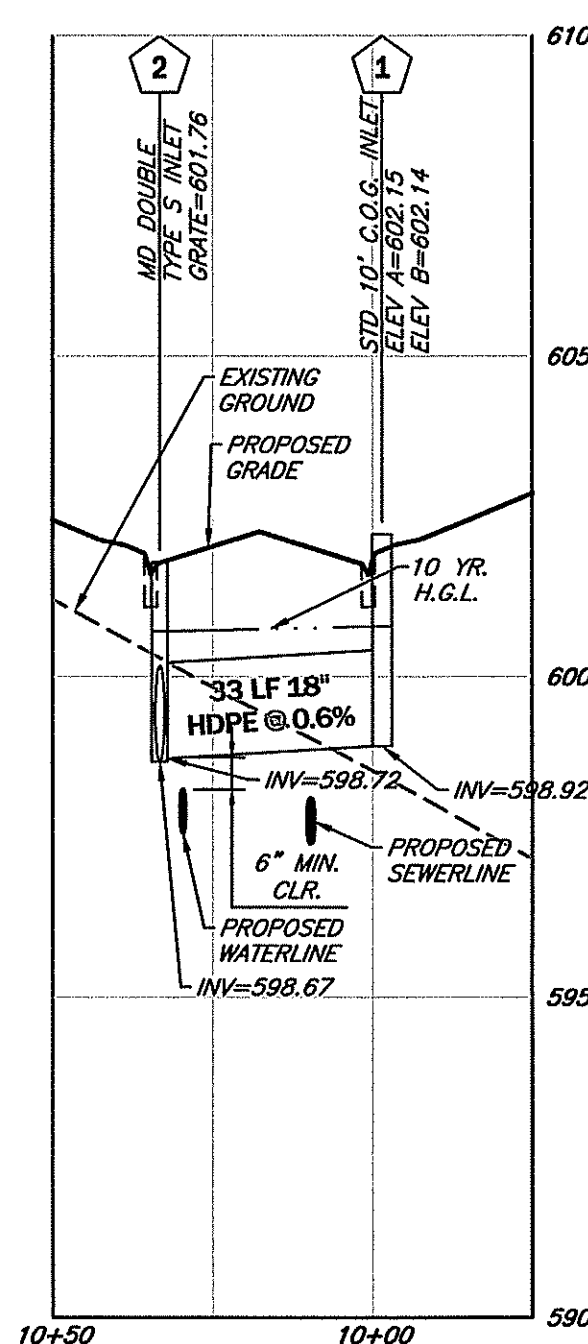
SD 24-21 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



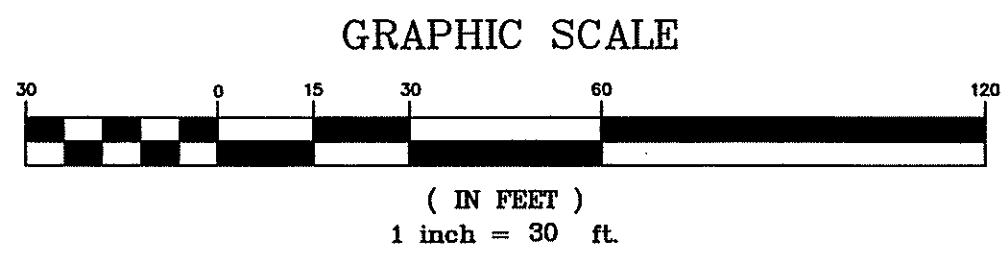
SD 12-10 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



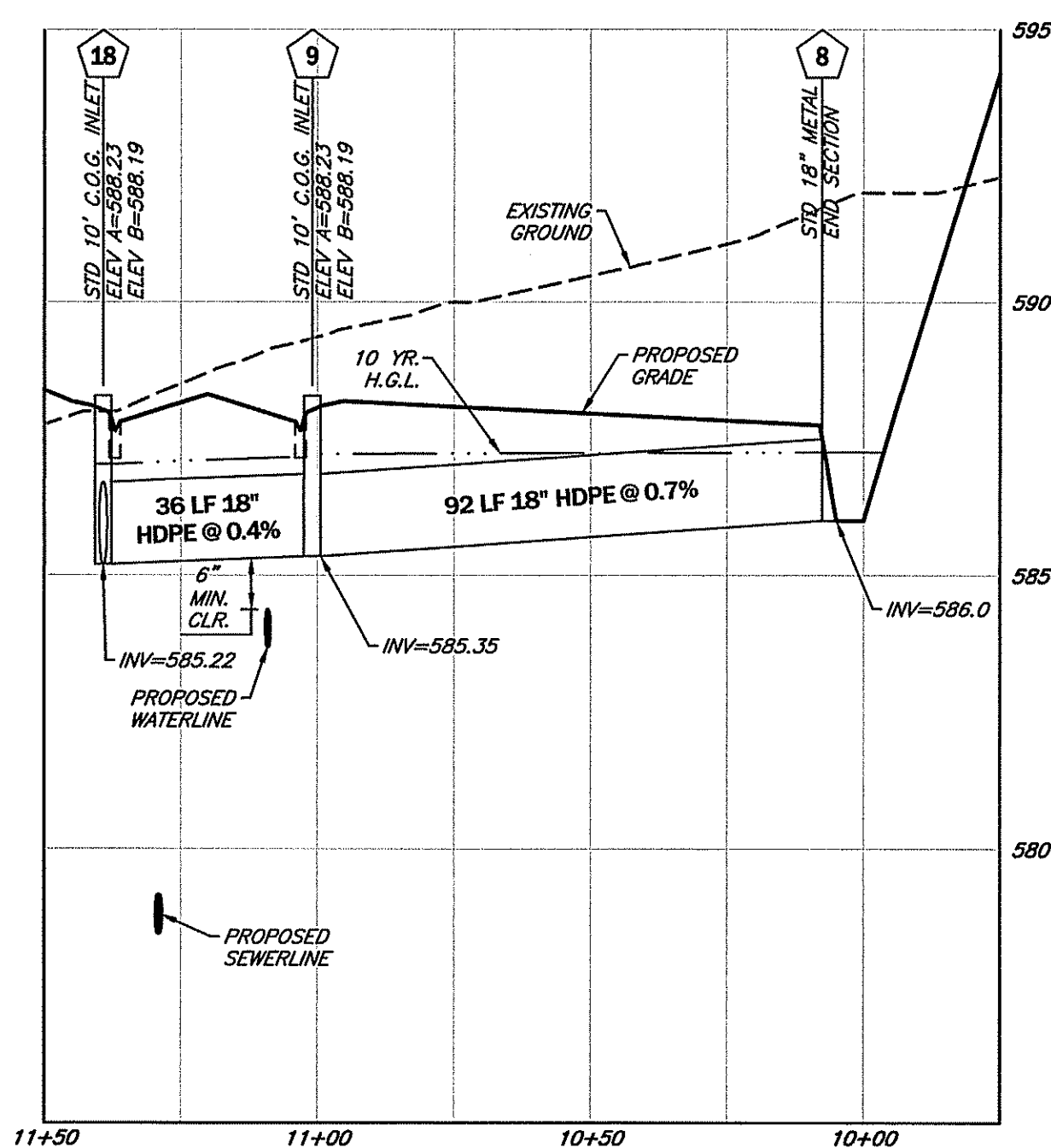
SD 15-17 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



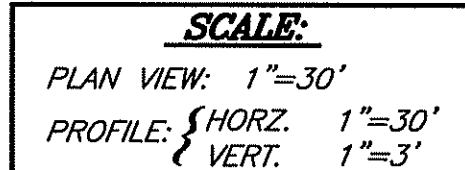
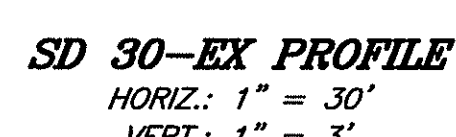
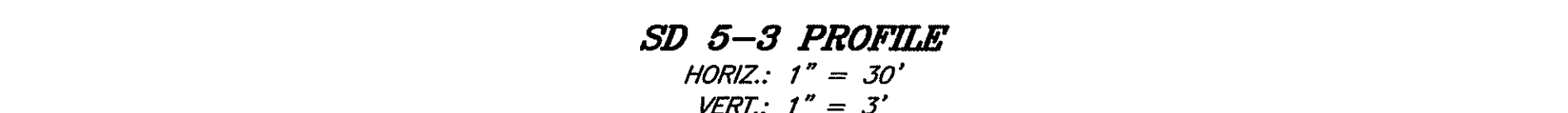
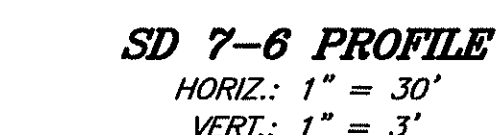
SD 2-1 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



SCALE:
PLAN VIEW: 1"=30'
PROFILE: $\begin{cases} \text{HORZ.} & 1"=30' \\ \text{VERT.} & 1"=3' \end{cases}$



SD 18-8 PROFILE
HORIZ.: 1" = 30'
VERT.: 1" = 3'



CORTECH
ENGINEERED SOLUTIONS

H-12 HUGGER Band

Compiling Reduces Infiltration

CORTECH's H12 HUGGER Bands are versatile, multi-purpose couplers for corrugated metal pipes. The H12 HUGGER Band is designed to join HUGGER Pipe and provide the necessary strength to meet the current AASHTO Joint and Performance Criteria for Standard Joints.

HUGGER Pipe ends are reinforced with two similar corrugations, providing one locking corrugation for the HUGGER Band, plus a corrugation for an Oring gasket when necessary. The H12 is also used with 12" wide flat gaskets.

For applications where infiltration is especially critical, the H12 HUGGER Bands should be ordered with Oring or flat gaskets, and in some cases, ends may be flat gasket reinforced.

BC001H 1/15 Standard 10F

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USE FOR C.M.P. CONNECTION

CORTECH
ENGINEERED SOLUTIONS

H-12 HUGGER Band

H-12 HUGGER Bands are available with any of CORTECH's standard materials or coatings including: plate galvanized, asphalt coated, ALUMINIZED STEEL Type 2, polymeric or chlorinated.

The HUGGER concept features an excellent system for joining reinforced circular and corrugated pipe. Reducing corrugations on each pipe and amplifies indexing between band and pipe, and provides for positive locking with the corrugations regardless of the orientation of the pipe. There is no need to rotate pipe sections or to allow economy with hydrobonded joints. The HUGGER Band engages the ribbed end of the pipe for 360° to provide more secure capability and full-joint resistance than a simple band.

Details are shown on the other side.

Physical Details

Ball, Bar and Strip Connection

*A single ball, bar and strip connection is shown. The H12 HUGGER Band is also available with Section angles. Splicing a double ball, bar and strip connection is recommended for some adverse and special conditions. When Oring gaskets are to be used, the specifications should generally indicate the use of flat bar and strip connections.

Additional details and dimensions are available in the HUGGER Band CORTECH Sales Program. For applications outside the US, please pipe to meet local building code requirements, which may vary and strip connections with a leading pipe assembly should be specified.

Continuous corrugation around ball section with second round corrugation in pipe walls.

Standard construction is one-piece for 12\"/>

Oring Gasket
Option

Joint Cross Section

Reinforced Anchor
Pipe End

BC001H 1/15 Standard 10F

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HP STORM DUAL WALL SPLIT COUPLER 12" - 60" DIAMETER

PART #	PIPE SIZE	A
12ESAC	12 in (305 mm)	7.7 in (195 mm)
15ESAC	15 in (379 mm)	10.4 in (263 mm)
18ESAC	18 in (450 mm)	13.7 in (347 mm)
24ESAC	24 in (600 mm)	17.8 in (450 mm)
30ESAA	30 in (750 mm)	18.5 in (470 mm)
36ESAA	36 in (900 mm)	21.0 in (533 mm)
42ESAA**	42 in (1050 mm)	20.8 in (527 mm)
48ESAA**	48 in (1200 mm)	21.0 in (533 mm)
60ESAA**	60 in (1500 mm)	24.0 in (610 mm)

HOLES PROVIDED FOR
PLASTIC COUPLING
GASKETS

WRAP COUPLING AROUND PIPE CABLE
INSTALL THREE PLASTIC COUPLING GASKETS
TIE SHIRT BUSTED LOCATING TIE CABLES
HOLES PROVIDED IN COUPLING AND
TIGHTEN SECURELY AROUND PIPE

USE FOR H.D.P.E. CONNECTION

NOTE: ALL FITTINGS DIMENSIONS ARE FOR REFERENCE ONLY

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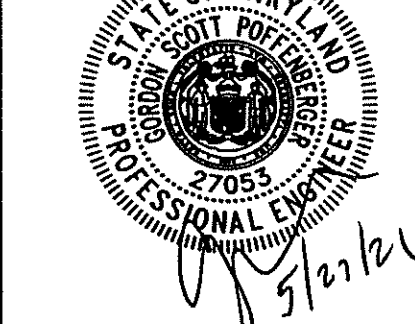
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DESIGNED BY	JAH 10/2/2009
APPROVED BY	
DESIGNED BY	JAH 4/29/2016

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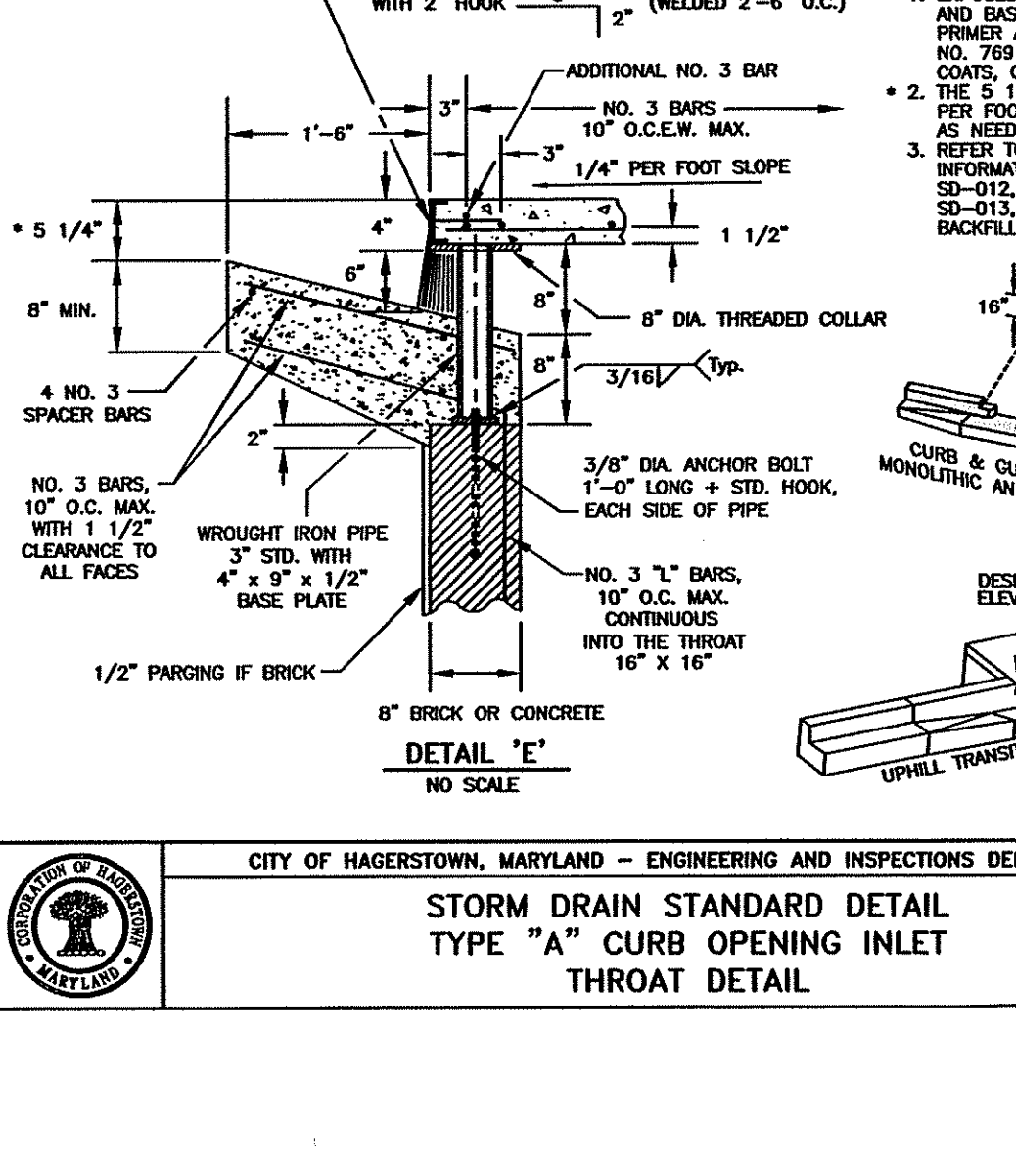
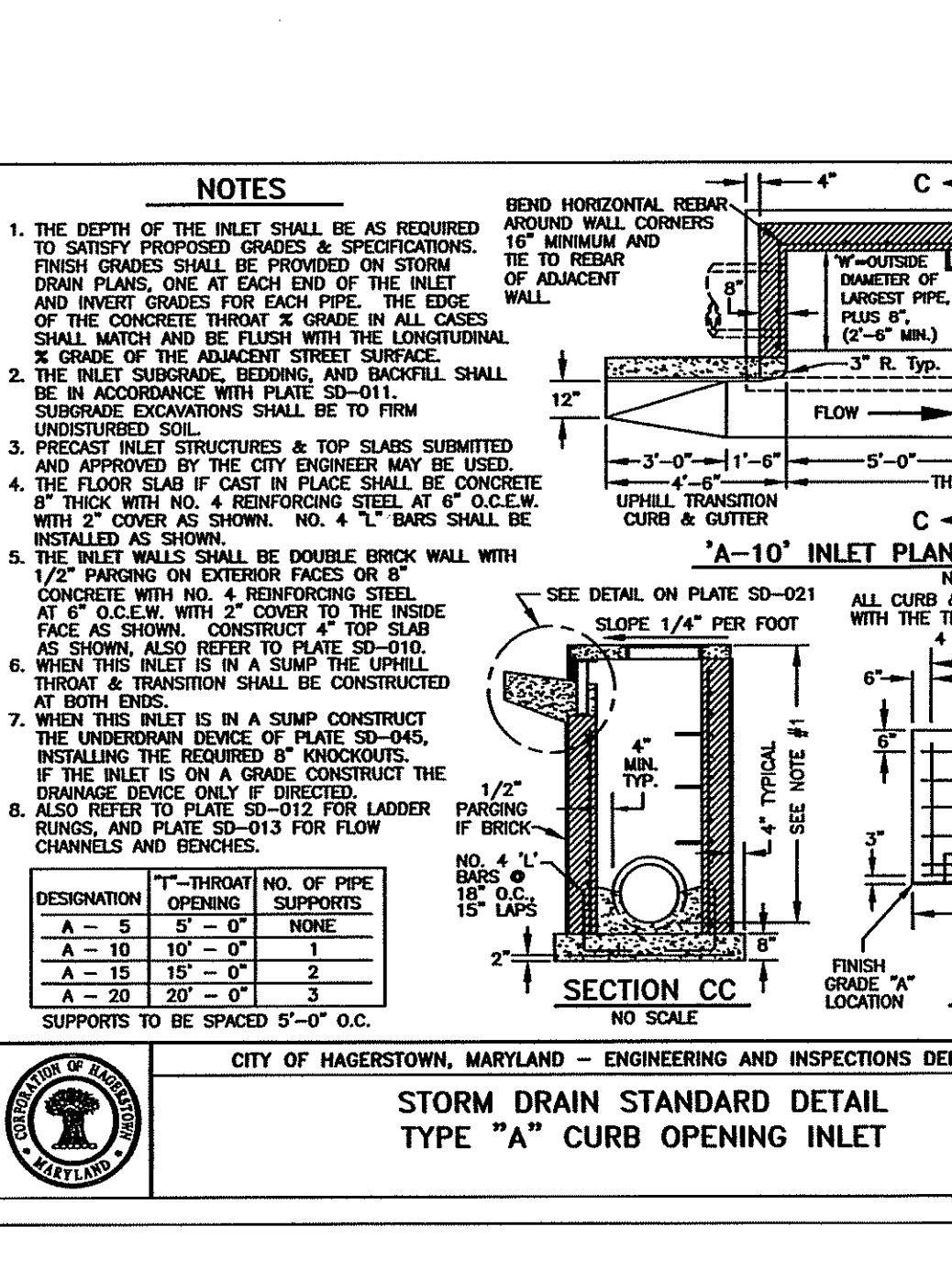
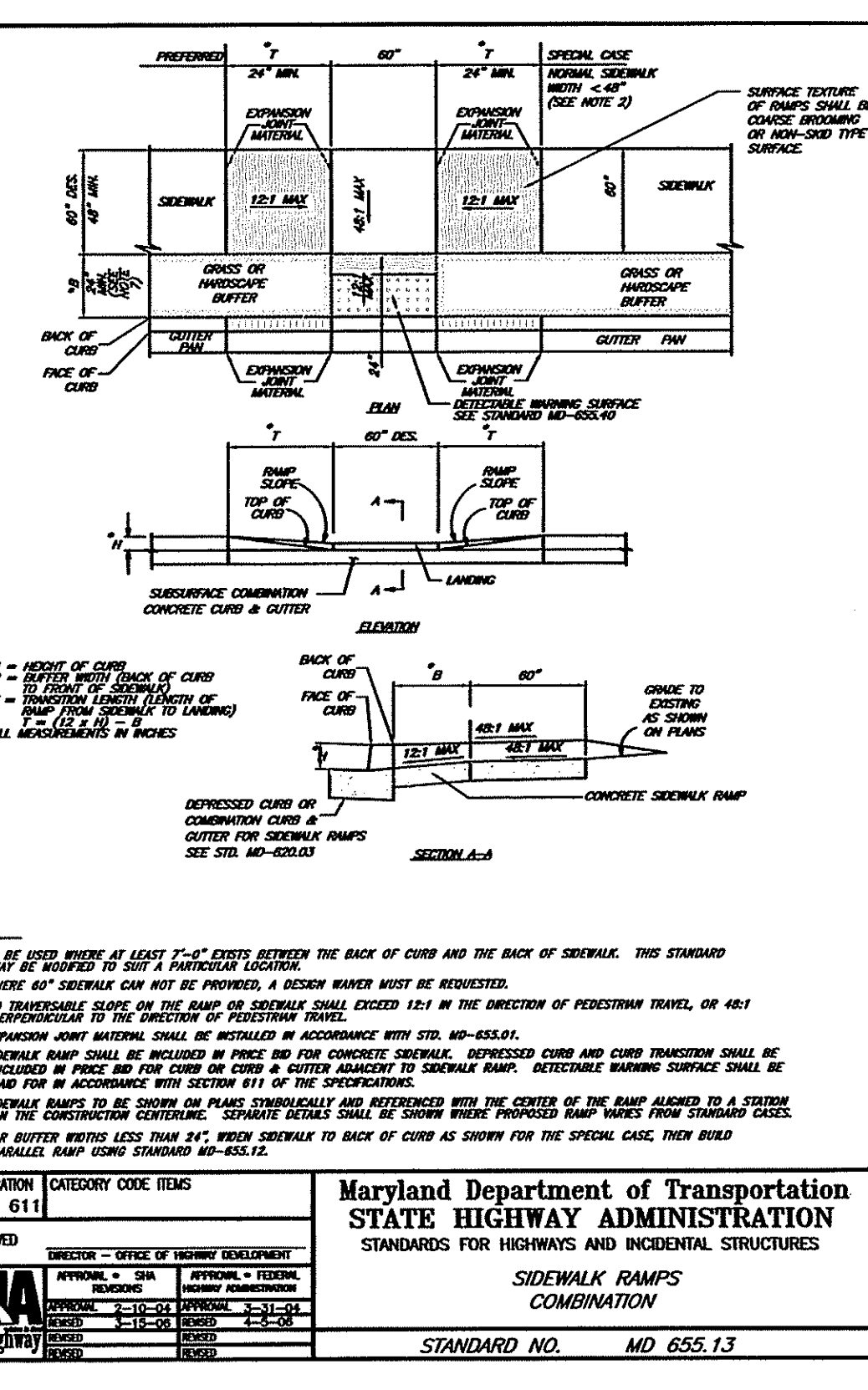
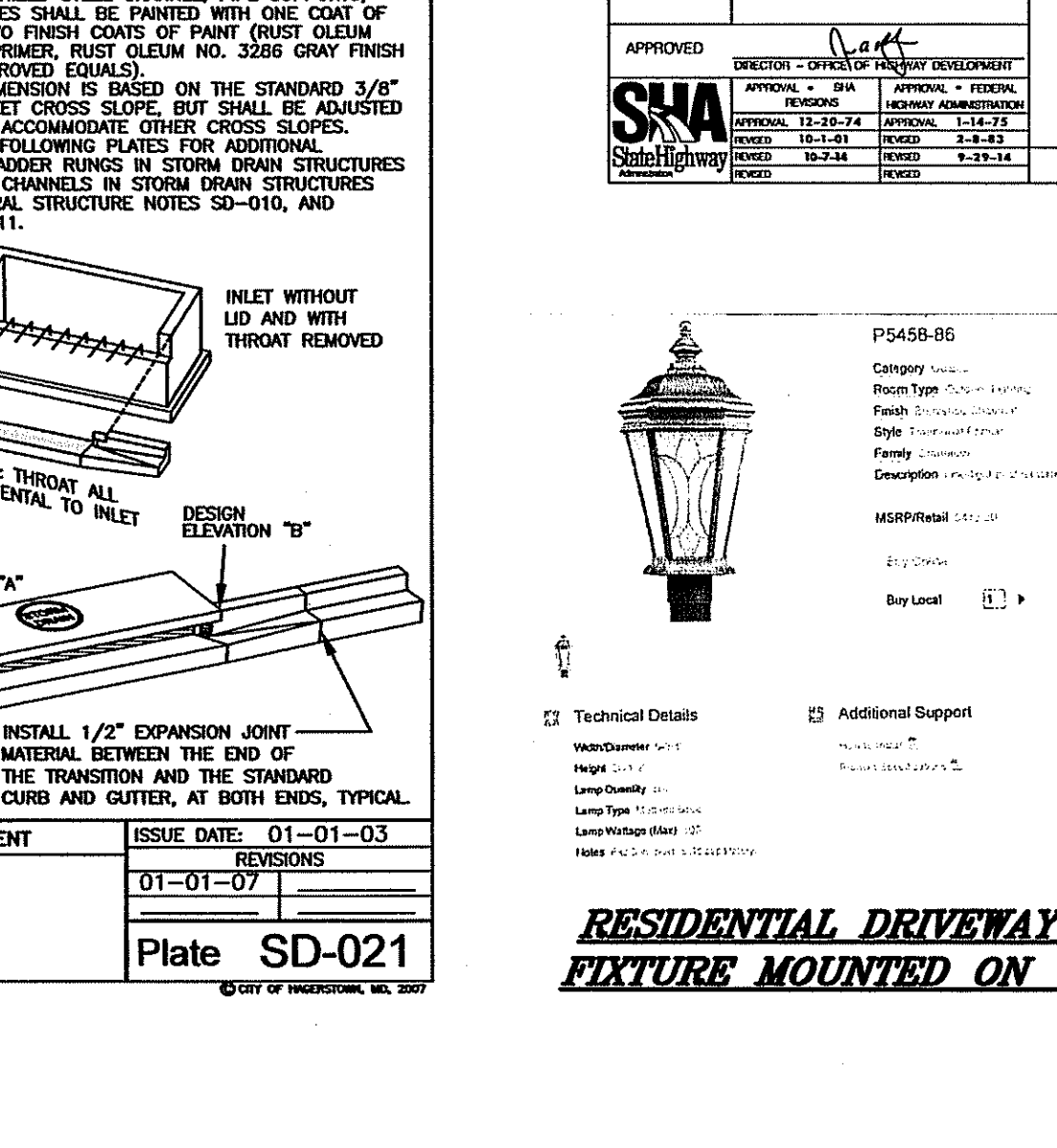
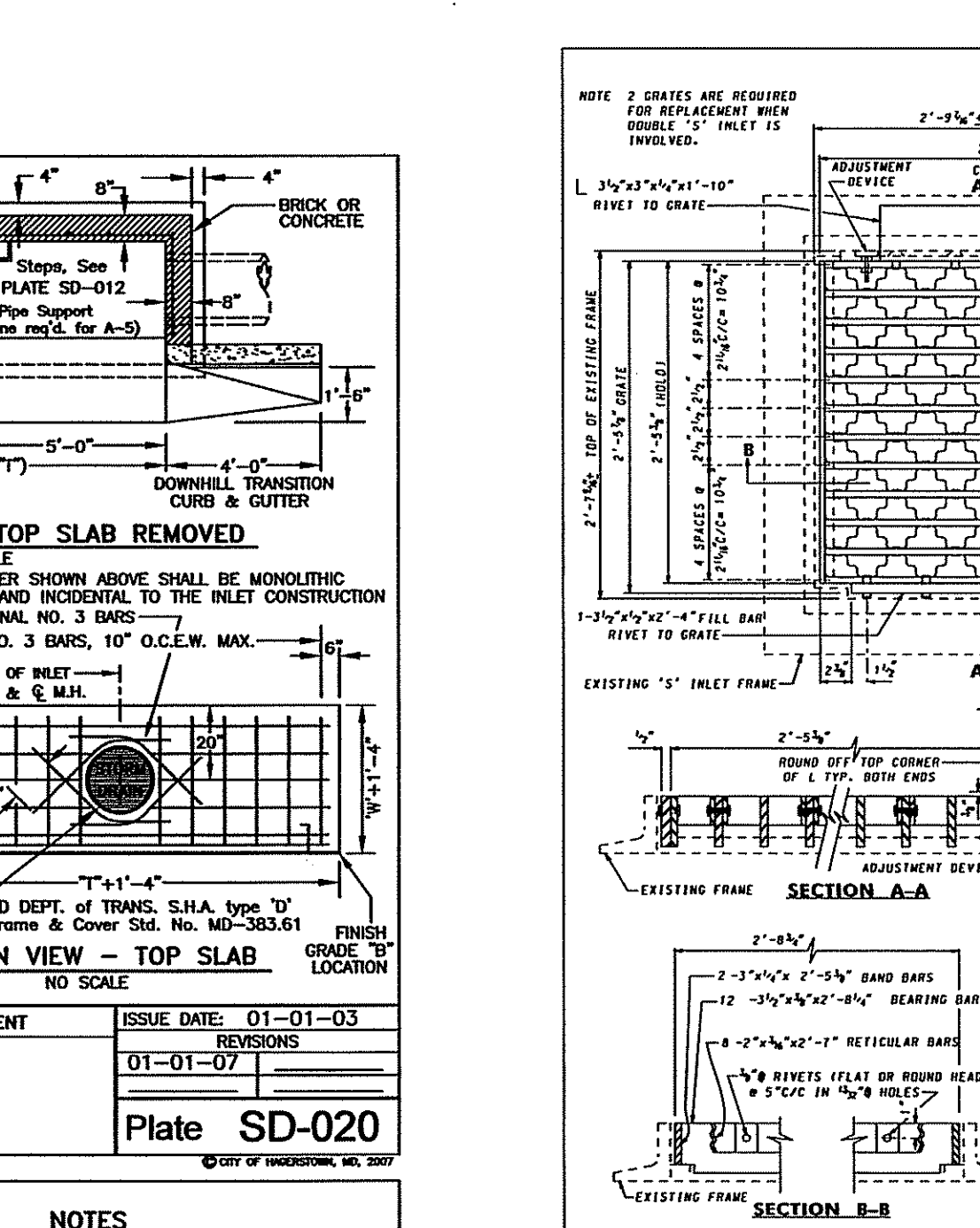
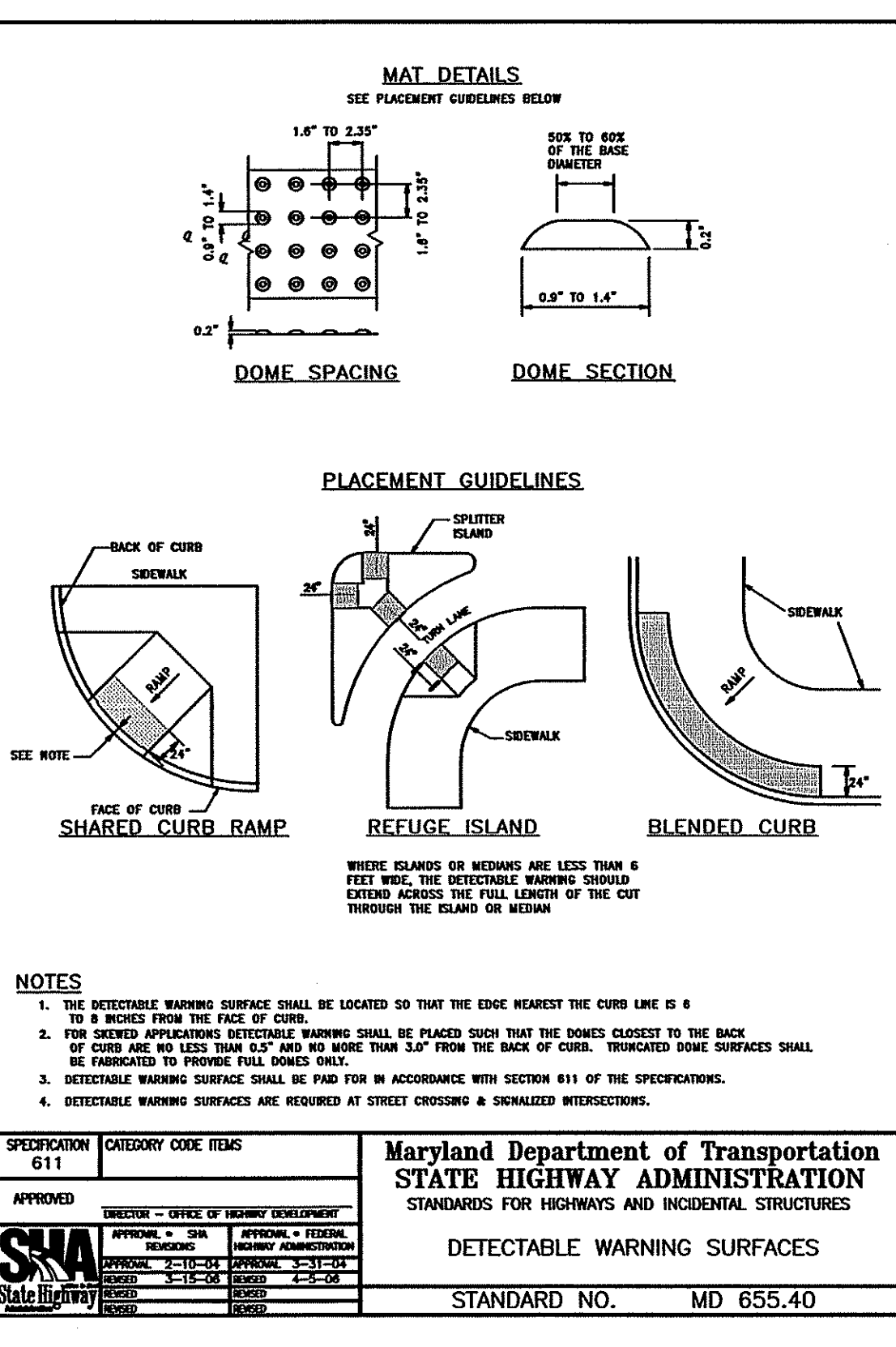
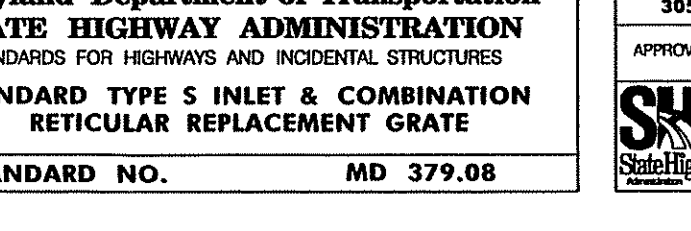
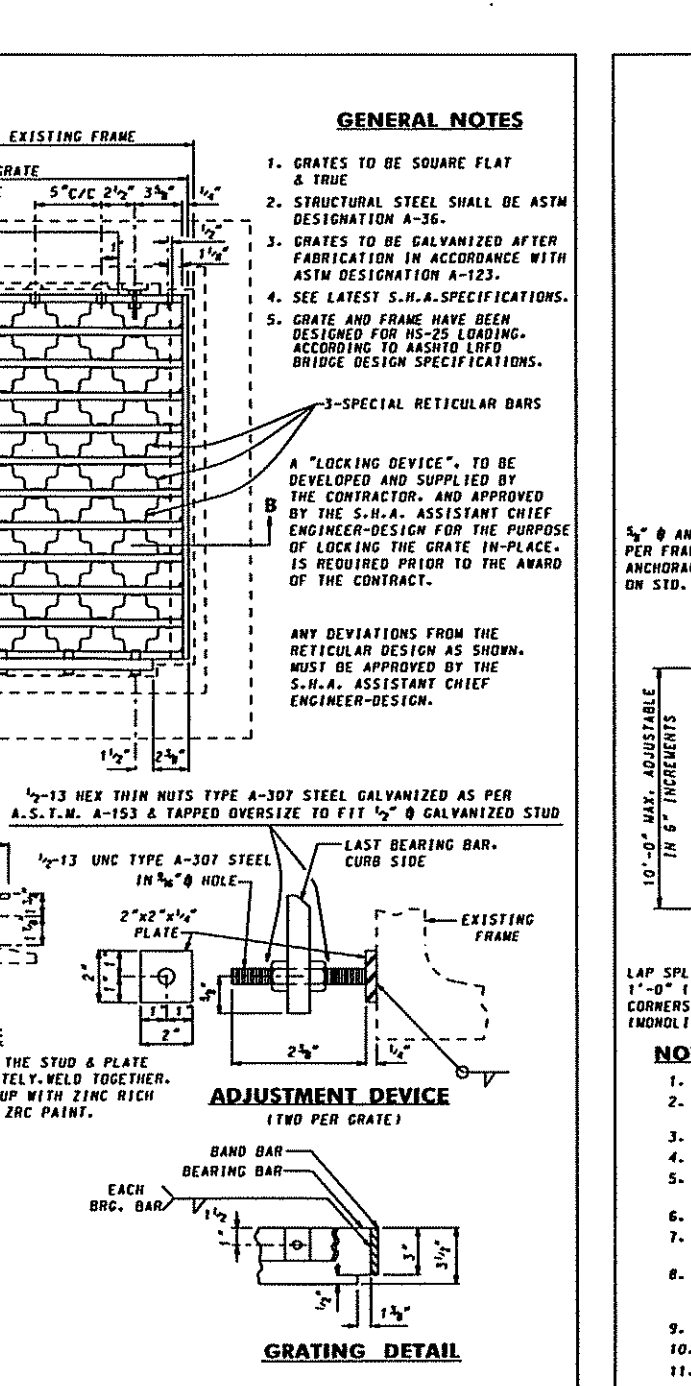
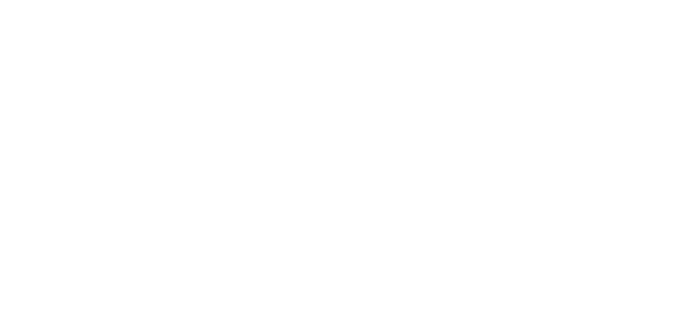
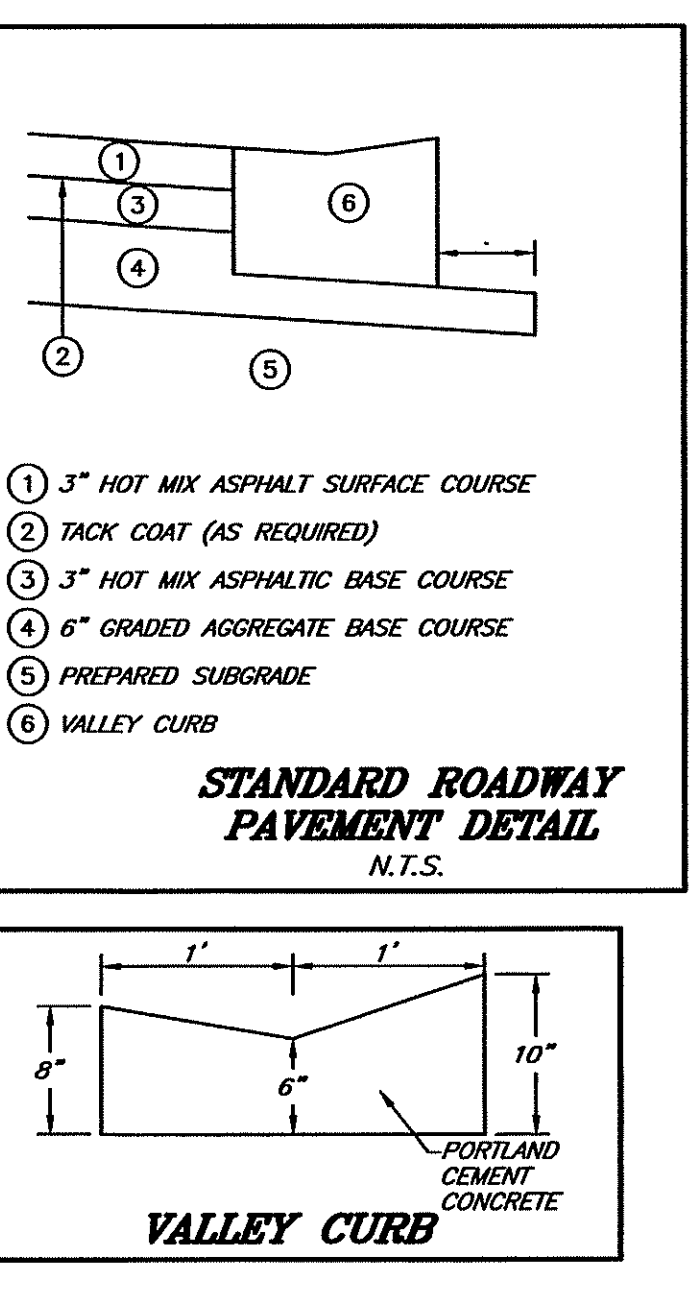
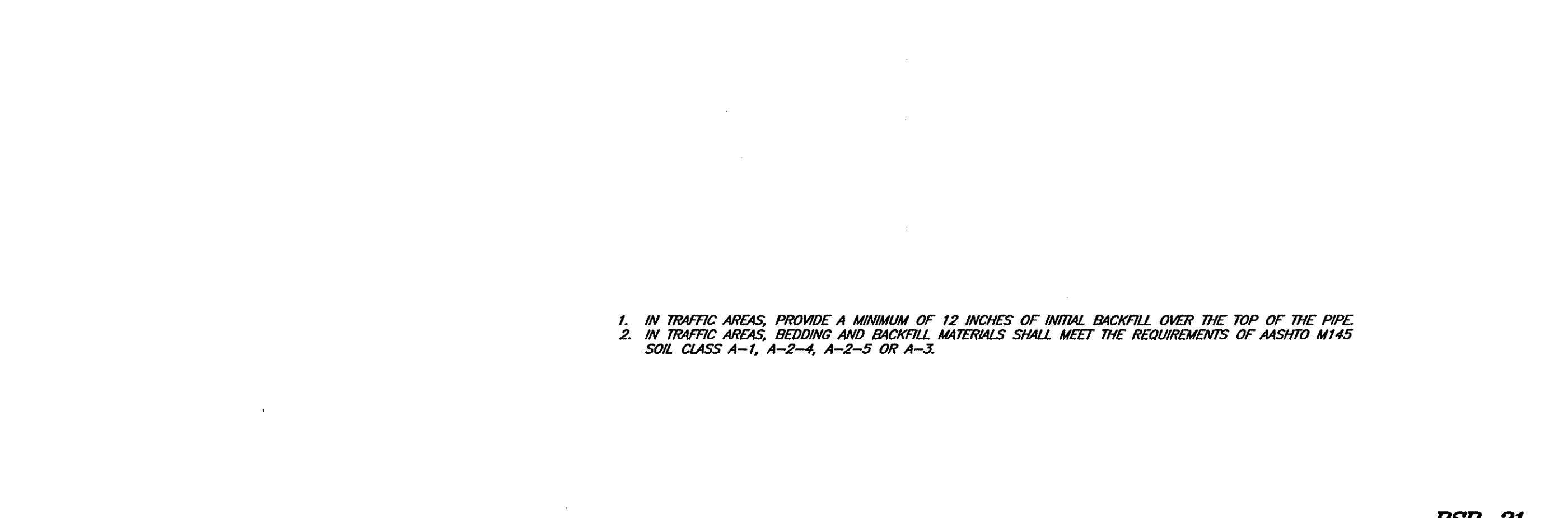
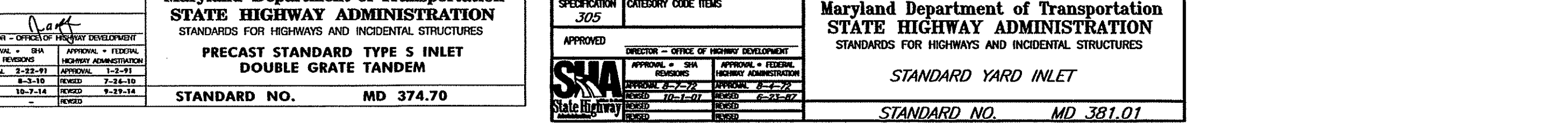
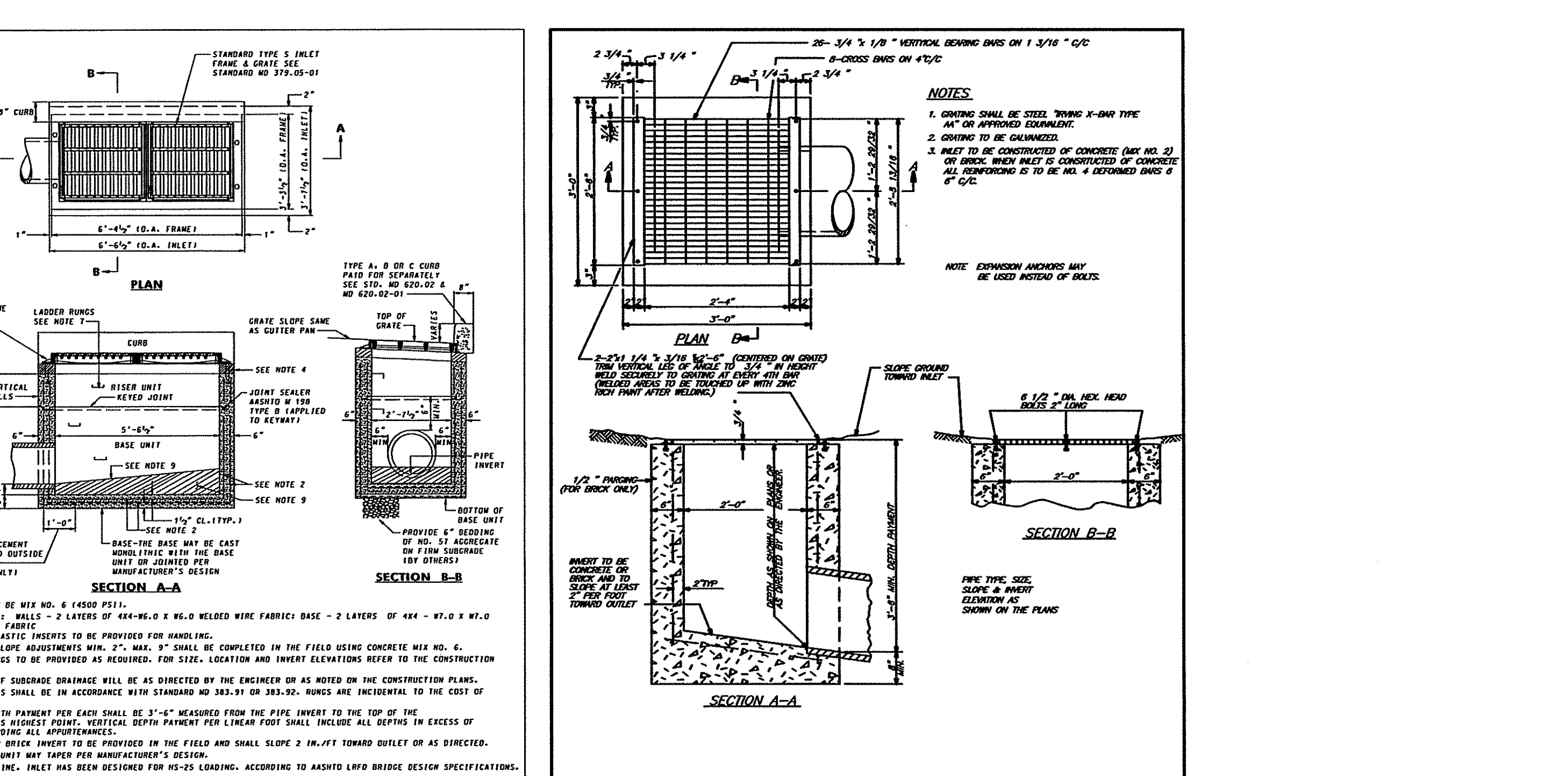
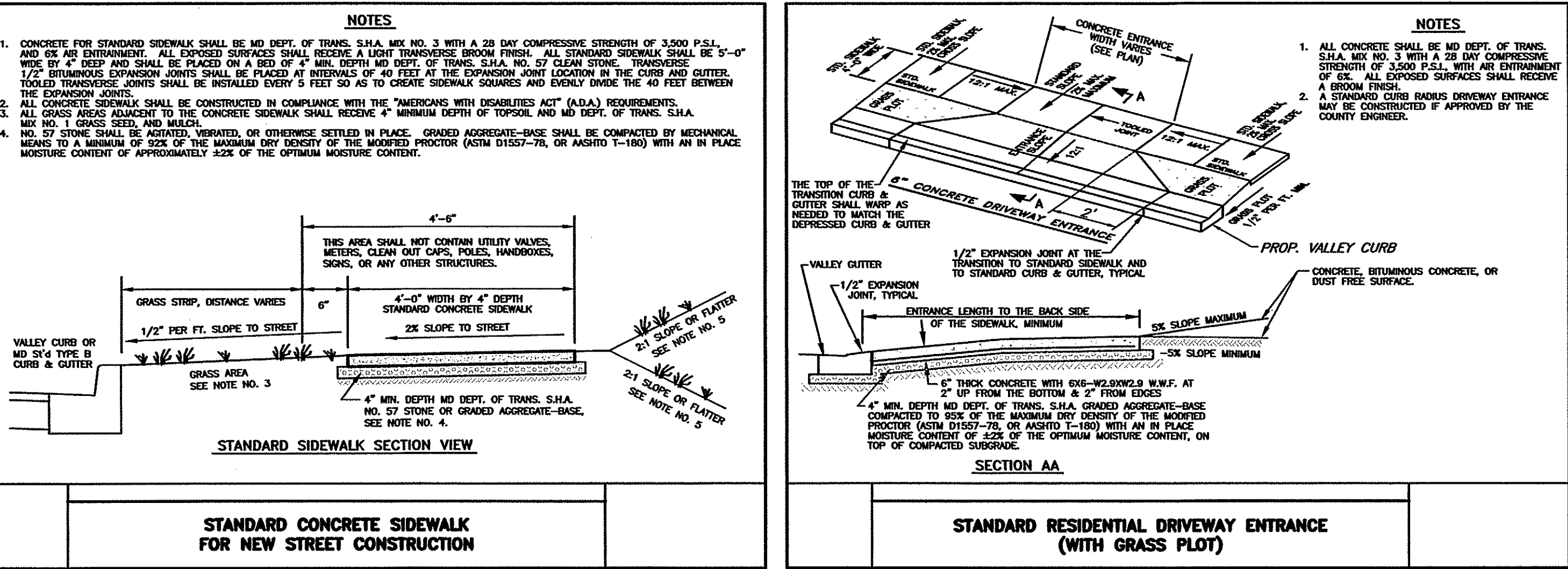
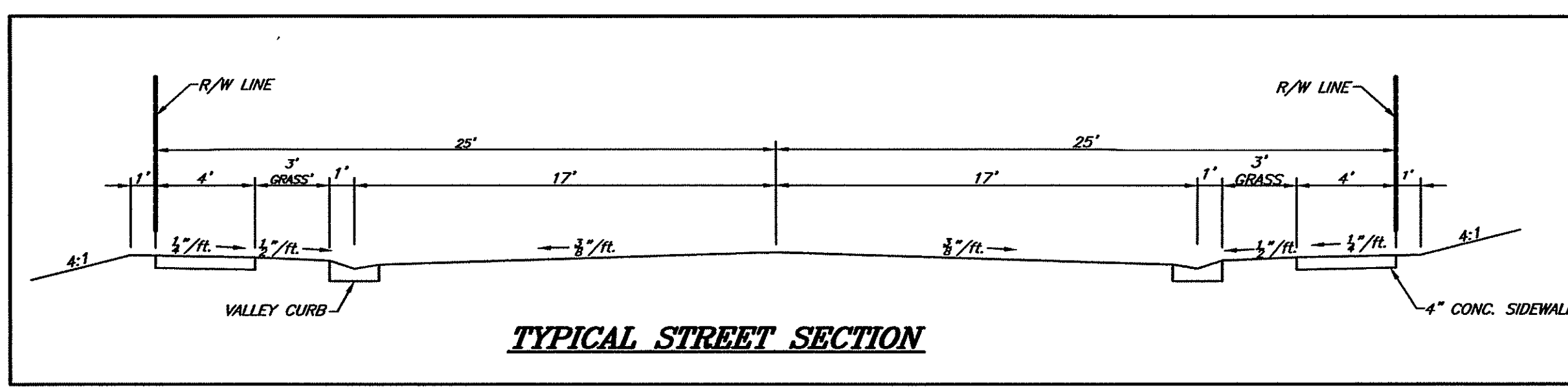
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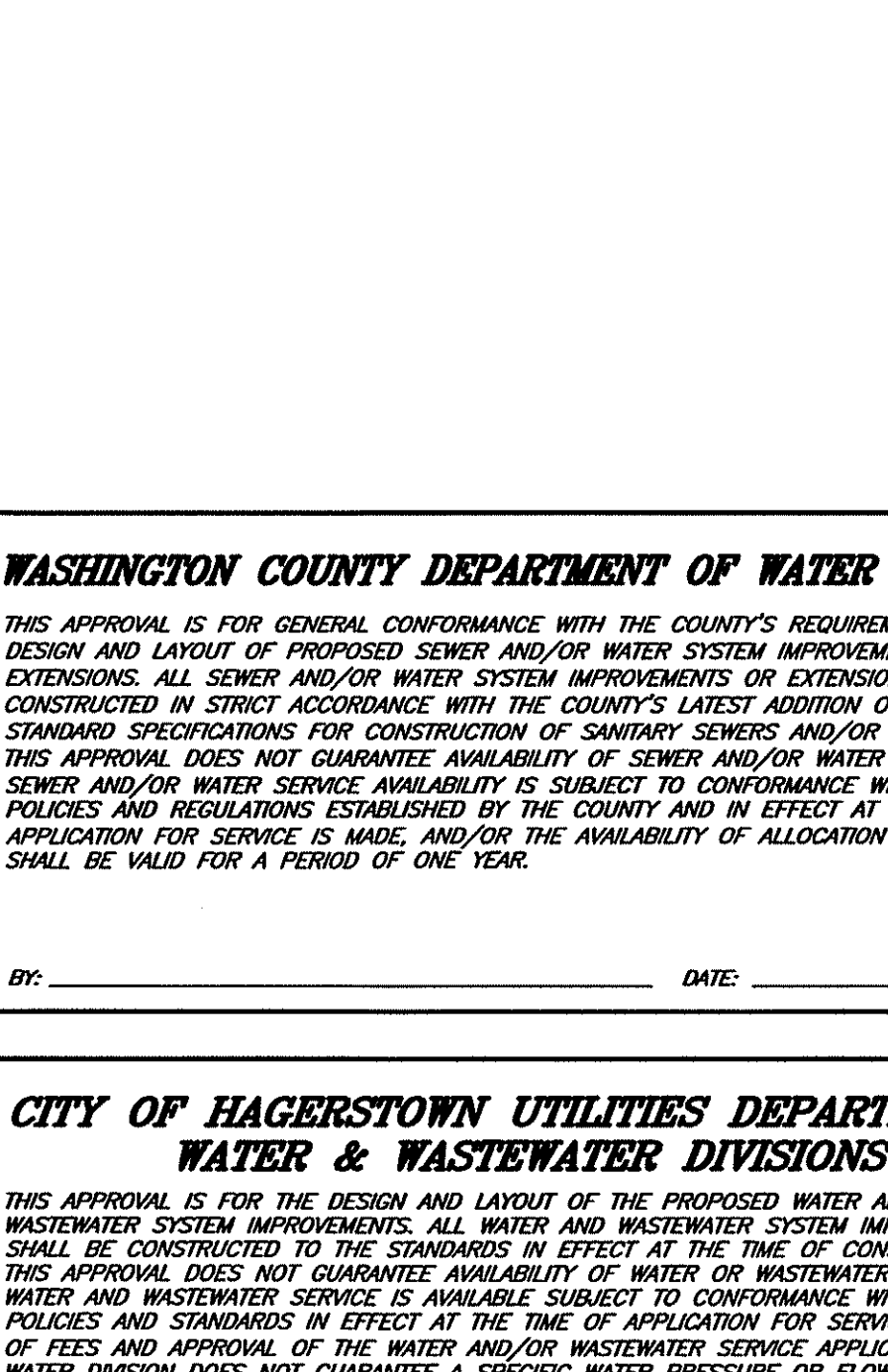
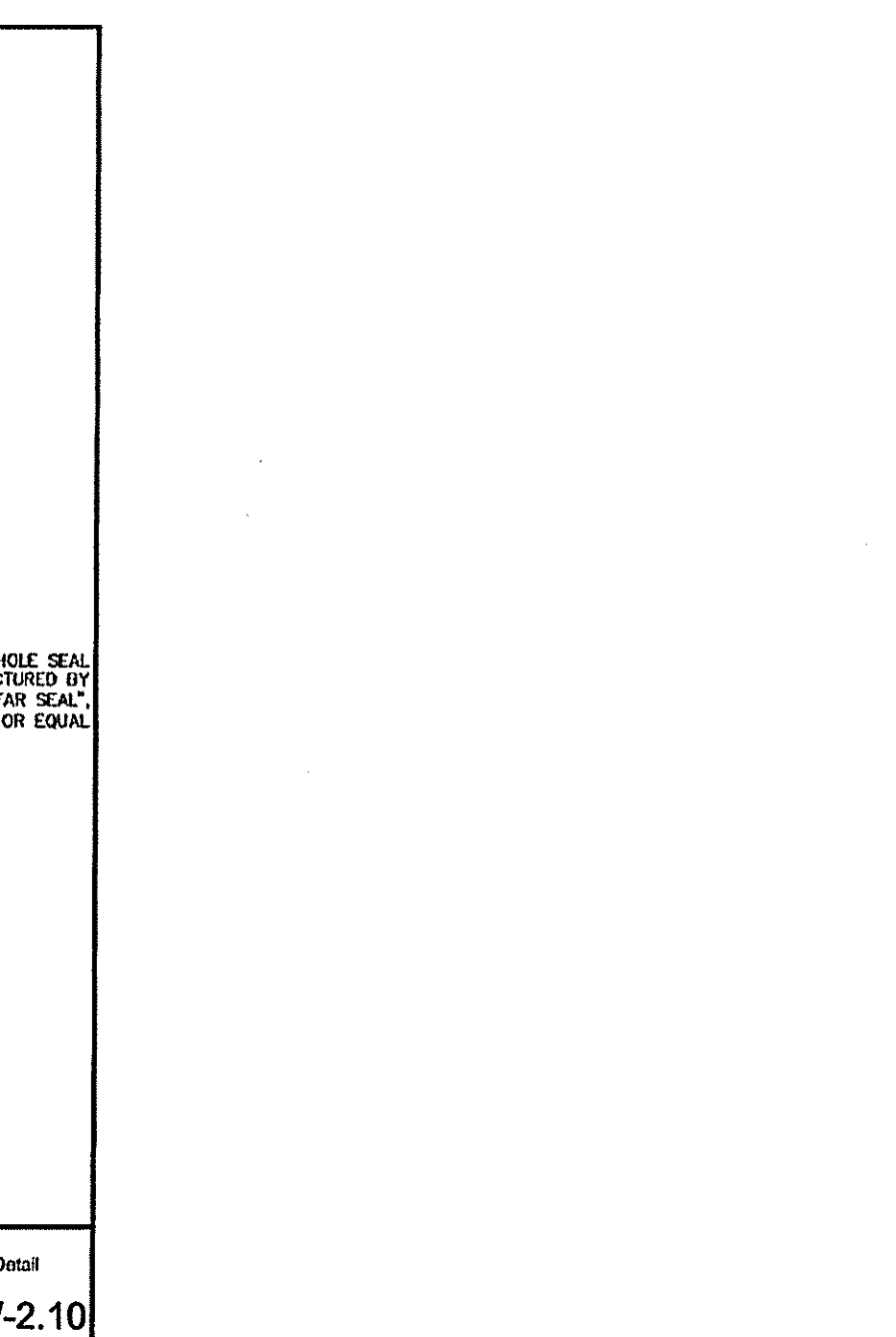
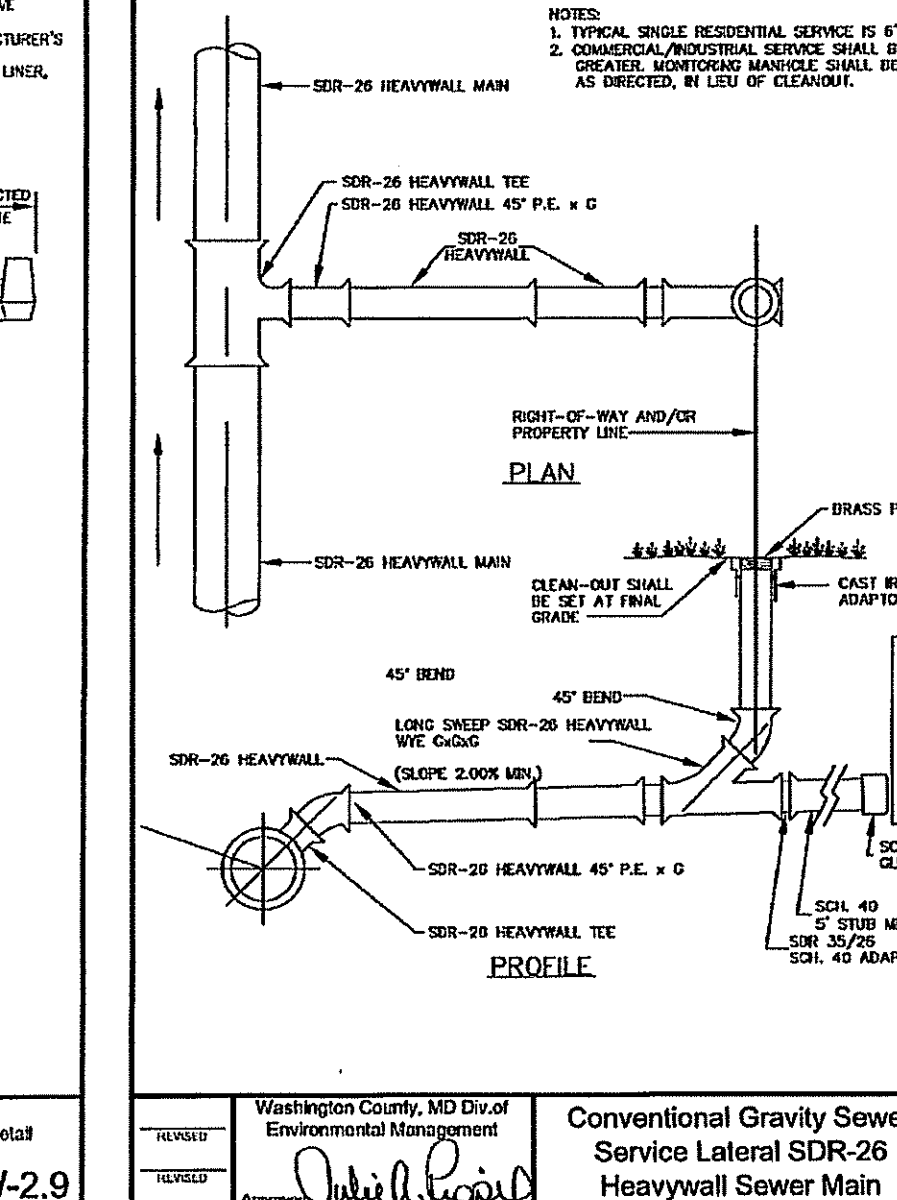
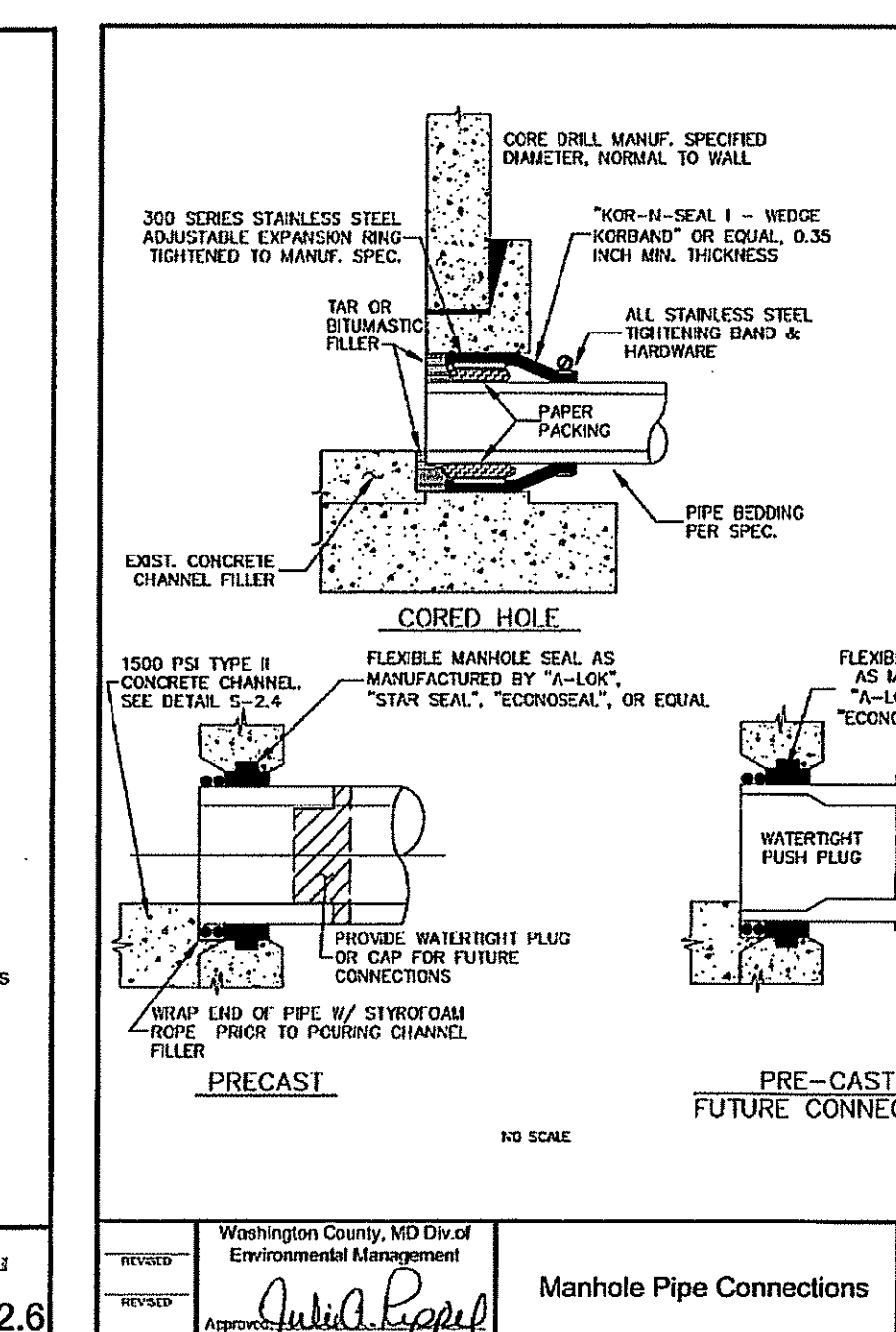
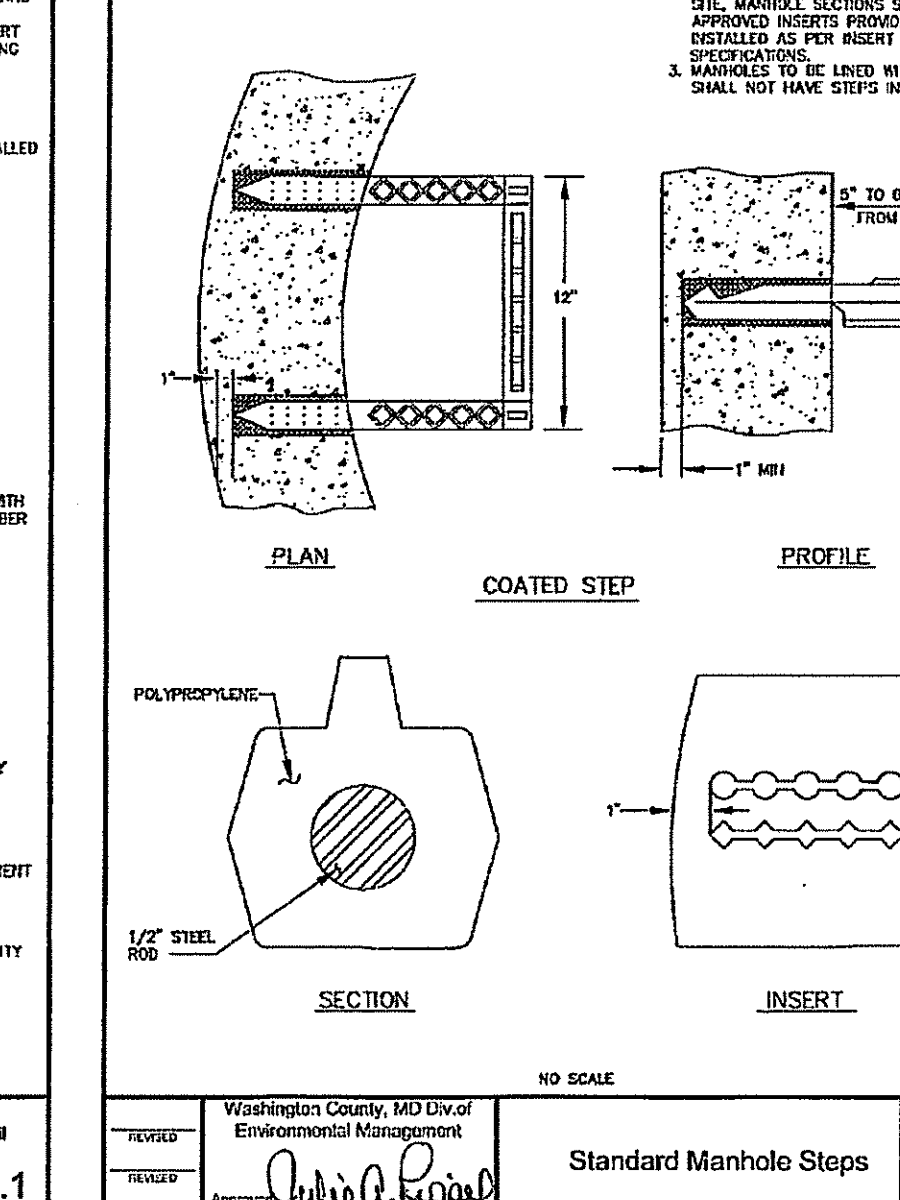
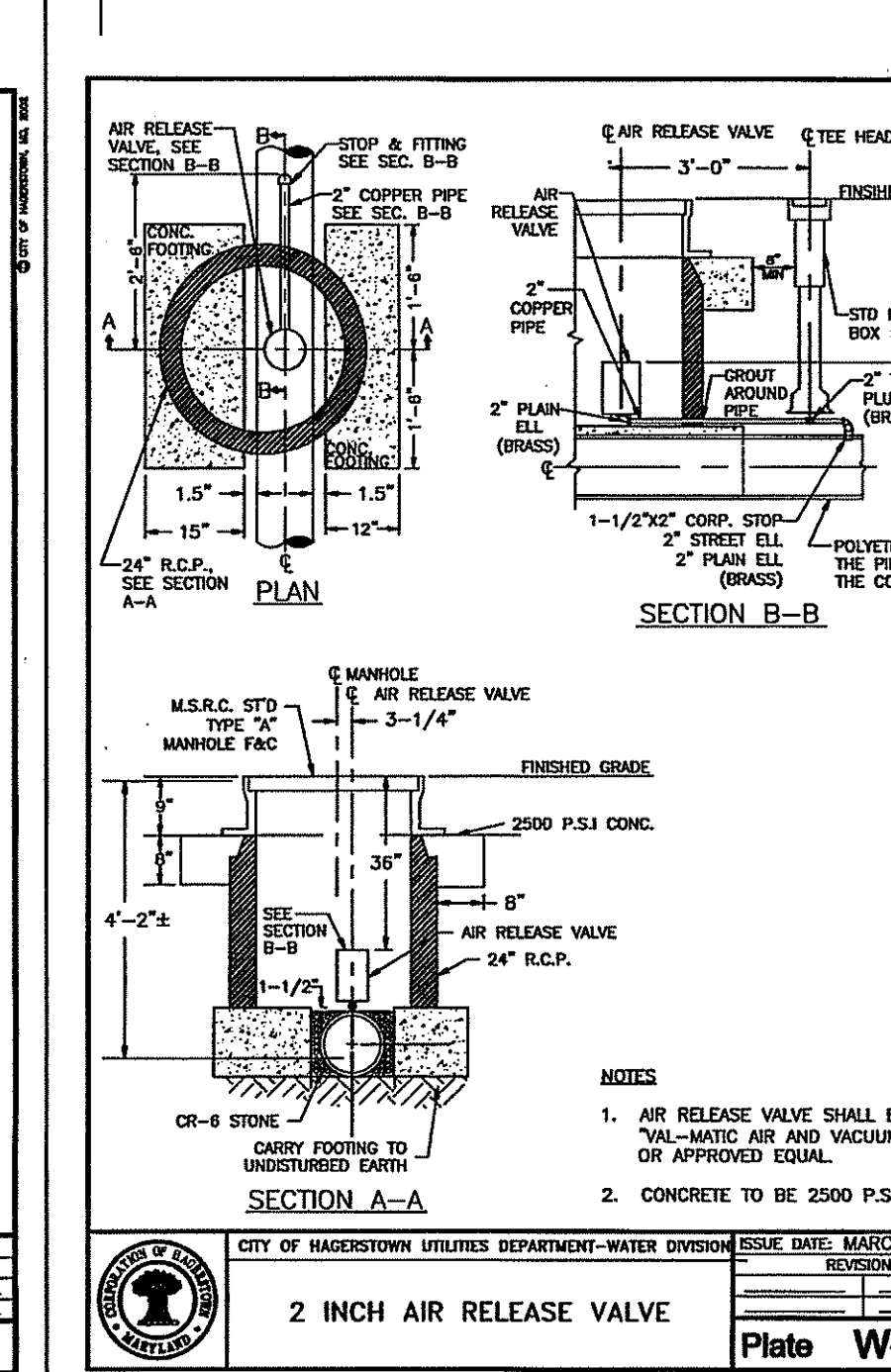
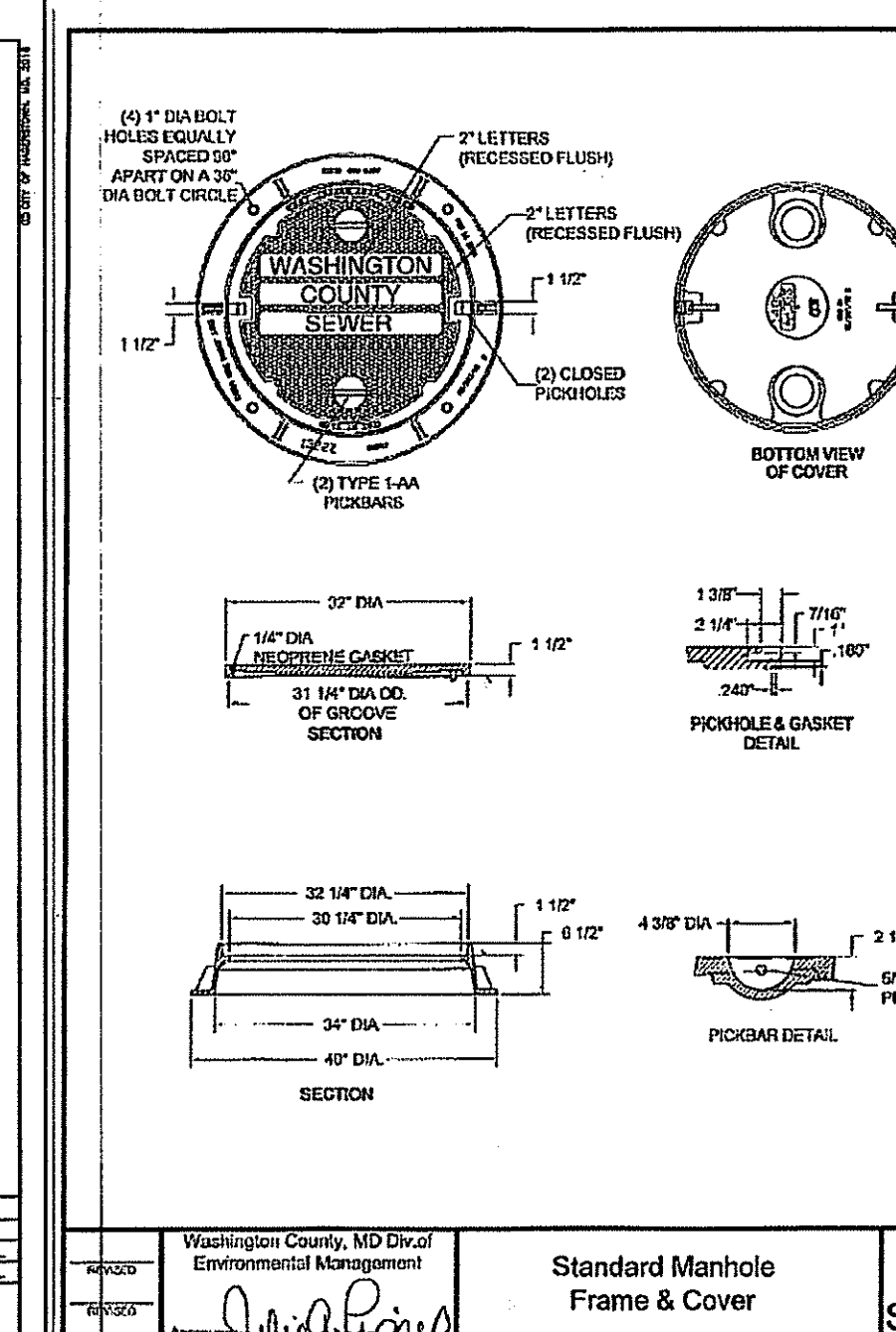
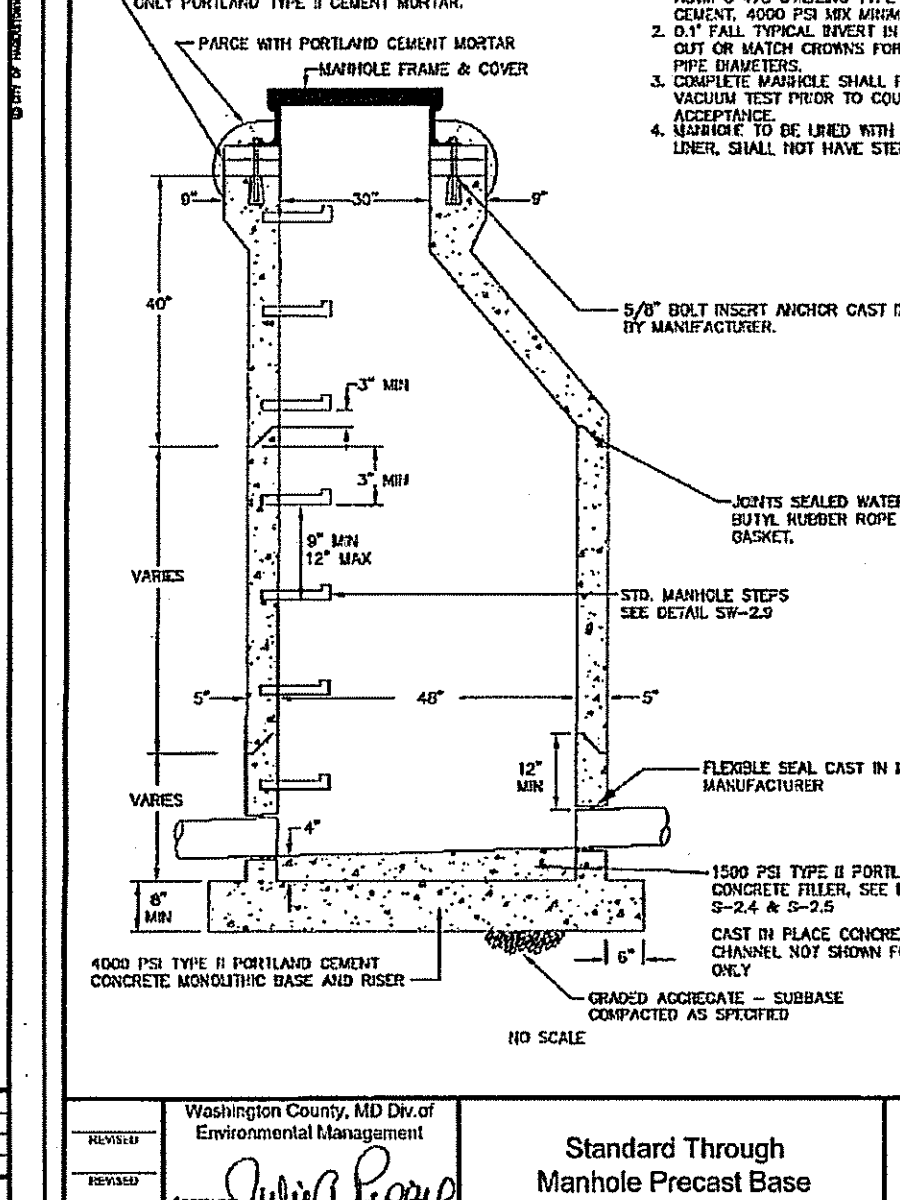
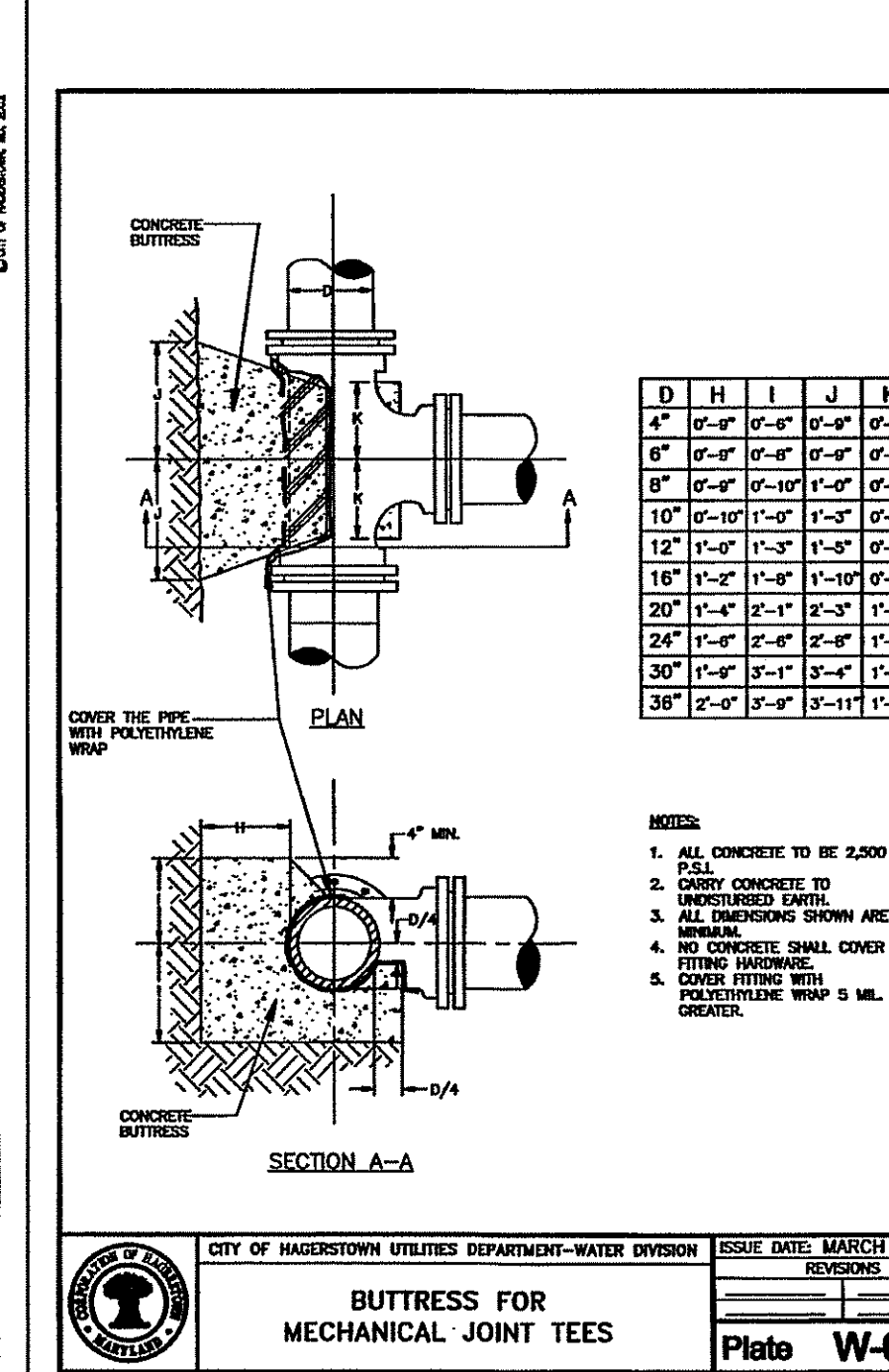
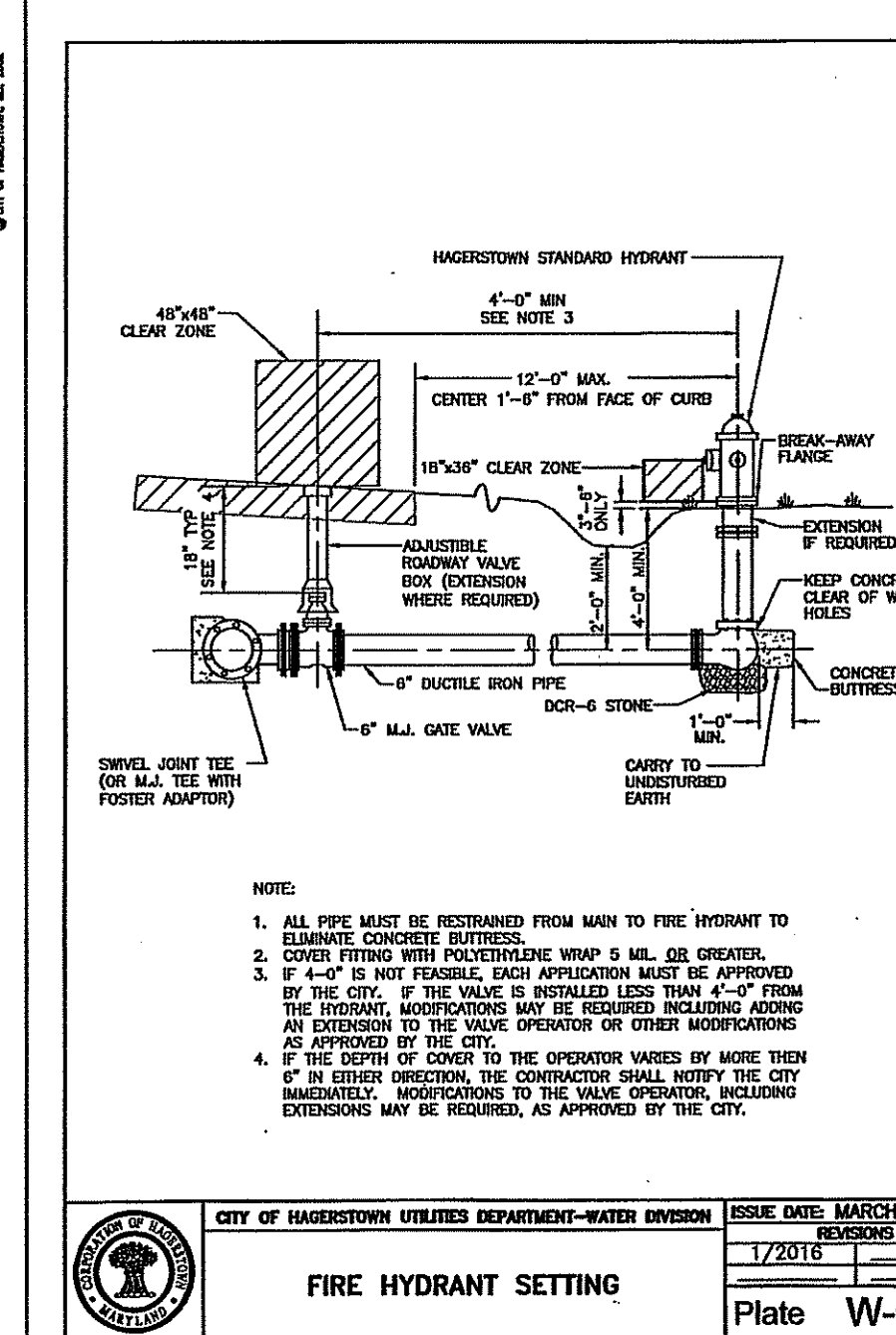
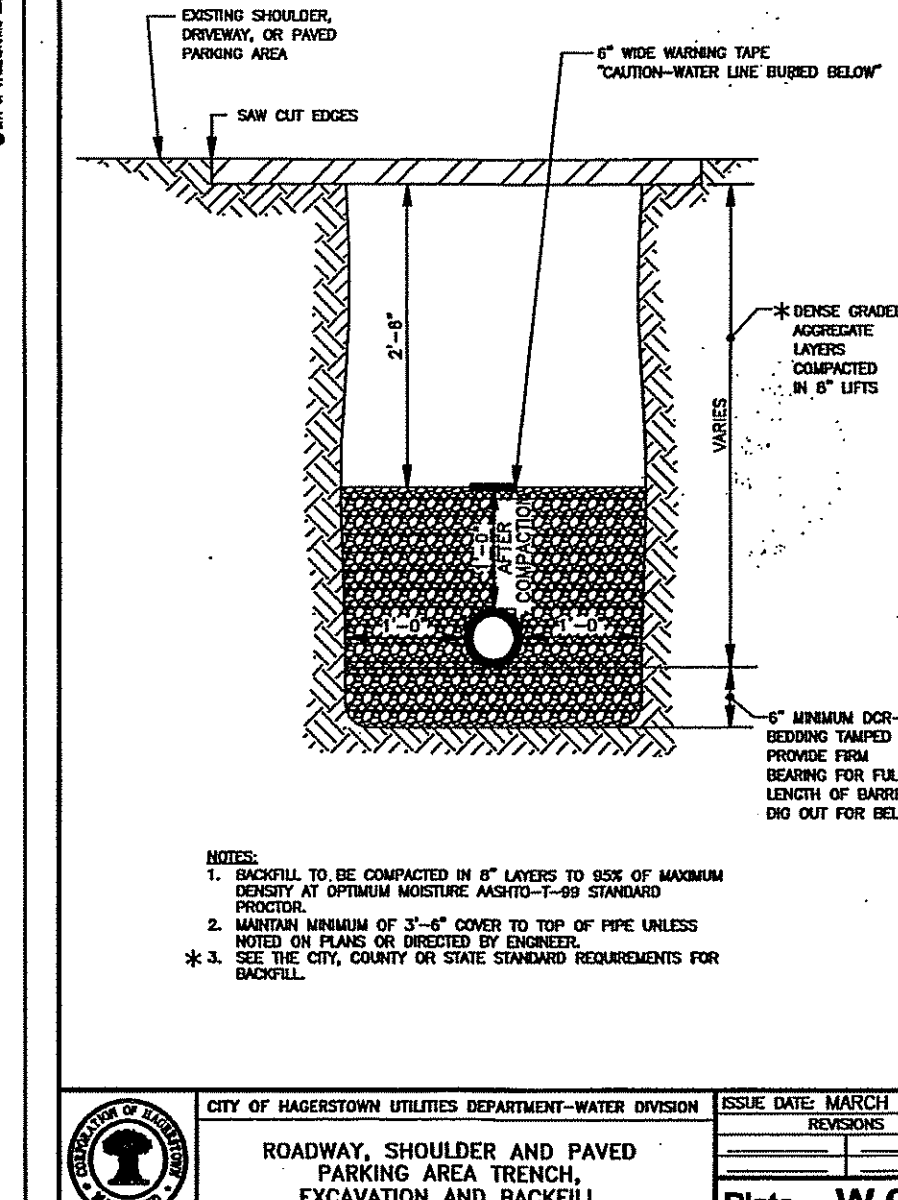
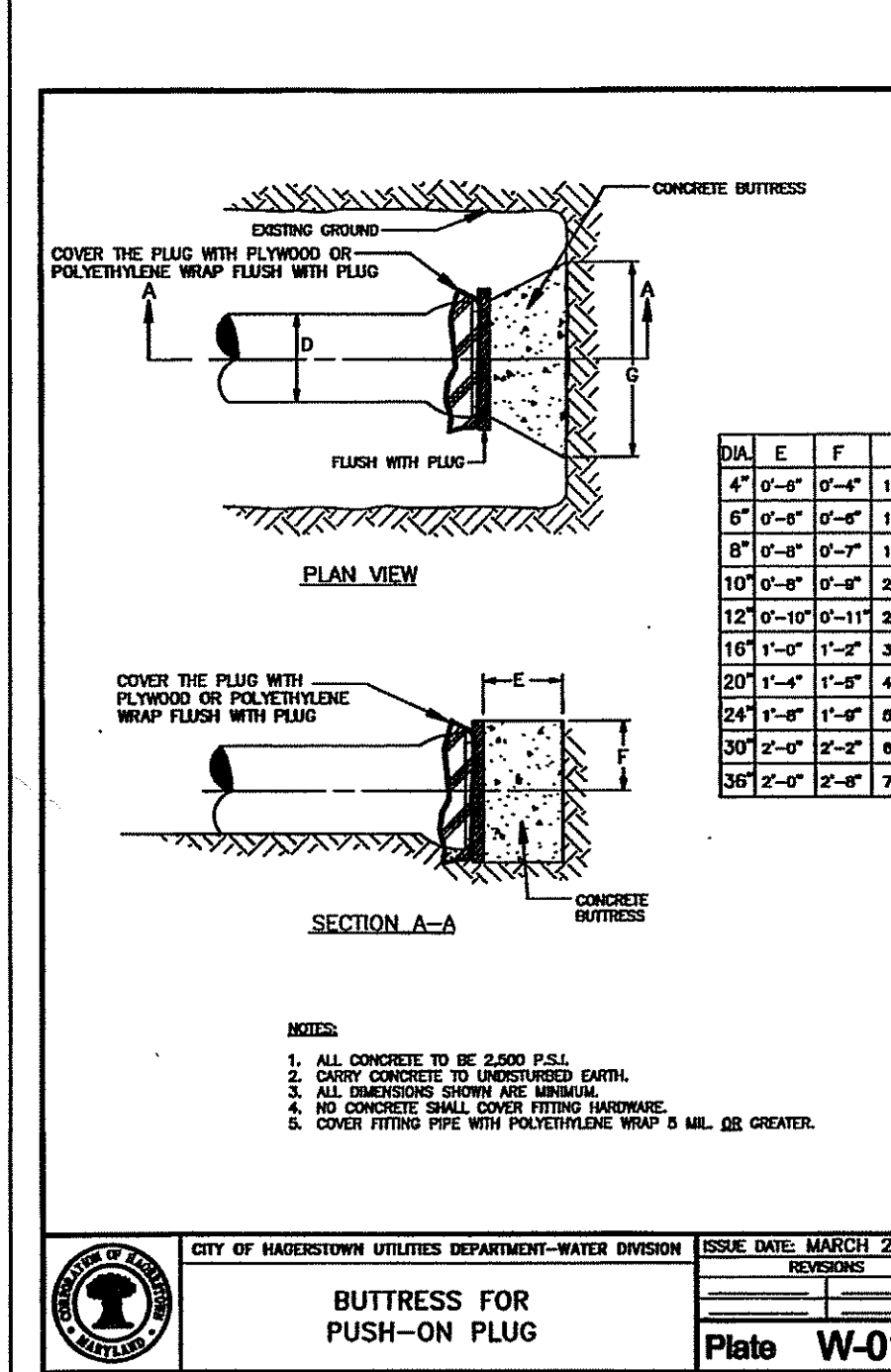
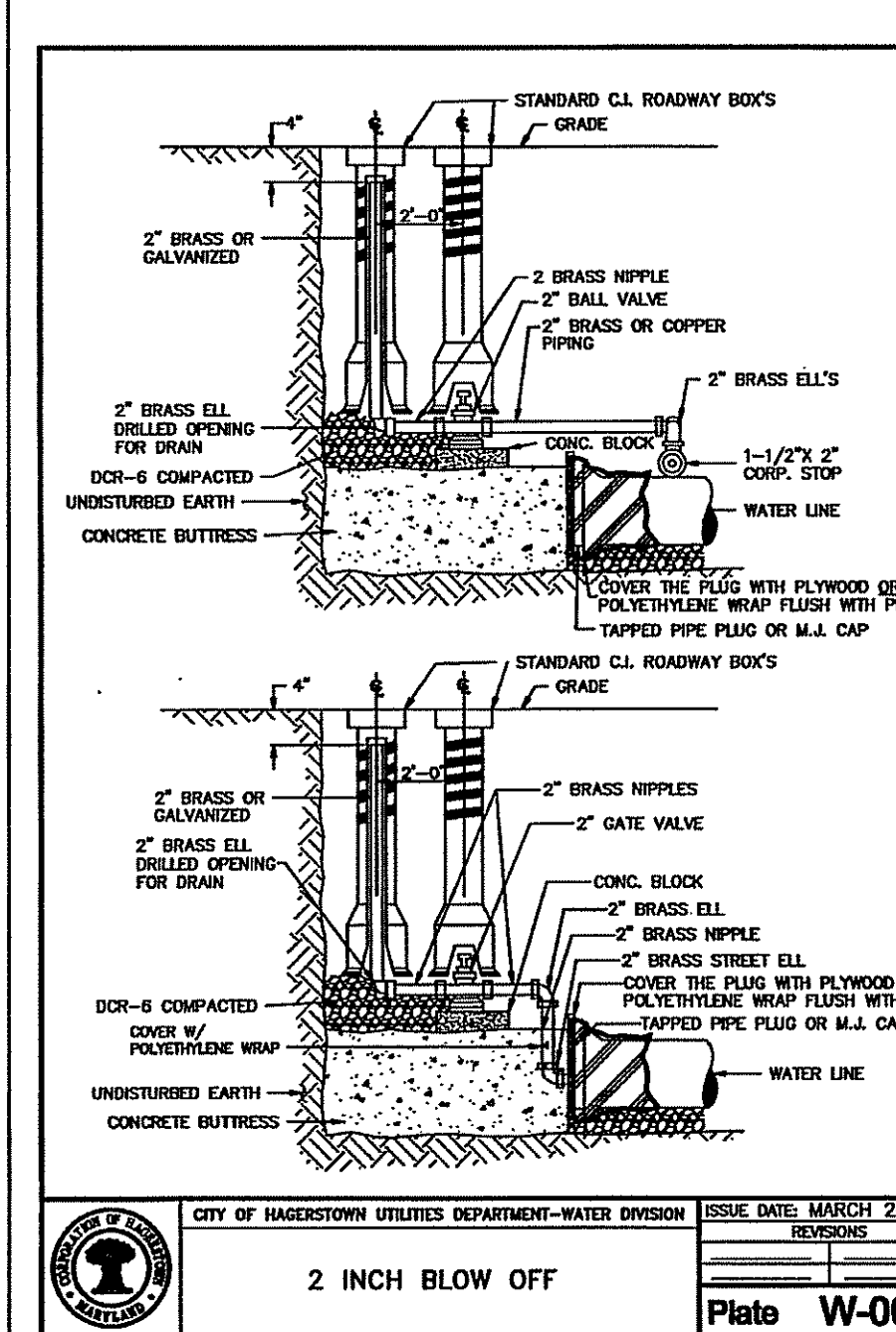
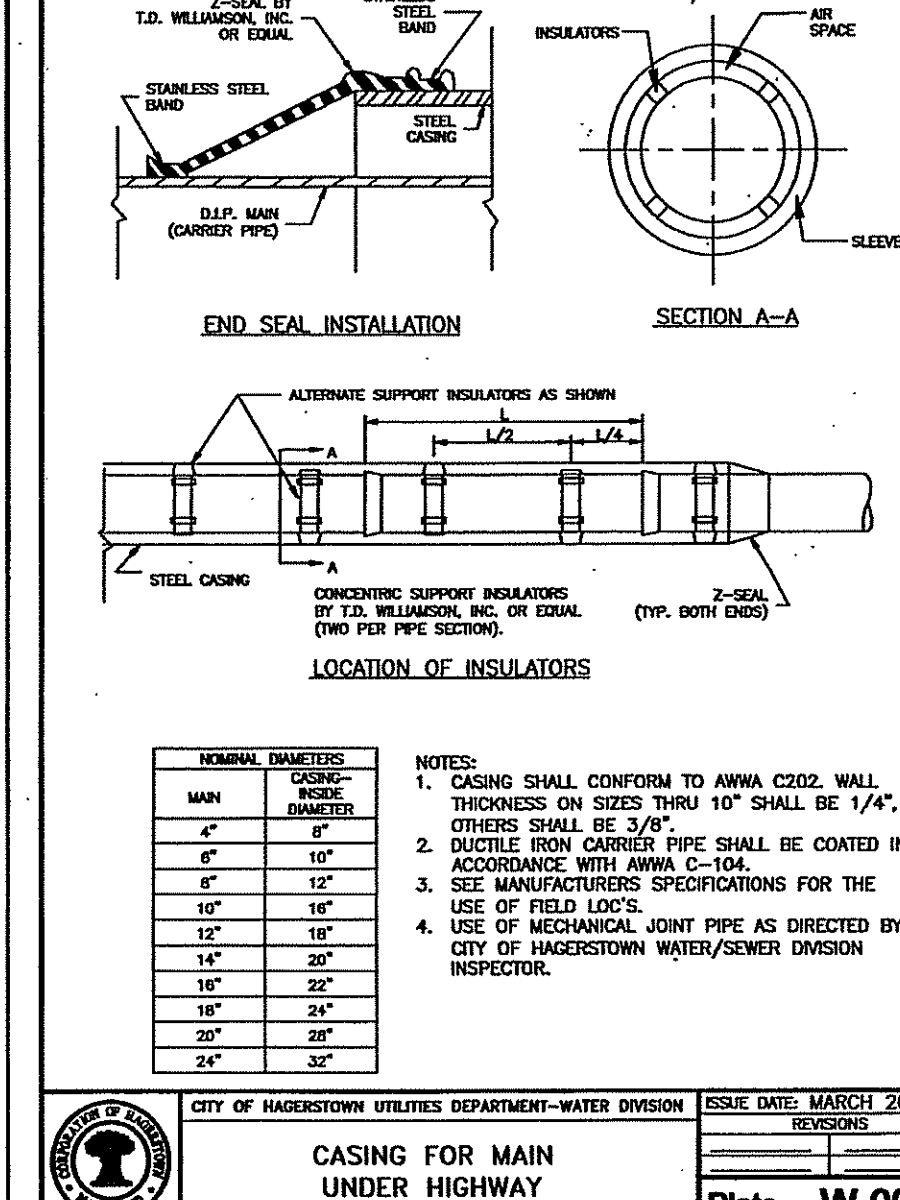
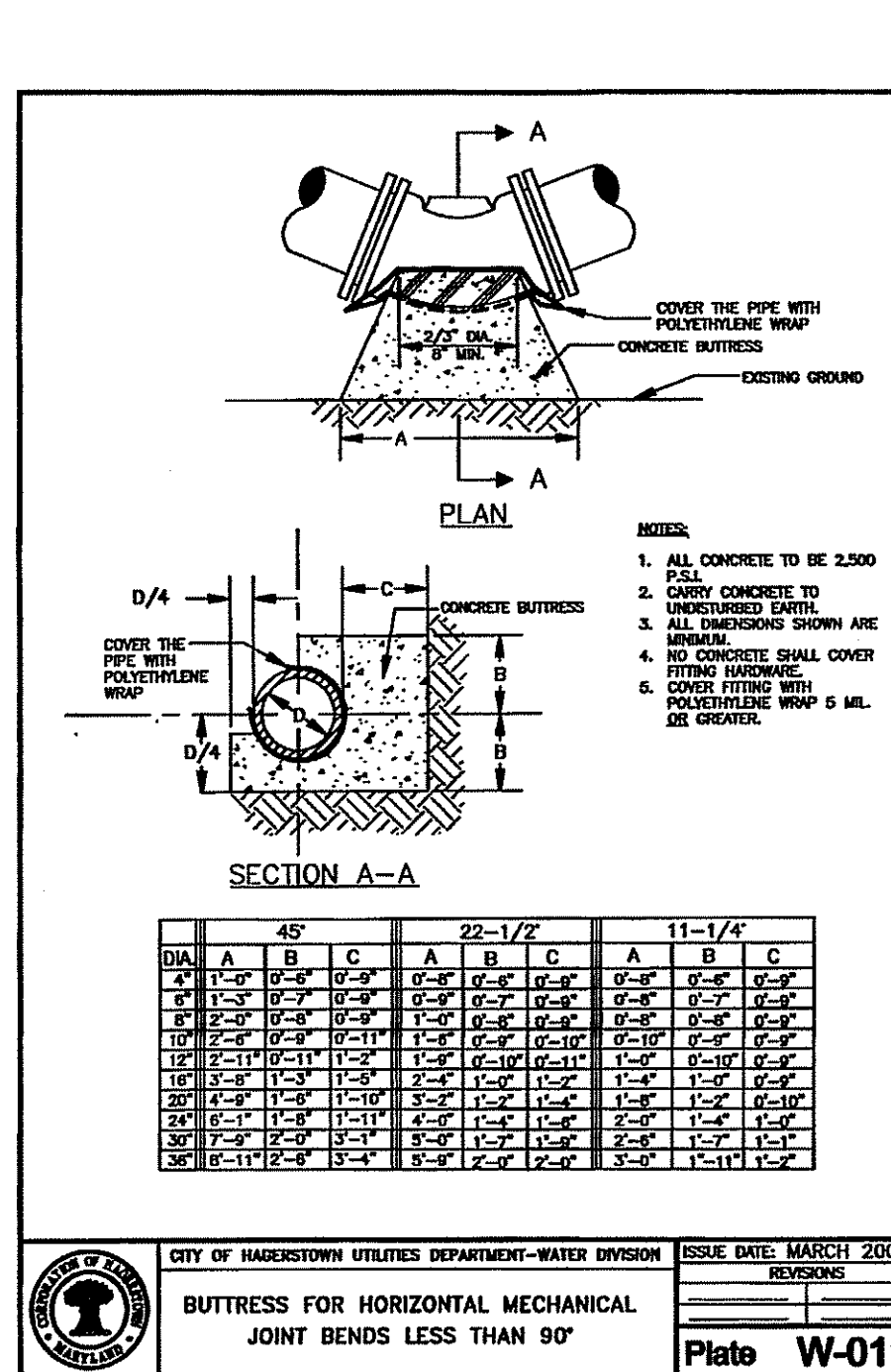
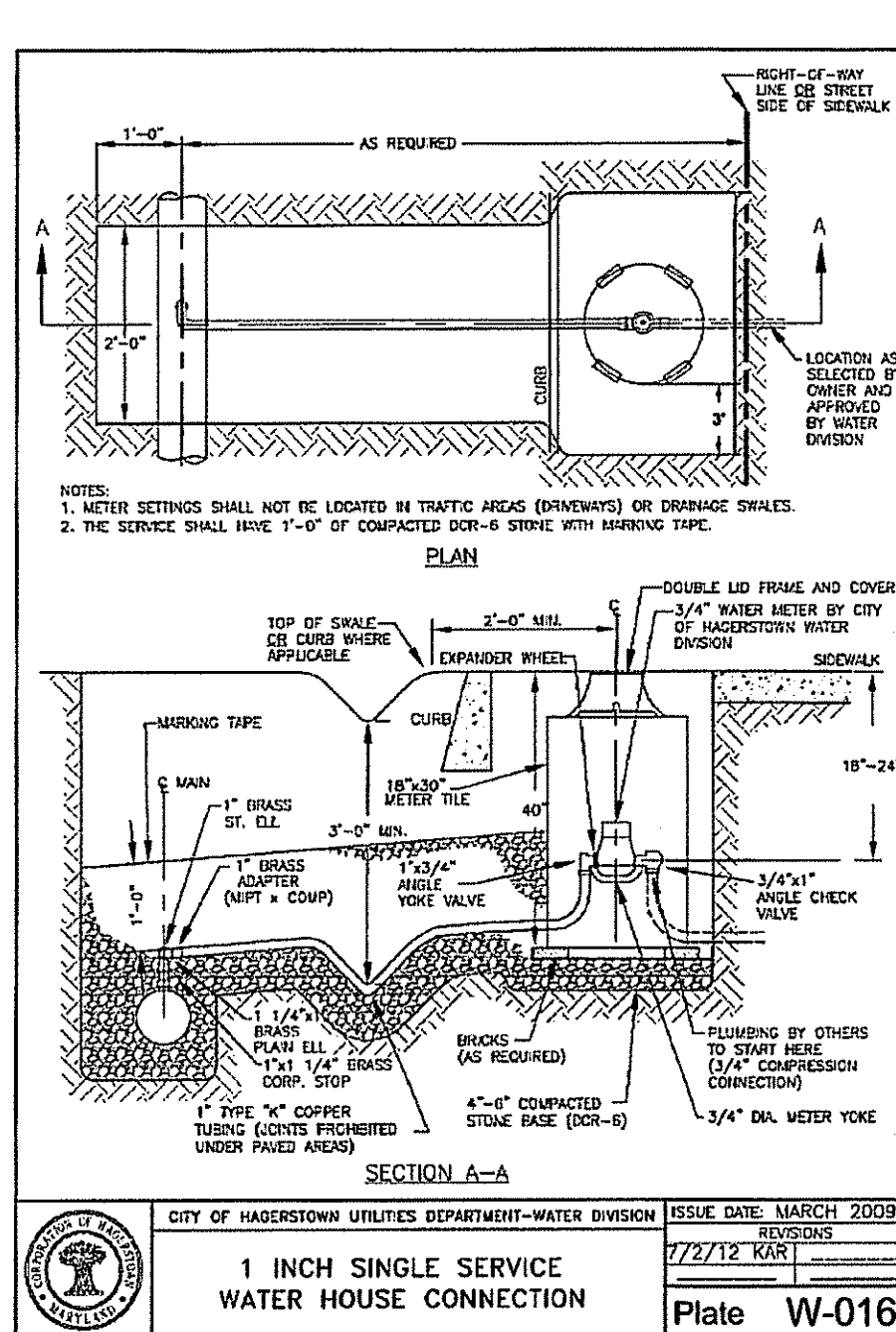
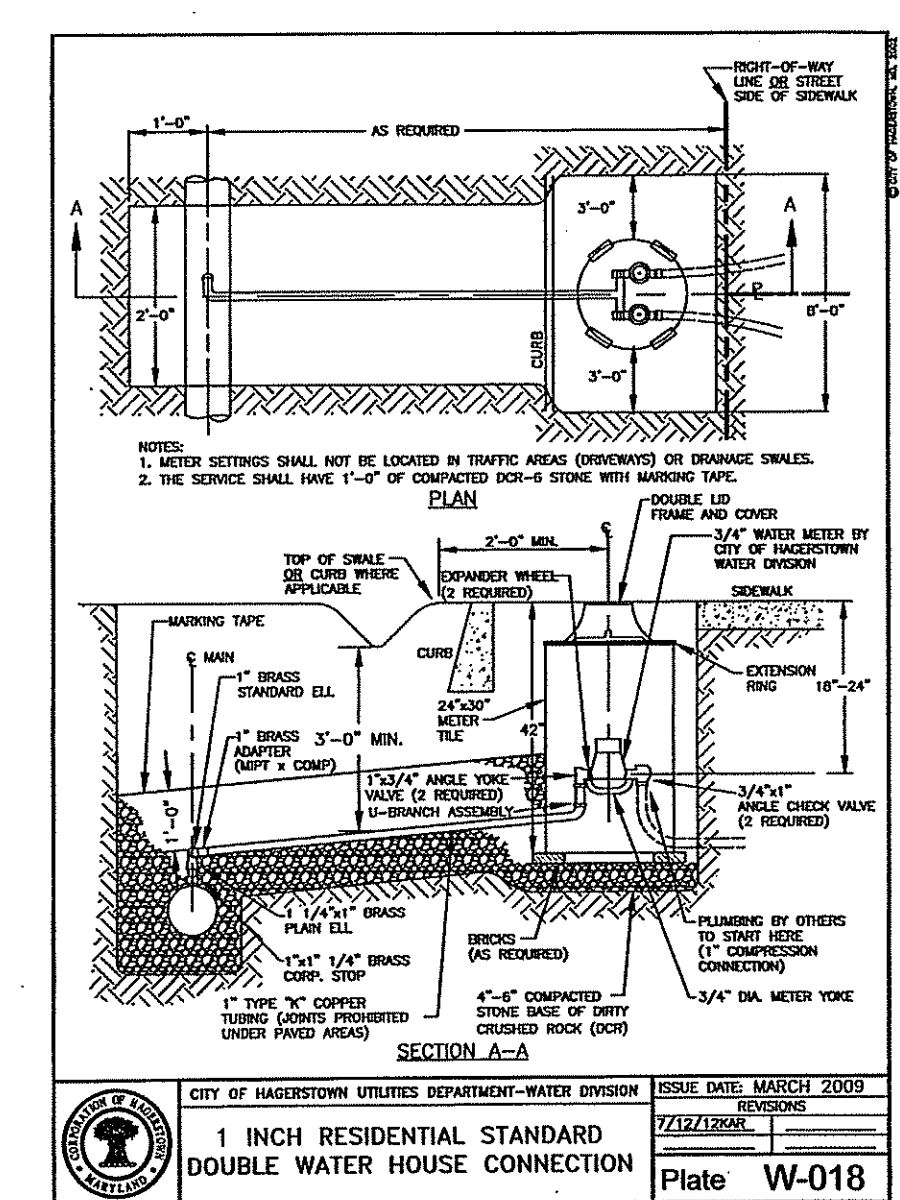
ROADWAY AND SITE DETAILS
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
STATUTE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 27053, Exp. Date 1/25/22
PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP





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UTILITY DETAILS

EMERALD POINTE P.U.D.

PHASE 4, SECTIONS 2-6

SITUATE ALONG THE EAST SIDE OF MARSH PIKE

ELECTION DISTRICT 18 (CHEWSVILLE)

WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST ADDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER & WASTEWATER DIVISIONS

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER AND WASTEWATER SYSTEM IMPROVEMENTS. ALL WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER OR WASTEWATER SERVICE. WATER AND WASTEWATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER AND/OR WASTEWATER SERVICE APPLICATION, THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

BY: _____ DATE: _____

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 23 OF 26

X:\DWG\1\Standard\PHASE 4\SECTION 2-6\Engineering\Drawings\Improvement Plans\21-000.dwg May 21, 2021 1:40 PM User: dcm

1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS" FOR SOIL EROSION AND SEDIMENT CONTROL" SECTION B — GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
6. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
10. NO SLOPE SHALL BE GREATER THAN 2:1.

A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 146P, OR AN INDIVIDUAL PERMIT.

B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.

C. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).

D. FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITTEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE 26				FERTILIZER RATE (10-20-20)			LIME RATE
SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P2O5	K2O	
TALL FESCUE	40	3/15 - 6/1	1/4 - 1/2	45 LB/AC	90 LB/AC	90 LB/AC	2 TONS/AC
WHITE CLOVER	25	8/1 - 10/1		10 LB/AC	20 LB/AC	20 LB/AC	
PERENNIAL RYE GRASS	40			100 LB/AC	100 LB/AC	100 LB/AC	

PERMANENT SEEDINGS SHALL COMPLY WITH SECTION 8-4.5 OF THE 2012 MARYLAND ANTIMARIAGUARDS, FOR SOIL FERTILIZATION AND SEDIMENT CONTROL

SEED MIXTURE (HARDNESS ZONE 6B) FROM TABLE B.1			FERTILIZER RATE (10-20-20)	LIME RATE	
SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES			SEEDING DEPTH
BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 8/1 - 9/30	1.0"	436 LBS./AC. (10 LBS/1000 S.F.)	2 TONS/AC. (80 LBS/1000 S.F.)
TEMPORARY SEEDING SHALL COMPLY WITH SECTION B-4-4 OF THE 2011 MARIANA STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL					

4- OTHER (Marshfield) PHASE 4 SECTION 2-5 Engineering Drawings Improvement Plans 24-SH SEC.dwg May 21, 2021 ~ 4:10pm User: rbutman

DETAIL E-3

SUPER SILT FENCE

STANDARD SYMBOL

SSF

10 FT. MAX.

GROUND SURFACE

2 1/2" IN DIAMETER GALVANIZED STEEL OR ALUMINUM POSTS

34 IN MIN.

8 IN MIN.

36 IN MIN.

GALVANIZED WOVEN SLIT FENCE WITH FILM GEOTEXTILE

ELEVATION

CHAIN LINK FENCING

WOVEN SLIT FILM GEOTEXTILE

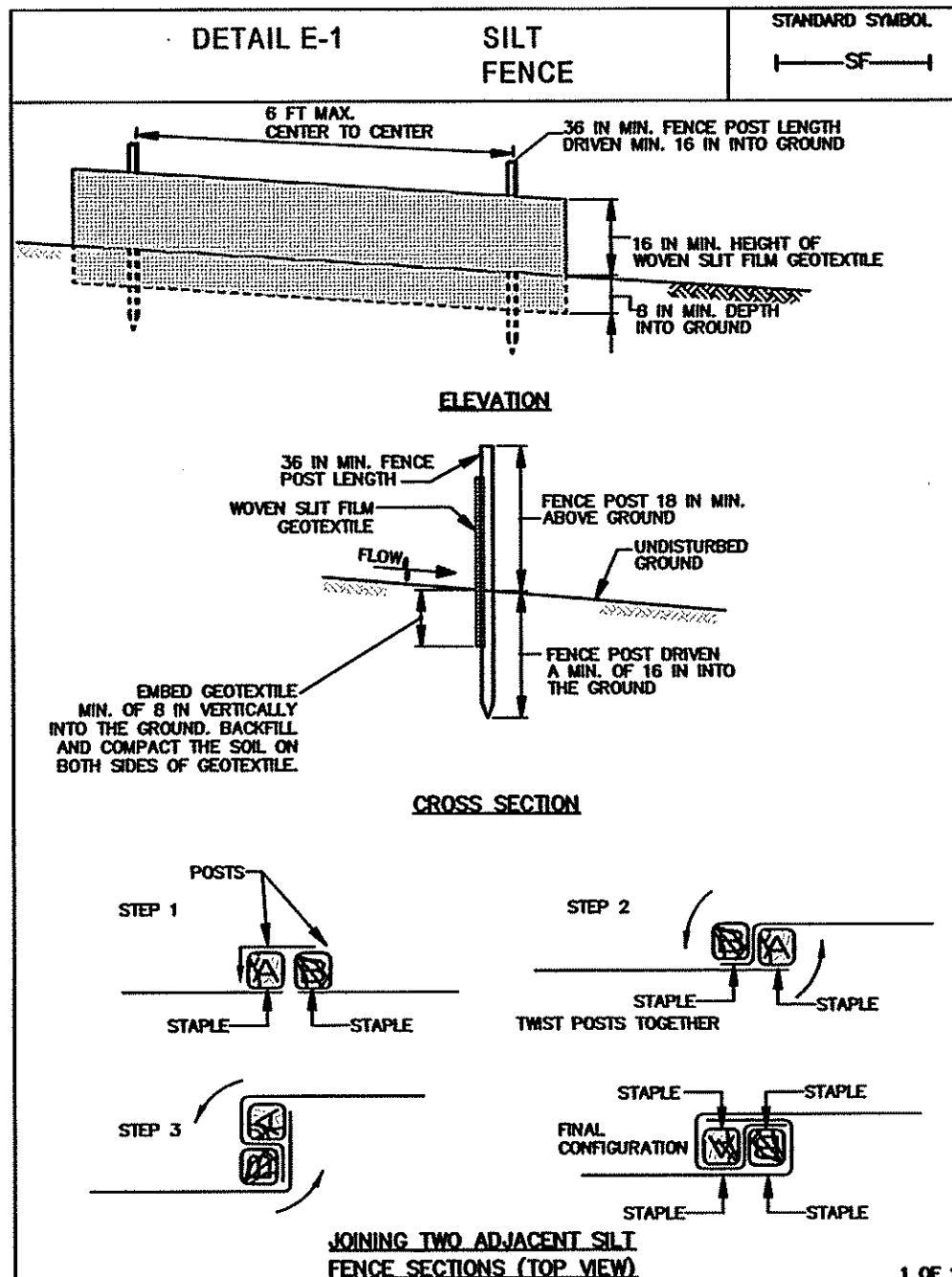
FLOW

CURED GEOTEXTILE AND CHAIN LINK FENCE 0 IN MIN. INTO GROUND

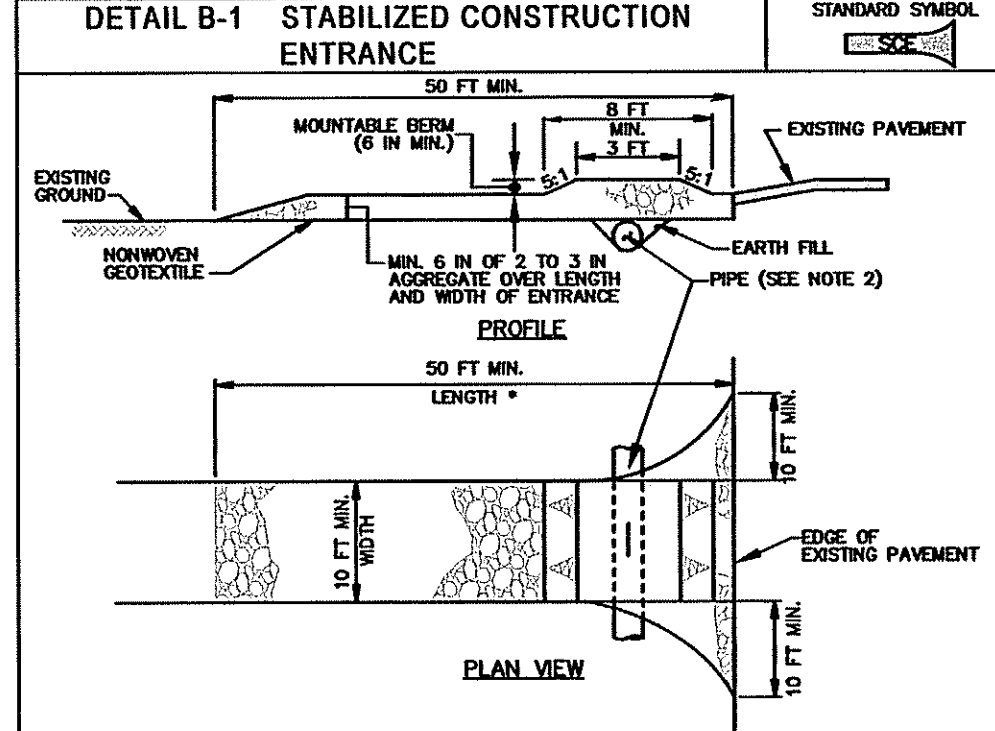
CROSS SECTION

1. INSTALL 2x6 INCH DIAMETER GALVANIZED STEEL PILES OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACING NO FURTHER THAN 10 FEET APART. DIRT THE PILES A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUNG RINGS.
3. FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 2-4 INCHES AT THE TOP AND MID RAILS OF THE GEOTEXTILE.
4. SECURE THE GEOTEXTILE TO THE CHAIN LINK FENCE WITH 1/2 INCH DIA. HOOKS AND 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, OR WHEN CHAIN LINK FENCE AND GEOTEXTILE ARE DAMAGED BY ANIMALS OR OTHER CAUSES.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SDC. USE MINIMUM LENGTH OF 50' (20 FEET) FOR ALL SDC'S. IF THE SDC IS NOT LONG ENOUGH, IT SHALL BE EXTENDED TO THE FULL LENGTH OF THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOW-TO OR DIVERTED TOWARD THE SIDE OF THE CONSTRUCTION ENTRANCE. PROVIDE A MINIMUM 12" DRAINAGE DITCH OR DRAINAGE DITCHES INSTALLED THROUGH THE SDC WITH A MOUNTAIN BERM ON THE OUTSIDE OF THE CONSTRUCTION ENTRANCE. THE DRAINAGE DITCH SHALL BE 12" DEEP AND 12" WIDE. IF THE SDC IS LOCATED ON APPROVED PAVEMENT, WHEN THE SDC IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE, AN APPROVED DRAINAGE DITCH SHALL BE CONSTRUCTED. A MOUNTAIN BERM IS REQUIRED WHEN THE SDC IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SDC.
5. MAINTAIN ENTRANCES TO THE SDC OPEN AT ALL TIMES. THE ENTRANCES TO THE SDC OR MOUNTAIN BERMS AS CONDITIONS DEMAND TO MAINTAIN CLEAR SURFACE, MOUNTAINABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR BENTLENT SEDIMENT, DROPPED, OR OTHER DEBRIS AND AGGREGATE FROM THE ENTRANCES TO THE SDC. THE ENTRANCES TO THE SDC OR ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS USED TO REMOVE THE MUD.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**CLASS E GEOTEXTILE OVER WIRE
MESH AROUND DRAWDOWN DEVICE**

CONTRACTOR TO SUPPLY-
WATER TIGHT CAP

RY
RAGE
DRY STOR

EL=572.25
PERM POOL
EL=570.23

GE

STORE CLEANOUT

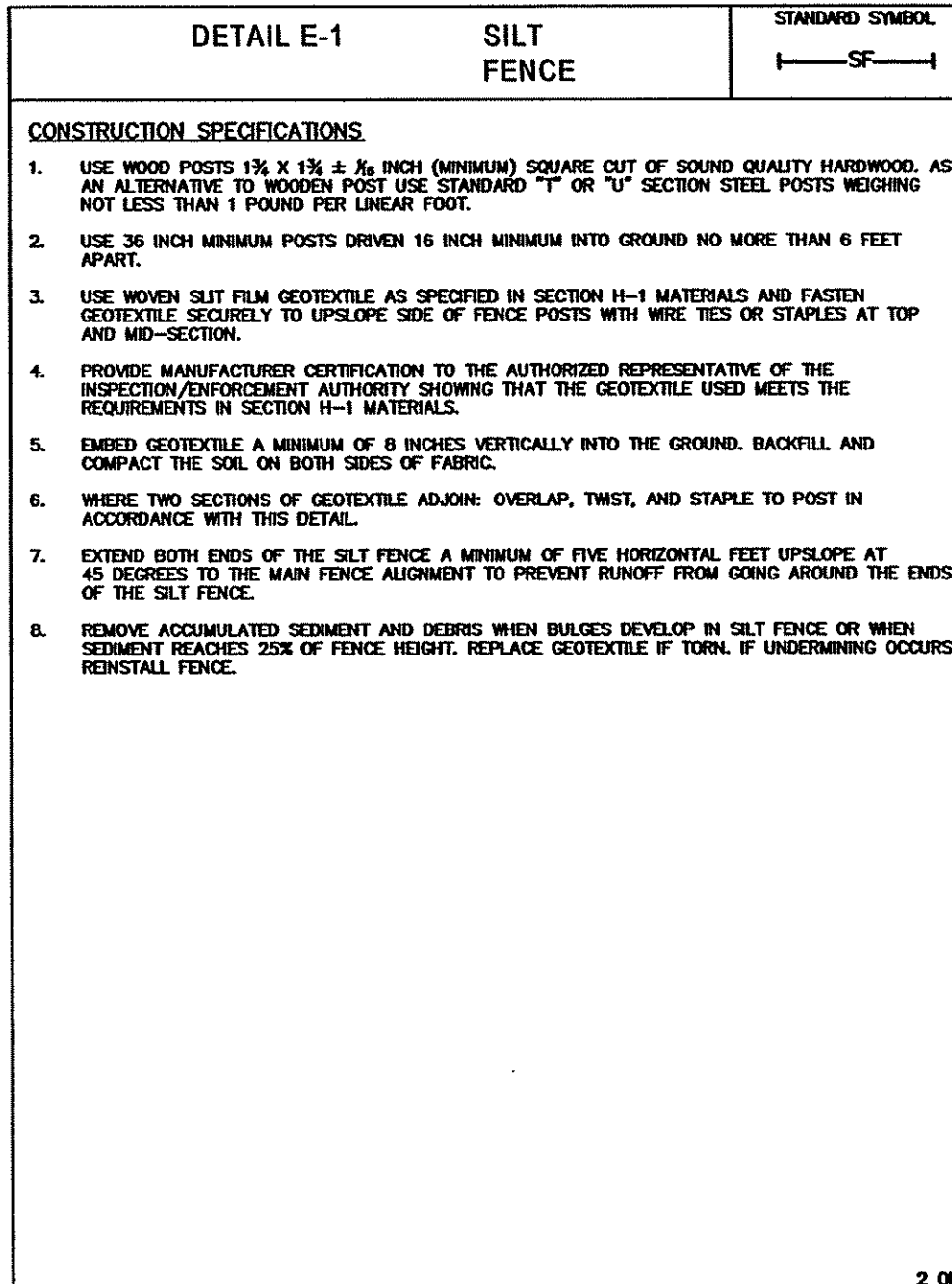
WET

BASIN INV.
EL.=568.00

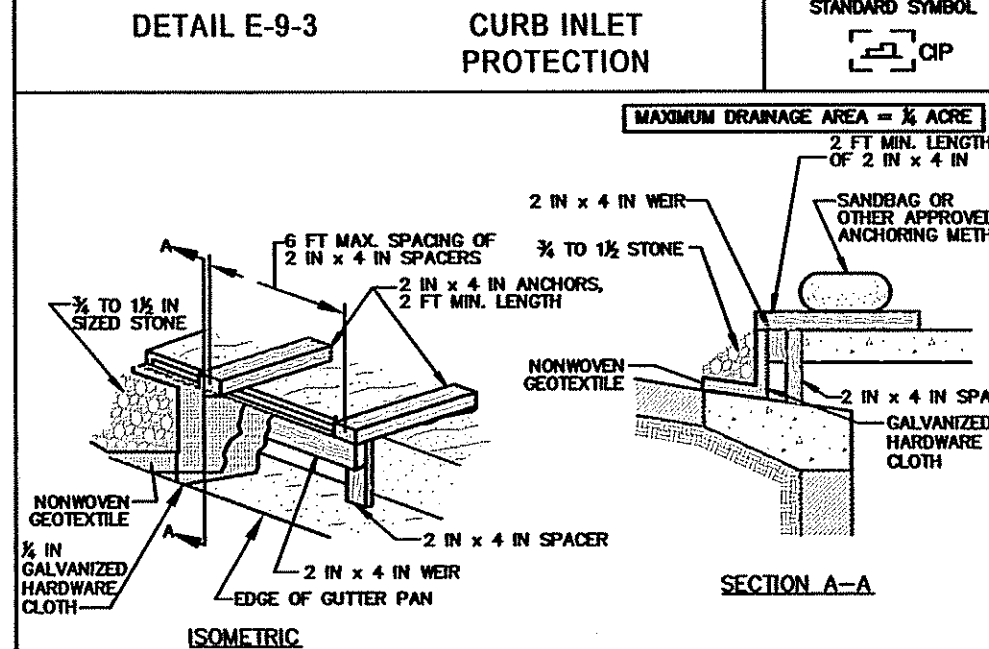
DRAWDOWN DEVICE TO BE
SUPPORTED BY 1" STEEL ANGLE 1"x

4" WOODEN STAKE OR 2" ROUND
WOOD STAKE PLACED ON EACH
SIDE OF THE DRAWDOWN DEVICE AND

ATTACHED TO PIPE WITH MIN. 12 GA.
WIRE. STAKES AND ANGLES SHALL BE

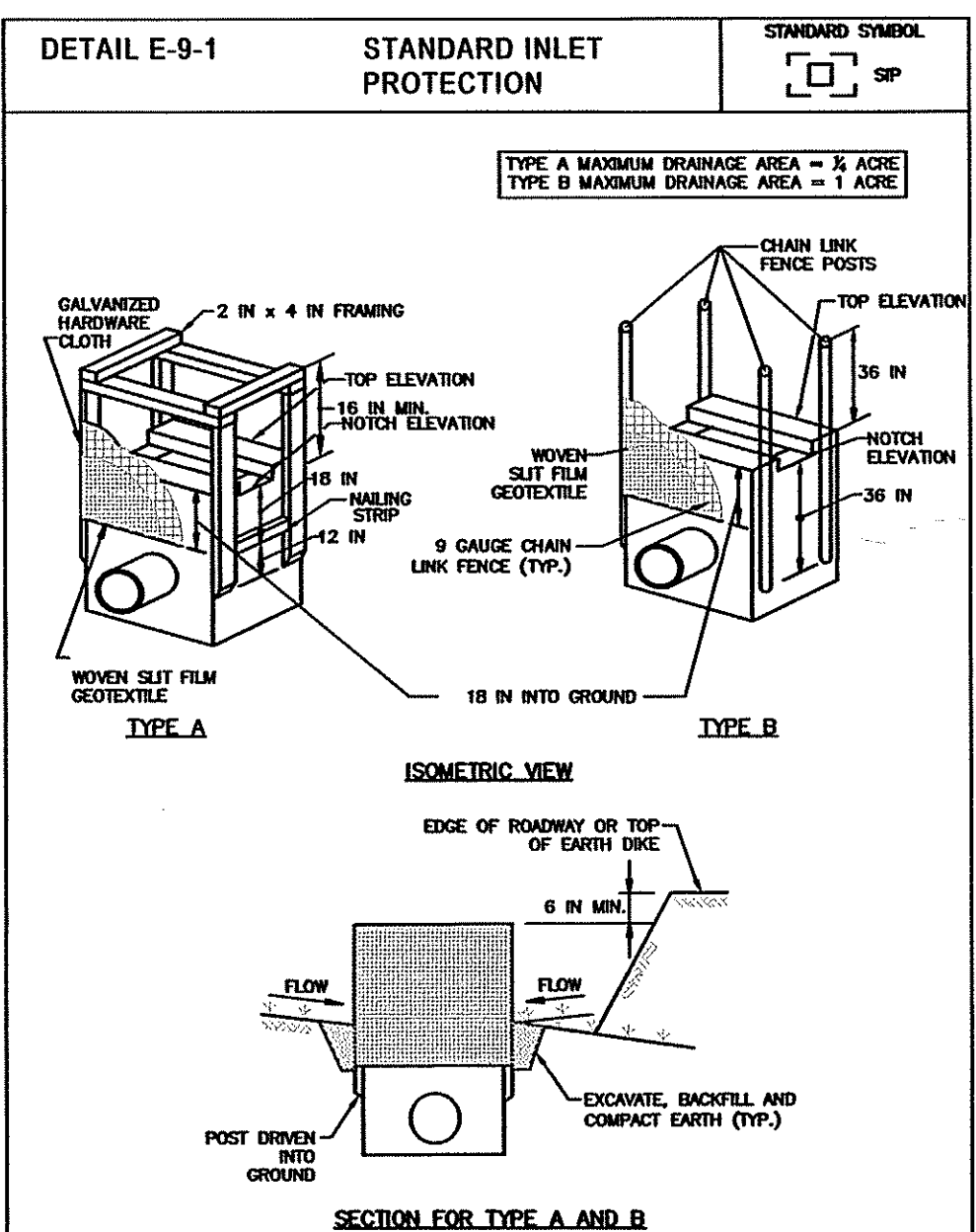


MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
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1. USE NOMINAL 2 INCH X 4 INCH LUMBER.
2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
3. NAIL THE 2x4 WEDGES TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
4. ATTACH A CONTINUOUS PEECE OF 3/4 INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF A FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEDGE, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.
5. PLACE A CONTINUOUS PEECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE THROAT OPENING AND SECURELY ATTACH TO THE 2x4 WEDGE.
6. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 3 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
7. INSTALL DIRT SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
8. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB. SECURE THE INLET PROTECTION TO THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/4 TO 1 INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
9. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
10. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED DEBRIS AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PRESSURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS TO BE REMOVED WHEN THE NEXT OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATIONAL FOREST SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT NATURAL RESOURCES ADMINISTRATION

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**SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)**

SHEET 24 OF 26

FOREST CONSERVATION PLAN
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6

SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

PROJECT NO. 20-51037

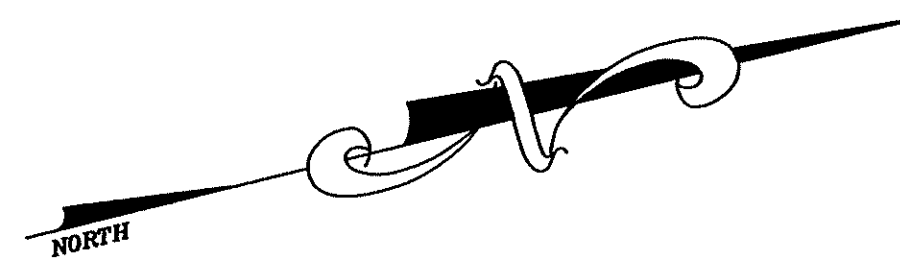
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DATE: MAY, 2021

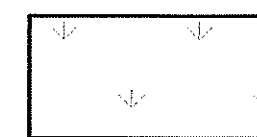
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CHECKED BY: GSP

SHEET 25 OF 26



LEGEND



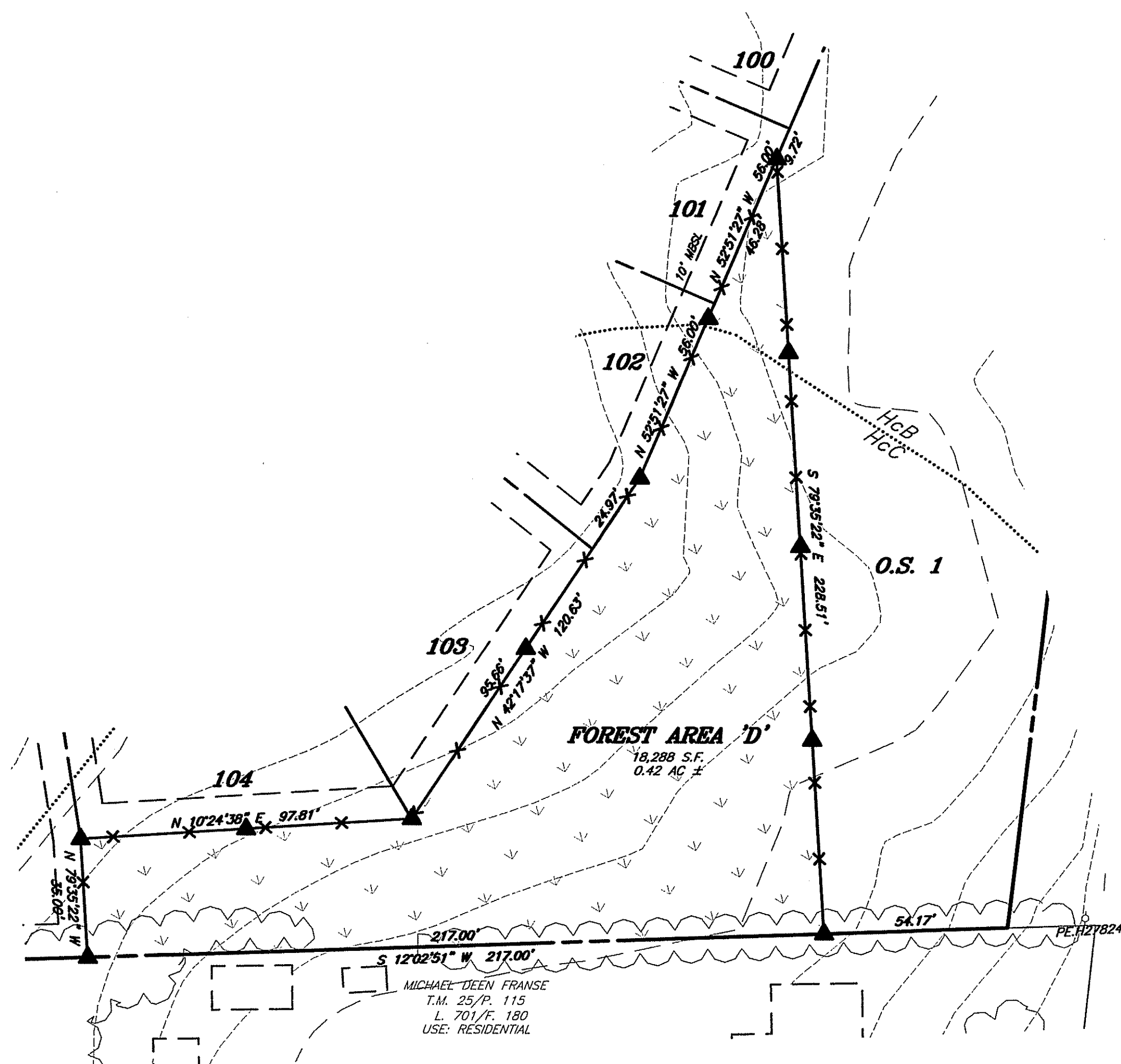
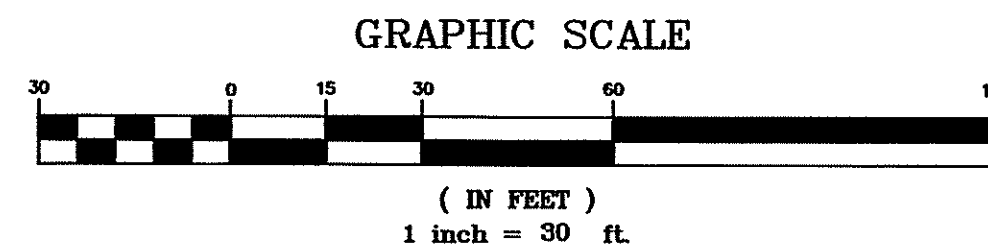
PLANTING AREAS



PROTECTIVE SIGNAGE



PROTECTIVE FENCE



NOTE:

ACCORDING TO A NOTE ON W.C. PLAT #9205, "TOTAL FOREST AREA PREVIOUSLY PLATTED (AREA A, B & C) = 13.78 AC. LEAVING 0.42 AC. TO BE PLATTED IN FUTURE SECTIONS." FOREST AREA 'D' SHALL BE PLANTED TO SATISFY THESE OUTSTANDING FOREST MITIGATION REQUIREMENTS.

FOREST CONSERVATION WORKSHEET 2.2

NOTE: USE 0 FOR ALL NEGATIVE NUMBERS THAT RESULT FROM THE CALCULATIONS.

Net Tract Area

A. TOTAL TRACT AREA	A = 97.15
B. DEDUCTIONS (CRITICAL AREA AREA RESTRICTED BY LOCAL ORDINANCE OR PROGRAM)	B = 2.51
C. NET TRACT AREA = TOTAL TRACT (A) - DEDUCTIONS (B)	C = 94.64

Land Use Category: PLANNED UNIT DEVELOPMENT

D. AFFORESTATION THRESHOLD (NET TRACT AREA (C) x 0.15)	D = 14.20
E. CONSERVATION THRESHOLD (NET TRACT AREA (C) x 0.15)	E = 14.20

Existing Forest Cover

F. EXISTING FOREST COVER WITHIN THE NET TRACT AREA	F = 0
G. AREA OF FOREST ABOVE CONSERVATION THRESHOLD IF THE EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN G = F - E; OTHERWISE G = 0	G = 0

Break Even Point

H. BREAK-EVEN POINT (AMOUNT OF FOREST THAT MUST BE RETAINED SO THAT NO MITIGATION IS REQUIRED)	H = 0
--	-------

(1) IF THE AREA OF FOREST ABOVE THE CONSERVATION THRESHOLD (G) IS GREATER THAN 0, THEN H = 0.2 x THE AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) + THE CONSERVATION THRESHOLD (E).
(2) IF THE AREA OF FOREST ABOVE THE CONSERVATION THRESHOLD (G) IS EQUAL TO 0, THEN H = EXISTING FOREST COVER (F).

I. FOREST CLEARING PERMITTED WITHOUT MITIGATION I = EXISTING FOREST COVER (F) - BREAK-EVEN POINT (H)	I = 0
--	-------

Proposed Forest Clearing

J. TOTAL AREA OF FOREST TO BE CLEARED	J = 0
K. TOTAL AREA OF FOREST TO BE RETAINED K = EXISTING FOREST COVER (F) - FOREST TO BE CLEARED (J)	K = 0

Planting Requirements

IF THE TOTAL AREA OF FOREST TO BE CLEARED (J) IS AT OR ABOVE THE BREAK-EVEN POINT (H), NO PLANTING IS REQUIRED AND NO FURTHER CALCULATIONS ARE NECESSARY (H=0 AND H=0.2X). OTHERWISE, CALCULATE THE PLANTING REQUIREMENT(S) AS FOLLOWS:

L. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD (1) IF THE TOTAL AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN L = THE AREA OF FOREST TO BE CLEARED (J) x 0.25	L = 0
--	-------

(2) IF THE FOREST TO BE RETAINED (K) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN L = AREA OF FOREST ABOVE CONSERVATION THRESHOLD (G) x 0.25

M. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD (1) IF EXISTING FOREST COVER (F) IS GREATER THAN THE CONSERVATION THRESHOLD (E) AND THE FOREST TO BE RETAINED (K) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN M = 2.0 x (CONSERVATION THRESHOLD (E) - FOREST TO BE RETAINED (K))	M = 0
---	-------

(2) IF EXISTING FOREST COVER (F) IS LESS THAN OR EQUAL TO THE CONSERVATION THRESHOLD (E), THEN M = 2.0 x FOREST TO BE CLEARED (J)

N. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD IF THE AREA OF FOREST TO BE RETAINED (K) IS GREATER THAN THE CONSERVATION THRESHOLD (E), THEN N = K - E	N = 0
--	-------

P. TOTAL REFORESTATION REQUIRED P = L + M - N	P = 0
---	-------

Q. TOTAL AFFORESTATION REQUIRED IF EXISTING FOREST COVER (F) IS LESS THAN THE AFFORESTATION THRESHOLD (D), THEN Q = AFFORESTATION THRESHOLD (D) - EXISTING FOREST COVER (F)	Q = 14.20
---	-----------

R. TOTAL PLANTING REQUIREMENT R = P + Q	R = 14.20
---	-----------

TOTAL FOREST AREA PLATTED (AREA A, B & C) = 13.78 AC. LEAVING 0.42 AC. TO BE PLATTED IN FUTURE SECTIONS.

AFFORESTATION REQUIREMENT

94.64 AC. x 0.15 = 14.20 AC.

AFFORESTATION PROVIDED

FA-A PLAT 9205 7.97 AC.

FA-B PLAT 9205 4.94 AC.

FA-C PLAT 9205 0.87 AC.

PREVIOUSLY RECORDED TOTAL 13.78 AC.

FA-D (THIS PLAT) 0.42 AC.

TOTAL 14.20 AC.

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

Clint Rock

GENERAL NOTES

- FOREST STAND DELINEATION ORIGINALLY PREPARED BY MARTIN TUCKER SIGNED 4/26/85 SHOWED NO QUALIFYING FOREST ON THIS PROPERTY (FS-85-019) APPROVED 4/3/88. SUBSEQUENT FOREST CONSERVATION PLANS PREPARED FOR PHASE 1 AND PHASE 2 VALIDATE THIS FSD WORK.
- THE FOREST CONSERVATION MEASURES REQUIRED FOR THIS SITE SHALL BE FULLY IMPLEMENTED WITHIN TWO (2) GROWING SEASONS OF APPROVAL OF THE FINAL FOREST CONSERVATION PLAN AND BEFORE DEVELOPMENT PROJECT COMPLETION.
- THIS FOREST CONSERVATION PLAN HAS BEEN PREPARED PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. ANY DEVIATION FROM THIS APPROVED PLAN MAY MAKE THE OWNER/DEVELOPER SUBJECT TO FINES AND PENALTIES PURSUANT TO ENFORCEMENT ACTION TAKEN BY THE APPROVING AUTHORITY.
- OWNER / DEVELOPER SHALL NOT BE RESPONSIBLE FOR THE SURVIVABILITY OF EITHER THE EXISTING FOREST OR OF THE PROPOSED AFFORESTATION/REFORESTATION AREA DUE TO CIRCUMSTANCES BEYOND OUR CONTROL (I.E. ACTS OF NATURE, IMPROPER PLANT HANDLING OR INSTALLATION, IMPROPER TREE PROTECTION OR THE LACK OF FOREST MAINTENANCE).
- NO DISTURBANCE TO ANY EXISTING FOREST AREAS SHALL BE PERMITTED EXCEPT AS SHOWN ON THIS PLAN.
- PROTECTION DEVICES:
 - ALL RETENTION AREAS SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL ANCHORED TEMPORARY PROTECTION DEVICES.
 - ALL PROTECTION DEVICES SHALL BE IN PLACE PRIOR TO ANY GRADING OR LAND CLEARING.
 - FENCING SHALL BE AS DETAILED.
 - ALL PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND ALL GRADED AREAS HAVE BEEN STABILIZED.
 - PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS, TO TREES IS PROHIBITED.
 - NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN PROTECTED AREAS.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AT LEAST FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION. THE DEVELOPER, HIS QUALIFIED PROFESSIONAL, CONTRACTOR AND APPROPRIATE LOCAL INSPECTORS SHALL ATTEND.
- AFTER THE PRE-CONSTRUCTION MEETING AT THE CONSTRUCTION SITE HAS TAKEN PLACE, THE BOUNDARIES OF THE LIMITS OF DISTURBANCE SHALL BE STAKED AND FLAGGED AND THE FOREST PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING, THE PLANNING AND ZONING DEPARTMENT WILL INSPECT AND APPROVE THE PROTECTION DEVICES BEFORE CONSTRUCTION CAN PROCEED.
- ANY CHANGES MADE TO THE FOREST CONSERVATION PLAN DUE TO ON-SITE CONDITIONS SHALL BE MADE IN CONSULTATION WITH A QUALIFIED PROFESSIONAL AND APPROVED BY THE PLAN PREPARE.
- FOLLOWING CONSTRUCTION, THE FOLLOWING MEASURES SHALL BE TAKEN WHEN APPROPRIATE:
 - CORRECTIVE MEASURES IF DAMAGES WERE INCURRED DUE TO NEGLIGENCE:
 - STRESS REDUCTION: FOLLOW PROCEEDURE OUTLINED IN SECTION 3.5.3(A) OF THE FOREST CONSERVATION TECHNICAL MANUAL.
 - REMOVAL OF DEAD OR DYING TREES: THIS MAY BE DONE ONLY IF TREES POSE AN IMMEDIATE SAFETY HAZARD.
 - TEMPORARY STRUCTURES: THE FOLLOWING MINIMUM STANDARDS SHALL BE OBSERVED DURING THE REMOVAL OF TEMPORARY STRUCTURES:
 - NO BURIAL OF DISCARDED MATERIALS WILL OCCUR ON-SITE.
 - NO OPEN BURNING WITHIN 100 FEET OF A WOODED AREA.
 - ALL TEMPORARY FOREST PROTECTION STRUCTURES WILL BE REMOVED AFTER CONSTRUCTION.
- FOLLOWING THE COMPLETION OF CONSTRUCTION, PRIOR TO USE, THE PROJECT INSPECTOR SHALL INSPECT THE ENTIRE SITE.
- THE OWNER/DEVELOPER SHALL RETAIN QUALIFIED NURSERY PERSONNEL TO DETERMINE AND IMPLEMENT, AS NECESSARY, A SCHEDULE FOR WATERING, FERTILIZATION AND GENERAL MAINTENANCE OF THE STOCK PLANTED IN THE AFFORESTATION/REFORESTATION AREA AND TO MONITOR THE PROGRESS OF THE EXISTING FOREST.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH WASHINGTON COUNTY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777, A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE UTILIZATION OF MEN, MATERIALS, EQUIPMENT AND SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- OWNER / DEVELOPER HAS PERFORMED NO SUBSURFACE INVESTIGATION OF ANY KIND. LOCATION AND EXTENT OF ROCK, ALTERABLE, UTILITIES, ETC. ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION

- CONTACT THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING.
- CONDUCT PRE-CONSTRUCTION MEETING.
- STAKEOUT/FLAGGING OF LIMITS OF DISTURBANCE, LIMITS OF AFFORESTATION/REFORESTATION AREA AND PLACEMENT OF TEMPORARY AND APPLICABLE PERMANENT SIGNAGE.
- INSTALLATION OF PROTECTIVE DEVICES.
- NOTIFY THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 AFTER PERMANENT SIGNAGE AND PROTECTIVE DEVICES HAVE BEEN INSTALLED. THE DEPARTMENT WILL INSPECT AND APPROVE THE SIGNAGE AND PROTECTIVE MEASURES PRIOR TO START OF GRADING ACTIVITIES.
- PREPARE SITE FOR PLANTING (I.E. SOIL AMENDMENTS, DISCING, ETC.)
- PLANT AFFORESTATION/REFORESTATION AREA IN REQUIRED PHASES.
- STABILIZE ALL DISTURBED AREAS, REMOVE TEMPORARY PROTECTION DEVICES.
- CONTACT THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 TO SCHEDULE POST-CONSTRUCTION INSPECTION. IF THE PLANTING OF REFORESTATION AREAS HAS NOT OCCURRED AT THIS TIME, THE DEPARTMENT SHALL BE NOTIFIED WHEN PLANTING IS COMPLETE IN ORDER TO BEGIN THE 2-YEAR MONITORING AND MAINTENANCE CALENDAR.
- BEGIN MONITORING PROGRAM.
- AT ONE YEAR ANNIVERSARY, PERFORM INSPECTION FOR NECESSITY OF REINFORCEMENT PLANTING OR POSSIBLE INCREMENTAL BOND REDUCTION. ITEMS TO CONSIDER ARE: MGR, GROWTH RATE, STRUCTURE, CROWN DEVELOPMENT, TRUNK HEALTH AND THICK OF COMPETING VEGETATION.
- AT TWO YEAR ANNIVERSARY, PERFORM FINAL INSPECTION WITH LOCAL INSPECTOR FOR FINAL BOND RELEASE.

PLANT SPACING RECOMMENDATIONS

FOR VARIOUS ECOLOGICAL REASONS, PLANTING IN GROUPS OR AGGREGATE DISTRIBUTION IS PREFERRED OVER RECTANGULAR OR GRID PATTERN STYLE OF PLANT DISTRIBUTION. AGGREGATE MASSING OR SHEPHERD ARE THE MOST COMMON VEGETATION DISTRIBUTION PATTERNS SEEN IN NATURE. PRINCIPLE SEED BEARERS ARE AT THE CENTRAL CORE, WITH THE SEED DISPERSAL OUTWARD. GROUPINGS BLEND INTO AND THROUGH OTHER GROUPINGS FORMING A COMMUNITY. CLUMPED POPULATIONS ARE VERY COMMON IN NATURE. AS THE NAME SUGGESTS, A GIVEN INDIVIDUAL OF A SPECIES IS GROUPED CLOSELY WITH OTHERS OF ITS SPECIES IN A CLUMP. MANY POPULATIONS THAT APPEAR RANDOM AT FIRST GLANCE, UPON CAREFUL MEASUREMENT, ARE ACTUALLY CLUMPED. THEREFORE, IT IS SUGGESTED THAT GRID PATTERN SPACING BE AVOIDED AND THAT A MORE NATURALISTIC DISTRIBUTION OF PLANT SPECIES BE UTILIZED IN THE ACTUAL PLANTING OF THE PLANT SPECIES RECOMMENDED BY THIS PLAN.

NOTE: A FOREST RESOURCE ORDINANCE (FRO) PERMIT MUST BE APPLIED FOR AND OBTAINED IN ORDER TO HAVE THE FOREST IMPROVEMENT INSPECTED. THE PERMIT IS AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS (DPW). THE PERMIT FEE IS ESTABLISHED AT 1% OF THE APPROVED COST ESTIMATE.

MAINTENANCE TIMETABLE

MONITOR PROGRESS (FOR 2 YEARS).....	EACH MID MARCH, JULY & MID NOVEMBER
CONTROL OF COMPETING VEGETATION.....	AS NEEDED MARCH THRU AUGUST
FERTILIZATION (AS NEEDED FOR 2 YEARS).....	EACH AUGUST THRU DECEMBER
WATERING (2 YEARS).....	YEAR LONG ON AN AS NEEDED BASIS
SPRAYING OF PESTICIDES AND HERBICIDES (2 YEARS).....	AS NEEDED THROUGH GROWING SEASON
PROTECTIVE FENCING (2 YEARS).....	TWO COMPLETE GROWING SEASONS
PROTECTIVE SIGNAGE (2 YEARS).....	TWO COMPLETE GROWING SEASONS

PLANTING SPECIFICATIONS

- BARE ROOT STOCK SHALL BE PACKAGED AND HANDLED IN TRANSPORT AND IN THE FIELD SO AS TO RETAIN MOISTURE IN THE ROOTS AT ALL TIMES.
- IF SEEDLINGS CANNOT BE PLANTED WITHIN TWO (2) DAYS OF SHIPMENT, THEY SHALL BE HEELED IN (SEE DETAIL), AND MUST BE PLANTED BEFORE THEY START TO GROW.
- EXISTING SOIL SHALL BE TREATED SO AS TO ELIMINATE ANY HERBICIDES OR PESTICIDES THAT MAY HAVE BEEN APPLIED DURING PREVIOUS AGRICULTURAL USE. SOIL AMENDMENTS SUCH AS LIME AND FERTILIZER SHALL BE ADDED AT A RATE DETERMINED BY SOIL ANALYSIS.
- SITE SPECIFIC SOIL SAMPLING SHALL BE PERFORMED BY THE CONTRACTOR TO DETERMINE NECESSARY SOIL AMENDMENTS FOR THE PLANT MATERIALS SPECIFIED.
- AFFORESTATION/REFORESTATION AREA SHALL HAVE ALL EXISTING VEGETATION REMOVED AND SHALL BE DISCED, PRIOR TO PLANTING OF SEEDLINGS AND WHIPS.
- WHIPS AND SEEDLINGS SHALL BE A MINIMUM OF 1/4" TO 1/2" CALIBER WITH ROOTS NO LESS THAN 8".
- SEEDLINGS AND WHIPS SHALL BE PLANTED IN ACCORDANCE WITH THE DETAILS PROVIDED HEREIN UNLESS OTHERWISE APPROVED BY THE PLAN PREPARER.
- NO SUBSTITUTIONS OF THE PLANT MATERIAL WILL BE PERMITTED WITHOUT THE CONSENT OF THE PLAN PREPARER AND THE LOCAL INSPECTOR.
- DEVIATION FROM THESE SPECIFICATIONS AND DETAILS MAY BE MADE ONLY WITH APPROVAL OF THE LOCAL INSPECTOR AND THE PLAN PREPARER.
- WHIPS SHALL CONSTITUTE 50% OF EACH SPECIES OF PLANT STOCK SPECIFIED AND SHALL BE PLANTED AROUND THE PERIMETER OF THE AFFORESTATION/REFORESTATION AREA.
- AFTER ALL TREE PLANTINGS ARE COMPLETED, THE SITE SHALL BE OVERSEED WITH A NURSE CROP CONSISTING OF A MIXTURE OF WHITE DUTCH CLOVER, LADINO CLOVER AND ANNUAL RYE GRASS AT THE FOLLOWING RATE:

WHITE DUTCH CLOVER	● 3lb./ACRE
LADINO CLOVER	● 3lb./ACRE
ANNUAL RYE	● 2lb./ACRE

SHORT TERM OR TWO YEAR MAINTENANCE AGREEMENT

OWNER / DEVELOPER AGREES TO CONDUCT REFORESTATION AND/OR AFFORESTATION OF THE PROPERTY IN ACCORDANCE WITH THE FOREST CONSERVATION PLAN, AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION. THE REFORESTATION SHALL BE PLANTED BY OWNER / DEVELOPER OR AN AGENT OF THE LANDOWNER IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROVED PLAN.

- PROTECTIVE FENCING AND SIGNAGE WILL BE MAINTAINED ON THE PERIMETERS OF THE FOREST RETENTION AREAS ADJACENT TO PROPOSED DISTURBANCE DURING CONSTRUCTION.
- PROTECTIVE FENCING AND SIGNAGE WILL BE MAINTAINED ON THE PERIMETER OF THE REFORESTATION AREAS FROM THE DATE OF IMPLEMENTATION FOR A PERIOD OF TWO YEARS.
- THE COUNTY SHALL BE PROVIDED WITH REASONABLE ACCESS TO THE AREAS OF AFFORESTATION OR REFORESTATION FOR THE PURPOSE OF INSPECTION AND/OR MAINTENANCE.
- WHIPS AND SEEDLINGS SHALL BE TREATED WITH A PRE-PLANT ROOT DIP INOCULANT WITH BENZATHONE, MYCORRHIZAL FUNGUS, TERRA-SORB WATER ABSORBENT GEL, AND NATURAL BIOSTIMULANTS TO IMPROVE AND MAINTAIN SEEDLING SURVIVAL AND GROWTH THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD THUS REDUCING THE WATERING REQUIREMENTS.
- BIODEGRADABLE WEED PRO WEED CONTROL TREE MATS, OR EQUIVALENT WEED CONTROL MATS, SHALL BE INSTALLED FOR EACH WHIP AND SEEDLING TO CREATE A WEED BLOCKADE, THUS CONTROLLING COMPETING VEGETATION AND INVASIVE SPECIES THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.
- EACH WHIP AND/OR SEEDLING SHALL BE PLANTED WITH A LONG LASTING TIME RELEASED FERTILIZER TABLET TO PROVIDE NECESSARY FERTILIZATION THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.
- PHOTODEGRADABLE TREE PRO JUNIOR TREE PROTECTORS, OR EQUIVALENT TREE PROTECTORS, SHALL BE INSTALLED AROUND EACH WHIP AND/OR SEEDLING TO PROVIDE PROTECTION FROM ANIMALS AND INCREASE GROWTH POTENTIAL THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.

NOTE: IN AREAS SUSCEPTIBLE TO ANY FLOODING AT ALL, REPLACE WOODEN STAKES WITH FIVE (5) FT. LENGTH, ONE HALF INCH DIAMETER REBAR, DRIVEN TWO (2) FT. INTO THE EARTH TO SECURE THE TREE PROTECTORS.
- DUE TO THE INSTALLATION PROCEDURES AND PROCESS, MAINTENANCE SUCH AS FERTILIZATION, CONTROL OF INVASIVE SPECIES, SPRAYING OF INSECTICIDES, PESTICIDES, AND HERBICIDES, ETC. SHOULD BE LIMITED. HOWEVER, THE LANDSCAPE CONTRACTOR, SHALL MONITOR PROGRESS FOR A PERIOD OF TWO YEARS EACH MID MARCH, JULY, AND MID NOVEMBER AND IF DETERMINED TO BE NECESSARY, SHALL FOLLOW THE MAINTENANCE TIME TABLE AND THE TREE PLANTING AND MAINTENANCE CALENDAR, SHOWN HEREON.
- IF AT THE END OF THE TWO YEAR PERIOD, SURVIVAL IS BELOW THAT WHICH IS REQUIRED FOR THE TREES ORIGINALLY PLANTED, THEN SUPPLEMENTAL PLANTING WILL BE NECESSARY AND IMPLEMENTED AT THAT TIME. SURVIVAL RATE SHALL BE THE FULL RESPONSIBILITY OF THE OWNER/DEVELOPER.

SURETY

THE OWNER SHALL PROVIDE FINANCIAL SECURITY, AS REQUIRED, TO WASHINGTON COUNTY, MARYLAND IN THE FORM OF AN IRREVOCABLE LETTER OF CREDIT, DRAWN ON A LOCAL BANK, IN THE AMOUNT OF \$0.30 PER SQUARE FOOT ESTIMATED TO COVER THE COST OF PLANTINGS, INSTALLATION, AND MAINTENANCE FOR TWO (2) COMPLETE GROWING SEASONS. AS THE SECTIONS ARE SUBMITTED FOR THE PORTION OF THE TOTAL, A SURETY FOR THE PORTION OF THAT SECTION IS DUE. A SURETY WILL BE SUBMITTED, IF AFTER ONE (1) YEAR OR ONE (1) COMPLETE GROWING SEASON, INSPECTION VERIFIES THAT THE PLANTING MEETS OR EXCEEDS THE REQUIRED STANDARDS, 50 PERCENT OF THE POSTED SURETY MAY BE RETURNED. AFTER THE TWO (2) YEAR PERIOD THE SURVIVAL REQUIREMENTS HAVE BEEN MET, THE AGREEMENTS FOLLOWED IN GOOD FAITH, THE REMAINING SURETY MAY BE RELEASED UPON FINAL INSPECTION. (SURETY AMOUNT = 0.42 ACRES TOTAL PLANTING AREA X THIRTY CENTS PER SQ.FT. PLUS 15%.)

LONG TERM PROTECTION

OWNER WILL EXECUTE A FOREST EASEMENT DEED PLACING A PERPETUAL FOREST CONSERVATION EASEMENT ON THE AREAS SHOWN HEREON TO BE REFORESTED, OR RETAINED UNDER THE APPROVED FOREST CONSERVATION PLAN. THIS EASEMENT, RECORDED WITH THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND PLACES RESTRICTIONS TO RUIN WITH THE LAND AND BE IN PERPETUITY AND PROHIBITS ANY CLEARING OF EASEMENT AREAS, AND SHALL FURTHER PROHIBIT ANY USE WHICH IS INCONSISTENT WITH RETAINING SUCH AREAS AS NATURAL FOREST. FURTHERMORE, THE USE OF THE FOREST CONSERVATION EASEMENT AREAS ARE LIMITED TO THOSE ACTIVITIES THAT ARE CONSISTENT WITH FOREST CONSERVATION SUCH AS RECREATIONAL ACTIVITIES, FOREST MANAGEMENT, AND WILDLIFE MANAGEMENT AND ARE IN COMPLIANCE WITH WASHINGTON COUNTY'S FOREST RESOURCE INSPECTION AND MAINTENANCE COVENANTS AND AGREEMENTS. PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATIONS OF THESE RESTRICTIONS. FUTURE PROPERTY OWNERS SHALL RECEIVE TITLE TO SUCH AREAS SUBJECT TO SUCH RESTRICTIONS.

PLANT SCHEDULE FOR REFORESTATION AREA "D" 0.42 AC.

QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONDITION
29	PRUNUS SEROTINA	WILD CHERRY	1/4" - 1/2"	BARE ROOT
29	ACER RUBRUM	RED MAPLE	1/4" - 1/2"	BARE ROOT
29	LIRIODENDRON TULIPIFERA	YELLOW POPLAR	1/4" - 1/2"	BARE ROOT
30	(CARYA) TOMENTOSA	MOCKERNUT HICKORY	1/4" - 1/2"	BARE ROOT
30	QUERCUS PALAISTRIS	PIN OAK	1/4" - 1/2"	BARE ROOT
147	TOTAL			

STOCKING RATE: 350 HARDWOOD SAPLINGS/ACRE WITH TREE PROTECTORS AT 12' x 12' APPROXIMATE SPACING
SURVIVAL REQUIREMENT: 75% OR 280/ACRE.

Fig. 3.6.5 Seedling Planting Methods

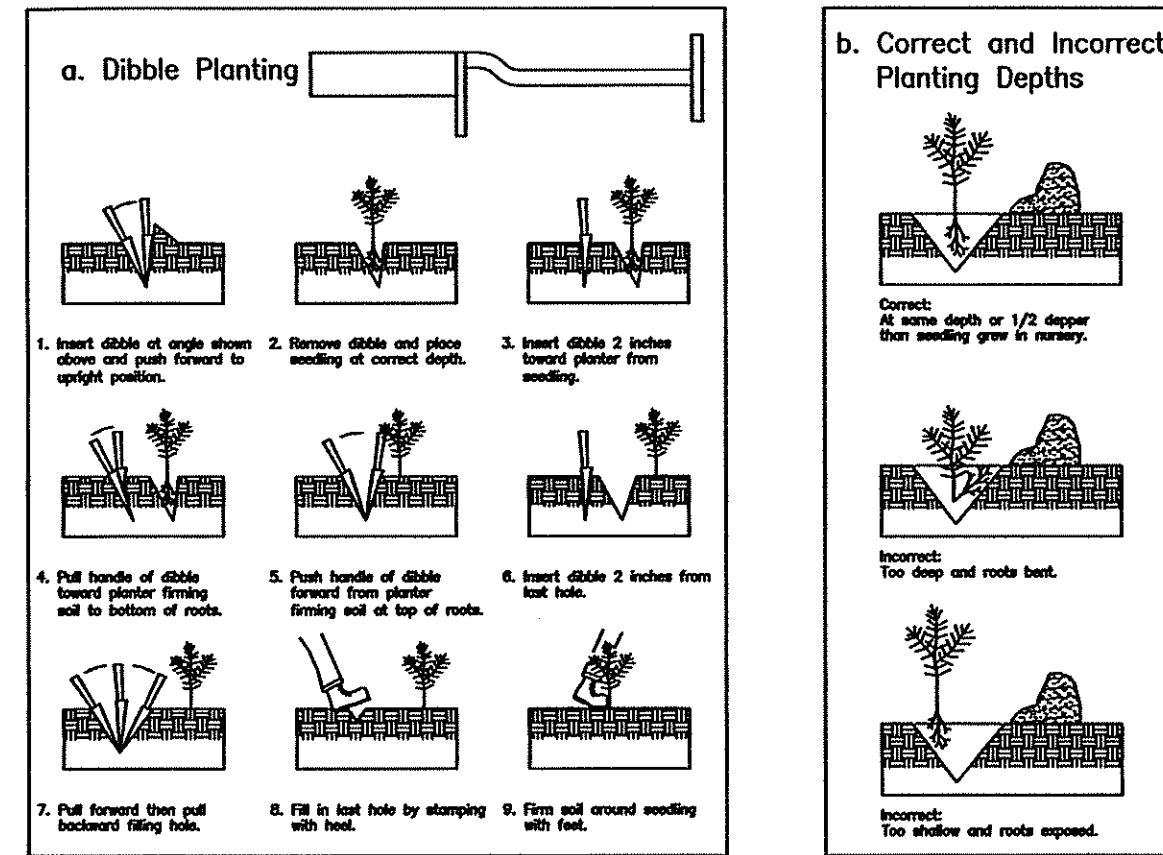


Fig. 3.6.3 Heeling In Bare Root Stock

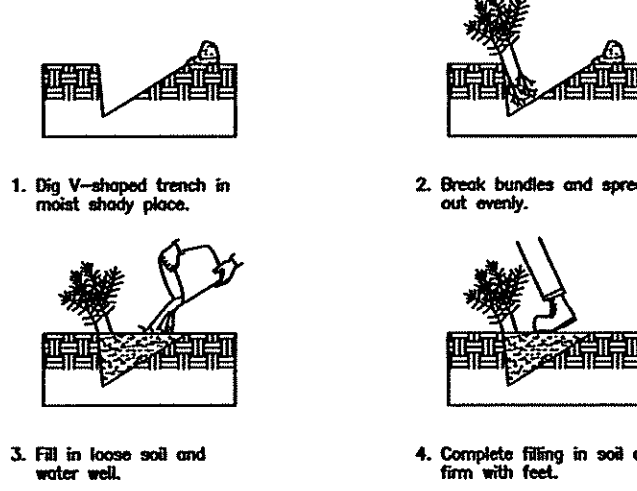


Fig. 3.6.6 Handling Seedlings in the Field

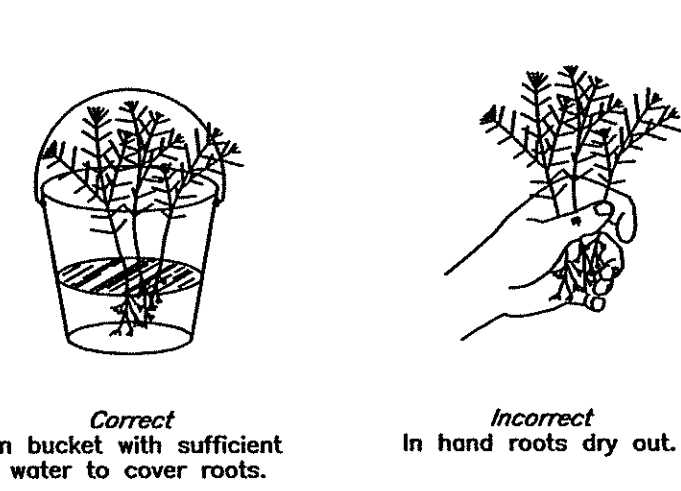
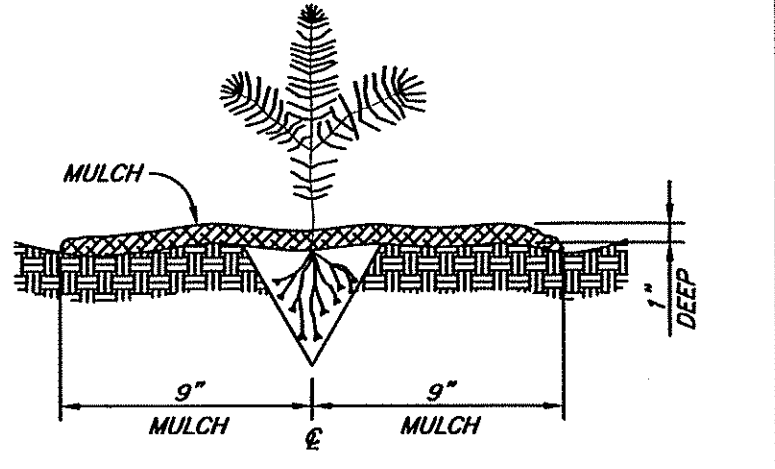
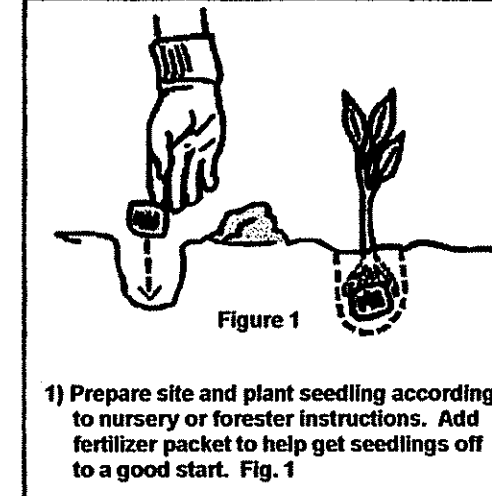


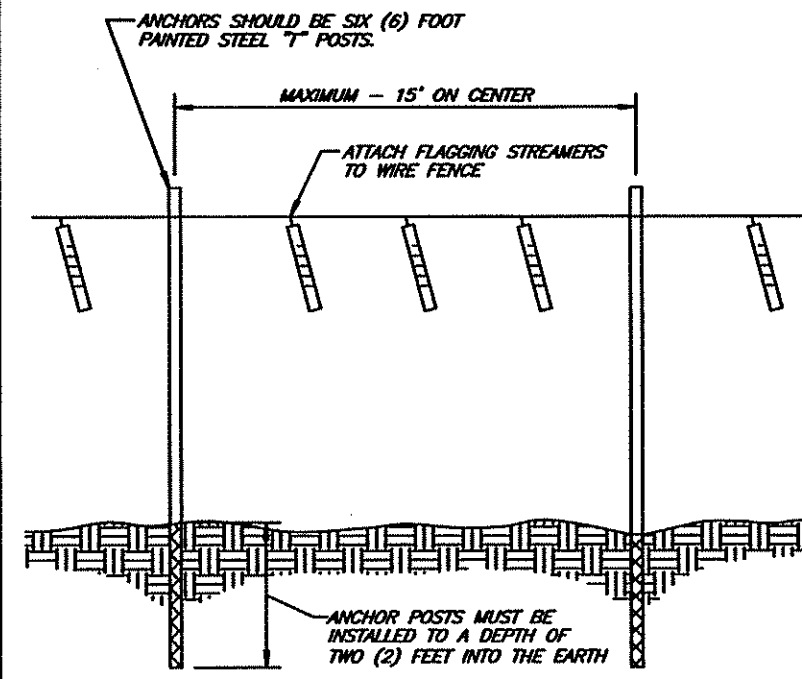
Fig. 3.6.7 Seedling and Whip Planting Specification



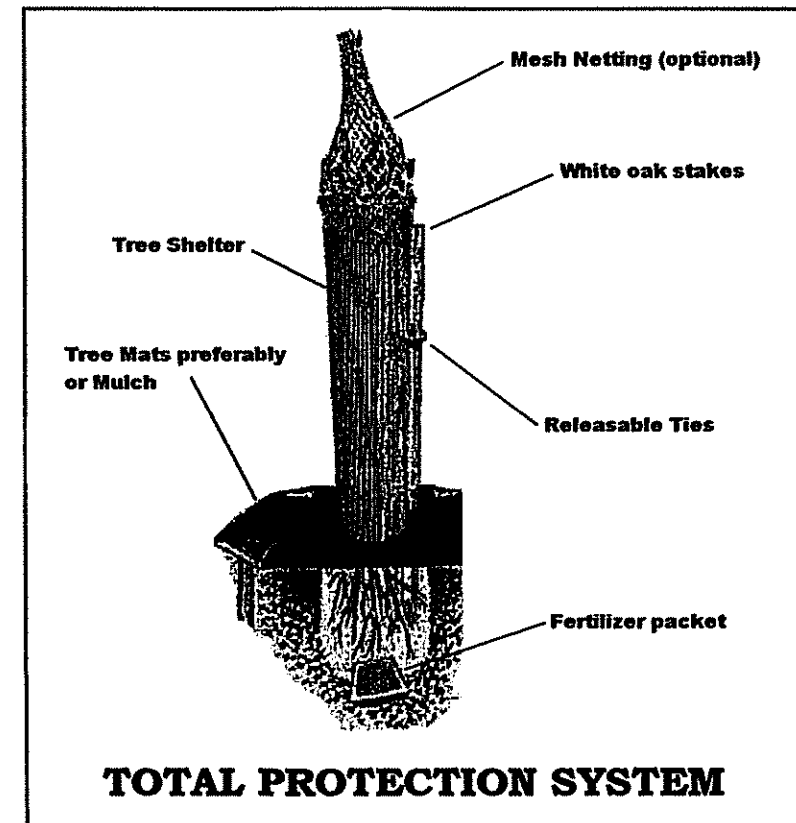
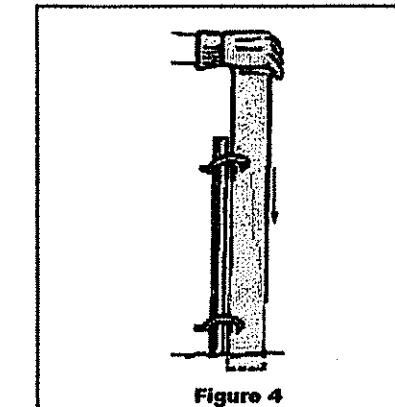
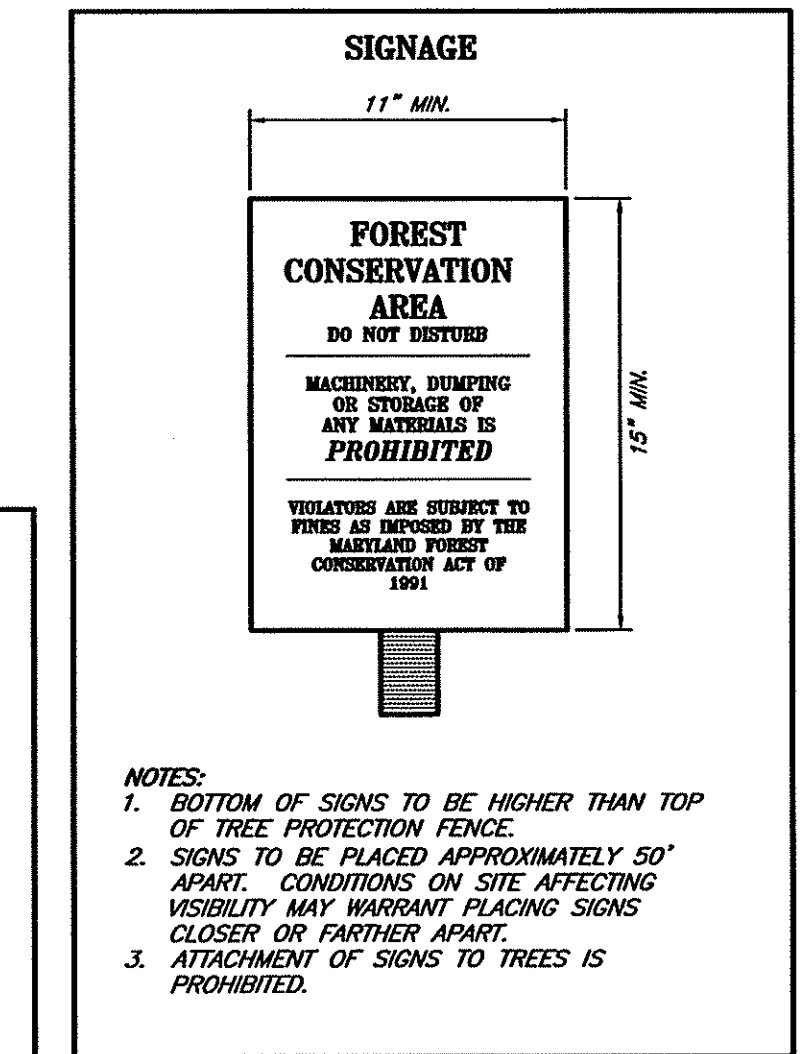
Treesheaters Installation Process



TWO YEAR PROTECTIVE FENCING ONE STRAND WIRE FENCE



- NOTES:
- FOREST PROTECTION DEVICE ONLY.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 - AVOID ROOT DAMAGE WHEN PLACING ANCHOR POSTS.
 - SMOOTH WIRE SHOULD BE SECURELY ATTACHED TO POSTS.
 - PROTECTIVE SIGNAGE IS ALSO RECOMMENDED.



Important
Seedlings will perform better with proper weed control. Check stakes at least once a year. Shelters are designed to photo-degrade. Do not remove. In areas where songbirds nest, be sure to cover shelter top with mesh netting (included) Remove mesh netting prior to the tree emerging from the top of the shelter.

FOX & ASSOCIATES INC.
Est. 1966

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FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
82 NORMANS MILL COURT
SUITE "C"
FREDERICK, MD. 21701
PHONE: (301)733-8603
FAX: (301)733-1853
or (301)416-7250
Email: foxassoc@foxassociatesinc.com
www.foxassociatesinc.com

DRAWN BY: REVISION: DATE:

FOREST CONSERVATION NOTES & DETAILS
EMERALD POINTE P.U.D.
PHASE 4, SECTIONS 2-6
SITUATE ALONG THE EAST SIDE OF MARSH PIKE
ELECTION DISTRICT 18 (CHEWSVILLE)
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

PROJECT NO. 20-51037
DRAWING NO. D-6493
DATE: MAY, 2021
DRAWN BY: DCM
CHECKED BY: GSP

SHEET 26 OF 26

Site Plan for JT Repairs

Presented is a site plan for JT Repairs.

The subject site is located along the east side of Oak Ridge Place, south of Oak Ridge Drive. Zoning is Industrial Restricted.

The developer is proposing to construct a 15,000 square foot truck terminal on his 4.7 acre parcel. The building will have office space, storage space and garage space.

There will be two access points off Oak Ridge Place.

The site will be served by well and septic. The Planning Commission granted the developer permission to use individual water and sewer at its August 2, 2021 meeting.

Hours of operation will be 7 to 5 Monday through Saturday.

There will be 6 employees.

Lights and signage will be building mounted.

Parking spaces – 16 spaces are required and 16 spaces have been provided.

There will be 5 large openings along the side of the building for trucks to pull into and drive thru to the other side.

Forest conservation requirements were met under previous site plan for this site in 2010 – there is a forest retention area and a payment in lieu was also paid.

All needed approvals have been received in our office.



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: JT Repairs
NUMBER.....: SP-21-029

OWNER.....: OAK RIDGE INVESTMENTS LLC 920 ELDRIDGE DRIVE
LOCATION.....: East side of Oak Ridge Drive Hagerstown MD
DESCRIPTION.....: Proposed truck terminal on existing industrial lot

ZONING.....: Industrial, Restricted
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 10033632
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....: Industrial
GROSS ACRES.....: 4.78
DWELLING UNITS.....:
TOTAL LOTS.....: 411
DENSITY.....: 0 Units Per Acre

PLANNER.....: Lisa A Kelly
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: October 25, 2021

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: SP-10-034

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING AND ZONING

80 West Baltimore Street | Hagerstown, MD 21740-6003 | P: 240.313.2460 | F: 240.313.2461 | Hearing Impaired: 7-1-1

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
41		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
	N/A	Inside receptacle
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
16		
Parking Spaces - Minimum Required	Recreational Parking Provided	
16	No	

ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Emma K Doub School for Integrated Arts and Technology	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:	FUNKSTOWN
AMBULANCE DISTRICT.....:	HAGERSTOWN

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	3-Programmed Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

APPROVALS

MD-ENG-6A
1/89

UTILITY NOTIFICATION

The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777

USDA
SCS

OWNER / DEVELOPERS CERTIFICATION

"I/We certify all any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

DATE
PRINTED NAME
SIGNATURE

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 3.7 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 8,333 CU. YDS. OF EXCAVATION AND APPROXIMATELY 6,616 CU. YDS. OF FILL.

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL

By: _____
Date: _____
(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

WASHINGTON COUNTY DIVISION OF ENGINEERING
GRADING & STORMWATER MANAGEMENT APPROVAL

SIGNATURE
DATE

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

SIGNATURE
DATE
SEAL

OWNER / DEVELOPERS CERTIFICATION

"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

DATE
PRINTED NAME
SIGNATURE

ENGINEER / ARCHITECT DESIGN CERTIFICATION

I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

DATE
REG. NO.
SIGNATURE

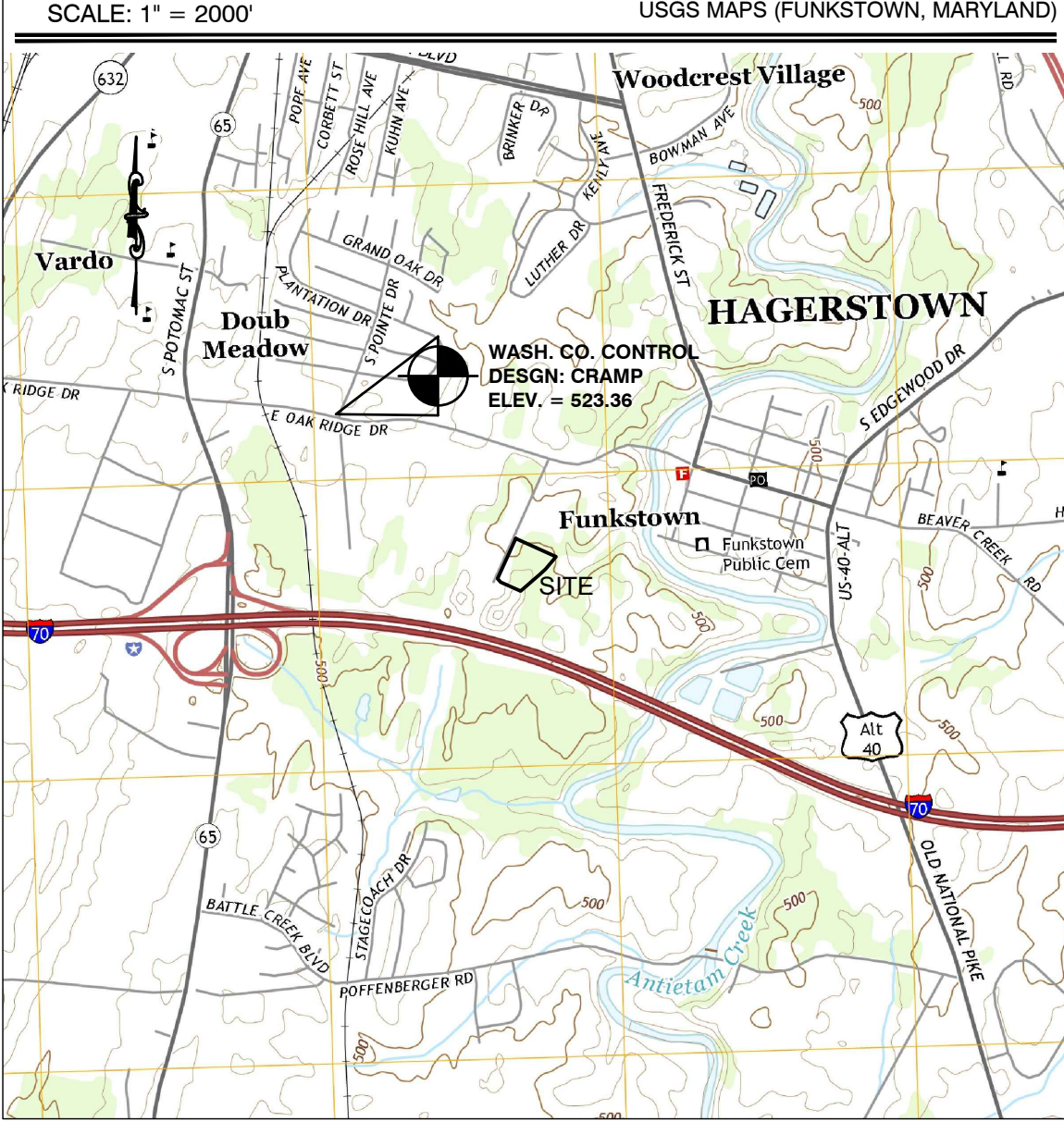
SITE PLAN
FOR
JT REPAIRS

SITUATED ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND

OWNER/DEVELOPER:
JT REPAIRS
144 FIELD VIEW DR.
GREENCASTLE, PA 17225
ATTN: JUSTIN TESTERMAN
EMAIL: JTREPAIR144@GMAIL.COM
PHONE: (240)-818-2015

CIVIL ENGINEER / SURVEYOR:
FREDERICK, SEIBERT & ASSOC., INC.
128 S. POTOMAC STREET
HAGERSTOWN, MD 21740
PROJECT MANAGER: ADAM HAGER
EMAIL: AHAGER@FSA-INC.COM
PHONE: (301)-791-3650

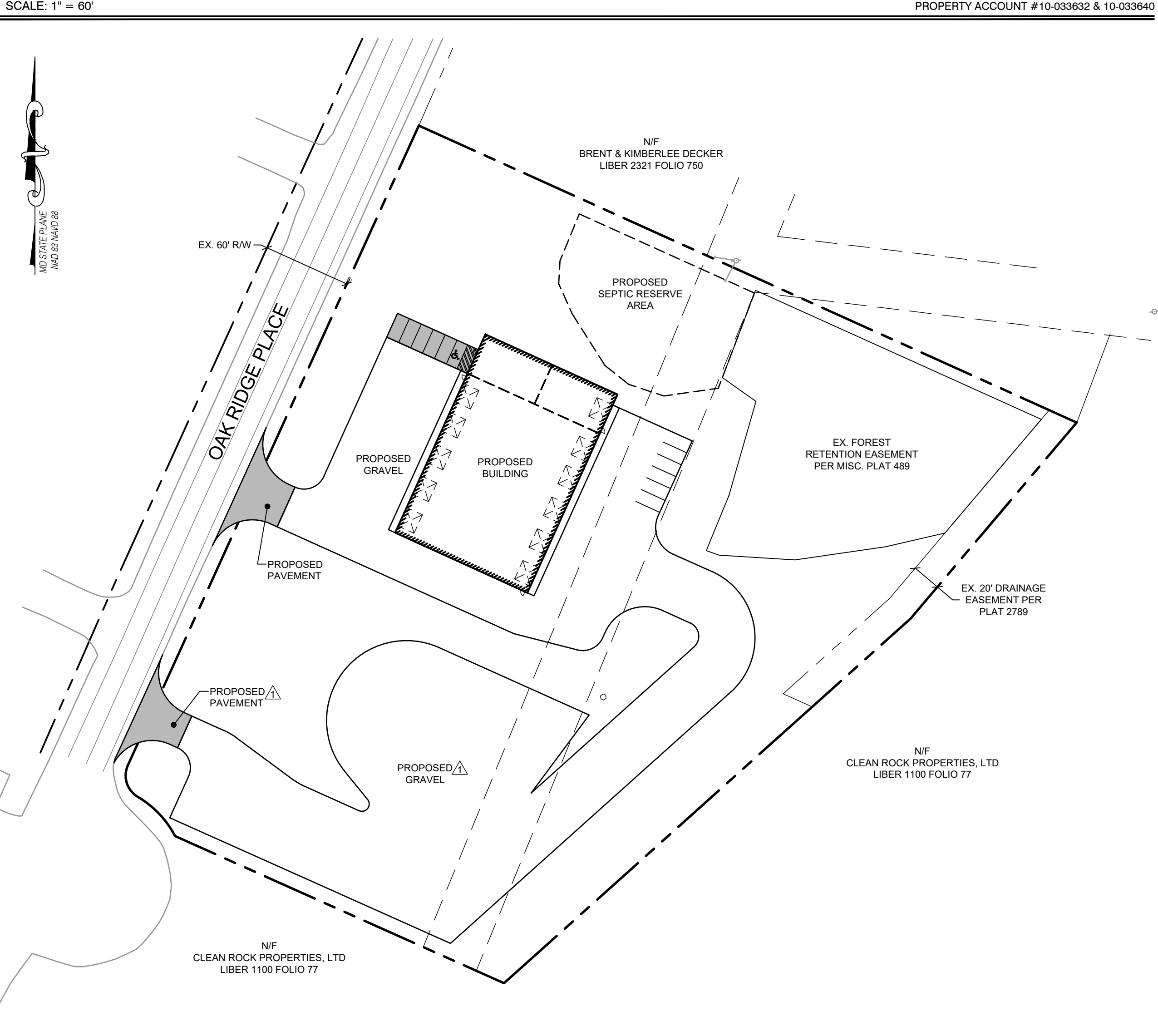
VICINITY MAP



SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	EXISTING CONDITIONS
C-102	SHEET 04	GRADING, EROSION & SEDIMENT CONTROL PLAN
C-103	SHEET 05	SITE & DIMENSION PLAN
C-301	SHEET 06	STORMWATER MANAGEMENT PLAN
C-302	SHEET 07	STORMWATER MANAGEMENT DETAILS & NOTES
C-501	SHEET 08	CONSTRUCTION DETAILS & NOTES - E & S CONTROLS
C-502	SHEET 09	CONSTRUCTION DETAILS & NOTES - SITE

LOCATION PLAN



Non - ESD Practices (Chapter 3 - Structural Practices)							
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	WQv (Ac.-Ft.)	ESDv (Ac.-Ft.)	PE Addressed (In)
Bio Pond	1	1.68 Ac	0.87 Ac	84	0.14 acft	0.14 acft	2
Bio Pond	2	1.21 Ac	0.81 Ac	84	0.10 acft	0.10 acft	2
Bio Pond	3	0.64 Ac	0.33 Ac	79	0.12 acft	0.12 acft	2

ESD Practices (Chapter 5 - Structural & Non-Structural)							
TYPE	NO.	DA (ACRES) (To Structure)	IMPERVIOUS DA (ACRES) (To Structure)	RCN	WQv (ac-ft)	ESDv (ac-ft)	Pe Addressed (In)
Grass Swale #7	1	0.23 Ac	0.18 Ac	98	0.01 acft	0.01 acft	0.38

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 49838
Expiration Date 06/30/2022

FSA

FREDERICK, SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECTS • LAND PLANNERS
128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3650
11 EAST MAIN STREET
GREENCASTLE, PA 17225
717.275.1768
717.275.1761

DATE

11/20/21

1/28/22

REVIEWED PER PLANNING COMMENTS

REVIEWED PER ENGINEERING COMMENTS

JT REPAIRS
SITUATED ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
JT REPAIRS
144 FIELD VIEW DR. GREENCASTLE, PA 17225
(240)-818-2015

PROJECT NO.	1213.2
DWN BY	DWH
DATE	09-28-2021
PROJECT MANAGER	A. HAGER
EMAIL	ahager@fsa-inc.com
TAX MAP - GRID - PARCEL	0057-0005-0568
SCALE	1" = 60'
SHEET TITLE	

COVER SHEET
C-001
SHEET 01 OF 09

P:\SHARED FOLDERS\PROJECTS\010121\210121000\CONSTRUCTION\8710121\210121-CA-001-COVER SHEET.DWG 10/28/21

SP-21-029

GENERAL NOTES

1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
6. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Verizon	(301) 790-7124
Antietam Cable	(240) 420-2082
Washington County Engineering & Construction	(240) 313-2480
Washington County Soil Conservation District	(301) 797-6821 Ext. 3

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Benchmarks to be established by FSA prior to the start of construction.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
16. Please refer to Geotechnical Report completed by ECS, Mid-Atlantic, LLC for load bearing fills, etc.
17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
20. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in August 3, 2021. (Contour accuracy is to plus or minus one half the contour interval).
21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
22. There are no pole mounted lights or photometric plans and utility plans.
23. This project has a projected start date of April 2022 and a completion date of September 2022.
24. There are no Board of Zoning Appeals Cases for this property.
25. Proposed SWM will consist of on-site bio-retention facilities.
26. There are no parks, open space within or adjoining the tract.
27. All existing drainage culverts and drainage easements are to be maintained and unaltered.
28. There are no existing or proposed pumping stations in this development.
29. No outdoor storage of materials except for trailer parking is allowed on the site.
30. No permanent structures (e.g., fences, sheds) shall be permitted within any stormwater or storm drainage easement on this property.
31. All grading for this project shall be the full responsibility of the lot/parcel owner.
32. This project will require a third-party qualified professional to be present at the preconstruction meeting scheduled with Washington County Division of Construction and the Washington County Soil Conservation District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
33. Developer/Contractor must contact the certifying engineer and Washington County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time schedules.
34. A public Works Agreement and performance security will be required for all improvements within the County right-of-way that are not otherwise regulated under a utility permit or entrance permit.
35. On August 2, 2021, the Planning Commission approved a request to use private well and septic for this site instead of the required public utilities as listed in the IR District. The Washington County Health Department has also approved the request to use private well and septic.
36. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Construction.

ZONING DATA

ZONING DISTRICT	IR - INDUSTRIAL RESTRICTED DISTRICT
BUILDING HEIGHT	75 FT.
MINIMUM YARD SETBACK:	
FRONT	50 FT.
*SIDE	25 FT.
*REAR	25 FT.

*EXCEPT WHERE THE PROPOSED USES OR BUILDINGS ABUT A LOT IN A RR, RT, RS, RU, OR RM DISTRICT, A RESIDENTIAL USE IN A MIXED-USE DISTRICT OR ANY LOT OCCUPIED BY A DWELLING, SCHOOL, PLACE OR WORSHIP, OR INSTITUTION FOR HUMAN CARE NOT LOCATED ON THE SAME LOT AS THE SAID USE OR BUILDING, OR ANY LOT WHICH IS PART OF DULY RECORDED RESIDENTIAL SUBDIVISION, THE SIDE AND REAR SETBACK SHALL BE ONE HUNDRED (100) FEET.

BOARD OF ZONING APPEALS' CASE _____ NONE

SITE DATA

TAX MAP - GRID - PARCEL	0057-0005-0568
ELECTION DISTRICT	10
ACCOUNT NUMBER	033632 & 033640
LIBER / FOLIO	06426 / 00298 & 06745 / 00239
PLAT NUMBER	2789, MISC. 489

AREA SUMMARY:

PARCEL	4.78 AC.
DISTURBED AREA	3.7 AC.
EXISTING IMPERVIOUS	0 SF / 0.0 AC (0%)
PROPOSED TOTAL IMPERVIOUS	84,560.8 SF / 1.94 AC. (41%)

BUILDING SUMMARY:

FOOTPRINT	15,000 S.F.
OFFICE SPACE	1,600 S.F.
STORAGE SPACE	2,400 S.F.
GARAGE SPACE	11,000 S.F.
HEIGHT	35 FT.

PROPOSED USE TRUCK TERMINAL (PERMITTED USE)

HOURS OF OPERATION 7AM - 5PM, MON. - SAT.

EMPLOYEE SUMMARY:

6

WATER & SEWER USAGE:

WATER PROVIDED WELL (PRIVATE)

SEWER PROVIDED SEPTIC (PRIVATE)

WASTE & RECYCLABLES:

SOLID WASTE REMOVAL INSIDE TRASH CAN AND PRIVATE HAULER

RECYCLE REMOVAL INSIDE TRASH CAN AND PRIVATE HAULER

SITE LIGHTING:

EXISTING NONE

PROPOSED NO POLE LIGHTING

SITE SIGNAGE:

EXISTING NONE

PROPOSED YES, BUILDING MOUNTED

ADDRESS ASSIGNMENT 1454 OAK RIDGE PLACE, HAGERSTOWN, MD 21740

ROAD CLASSIFICATION:

LOCAL OAK RIDGE PLACE ROAD

WAIVER AND/OR VARIANCE NONE

FOREST CONSERVATION LOT 7 - EXISTING RETENTION EASEMENT (MISC. PLAT 489, COUNTY FILE: SP-10-034)

LOT 8 - PAYMENT-IN-LIEU (2,962.08), COUNTY FILE: SP-06-062)

WATERSHED:

NAME ANTIETAM CREEK

NUMBER 02-14-05-02

FEMA PANEL # 24043C0302D

FREIGHT & DELIVERIES 5 TRACTOR TRAILERS DAILY, 1 BOX TRUCK DAILY

PARKING, LOADING & BICYCLE DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
AUTO SERVICE	2 SPACES PER SERVICE BAY PLUS 1 SPACE PER EMPLOYEE	2 X 5 SERVICE BAYS 6 EMPLOYEES	10 SPACES 6 SPACES

TOTAL REQUIRED SPACES	16 SPACES
TOTAL PROVIDED PARKING SPACES	16 SPACES

LEGEND

	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		
BUILDING		
MAIL BOX		
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)		
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION		
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		
EVERGREEN TREES		
SANITARY SEWER		
GRAVITY LINE		
FORCE MAIN LINE		
LATERAL		
MANHOLE		
CLEANOUT		
VALVE		
WATER		
COLD WATER LINE		
HOT WATER LINE		
MANHOLE		
FIRE HYDRANT		
VALVE		
METER		
WELL		
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE		
INLETS		
CLEANOUT		
UTILITIES		
GAS LINE		
ELECTRICAL LINE		
FIBER OPTIC LINE		
COMMUNICATION LINE		
OVERHEAD LINES		
MANHOLE		
PEDS, BOX, & ETC		
POLE		
LIGHT POLE		
GAS METER		
GAS VALVE		

LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGL	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SY	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRADE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	UP	UTILITY POLE
NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of MARYLAND.
Expiration Date: 06/30/2027

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECT • LAND PLANNERS
18 EAST MAIN STREET
HAGERSTOWN, MD 21740
301.791.8000
301.791.8111
717.275.2351

DATE	REVISION	DESCRIPTION
11/22/21	1	REVISED PER PLANNING & ZONING COMMENTS
11/22/21	2	REVISED PER ADDRESS COMMENTS
11/22/21	3	REVISED PER WASH. COUNTY ENGINEERING COMMENTS

JT REPAIRS
SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
JT REPAIRS
144 FIELD VIEW DR. GREENCASTLE PA 17225
(240)-616-2015

PROJECT NO.	1213.2
DWN BY	DWH
DATE	09-30-2021
PROJECT MANAGER	A. HAGER
EMAIL	ahager@fsa-inc.com
TAX MAP - GRID - PARCEL	0057-0005-0568
SCALE	NTS
SHEET TITLE	

NOTES AND LEGENDS

C-002
SHEET 02 OF 09



SITE BENCHMARK
STATION: PK NAIL
ELEV. = 483.84

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

FSA

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405 WEST BALTIMORE STREET
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14 EAST TOWN STREET
NEW BLOOMFIELD, PA 17068
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[illegible]

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SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE,
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70

WASHINGTON COUNTY, MARYLAND

JT REPAIRS
144 FIELD VIEW DR, GREENCASTLE, PA 17225
(240)-818-2015

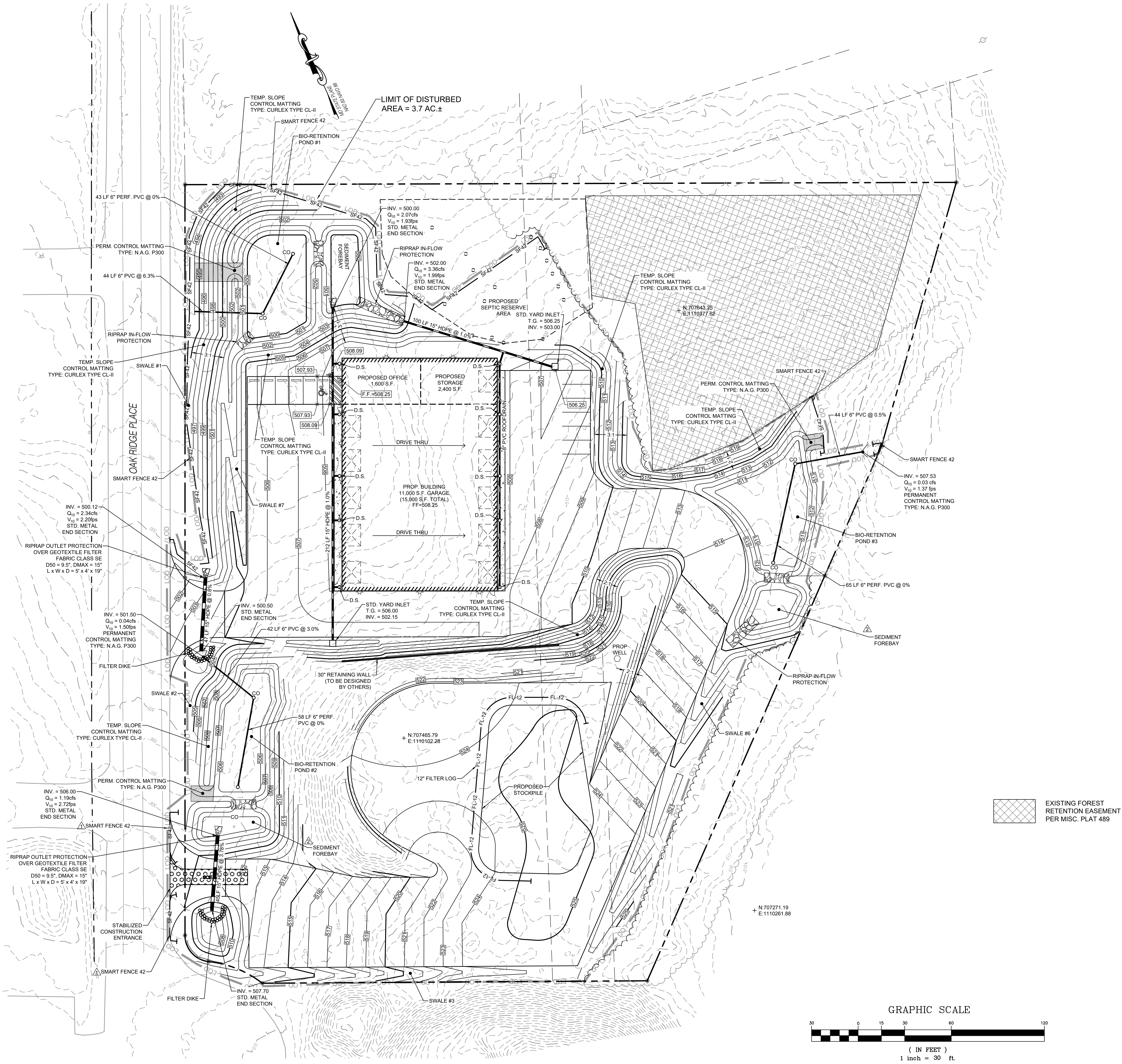
PROJECT NO.	
1213.2	
DWN BY	DATE
DWH	09-30-2021
PROJECT MANAGER: A. HAGER	
EMAIL: ahager@fsa-inc.com	
TAX MAP - GRID - PARCEL	
0057-0005-0568	
SCALE	
1" = 30'	

EXISTING CONDITIONS

C-101
SHEET 03 OF 09

SP-21-029

Retaining Wall Note: △
Any retaining wall which exceeds three (3) feet in height, requires a building permit. Provide global stability analysis if wall height exceeds ten (10) feet.



JT REPAIRS
SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
JT REPAIRS
144 FIELD VIEW DR. GREENCASTLE PA 17225
(240) 816-2015

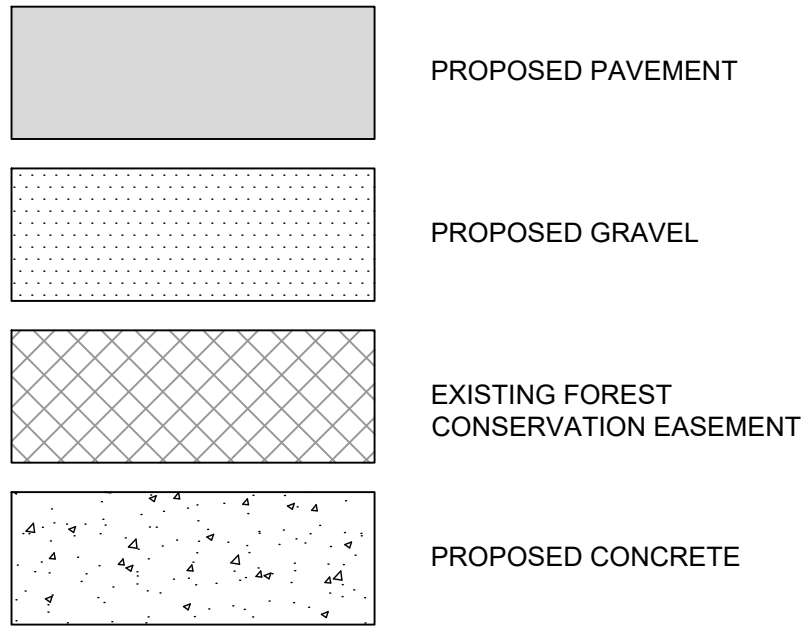
PROJECT NO. 1213.2
DWN BY DWH DATE 09-30-2021
PROJECT MANAGER A. HAGER
EMAIL: ahager@fsa-inc.com
TAX MAP - GRID - PARCEL
0057-0005-0568
SCALE 1" = 30'
SHEET TITLE

GRADING, EROSION
& SEDIMENT CONTROL

C-102
SHEET 04 OF 09

Professional Certification:
I hereby certify that these documents were prepared
or approved by me, and that I am a duly licensed
professional under the laws of the State of
MARYLAND
License # 48891
Expiration Date 06-30-2022

FSA
FREDERICK SEBERT & ASSOCIATES, INC.
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717.751.8111
717.751.8111
fsa-inc.com



NO STATE PLANE
MAD 88-040388

FSA

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301.726.7650

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MARK	DESCRIPTION	DATE
	RENSED PER ADDRESS COMMENTS	11/22/21
	RENSED PER PLANNING COMMENTS	12/21/21

SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70

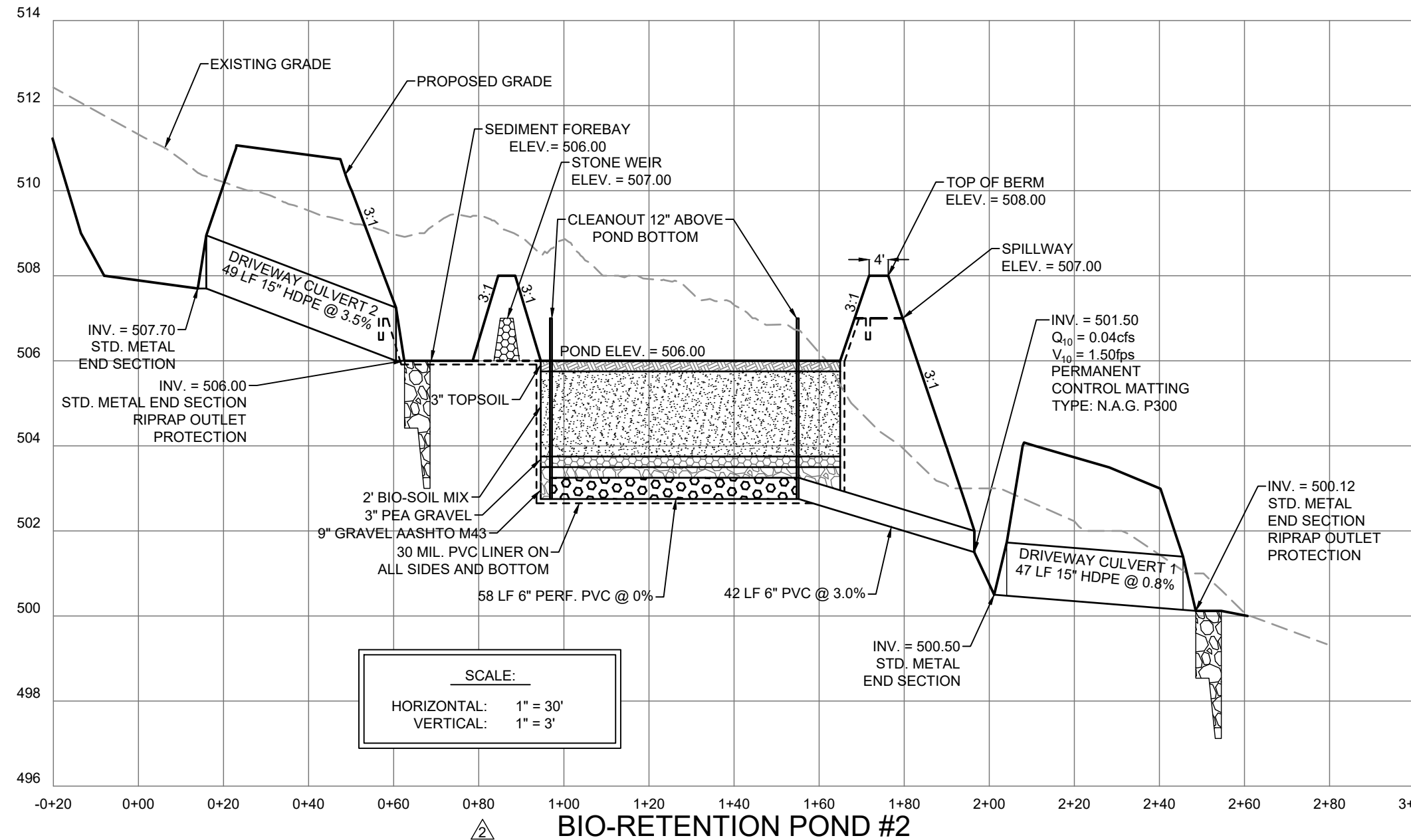
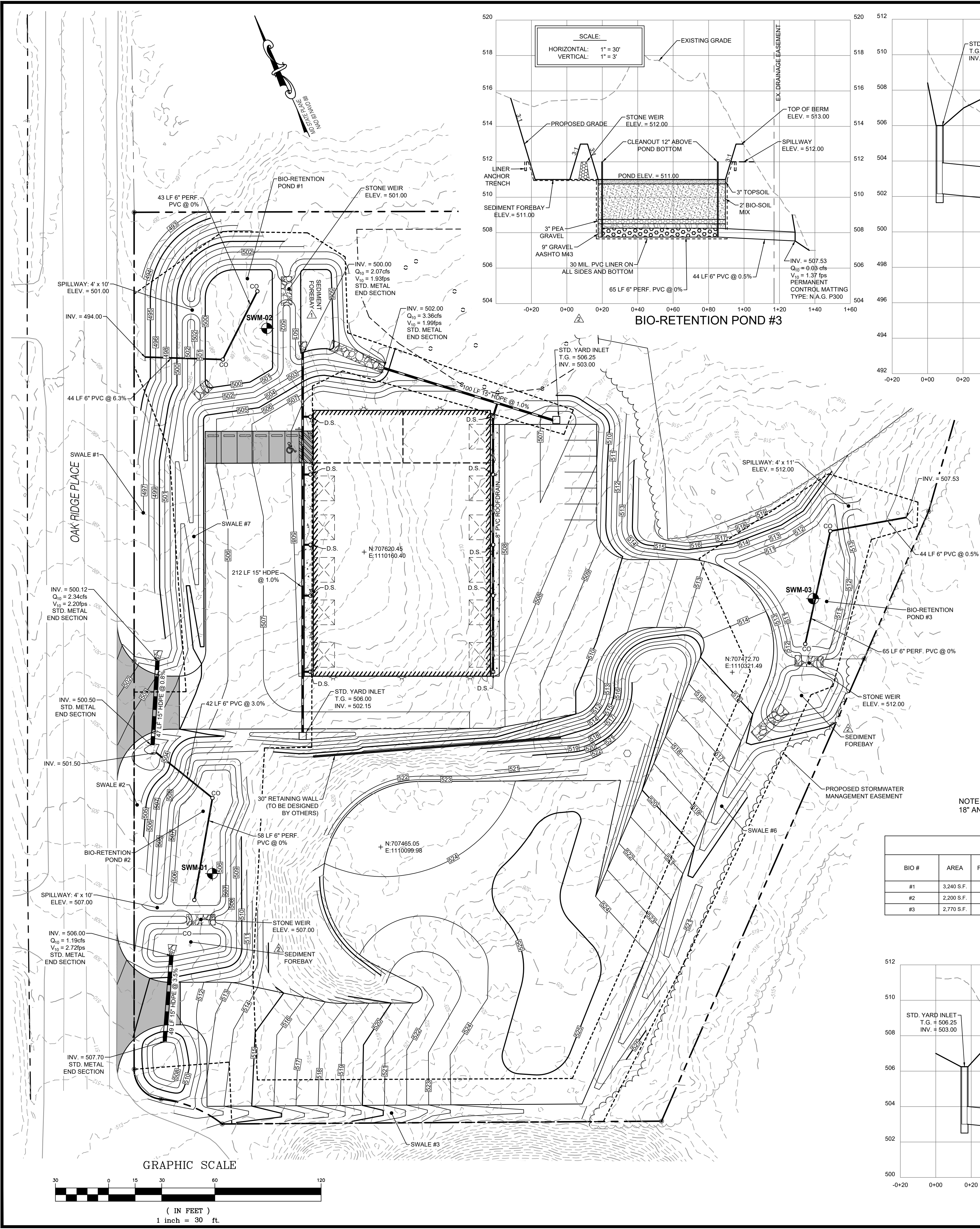
WASHINGTON COUNTY, MARYLAND

IT REPAIRS

144 FIELD VIEW DR. GREENCASTLE, PA 17225

SITE & DIMENSION PLAN

C-103
SHEET 05 OF 09



Notice of Required Stormwater Management Inspections Sand Filters, Bio-retention and Rain Garden Facilities				
The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bio-retention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.				
Inspection Item	Bio #1	Bio #2	Bio #3	
Excavation of Facility - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.	Certifying Engineer			
	Date			
	County Inspector			
	Date			
Placement of Filter Cloth (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.	Certifying Engineer			
	Date			
	County Inspector			
	Date			
Placement of Underdrains and Observation Wells - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover	Certifying Engineer			
	Date			
	County Inspector			
	Date			
Placement of Filtering Media - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify filter media layer.	Certifying Engineer			
	Date			
	County Inspector			
	Date			
Placement of Sand Filter Layer or Gravel Diaphragm - Verify depth and width of sand and/or diaphragm layer. Verify fill material.	Certifying Engineer			
	Date			
	County Inspector			
	Date			
Stabilization and Landscaping - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch roll ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.	Certifying Engineer			
	Date			
	County Inspector			
	Date			
The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.				

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 4989
Expiration Date 06/30/2025

Frederick Seibert & Associates, Inc.
Civil Engineers • Surveyors • Landscape Architects • Land Planners
108 SOUTH POTOMAC STREET
FARMERSVILLE, MD 21033
703.791.8000
703.791.8007

DATE	DESCRIPTION	REVIEWED PER ENGINEERING COMMENTS
11/08/24	1/08/22	

JT REPAIRS
SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
JT REPAIRS
144 FIELD VIEW DR. GREENCASTLE PA 17225
(240) 816-2015

PROJECT NO. 1213.2
DWN BY DWH
DATE 10-12-2021
PROJECT MANAGER A. HAGER
EMAIL: ahager@fsa-inc.com
TAX MAP - GRID - PARCEL 0057-0005-0568
SCALE 1" = 30'
SHEET TITLE

STORMWATER MANAGEMENT PLAN
C-301
SHEET 06 OF 09
SP-21-029

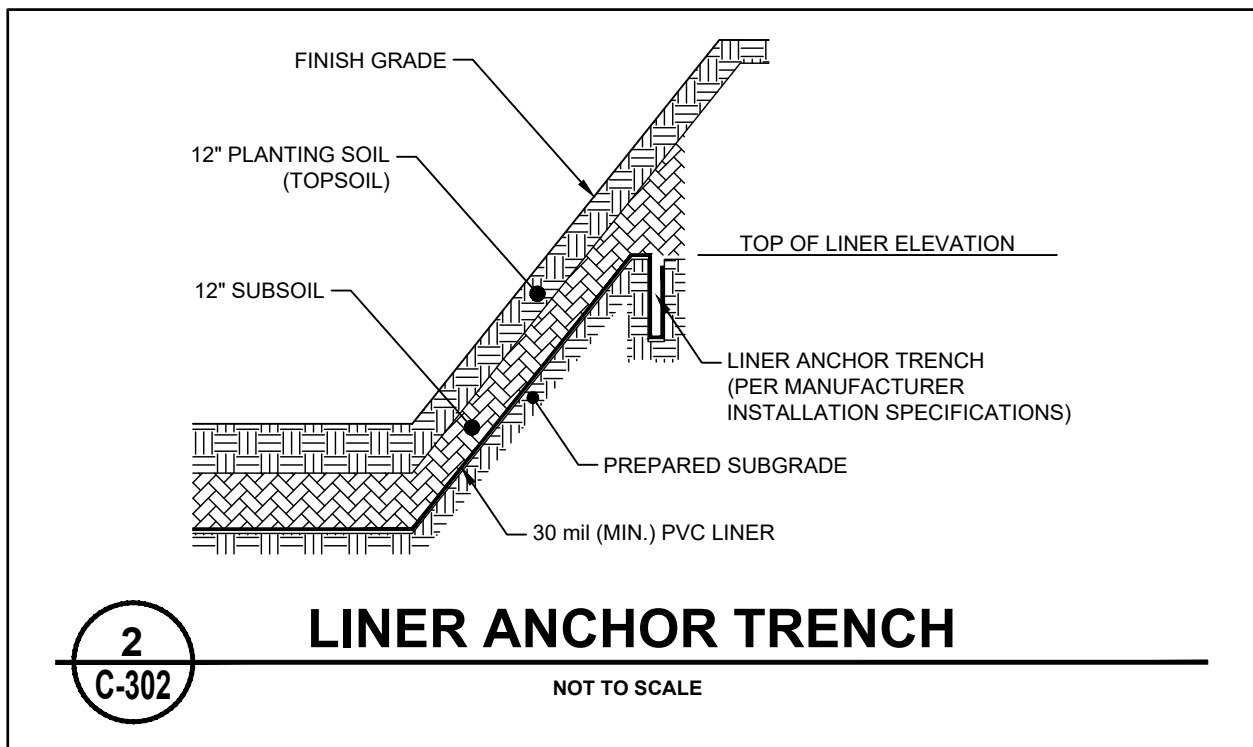
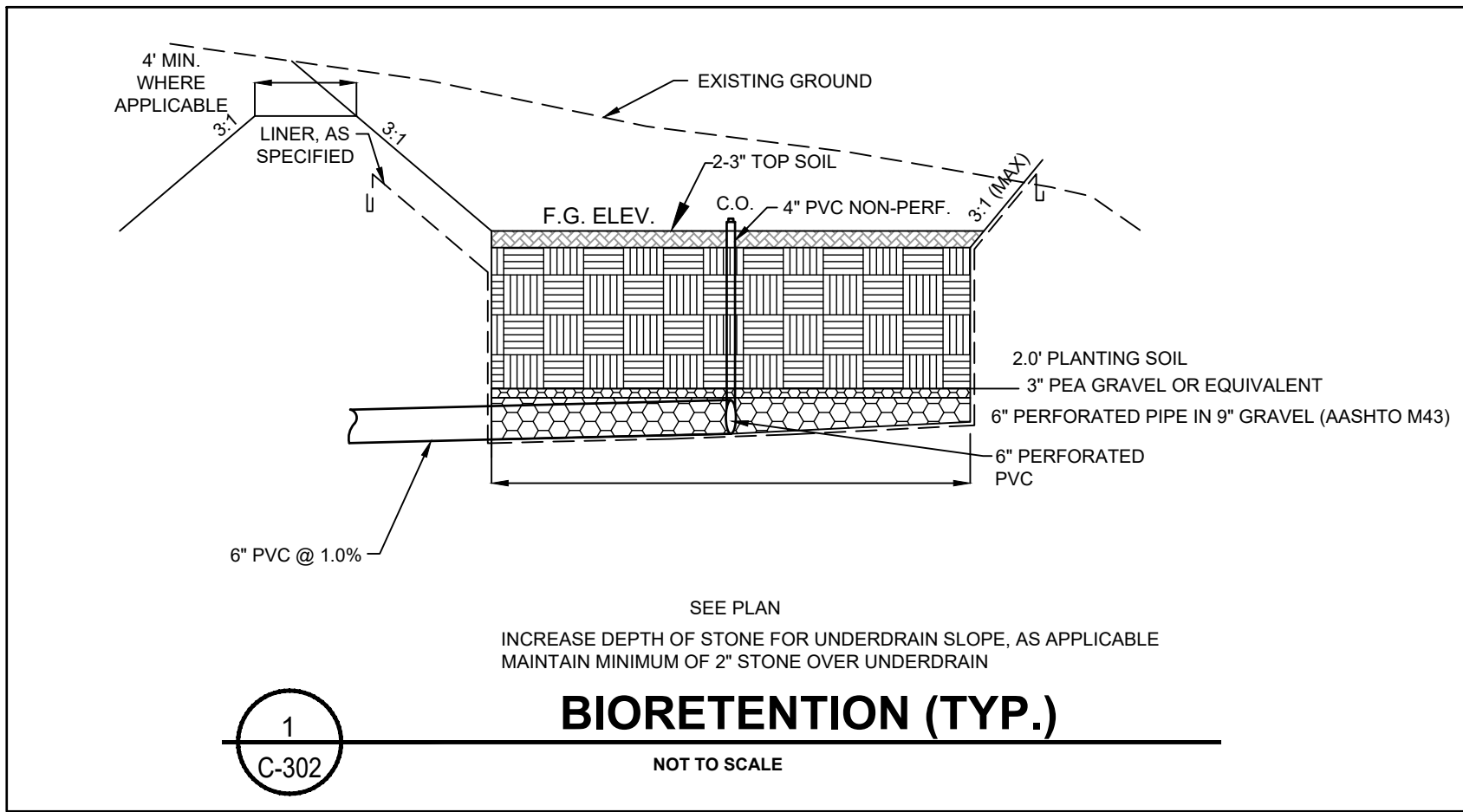


Table B-4.1 Material Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration

Material	Specification	Size	Notes
Plantings	see planting list	n/a	plantings are site-specific
Planting Soil (2" to 4" deep)	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%) coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)	n/a	
Mulch	shredded hardwood	n/a	aged 6 months, minimum; no pine or wood chips
Pea gravel/diaphragm	pea gravel, ASTM-D-448	No. 8 or No. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone, washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43 M-271	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 788, Type PS 28 or AASHTO M-271	4" or rigid sch. 40 PVC or SDR15	Slotted or perforated pipe, 3/8" per ft. @ 6" o.c. 4 holes/row, min. 2" of gravel over pipe; not necessary underdrain hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3, Fc = 3500 psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-C115-61	n/a	on-site testing of concrete in-place concrete requires 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional engineer licensed in the State of Maryland, design to include meeting ACI Code 308.8B vertical loading (H-10 or H-20), allowable horizontal loading (based on soil pressures); and analyses of potential cracking
Mulch layer			Source: Separated Compost (Type B), Type B Compost shall be tree leaf compost or non-tree leaf compost. Type B Compost produced from lawn clippings shall be tested for contaminants in accordance with Maryland law and regulations
Sand	AASHTO M-43 or ASTM C-33	0.075" to 0.04"	Sand substitution such as Database and Graystone (AASHTO) #10 are not acceptable. No calcium carbonate or dolomite sand substitutions are acceptable. No "rock dust" can be used for sand.
Compost	MSHA Standard Specifications for Construction and Materials, July 2008 92.02.05 Compost	Uniform particle size of 0.5" or less	

OPERATION AND MAINTENANCE PLAN		
BIORETENTION		
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
Maintenance Access		
General	Check for accessibility to facility; excessive vegetation; surface stability	Repair erosion and maintain access surface in good condition
Pre-treatment		
Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
Optional sand or sand layer	Check sand for staining and sediment accumulation	If contaminated, replace first three inches of sand layer
Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
Mulch layer	Check for a 2-3 inch mulch layer	Remove mulch and replace as needed
Filter Bed		
Dewatering	Check for dewatering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top 3-6 inches of soil/sediment and replace with suitable materials per plan specifications; follow up inspections shall confirm adequate dewatering; contact the plan approval authority if the facility does not function as intended
Sediment	Check for sediment accumulation	Remove sediment as needed
Mulch layer	Check for adequate cover; sediment accumulation; discoloration	Remove and replace mulch and excess sediment as needed
Vegetation		
Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds, and dead or dying vegetation	Remove and replace plants as necessary
Vegetative cover/erosion	Check for erosion, runoff channelizing, or bare spots	Repair/grade and stabilize as needed
Outlets		
Underdrain system	Check outlet end to ensure that discharge is not obstructed; check for erosion	Remove any flow obstructions, grade and stabilize any eroded areas to provide stable conveyance
Overflow spillway	Check for displacement of rip-rap, stable conveyance; and erosion below the outlet	Repair and replace as needed
Conveyance Systems		
General	Check for erosion, flow blockages or bypass, and stable conveyance	Repair/replace and stabilize as needed
Flow diversion	Check flow splitter for proper functioning	Repair as necessary
Trash and Debris	Check for trash and debris accumulation	Trash and debris shall be disposed of in an acceptable manner
Structural Components	Check for structural deterioration, spalling or cracking	Repair according to specifications on the approved plans

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

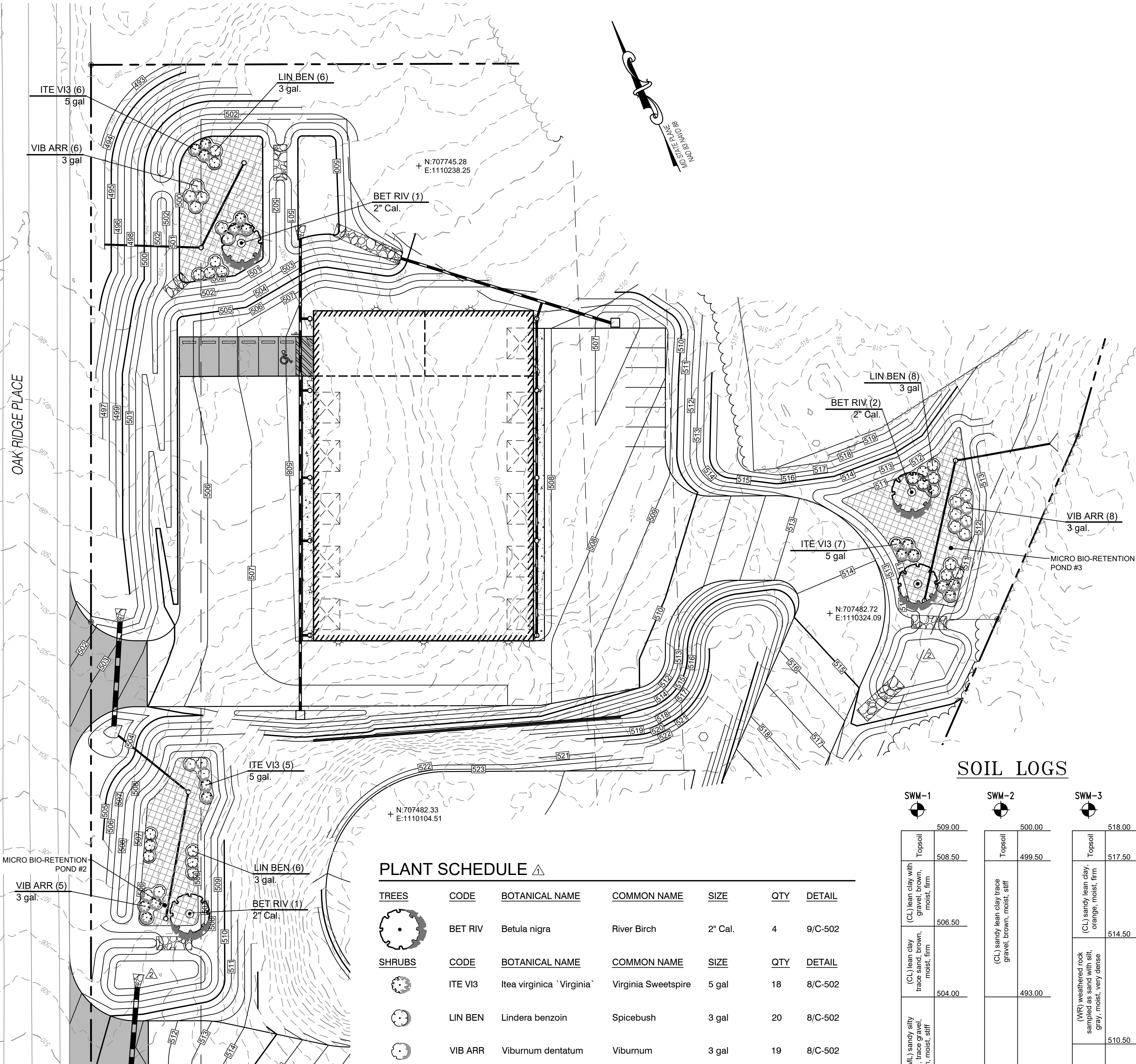
Pond MD-378
NRCS - MARYLAND JANUARY 2000
CONSTRUCTION SPECIFICATIONS

Earth Fill
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one track tread of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out. When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within 22% of the optimum. Each layer of fill shall be compacted as specified to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.



STORMWATER MANAGEMENT SEED MIX NOTES

SITE PREPARATION
Invasive species, particularly those that will adapt to wet conditions, should be removed or sprayed before they become incorporated into the site. Spot spray or hand pull problem weeds. Perennial weeds not addressed before establishment will be difficult to remove later.

SEEDING AND PLANTING METHODS
Seeding and planting should begin immediately upon completion of the structure while the soil is still friable and before invasive weeds emerge. Plan seeding and planting before the basin is flooded or allow the basin to drain to a few inches before seeding. Broadcast seed evenly over each unit by hand seeding or hydroseeding. The use of native species can provide temporary vegetation to protect the soil in SWM facilities until permanent vegetation can become established. Straw mulch, or straw coconut mats are frequently used to control erosion and protect emerging seedlings from extreme temperatures and drying out. Mulch should be sparse in order to allow sunlight to reach the ground. Jirrigating seeded areas is beneficial until seedlings become established.

FIRST GROWING SEASON MAINTENANCE
Whenever canopy (overall vegetation) reaches a height of 18"-24", use a string trimmer to trim the meadow to a height of 6". This will reduce competition by fast-growing weeds for sunlight, water and nutrients needed by slower growing, perennial natives. Mowing should not be done with a lawn mower as the mower's height will be too low and native seedlings will be killed. Mowing should cease by mid-September.

SECOND AND SUBSEQUENT GROWING SEASON MAINTENANCE
Prior to new spring growth reaching a height of 2' trim any material standing from the previous year close to the ground (approximately 2"). This will allow the soil to warm more quickly which will stimulate emergence and growth of native seedlings.

SPECIAL CIRCUMSTANCES SECOND GROWING SEASON
If you notice a heavy infestation of ragweed or foxtail in the second growing season, trim the meadow to a height of 6". Trimming should cease after mid-September.

SEED MIX DETAILS			
ERNX-127 RETENTION BASIN W/LIFE MIX			
30 % Fox Sedge, PA Ecotype (Carex vulpinoidea, PA Ecotype)			
22% Deertongue, 'Tigra' (Panicum clandestinum)			
20% Virginia Wildrye, PA Ecotype (Elymus virginicus)			
10.3% Lunt (Shallow) Sedge, PA Ecotype (Carex lurida)			
4% Autumn Bittersass, PA Ecotype (Agrimonia eupatoria)			
4% Blue Vervain, PA Ecotype (Verbena hastata)			
3% Soft Rush (Juncus effusus)			
3% Green Burdock, PA Ecotype (Scirpus atrovirens)			
2% Hop Sedge, PA Ecotype (Carex lupulina)			
1% Woodgrass, PA Ecotype (Scirpus cyperinus)			
0.3% Flat Topped White Aster, PA Ecotype (Aster Umbellatus)			
0.3% Square Stemmed Monkeyflower, PA Ecotype (Mimulus ringens)			
0.1% Swamp Milkweed, PA Ecotype (Asclepias incarnata)			

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
BET RIV		Betula nigra	River Birch	2" Cal.	4	9/C-502
ITE VI3		Itea virginica 'Virginia'	Virginia Sweetpire	5 gal.	18	8/C-502
LIN BEN		Lindera benzoin	Spicebush	3 gal.	20	8/C-502
VIB ARR		Viburnum dentatum	Viburnum	3 gal.	19	8/C-502

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
ITE VI3		Itea virginica 'Virginia'	Virginia Sweetpire	5 gal.	18	8/C-502
LIN BEN		Lindera benzoin	Spicebush	3 gal.	20	8/C-502
VIB ARR		Viburnum dentatum	Viburnum	3 gal.	19	8/C-502

GENERAL LANDSCAPE NOTES:

- Landscape Contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
- Landscape Contractor shall install all plant material in a timely fashion.
- Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
- NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
- Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
- All plants shall be watered thoroughly during installation and prior to final acceptance.
- All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
- Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
- All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. If which there should be an 80% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
- The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
- Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- Landscape is recommended to be installed during the non-growing seasons. Spring: April 15-June 15, Fall: September 1-November 1.

MAINTENANCE:

- Owner to remove all sediment if the accumulation of sediment exceeds one inch over the bioretention area.
- All trash and debris shall be removed from the top of the bioretention area as necessary.
- Areas devoid of mulch shall be re-mulched on an annual basis.

SEED MIX LEGEND			
BMP PRACTICE	SIZE	SEEDING RATE	REMARKS
BIO-RETENTION #1	1,786 S.F.	20 POUNDS / ACRE OR 1/2 POUND / 1,000 SF	SEE NOTES FOR SWM SEED PREPARATION AND ESTABLISHMENT.
BIO-RETENTION #2	1,705 S.F.	20 POUNDS / ACRE OR 1/2 POUND / 1,000 S.F.	SEE NOTES FOR SWM SEED PREPARATION AND ESTABLISHMENT.
BIO-RETENTION #3	2,053 S.F.	20 POUNDS / ACRE OR 1/2 POUND / 1,000 S.F.	SEE NOTES FOR SWM SEED PREPARATION AND ESTABLISHMENT.

CATEGORY 300 DRAINAGE PVC LINED PONDS

DESCRIPTION. Furnish, place, and anchor a 30-mil PVC liner along designated ditch or swale areas, and in SWM facilities as shown and as directed.

MATERIALS.

Furnished Topsoil	920.01.02
Furnished Subsoil	920.01.04
Type B Soil Stabilization Matting	920.05.01
Staple	920.05.02
Select Borrow	916.01
PVC Liner Material	As below

The minimum physical properties for the PVC liner are as follows:

PROPERTY	TEST METHOD	REQUIREMENT
Thickness	D 1599	+/- 5%
Specific Gravity (min.)	D 792	1.20
100% Modulus (psi, min.) (1 b. force/in. width, min.)	D 882	100
Tensile (psi, min.) (1b. force/in. width, min.)	D 882	2300
Elongation at Break (% min.)	D 882	380
Graves Tear (lb./in., min.) (1b. force/in. width, min.)	D 1004	325
Resistance to Soil Burial (% change max.)	G 160	8
(a) Breaking Factor		5
(b) Elongation At Break		20
(c) Modulus at 100% Elongation		20
Impact Cold Crack (F)	D 1790	-20
Dimensional Stability (% change max.) (212/15 min.)	D 120	3
Water Extraction (% max.)	D 1239	0.3
Volatile Loss (% max.)	D 1203	0.70
Hydrostatic Resistance (psi min.)	D 751	100

PVC LINER CERTIFICATION.

Submit certification per TC 1.03 that the PVC liner material conforms to the physical properties. Include the following:

- Polymer and composition of the PVC Liner, including additive composition of any coating materials
- Manufacturer's Quality Control plan including properties, test methods, frequency of testing, tolerances and method of resolution for out-of-specification material.
- Laboratory test results documenting the physical properties.

STORAGE AND HANDLING.

Store the PVC liner in a dry area in its original container. Protect the liner from puncture, dirt, grass, water, mud, mechanical abrasions, or other damage. Document any damage to the PVC liner. Remove and replace damaged PVC liners that cannot be repaired to comply with the specification at no additional cost.

CONSTRUCTION.

Construct PVC Lined Ditches in conformance with the details as shown, as directed, and as follows:

SUBGRADE PREPARATION.

Ensure subgrades to be lined are smooth and free of rocks, stones, sticks, sharp objects, or other debris. Prepare the subgrade to provide a firm, unyielding foundation for the liner with no sudden or abrupt changes or break in grade. Completely remove standing water, mud, snow, or excess moisture prior to placement. Do not place the liner on frozen subgrade or on subgrade that has been softened by water or overly dried until it has been properly reconditioned and compacted.

Take special care in maintaining the prepared soil surfaces. The soil surface will be monitored daily to evaluate the surface condition. Repair any damage to the surface caused by weather conditions, as directed.

ANCHOR TRENCH.

Excavate the anchor trench to the line, grade, and width shown.

- Excavate the anchor trench to a minimum of 1.5 ft wide and 2.5 ft high.
- Excavate trench located in clay susceptible to desiccation to no more than the amount of trench required for anchoring the liner in one day.

- Provide slightly rounded corners in the trench to avoid introducing sharp bends in the liner. Ensure the leading edges of the trench are smooth and even.

LINER PLACEMENT.

- Place the liner down gradient (upstream to downstream) to facilitate overlapping and prevent run-off from entering under the placed liner.
- Use methods to place the liner panels that avoid excessive wrinkling (especially differential wrinkles between adjacent panels). Minimum wrinkling is allowed to insure the liner is installed in a relaxed condition. Stretching the liner is not allowed.
- Panel may be repositioned after placement to conform to the overlap requirements. Use repositioning methods that prevent dragging or elongating the panels.
- Provide a seam overlap of a minimum of 3 ft. and a maximum of 4 ft.
- Place adequate ballast (e.g., cover soil, or similar measures that will not damage the liner) on the liner to prevent uplift by wind. Continuous loading is recommended along the edges of the panels (if high winds are anticipated) to prevent wind flow under the panels.
- Only equipment necessary for installation and testing of the liner is permitted to come in contact with the liner. Use rubber-tired equipment with a ground pressure not exceeding 5 psi; and a total weight not exceeding 750 lb.

WEATHER CONDITIONS.

Proceed with liner placement when the ambient temperature and material sheet temperature are between 60 and 105 F. Measure the sheet temperature of the liner surface with an infrared thermometer or a surface thermometer.

- Do not place the liner during periods of precipitation, in the presence of excessive moisture (i.e., fog, dew, mud), or during excessive winds, as determined.

- Provide a means of storing the liner in an area that maintains the liner temperature above 60 F, if liner placement is required at ambient temperatures below 60 F.

UNPACKING THE LINER.

Notify the Engineer to witness the liner unpacking. Mark liners that are damaged or have suspected areas for testing and/or repair. Replace liners that are damaged when unpacked and that cannot be adequately repaired at no additional cost.

BACKFILLING THE ANCHOR TRENCH.

Backfill the anchor trench and compact as directed. Place backfill in 8 in. thick loose lifts and compact by wheel rolling with light, rubber, tired or other light compaction equipment.

Take care to prevent damage to the liner while backfilling the trench. Construction equipment is not allowed to come into direct contact with the liner at any time. Repair any damage to the liner that occurs while backfilling at no additional cost.

BACKFILLING THE PVC LINER.

Cover the liner with a 1 foot layer of soil. Use soil conforming to 920.01.04 as backfill for the first 6 inches. Use soil conforming to 920.01.02 as backfill for the top 4 inches. Tamp the backfill in place as directed. Place Type B Soil Stabilization Matting conforming to 920.05.01 over the topsoil in conjunction with permanent vegetation, as specified.

Do not allow heavy construction equipment to come into contact with the liner or to traverse the trench until adequately backfilled. Repair equipment damage as directed and at no additional cost.

MEASUREMENT AND PAYMENT.

PVC Lined Liner will be measured and paid for at the Contract unit price per square yard. Payment will be full compensation for the PVC liner, backfill, furnished subsoil and topsoil, and for all other material, labor, equipment, tools and incidentals necessary to complete the work.

- Type B Soil Stabilization Matting and Turfgrass Establishment will be measured and paid for at the Contract unit price per square yard.
- PVC liner overlap shall not be measured and paid for as a separate item. PVC liner overlap shall be incidental to the cost of PVC liner installation.
- Excavation will be measured and paid for at the Contract unit price per cubic yard for Class 2 Excavation.

NOTE: THESE SOIL LOGS ARE BASED SOLELY ON FIELD OBSERVATION, AND ARE VALID ONLY FOR THE LOCATIONS INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED TESTING AND CLASSIFICATION TO DETERMINE THE EXTENT OF SOILS ON SITE THAT MEET THE REQUIREMENTS OF MD-378. FOR SOIL LOG DESCRIPTIONS AND RECOMMENDATIONS REFER TO THE GEOTECHNICAL REPORT.

STORMWATER MAINTENANCE SCHEDULE		
GRASS SWALE		
MONTHLY INSPECTION		
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
Debris and Trash	Check for trash and debris in channel including inlets, outlets, and areas around facility	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Grass Cover	Grass in swale must be maintained at a height of 4 to 6 inches. Check for channelizing and bare spots	Mow side slopes when grass exceeds 12 inches in height. How channel at least bi-annually. Remove grass clippings. Re-plant with topsoil, seed, and matting.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
Sediment Accumulation	Check for accumulated sediment and clogged openings	When sediment accumulates to 2 inches in depth, remove sediment. Remove sediment from any clogged openings. Dispose of all sediment in an acceptable location.
Erosion	Check inflow, channel, outfall, and side slopes for evidence of erosion, rills, gullies, and runoff channelization	Re-plant with topsoil, seed, and matting. Re-grade if concentrated runoff to the facility is causing rills or gullying. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
ANNUAL INSPECTION		
INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
Maintenance Access	Check for accessibility to facility	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed	Repair to good condition according to specifications on the approved plans.

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
Expiration Date: 06/30/2022

Frederick Seibert & Associates, Inc.
Civil Engineer • Surveyors • Landscape Architects • Land Planners
110021
11/28/22
100 SOUTH MAIN STREET
30 WEST BALTIMORE STREET
GAP, MD 21043
801.791.3800
717.251.2501
717.251.6111

DATE	REVIEWED PER ENGINEERING COMMENTS	REVISION
11/28/22		

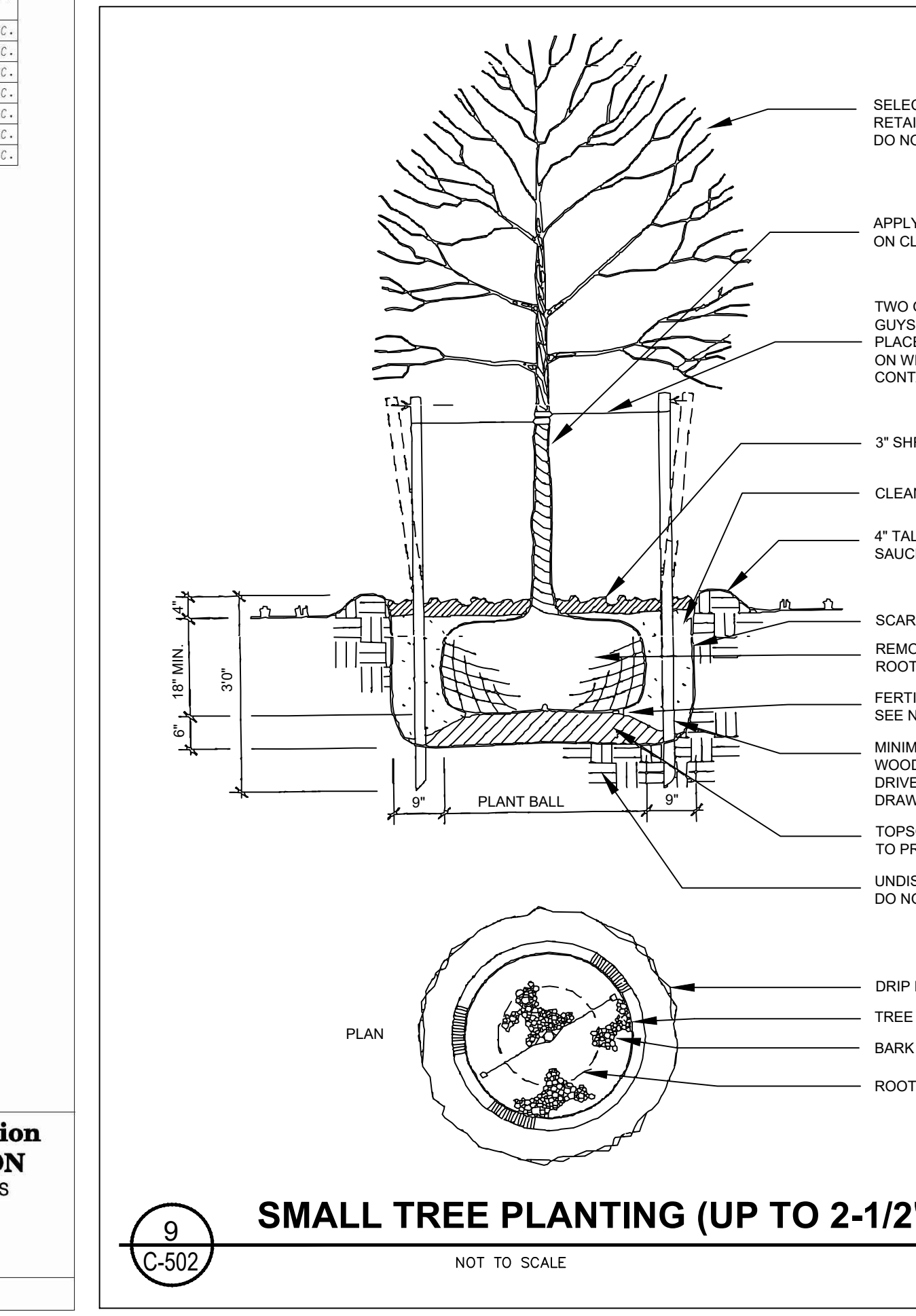
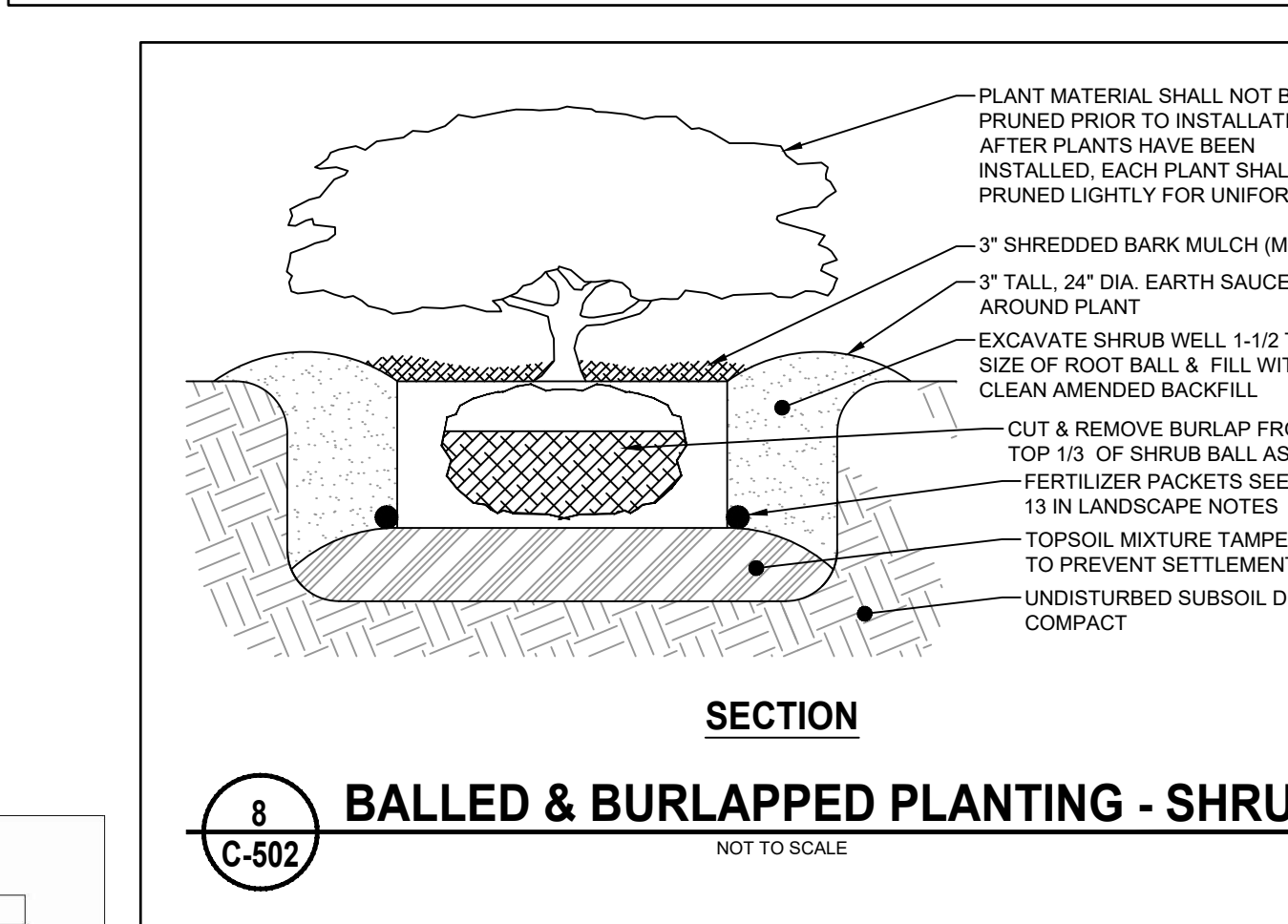
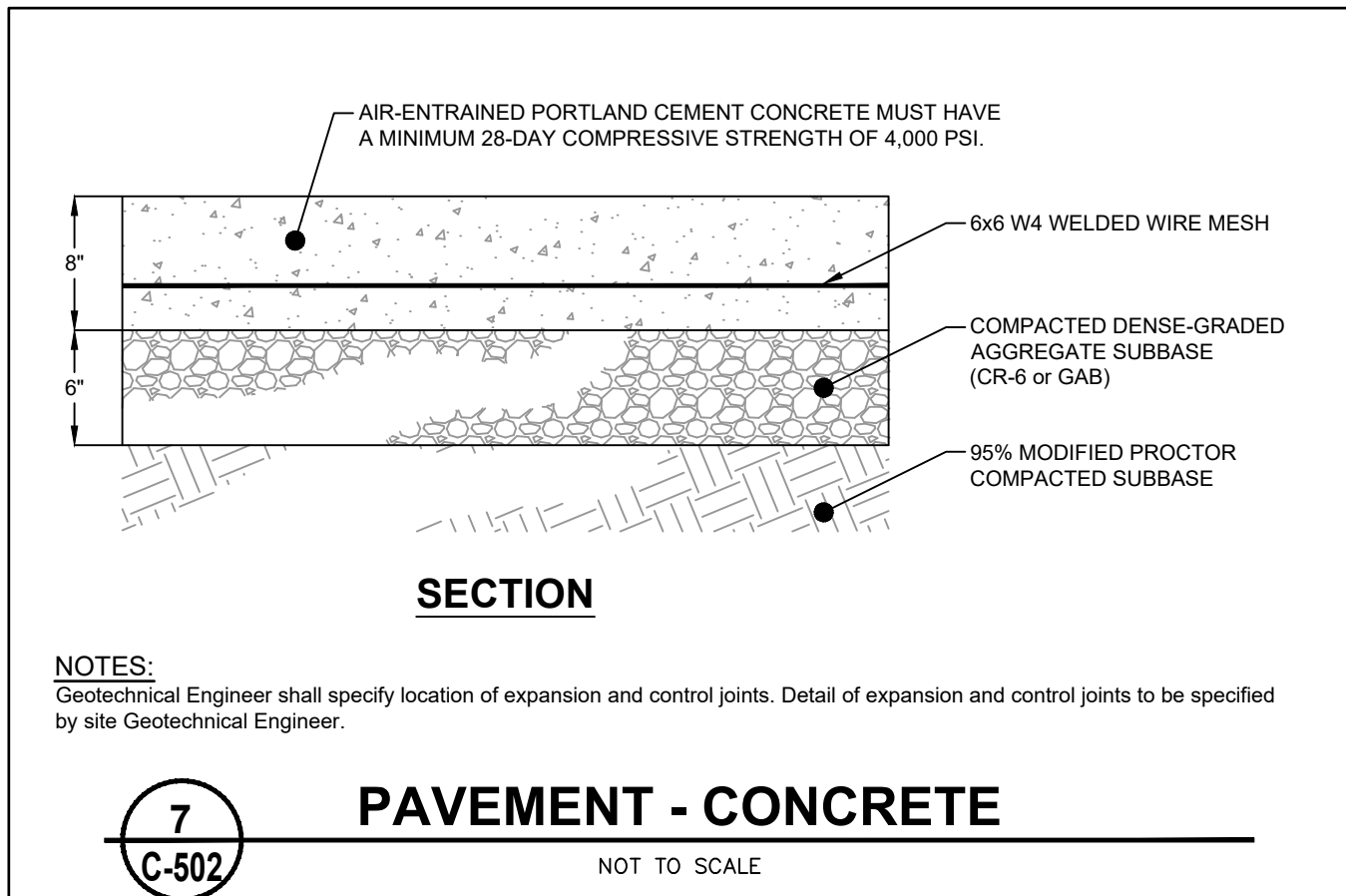
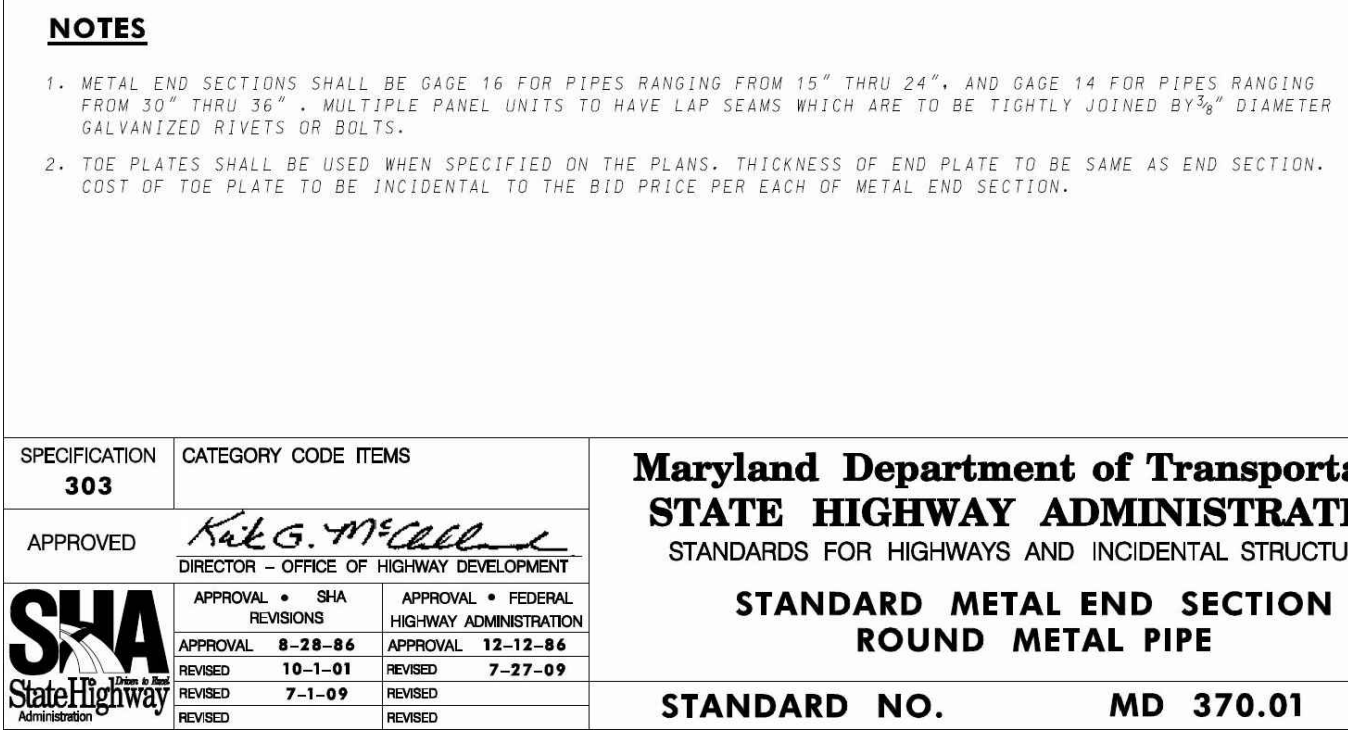
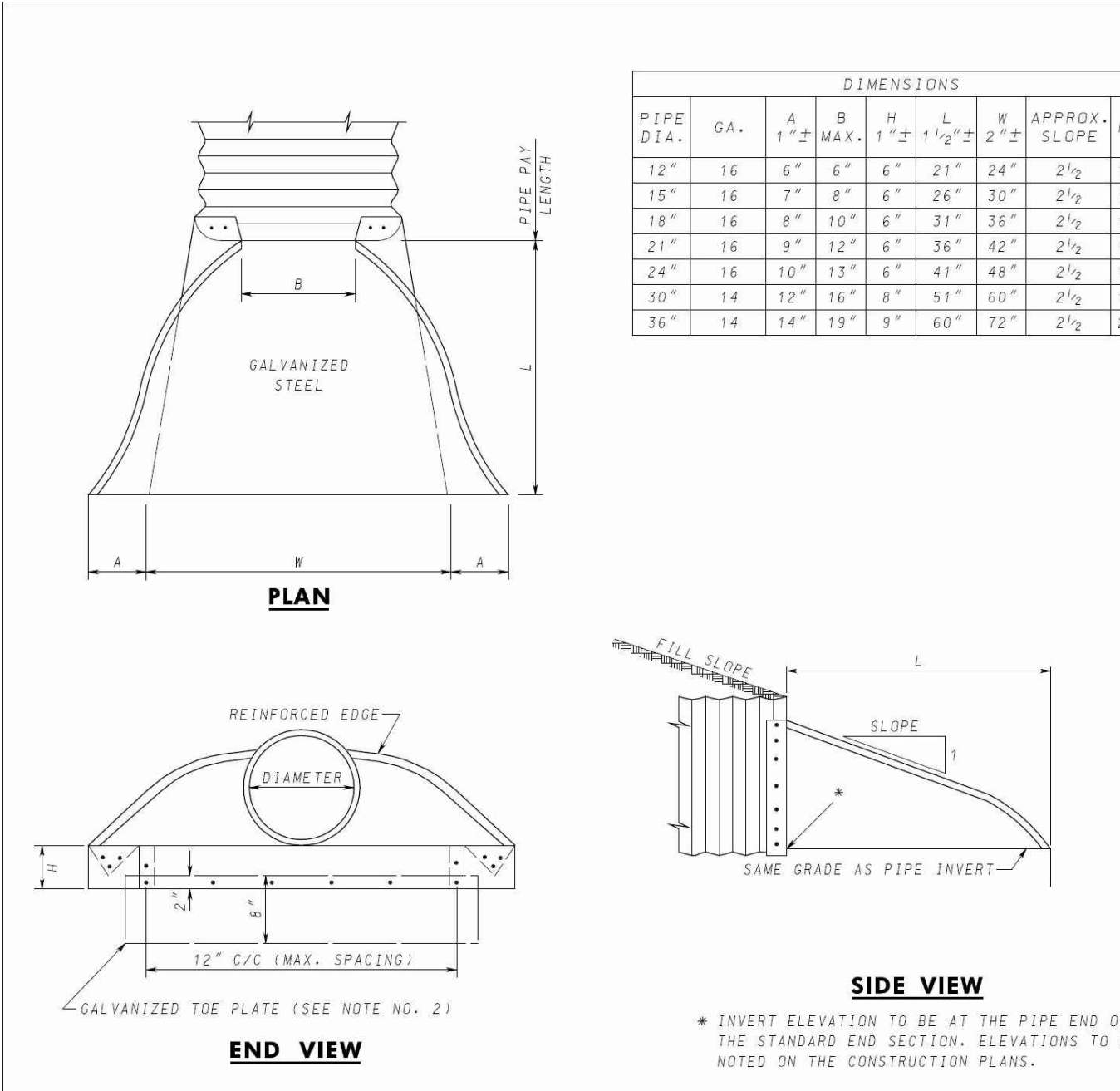
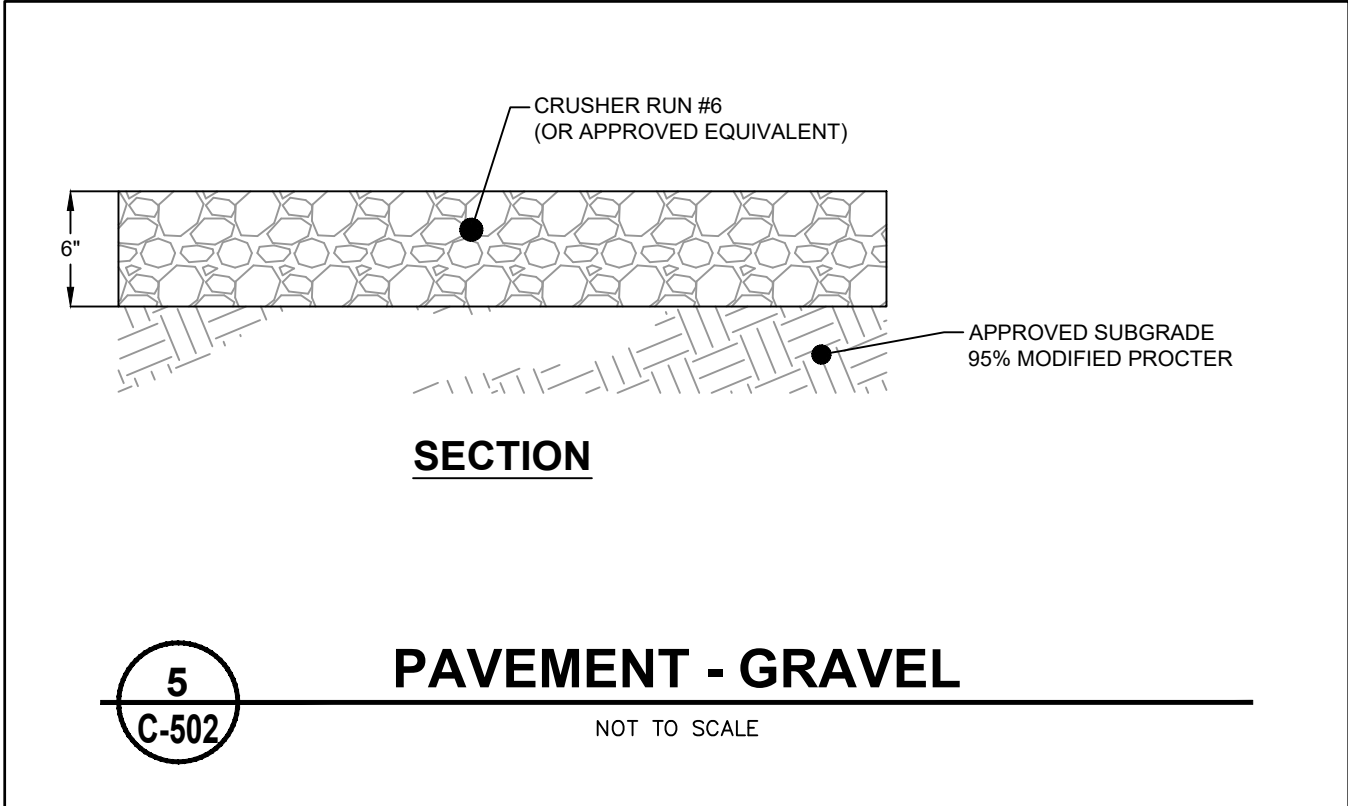
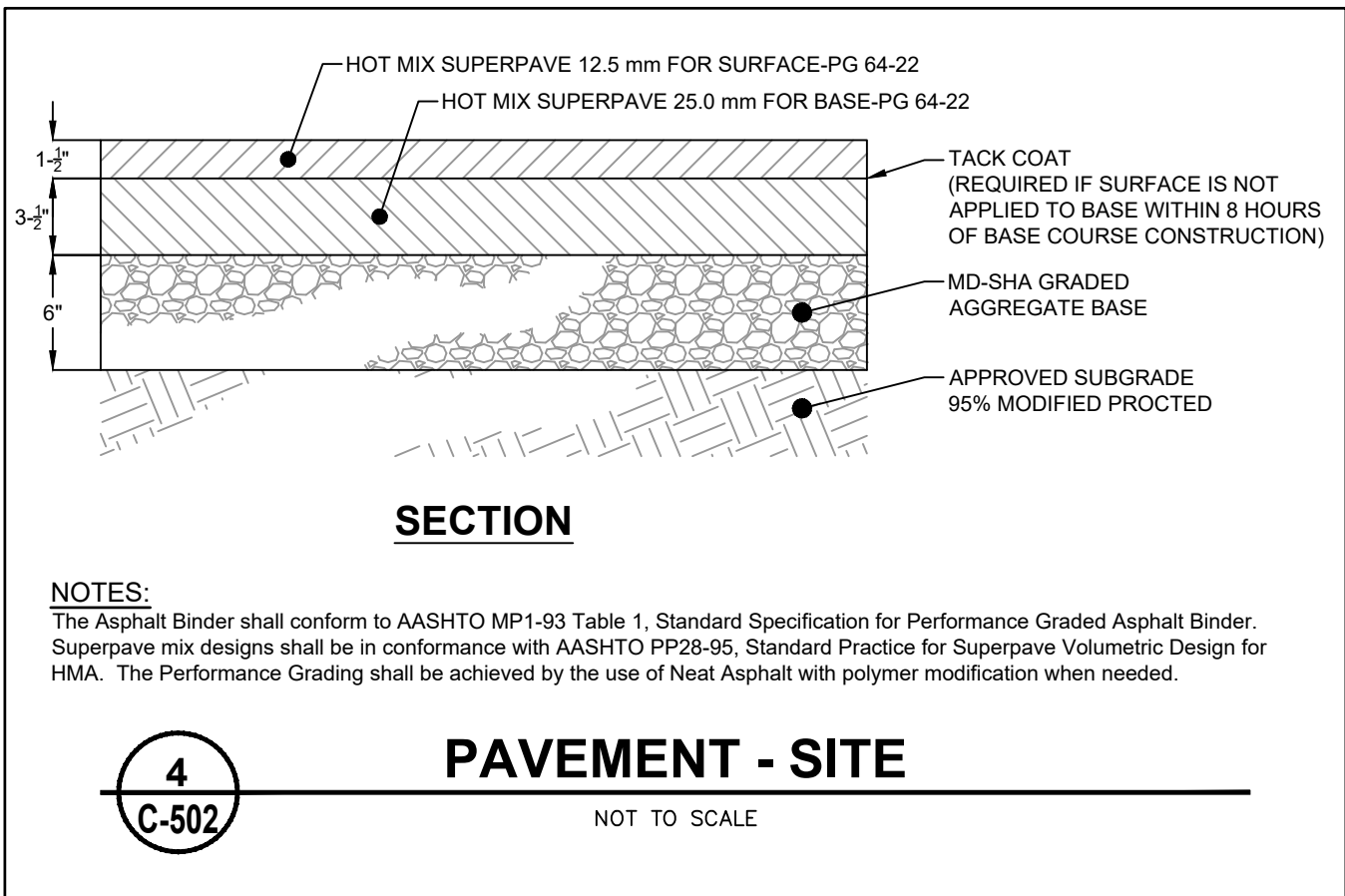
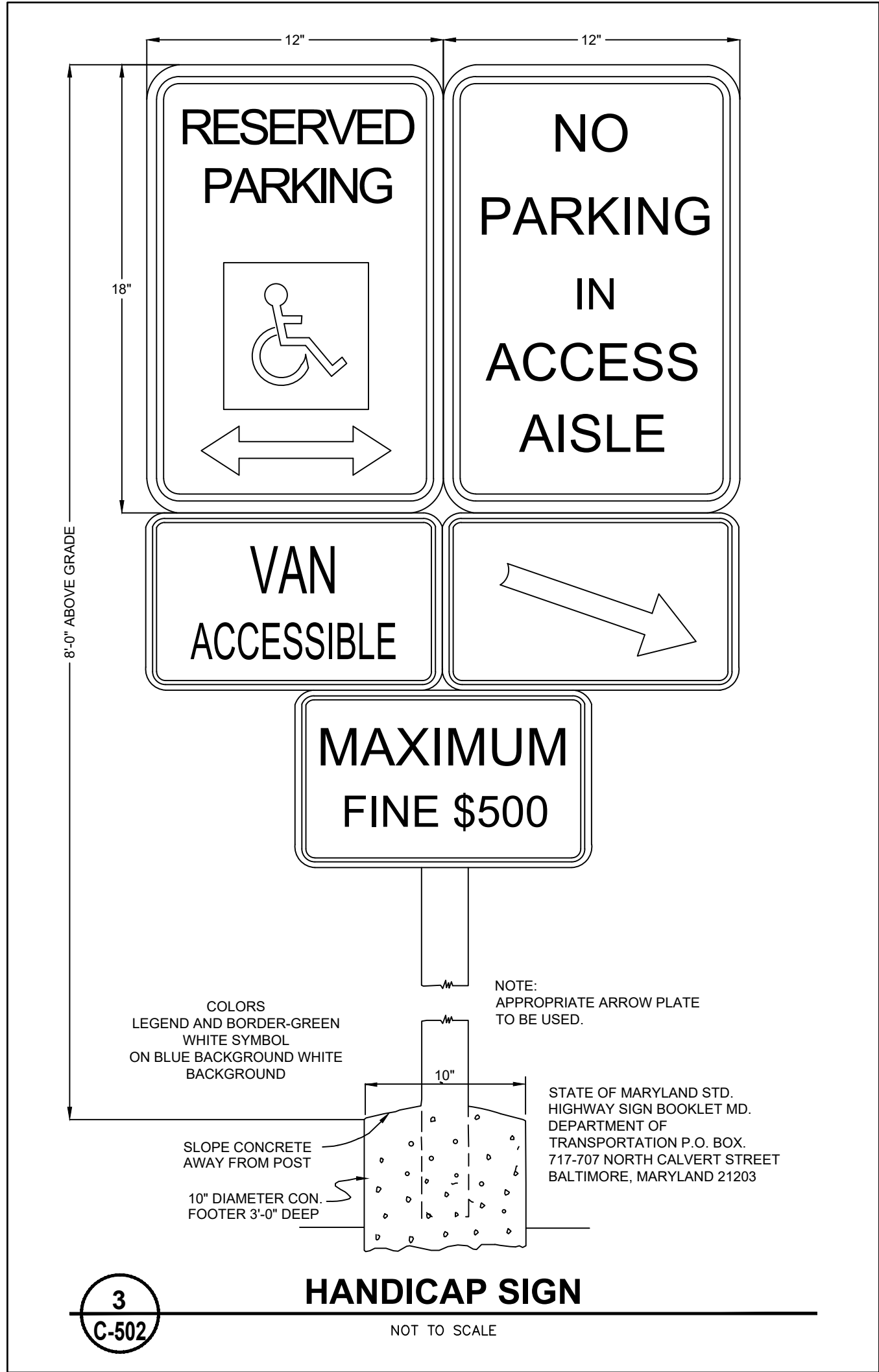
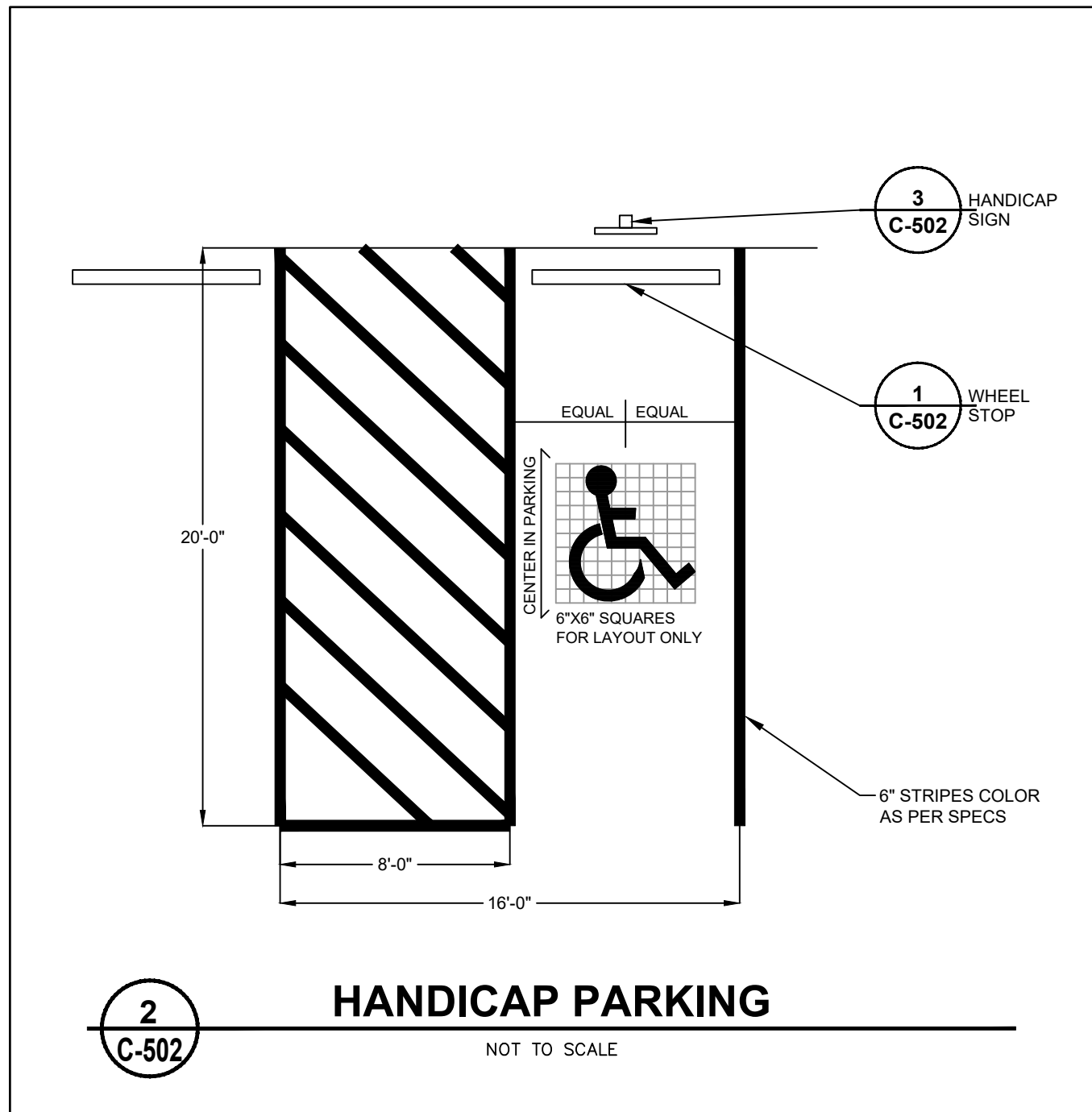
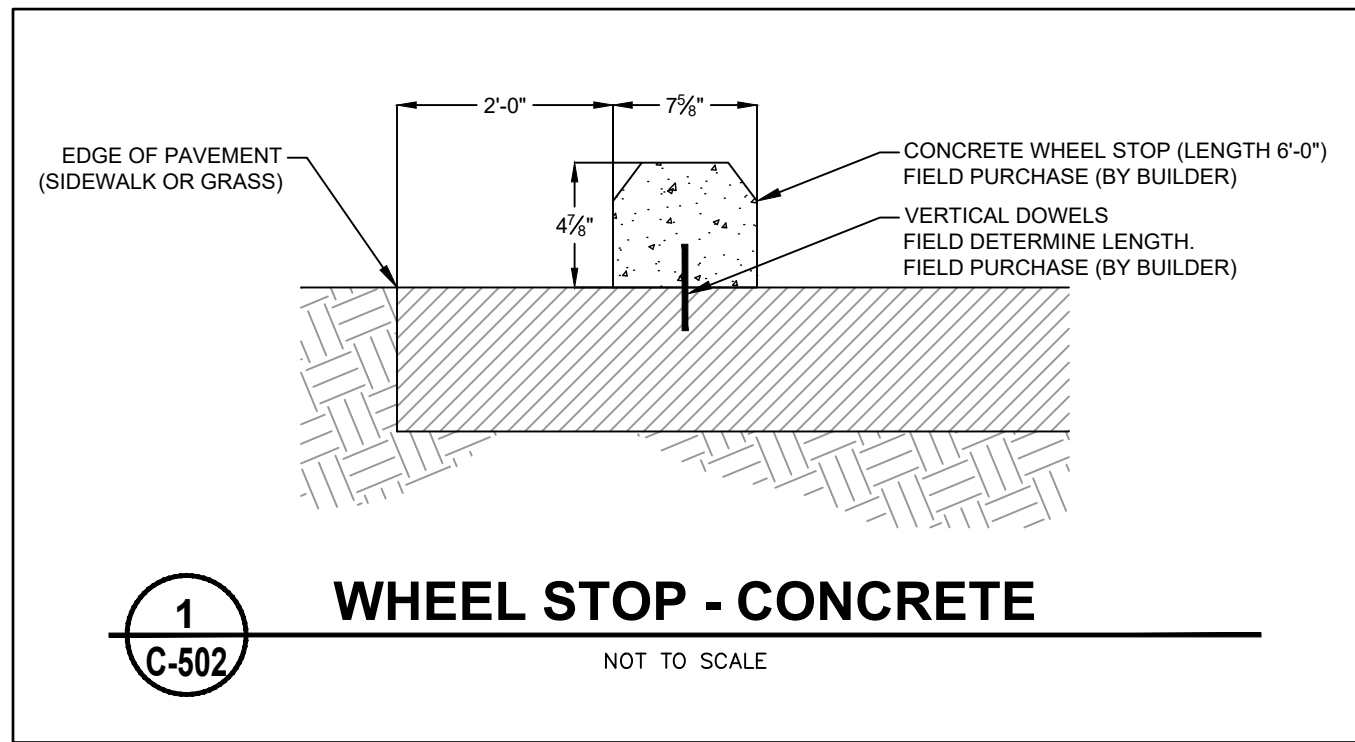
JT REPAIRS
SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE PLACE
SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
141 FIELD VIEW DR, GREENBELT, PA 17725
JT REPAIRS
(240) 616-2615

PROJECT NO.		1213.2
DWN BY	DATE	10-12-2021
DWH		
PROJECT MANAGER		A. HAGER
EMAIL		ahager@fssa-inc.com
TAX MAP - GRID - PARCEL		0057-0005-0568
SCALE		NTS
SHEET TITLE		

SWM DETAILS & NOTES

C-302
SHEET 07 OF 09

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WDGE3 LED
Architectural Wall Sconce

Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)						
				P1	P2	P3	P4	P5	P6	
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--	
WDGE2 LED	10W	18W	Standard / Night	1,200	2,000	3,000	4,500	6,000	--	
WDGE3 LED	15W	18W	Standard / Night	7,500	8,500	10,000	12,000	--	--	
WDGE4 LED	--	--	Standard / Night	12,000	16,000	18,000	20,000	22,000	25,000	

Ordering Information

Series	Package	Color Temperature	CH	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	120V	SRM	Surface mounting bracket	AWS 3/8" Architectural wall spacer
	P2	40K 4000K	80CRI	R3 Type 3	347V	SRM	Indirect Canopy/Ceiling	PBBW 3/8" Architectural wall spacer
	P3	50K 5000K	80CRI	R4 Type 4	480V	SRM	Water-tight dry/damp locations only	PBBW 3/8" Architectural wall spacer
	P4	50K 5000K	80CRI	R4 Type 4	480V	SRM	Water-tight dry/damp locations only	PBBW 3/8" Architectural wall spacer

Accessories

Options

Options	Finish
E1SWH Emergency battery backup, Certified in CA Title 20 MACORS (15W, 5°C min)	D08D0 Black
E2DWC Emergency battery backup, Certified in CA Title 20 MACORS (18W, -20°C min)	D0A0D Natural aluminum
PE1 PhotoCell, Sunset Type	D0W0D White
DMC1 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	D0S0D Sandstone
BCE Bottom conduit entry for back box (PBBW), Total of 4 entry points.	D0B0D Textured dark bronze
SPD10KV 10kV Surge peak	D0B0D Textured black
BAA Buy American! A/C Compliant	D0A0D Textured natural aluminum
	D0K0D Textured white
	D0S0D Textured sandstone

NOTES

- 347V and 480V not available with E1SWH and E2DWC.
- PE not available in 480V and with sensor-controls.
- DMC option not available with sensor-controls.
- Not qualified for DLC. Not available with emergency battery backup or sensor-controls.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

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WDGE3 LED Rev. 01/18/22

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of MARYLAND. License # 48893 Expiration Date 06/30/2027

Frederick Seibert & Associates, Inc.
Civil Engineer • Surveyor • Landscape Architect • Land Planner
150 SOUTH POTOMAC STREET
FARMERSVILLE, MD 21032
(410) 326-1111

PROJECT NO. 1213.2
DWN BY DWH
DATE 10-12-2021
PROJECT MANAGER A. HAGER
EMAIL ahager@fsa-inc.com
TAX MAP - GRID - PARCEL 0057-0005-0568
SCALE NTS
SHEET TITLE CONSTRUCTION DETAILS & NOTES - SITE
C-502
SHEET 09 OF 09

JT REPAIRS
SITUATE ALONG THE EASTERN SIDE OF OAK RIDGE BLVD. SOUTH OF OAK RIDGE DRIVE AND NORTH OF INTERSTATE 70
WASHINGTON COUNTY, MARYLAND
144 FIELD VIEW DR. GREENCASTLE PA 17225
(717) 816-2015

Plan Review Projects Initialized - January 01, 2022 - January 31, 2022

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SWCP22-001	County Stormwater Concept Plan	Approved	07-Jan-22	QUIKRETE WAREHOUSE	11831 HOPEWELL RD HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	PAVESTONE LLC C/O QUIKRETE COMPANIES INC
SWCP22-002	County Stormwater Concept Plan	In Review	11-Jan-22	FLETCHERS GROVE - RINGLEY SECTION	7505 OLD NATIONAL PIKE BOONSBORO MD 21713	B&R DESIGN GROUP	RINGLEY LLC
SWCP22-003	County Stormwater Concept Plan	In Review	19-Jan-22	ROWLAND ON HOLDINGS LLC	225 MCRAND COURT HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	ROWLAND ON HOLDINGS LLC
2022-00478	Entrance Permit	Review	31-Jan-22	COMMERCIAL	SP-21-008 16925 BENTWOOD DRIVE	STEVE LEIZEAR	AKHMEDOV IZMIR A ET AL AKHMEDOV AKHMAD
2022-00089	Entrance Permit	Approved	07-Jan-22	COMMERCIAL	SP-21-012 14150 HOLLOW ROAD		MCKEE AUSTIN DOUGLAS III
2022-00104	Entrance Permit	Pending	10-Jan-22	STICK BUILT HOME	S-18-033 18255 PETWORTH CIRCLE, LOT 675	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00122	Entrance Permit	Pending	10-Jan-22	STICK BUILT HOME	S-18-033 18239 PETWORTH CIRCLE, LOT 679	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00132	Entrance Permit	Pending	11-Jan-22	SEMI-DETACHED HOME	S-20-013 19541 COSMOS STREET, LOT 23	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00138	Entrance Permit	Pending	11-Jan-22	SEMI-DETACHED HOME	S-20-013 19539 COSMOS STREET, LOT 24	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00146	Entrance Permit	Pending	11-Jan-22	STICK BUILT HOME	S-18-033 18263 PETWORTH CIRCLE, LOT 673	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00151	Entrance Permit	Pending	11-Jan-22	STICK BUILT HOME	S-18-032 18101 GRACEHILL COURT, LOT 670	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00156	Entrance Permit	Approved	11-Jan-22	STICK BUILT HOME	9646 BLOOMING MEADOWS COURT	OLIVER HOMES INC	ANTIETAM PINES FARMS LLC C/O BRADLEY A FULTON
2022-00161	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 TBD ROULETTE DRIVE, LOT 244	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00168	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18721 BALLANTYNE WAY, LOT 253	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00173	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18717 BALLANTYNE WAY, LOT 252	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00178	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18705 BALLANTYNE WAY, LOT 245	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00181	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18709 BALLANTYNE WAY, LOT 250	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00187	Entrance Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18713 BALLANTYNE WAY, LOT 251	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00224	Entrance Permit	Pending	14-Jan-22	SEMI-DETACHED HOME	S-20-013 19566 COSMOS STREET, LOT 121	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00237	Entrance Permit	Pending	18-Jan-22	SEMI-DETACHED HOME	S-20-013 19564 COSMOS STREET, LOT 122	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00268	Entrance Permit	Pending	19-Jan-22	SEMI-DETACHED HOME	S-20-013 19560 COSMOS STREET, LOT 123	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC 2099 GAITHER RD STE 600
2022-00275	Entrance Permit	Pending	19-Jan-22	SEMI-DETACHED HOME	S-20-013 19558 COSMOS STREET, LOT 124	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC 2099 GAITHER RD STE 600
2022-00283	Entrance Permit	Pending	19-Jan-22	STICK BUILT HOME	S-18-033 18243 PETWORTH CIRCLE, LOT 678	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00386	Entrance Permit	Pending	25-Jan-22	SEMI-DETACHED HOME	S-15-022 13942 PATRIOT WAY, LOT 104	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2022-00393	Entrance Permit	Pending	25-Jan-22	SEMI-DETACHED HOME	S-15-022 13940 PATRIOT WAY, LOT 105	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2022-00406	Entrance Permit	Pending	26-Jan-22	COMMERCIAL	SP-21-029 1454 OAK RIDGE PLACE	BRENDAN WARTON	OAK RIDGE INVESTMENTS LLC

Plan Review Projects Initialized - January 01, 2022 - January 31, 2022

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-00409	Entrance Permit	Pending	26-Jan-22	COMMERCIAL	SP-21-029 1454 OAK RIDGE PLACE	SGS ARCHITECTS-ENGINEERS, INC.	OAK RIDGE INVESTMENTS LLC
2022-00467	Entrance Permit	Pending	28-Jan-22	STICK BUILT HOME	S-21-002 21120 WINCHESTER DRIVE, LOT 8	SL KOONTZ CONTRACTORS, LLC	LINGG KYLE LINGG KATIE
2022-00492	Entrance Permit	Review	31-Jan-22	STICK BUILT HOME	S-88-179 BAKERSVILLE ROAD, LOT 1		ALLEN WILLIAM ERIK
2022-00364	Entrance Permit	Review	24-Jan-22	FOREST HARVEST	BUENA VISTA ROAD AND CAMP RITCHIE ACCESS ROAD		DIESEL HOLDINGS LLC
2022-00365	Entrance Permit	Review	24-Jan-22	FOREST HARVEST	BUENA VISTA ROAD AND CAMP RITCHIE ACCESS ROAD		DIESEL HOLDINGS LLC
F5-22-001	Forest Stand Delineation	Approved	19-Jan-22	ROWLAND ON HOLDINGS LLC		FREDERICK SEIBERT & ASSOCIATES	ROWLAND ON HOLDINGS LLC
F5-22-002	Forest Stand Delineation	Approved	19-Jan-22	BRAD FULTON		FREDERICK SEIBERT & ASSOCIATES	FULTON ADNA B
2022-00088	Grading Permit	Review	07-Jan-22		SP-21-012 14150 HOLLOW ROAD		MCKEE AUSTIN DOUGLAS III
2022-00479	Grading Permit	Review	31-Jan-22	COMMERCIAL	SP-21-008 16925 BENTWOOD DRIVE	STEVE LEIZEAR	AKHMEDOV IZMIR A ET AL AKHMEDOV AKHMAD
2022-00480	Grading Permit	Review	31-Jan-22		LOR 18941 AMESBURY ROAD		DOWNEY RICHMOND LEE
2022-00022	Grading Permit	Approved	04-Jan-22	STICK BUILT HOME	46 HERMAN GAVER PLACE, LOT 105	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00025	Grading Permit	Approved	04-Jan-22	STICK BUILT HOME	57 HERMAN GAVER PLACE, LOT 14	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00068	Grading Permit	Pending	06-Jan-22	INDUSTRIAL	SP-21-035 2 WESTERN MARYLAND PARKWAY	GORDON POFFENBERGER	ACH LLC
2022-00076	Grading Permit	Approved	07-Jan-22	STICK BUILT HOME	61 HERMAN GAVER PLACE, LOT 15	NVR, INC. T/A NV HOMES AND RYAN HOMES	NVR INC
2022-00103	Grading Permit	Pending	10-Jan-22	STICK BUILT HOME	S-18-033 18255 PETWORTH CIRCLE, LOT 675	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00121	Grading Permit	Pending	10-Jan-22	STICK BUILT HOME	S-18-033 18239 PETWORTH CIRCLE, LOT 679	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00133	Grading Permit	Pending	11-Jan-22	SEMI-DETACHED HOME	S-20-013 19541 COSMOS STREET, LOT 23	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00145	Grading Permit	Pending	11-Jan-22	STICK BUILT HOME	S-18-033 18263 PETWORTH CIRCLE, LOT 673	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00150	Grading Permit	Pending	11-Jan-22	STICK BUILT HOME	S-18-032 18101 GRACEHILL COURT, LOT 670	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00157	Grading Permit	Approved	11-Jan-22	STICK BUILT HOME	9646 BLOOMING MEADOWS COURT	OLIVER HOMES INC	ANTIETAM PINES FARMS LLC C/O BRADLEY A FULTON
2022-00160	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 TBD ROULETTE DRIVE, LOT 244	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00167	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18721 BALLANTYNE WAY, LOT 253	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00172	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18717 BALLANTYNE WAY, LOT 252	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00177	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18705 BALLANTYNE WAY, LOT 245	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00180	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18709 BALLANTYNE WAY, LOT 250	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC
2022-00186	Grading Permit	Approved	12-Jan-22	STICK BUILT HOME	S-21-001 18713 BALLANTYNE WAY, LOT 251	LGI HOMES MARYLAND, LLC	LGI HOMES MARYLAND LLC

Plan Review Projects Initialized - January 01, 2022 - January 31, 2022

Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-00193	Grading Permit	Pending	12-Jan-22	STICK BUILT HOME	S-15-030 MOUNT BRIAR ROAD, LOT 1	GROSSNICKLE CONSTRUCTION LLC	JOHNSON HARDWICK SMITH JR AMOS SHAUN M
2022-00218	Grading Permit	Approved	14-Jan-22	STICK BUILT HOME	CHARLOTTE STREET, LOT 150	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00222	Grading Permit	Approved	14-Jan-22	STICK BUILT HOME	11 CHARLOTTE STREET, LOT 22	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00225	Grading Permit	Pending	14-Jan-22	SEMI-DETACHED HOME	S-20-013 19566 COSMOS STREET, LOT 121	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC
2022-00227	Grading Permit	Approved	14-Jan-22	STICK BUILT HOME	50 HERMAN GAVER PLACE, LOT 104	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00259	Grading Permit	Pending	18-Jan-22	COMMERCIAL	PSP-10-001 10420 WALMART DRIVE, LOT 2		WALMART REAL ESTATE BUSINESS TRUST
2022-00269	Grading Permit	Pending	19-Jan-22	SEMI-DETACHED HOME	S-20-013 19560 COSMOS STREET, LOT 123 19558 COSMOS STREET, LOT 124	DAN RYAN BUILDERS INC	DAN RYAN BUILDERS MID ATLANTIC INC 2099 GAITHER RD STE 600
2022-00284	Grading Permit	Pending	19-Jan-22	STICK BUILT HOME	S-18-033 18243 PETWORTH CIRCLE, LOT 678	DAN RYAN BUILDERS INC	WESTFIELDS INVESTMENT LLC
2022-00310	Grading Permit	Review	20-Jan-22		SP-15-018 8507 MAPLEVILLE ROAD		FAHRNEY KEEDY MEMORIAL HOME INC.
2022-00322	Grading Permit	Pending	21-Jan-22	STICK BUILT HOME	42 HERMAN GAVER PLACE, LOT 106	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00385	Grading Permit	Pending	25-Jan-22	SEMI-DETACHED HOME	S-15-022 13942 PATRIOT WAY & 13940 PATRIOT WAY, LOT 104 & 105	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
2022-00407	Grading Permit	Pending	26-Jan-22	COMMERCIAL	SP-21-029 1454 OAK RIDGE PLACE	BRENDAN WARTON	OAK RIDGE INVESTMENTS LLC
2022-00437	Grading Permit	Pending	27-Jan-22	STICK BUILT HOME	5 RAYMONDS CROSSING, LOT 117	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00445	Grading Permit	Pending	27-Jan-22	STICK BUILT HOME	15 CHARLOTTE STREET, LOT 23	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00460	Grading Permit	Pending	28-Jan-22	STICK BUILT HOME	26 HERMAN GAVER PLACE, LOT 110	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00468	Grading Permit	Pending	28-Jan-22	STICK BUILT HOME	S-21-002 21120 WINCHESTER DRIVE, LOT 8	SL KOONTZ CONTRACTORS, LLC	LINGG KYLE LINGG KATIE
SIM22-001	IMA	Active	10-Jan-22	2861 CHESTNUT GROVE ROAD KE	2861 CHESTNUT GROVE ROAD KEEDYSVILLE, MD 21756	FREDERICK SEIBERT & ASSOCIATES	SOARES DAVID P CARR BARBARA A
SIM22-002	IMA	Active	13-Jan-22	ROSEWOOD VILLAGE PHASE IIA & IIB		FOX & ASSOCIATES INC	ROSEWOOD VILLAGE PHASE II C LLC
SIM22-003	IMA	Active	20-Jan-22	21015 MOUSETOWN ROAD BO		FREDERICK SEIBERT & ASSOCIATES	HALL ANDREA MICHELLE HALL JASON L
2022-00226	Non-Residential Addition-Alteration Permit	Approved	14-Jan-22	COMMERCIAL	SP-07-029 20145 LEITERSBURG PIKE	LARGO THEATER CONSTRUCTION INC.	TR LEITERSBURG LLC
2022-00410	Non-Residential Addition-Alteration Permit	Review	26-Jan-22	PUBLIC	LOR 18934 LAPPANS ROAD		WASH CO COMMISSIONERS
2022-00158	Non-Residential Addition-Alteration Permit	Approved	11-Jan-22	COMMERCIAL	LOR 13029 PECKTONVILLE ROAD		WASH CO COMMISSIONERS

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Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2022-00241	Non-Residential Addition-Alteration Permit	Review	18-Jan-22	COMMERCIAL	24930 RESERVOIR ROAD		CASCADE PROPERTIES LLC
2022-00258	Non-Residential Addition-Alteration Permit	Review	18-Jan-22	COMMERCIAL	PSP-10-001 10420 WALMART DRIVE, LOT 2		WALMART REAL ESTATE BUSINESS TRUST
2022-00067	Non-Residential New Construction Permit	Review	06-Jan-22	COMMERCIAL	SP-21-035 2 WESTERN MARYLAND PARKWAY	GORDON POFFENBERGER	ACH LLC
2022-00405	Non-Residential New Construction Permit	Review	26-Jan-22	COMMERCIAL	SP-21-029 1454 OAK RIDGE PLACE	BRENDAN WARTON	OAK RIDGE INVESTMENTS LLC
2022-00263	Non-Residential Signs Permit	Review	18-Jan-22	BUILDING MOUNTED	PSP-10-001 10420 WALMART DRIVE, LOT 2		WALMART REAL ESTATE BUSINESS TRUST
OM-22-001	Ordinance Modification	In Review	25-Jan-22	JENNIFER SHINGLETON - ESTATE OF JOHN ANDREWS	12930 SPIKLER RD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	ANDREWS JOHN J
S-22-001	Preliminary-Final Plat	In Review	25-Jan-22	JOHN ANDREWS - LOT 4	12930 SPIKLER RD CLEAR SPRING MD 21722	FREDERICK SEIBERT & ASSOCIATES	ANDREWS JOHN J
TYU-20-011.R01	Redline Revision	Approved	07-Jan-22	LAGER DRIVE - RED LINE REVISION	GREENCASTLE PIKE W/S	FREDERICK SEIBERT & ASSOCIATES	HERITAGE HUYETT LLC C/O Terry Randall
PP-17-004.R02	Redline Revision	Pending	07-Jan-22	WESTFIELDS - SECT. 7 - LTS. 74-86, 213-233, 630 -656, 689-704 & 745-773	WEST SIDE OF SHARPSBURG PIKE	FOX & ASSOCIATES INC	WESTFIELDS INVESTMENT LLC
SI-22-001	Simplified Plat	Final Copies Due	11-Jan-22	CHRIS MARTIN - PARCEL B	20310 LEHMANS MILL RD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	HEGE MYRON J & HEGE EMMA J
SI-22-002	Simplified Plat	In Review	11-Jan-22	MARK E & DIANE J BAKER	16326 BROADFORDING RD HAGERSTOWN MD 21740	FOX & ASSOCIATES INC	BAKER MARK E TRUSTEE BAKER DIANE J TRUSTEE
SP-22-001	Site Plan	In Review	06-Jan-22	QUIKRETE WAREHOUSE	11831 HOPEWELL RD HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	PAVESTONE LLC C/O QUIKRETE COMPANIES INC
SP-22-002	Site Plan	In Review	06-Jan-22	FXG HAGERSTOWN - PARKING EXPANSION	11824 NEWGATE BLVD HAGERSTOWN MD 21742	LARSEN DESIGN GROUP	FEDEX GROUND PACKAGE SYSTEM INC
SP-22-003	Site Plan	In Review	06-Jan-22	POTOMAC FISH AND GAME CLUB - KITCHEN ADDITION	14241 FALLING WATERS ROAD WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	POTOMAC FISH & GAME CLUB
SP-22-004	Site Plan	In Review	25-Jan-22	HOP HAVOK	9030 SHARPSBURG PIKE FAIRPLAY MD 21733	FREDERICK SEIBERT & ASSOCIATES	KRZYWONSKI CHRISTOPHER DYLAN MCCOY AMANDA JEANE
SP-22-005	Site Plan	In Review	26-Jan-22	HALFWAY SUBSTATION (MD 051)	11678 HOPEWELL ROAD HAGERSTOWN MD 21740	MORRIS & RITCHIE ASSOCIATES, INC.	POTOMAC EDISON CO
GP-22-001	Site Specific Grading Plan	Revisions Required	06-Jan-22	MILES RESIDENCE	23438 FOXVILLE RD SMITHSBURG MD 21783	FOX & ASSOCIATES INC	MILES ASHLEY L MILES TYLER E
SWCP22-004	Smithsburg Stormwater Concept Plan	In Review	21-Jan-22	EUTHENIA HOLDINGS LLC	5 S MAIN STREET SMITHSBURG MD 21783	FREDERICK SEIBERT & ASSOCIATES	EUTHENIA HOLDINGS LLC
SGP-22-001	Standard Grading Plan	Approved	20-Jan-22	ANTIETAM PINES FARMS LLC	9646 BLOOMING MEADOWS CT HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	ANTIETAM PINES FARMS LLC C/O BRADLEY A FULTON
SGP-22-002	Standard Grading Plan	Pending	20-Jan-22	DANA G SMITH	14357 CEARFOSS PIKE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	SMITH RANCH LLC

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Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SGP-22-003	Standard Grading Plan	Approved	20-Jan-22	SHAUN AMOS	MT. BRIAR ROAD LOT 1 KEEDYSVILLE MD 21756	GROSSNICKLE CONSTRUCTION LLC	JOHNSON HARDWICK SMITH JR AMOS SHAUN M
SGP-22-004	Standard Grading Plan	Pending	25-Jan-22	KATIE J LINGG	21120 WINCHESTER DRIVE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	MCCLANAHAN 2006 LLC
SGP-22-005	Standard Grading Plan	In Review	26-Jan-22	FREEDOM HILLS - LTS 104-105	13940 & 13942 PATRIOT WAY HAGERSTOWN MD 21740	ADMAR CUSTOM HOMES	FREEDOM HILL HOMES LLC
SSWP22-001	Stormwater Standard Plan	Approved	20-Jan-22	ANTIETAM PINES FARMS LLC	9646 BLOOMING MEADOWS CT HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	ANTIETAM PINES FARMS LLC C/O BRADLEY A FULTON
SSWP22-002	Stormwater Standard Plan	Pending	20-Jan-22	DANA G SMITH	14357 CEARFOSS PIKE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	SMITH RANCH LLC
SSWP22-003	Stormwater Standard Plan	Approved	20-Jan-22	SHAUN AMOS	MT. BRIAR ROAD LOT 1 KEEDYSVILLE MD 21756	GROSSNICKLE CONSTRUCTION LLC	JOHNSON HARDWICK SMITH JR AMOS SHAUN M
SSWP22-004	Stormwater Standard Plan	Pending	25-Jan-22	KATIE J LINGG	21120 WINCHESTER DRIVE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	MCCLANAHAN 2006 LLC
TIS-22-001	Traffic Impact Study	Pending	05-Jan-22	MASON DIXON MIXED USE DEVELOPMENT		TRAFFIC PLANNING AND DESIGN, INC.	HAGERSTOWN MASON RE LLC
GPT-22-001	Type 2 Grading Plan	Closed	07-Jan-22	GAVER MEADOWS - LOT 14	57 HERMAN GAVER PLACE FUNKSTOWN MD 21734	RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-002	Type 2 Grading Plan	Closed	07-Jan-22	GAVER MEADOWS - LOT 105	46 HERMAN GAVER PLACE FUNKSTOWN MD 21734	RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-003	Type 2 Grading Plan	Received	26-Jan-22	GAVER MEADOWS - LOT 106	42 HERMAN GAVER PLACE FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-004	Type 2 Grading Plan	Closed	26-Jan-22	GAVER MEADOWS - LOT 22	11 CHARLOTTE STREET FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-005	Type 2 Grading Plan	Closed	26-Jan-22	GAVER MEADOWS - LOT 150	26 CHARLOTTE STREET FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-006	Type 2 Grading Plan	Closed	26-Jan-22	GAVER MEADOWS - LOT 104	50 HERMAN GAVER PLACE FUNKSTOWN MD 21734	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
GPT-22-007	Type 2 Grading Plan	Closed	26-Jan-22	GAVER MEADOWS - LOT 117	CORNER OF HERMAN GAVER PLACE AND RAYMONDS CROSSING	NVR, INC. T/A NV HOMES AND RYAN HOMES	DAVID C LYLES DEVELOPERS LLC
2022-00061	Utility Permit	Approved	06-Jan-22	POTOMAC EDISON	12968 ROWE ROAD	POTOMAC EDISON	STRITE JOEL D & STRITE EVALINDA
2022-00125	Utility Permit	Approved	10-Jan-22	POTOMAC EDISON	20311 TOWNSEND ROAD	POTOMAC EDISON	ORZECZOWSKI ALICE L HOYMAN SCOTT MITCHELL JR
2022-00413	Utility Permit	Approved	26-Jan-22	POTOMAC EDISON	17567 YORK ROAD	POTOMAC EDISON	BETSY ENTERPRISES INC

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	Type	Total
LandDev	County Stormwater Concept Plan	3
	Forest Stand Delineation	2
	IMA	3
	Ordinance Modification	1
	Preliminary-Final Plat	1
	Redline Revision	2
	Simplified Plat	2
	Site Plan	5
	Site Specific Grading Plan	1
	Smithsburg Stormwater Concept Plan	1
	Standard Grading Plan	5
	Stormwater Standard Plan	4
	Traffic Impact Study	1
	Type 2 Grading Plan	7
	Entrance Permit	28
	Grading Permit	35
Permits	Non-Residential Addition-Alteration Permit	5
	Non-Residential New Construction Permit	2
	Non-Residential Signs Permit	1
	Utility Permit	3
Total		112