



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
May 6, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. April 1, 2024 Planning Commission regular meeting * **Discussion/Action**

ORDINANCE MODIFICATIONS

1. **Lloyd Gearhart Lot 1 [OM-24-002]** – Misty Wagner-Grillo * **Discussion/Action**
Proposed ordinance modification to create a new lot on a road with less than 16 feet of paving along the lot frontage;
Location: 11326 Marbern Road; Zoning: RU – Residential Urban

SITE PLAN

1. **Obidi Holdings, LLC [SP-23-005]** - Heather Williams * **Discussion/Action**
Proposed change of use for a doctor's office at 13316 Marsh Pike; Zoning: RS (Residential Suburban)
2. **Benevola SEC [SP-23-006]** – Heather Williams * **Discussion/Action**
Proposed solar array to be constructed on 42.27 acres owned by Martin Marietta Minerals located at 20301 Benevola Church Road; Zoning: A(R) – Agricultural Rural

OTHER BUSINESS

1. **Black Rock Holdings LLC** – Jill Baker * **Discussion/Action**
Request for clustering plan at Black Rock PUD along Mt. Aetna Road; Zoning: RT/PUD (Residential Transition with Planned Unit Development overlay)
2. **2023 Annual Report** – Jennifer Kinzer * **Discussion/Action**
3. **Update of Projects Initialized** – Jennifer Kinzer * **Information/Discussion**

CLOSED SESSION

To discuss potential candidates to be recommended to the Board of County Commissioners for appointment to the Planning Commission to fill one current vacancy and one upcoming vacancy..

ADJOURNMENT

WORKSHOP

1. Comprehensive Plan Update

UPCOMING MEETINGS

1. June 3, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: Lloyd Gearhart Lot 1
NUMBER.....: OM-24-002

OWNER.....: GEARHART LLOYD W JR
LOCATION.....: 11326 MARBERN Road
 HAGERSTOWN, MD 21740

DESCRIPTION.....: Ordinance Modification to create a new lot on a road with less than 16.0' of paving along the lot frontage (family member lot)
 Please see attached detailed description.

ZONING.....: Residential, Urban
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 26029147
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 26

TYPE.....:
GROSS ACRES.....: 1.0
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....:
RECEIVED.....: April 22, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Lincolnshire	Springfield	Williamsport
<i>Not Applicable</i> PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:
AMBULANCE DISTRICT.....:

WATER & SEWER INFORMATION



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

	WATER	SEWER
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Lloyd Gearhart
MAILING ADDRESS 11326 Marbern Road, Hagerstown, MD 21740
TELEPHONE _____
(home) (work) (cell)

PROPERTY OWNER

NAME Lloyd Gearhart
MAILING ADDRESS 11326 Marbern Road, Hagerstown, MD 21740
TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME FSA c/o Ed Schreiber
ADDRESS 128 S Potomac St, Hagerstown, MD 21740
TELEPHONE _____

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 49 GRID 13 PARCEL 1026
PROPOSED LOT ACREAGE 1.00 TOTAL SITE ACREAGE 3.09
ZONING DISTRICT RU ROAD FRONTAGE(FT) 92.0'

LOCATION / ADDRESS

11326 Marbern Road, Hagerstown, MD 21740

EXISTING AND PROPOSED USE OF PROPERTY

3.09 acres of existing Single Family Detached lot and associated accessory buildings. Owner/Applicant intends to subdivide a 1.00 acre lot and build a smaller house for himself and convey the existing home to his son.

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER Yes

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 4.1.2 of the APFO

MODIFICATION IS TO ALLOW Development to occur on a road that is less than 16.0' along the lot frontage.

STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

Marbern Road is a local road that dead ends 100' beyond the subject site. The road width to the proposed lot is 15.5' up the subject site where it reduces down to 13.5' where the applicant intends to create the new lot. Beyond the subject site are two existing homes on individual lots and two vacant lots that were created in 2007. So there are a total of 4 lots from the subject site to the dead end. The vacant lots created in 2007 were afforded the same ordinance modification being sought by the applicant. The widening of Marburn Road to 16.0' does not seem practical when it will only provide a wider road for two existing homes and two vacant lots.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.

[Handwritten Signature] CONSULTANT 4/22/24
Applicant's Signature Date

PLEASE SEE SUBDIVISION PLAT
Property Owner's Signature Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
<input type="checkbox"/> _____	<input type="checkbox"/> _____	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input type="checkbox"/> _____	<input type="checkbox"/> _____	A filing fee of \$115.00. Make check payable to: Washington County Treasurer . Include fee worksheet.
<input type="checkbox"/> _____	<input type="checkbox"/> _____	Twelve (12) sketch plans, drawn to scale, showing:
<input type="checkbox"/> _____	<input type="checkbox"/> _____	a. dimensions & shape of proposed lot with acreage;
<input type="checkbox"/> _____	<input type="checkbox"/> _____	b. size & location of existing and/or future structures;
<input type="checkbox"/> _____	<input type="checkbox"/> _____	c. existing/proposed roadways and associated access right of way or easements;
<input type="checkbox"/> _____	<input type="checkbox"/> _____	d. existing/proposed entrance/exit to property;
<input type="checkbox"/> _____	<input type="checkbox"/> _____	e. natural or topographic peculiarities of the lot in question.
<input type="checkbox"/> _____	<input type="checkbox"/> _____	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

Site Plan for Obidi Holdings, LLC

Presented is a site plan for Obidi Holdings, LLC, record #SP-23-005.

The subject site is located at 13316 Marsh Pike. The entrance is between two residences, 13322 and 13312 Marsh Pike and across from the Emerald Pointe Subdivision. Zoning is Residential Suburban. Total site area is 20,000 square feet with a proposed reduction from 73.2% to 65.5% impervious area for this project.

Previous use of this site was a gun shop. The proposed usage is a dwelling unit medical office which is a special exception usage within the RS district.

A special exception for this property was granted under record #AP-1447 for property use and a variance from a rear yard depth of 25-feet and 13-feet. Also record #AP-2164 granting a variance from a rear yard depth of 50-feet to 2-feet. These special exceptions were with the understanding that the existing building structure and building footprint remained unchanged.

The new proposed user of this site will be medical professionals and residential tenants. Hours of operation for the medical facility will be Monday through Friday 8:30am-4:30pm and Saturday 9 am to 12 pm.

The site is served by a public (County) sanitary sewer system and a public (City) water system.

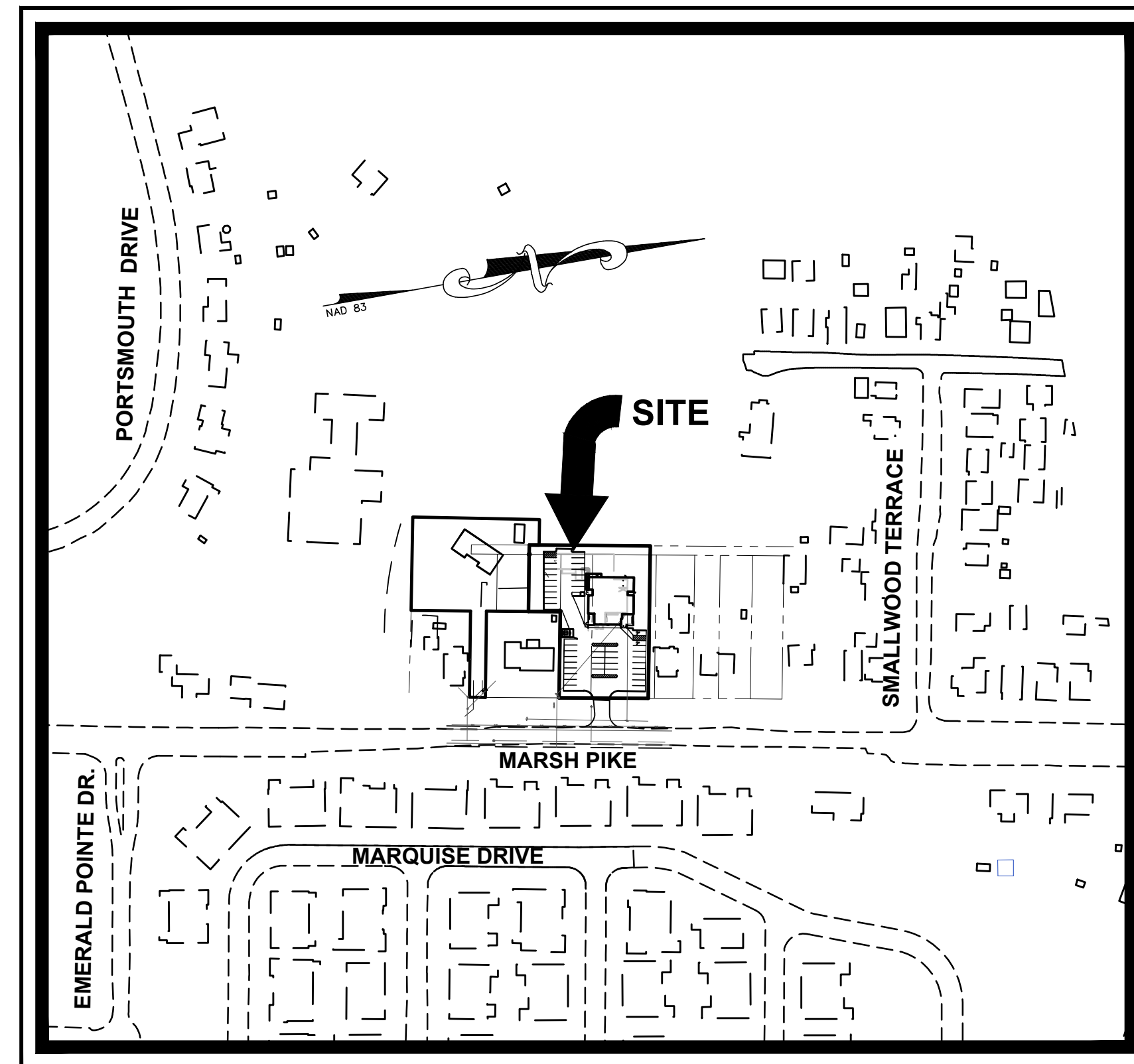
The proposed lighting and signage are in compliance with the Zoning Ordinance. Both new disturbance and increase in impervious area are below the threshold at which Forest Conservation is required as determined by Forest Conservation staff.

As of the writing of this staff report, review and approval was pending for Environmental Health, Water Quality, and Land Development Plan review. A copy of open review comments, as of the date of the Planning Commission meeting will be provided for your reference and consideration.

Planning department staff recommends approval of this site plan, contingent upon receipt of the remaining agency approvals.

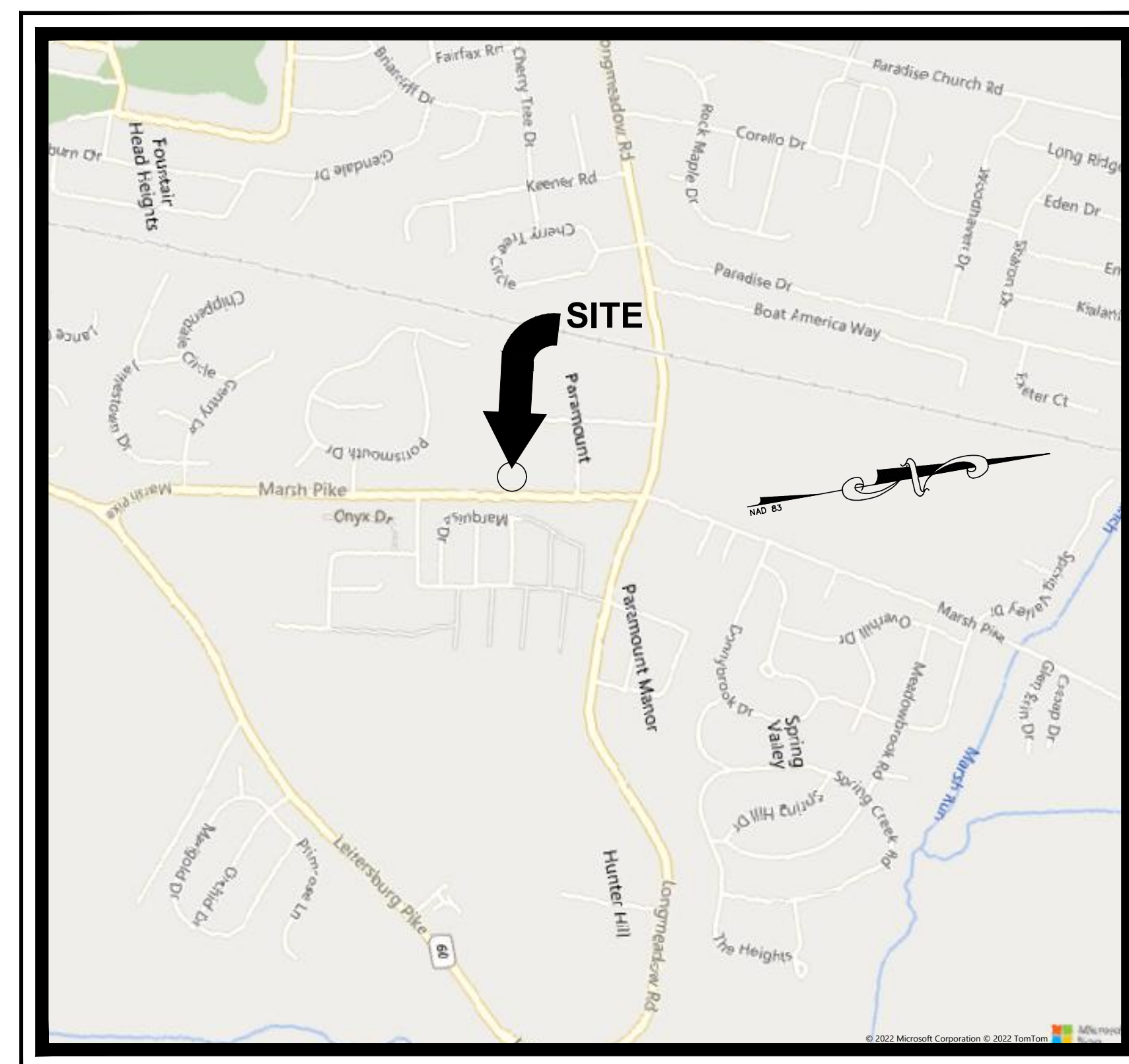
OBIDI HOLDINGS, L.L.C.

LOCATION MAP:



SCALE: 1" = 200'

VICINITY MAP:



ADC MAP No. 10
GRID: H 11
SCALE: 1" = 1,000'

SITE DATA:

TYPE OF USAGE: COMMERCIAL
ACREAGE PER TAX ASSESSMENT OFFICE: 0.826 ACRES
ZONING: RS - RESIDENTIAL SUBURBAN DISTRICT
PHYSICAL ADDRESS: 13316 MARSH PIKE, HAGERSTOWN, MD 21742
PURPOSE OF PLAN: USAGE CHANGE
STORMWATER QUALITY: PROVIDED BY ESD PRACTICES
STORMWATER QUANTITY: ESD PRACTICES

PROJECT CONTACTS:

DEVELOPER: OBIDI HOLDINGS, LLC
ADDRESS: 303 MEMORIAL BLVD W, HAGERSTOWN, MD 21740
PHONE NUMBER: 301-788-3509
CONTACT: CHUKWUEMEKA OBIDI

SHEET INDEX:

1. COVER SHEET	C.1.0
2. LEGEND, PROJECT NOTES AND EXISTING CONDITIONS	C.1.1
3. SITE PLAN	C.2.0
4. SITE DETAILS	C.2.1
5. GRADING PLAN AND EROSION AND SEDIMENT CONTROL PLAN	C.3.0
6. EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C.3.1
7. STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS	C.4.0
8. STORMDRAIN PLAN AND PROFILE, NOTES AND DETAILS	C.4.1
9. LANDSCAPE PLAN, NOTES AND DETAILS	C.5.0
10. TURNING PLAN	C.6.0
11. LIGHTING PLAN	C.7.0

ESD PRACTICES SUMMARY TABLE

CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): REDEVELOPMENT
ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)

TYPE	No.	DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQv (AC-FT)	ESDv (AC-FT)	Pe Addressed (IN)
M-6	1	0.339	0.199	-	0.042	2.6"

NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES)

TYPE	No.	DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQv (AC-FT)	ESDv (AC-FT)	Pe Addressed (IN)

CERTIFICATIONS:

<p>OWNER/DEVELOPER'S CERTIFICATION</p> <p>I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).</p> <p>2/16/23 CHUKWUEMEKA OBIDI [Signature]</p> <p>DATE PRINTED NAME SIGNATURE</p>	<p>OWNER/DEVELOPER'S CERTIFICATION</p> <p>I/WE CERTIFY ALL ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.</p> <p>2/16/23 CHUKWUEMEKA OBIDI [Signature]</p> <p>DATE PRINTED NAME SIGNATURE</p>
<p>ENGINEER/ARCHITECT DESIGN CERTIFICATION</p> <p>I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.</p> <p>02-14-2023 59438 [Signature]</p> <p>DATE REG. NO. SIGNATURE</p>	<p>DISTURBED AREA QUANTITIES</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0.86 AC. AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 823 C.Y. OF EXCAVATION AND 213 C.Y. OF FILL.</p> <p>NOTE: THE QUANTITIES SHOWN ARE APPROXIMATE AND SHOULD NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.</p>
<p>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY ALLOCATION CERTIFICATION</p> <p>THIS PLAN / PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN / PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.</p> <p>WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY</p>	<p>UTILITY NOTIFICATION</p> <p>THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. THE LAW REQUIRES PRIOR TO EXCAVATION THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777</p>

STANDARD NOTES:

WASHINGTON COUNTY STANDARD GENERAL NOTES FOR SITE PLANS

- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ANY IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY OR ENTRANCE PERMIT.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A 'NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY' (N.O.I.). THE N.O.I. IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.28 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (M.D.E.). THE N.O.I. IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO M.D.E. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY CAN PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY M.D.E.
- THIS PROJECT WILL REQUIRE A THIRD PARTY QUALIFIED PROFESSIONAL TO BE PRESENT AT THE PRE-CONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY DEPARTMENT OF PERMITS AND INSPECTIONS AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE 'ROADWAY AND STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES' DATED OCTOBER 17, 2008.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY.

FIRE DEPARTMENT NOTICE

- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH N.F.P.A. 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF N.F.P.A. 1, UNIFORMED FIRE CODE.
 - NO OPEN AIR BURNING IS PERMITTED
 - A PERMIT IS REQUIRED FROM THE HAGERSTOWN FIRE MARSHALL'S OFFICE, 25 WEST CHURCH STREET, HAGERSTOWN, BEFORE PERFORMING BLASTING OPERATIONS.
 - FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ALL BUILDINGS
- A FIRE DEPARTMENT RAPID ENTRY ACCESS BOX (KNOX BOX) SHALL BE INSTALLED AT THE MAIN ENTRANCE OF DOCTOR'S OFFICE. KEYS TO THE NEW AREA SHALL BE PROVIDED AT THE TIME OF FINAL INSPECTION FOR INSTALLATION INTO THE KNOX BOX.

FINAL SITE PLAN
APPROVAL BLOCK

TRIAD ENGINEERING, INC.
1075-D SHERMAN AVENUE
HAGERSTOWN, MD 21740
PH: 301.797.6400 FAX: 301.797.2424
OFFICE LOCATIONS
MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

DATE	REV. #	DESCRIPTION
3-22-2024	A	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS
5-17-2023	A	PER WATER QUALITY COMMENTS
5-17-2023	A	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS

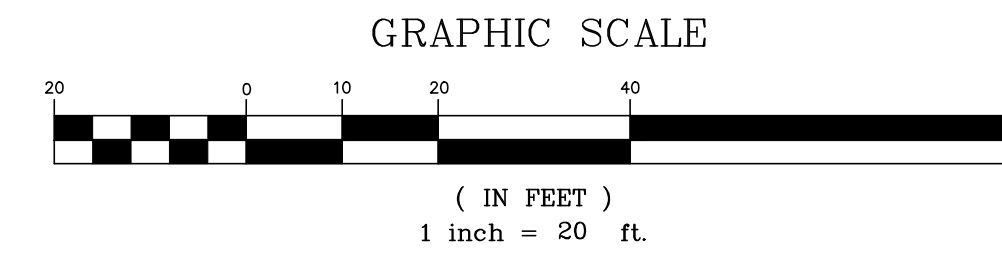
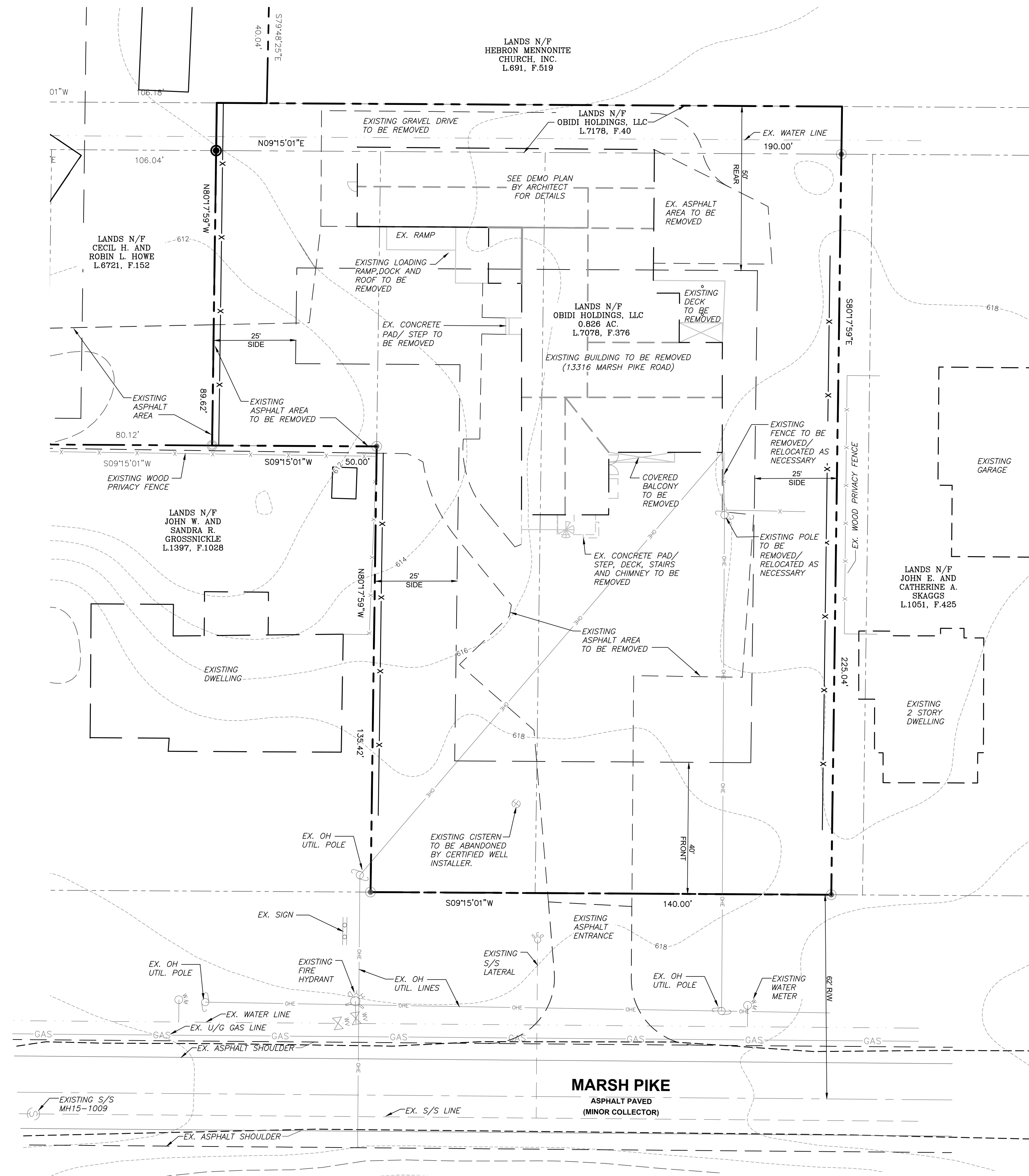
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 59438 EXPIRATION DATE: 05-25-2024

OBIDI HOLDINGS, LLC.
13316 MARSH PIKE
HAGERSTOWN, MD 21742
SITE PLAN
ZONING: RS WATERSHED CODE: 02140502
TAX MAP: 0025 GRID: 0019 PARCEL: 0128 ELEC. DIST.: 27

TRIAD ENGINEERING, INC.
www.triadeng.com
SHEET NUMBER:
C-1.0
JOB NO.: 03-22-0877

PROJECT NOTES:

- NO GEOTECHNICAL EXPLORATION REPORT HAS BEEN PERFORMED BY TRIAD ENGINEERING, INC. FOR THIS PROJECT.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM NUMEROUS SOURCES INCLUDING, BUT NOT LIMITED TO PROPERTY OWNER, UTILITY OWNER, PAST SITE PLANS AND DRAWINGS AND LOCATION OF SURFACE FEATURES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND ANY OTHER UTILITY AND SUBSURFACE INVESTIGATIVE SERVICES AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/ STATE FOR WORK WITHIN COUNTY/ STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- TRIAD ENGINEERING, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- NO TITLE REPORT HAS BEEN PROVIDED TO TRIAD ENGINEERING FOR THE PROJECT.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER TO OBTAIN ALL NECESSARY EASEMENTS AND/OR RIGHT OF WAYS NECESSARY IN ORDER TO COMPLETE THE PROJECT SHOWN ON THESE PLANS. TRIAD ENGINEERING, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY ASSOCIATED WITH THE ACQUIRING OF OFFSITE EASEMENTS AND RIGHT OF WAYS.
- IF A STORM WATER MANAGEMENT STRUCTURE IS PRESENT ON THIS SITE, CONSTRUCTION INSPECTION AND ASBUILT CERTIFICATION OF THIS STRUCTURE OR STRUCTURES BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE INSPECTING ENGINEER PRIOR TO THE START OF CONSTRUCTION IN ORDER TO DETERMINE WHEN INSPECTIONS WILL BE REQUIRED. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER WHEN THE STRUCTURE HAS BEEN COMPLETED AND STABILIZED IN ORDER THAT THE ASBUILT SURVEY MAY BE PERFORMED. STABILIZATION IS DEFINED AS HAVING A STAND OF GRASS OR OTHER SUITABLE VEGETATIVE COVER AS SPECIFIED ON THESE PLANS.
- FINAL APPROVAL OF A STORMWATER MANAGEMENT STRUCTURE MUST BE GRANTED BY THE APPROPRIATE GOVERNMENT AGENCY/AGENCIES. APPROVAL BY THE INSPECTING ENGINEER DOES NOT GUARANTEE THAT ADDITIONAL WORK WILL NOT HAVE TO BE PERFORMED ON A STORMWATER MANAGEMENT STRUCTURE IN ORDER FOR IT TO COMPLY WITH THE STANDARDS OF THE GOVERNMENT AGENCY OR AGENCIES THAT ARE RESPONSIBLE FOR APPROVING THE STRUCTURE. TRIAD ENGINEERING, INC., ITS PERSONNEL AND ITS SUBCONTRACTORS WILL NOT BE LIABLE FOR ANY ADDITIONAL WORK ASSOCIATED WITH A STORMWATER MANAGEMENT STRUCTURE IN ORDER TO HAVE IT CONFORM TO NECESSARY STANDARDS.
- ALL SPECIFICATIONS SHOWN HEREIN SHALL BE USED AND LOCAL, STATE AND FEDERAL SPECIFICATIONS SHALL BE MINIMUM STANDARD.
- IF SITE THIRD PARTY CONSTRUCTION INSPECTIONS ARE REQUIRED BY WASHINGTON COUNTY, MARYLAND, THEN THE INSPECTION/CERTIFYING ENGINEER SHOULD BE CONTACTED ONE (1) WEEK IN ADVANCE TO START OF WORK.



LEGEND

- PROPERTY LINE
- EXISTING WATER VALVE
- EXISTING HYDRANT
- GAS --- EXISTING GAS LINE
- EXISTING WATERLINE
- X --- EXISTING FENCELINE
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF CONCRETE
- EXISTING BUILDING STRUCTURE
- EXISTING TREE LINE
- TYPICAL SOIL TYPE DESIGNATION
- SOIL TYPE BOUNDARY
- EXISTING UTILITY POLE
- EXISTING OVERHEAD UTILITY
- PROPOSED EDGE OF PAVEMENT
- PROPOSED PAVEMENT AREA
- LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE/SUPER SILT FENCE
- SILT FENCE
- STONE CONSTRUCTION ENTRANCE

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424

DATE	DESCRIPTION
5-17-2023	PER WASH. CO. LAND DEVELOPMENT PLAN REVIEW COMMENTS
3-07-2023	PER WASH. CO. P & Z. GIS DEPT. COMMENTS
REV. #	

CADD FILE:	CHECKED BY: BUS	SCALE: 1"=20'
DRAWN BY: STAFF	DATE: 01-05-2023	

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59348 EXPIRATION DATE: 05-25-2024



02-14-2023

SITE PLAN FOR	
OBIDI HOLDINGS, LLC.	
13316 MARSH PIKE HAGERSTOWN, MD 21742	
LEGEND, NOTES & EXISTING CONDITIONS	
ZONING: RS	WATERSHED CODE: 02140502
TAX MAP: 0025	GRID: 0019
PARCEL: 0128	ELEC DIST.: 27



www.triadeng.com
 SHEET NUMBER:
C-1.1

OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005

JOB NO.: 03-22-0877

GENERAL NOTES

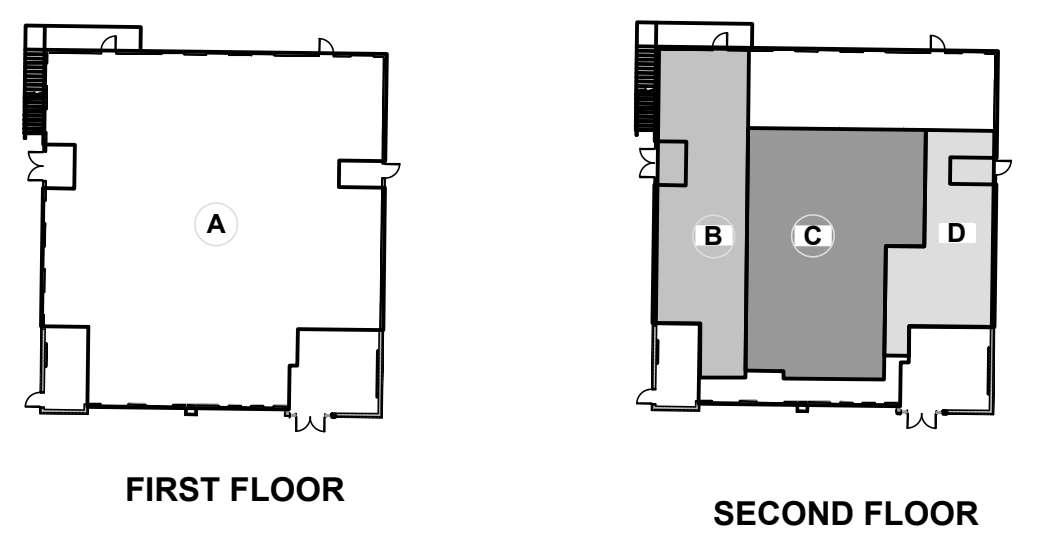
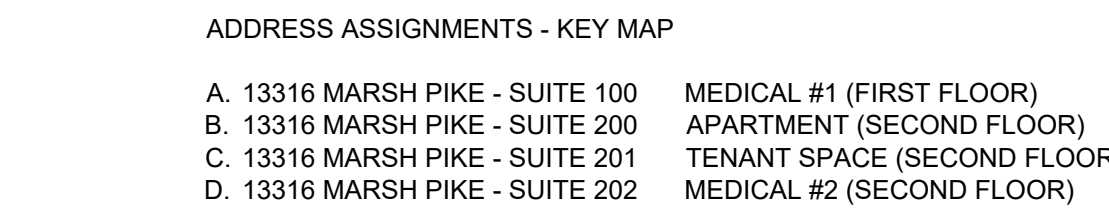
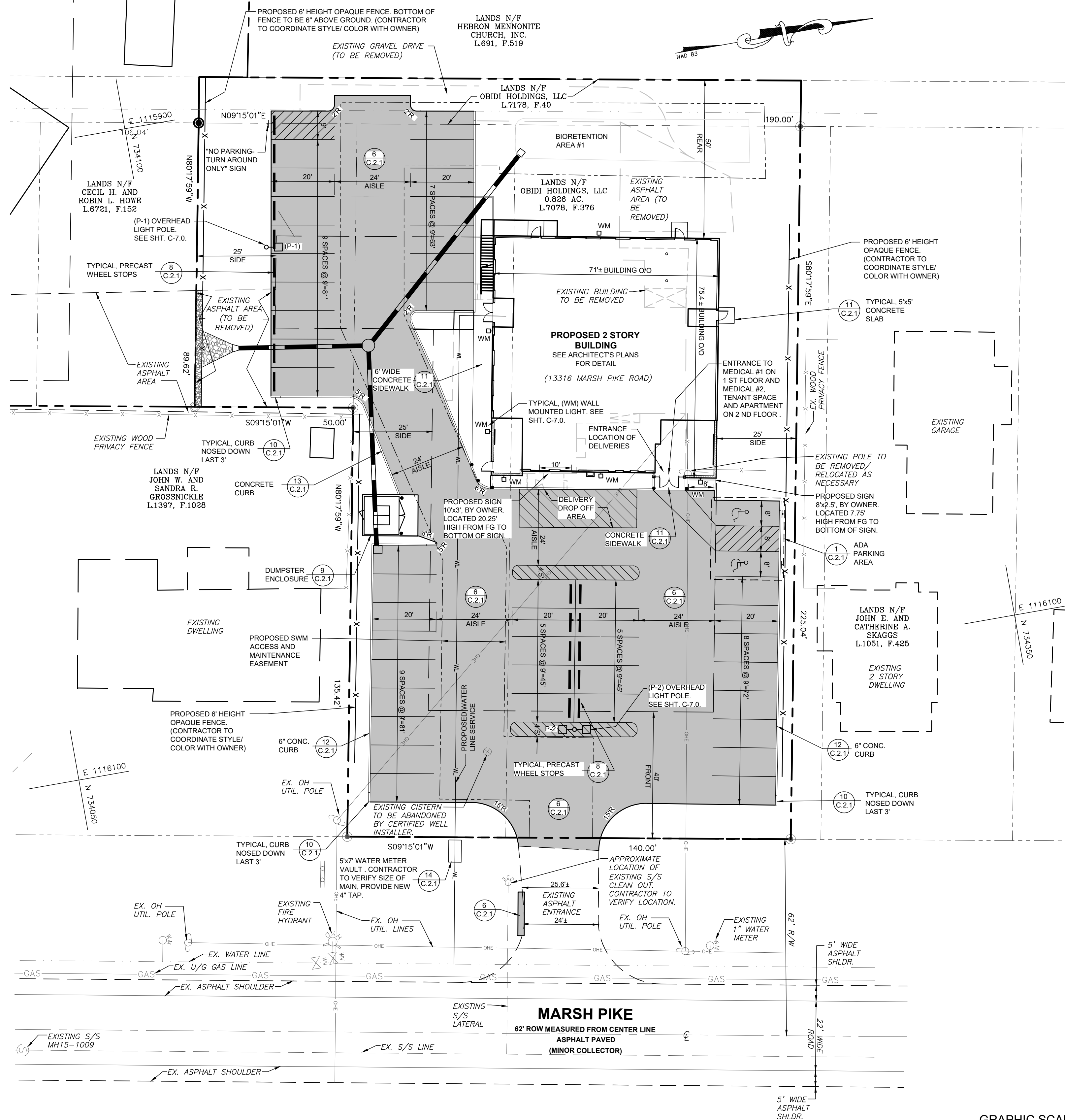
- TAX MAP 0025, GRID 0019, PARCEL 0128
- ELECTION DISTRICT 27
- TOTAL SITE AREA = 0.826 ACRES
- DEED REFERENCE:
BEING ALL OF THE LANDS CONVEYED BY FHCPM, LLC UNTO OBIDI HOLDINGS, LLC BY DEED DATED AUGUST 2, 2022 AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND AT LIBER 7078 FOLIO 376. ALSO BEING ALL THAT PORTION OF AN UNIMPROVED 15 FOOT WIDE ALLEY AS INDICATED IN A DEED: THE LANDS CONVEYED BY FHCPM, LLC UNTO OBIDI HOLDINGS, LLC AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND AT LIBER 7178 FOLIO 46.
- PLAT REFERENCE: THE PROPERTY BEING SHOWN AS WESTERN 89.62 FEET OF LOT 3, ALL OF LOT 4, ALL OF LOT 5, AND THE SOUTHERN 40 FEET OF LOT 6, ON A PLAT OF SUBDIVISION TITLED "PLAN OF ROWLANDS ADDITION, PARAMOUNT, MD," RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND AS PLAT NUMBER 54.
- THE PROPERTY LINES SHOWN HEREON ARE FROM DEEDS/PLATS OF RECORD. BOUNDARY SURVEY HAS BEEN PERFORMED BY GERALD CUMP AND ASSOCIATES.
- TOPOGRAPHIC FEATURES SHOWN HEREON ARE FROM 2019 WASHINGTON COUNTY PLANIMETRIC G.I.S. DATA AND SUPPLEMENTED WITH A TOPOGRAPHIC SURVEY PERFORMED BY GERALD CUMP AND ASSOCIATES. WITH THE LAST DATE OF FIELD WORK COMPLETION BEING JUNE 19, 1997.
- SITE IS ZONED "RS" - RESIDENTIAL SUBURBAN DISTRICT
- EXISTING USAGE IS A GUN SHOP WHICH IS A PRINCIPAL PERMITTED USAGE WITHIN THE "RS" DISTRICT PER ARTICLE 8 SECTION 8.1 OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- PROPOSED USAGE IS A DWELLING UNIT MEDICAL OFFICE, WHICH IS SPECIAL EXCEPTION USAGE WITHIN THE "RS" DISTRICT PER ARTICLE 8 SECTION 8.2 OF THE WASHINGTON COUNTY ZONING ORDINANCE. EXISTING USAGE WAS PREVIOUSLY A GUN SHOP AND A DWELLING UNIT.
- PURPOSE OF THIS SITE PLAN IS FOR A CHANGE OF USE, TO BE USED AS MEDICAL OFFICES, AND DWELLING UNIT. REFERENCE IS HEREBY MADE TO THE BOARD OF ZONING APPEALS FOR THE FOLLOWING: DOCKET NUMBER AP-1447 GRANTING SPECIAL EXCEPTION FOR PROPERTY USE AND A VARIANCE FROM A REAR YARD DEPTH OF 25 FEET 13 FEET. DOCKET NUMBER AP-2164 GRANTING A VARIANCE FROM A REAR YARD DEPTH OF 50 FEET TO 2 FEET.
- MINIMUM LOT REQUIREMENTS PER SECTION 8.5(a) OF THE WASHINGTON COUNTY ZONING ORDINANCE:

LOT AREA	LOT WIDTH	FRONT YARD	SIDE YARD	REAR YARD
20,000 S.F.	100 FEET	40 FEET	25 FEET	50 FEET

- HOURS OF OPERATIONS: MONDAY THRU FRIDAY 8:30 AM TO 4:30 PM, SATURDAY 9 AM TO 12 PM
- NUMBER OF EMPLOYEES: 7 PER 8 HOUR SHIFT.
- PARKING REQUIREMENTS PER SECTION 22.12(b) OF THE WASHINGTON COUNTY ZONING ORDINANCE:
MEDICAL #1 - 1 SPACE REQUIRED / 200 sq. ft. OF (GFA). 1st FLOOR TENANT: 4,971 SF / 200 = 25 SPACES
MEDICAL #2 - 1 SPACE REQUIRED / 200 sq. ft. OF (GFA). 2nd FLOOR TENANT: 797 SF / 200 = 4 SPACES
MEDICAL #3 - 1 SPACE REQUIRED / 200 sq. ft. OF (GFA). 2nd FLOOR (FUTURE) TENANT: 1638 SF / 200 SF = 8 SPACES
1 DWELLING UNIT TENANT: 2 SPACES PER UNIT
TOTAL SPACES REQUIRED=40 / TOTAL SPACES PROVIDED=43 REGULAR AND 2 HC.

- SITE IS SERVED BY A PUBLIC SANITARY SEWER SYSTEM PROVIDED BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY.
- SITE IS SERVED BY PUBLIC WATER SYSTEM PROVIDED BY THE CITY OF HAGERSTOWN WATER AND SEWER DEPARTMENT.
- SIGN TO BE PLACED UPON EXISTING SIGN LOCATION. SIGN SHALL MEET THE REQUIREMENTS PER ARTICLE 22, DIVISION II - SIGNS, OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- TRASH AND RECYCLABLES WILL BE COLLECTED AT THE PROPOSED DUMPSTER LOCATION SHOWN, AND REMOVED FROM SITE BY A LICENSED COMMERCIAL HAULER AND TAKEN TO AN APPROVED DISPOSAL FACILITY.
- NO NEW EXTERIOR LIGHTING IS PROPOSED FOR THIS PLAN.
- THERE ARE NO WETLANDS ON THE SITE PER MAPPING BY THE U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, PER THE NATIONAL WETLANDS INVENTORY DATED JUNE 30, 2021.
- THERE ARE NO HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- THERE IS NO INTERMITTENT STREAM SYMBOL ASSOCIATED WITHIN THE PROJECT LIMITS AS SHOWN ON SHEET NUMBER 25 OF 44 OF THE SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND.
- THERE ARE NO AREAS OF STEEP SLOPES (AS DEFINED BY ARTICLE 28.631 OF THE WASHINGTON COUNTY ZONING ORDINANCE) ON THE LANDS SHOWN HEREON.
- THIS SITE IS NOT WITHIN THE LIMITS OF THE APPALACHIAN TRAIL CORRIDOR OR THE WATERSHEDS OF THE EDMONT-SMITHSBURG RESERVOIR OR THE UPPER BEAVER CREEK DRAINAGE BASIN.
- THIS SITE IS NOT AFFECTED BY THE 100-YEAR FLOOD PLAIN AS SHOWN ON F.E.M.A. COMMUNITY PANEL NO. 24043C0137D DATED AUGUST 15, 2017. SITE IS IN ZONE "X".
- THIS SITE IS EXEMPT FROM THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE BECAUSE THE AREA OF LAND DISTURBANCE IS LESS THAN 20,000 sq. ft.
- DELIVERY REQUIREMENTS: DELIVERIES WILL BE DONE BY ONE BOX TRUCK PER WEEK AND TWO GENERAL DELIVERIES PER DAY. DELIVERED TO FRONT ENTRANCE AS SHOWN AND LABELED IN PLAN VIEW. DELIVERY DROP OFF AREA AT FRONT OF BUILDING AS SHOWN PER PLAN.
- SITE COVERAGE (IMPERVIOUS AREA/ GROSS SITE AREA):
TOTAL AREA OF TAX ACCOUNT ID #27-016243+ = 0.889 AC / 38,730 S.F.
TOTAL AREA OF SITE PLAN (LOD) = 0.846 AC / 36,833 S.F.
TOTAL EX IMPERVIOUS AREA (LOD) = 0.651 AC / 28,364 S.F.
PERCENT EX IMP AREA (LOD) = (0.651 AC / 0.889 AC) x 100 = 73.2%
TOTAL NEW IMPERVIOUS AREA (LOD) = 0.582 AC / 25,359 S.F.
PERCENT OVERALL IMP AREA (LOD) = (0.582 AC / 0.889 AC) x 100 = 65.5%
- EACH ADDRESS IS BASED ON ENTRANCE LOCATION. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION, THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER / DEVELOPER OF THE LOT MUST REAPPLY TO THIS OFFICE FOR A NEW ADDRESS ASSIGNMENT.
- SITE PROPERTY IS IN A PFA PRIORITY FUNDING AREA.
- THE OWNER, OBIDI HOLDINGS, LLC, WILL BE RESPONSIBLE FOR PROPERTY MAINTENANCE, INCLUDING THE ENTRANCE AND PARKING AREAS.

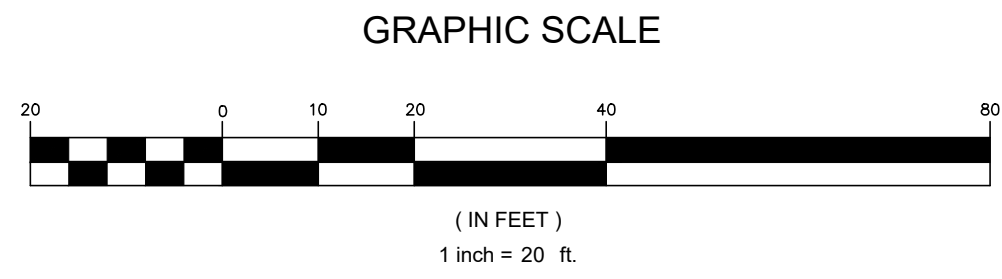
EX. CURRENT WATER ALLOCATION (1" METER)	= 400 GPD
PROPOSED ADDITIONAL WATER ALLOCATION	= 400 GPD
TOTAL	= 800 GPD
CURRENT SEWER ALLOCATION	= 400 GPD
PROPOSED ADDITIONAL SEWER ALLOCATION	= 400 GPD
TOTAL	= 800 GPD



WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: _____ DATE: _____



TRIAD ENGINEERING, INC.
1075-D SHERMAN AVENUE
HAGERSTOWN, MD 21740
PH: 301.797.6400 FAX: 301.797.2424
OFFICE LOCATIONS
MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

DATE	REV.#	DESCRIPTION
3-22-2024	A	PER WATER QUALITY COMMENTS
3-22-2024	A	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS
3-22-2024	A	PER HAGERSTOWN CITY WATER DEPT. REVIEW COMMENTS
5-17-2023	A	PER WATER QUALITY COMMENTS
5-17-2023	A	PER WASH. CO. LAND DEVELOPMENT PLAN REVIEW COMMENTS
5-17-2023	A	PER CITY OF HAGERSTOWN WATER COMMENTS
3-07-2023	A	PER WASH. CO. P.A.Z. GIB COMMENTS

CADD FILE:
DRAWN BY: STAFF
CHECKED BY: BUS
SCALE: 1"=20'
DATE: 01-05-2023

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 59438 EXPIRATION DATE: 05-25-2024



02-14-2023

SITE PLAN FOR
OBIDI HOLDINGS, LLC.
13316 MARSH PIKE
HAGERSTOWN, MD 21742
SITE PLAN
ZONING: RS
TAX MAP: 0025
GRID: 0019
PARCEL: 0128
ELEC DIST.: 27

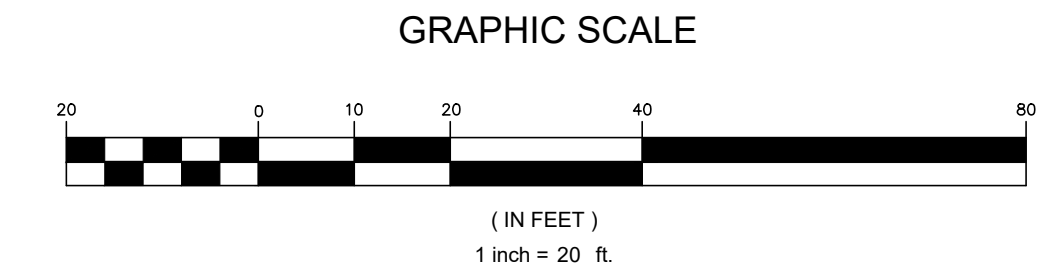
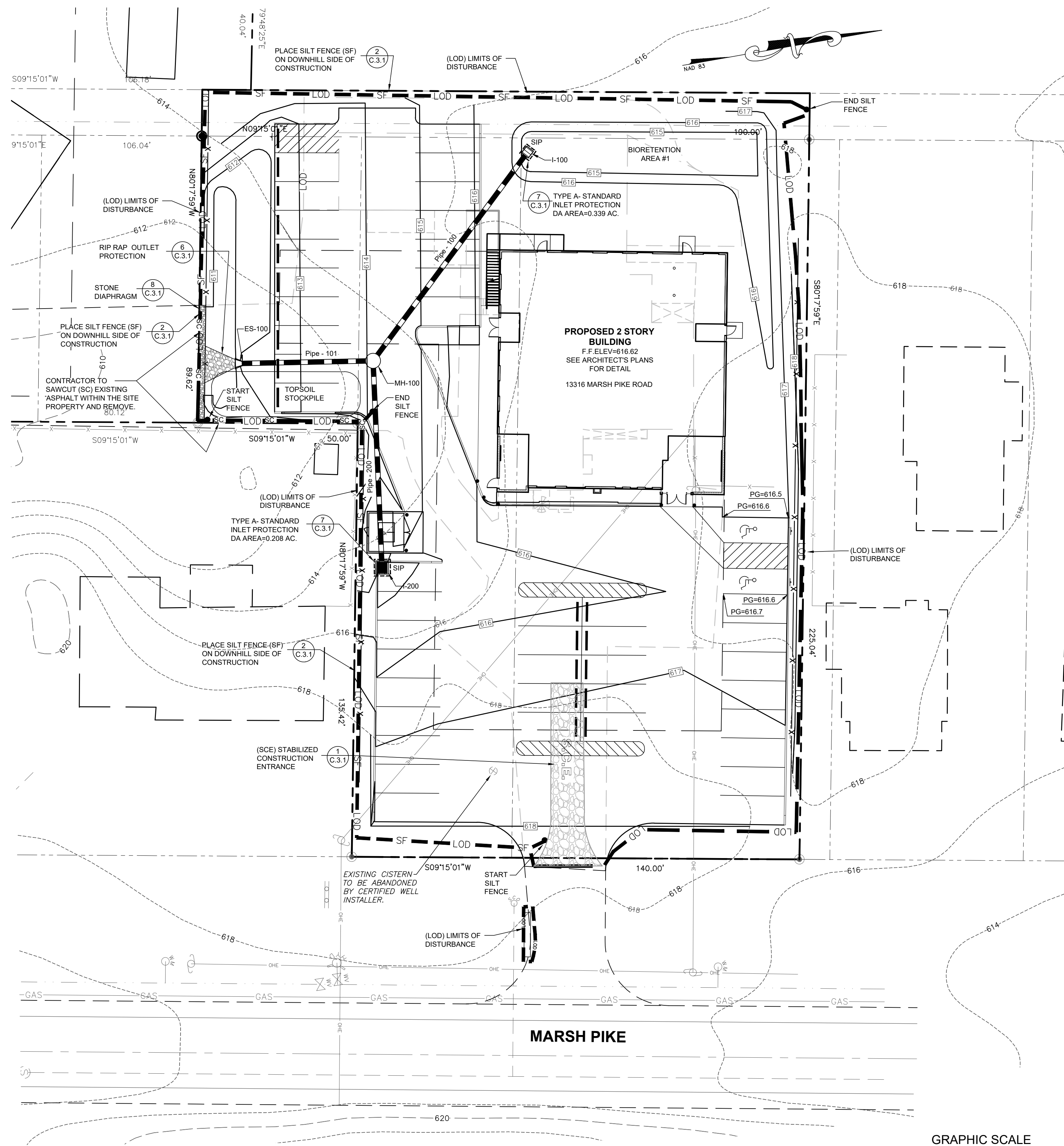
TRIAD ENGINEERING, INC.
www.triadeng.com

SHEET NUMBER:
C-2.0
JOB NO.: 03-22-0877

OWNER/DEVELOPER
OBIDI HOLDINGS, LLC
303 MEMORIAL BLVD W
HAGERSTOWN, MD 21740
PHONE: 301-768-3509
CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005

SOILS CHART				
SYMBOL	NAME	SLOPES	K FACTOR (WHOLE)	HYDROLOGIC SOIL GROUP
Hsb	HAGERSTOWN SILT LOAM	3 TO 8%	0.37	B



TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
 OFFICE LOCATIONS
 MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

REV.#	DATE	DESCRIPTION
1	3-22-2024	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS
2	5-17-2023	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS
3	5-12-2023	PER WASH. CO. COMMENTS
4	3-07-2023	PER WASH. CO. P & Z - GIS DEPT. COMMENTS

CADD FILE:	CHECKED BY: BUS	SCALE: 1"=20'
DRAWN BY: STAFF	DATE: 01-05-2023	

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 59438 EXPIRATION DATE: 07-19-2023

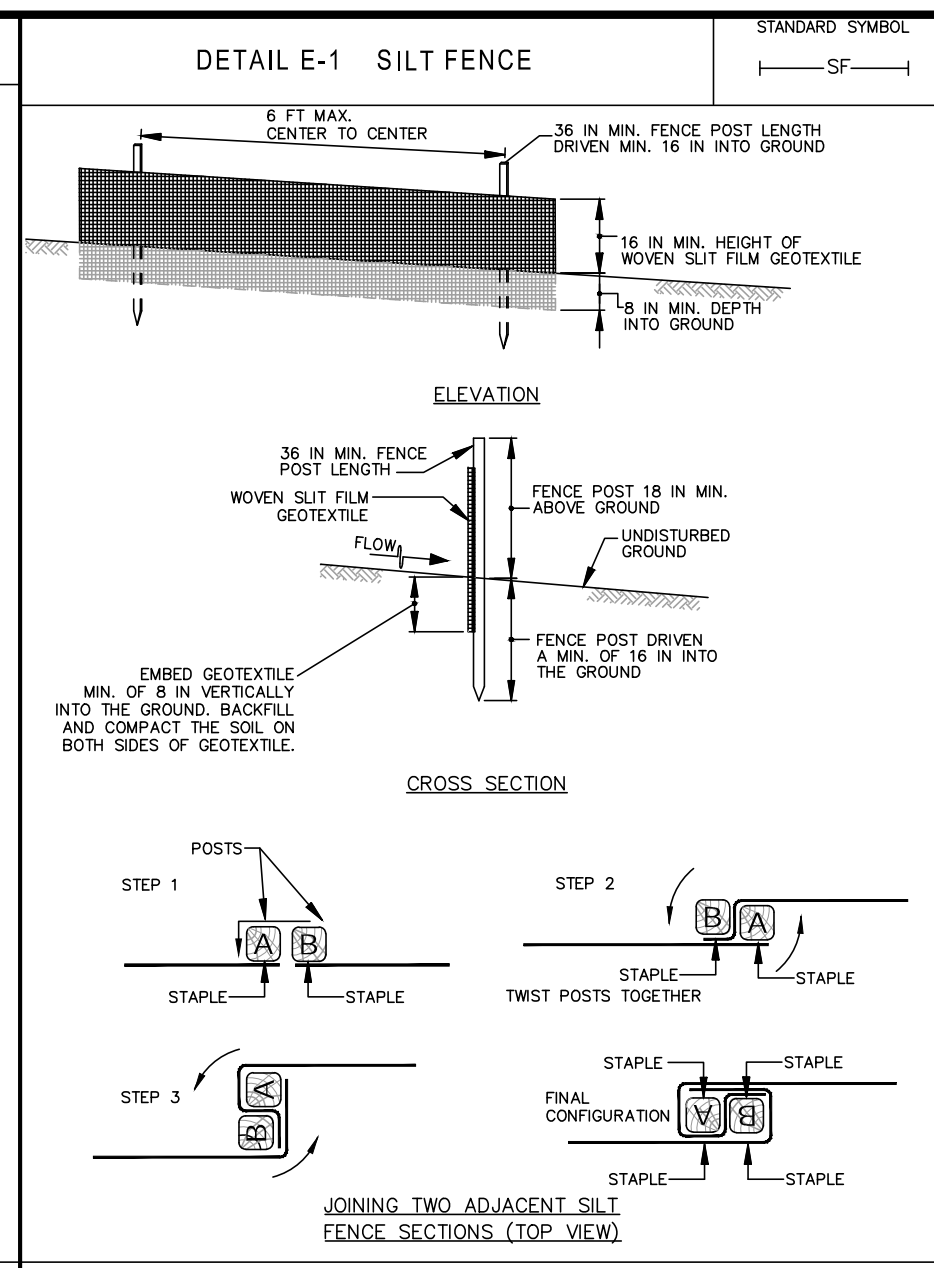
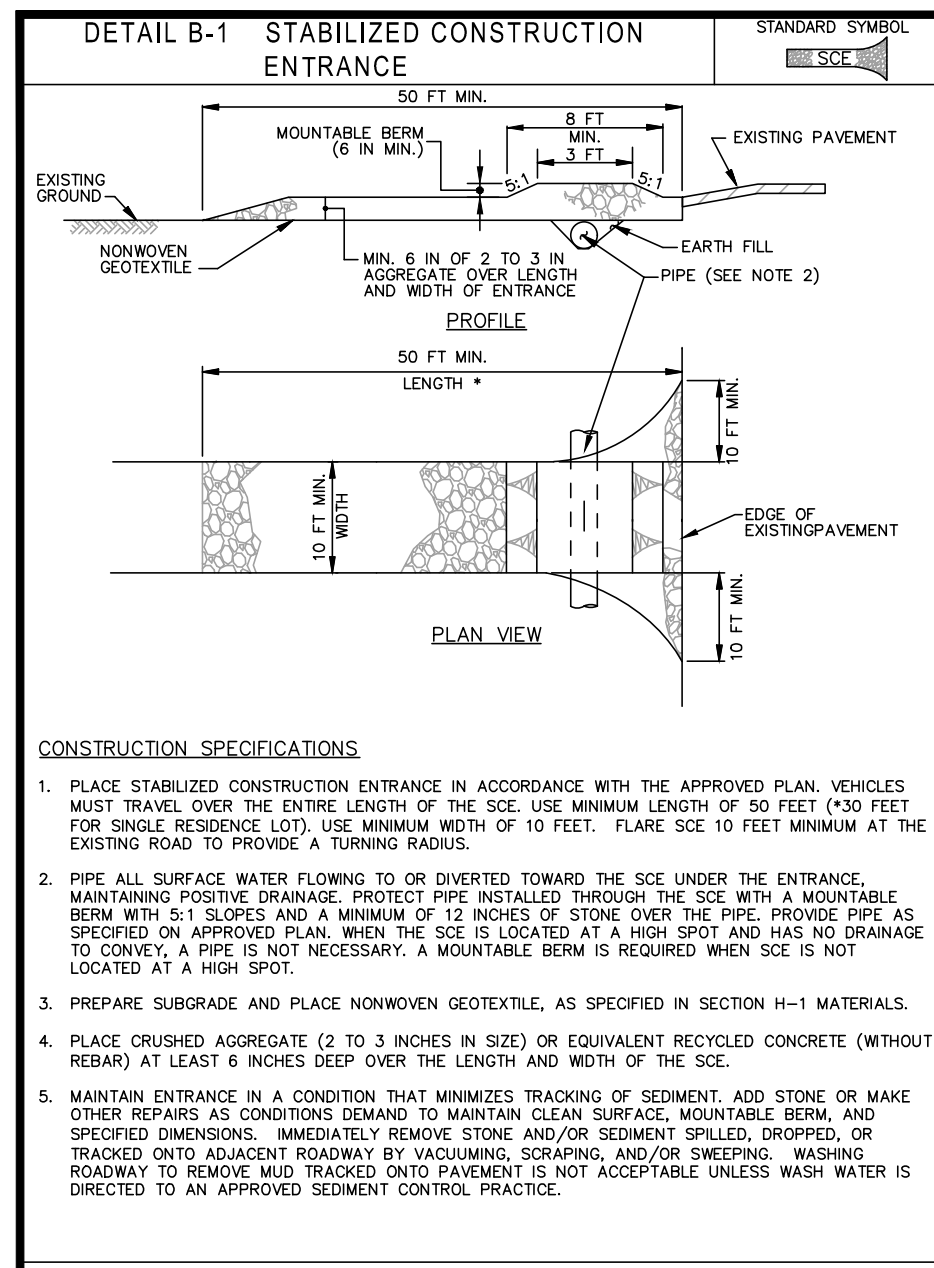


SITE PLAN FOR OBIDI HOLDINGS, LLC.
 13316 MARSH PIKE
 HAGERSTOWN, MD 21742
GRADING PLAN AND EROSION & SEDIMENT CONTROL PLAN
 ZONING: RS WATERSHED CODE: 02140502
 TAX MAP: 0025 GRID: 0019 PARCEL: 0128 ELEC DIST.: 27

TRIAD ENGINEERING, INC.
 www.triadeng.com
 SHEET NUMBER: **C-3.0**
 JOB NO.: 03-22-0877

OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005



STANDARD UTILITY NOTES

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
- CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAUL TO AN APPROVED LOCATION.
- CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORKING DAY.
- IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING TRAIL OR ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
- CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
- CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH OR APPROPRIATE GRAVEL/ASPHALT REPAIR.

UTILITY NOTIFICATION

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. THE LAW REQUIRES PRIOR TO EXCAVATION THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777

SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES

- ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", "SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY), UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY. NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION (AS APPLICABLE).
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

PERMANENT SEEDING SUMMARY

HARDNESS ZONE (FROM FIGURE B.3): 6-b				FERTILIZER RATE (10-20-20)			LIME RATE
No.	SPECIES	APPLICATION RATE (LB./AC.)	SEEDING DATES	SEEDING DEPTHS (INCHES)	N	P205	
6	TALL FESCUE (95%)	40	MAR. 1-MAY 15 AUG. 1-OCT. 15	1" - 2"	45 lb./ac. (1.0 lb./1,000 sq. ft.)	90 lb./ac. (2 lb./1,000 sq. ft.)	90 lb./ac. (2 lb./1,000 sq. ft.)
	PERENNIAL RYEGRASS (10%)	25	MAR. 1-MAY 15 AUG. 1-OCT. 15	1" - 2"			
	WHITE CLOVER (5%)	5	MAR. 1-MAY 15 AUG. 1-OCT. 15	1" - 2"			

TEMPORARY SEEDING SUMMARY

HARDNESS ZONE (FROM FIGURE B.3): 6-b				FERTILIZER RATE (10-20-20)			LIME RATE
No.	SPECIES	APPLICATION RATE (LB./AC.)	SEEDING DATES	SEEDING DEPTHS (INCHES)	N	P205	
	BARLEY (HORDEUM VULGARE)	96 lb./ac. 2.2 lb./1000 s.f.	MAR. 1 - MAY 15 AUG. 1 - OCT. 15	1.0	436 lb./ac. (10 lb./1,000 sq. ft.)	436 lb./ac. (10 lb./1,000 sq. ft.)	2 tons/ac. (90 lb./1,000 sq. ft.)

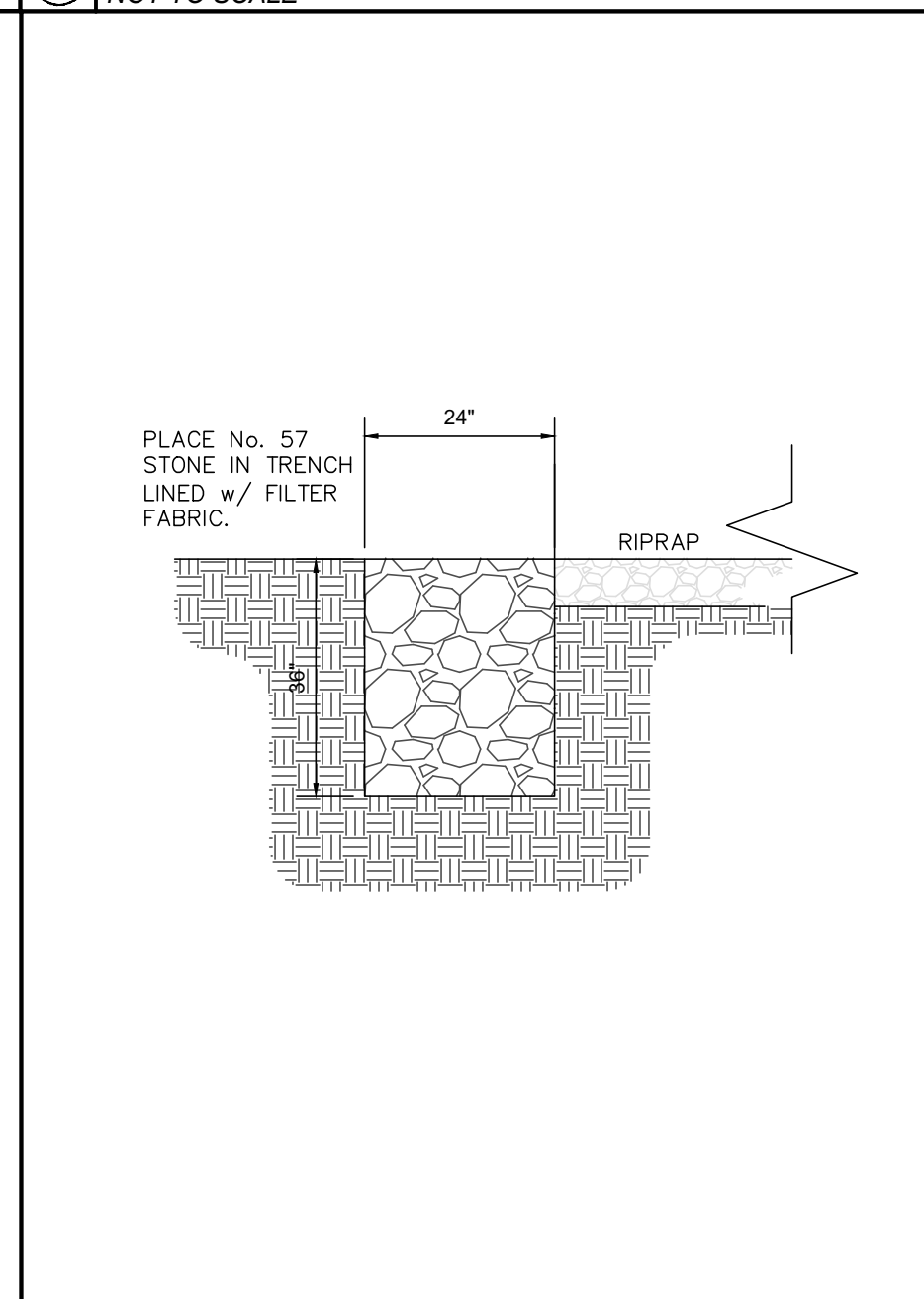
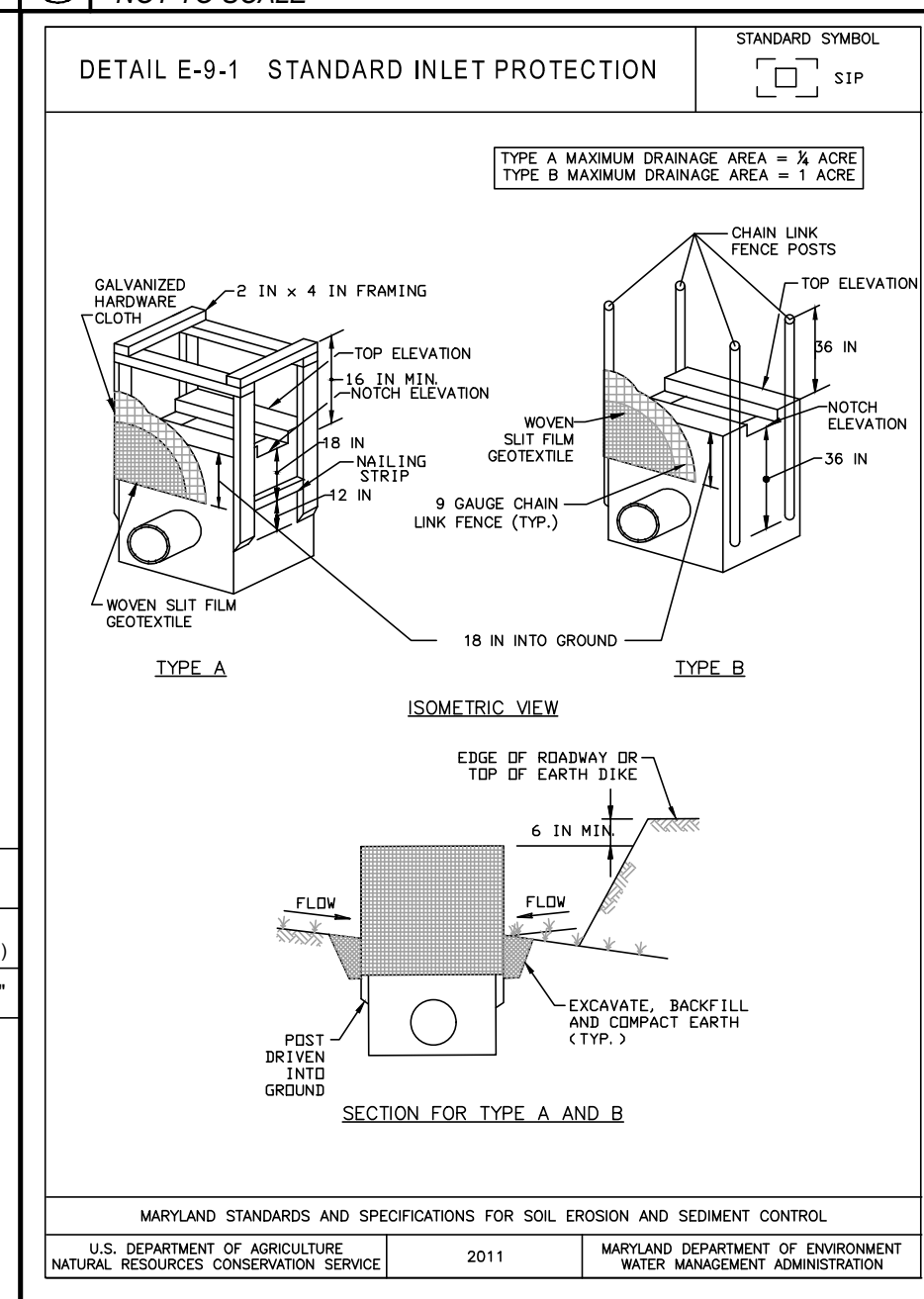
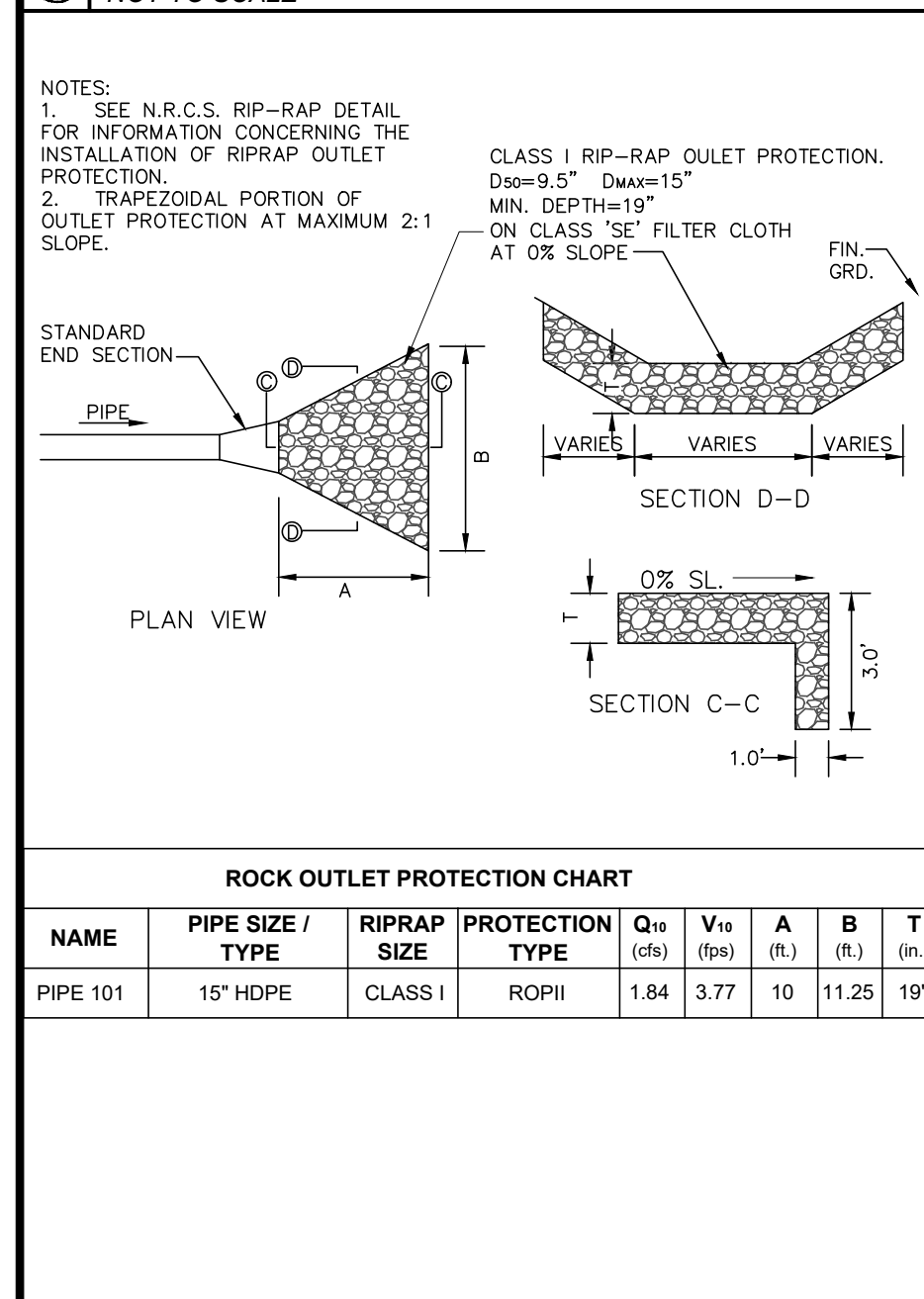
1	STABILIZED CONSTRUCTION ENTRANCE	NOT TO SCALE
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2	SILT FENCE	NOT TO SCALE
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3	STANDARD UTILITY NOTES & UTILITY NOTIFICATION	NOT TO SCALE
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4	SEDIMENT AND EROSION CONTROL NOTES	NOT TO SCALE
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5	PERMANENT AND TEMPORARY SEEDING NOTES	NOT TO SCALE
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6	ROCK OUTLET PROTECTION	NOT TO SCALE
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7	STANDARD INLET PROTECTION	NOT TO SCALE
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8	STONE DIAPHRAGM DETAIL	NOT TO SCALE
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SEQUENCE OF CONSTRUCTION

- NOTIFICATION**
 - FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 TO SCHEDULE A PRE-CONSTRUCTION MEETING.
 - NOTIFY THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2400.
 - NOTIFY TRIAD ENGINEERING, INC. OF PRE-CONSTRUCTION MEETING TIME AND DATE - (301) 797-6400.
 - CONTRACTOR SHALL NOTIFY MISS UTILITY AT (800) 257-777 A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- INITIAL STABILIZATION**
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE).
 - INSTALL PERIMETER CONTROLS: SILT FENCE AS SHOWN PER PLANS. (SAWCUT EXISTING PAVING AS NECESSARY WITHIN PROJECT SITE AND REMOVE TO INSTALL SILT FENCE, AS PER PLANS.)
 - CLEAR, GRUB AND STRIP TOPSOIL FROM SITE AND PLACE IN STOCKPILE AREA. INSTALL SILT FENCE ALONG DOWNHILL SLOPE OF STOCKPILE AND TEMPORARILY SEED IN ACCORDANCE WITH STABILIZATION SPECIFICATIONS WITHIN 3 CALENDAR DAYS. NOTE: ANY SPOIL AND/OR BORROW, MUST COME FROM AND/OR GO TO A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.
- BUILDING DEMOLITION, INTERIM GRADING AND CONSTRUCTION**
 - DEMOLISH EXISTING BUILDING. ALL MATERIAL FROM DEMOLITION MUST BE TAKEN TO AN APPROVED DISPOSAL SITE.
 - ROUGH GRADE SITE AND STABILIZE WITH TEMPORARY SEED AND MULCH IN ACCORDANCE WITH STABILIZATION SPECIFICATIONS WITHIN 3 CALENDAR DAYS.
 - STARTING DOWNSTREAM AND WORKING UPSTREAM INSTALL PIPE 101, ES-100, MH-100, PIPE 200 AND I-200. INSTALL RIP RAP OUTLET PROTECTION AT PIPE 101. INSTALL STONE DIAPHRAGM. INSTALL PIPE 100 AND I-100. PLACE INLET PROTECTION AT EACH INLET.
 - EXISTING CISTERN TO BE ABANDONED BY CERTIFIED WELL INSTALLER.
 - EXCAVATE AND INSTALL UTILITIES. REMOVE/RELOCATE EXISTING UTILITY POLE AND OVERHEAD UTILITY LINES.
 - CONSTRUCT BUILDING.
 - GRADE PARKING LOT AREAS AND STABILIZE WITH STONE.
 - INSTALL CONCRETE CURB AND SIDEWALK.
 - CONSTRUCT CONCRETE DUMPSTER PAD.
 - PAVE PARKING LOT.
 - INSTALL FENCING AND LANDSCAPING.
 - FINE GRADE SITE AND STABILIZE WITH PERMANENT SEED AND MULCH.
- FINAL CONSTRUCTION (STORMWATER MANAGEMENT FACILITIES)**
 - ONCE SITE IS STABILIZED, NOTIFY WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 AND THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT (240) 313-2400 OF INTENT TO PERFORM SWM WATER QUALITY WORK 5 DAYS PRIOR TO CONSTRUCTION.
 - WITH NOTICE TO PROCEED EXCAVATE SWM BIO-RETENTION FACILITY.
 - INSTALL FILTER MATERIALS, UNDERDRAIN, PLANTING SOILS, AND STONE. STABILIZE BIO RETENTION AREA WITH EROSION CONTROL MATTING, PLANTING AND MULCH AS SHOWN ON PLANS.
 - STABILIZE, SEED AND MULCH ANY REMAINING DISTURBED AREAS.
- SITE CLOSEOUT**
 - WITH THE ENTIRE SITE FINAL GRADED AND 95% OVERALL VEGETATIVE COVER IN PLACE, NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 (EXT. 3) AND THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT (240) 313-2400 AT LEAST 5 DAYS PRIOR TO THE REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL FEATURES, TO SCHEDULE A FINAL SITE CLOSE-OUT REVIEW MEETING. (VEGETATION MUST MEET THE 95% OVERALL STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PRIOR TO SCHEDULING SAID MEETING.)
 - UPON APPROVAL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, REMOVE ALL SEDIMENT CONTROL DEVICES. STABILIZE, SEED AND MULCH ANY AREAS DISTURBED DURING CONTROL REMOVAL.

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424

DATE	3-22-2024
REV.#	1
DESCRIPTION	PER WASH. CO. ENGINEERING PLAN REVIEW COMMENTS

CADD FILE:	CHECKED BY:	SCALE:
	BUS	NTS
DRAWN BY:	DATE:	
STAFF	01-05-2023	

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59438 EXPIRATION DATE: 05-25-2024

02-14-2023

OBIDI HOLDINGS, LLC.
 13316 MARSH PIKE
 HAGERSTOWN, MD. 21742

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

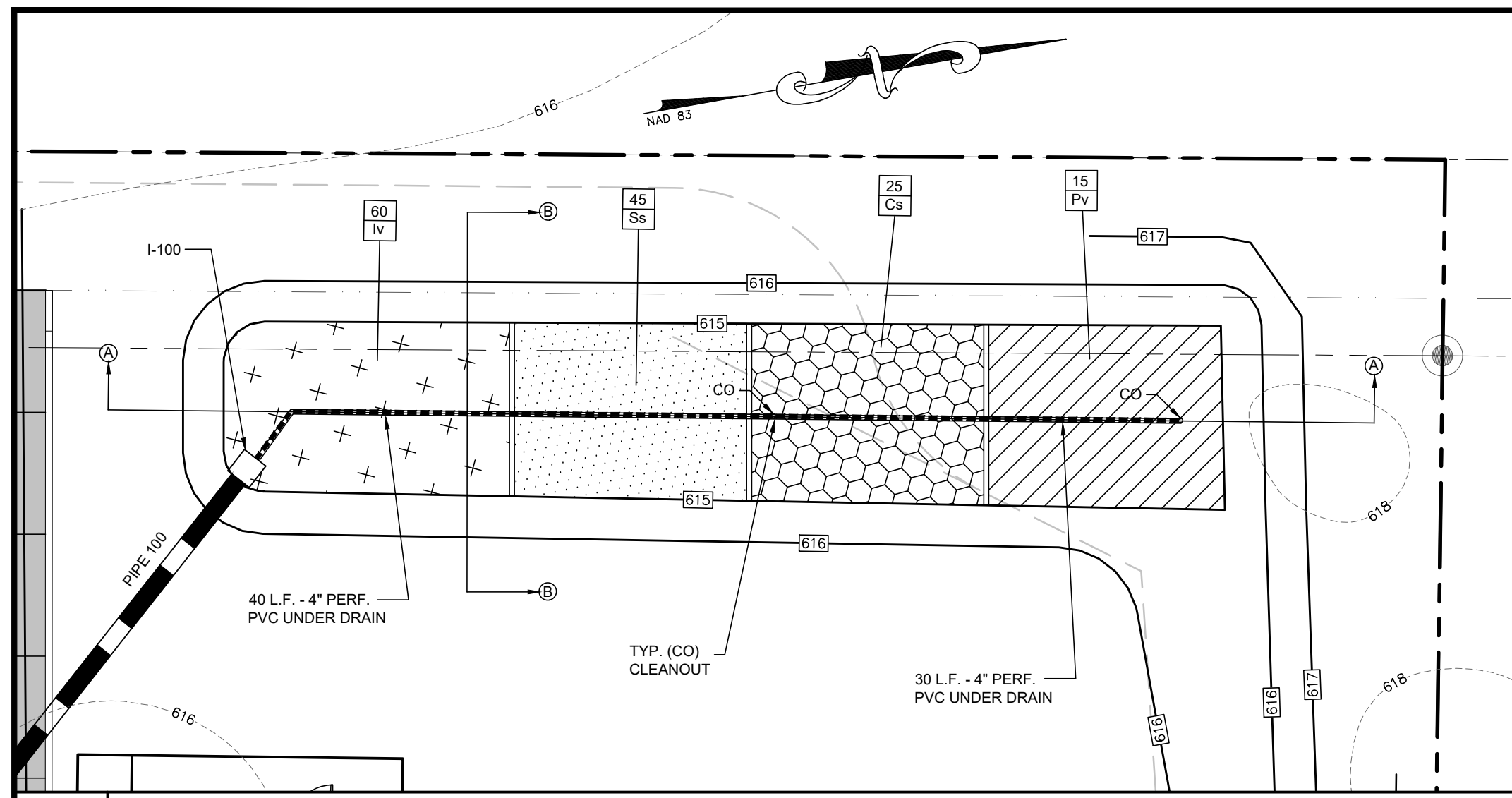
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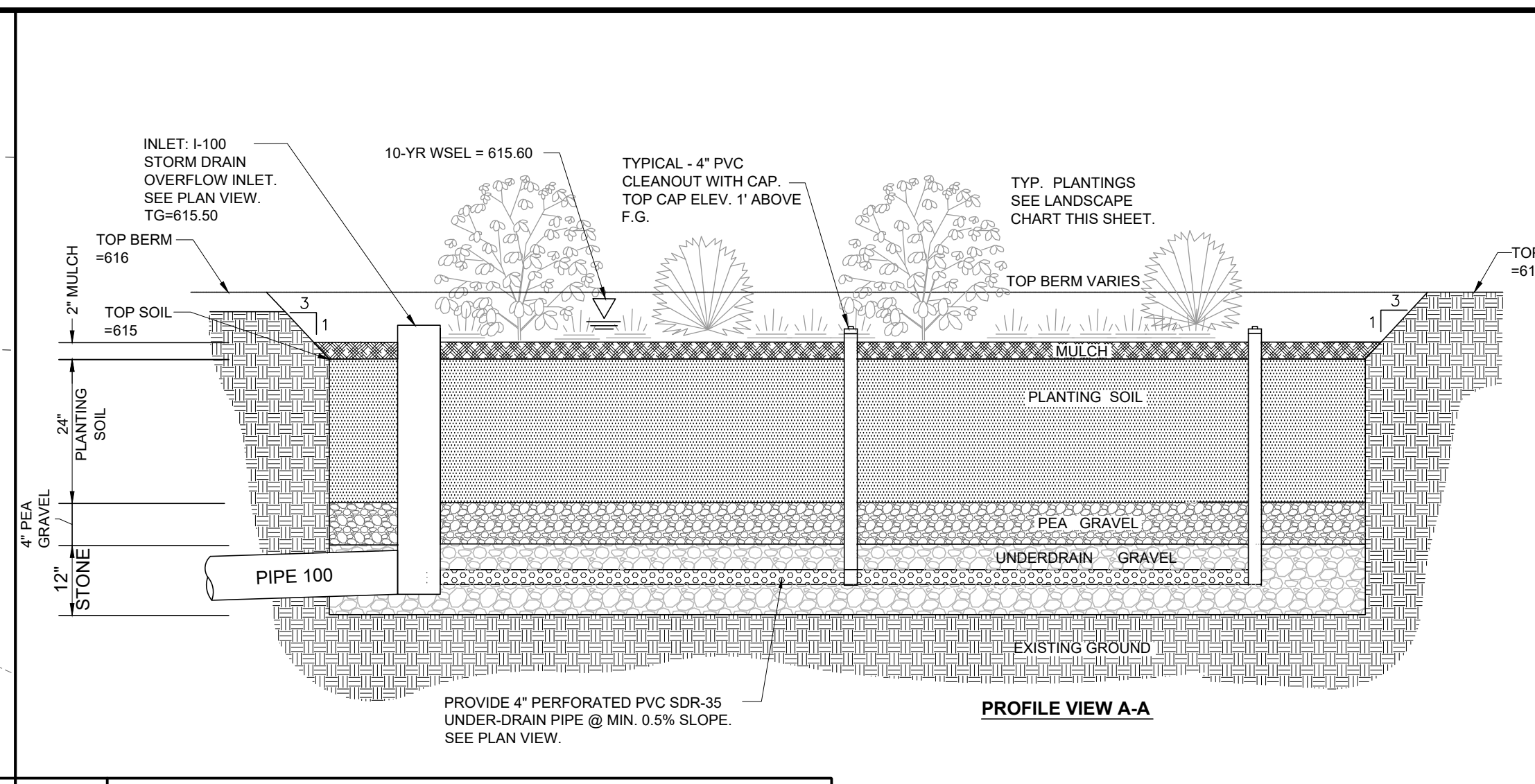
SHEET NUMBER:
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COUNTY REFERENCE NO. SP-23-005 JOB NO.: 03-22-0877

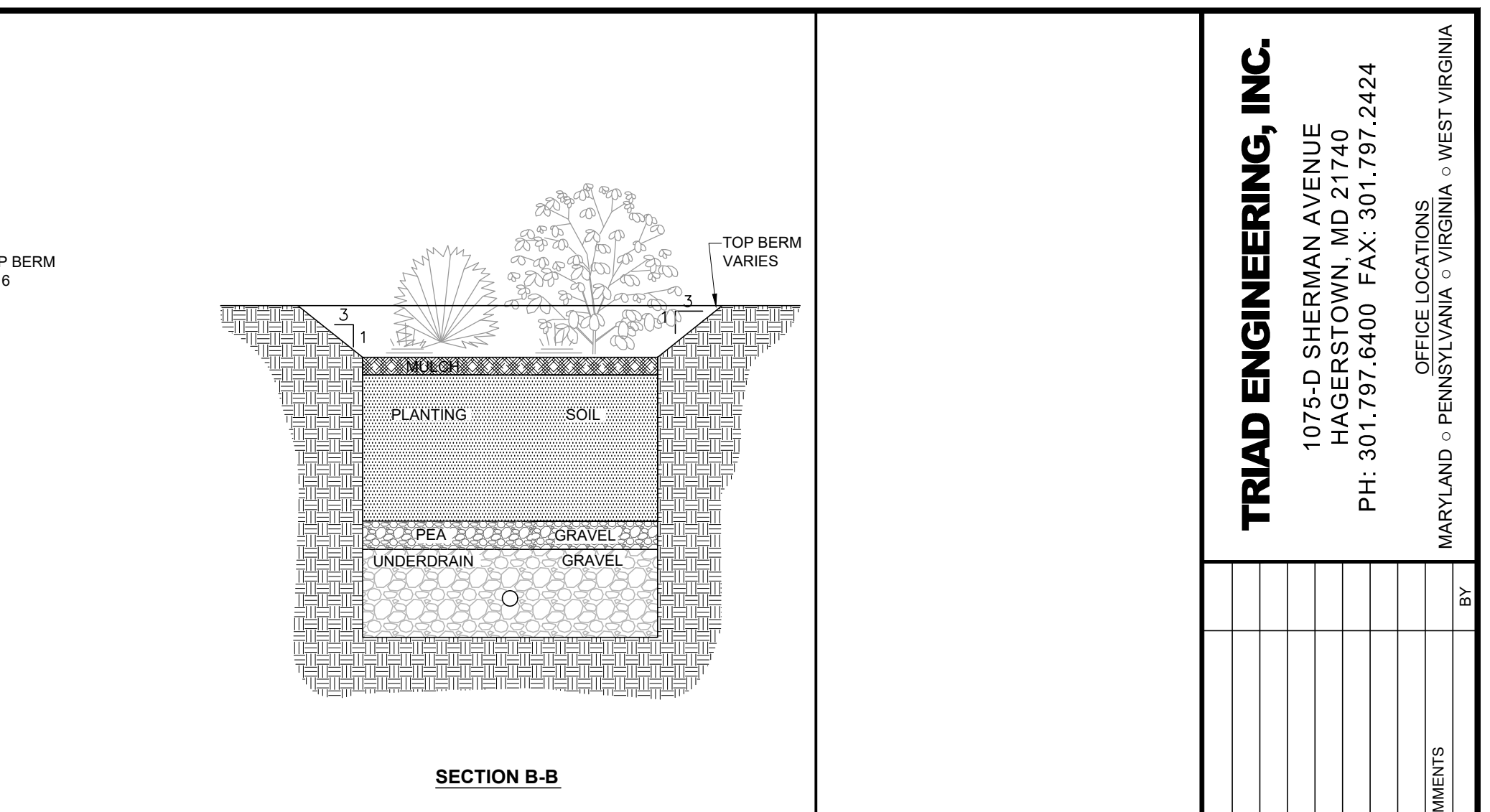
OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI



1 BIORETENTION 1 PLAN VIEW
SCALE: 1" = 10'



2 BIORETENTION AREA #1 - TYPICAL SECTION DETAIL
NTS



SECTION B-B

NOTE:
CONTRACTOR MUST MINIMIZE COMPACTION WITHIN BIORETENTION AREAS. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL AND TO PLACE REQUIRED MATERIAL TO CONSTRUCT BIORETENTION AREAS.

MICRO-BIORETENTION SIZING CHART				
BMP NUMBER	PROVIDED		AS-BUILT	
	ESD Vol. (cf.)	Af (sf.)	ESD Vol. (cf.)	Af (sf.)
BIO-1	2,256	1,350		

LANDSCAPE SCHEDULE BMP M-6 MICRO BIORETENTION NO. BIO-5					
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY	SPACING
	TUSSOCK SEDGE	CAREX STRICTA	#1	25	3ft Stag. 0/C
	BLUE FLAG	IRIS VERSICOLOR	#1	60	2ft. Stag. 0/C
	BLUE SWITCHGRASS	Panicum virgatum 'Heavy Metal'	#1	15	4ft. Stag. 0/C
	GOLDEROD	Solidago speciosa	#1	45	2ft. Stag. 0/C

B.4.C Specifications for Micro-Bioretention, Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications
The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil
The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretention practices that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.
The planting soil shall be tested and shall meet the following criteria:
Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
Clay Content - Media shall have a clay content of less than 5%.
pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.
There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction
It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure. Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsolier. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.
Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.
When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.
When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material
Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation
Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.
Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.
Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.
Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.
The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defaults, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains
Underdrains should meet the following criteria:
• Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer.
• The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
• Perforations - If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row.
• Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.
• Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
• The main collector pipe shall be at a minimum 0.5% slope.
• A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
• A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24". The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous
These practices may not be constructed until all contributing drainage area has been stabilized.

APPENDIX B.4. CONSTRUCTION SPECIFICATIONS FOR ENVIRONMENTAL SITE DESIGN PRACTICES

TABLE B.4.1 MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDENS & LANDSCAPE INFILTRATION

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2' to 4' deep)	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel	pea gravel: ASTM-D-448	No. 8 or No. 9 (1/2" to 3/4")	
* Curtain drain/gravel slopes/diaphragm	AASHTO M-43	No. 57 or No. 6 aggregate (3/4" to 2")	
Geotextile	n/a		PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	No. 57 or No. 6 aggregate (3/4" to 2")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR 35	Slotted or perforated pipe 1/2" perf. @ 6" on center, 4 holes per row, minimum of 3' of gravel over pipes, not necessary underneath pipes. Perforated pipe shall be wrapped with 1-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; Fc = 3500 psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-61 5-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast). <i>Not using previously approved State or local standards requires design drawings sealed by a professional and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.1R89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking</i>
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Gneiss (AASHTO #10) are not acceptable. No calcium carbonated or diatomic sand substitutions are acceptable. No "rook dust" can be used for sand.

* Revised per Washington County Land Development Engineering

MAINTENANCE SCHEDULE

INSPECTION ITEM	FREQUENCY
SOIL	
Inspect and Repair Erosion Damage	Once a Month
Inspect and Repair Rodent/Pest Damage	Once a Month
Repair, Reseed and Remulch Disturbed Areas	As Required
STRUCTURE	
Inspect Outlet Pipe and Riser Structure/Weir Wall	Twice Yearly
PLANTINGS	
Water Grass	Once a Day for the First 14 Days
Remove Invasive Plants/Weeds/Trees	As Needed
Mow Berm and Impound Area	Minimum Once a Month During Season

NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES (FOR ALL BIORETENTION AREAS AND MICRO-BIORETENTION AREAS)

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area of sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.		
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.		
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location size, and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3' gravel cover.		
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.		
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.		
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers		

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance.

OPERATION AND MAINTENANCE PLAN - BIORETENTION

INSPECTION ITEM	INSPECTION REQUIREMENTS	REMEDIAL ACTION
Maintenance Access		
General	Check for accessibility to facility; excessive vegetation; surface stability	Repair erosion and maintain access surface in good condition
Pretreatment		
Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
Optional sand layer	Check sand for staining and sediment accumulation	If contaminated, replace first three inches of sand layer
Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
Mulch layer	Check for a (2-3) inch mulch layer	Remove mulch and replace as needed
Filter Bed		
Dewatering	Check for dewatering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top (3-6) inches of soil/sediment and replace with suitable materials per plan specifications; follow up inspections shall confirm adequate dewatering; contact the plan approval authority if the facility does not function as intended
Sediment	Check for sediment accumulation	Remove sediment as needed
Mulch layer	Check for adequate cover; sediment accumulation; discoloration	Remove and replace mulch and excess sediment as needed
Vegetation	Check for plant composition according to approved plans; invasive species, weeds and dead or dying vegetation	Remove and replace plants as necessary
Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds and dead or dying vegetation	Remove and replace plants as necessary
Vegetative cover/erosion	Check for erosion, runoff channelizing or bare spots	Repair/grade and stabilize as needed
Outlets		
Underdrain system	Check outlet end to ensure that discharge is not obstructed; check for erosion	Remove any flow obstructions; grade and stabilize any eroded areas to provide stable conveyance
Overflow spillway	Check for displacement of rip-rap, stable conveyance and erosion below the outlet	Repair and replace as needed
Conveyance Systems		
General	Check for erosion, flow blockages or bypass and stable conveyance	Repair/replace and stabilize as needed
Flow diversion	Check flow splitter for proper functioning	Repair as necessary
Trash and Debris		
	Check for trash and debris accumulation	Trash and debris shall be disposed of in an acceptable manner
Structural Components		
	Check for structural deterioration, spalling or cracking	Repair according to specifications on the approved plans

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

3 BIORETENTION, RAIN GARDEN AND INFILTRATION NOTES, MAINTENANCE AND INSPECTIONS
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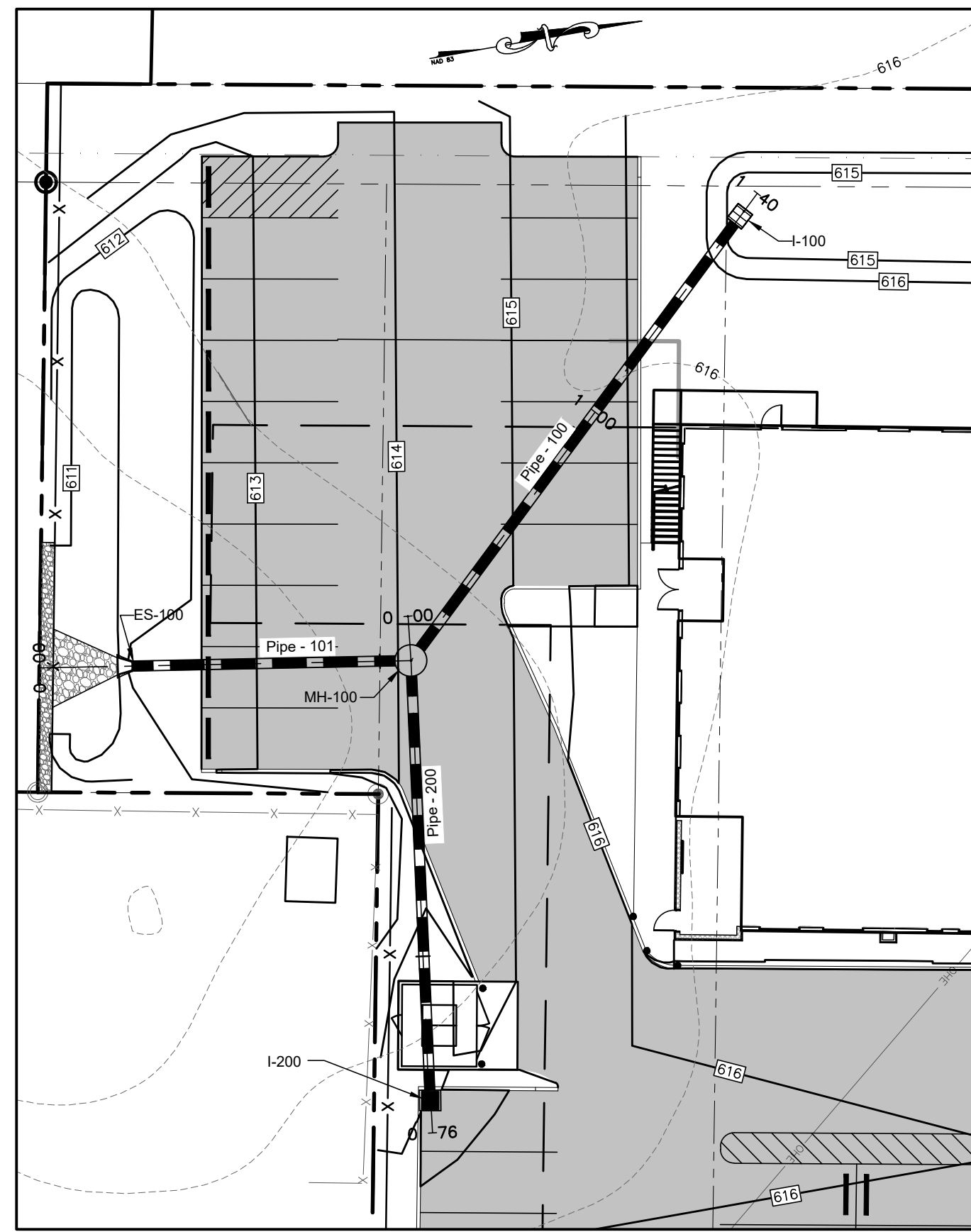
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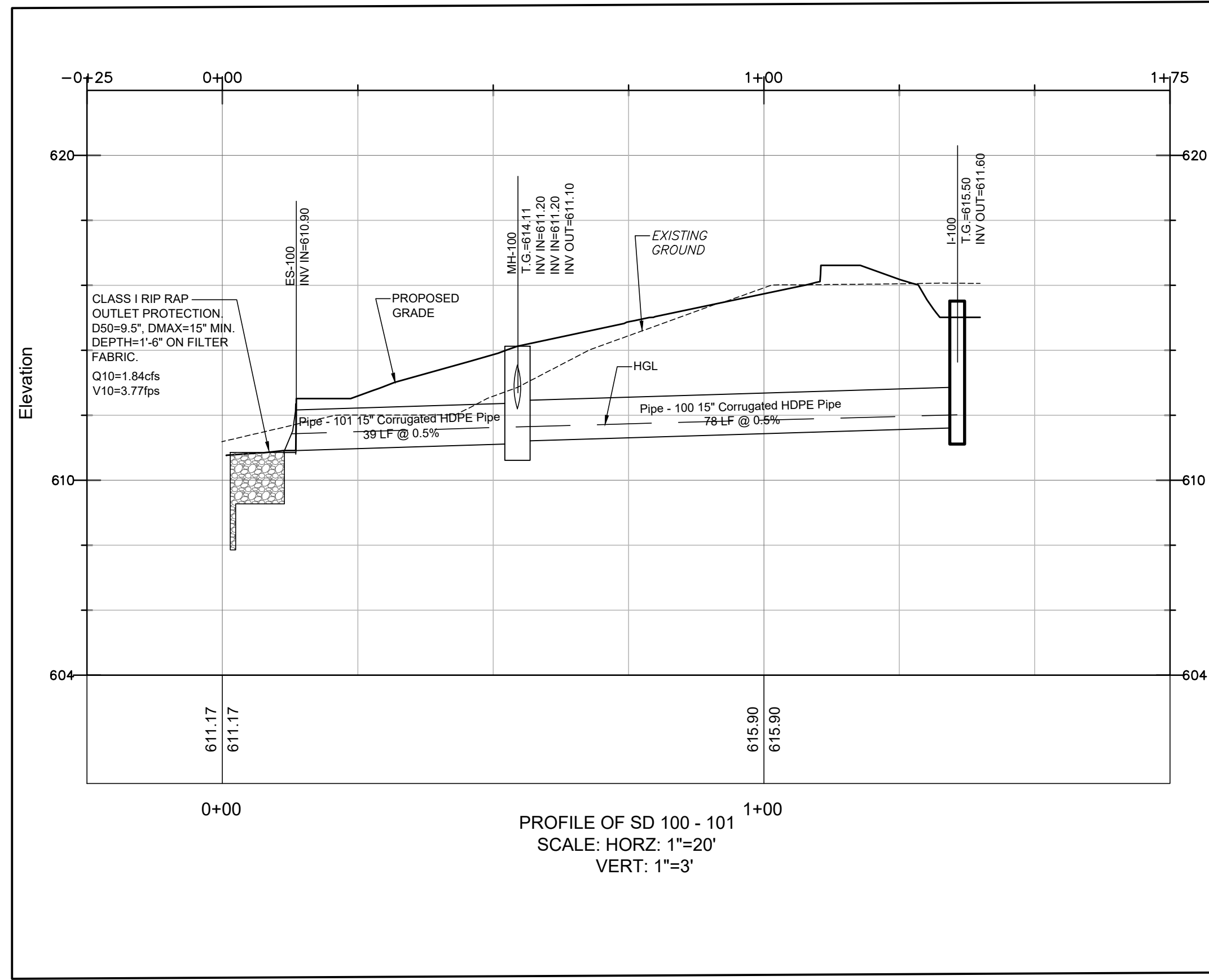
STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
ZONING: RS
TAX MAP: 0025
PARCEL: 0128
ELEC DIST.: 27

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SHEET NUMBER:
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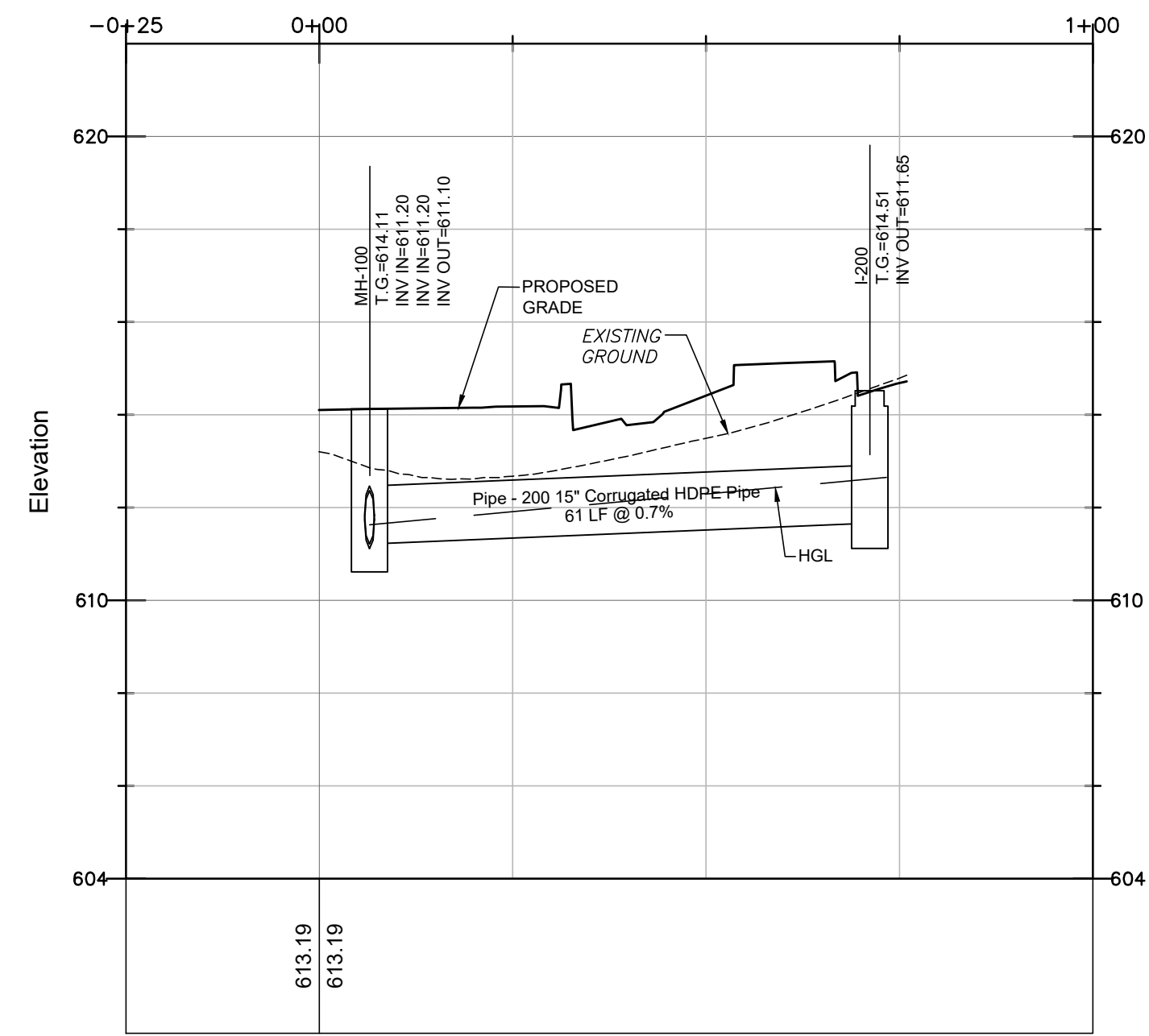
COUNTY REFERENCE NO. SP-23-005



PLAN VIEW
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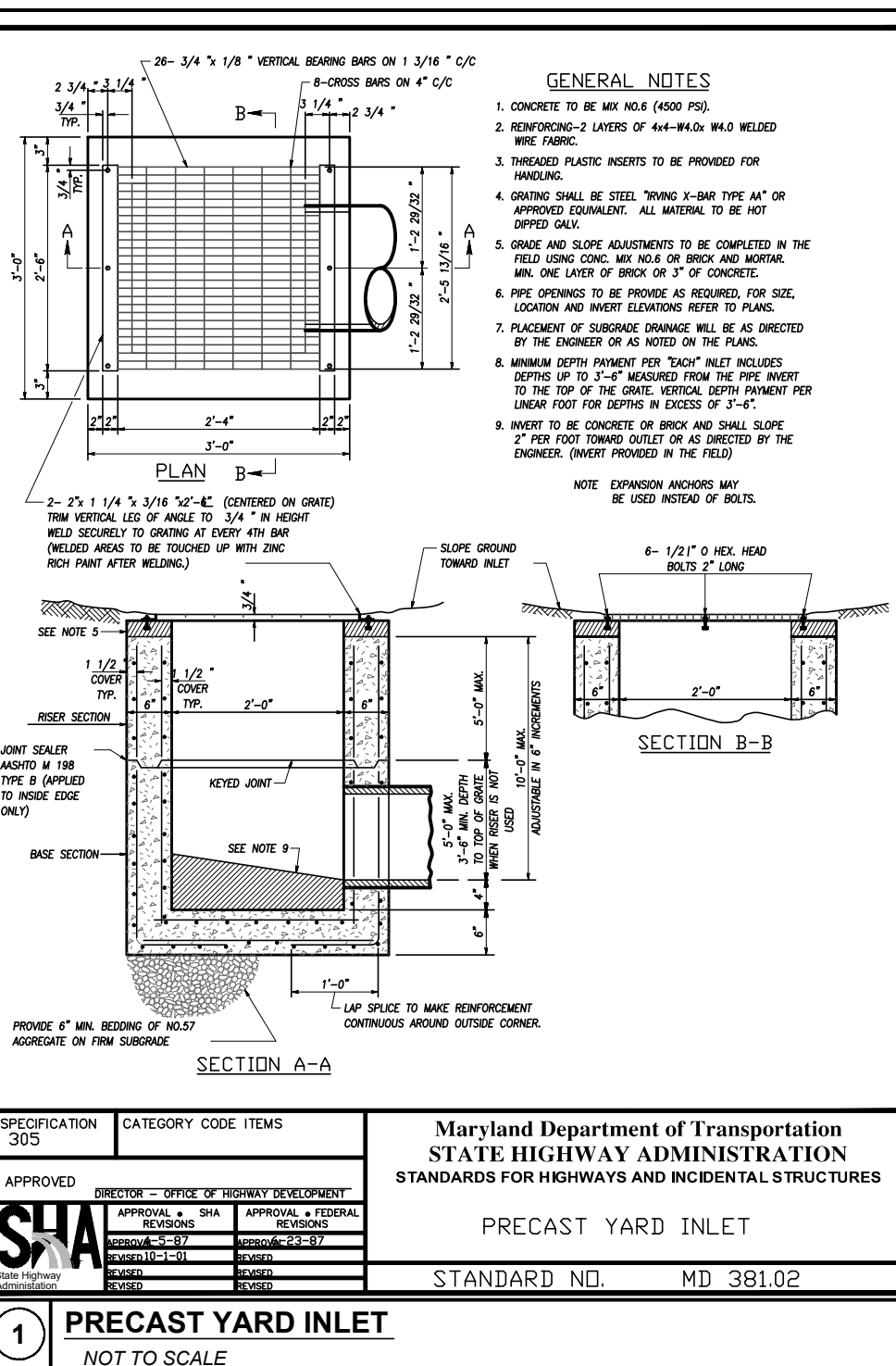
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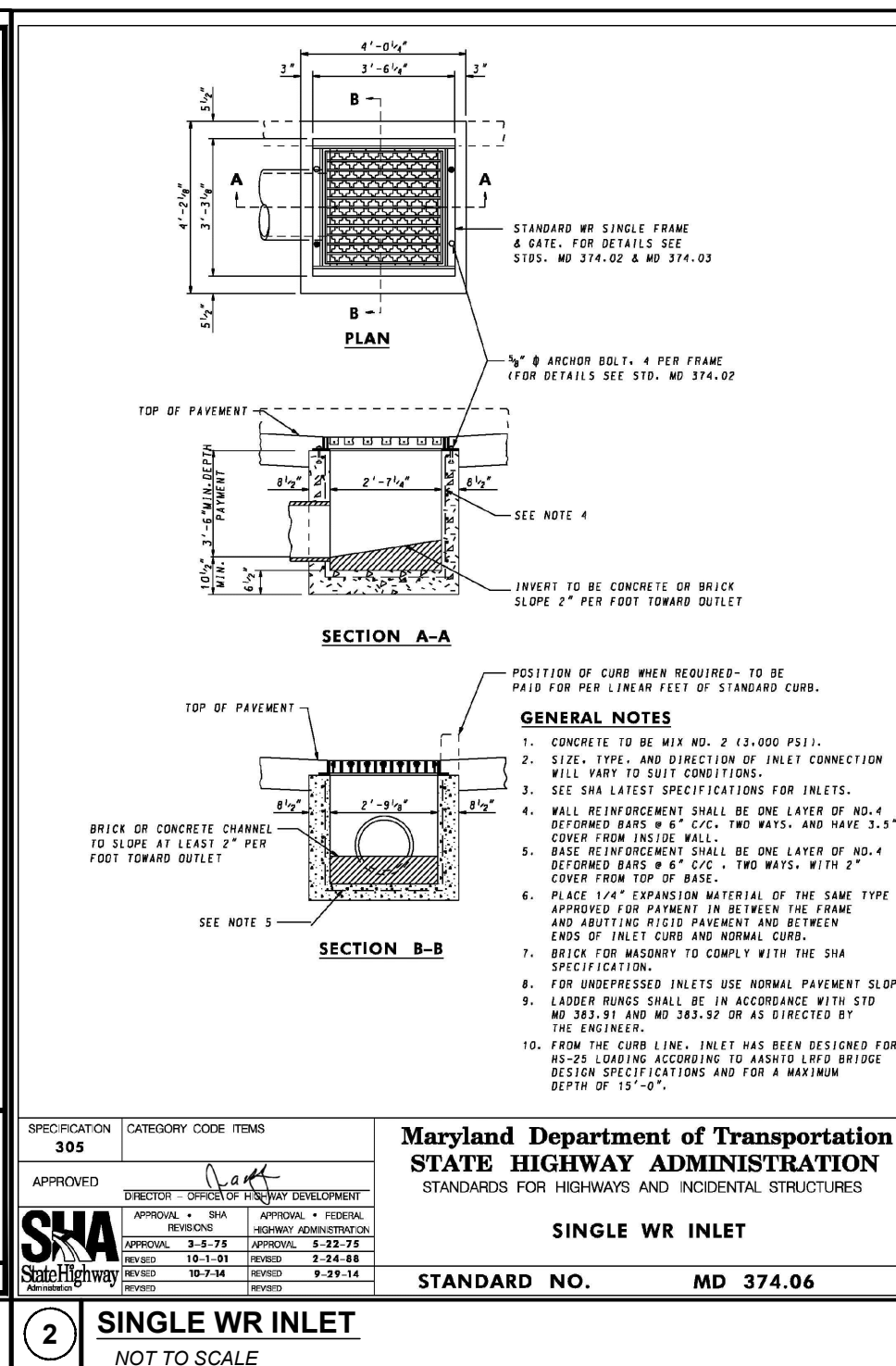
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STRUCTURE TABLE				
STRUCTURE NAME	DETAILS	RIM	INV IN	INV OUT
ES-100	HDPE FLARED End Section	612.34	Pipe - 101@610.90	
I-100	YARD INLET	615.50		Pipe - 100@611.60
MH-100	48" DIA. PRECAST MH	614.11	Pipe - 100@611.20	Pipe - 101@611.10
I-200	SINGLE WR INLET	614.51		Pipe - 200@611.65

Pipe Table						
NAME	SIZE	LENGTH	SLOPE	INV. IN	INV. OUT	
Pipe - 100	Corrugated HDPE Pipe	79.18'	0.51%	611.60	611.20	
Pipe - 101	Corrugated HDPE Pipe	38.93'	0.51%	611.10	610.90	
Pipe - 200	Corrugated HDPE Pipe	64.65'	0.70%	611.65	611.20	



1 PRECAST YARD INLET
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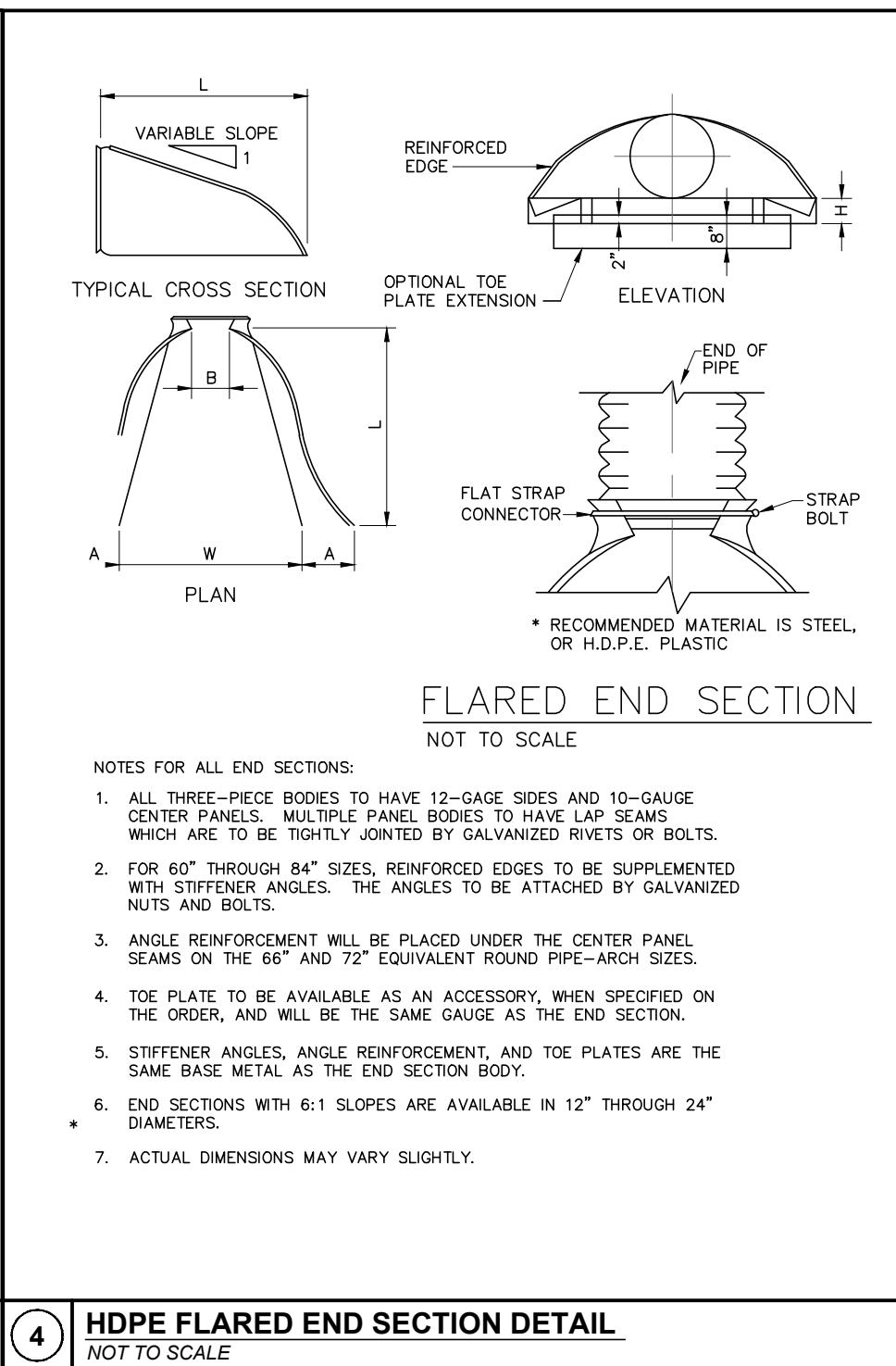


2 SINGLE WR INLET
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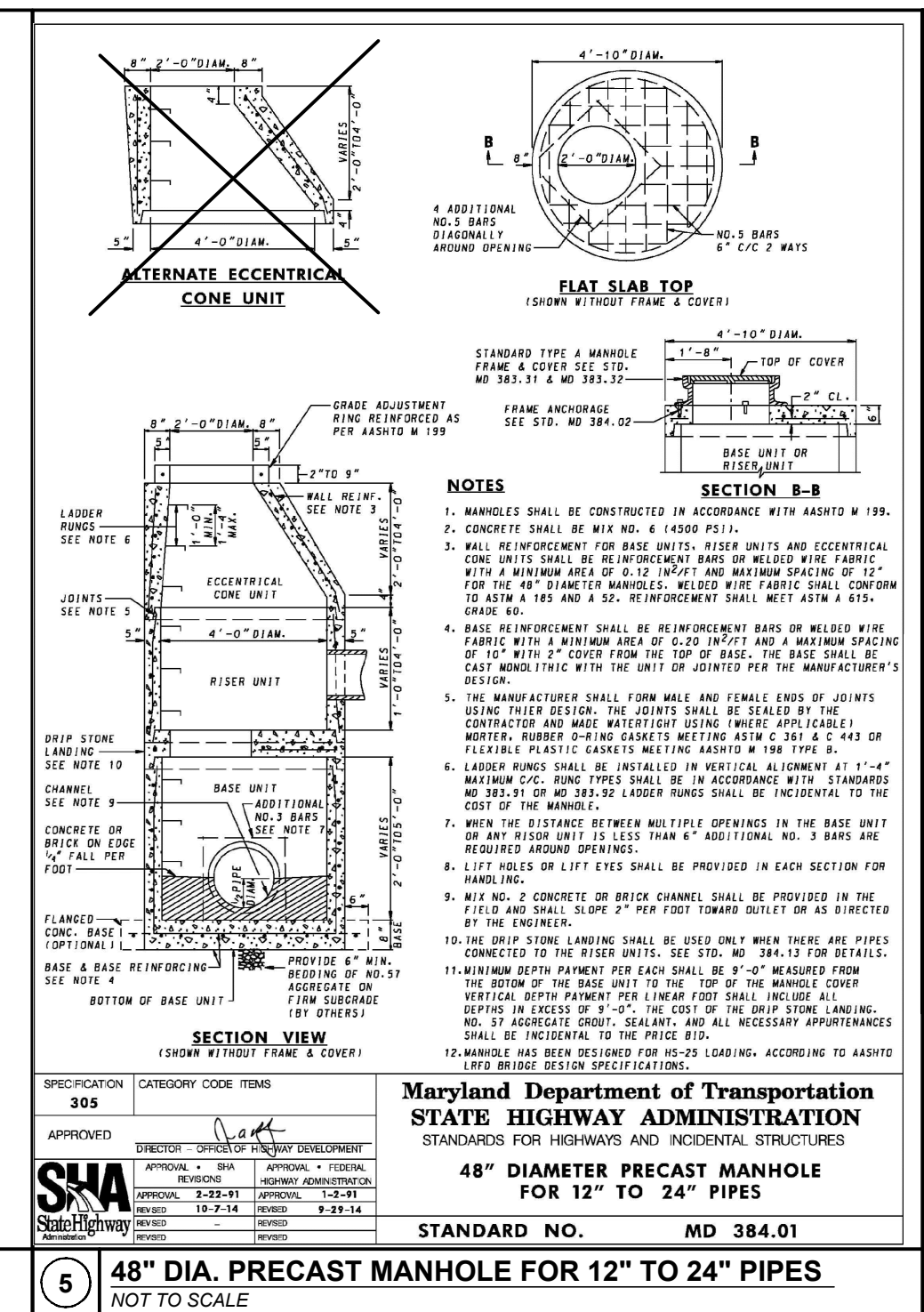
GENERAL NOTES FOR CONSTRUCTION OF ENCLOSED STORM DRAIN SYSTEMS AND CULVERTS

1. THE ENCLOSED STORM DRAIN SYSTEM AND/OR CULVERTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN SHOWN HEREON. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INFORMATION ON HOW TO PROCEED.
2. ALL PIPE JOINTS SHALL BE WATERTIGHT.
3. ALL PIPES SHALL HAVE BEDDING AND/OR BACKFILL PROVIDED IN ACCORDANCE WITH DETAILS SHOWN ON THESE PLANS.
4. ALL INLETS AND/OR MANHOLES SHALL HAVE A FLOW CHANNEL OF POURED CONCRETE THAT IS FLUSH WITH ALL INCOMING AND OUTGOING PIPES. FLOW CHANNEL SHALL HAVE A SMOOTH TROWELED OR BRUSHED FINISH.
5. ALL JOINTS BETWEEN PIPES AND INLET BOXES AND/OR MANHOLES SHALL BE GROUTED WITH NONSHRINKING GROUT SO AS TO PRODUCE A WATERTIGHT JOINT.
6. ALL PRECAST INLETS/MANHOLES SHALL BE MANUFACTURED IN ACCORDANCE WITH THE SPECIFICATIONS LISTED ON THE PLANS.
7. ALL GRATE FRAMES AND/OR MANHOLE LID FRAMES SHALL BE SECURELY FASTENED TO THE TOP OF THE INLET BOX/MANHOLE WITH 1/2" DIA. BOLTS AND THREADED METAL ANCHORS.
8. ALL INLET GRATES AND MANHOLE LIDS AND THEIR RESPECTIVE FRAMES THAT ARE TO BE PLACED IN PAVED OR TRAFFIC AREAS SHALL BE TRAFFIC BEARING.
9. ALL INLET GRATES SHALL BE RETICULAR GRATES UNLESS OTHERWISE APPROVED BY THE CONSULTING ENGINEER AND THE APPROPRIATE GOVERNMENT REVIEW AGENCY.
10. ALL CONCRETE USED IN CONSTRUCTION OF ENCLOSED STORM DRAIN SYSTEM SHALL HAVE MIN. $f_c = 3000$ PSI AT 28 DAYS OR AS MANDATED BY A SPECIFICATION FOR A PARTICULAR COMPONENT OF THE SYSTEM, WHICHEVER IS MORE STRINGENT.
11. INSTALLATION OF HIGH DENSITY POLYETHYLENE (H.D.P.E.) PIPE SHALL BE IN ACCORDANCE WITH ASTM D-2321 WITH THE EXCEPTION THAT THE MINIMUM COVER SHALL BE 1.0 FT.
12. JOINTS BETWEEN SECTIONS OF HIGH DENSITY POLYETHYLENE (H.D.P.E.) PIPE SHALL BE AS PROVIDED BY THE MANUFACTURER. ALL JOINTS SHALL BE WATERTIGHT.
13. ALL HIGH DENSITY POLYETHYLENE (H.D.P.E.) PIPES SHALL BE SMOOTHBORE H.D.P.E. AASHTO M294 TYPE 'S' OR APPROVED EQUAL.

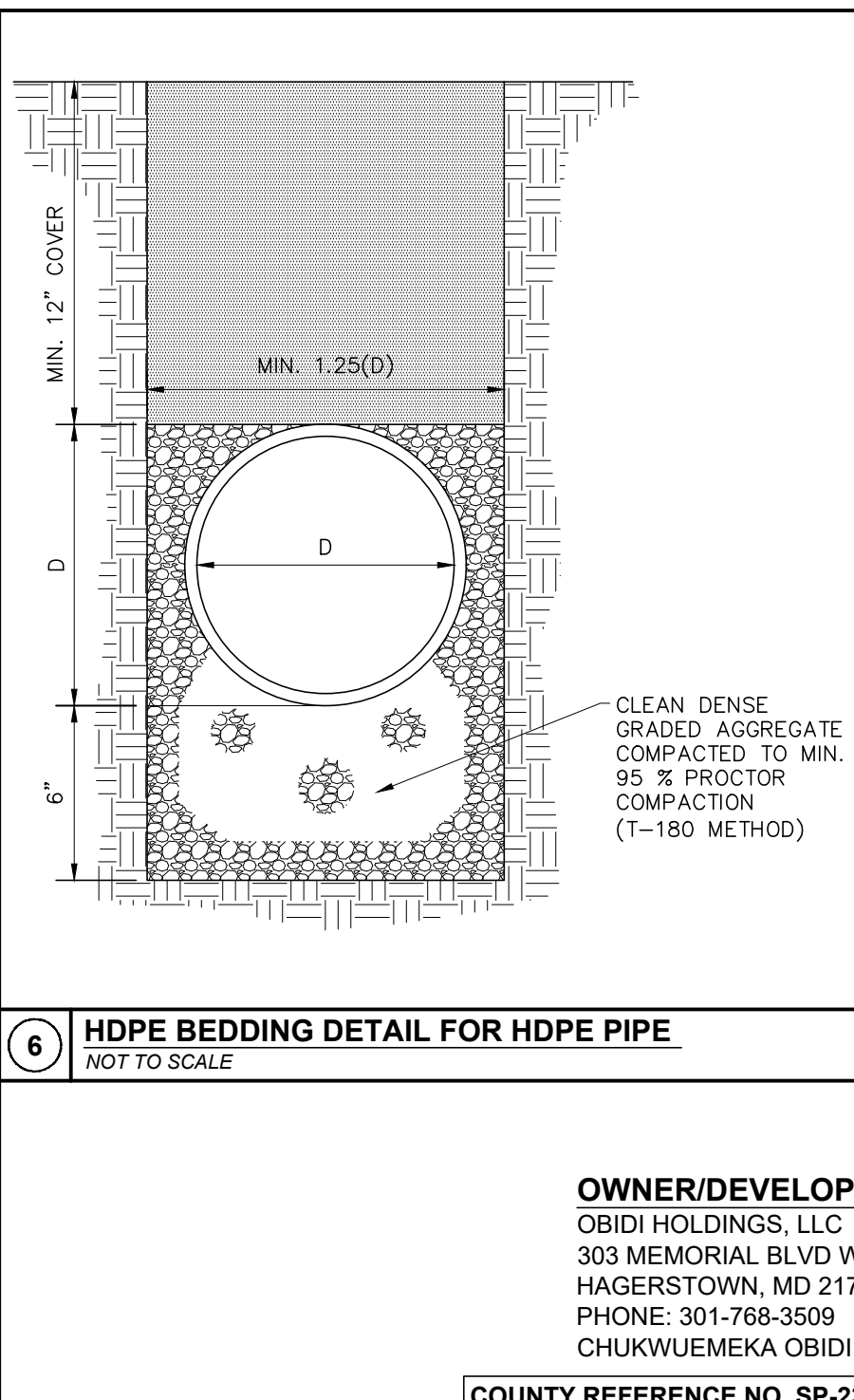
3 ENCLOSED STORM DRAIN NOTES
NOT TO SCALE



4 HDPE FLARED END SECTION DETAIL
NOT TO SCALE



5 48" DIA. PRECAST MANHOLE FOR 12" TO 24" PIPES
NOT TO SCALE

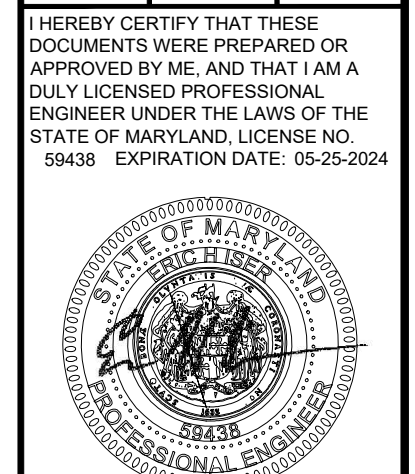


6 HDPE BEDDING DETAIL FOR HDPE PIPE
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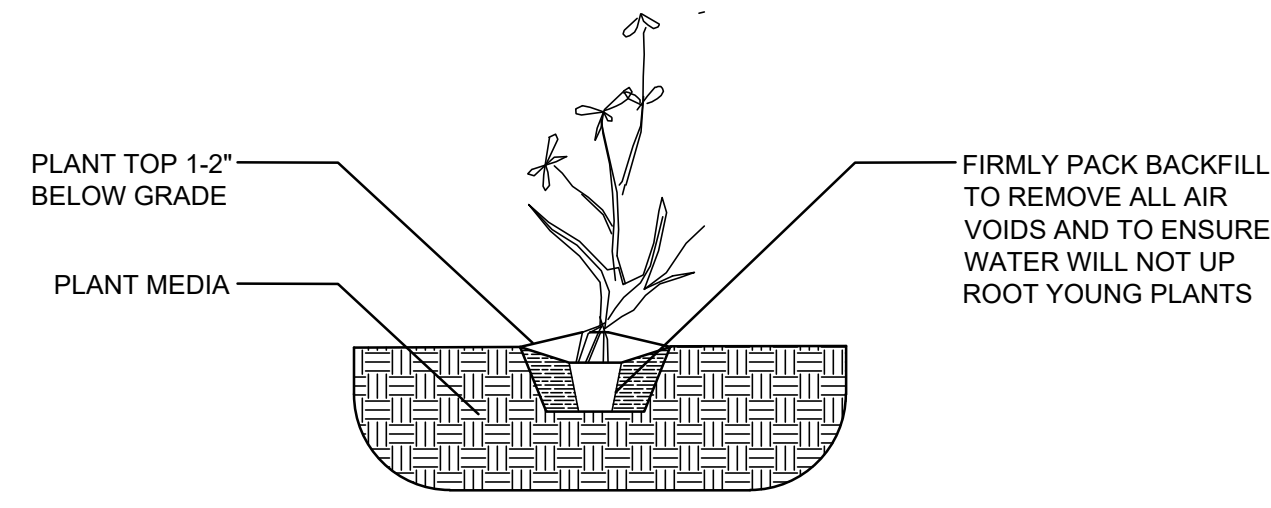
02-14-2023

SITE PLAN FOR OBIDI HOLDINGS, LLC.
13316 MARSH PIKE
HAGERSTOWN, MD. 21742
STORM DRAIN PLAN AND PROFILE, NOTES AND DETAILS
ZONING: RS WATERSEWER CODE: 02-140502 PARCEL: 0128 ELEC DIST: 27
GRID: 0019 TAX MAP: 0025

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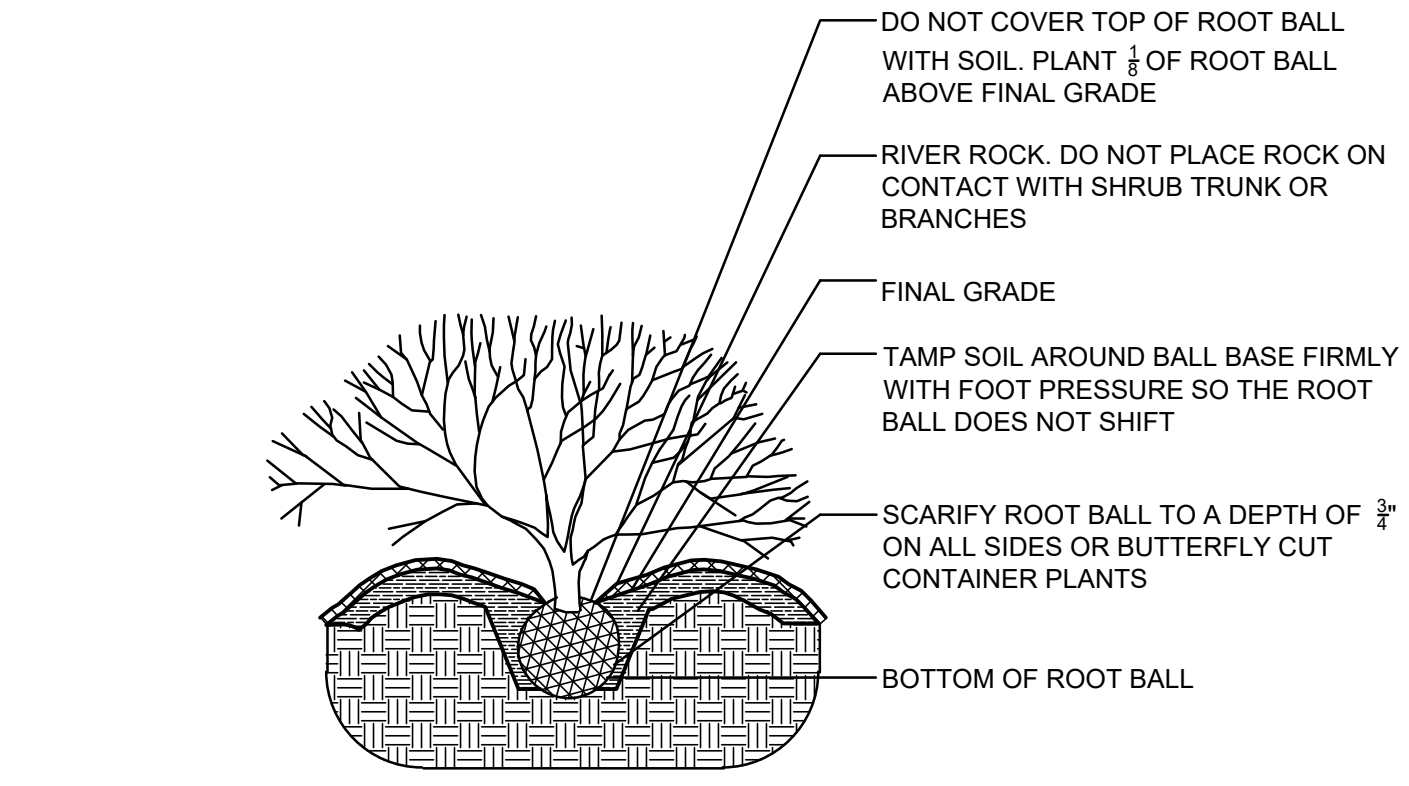
COUNTY REFERENCE NO. SP-23-005



HERBACEOUS PLANTING DETAIL

NOT TO SCALE

PLANT SCHEDULE											
SYMB.	KEY	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE (MIN.)	MATURE HEIGHT	MATURE SPREAD	NATIVE STATUS	DROUGHT TOL. RATING	SPACING	REMARKS
EVERGREEN TREES											
Pa		3	<i>Picea abies</i>	Norway Spruce	8' height	40' - 60'	25' - 30'	Y	GOOD	N/A	B & B
Tc		4	<i>Tsuga canadensis</i>	Eastern Hemlock	8' height	40' - 70'	25' - 35'	Y	GOOD	N/A	B & B
SHRUBS											
Vd		8	<i>Viburnum dentatum</i>	Arrowwood Viburnum	24" ht.	6' - 10'	6' - 10'	Y	GOOD	N/A	CONTAINER
Ig		26	<i>Ilex glabra</i>	Inkberry	24" ht.	5' - 8'	5' - 8'	Y	GOOD	N/A	CONTAINER
Iv		28	<i>Itea virginiana</i> 'Little Henry'	Little Henry Sweetpire	18" ht.	18" - 24"	2' - 3'	Y	GOOD	N/A	CONTAINER

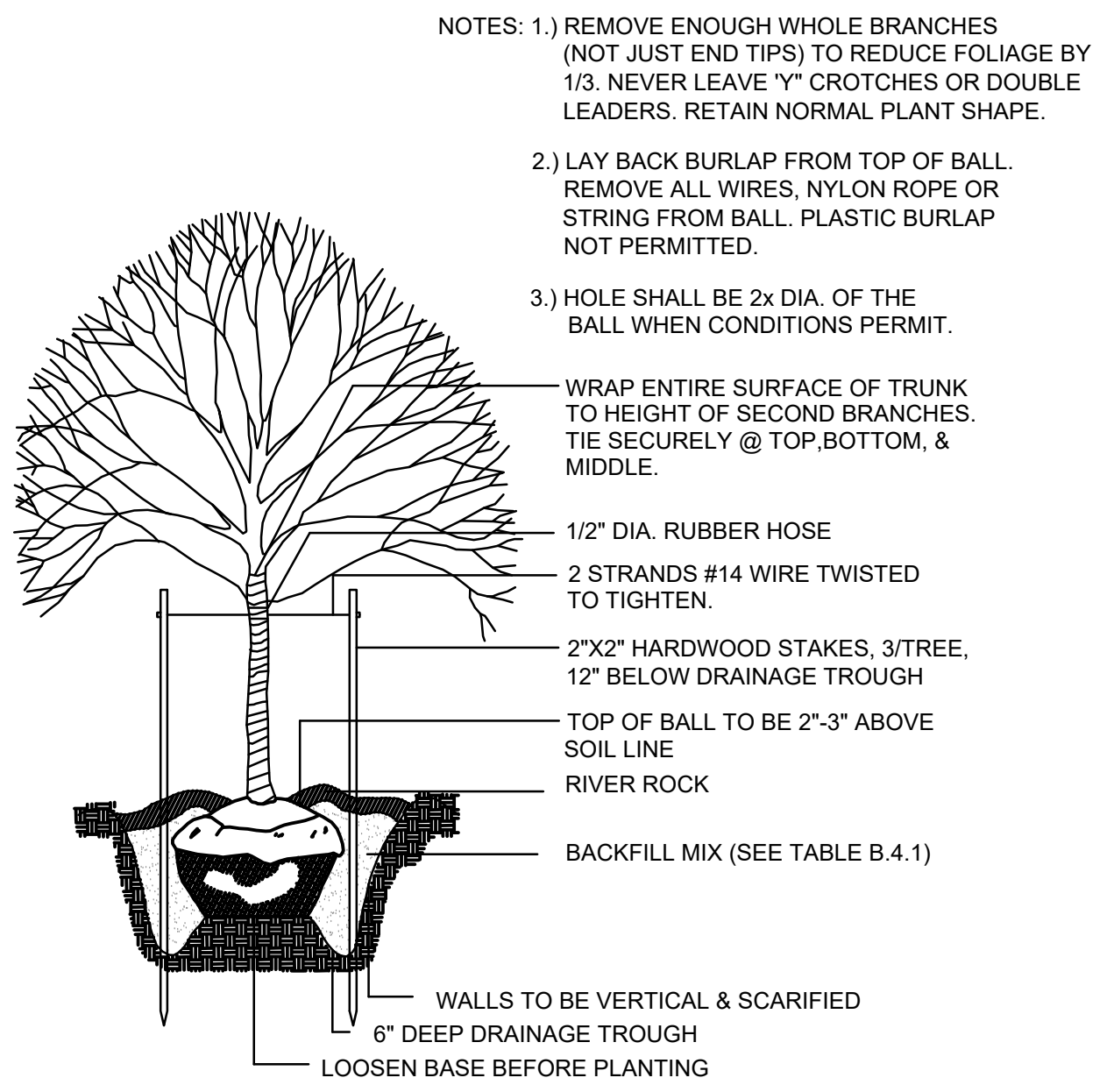


NOTES:

- SEEP PLANTING SPECIFICATIONS FOR PREPARATION OF PLANTING BED.
- DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN, DAMAGED OR DISEASED BRANCHES.
- DIG PLANTING PIT 12" WIDER THAN THE DIAMETER OF THE TIP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 16".
- FOR B&B SHRUBS: REMOVE ALL TWINE, ROPE AND BURLAP FROM TOP OF ROOT BALL.
- ALL CONTAINERS SHALL BE REMOVED BEFORE INSTALLATION.

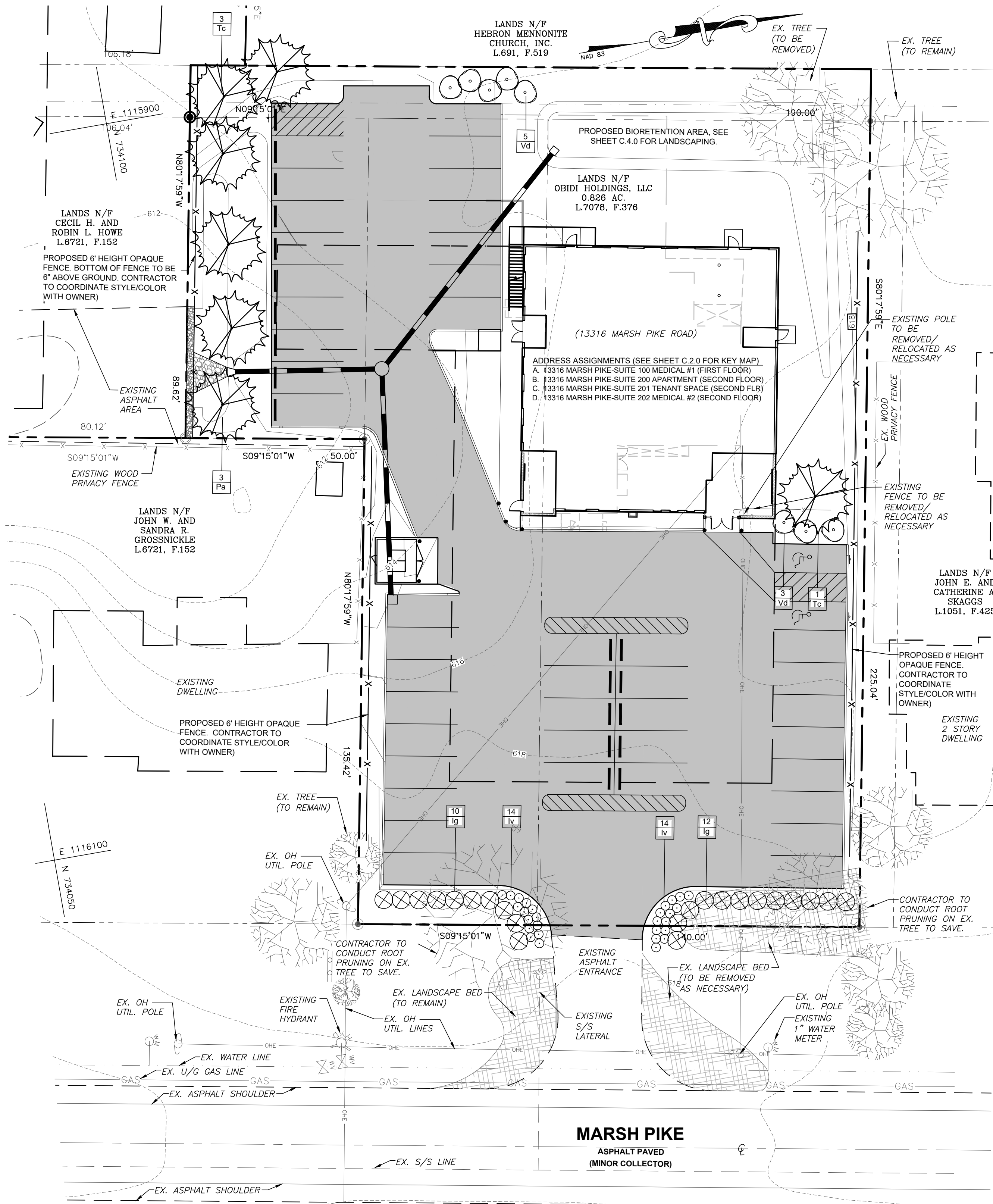
SHRUB AND GRASSES BED PLANTING DETAIL (B&B AND CONTAINER PLANTS)

NOT TO SCALE



TYPICAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

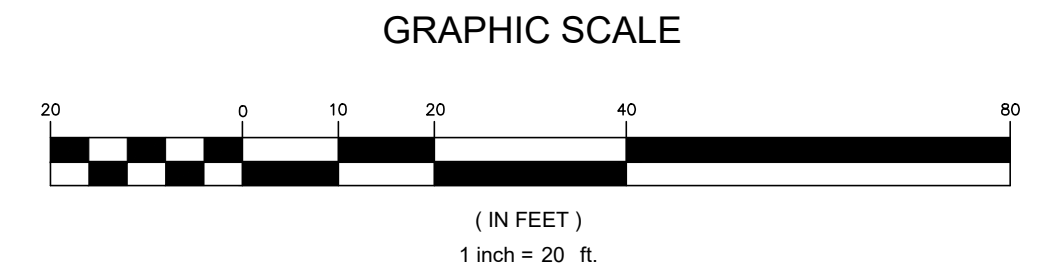


NOTES:

- SCOPE
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
 - TOTAL NUMBER OF PLANS SHALL BE AS DRAWN ON THE LANDSCAPE PLAN. IF THIS TOTAL DIFFERS FROM THE PLANT KEY, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT.
- STANDARDS
 - ALL PLANT MATERIAL WILL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED BY STATE OR FEDERAL AGENCIES.
- SUBSTITUTIONS
 - IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT.
 - THE LANDSCAPE ARCHITECT SHALL THEN PROVIDE THE LANDSCAPE CONTRACTOR A REASONABLE ALTERNATIVE.
 - ALL SUBSTITUTES MUST BE OF THE SAME SIZE, VALUE AND QUALITY AS THE ORIGINAL PLANT.
- UTILITIES
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AHEAD OF CONSTRUCTION TO LOCATE MAIN UTILITIES.
 - STREET LIGHTING AND OTHER UTILITIES THAT ARE PUT IN BY THE GENERAL CONTRACTOR ARE TO BE LOCATED BY THE OWNER OR GENERAL CONTRACTOR.
 - IF THERE IS A CONFLICT WITH THE UTILITIES AND THE PLANTING, THE LANDSCAPE ARCHITECT IS TO BE RESPONSIBLE FOR RELOCATING PLANTS PRIOR TO THE PLANTING PROCESS.
- DRAINAGE

NO PLANTS SHALL BE PLANTED IN SITUATIONS THAT SHOW OBVIOUS POOR DRAINAGE. SUCH SITUATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER, AND IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED OR THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST.
- MAINTENANCE AND WARRANTY
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIALS PRIOR TO PLANTING AND AFTER PLANTING UNTIL ALL WORK IS COMPLETE AND THE WORK HAS BEEN ACCEPTED BY THE OWNER.
 - FOLLOWING ACCEPTANCE BY THE OWNER THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. ANY PLANTS THAT HAVE DIED OR ARE IN FAILING CONDITION SHALL BE REPLACED. THE OWNER MAY NOTIFY THE LANDSCAPE ARCHITECT TO DETERMINE THE NEED FOR REPLACEMENT.
- WORKMANSHIP
 - DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN, AND ALL REASONABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES.
 - UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
 - ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- WATER

IF AVAILABLE ON SITE, THE OWNER SHALL SUPPLY WATER AT NO COST. IT WILL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY WATER IF THERE IS NONE ON THE SITE.
- PLANTING PROCEDURES FOR TREES
 - PREPARING TREE PIT
 - WALLS OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL AND SCARIFIED.
 - THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
 - THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW 1/8 OF THE BALL TO BE ABOVE THE EXISTING GRADE. ANY LOOSE SOIL AT THE BOTTOM OF THE PIT SHALL BE TAMPED BY HAND OR WITH THE BUCKET OF THE BACKHOE.
 - PREPARING SHRUB PIT
 - FOR A SINGLE SHRUB, THE PIT SHALL BE DUG LARGE ENOUGH FOR THE PROPERTY SETTING OF THE ROOT BALL (1 FOOT WIDER THAN ROOT BALL) AND DEEP ENOUGH TO ALLOW 1/8 OF THE ROOT BALL TO SET ABOVE EXISTING GRADE.
 - FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE ROTOTILLED 3 TO 4 INCHES DEEP. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOT BALL.
 - FOR A HEDGE, A TRENCH SHALL BE DUG LARGE ENOUGH FOR THE PROPER SETTING OF ALL THE PLANTS' ROOT BALLS (THE TRENCH SHALL BE 1 FOOT WIDER THAN THE ROOT BALLS).
 - PLANTING SINGLE SHRUBS AND BACKFILLING POT
 - PLACE THE PLANT IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOT BALL.
 - SET THE PLANT STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 - USE A SOIL MIXTURE AS STATED IN THE DETAIL.
 - MAKE SURE THE PLANT REMAINS STRAIGHT DURING BACKFILLING PROCEDURE.
 - BACKFILL SIDES OF THE PIT HALFWAY UP WITH SOIL MIXTURE AND TAMP AS THE PIT IS BEING FILLED.
 - CUT THE ROPE ON THE BALL OF THE SHRUB AND PULL THE BURLAP BACK TO THE EDGE OF THE PLANT BALL. ALL PLASTIC WRAPS AND TWINE SHALL BE REMOVED. CONTAINERS ARE TO BE REMOVED FROM CONTAINERIZED MATERIALS.
 - FINISH BACKFILLING THE SIDES OF THE SHRUB PIT AND TAMP FIRMLY.
 - FORM A SAUCER ABOVE THE EXISTING GRADE AND AROUND THE PLANTING PIT.
 - MULCH TOP OF ROOT BALL AND SAUCER A MINIMUM OF 2" OF DEPTH, NOT TO EXCEED 3" OF DEPTH.
 - WATER THOROUGHLY ON THE INTERIOR OF THE SHRUB SAUCER UNTIL IT IS FILLED EVEN IF IT IS RAINING.
 - PRUNE OUT ANY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE PLANT.
 - PLANTING A SHRUB MASS
 - FOLLOW THE SAME PROCEDURE AS FOR A SINGLE SHRUB.
 - EDGE AND RAKE THE ENTIRE PLANTING BED.
 - MULCH THE ENTIRE PLANTING BED A MINIMUM OF 2" OF DEPTH, NOT TO EXCEED 3" OF DEPTH.
 - WATER THE ENTIRE PLANTING BED THOROUGHLY EVEN IF IT IS RAINING.
 - PRUNE OUT ANY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE PLANT.
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 - PREPARING SHRUB PIT
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 - WATER THOROUGHLY ON THE INTERIOR OF THE SHRUB SAUCER UNTIL IT IS FILLED EVEN IF IT IS RAINING.
 - PRUNE OUT ANY DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE PLANT.



OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
 OFFICE LOCATIONS
 MARYLAND • PENNSYLVANIA • VIRGINIA • WEST VIRGINIA

NO.	DESCRIPTION	DATE	REV.#
1	PER WASH. CO. P.A.Z. - GIB DEPT. COMMENTS	3-07-2023	

CADD FILE:	CHECKED BY:	SCALE:
	BUS	1"=20'
DRAWN BY:	STAFF	DATE:
		01-05-2023

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59438 EXPIRATION DATE: 05-25-2024

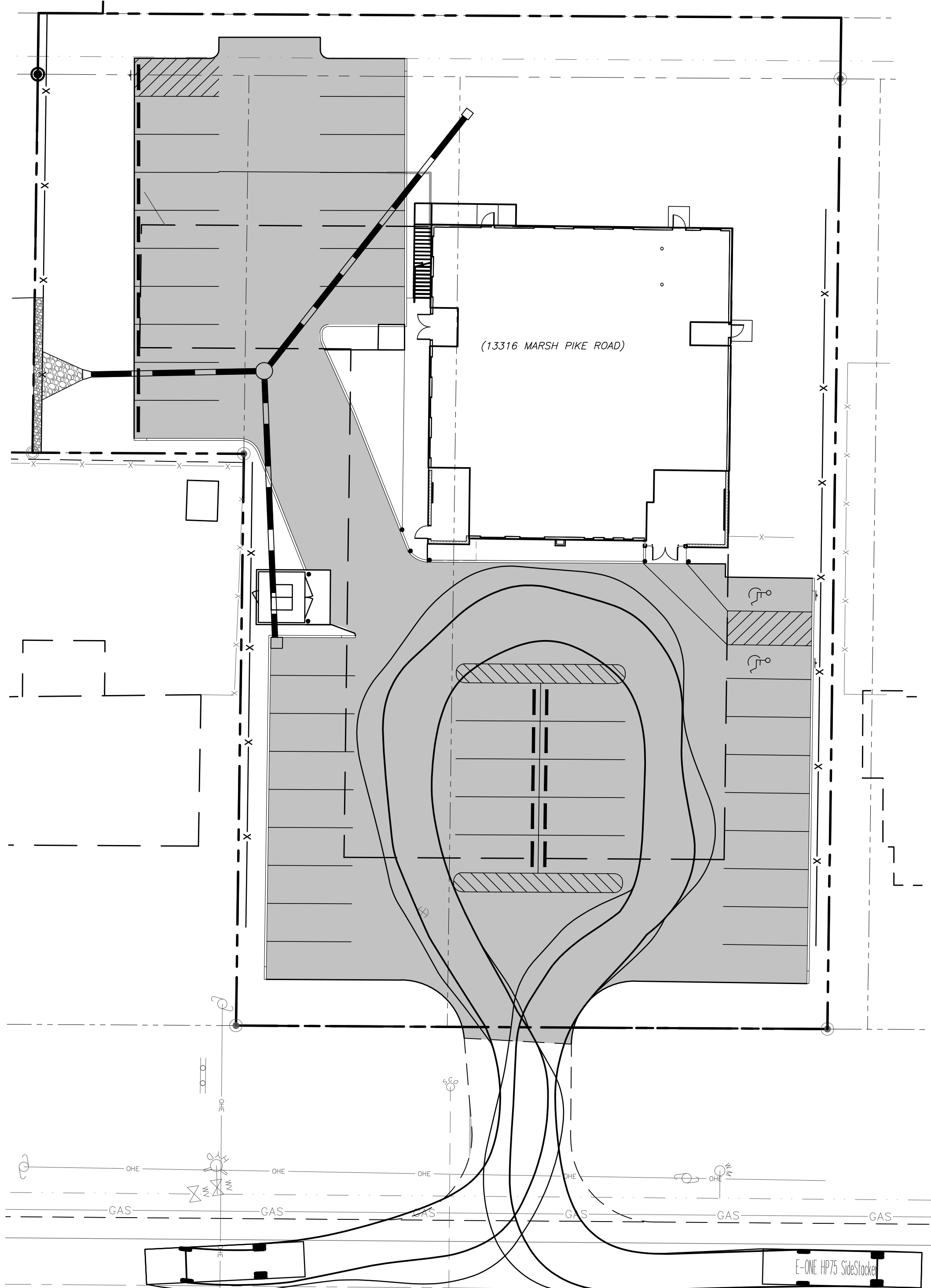


02-14-2023

SITE PLAN FOR		ELEC. DIST.: 27	
OBIDI HOLDINGS, LLC.			
13316 MARSH PIKE HAGERSTOWN, MD. 21742			
LANDSCAPE PLAN			
ZONING: RS	WATERSHED CODE: 02-140502	PARCEL: 0128	
TAX MAP: 0025	GRID: 0019		



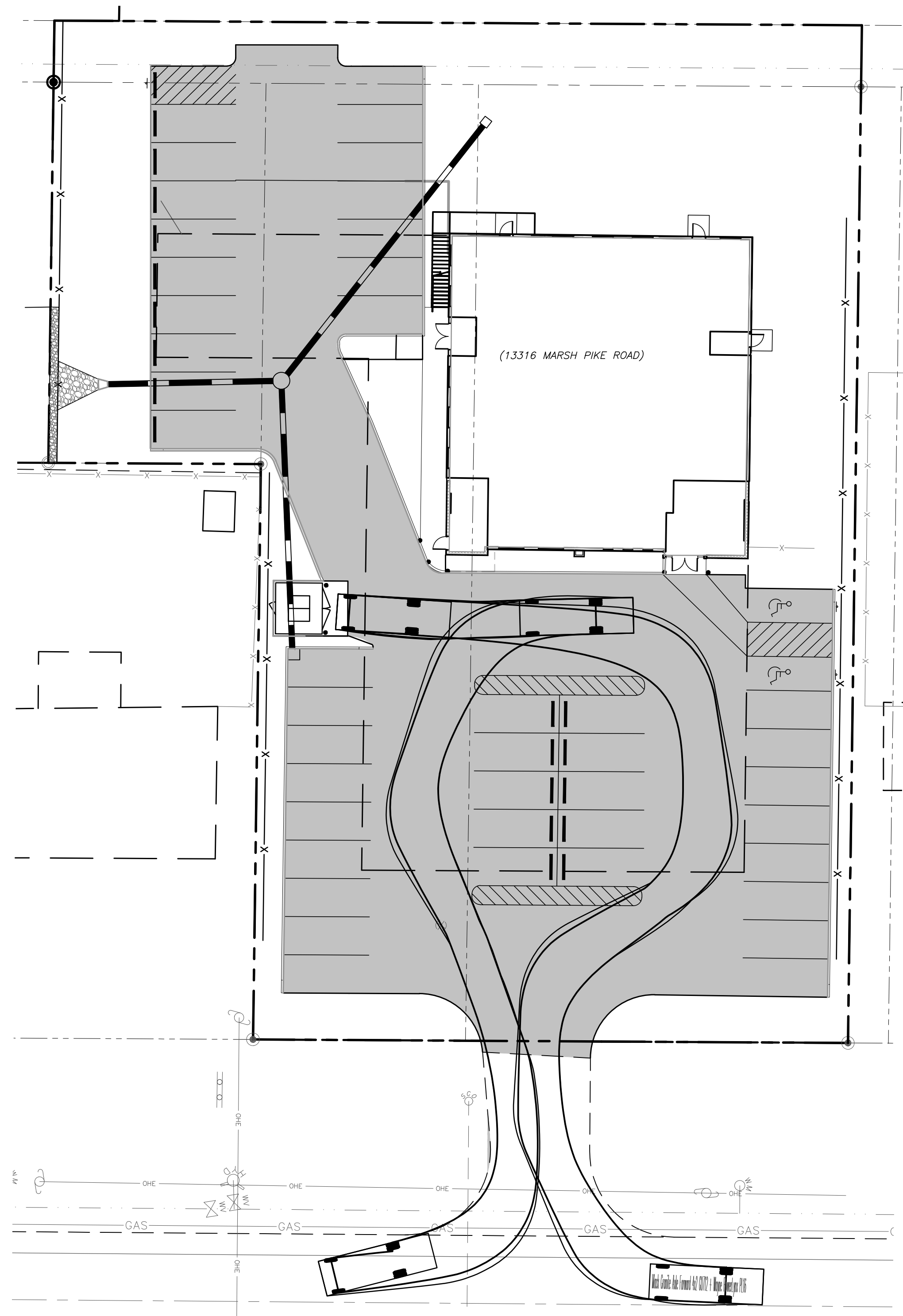
SHEET NUMBER:
C-5.0
 JOB NO.: 03-22-0877



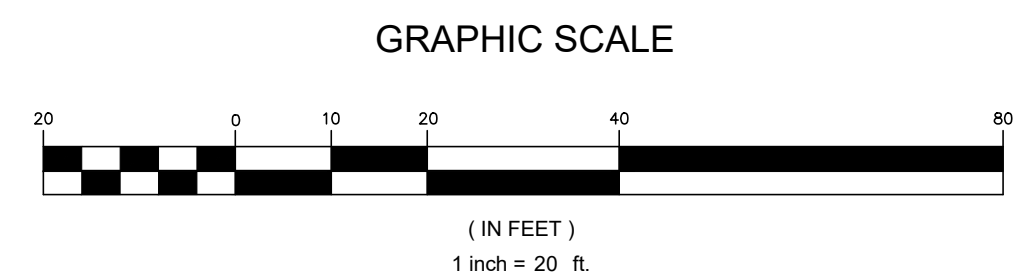
FIRE TRUCK TURNING PLAN VIEW
SCALE: 1"=20'

E-ONE HP75 SideStacker
Overall Length 37.583ft
Overall Width 8.333ft
Overall Body Height 11.000ft
Min Body Ground Clearance 1.393ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

Mack Granite Axle Forward 4x2 GU712
Overall Length 26.708ft
Overall Width 8.375ft
Overall Body Height 10.546ft
Min Body Ground Clearance 1.376ft
Track Width 8.375ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 29.300ft



GARBAGE TRUCK TURNING PLAN VIEW
SCALE: 1"=20'



OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
 OFFICE LOCATIONS
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REV.#	DATE	DESCRIPTION
1	5-17-2023	PER WASH. CO. LAND DEVELOPMENT PLAN REVIEW COMMENTS

CADD FILE:	CHECKED BY:	SCALE:
	BUS	1"=20'
DRAWN BY:	DATE:	
STAFF	01-05-2023	

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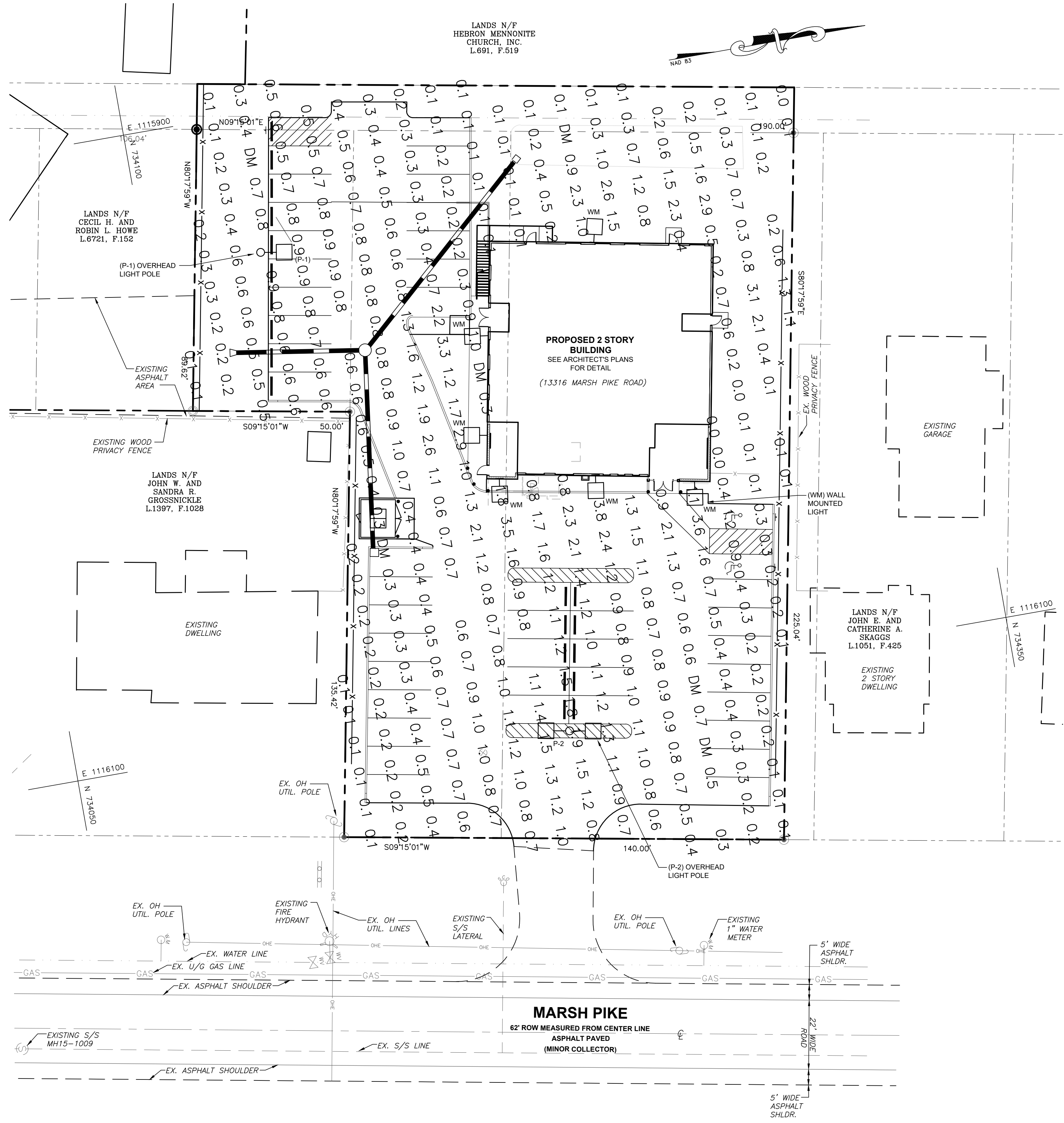


02-14-2023

SITE PLAN FOR
OBIDI HOLDINGS, LLC.
 13316 MARSH PIKE
 HAGERSTOWN, MD 21742
TURNING PLAN
 ZONING: RS WATERSHED CODE: 02-140502
 TAX MAP: 0025 GRID: 0019 PARCEL: 0128 ELEC DIST.: 27

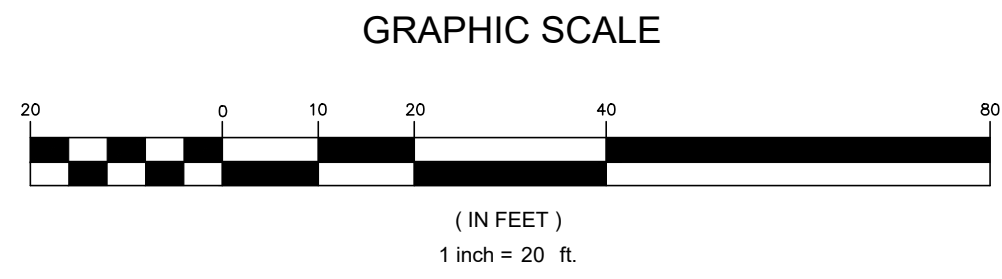


SHEET NUMBER:
C-6.0
JOB NO.: 03-22-0877



LUMINAIRE SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
P-1 FOR EVALUATION USE ONLY	DSX1 LED P1 30K T2M MVOLT - SHIELDED, 30 FOOT POLE HEIGHT	1
P-2	DSX1 LED P1 30K T2M MVOLT - SHIELDED, 30 FOOT POLE HEIGHT	1
wm	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K - SHIELDED	6



OWNER/DEVELOPER
 OBIDI HOLDINGS, LLC
 303 MEMORIAL BLVD W
 HAGERSTOWN, MD 21740
 PHONE: 301-768-3509
 CHUKWUEMEKA OBIDI

COUNTY REFERENCE NO. SP-23-005

TRIAD ENGINEERING, INC.
 1075-D SHERMAN AVENUE
 HAGERSTOWN, MD 21740
 PH: 301.797.6400 FAX: 301.797.2424
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REV. #	DATE	DESCRIPTION
1	5-17-2023	PER WASH. CO. LAND DEVELOPMENT PLAN REVIEW COMMENTS

CADD FILE:
 DRAWN BY: STAFF
 CHECKED BY: BUS
 DATE: 01-05-2023
 SCALE: 1"=20'

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59438 EXPIRATION DATE: 05-25-2024



02-14-2023

SITE PLAN FOR
OBIDI HOLDINGS, LLC.
 13316 MARSH PIKE
 HAGERSTOWN, MD. 21742
LIGHTING PLAN
 ZONING: RS
 TAX MAP: 0025
 GRID: 0019
 PARCEL: 0128
 ELEC DIST.: 27

TRIAD ENGINEERING, INC.
 www.triadeng.com

SHEET NUMBER:
C-7.0
 JOB NO.: 03-22-0877

Site Plan for Benevola SEC – Solar Array

Presented is a site plan for the Benevola SEC, solar energy facility.

The subject site is located at 20401 Benevola Church Road on the same property as the existing quarry, owned by Martin Marietta Materials, Inc. Zoning is Agricultural Rural. Total lot area is 121.37 acres with a proposed 15.69 acres of disturbance for this site plan. This same 15.69 acres will become the leased area for the solar energy facility. Total impervious area proposed is 0.391 acres.

One special exception has been granted to establish a solar energy generating system (SEGS) on a parcel designated as a priority preservation area with a mineral industrial floating zone, under record #AP2021-025.

All of the SEGS requirements of the County Zoning Ordinance have been met with this site plan. No new lighting is proposed with this plan, and as a result, a lighting plan was not required.

Any vehicle activity will be utilizing the existing industrial access road.

No additional water or sewage usage is anticipated with this plan and no additional signage, other than that required for an SEGS, is necessary.

Forest Conservation requirements have been met through payment in lieu of planting, as reflected in General Note #11 on the site plan.

BENEVOLA SEC (MDBN20301) SITE / CIVIL CONSTRUCTION DOCUMENTS FOR BENEVOLA SOLAR ENERGY CENTER, LLC

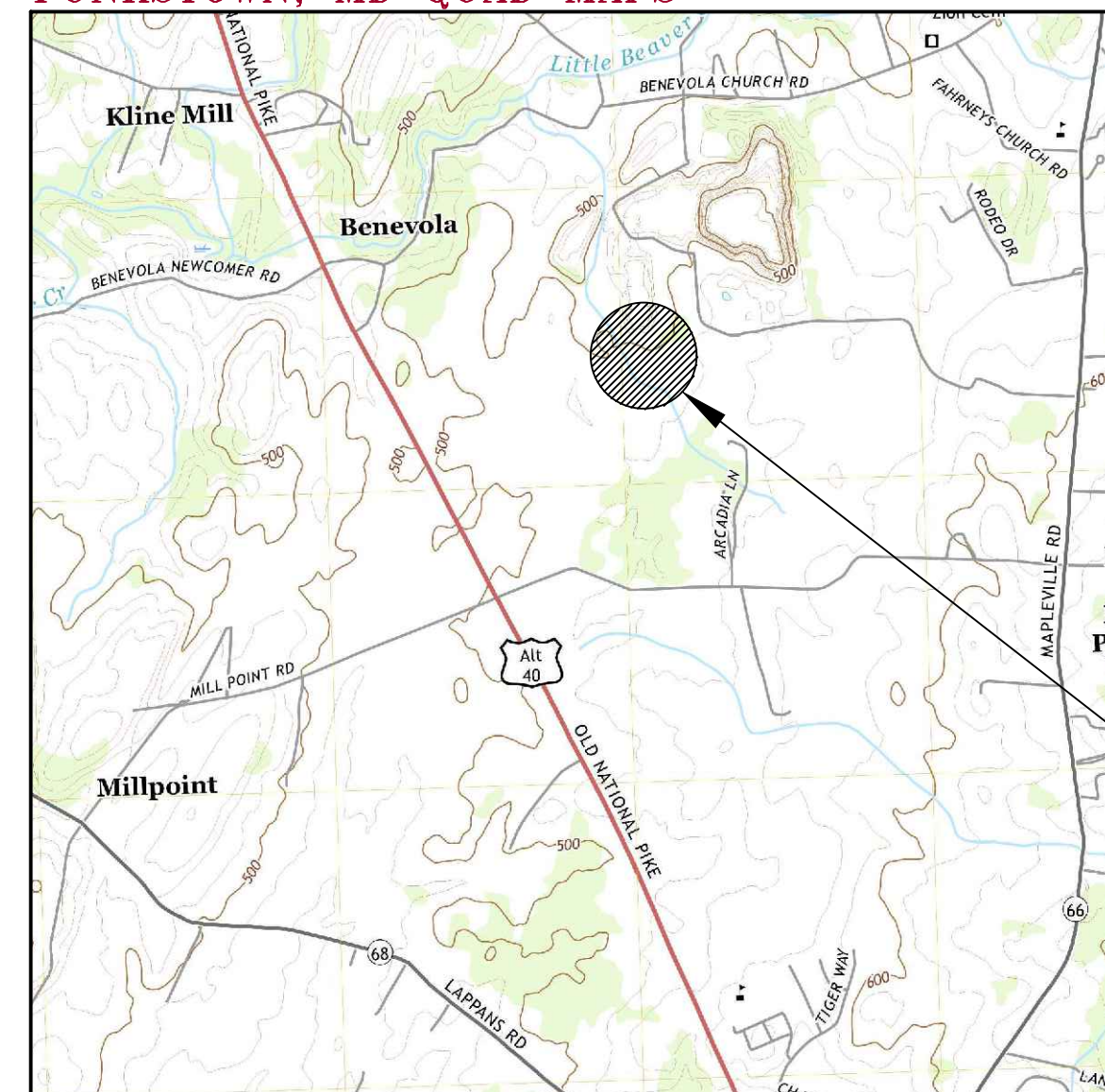
WASHINGTON COUNTY, MARYLAND

MARCH 2024

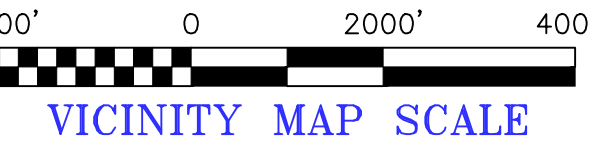
SP-23-006

THRASHER

FUNKSTOWN, MD QUAD MAPS



PROJECT LOCATION



WASHINGTON COUNTY PLANNING COMMISSION
APPROVAL

By _____ Date _____

**WASHINGTON COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL**

BY: _____
DATE: _____

(PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)

DISTURBED AREA QUANTITIES
The total area to be disturbed shown on these plans has been determined to be approximately **15.69** acres and the total amount of excavation and fill as shown on these plans has been computed to be approximately **165** cubic yards of excavation and **150** cubic yards of fill.

OWNER/DEVELOPER CERTIFICATION

"I/we certify all any parties responsible for clearing, grading, construction, and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environmental approved training program for the control of soil erosion and sediment.

Date: Dec. 12, 2023 Printed Name: Tony Savino Signature: *TS*

ENGINEER/ARCHITECT DESIGN CERTIFICATION

"I hereby certify this plan for soil erosion and sediment control and pond construction has been designed in accordance with local ordinances, COMAR 26.17.01.07, Maryland Standards and Specifications for Soil Erosion and Sediment Control, and meets the Maryland Pond Standard 378.

Date: Mar. 20, 2024 Reg. No. 43379 Signature: *TS*

ENGINEER/ARCHITECT DESIGN CERTIFICATION

"I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

Date: Mar. 20, 2024 Reg. No. 43379 Signature: *TS*

SHEET INDEX

SHEET	DESCRIPTION
1	COVER
2-3	GENERAL NOTES
5	EXISTING CONDITIONS
6	OVERALL SITE PLAN
7	E&S PLAN
8	DETAILED SITE PLAN
9	DETAILED SITE PLAN WITH ORTHO
10	SLOPE EXHIBIT
11	SOILS MAP
12	SOILS DESCRIPTIONS
13-14	E&S & SWM CONSTRUCTION DETAILS
15	FEMA FLOOD MAP
16	FOREST CONSERVATION PLAN

DESCRIPTION	AREA (AC)	AREA (SF)
LIMIT OF DISTURBANCE	15.69	683,280
SECURITY FENCE AREA	12.73	554,544
TOTAL IMPERVIOUS AREA	0.391	17,019
POST FOUNDATION IMPERVIOUS AREA	0.002	96

DESCRIPTION	QUANTITY
CUT TOTAL	165 CY
FILL TOTAL	150 CY
TOPSOIL REMOVAL	690 CY

Construction Type (New, Redevelopment, Restoration) : New Development						
ESD Practices (Chapter 5 - Non-Structural & Structural)						
Type	No.	DA to Structure (AC)	Impervious DA to Structure (AC)	WQV (AC-FT)	ESDv (AC-FT)	PE Addressed (IN)
N-2 Non-Rooftop Disconnection	1	15.69	0.39	0.033	0.033	1.0
NON-ESD Practices (Chapter 3 - Structural Practices)						
Type	No.	DA to Structure (AC)	Impervious DA to Structure (AC)	WQV (AC-FT)	ESDv (AC-FT)	PE Addressed (IN)

ONE CALL UTILITY SYSTEM CONTACT INFO



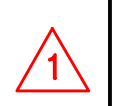
CONTRACTOR SHALL NOTIFY THE ONE-CALL SYSTEM OF THE INTENDED EXCAVATION OR DEMOLITION NOT LESS THAN FORTY-EIGHT (48) HOURS, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL FEDERAL OR STATE HOLIDAYS, NOR MORE THAN TEN (10) WORK DAYS PRIOR TO THE BEGINNING OF SUCH WORK.

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- APPROVED FOR PERMITS DATE: _____ BY: _____
- APPROVED FOR BIDS DATE: _____ BY: _____
- APPROVED FOR CONSTRUCTION DATE: _____ BY: _____

PHONE (301) 334-3866 **THRASHER** (FAX) (301) 334-4020
3000 THAYER CENTER OAKLAND, MD 21150

CAD FILE: R:\070\T70-11032 - Altus Power-Benevola Solar Site-Altus Power-Americo-Drawing\11032-Cover.dwg PLOT DATE/TIME: 3/20/2024 10:22 AM USER: t\er w. weiss



PROJECT: BENEVOLA SEC. (MDBN20301)
TITLE: STORMWATER MANAGEMENT PLAN
SEDIMENT & EROSION CONTROL PLAN

LOCATION: 20301 BENEVOLA CHURCH ROAD
BOONSBOROW, WASHINGTON COUNTY, MD

SITE INFORMATION: DISTRICT 06, PRECINCT 001, ELECTION DISTRICT 2A
ZONING: AGRICUTURAL (RURAL) [A(R)]

APPLICANT: BENEVOLA SOLAR ENERGY CENTER LLC
2200 ATLANTIC ST FLOOR 6
STAMFORD, CT 06902

PREPARED BY: JEFFREY L. GOLA, PE
THE THRASHER GROUP
3000 THAYER CENTER
OAKLAND, MD 21550

EROSION AND SEDIMENT CONTROL NOTES

REQUIRED STANDARD EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN ALL EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS PERMANENT STABILIZATION OF EXPOSED SOIL OCCURS.
- WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED STRAW MULCH SHALL BE APPLIED TO DISTURBED AREAS.
- THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY APRIL 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
- THE SITE'S APPROVED EROSION AND SEDIMENT CONTROL PLANS SHALL BE AVAILABLE AT THE SITE.
- THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER FEDERAL, STATE, OR LOCAL AUTHORIZATIONS WHICH MAY BE REQUIRED.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- THE APPROVAL OF THIS PLAN MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THIS SITE. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THAT NO HAZARDS EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS ADVISED THAT MISS UTILITY BE CONTACTED AT: PHONE 1-800-257-7777.

STANDARD UTILITY NOTES

REQUIRED STANDARD EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTION AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
- CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED TO AN APPROVED LOCATION TO WASTED MATERIAL TO PAVED AREAS.
- CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORK DAY.
- IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
- CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENT CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
- CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.

GENERAL CONSTRUCTION NOTES

- ANY CONSTRUCTION METHOD OR MATERIAL THAT IS NOT COVERED IN THE CONTRACT DOCUMENTS WILL BE COVERED BY THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS JUNE 2022. THE CONTRACT DOCUMENTS AND CONTRACT PLANS ARE THE GOVERNING PROVISIONS APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AND FACILITIES FROM DAMAGE BY EQUIPMENT OR PERSONNEL. THE CONTRACTOR SHALL CONTACT ALL UTILITY AND FACILITY AGENCIES FOR FIELD MARKING PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR OWNER IN WRITING, OF ANY EXISTING DAMAGED UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ANY UTILITIES OR FACILITIES DAMAGED DURING THE PROJECT BY THE CONTRACTOR OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE SHOULD BE ANTICIPATED.
- ALL DISTURBED AREAS, INCLUDING THE CONTRACTORS STAGING AREA, GRADING LIMITS, WASTE AREAS, ETC. SHALL BE RESTORED TO A SMOOTH LINE AND GRADE WITH POSITIVE DRAINAGE. THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. THERE WILL BE NO MEASUREMENT FOR PAYMENT OF SEEDING AND MULCHING REQUIRED OUTSIDE THE GRADING LIMITS.
- ALL BROKEN CONCRETE & ASPHALT, TRASH, RUBBISH, ORGANICS, & OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- THE OWNER RESERVES THE RIGHT TO CONTRACT TO AND PERFORM OTHER OR ADDITIONAL WORK ADJACENT TO AND WITHIN THE WORK AREA COVERED BY THIS CONTRACT. WHEN SEPARATE CONTRACTS ARE LET WITHIN THE LIMITS OF ANY ONE PROJECT, EACH CONTRACTOR SHALL CONDUCT HIS WORK SO AS NOT TO INTERFERE WITH OR HINDER THE PROGRESS OR THE COMPLETION OF THE WORK BEING COMPLETED BY OTHER CONTRACTORS. THE CONTRACTORS WORKING ON THE SAME PROJECT SHALL COOPERATE WITH EACH OTHER AS ORDERED BY THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE PROJECT FOR THE COMPLETE DURATION.
- ALL LOOSE MATERIALS (DIRT, STONE, PAVEMENT, FORMING, ETC.) MUST BE KEPT WITHIN THE LIMITS OF CONSTRUCTION. WHEN THE CONSTRUCTION BARRIERS ARE MOVED DURING CONSTRUCTION, THE CLEANUP OF THE AREAS OUTSIDE THE BARRIERS SHALL OCCUR IMMEDIATELY.
- ALL WORK PERFORMED AND ALL MATERIAL FURNISHED SHALL CONFORM TO THE LINES, GRADES, CROSS SECTIONS, DIMENSIONS, AND MATERIAL REQUIREMENTS SHOWN ON THE CONSTRUCTION DRAWINGS. THE CONSTRUCTION DRAWINGS SHOW THE CONSTRUCTION LINES, GRADES, DEPTHS AND DIMENSIONS ON WHICH ESTIMATED QUANTITIES ARE BASED. THE CONSTRUCTION LINES, GRADES, DEPTHS AND DIMENSIONS ARE SUBJECT TO VARIATION NECESSARY TO OBTAIN SUBGRADE AND/OR FINAL GRADE SATISFACTORY TO THE ENGINEER.
- STRIP TOPSOIL TO WHATEVER DEPTH IT MAY OCCUR FROM AREAS TO BE EXCAVATED, FILLED, OR GRADED IN A MANNER TO PREVENT INTERMIXING WITH UNDERLYING SUBSOIL OR WASTE MATERIALS. TOPSOIL VOLUMES FOR THIS PROJECT WERE CALCULATED USING AN ASSUMED THICKNESS OF SIX (6) INCHES. CONTRACTOR SHALL TEMPORARILY STABILIZE STOCKPILED TOPSOIL.
- SUBSEQUENT TO THE REMOVAL OF THE TOPSOIL, AND PRIOR TO PLACEMENT OF FILL, THE EXPOSED SURFACE SHALL BE COMPACTED AND/OR PROOF ROLLED UNTIL A RELATIVELY UNYIELDING SURFACE IS ACHIEVED. PROOF ROLLING SHOULD BE PERFORMED USING A MINIMUM 20-TON STATIC WEIGHT SMOOTH-DRUM ROLLER. THE PROOF ROLLING WILL CAUSE RUTTING AND DEFORMATIONS OF SOFTER SOILS, AND DENSIFY FIRMER SOILS. ANY AREAS WHICH EXHIBIT EXCESSIVE DEFLECTION SHOULD BE UNDERCUT AND REPLACED WITH ENGINEERED FILL. THE ONSITE SOILS MAYBE PRONE TO RUTTING AND PUMPING WHEN SUBJECTED TO CONSTRUCTION TRAFFIC, PARTICULARLY HEAVY RUBBER TIRED VEHICLES. THE LIKELIHOOD THAT THESE CONDITIONS WILL DEVELOP CAN BE REDUCED BY PROVIDING ADEQUATE SITE DRAINAGE AND LIMITING CONSTRUCTION TRAFFIC AREAS. SOIL WHICH HAS BECOME OVER-WORKED AND EXCESSIVELY SOFT MUST BE UNDERCUT AND REPLACED WITH COMPACTED BACKFILL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ON THE SITE AT ALL TIMES A COMPETENT SUPERINTENDENT CAPABLE OF READING AND UNDERSTANDING THE CONSTRUCTION DOCUMENTS AND THOROUGHLY EXPERIENCED IN THE TYPE OF WORK BEING PERFORMED, AND SHALL BE ABLE TO COORDINATE WITH THE ENGINEER.
- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTACT WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS AT 240-313-2257 BEFORE WORK BEGINS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS JULY 2008, SECTION 104 MAINTENANCE OF TRAFFIC. DURING CONSTRUCTION, ACCESS SHALL BE PROVIDED TO ALL RESIDENTS AT ALL TIMES WITHIN THE PROJECT AREA.
- NO PORTION OF THE PROPOSED PROJECT IS LOCATED WITHIN A STREAM PROTECTION ZONE.

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO PROVIDE AN ENVIRONMENTAL SITE DELINEATION TO WASHINGTON COUNTY FOR REVIEW AND APPROVAL TO CONSTRUCT A SOLAR ENERGY FACILITY.
- THE PROPERTY LINES, EXISTING IMPROVEMENTS, AND TOPOGRAPHIC DATA SHOWN ARE NOT BASED ON A FIELD SURVEY AND HAVE BEEN COMPILED FROM WASHINGTON COUNTY GIS. NO FIELD EVIDENCE OR PROPERTY MARKERS WERE LOCATED WITH THIS SITE PLAN.
- PROJECT AREA WILL BE CLEARED AND GRUBBED AS NECESSARY. PRE-DEVELOPMENT DRAINAGE PATTERNS WILL BE REDUCED DUE TO PROPOSED INVERTED BERMS THROUGHOUT THE SOLAR AREA. MINOR GRADING WILL OCCUR ALONG THE ACCESS ROAD AND IN AREAS WHERE LEVEL SPREADERS AND INVERTED BERMS ARE PROPOSED.
- THE PROPERTY SHOWN HEREIN LIES IN A FEMA AREA OF MINIMAL FLOOD HAZARD (ZONE X), AS SHOWN IN THE FEMA FIRM PANEL NO. 24043C0320D AS SEEN ON THE FEMA EXHIBIT.
- ALL RIGHT-OF-WAYS ARE PUBLIC, UNLESS NOTED OTHERWISE.
- UTILITY LINES AND SERVICES SHOWN HEREIN ARE AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. LOCATION OF UNDERGROUND UTILITIES MUST BE FIELD VERIFIED. CALL MARYLAND'S "MISS UTILITY" AT 811 OR 1-800-257-7777 BEFORE DIGGING.
- A SEDIMENT AND EROSION CONTROL PLAN WILL BE APPROVED BY THE APPROPRIATE AUTHORITY(S) PRIOR TO BEGINNING CONSTRUCTION.
- DRIVEWAY PERMIT WILL BE APPROVED BY MARYLAND DOT PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO SECURING BUILDING PERMITS FROM THE COUNTY, DOCUMENTATION FROM ALL OTHER APPLICABLE STATE AND FEDERAL AGENCIES SHALL BE SUBMITTED TO WASHINGTON COUNTY VERIFYING PERMIT APPROVAL.
- THE PROPERTY IS CURRENTLY ZONED AS PART OF THE IM DISTRICT AND MINING IS A PERMITTED USE BY RIGHT. NOTWITHSTANDING THIS SEP AND THE TEMPORARY SOLAR FACILITY USE, MINING WILL CONTINUE TO BE A PERMITTED USE AT ALL TIMES AS AUTHORIZED BY STATE LAW. A SPECIAL EXEMPTION (AP2021-025) WAS REQUESTED BY BENEVOLA SOLAR ENERGY LLC. THIS EXCEPTION WAS GRANTED, THUS ALLOWING FOR THE INSTALLATION AND OPERATION OF A SOLAR ENERGY GENERATING SYSTEM ON THE SUBJECT PROPERTY.
- FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT ARE BEING MET BY THE PAYMENT IN LIEU OPTION IN THE AMOUNT OF \$38,419.92

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NO.	BY	DATE	DESCRIPTION
1	SCR	09.20.2023	REVISED NOTE LAYOUT, ADDED NOTES, REVISED NOTES.

SCALE:	
DRAWN:	DMP DATE: 03.20.2024
CHECKED:	JCA DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	



PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
GENERAL NOTES

SHEET No.
2



GENERAL NOTES CONTINUED

- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- THERE IS A 10' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL FRONT LOT LINES AND AN 8' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL SIDE AND REAR LOT LINES HEREBY RESERVED UNLESS OTHERWISE SHOWN HEREON.
- A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY PERMIT OR ENTRANCE PERMIT.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A 'NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY' (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY MDE.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- IN CONFORMANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLAN.
- THE PRELIMINARY PLAT WILL INCLUDE THE TOTAL EXTENT AND ACREAGE OF ANY WATERSHED WHICH DIRECTLY AFFECTS THE SUBDIVISION PROPOSAL. WATERSHED AREAS OF LESS THAN 400 ACRES MAY BE SO INDICATED BY MEANS OF A NOTE ON THE PLAT. WHERE APPLICABLE, NOTATION OF THE SITE'S LOCATION WITHIN THE EDMONT OF SMITHBURG RESEVOIR WATERSHEDS OR THE UPPER BEAVER CREEK WATERHSED SHALL BE MADE ON THE PLAT. THE BOUNDARIES OF ANY WATERSHEDS SHALL BE SHOWN IF THEY ARE WITHIN ONE THOUSAND (1000) FEET OF THE SUBJECT PROPERTY.
- THE LOCATION AND DESCRIPTION OF THE HABITAT OF A PLANT OR ANIMAL SPECIES DETERMINED BY THE U.S. FISH AND WILDLIFE SERVICE T BE THREATENED OR ENDANGERED ACCORDING TO THE DEFINITION CONTAINED IN 50 CFR 17, IF ANY. THE THREATENED OR ENDANGERED SPECIES NEED NOT BE NAMED.
- STREAM BUFFERS AS DEFINED IN SECTION 202.56 AND RECOMMENDED BY THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT SHALL BASE ITS RECOMMENDATIONS ON PRACTICE STANDARD #393-FILTER STRIPS.
- NO DWELLINGS SHALL BE IMPACTED BY ANY NOISE, GENERATED BY THE SEG, EXCEEDING FIFTY-FIVE (55) dBA.

- ONCE SITE HAS BEEN FULLY VEGETATED, CONTRACTOR SHALL INSTALL SOLAR ARRAYS AND RELATED UTILITIES. POSTS WILL BE DRIVEN, SCREWED, OR AUGURED INTO PLACE. DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION OF SOLAR PANEL ARRAY FOUNDATION POSTS SHALL BE STABILIZED, SEEDED, AND MULCHED AT THE CONCLUSION OF EACH WORK DAY.
- DRESS DISTURBED AREAS WITH STOCKPILED TOPSOIL.
- CONTACT WCSCD AT 301-797-6821 FOR THE FINAL SITE INSPECTION. THIS INSPECTION WILL ONLY TAKE PLACE AFTER THE SITE HAS ACHIEVED 95% OVERALL VEGETATIVE STABILIZATION. ALL E&S CONTROLS MUST REMAIN IN PLACE UNTIL THIS INSPECTION IS SIGNED OFF
- REMOVE EROSION AND SEDIMENT CONTROL FACILITIES AND DRESS AND STABILIZE AS REQUIRED.
- FINAL PROJECT CLEANUP AND DEMOBILIZATION.
- AS-BUILT DRAWINGS SHALL BE SUBMITTED TO WASHINGTON COUNTY DIVISION OF PERMITS & INSPECTIONS WITHIN 45 DAYS OF COMPLETION OF THE PROJECT.
- CONSTRUCTION OPERATION ESTIMATED TO TAKE BETWEEN 9-12 MONTHS FOR COMPLETION.
- PROJECT SITE INSPECTION SHALL BE PERFORMED AFTER THE FIRST YEAR OF OPERATION TO IDENTIFY ANY EROSION ISSUES. ALL ISSUED FOUND SHALL BE ADDRESSED ACCORDINGLY.

SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES

- ANY SPOIL AND/OR BORROW, MUST COME FROM AND/OR GO TO, A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.
- ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", "SECTION B – GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITHIN THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION (AS APPLICABLE).
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:

- MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, NPDES PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 20CP, OR AN INDIVIDUAL PERMIT.
- THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT – NOTICE OF INTENT- NOI) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT – NOTICE OF INTENT – NOI).
- FOLLOWING CONSTRUCTION AND RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE AUTHORIZED PERMITTEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT – NOTICE OF TERMINATION-NOT.

CONSTRUCTION SEQUENCE OF EVENTS

- CONTRACTOR SHALL CONTACT WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, A MINIMUM OF (2) DAYS PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY OF MARYLAND AT 1-800-257-7777 A MINIMUM OF (2) DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS THE FIRST ORDER OF BUSINESS.
- BEFORE CONSTRUCTION BEGINS, THE PROJECT AREA SHALL BE SEEDED WITH A GROUNDCOVER THAT HAD BEEN APPROVED BY THE APPLICANT AND ENGINEER. CONSTRUCTION ACTIVITY SHALL BEGIN ONCE THE GROUNDCOVER HAS ESTABLISHED & BEEN MOWED AT LEAST ONCE.
- INSTALL ALL PERIMETER AND EROSION AND SEDIMENT CONTROLS INCLUDING, BUT NOT LIMITED TO SMART FENCE 42.
- STRIP AND REMOVE TOPSOIL FROM EQUIPMENT PAD AND ACCESS ROAD. STOCKPILE TOPSOIL AT THE LOCATION NOTED ON THE SITE PLAN. NO TOPSOIL REMOVAL OR GRADING SHALL OCCUR WITHIN THE SOLAR PANEL ARRAY AREA.
- INSTALL ROADSIDE DITCHES AND DRAINAGE SWALES.
- COMPLETE FINE GRADING AND PREPARATION OF ACCESS ROAD AND TRANSFORMER PAD SUBGRADE FOR SUB-BASE MATERIAL. ALL DISTURBED AREAS SHALL BE DRESSED TO A NEAT AND FINISHED APPEARANCE.
- COMPLETE ACCESS ROAD AND TRANSFORMER PAD INSTALLATION.
- INSTALL INVERTED BERMS

PLOT DATE/TIME: 3/20/2024 10:22 AM

CAD FILE: R:\070\770-11032 - Allus Power-Benevola Solar Site-Allus Power America-V\1032-GenNotes-Details.dwg

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NO.	BY	DATE	DESCRIPTION
2	SCB	12.04.2023	REVISED PERMIT REFERENCE NUMBER
1	SCB	09.20.2023	REVISED NOTE LAYOUT, ADDED NOTES, REVISED NOTES.

SCALE:	
DRAWN: DMP	DATE: 03.20.2024
CHECKED: JCA	DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

THRASHER
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PHASE No.
CONTRACT No.
PROJECT No.
170-11032

**BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
GENERAL NOTES**

SHEET No.
3



ZONING ORDINANCE - DESIGN STANDARDS

THE FOLLOWING STANDARDS SHALL APPLY TO THE DEVELOPMENT OF SOLAR ENERGY GENERATING SYSTEMS.

1. A PROPERTY OWNER WHO HAS INSTALLED OR INTENDS TO INSTALL A SOLAR ENERGY GENERATION SYSTEM SHALL BE RESPONSIBLE FOR NEGOTIATING WITH OTHER PROPERTY OWNERS IN THE VICINITY FOR ANY NECESSARY SOLAR EASEMENT AND SHALL RECORD THE EASEMENT WITH THE CLERK OF THE COURT. A PROPERTY OWNER WHO FAILS TO SECURE AN EASEMENT FOR THE RECEIPT OF SOLAR ENERGY ACTS AT HIS OWN PERIL AND HAS NO RECOURSE AGAINST THE PERSON ALLOWING OR CAUSING THE OBSTRUCTION OF THE OWNER'S RECEIPT OF SOLAR ENERGY. OTHER PROPERTY OWNERS IN THE VICINITY MAY OBSTRUCT SOLAR ENERGY COLLECTION SYSTEMS UNLESS A VALID EASEMENT HAS BEEN SECURED.
2. SOLAR ENERGY GENERATING SYSTEMS SHALL ADHERE TO THE SETBACK, HEIGHT, AND COVERAGE REQUIREMENTS OF THE DISTRICT IN WHICH THEY ARE LOCATED. ALL ABOVE GROUND FACILITIES ASSOCIATED WITH SUCH GENERATING SYSTEM (EXCLUDING PERIMETER SECURITY FENCING) SHALL BE CONSIDERED A STRUCTURE FOR THE PURPOSES OF DETERMINING REQUIRED SETBACKS.
3. MINIMUM LOT SIZE. NO SUCH GENERATING SYSTEM SHALL BE ERECTED ON ANY LOT LESS THAN TWENTY ACRES IN SIZE.
4. BUFFER YARDS. THE AREA DESIGNATED AS A BUFFER YARD MAY INCLUDE ANY REQUIRED SIDE, REAR, OR FRONT YARDS. A 25-FOOT WIDE BUFFER YARD SHALL BE REQUIRED WHERE THE ADJOINING LOT IS EITHER ZONED FOR OR CONTAINS DWELLINGS, HOSPITALS, NURSING HOMES, SCHOOLS, OR OTHER INSTITUTIONS FOR HUMAN CARE. THE BUFFER AREA SHALL BE MEASURED BETWEEN THE LOT LINE AND ANY AREA OF THE LOT PROPOSED FOR USE OR DEVELOPMENT AND SHALL BE SCREENED WITH VEGETATIVE PLANTINGS. THE PLANTINGS SHALL BE SPACED SO AS TO CREATE AN OPAQUE SCREEN BETWEEN THE ADJOINING LAND USES AT A HEIGHT OF NO LESS THAN 10 FEET AT MATURITY. THE PLANNING COMMISSION MAY WAIVE AND/OR MODIFY THIS REQUIREMENT IF THE STRICT APPLICATION OF THE PROVISIONS OF THIS SECTION REDUCES THE USABLE AREA OF A LOT DUE TO LOT CONFIGURATION OR SIZE TO A POINT WHICH WOULD PRECLUDE A REASONABLE USE OF THE LOT.
5. ACCESS - ALL GROUND-MOUNTED ELECTRICAL AND CONTROL EQUIPMENT SHALL BE LABELED AND SECURED TO PREVENT UNAUTHORIZED ACCESS. A SECURITY FENCE (HEIGHT AND MATERIAL TO BE ESTABLISHED THROUGH THE SPECIAL USE PERMIT PROCESS) SHALL BE PLACED AROUND THE PERIMETER OF THE SOLAR ENERGY GENERATING SYSTEM AND ELECTRICAL EQUIPMENT SHALL BE LOCKED. KNOX BOXES AND KEYS SHALL BE PROVIDED AT LOCKED ENTRANCES FOR EMERGENCY PERSONNEL ACCESS.
6. ELECTRICAL WIRES. ALL ELECTRICAL WIRES ASSOCIATED WITH A SOLAR ENERGY GENERATING SYSTEM, OTHER THAN WIRES NECESSARY TO CONNECT THE SOLAR GENERATOR TO THE OFF-SITE DISTRIBUTION SYSTEM, THE WIRING TO THE DISCONNECT JUNCTION BOX, AND THE GROUNDING WIRES SHALL BE LOCATED UNDERGROUND.
7. LIGHTING - ALL STRUCTURE MOUNTED AND PARKING LOT LIGHTING SHALL BE CONSTRUCTED SO THAT LIGHT AND GLARE ARE DIFFUSED TOWARD THE GROUND.
8. APPEARANCE, COLOR AND FINISH - THE SOLAR ENERGY COLLECTION STRUCTURES SHALL REMAIN PAINTED OR FINISHED THE COLOR OF FINISH THAT WAS ORIGINALLY APPLIED BY THE MANUFACTURER.
9. SIGNS - SIGNAGE SHALL COMPLY WITH ARTICLE 22 DIVISION II OF THIS ORDINANCE. IN ADDITION, WARNING SIGNAGE SHALL BE PLACED ON ELECTRICAL EQUIPMENT AND GENERATING SYSTEM ENTRANCES. ALL SITES SHALL BE IDENTIFIED BY MEANS OF A SIGN NO LARGER THAN TWO (2) SQUARE FEET IN SIZE AFFIXED TO THE FENCE IDENTIFYING THE ENTITY USING THE SITE AND SHALL PROVIDE THE TELEPHONE NUMBER OF A CONTACT PERSON IN THE EVENT OF AN EMERGENCY.
10. NOISE - AUDIBLE SOUND DUE TO SOLAR ENERGY GENERATING SYSTEM OPERATIONS SHALL NOT EXCEED FIFTY-FIVE (55) DBA FOR ANY PERIOD OF TIME, WHEN MEASURED FROM THE PROPERTY LINE OF ANY ADJACENT PROPERTY IMPROVED WITH A DWELLING UNIT AT THE TIME OF THE ISSUANCE OF THE ZONING CERTIFICATE. THE LEVEL HOWEVER MAY BE EXCEEDED DURING SHORT-TERM EVENTS SUCH AS UTILITY OUTAGES AND/OR SEVERE WINDSTORMS.
11. ELECTROMAGNETIC INTERFERENCE. THE SYSTEM SHALL BE OPERATED SO THAT NO DISRUPTIVE ELECTROMAGNETIC INTERFERENCE IS CAUSED TO OFF-SITE TELECOMMUNICATIONS, SURVEILLANCE OR OTHER SIMILAR SYSTEMS. IF IT HAS BEEN DEMONSTRATED THAT A SYSTEM IS CAUSING SUCH DISRUPTIVE INTERFERENCE, THE SYSTEM OWNER SHALL PROMPTLY ELIMINATE THE DISRUPTIVE INTERFERENCE OR CEASE OPERATION OF THE SYSTEM.
12. CODE COMPLIANCE. A SOLAR ENERGY GENERATING SYSTEM AND ALL OF ITS COMPONENTS SHALL COMPLY WITH ALL APPLICABLE CONSTRUCTION AND ELECTRICAL CODES.
13. UTILITY NOTIFICATION AND INTERCONNECTION. SOLAR ENERGY GENERATING SYSTEMS THAT CONNECT TO THE ELECTRIC UTILITY SHALL COMPLY WITH APPLICABLE PUBLIC SERVICE COMMISSION REGULATIONS.
14. PUBLIC SERVICE COMMISSION. IN ACCORDANCE WITH THE MARYLAND ANNOTATED CODE, PUBLIC UTILITIES COMPANIES, SECTION 7-207.1, ANY PROPERTY OWNER SEEKING TO CONSTRUCT A SOLAR ENERGY GENERATING SYSTEM AND CONNECT SUCH SYSTEM TO THE MAIN POWER GRID WITH THE CAPABILITY OF TRANSPORTING ENERGY BACK TO THEIR MAIN POWER COMPANY SHALL APPLY TO THE PUBLIC SERVICE COMMISSION (PSC) FOR APPROVAL AND PROVIDE DOCUMENTATION OF SUCH APPROVAL TO WASHINGTON COUNTY PRIOR TO CONSTRUCTION AND ISSUANCE OF A BUILDING PERMIT.
15. VIOLATIONS. IT IS UNLAWFUL FOR ANY PERSON TO CONSTRUCT, INSTALL, OR OPERATE A SOLAR ENERGY GENERATING SYSTEM THAT IS NOT IN COMPLIANCE WITH THIS SECTION OR WITH ANY CONDITION CONTAINED IN A BUILDING PERMIT ISSUED PURSUANT TO THIS SECTION.
16. LIFE OF THE PROJECT AND FINAL RECLAMATION. AS PART OF THE SITE PLAN APPROVAL, A DESCRIPTION OF THE DECOMMISSIONING AND FINAL LAND RECLAMATION PLAN AFTER ANTICIPATED USEFUL LIFE OR ABANDONMENT OR TERMINATION OF THE PROJECT SHALL BE REQUIRED. THIS WILL INCLUDE EVIDENCE OF AN AGREEMENT WITH THE PROPERTY OWNER THAT ENSURES PROPER FINAL REMOVAL OF POWER GENERATING EQUIPMENT.

CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar Site-Altus Power America-GenNotes-Details.dwg PLOT DATE/TIME: 3/20/2024 10:22 AM

FUNCTIONAL CLASSIFICATION OF BENEVOLA CHURCH ROAD: LOCAL



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NO.	BY	DATE	DESCRIPTION
2	DMP	12.04.2023	ADDED BENEVOLA CHURCH ROAD FUNCTIONAL CLASSIFICATION.
1	SCB	09.20.2023	ADDED SHEET

SCALE:			
DRAWN:	DMP	DATE:	03.20.2024
CHECKED:	JCA	DATE:	03.20.2024
APPROVED:		DATE:	
SURVEY DATE:			
SURVEY BY:			
FIELD BOOK No.:			

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CIVIL • ENVIRONMENTAL • CONSULTING • FIELD SERVICES
3000 THAYER CENTER, OAKLAND, MD 21550
PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
GEN NOTES ADDED

SHEET No.
4

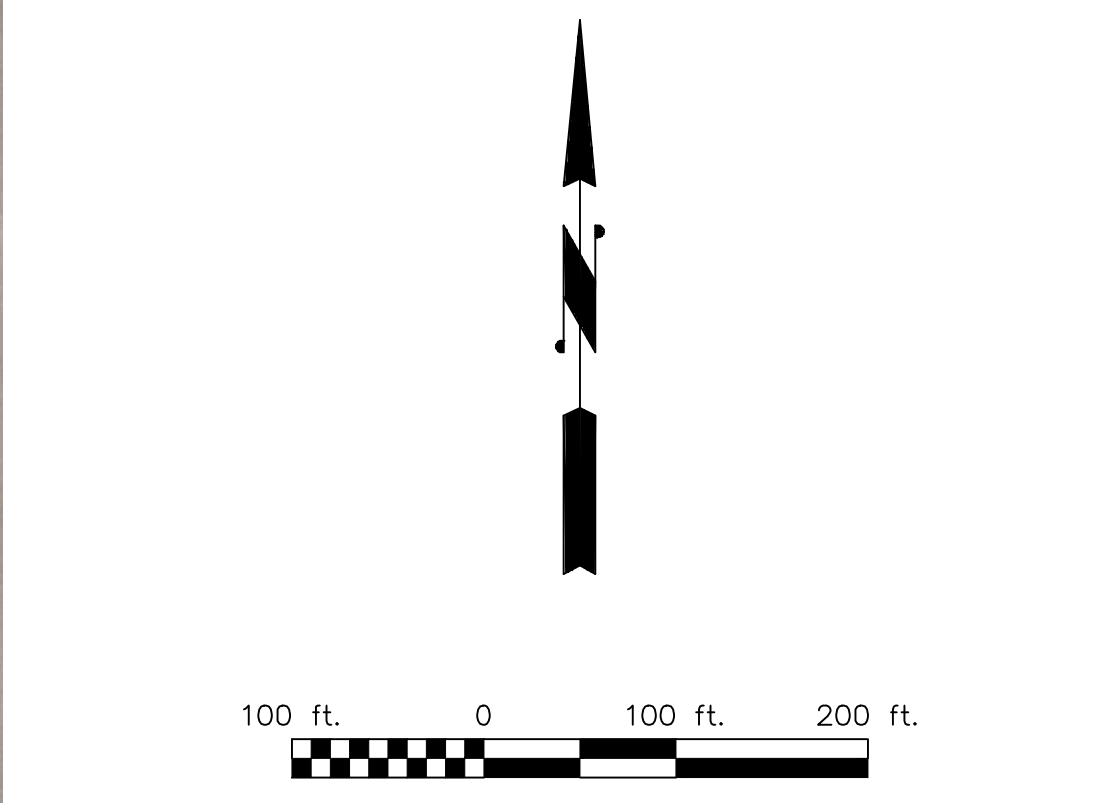


CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar Site-Altus Power America - Drawing\11032-SteelPlan.dwg
 PLOT DATE/TIME: 3/20/2024 10:22 AM



EXISTING LEGEND	
	EXISTING CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING PROPERTY LINES
	EXISTING PROPERTY BOUNDARY
	EXISTING ADJACENT PROPERTY LINES
	EXISTING GRAVEL ROAD
	EXISTING TREE LINE
	EXISTING FENCE LINE
	EXISTING ELECTRIC EASEMENT BOUNDARY
	EXISTING OVERHEAD UTILITY
	EXISTING UTILITY POLE

- GENERAL NOTES**
- EXISTING CONTOURS AND BASE MAPPING ARE BASED UPON PUBLICLY AVAILABLE LIDAR DATA THAT HAS BEEN FIELD VERIFIED BY THRASHER.
 - PROPERTY LINES SHOWN ARE BASED ON FIELD SURVEY DATA COLLECTED BY THRASHER IN SEPTEMBER 2021.
 - ENVIRONMENTAL DELINEATIONS WERE PERFORMED BY THRASHER IN SEPTEMBER 2021.
 - ASSUMED 6-IN TOPSOIL DEPTH FOR ENTIRE PROJECT AREA.



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NO.	BY	DATE	DESCRIPTION
1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, CHANGED SHEET NUMBER.

SCALE:	
DRAWN: DMP	DATE: 03.20.2024
CHECKED: JCA	DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

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PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

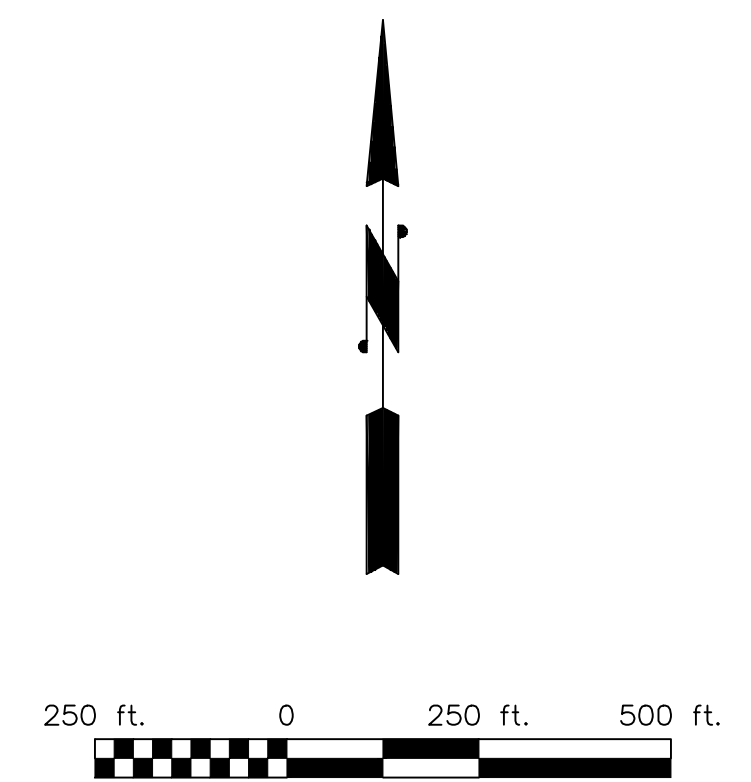
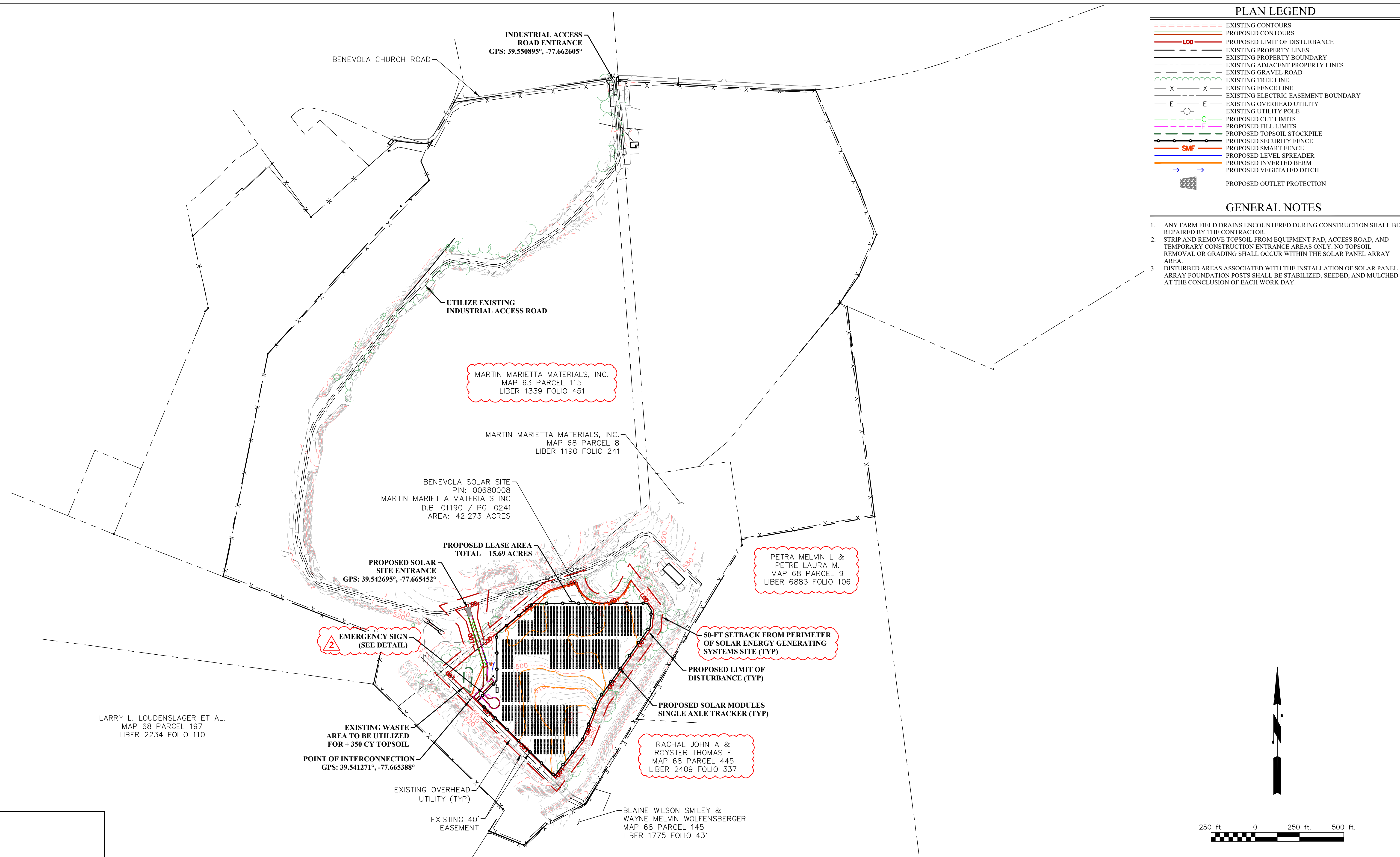
BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
EXISTING CONDITIONS

SHEET No.

CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar Site-Altus Power America - Drawing\11032-SitePlan.dwg
 PLOT DATE/TIME: 3/20/2024 10:22 AM

PLAN LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING PROPERTY LINES
	EXISTING PROPERTY BOUNDARY
	EXISTING ADJACENT PROPERTY LINES
	EXISTING GRAVEL ROAD
	EXISTING TREE LINE
	EXISTING FENCE LINE
	EXISTING ELECTRIC EASEMENT BOUNDARY
	EXISTING OVERHEAD UTILITY
	EXISTING UTILITY POLE
	PROPOSED CUT LIMITS
	PROPOSED FILL LIMITS
	PROPOSED TOPSOIL STOCKPILE
	PROPOSED SECURITY FENCE
	PROPOSED SMART FENCE
	PROPOSED LEVEL SPREADER
	PROPOSED INVERTED BERM
	PROPOSED VEGETATED DITCH
	PROPOSED OUTLET PROTECTION

- GENERAL NOTES**
- ANY FARM FIELD DRAINS ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR.
 - STRIP AND REMOVE TOPSOIL FROM EQUIPMENT PAD, ACCESS ROAD, AND TEMPORARY CONSTRUCTION ENTRANCE AREAS ONLY. NO TOPSOIL REMOVAL OR GRADING SHALL OCCUR WITHIN THE SOLAR PANEL ARRAY AREA.
 - DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION OF SOLAR PANEL ARRAY FOUNDATION POSTS SHALL BE STABILIZED, SEEDED, AND MULCHED AT THE CONCLUSION OF EACH WORK DAY.



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NO.	BY	DATE	DESCRIPTION
1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, CHANGED SHEET NUMBER

SCALE:	
DRAWN: DMP	DATE: 03.20.2024
CHECKED: JCA	DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

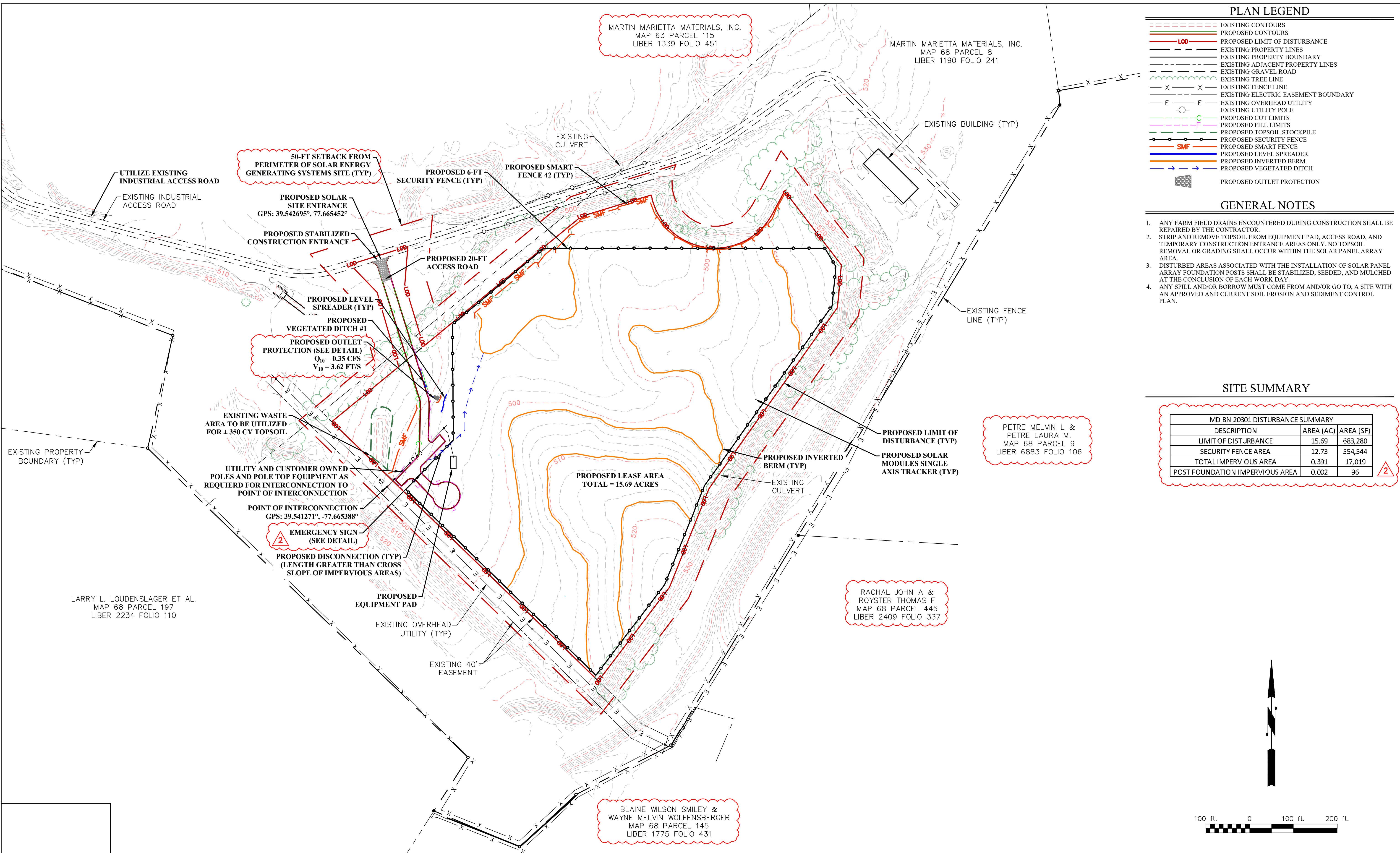
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 PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
OVERALL SITE PLAN

SHEET No.

CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar Site-Altus Power America - Drawing\11032-SitePlan.dwg
 PLOT DATE/TIME: 3/20/2024 10:22 AM



PLAN LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING PROPERTY LINES
	EXISTING PROPERTY BOUNDARY
	EXISTING ADJACENT PROPERTY LINES
	EXISTING GRAVEL ROAD
	EXISTING TREE LINE
	EXISTING FENCE LINE
	EXISTING ELECTRIC EASEMENT BOUNDARY
	EXISTING OVERHEAD UTILITY
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	PROPOSED CUT LIMITS
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	PROPOSED SMART FENCE
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	PROPOSED VEGETATED DITCH
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 3. DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION OF SOLAR PANEL ARRAY FOUNDATION POSTS SHALL BE STABILIZED, SEEDDED, AND MULCHED AT THE CONCLUSION OF EACH WORK DAY.
 4. ANY SPILL AND/OR BORROW MUST COME FROM AND/OR GO TO, A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.

SITE SUMMARY

MD BN 20301 DISTURBANCE SUMMARY		
DESCRIPTION	AREA (AC)	AREA (SF)
LIMIT OF DISTURBANCE	15.69	683,280
SECURITY FENCE AREA	12.73	554,544
TOTAL IMPERVIOUS AREA	0.391	17,019
POST FOUNDATION IMPERVIOUS AREA	0.002	96

LARRY L. LOUDENSLAGER ET AL.
 MAP 68 PARCEL 197
 LIBER 2234 FOLIO 110

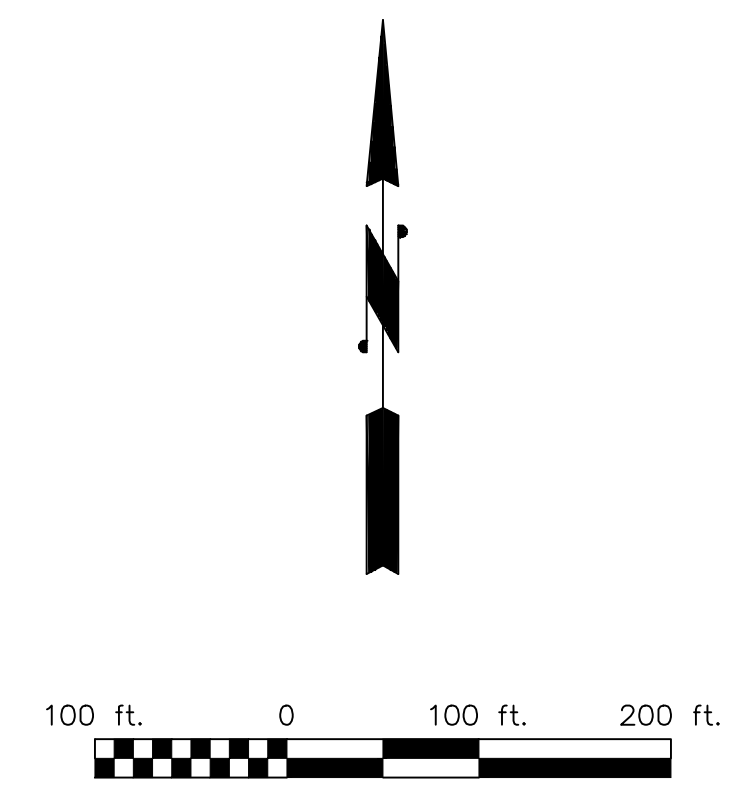
BLAINE WILSON SMILEY &
 WAYNE MELVIN WOLFENBERGER
 MAP 68 PARCEL 145
 LIBER 1775 FOLIO 431

RACHAL JOHN A &
 ROYSTER THOMAS F
 MAP 68 PARCEL 445
 LIBER 2409 FOLIO 337

PETRE MELVIN L. &
 PETRE LAURA M.
 MAP 68 PARCEL 9
 LIBER 6883 FOLIO 106

MARTIN MARIETTA MATERIALS, INC.
 MAP 63 PARCEL 115
 LIBER 1339 FOLIO 451

MARTIN MARIETTA MATERIALS, INC.
 MAP 68 PARCEL 8
 LIBER 1190 FOLIO 241



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NO.	BY	DATE	DESCRIPTION
2	DMP	12.04.2023	ADDED DISTURBANCE SUMMARY TABLE. ADDED OUTLET PROTECTION QUANTITIES.
1	SCB	09.20.2023	ADDED ALL PROPOSED LINWORK AND ASSOCIATED LABELS, REVISED & ADDED PROPERTY OWNER INFORMATION
1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, CHANGED SHEET NUMBER

SCALE:	
DRAWN:	DMP DATE: 03.20.2024
CHECKED:	JCA DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

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 PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.	
CONTRACT No.	
PROJECT No.	T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
E&S PLAN

SHEET No.
7
2



PLAN LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING PROPERTY LINES
- EXISTING PROPERTY BOUNDARY
- EXISTING ADJACENT PROPERTY LINES
- EXISTING GRAVEL ROAD
- EXISTING TREE LINE
- EXISTING FENCE LINE
- EXISTING ELECTRIC EASEMENT BOUNDARY
- EXISTING OVERHEAD UTILITY
- EXISTING UTILITY POLE
- PROPOSED CUT LIMITS
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- PROPOSED VEGETATED DITCH
- PROPOSED OUTLET PROTECTION

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 3. DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION OF SOLAR PANEL ARRAY FOUNDATION POSTS SHALL BE STABILIZED, SEEDED, AND MULCHED AT THE CONCLUSION OF EACH WORK DAY.

POST CONSTRUCTION DRAINAGE AREAS

DRAINAGE AREA	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	TOTAL AREA (AC)
#1A	0.00	1.20	1.20
#1B	0.18	1.49	1.68
#1C	0.00	2.90	2.92
#1D	0.04	0.19	0.23
#1E	17.95	272.07	290.02
#1F	18.23	276.35	294.58
#1G	19.48	283.75	303.23

POST CONSTRUCTION DRAINAGE AREAS

CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar Site-Altus Power America - Drawing\11032-SitePlan.dwg
 PLOT DATE/TIME: 3/20/2024 10:22 AM

LARRY L. LOUDENSLAGER ET AL.
 MAP 68 PARCEL 197
 LIBER 2234 FOLIO 110

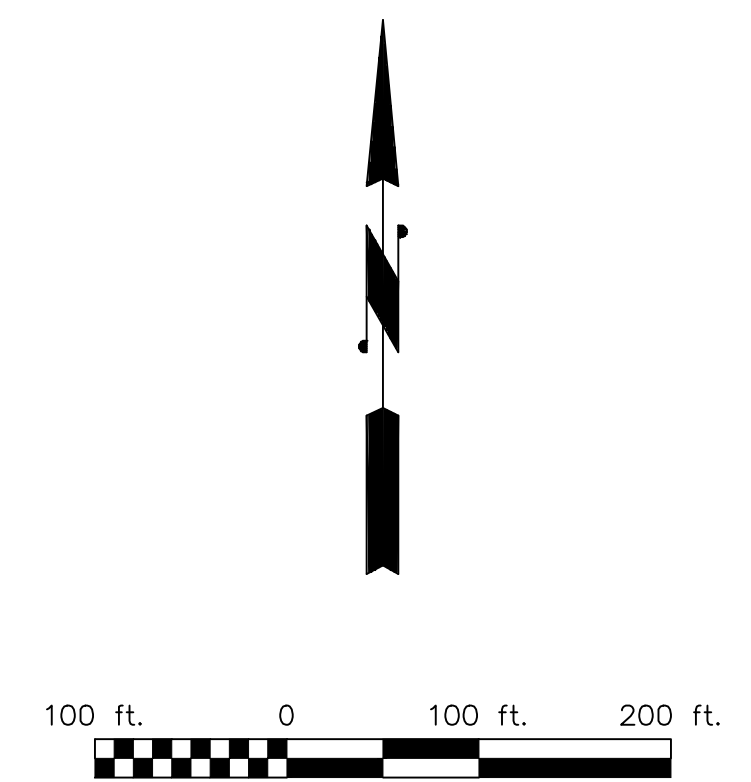
BLAINE WILSON SMILEY &
 WAYNE MELVIN WOLFENBERGER
 MAP 68 PARCEL 145
 LIBER 1775 FOLIO 431

RACHAL JOHN A &
 ROYSTER THOMAS F
 MAP 68 PARCEL 445
 LIBER 2409 FOLIO 337

PETRE MELVIN L. &
 PETRE LAURA M.
 MAP 68 PARCEL 9
 LIBER 6883 FOLIO 106

MARTIN MARIETTA MATERIALS, INC.
 MAP 63 PARCEL 115
 LIBER 1339 FOLIO 451

MARTIN MARIETTA MATERIALS, INC.
 MAP 68 PARCEL 8
 LIBER 1190 FOLIO 241



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NO.	BY	DATE	DESCRIPTION
2	TWW	12.04.2023	ADDED OUTLET PROTECTION QUANTITIES
1	SCB	09.20.2023	REVISED & ADDED PROPERTY OWNER INFORMATION
1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, ADDED POST-CON DRAINAGE AREAS TABLE, CHANGED SHEET NUMBER

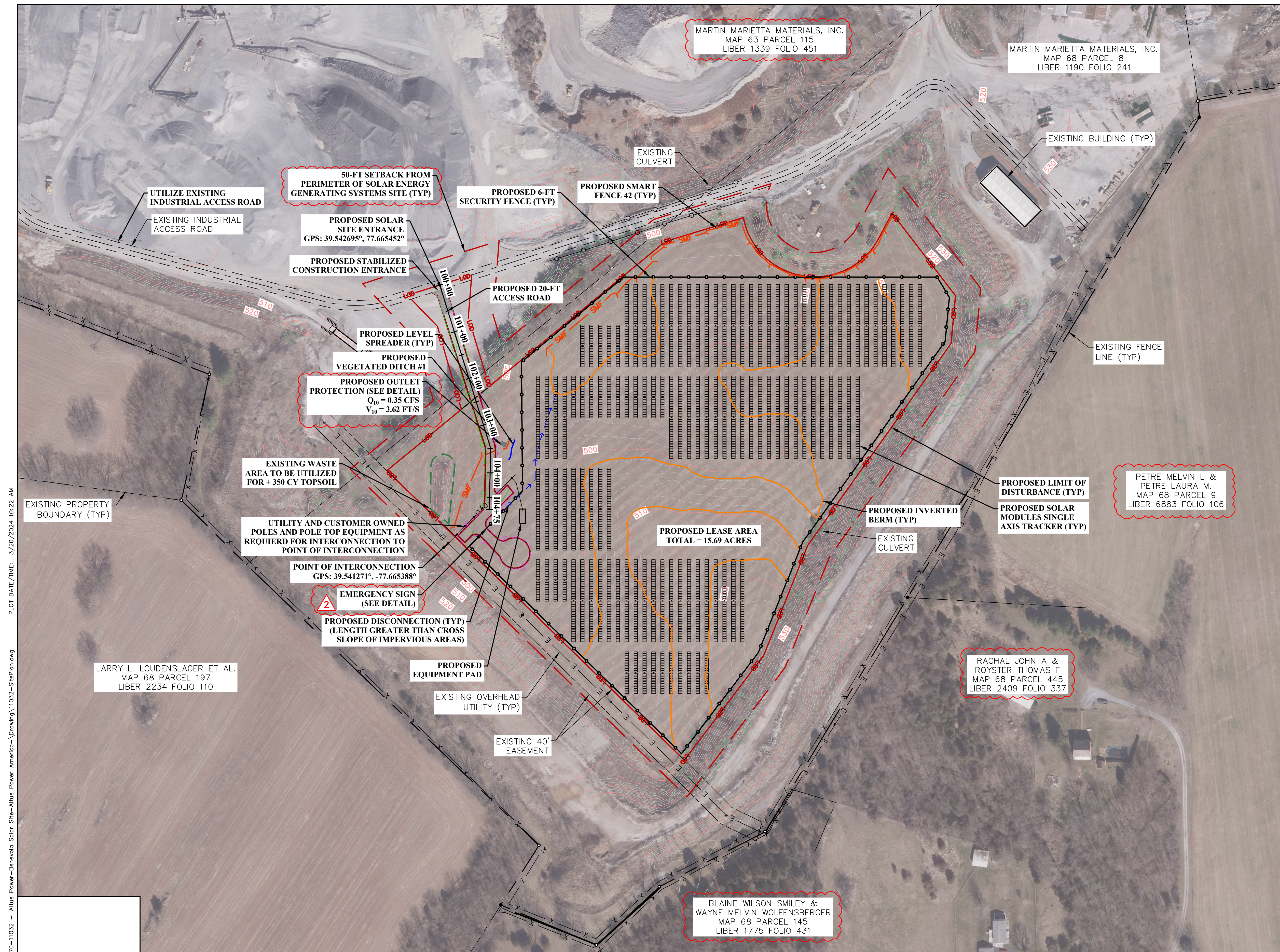
SCALE:	DRAWN: DMP	DATE: 03.20.2024
	CHECKED: JCA	DATE: 03.20.2024
	APPROVED:	DATE:
	SURVEY DATE:	
	SURVEY BY:	
	FIELD BOOK No.:	

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 3000 THAYER CENTER, OAKLAND, MD 21550
 PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.	
CONTRACT No.	
PROJECT No.	T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
DETAILED SITE PLAN

SHEET No.
8



PLAN LEGEND

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING PROPERTY LINES
	EXISTING PROPERTY BOUNDARY
	EXISTING ADJACENT PROPERTY LINES
	EXISTING GRAVEL ROAD
	EXISTING TREE LINE
	EXISTING FENCE LINE
	EXISTING ELECTRIC EASEMENT BOUNDARY
	EXISTING OVERHEAD UTILITY
	EXISTING UTILITY POLE
	PROPOSED CUT LIMITS
	PROPOSED FILL LIMITS
	PROPOSED TOPSOIL STOCKPILE
	PROPOSED SECURITY FENCE
	PROPOSED SMART FENCE
	PROPOSED LEVEL SPREADER
	PROPOSED INVERTED BERM
	PROPOSED VEGETATED DITCH
	PROPOSED OUTLET PROTECTION

- ### GENERAL NOTES
- ANY FARM FIELD DRAINS ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR.
 - STRIP AND REMOVE TOPSOIL FROM EQUIPMENT PAD, ACCESS ROAD, AND TEMPORARY CONSTRUCTION ENTRANCE AREAS ONLY. NO TOPSOIL REMOVAL OR GRADING SHALL OCCUR WITHIN THE SOLAR PANEL ARRAY AREA.
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POST CONSTRUCTION DRAINAGE AREAS

DRAINAGE AREA	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	TOTAL AREA (AC)
#1A	0.00	1.20	1.20
#1B	0.18	1.49	1.68
#1C	0.00	2.90	2.92
#1D	0.04	0.19	0.23
#1E	17.95	272.07	290.02
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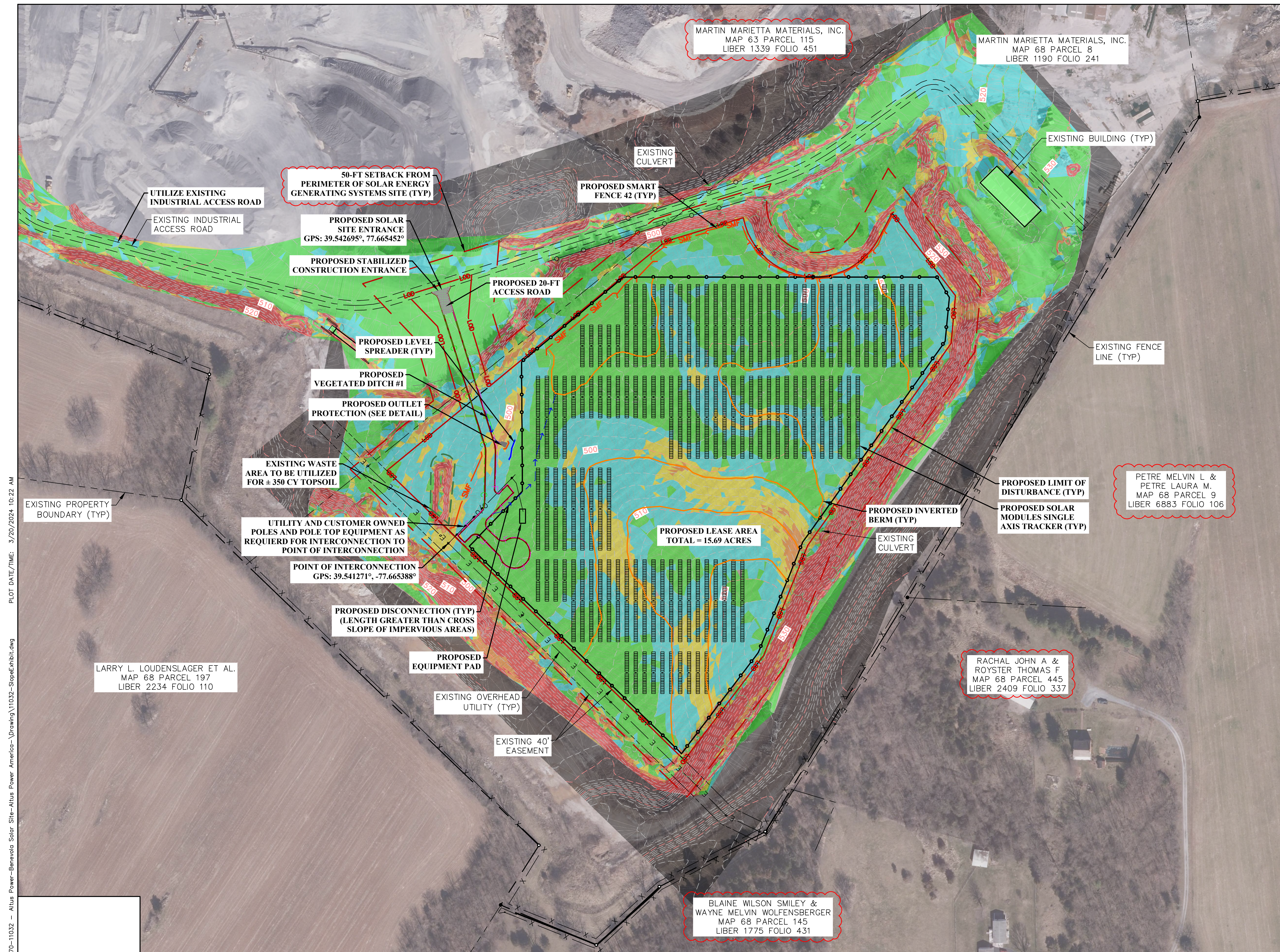
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FIELD BOOK No.:	

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BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
DETAILED SITE PLAN WITH ORTHO

SHEET No.
9



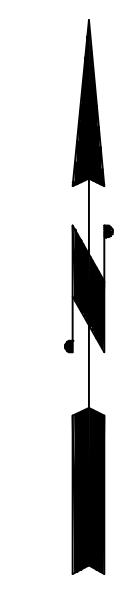
PLAN LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING PROPERTY LINES
- EXISTING ADJACENT PROPERTY LINES
- EXISTING GRAVEL ROAD
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Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	0.00%	5.00%	■
2	5.00%	10.00%	■
3	10.00%	15.00%	■
4	15.00%	25.00%	■
5	25.00%	Vertical	■



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1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, REVISED AND ADDED PROPERTY OWNER INFORMATION.
CHANGED SHEET NUMBER			

SCALE:	
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SURVEY DATE:	
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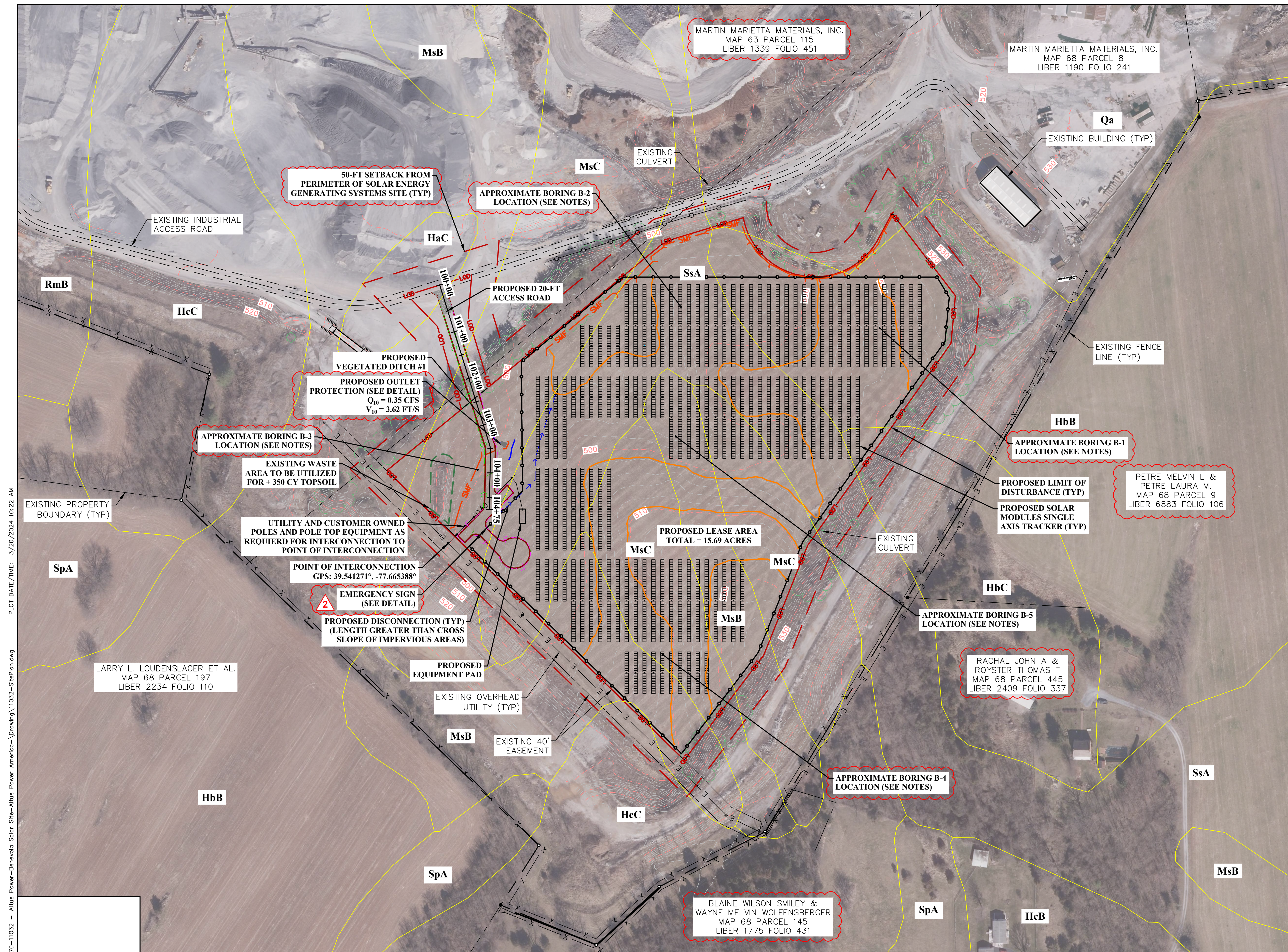
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PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

BENEVOLA SEC (MDBN20301)
 WASHINGTON COUNTY, MARYLAND
 SP-23-006
 BENEVOLA SOLAR ENERGY CENTER LLC
 SLOPE EXHIBIT

SHEET No.

10

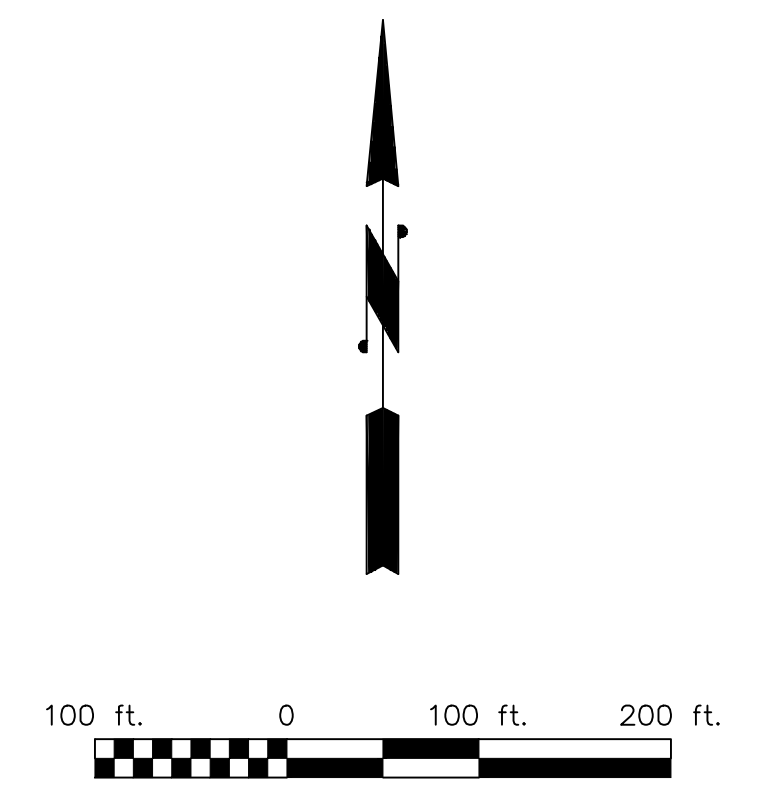


PLAN LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING PROPERTY LINES
- EXISTING ADJACENT PROPERTY LINES
- EXISTING GRAVEL ROAD
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 3. DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION OF SOLAR PANEL ARRAY FOUNDATION POSTS SHALL BE STABILIZED, SEEDDED, AND MULCHED AT THE CONCLUSION OF EACH WORK DAY.
 4. FOR GEOTECHNICAL BORE LOGS AND RECOMMENDATIONS SEE GEOTECHNICAL REPORT.

LIMIT OF DISTURBANCE = 15.69 AC	
SOIL TYPE	AREA (AC)
MsC	5.10
SsA	4.54
HcC	0.01
HaC	0.06
MsB	2.59
HbC	0.12
HbB	3.19
Qa	0.07
TOTAL	15.69



CAD FILE: R:\070\T70-11032 - Altus Power-Benevola Solar Site-Altus Power America - Drawing\11032-SteelPlan.dwg
 PLOT DATE/TIME: 3/20/2024 10:22 AM

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NO.	BY	DATE	DESCRIPTION
2	DMP	12.04.2023	REVISED SOIL TABLE PER WCM COMMENT. ADDED OUTLET PROTECTION QUANTITIES.
1	SCB	09.20.2023	ADDED 50-FT SETBACK FROM SEGS SITE, REVISED & ADDED PROPERTY OWNER INFORMATION.
1	SCB	09.20.2023	ADDED APPROX. BORING LOCATIONS, ADDED NOTE, ADDED SOIL PERCENTAGE TABLE, CHANGED SHEET NUMBER

SCALE:	
DRAWN:	DMP DATE: 03.20.2024
CHECKED:	JCA DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

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3000 THAYER CENTER, OAKLAND, MD 21550
PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.	
CONTRACT No.	
PROJECT No.	T70-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
SOILS MAP

SHEET No.
11

3/20/2024 10:22 AM

CAD FILE: R:\070\170-11032 - Altus Power-Benevola Solar Site-Altus Power America-\Drawing\11032-SitePlan.dwg

Map Unit: HaC--Hagerstown silt loam, 8 to 15 percent slopes

Component: Hagerstown (85%)

The Hagerstown component makes up 85 percent of the map unit. Slopes are 8 to 15 percent. This component is on hillslopes on limestone valleys. The parent material consists of clayey residuum weathered from limestone and dolomite. Depth to a root restrictive layer, bedrock, lithic, is 43 to 98 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 3e. This soil does not meet hydric criteria.

Component: Carbo (8%) Minor component

Component: Opequon (5%) Minor component

Component: Clarksburg (2%) Minor component

Map Unit: HbB--Hagerstown silty clay loam, 3 to 8 percent slopes, very rocky

Component: Hagerstown (85%)

The Hagerstown component makes up 85 percent of the map unit. Slopes are 3 to 8 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 3e. This soil does not meet hydric criteria.

Component: OPEQUON (10%) Minor component

Component: SWANPOND (3%) Minor component

Component: FUNKSTOWN (2%) Minor component

Map Unit: HbC--Hagerstown silty clay loam, 8 to 15 percent slopes, very rocky

Component: Hagerstown (85%)

The Hagerstown component makes up 85 percent of the map unit. Slopes are 8 to 15 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 4e. This soil does not meet hydric criteria.

Component: OPEQUON (15%) Minor component

Map Unit: HcB--Hagerstown-Rock outcrop complex, 3 to 8 percent slopes

Component: Hagerstown (70%)

The Hagerstown component makes up 70 percent of the map unit. Slopes are 3 to 8 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 6s. This soil does not meet hydric criteria.

Component: Rock outcrop (15%) Minor component

Component: OPEQUON (10%) Minor component

Component: SWANPOND (5%) Minor component

Map Unit: HcC--Hagerstown-Rock outcrop complex, 8 to 15 percent slopes

Component: Hagerstown (70%)

The Hagerstown component makes up 70 percent of the map unit. Slopes are 8 to 15 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 6s. This soil does not meet hydric criteria.

Component: Rock outcrop (15%) Minor component

Component: OPEQUON (10%) Minor component

Component: RYDER (5%) Minor component

Map Unit: MsB--Murrill gravelly loam, 3 to 8 percent slopes

Component: Murrill (85%)

The Murrill component makes up 85 percent of the map unit. Slopes are 3 to 8 percent. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY002PA Mixed Sedimentary Upland ecological site. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

Component: RYDER (5%) Minor component

Component: Unnamed soils (1%) Minor component

COMPONENT: DRYRUN (9%) MINOR COMPONENT

Map Unit: MsC--Murrill gravelly loam, 8 to 15 percent slopes

Component: Murrill (85%)

The Murrill component makes up 85 percent of the map unit. Slopes are 8 to 15 percent. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY002PA Mixed Sedimentary Upland ecological site. Nonirrigated land capability classification is 3e. This soil does not meet hydric criteria.

Component: RYDER (10%) Minor component

Component: DRYRUN (5%) Minor component

Map Unit: Qa--Quarry, limestone

Component: Quarry (100%)

Map Unit: RmB--Ryder-Duffield channery silt loams, 3 to 8 percent slopes

Component: Ryder (55%)

The Ryder component makes up 55 percent of the map unit. Slopes are 3 to 8 percent. The parent material consists of loamy residuum weathered from shaly limestone. Depth to a root restrictive layer, bedrock, paralithic, is 20 to 40 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 2 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

Component: Duffield (40%)

The Duffield component makes up 40 percent of the map unit. Slopes are 3 to 8 percent. The parent material consists of loamy residuum weathered from shaly limestone. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

Component: SWANPOND (5%) Minor Component

Map Unit: SpA--Swanpond silt loam, 0 to 3 percent slopes

Component: Swanpond (85%)

The Swanpond component makes up 85 percent of the map unit. Slopes are 0 to 3 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is high. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 36 inches during January, February, March, April, December. Organic matter content in the surface horizon is about 2 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: HAGERSTOWN (10%) Minor component

Component: FUNKSTOWN (3%) Minor component

Component: OPEQUON (2%) Minor component

Map Unit: SsA--Swanpond-Funkstown silt loams, 0 to 3 percent slopes

Component: Swanpond (60%)

The Swanpond component makes up 60 percent of the map unit. Slopes are 0 to 3 percent. The parent material consists of clayey residuum weathered from limestone, unspecified. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is high. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 36 inches during January, February, March, April, December. Organic matter content in the surface horizon is about 2 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: Funkstown (35%)

The Funkstown component makes up 35 percent of the map unit. Slopes are 0 to 3 percent. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is low. This soil is frequently flooded. It is not ponded. A seasonal zone of water saturation is at 33 inches during January, February, March, April, December. Organic matter content in the surface horizon is about 3 percent. This component is in the F147XY003PA Mixed Limestone Upland ecological site. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: HAGERSTOWN (5%) Minor component

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NO.	BY	DATE	DESCRIPTION
1	SCB	09.20.2023	CHANGED SHEET NUMBER.

SCALE:			
DRAWN:	DMP	DATE:	03.20.2024
CHECKED:	JCA	DATE:	03.20.2024
APPROVED:		DATE:	
SURVEY DATE:			
SURVEY BY:			
FIELD BOOK No.:			

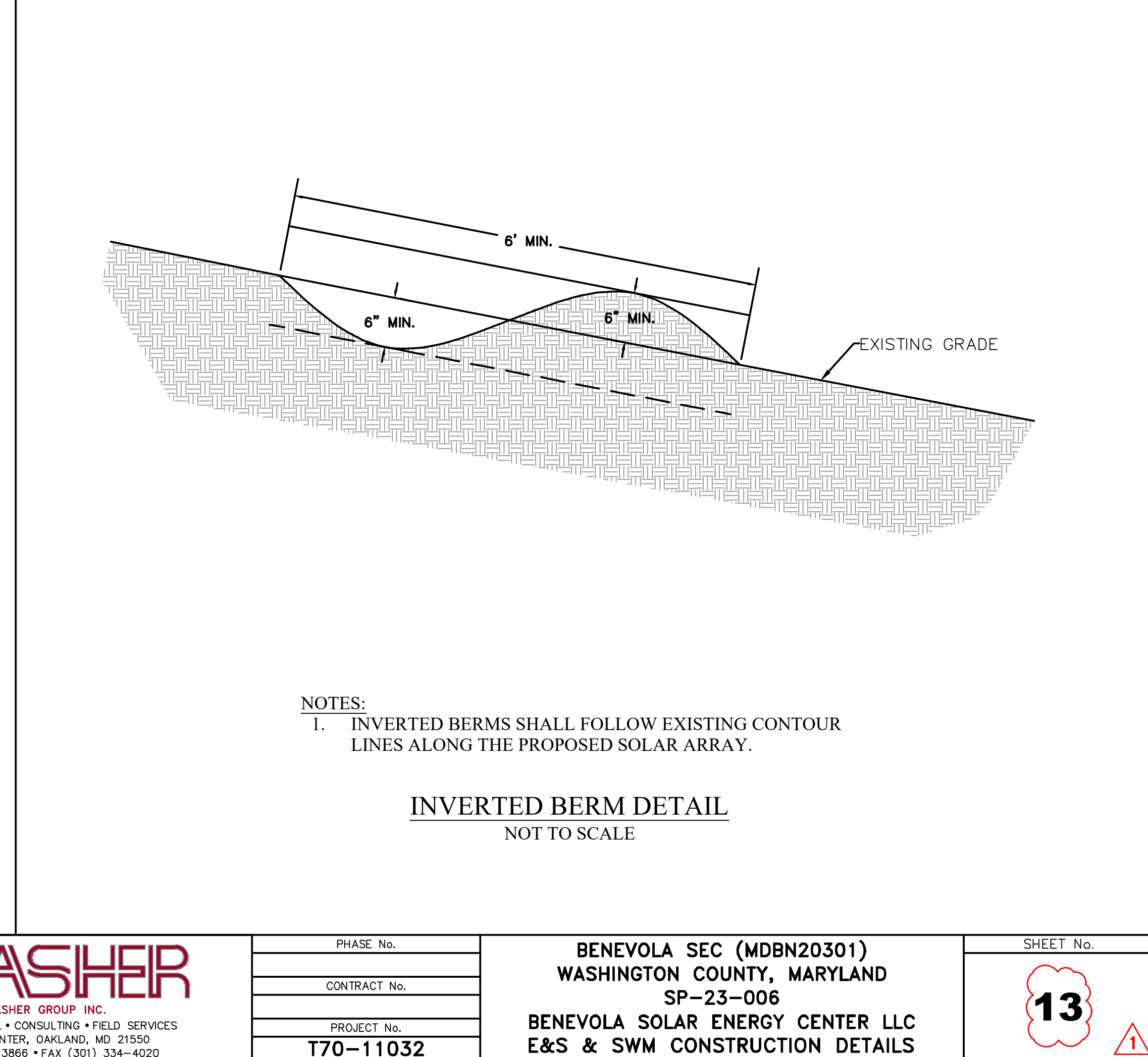
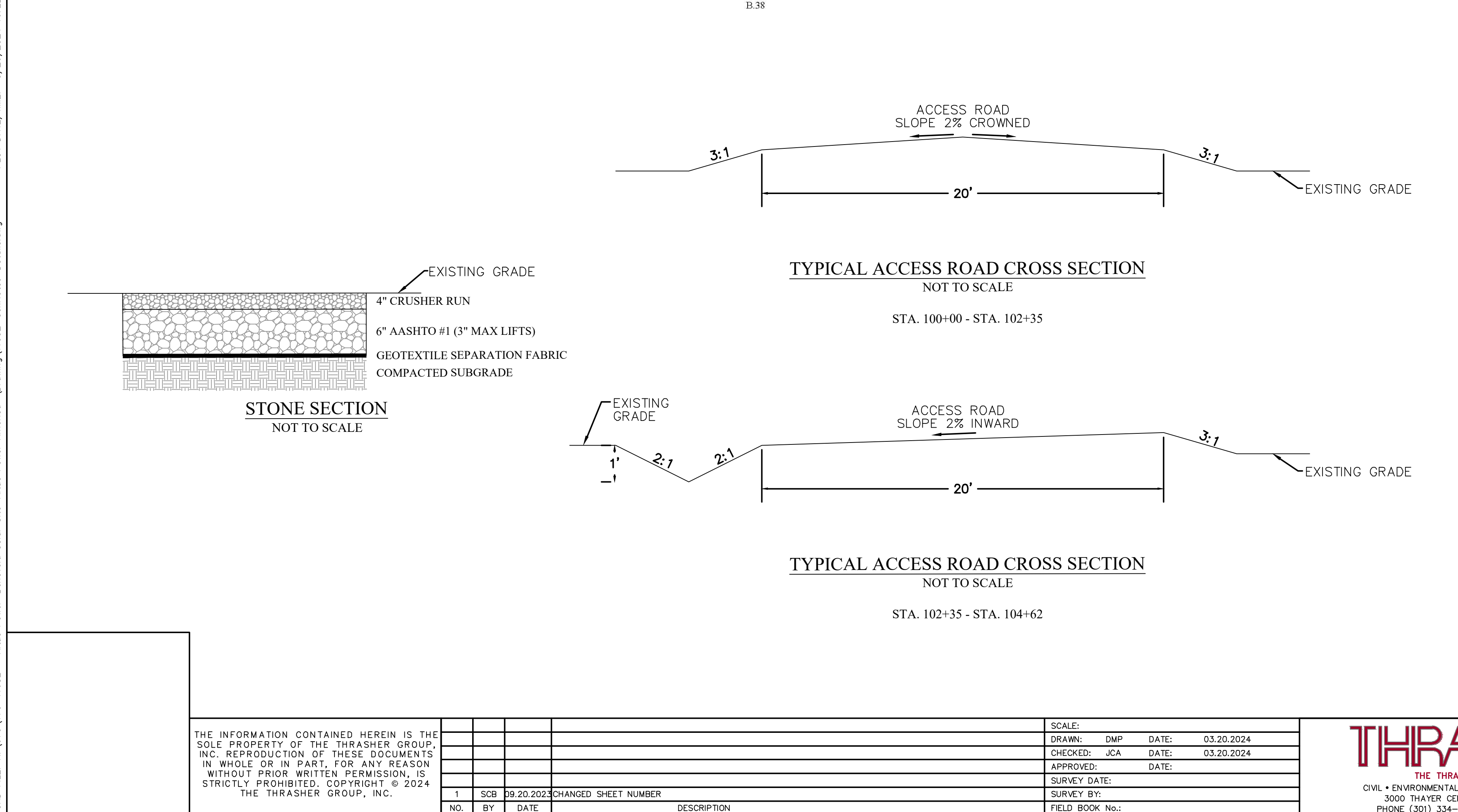
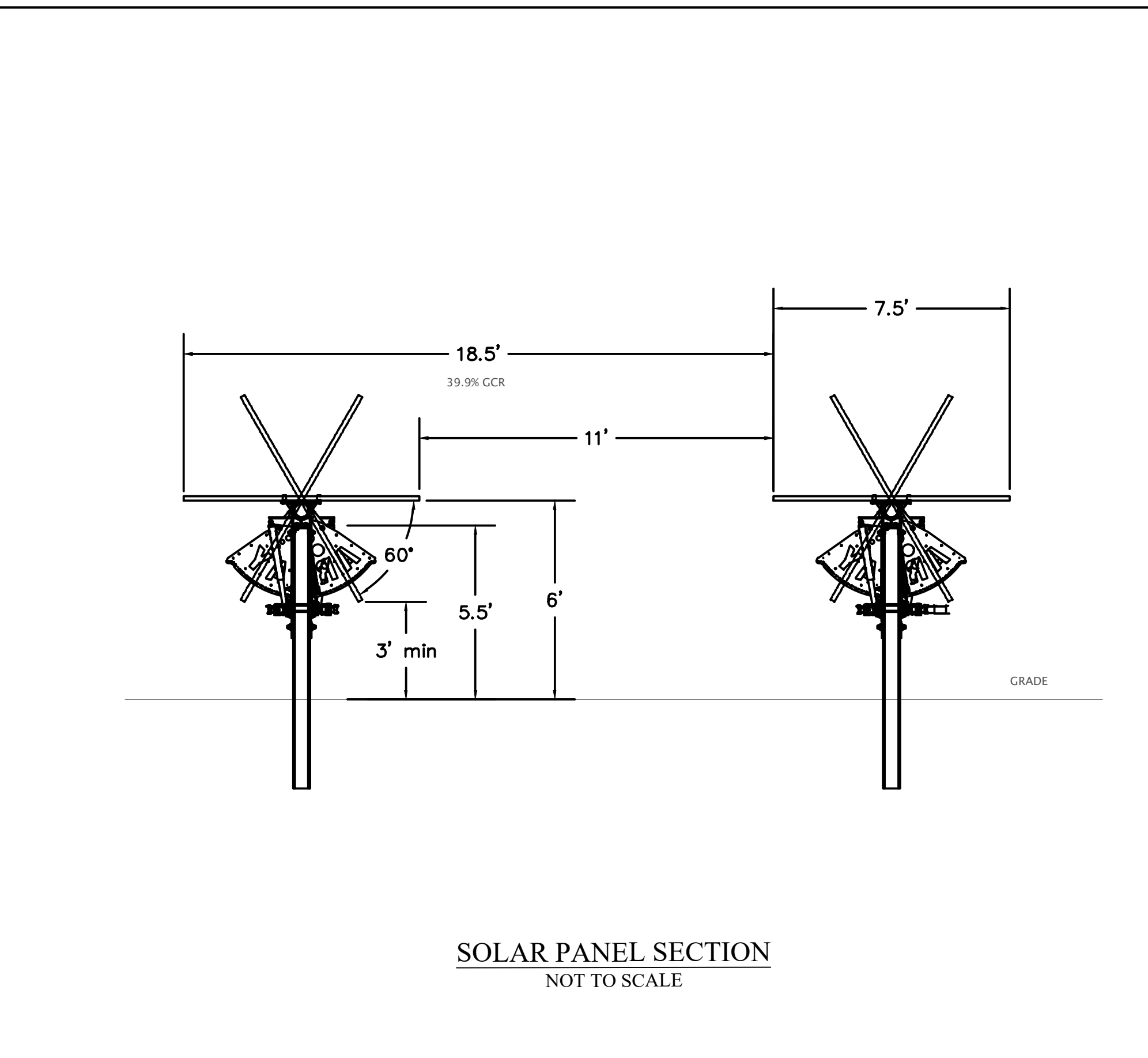
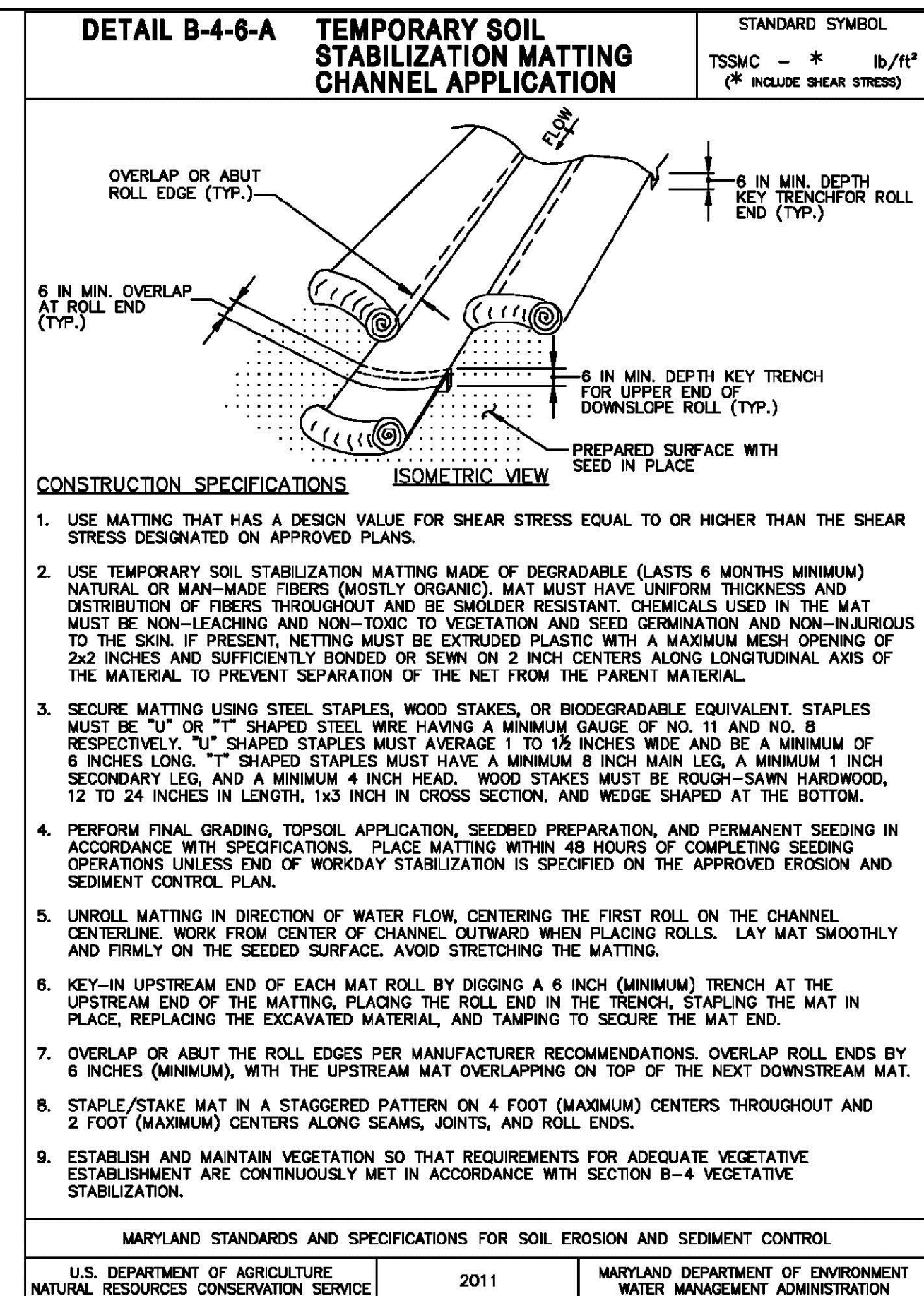
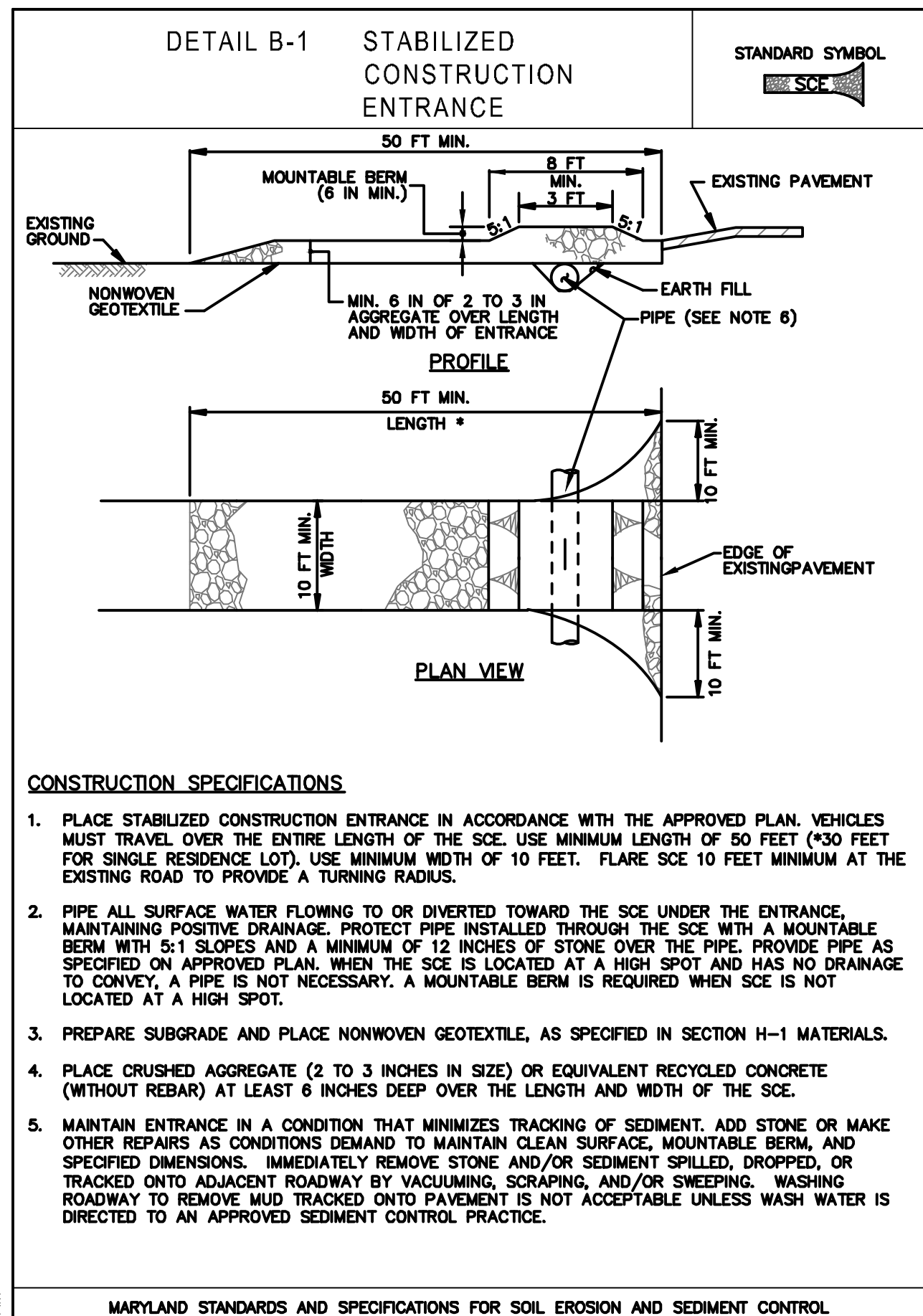


PHASE No.
CONTRACT No.
PROJECT No.
T70-11032

**BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
SOILS DESCRIPTIONS**

SHEET No.
12

CAD FILE: R:\070\770-11032 - Altus Power-Benevola Solar-Site-Altus Power America - Drawing\11032-GenNotes-Details.dwg
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NO.	BY	DATE	DESCRIPTION
1	SCB	09.20.2023	CHANGED SHEET NUMBER

SCALE:	
DRAWN:	DMP DATE: 03.20.2024
CHECKED:	JCA DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

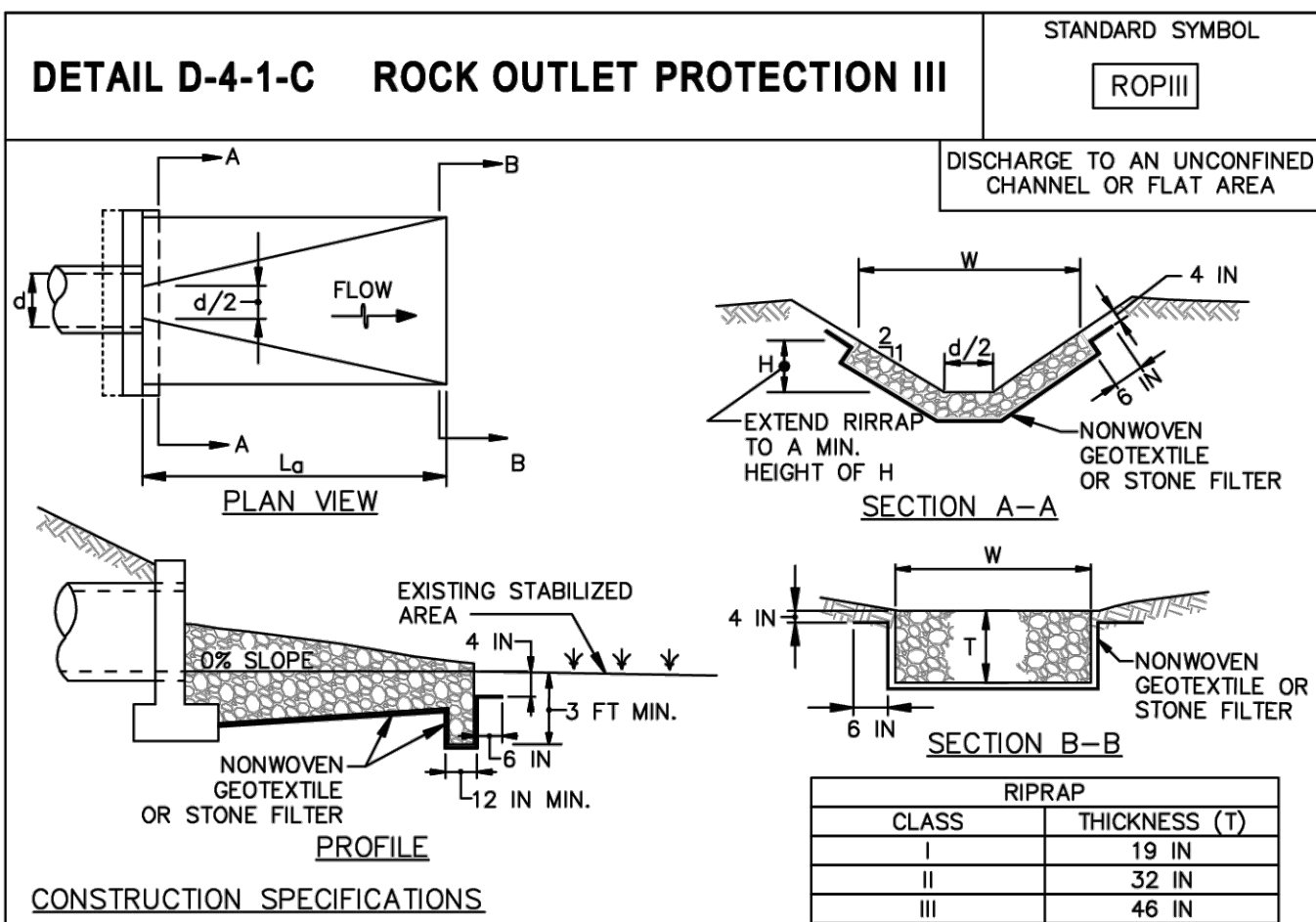
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BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
E&S & SWM CONSTRUCTION DETAILS

SHEET No.

13



- CONSTRUCTION SPECIFICATIONS**
- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
 - USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
 - PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (3/8 TO 1 1/2 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 - EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
 - CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
 - WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
 - CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
 - MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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D.22

Table B.5: Recommended Planting Dates for Permanent Cover in Maryland^{1/}

Type of Plant Material	Plant Hardiness Zones		
	5b and 6a	6b	7a and 7b
Seeds - Cool-Season Grasses (includes mixes with forbs and/or legumes)	Mar 15 to May 31 Aug 1 to Sep 30	Mar 1 to May 15 Aug 1 to Oct 15	Feb 15 to Apr 30 Aug 15 to Oct 31 Nov 1 to Nov 30
Seeds - Warm-Season/Cool-Season Grass Mixes (includes mixes with forbs and/or legumes)	Mar 15 to May 31 ♦♦ Jun 1 to Jun 15*	Mar 1 to May 15 ♦♦ May 16 to Jun 15*	Feb 15 to Apr 30 ♦♦ May 1 to May 31*
Sod - Cool-Season	Mar 15 to May 31 Jun 1 to Aug 31* Sep 1 to Nov 1*+	Mar 1 to May 15 May 16 to Sep 14* Sep 15 to Nov 15*+	Feb 15 to Apr 30 May 1 to Sep 30* Oct 1 to Dec 1*
Unrooted Woody Materials; Bare-Root Plants; Bulbs, Rhizomes, Corms, and Tubers ^{2/}	Mar 15 to May 31 Jun 1 to Jun 30*	Mar 1 to May 15 May 16 to Jun 30*	Feb 15 to Apr 30 May 1 to Jun 30*
Containerized Stock; Balled-and-Burlapped Stock	Mar 15 to May 31 Jun 1 to Jun 30* Sep 1 to Nov 15*+	Mar 1 to May 15 May 16 to Jun 30* Sep 15 to Nov 30*+	Feb 15 to Apr 30 May 1 to Jun 30* Oct 1 to Dec 15*+

ITEM NUMBER	DESCRIPTION	UNIT	QUANTITY
Stormwater Management			
01	ROADSIDE DITCH	LF	75
02	INVERTED BERM	LF	3,825
03	LEVEL SPREADER	LF	43
04	OUTLET PROTECTION	EA	1
05	SMARTFENCE 42	LF	1,210

APRON NO.	SIZE (IN)	LENGTH L _a (FT)	INITIAL WIDTH A _{iw} (FT)	TERMINAL WIDTH A _{tw} (FT)	Q ₁₀ (CFS)	V ₁₀ (FT/S)
1	19	7	3	10	0.35	3.62

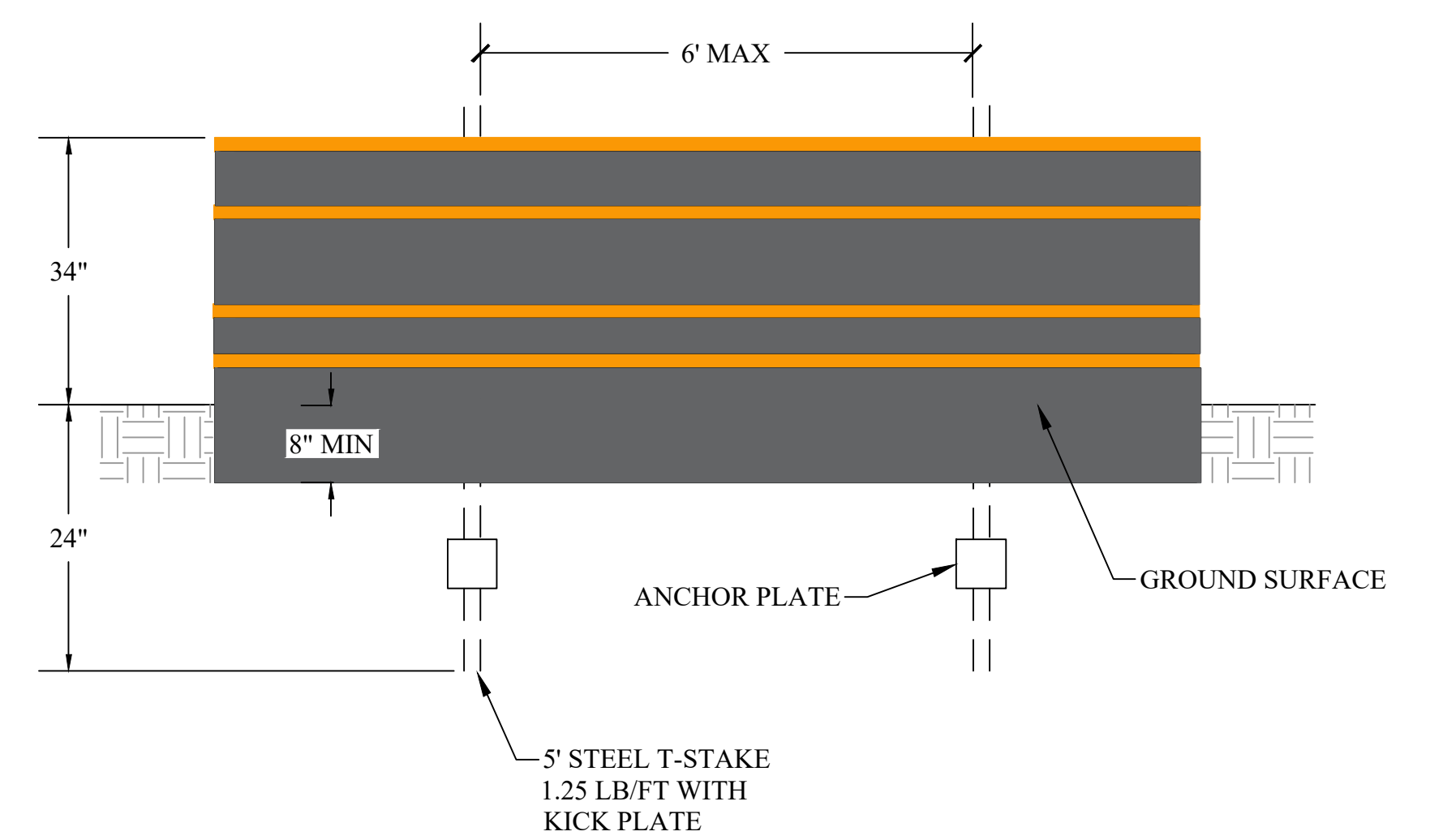
NOTES:

- ALL SIGNS SHALL COMPLY WITH ORDINANCE 4.26.A.9.

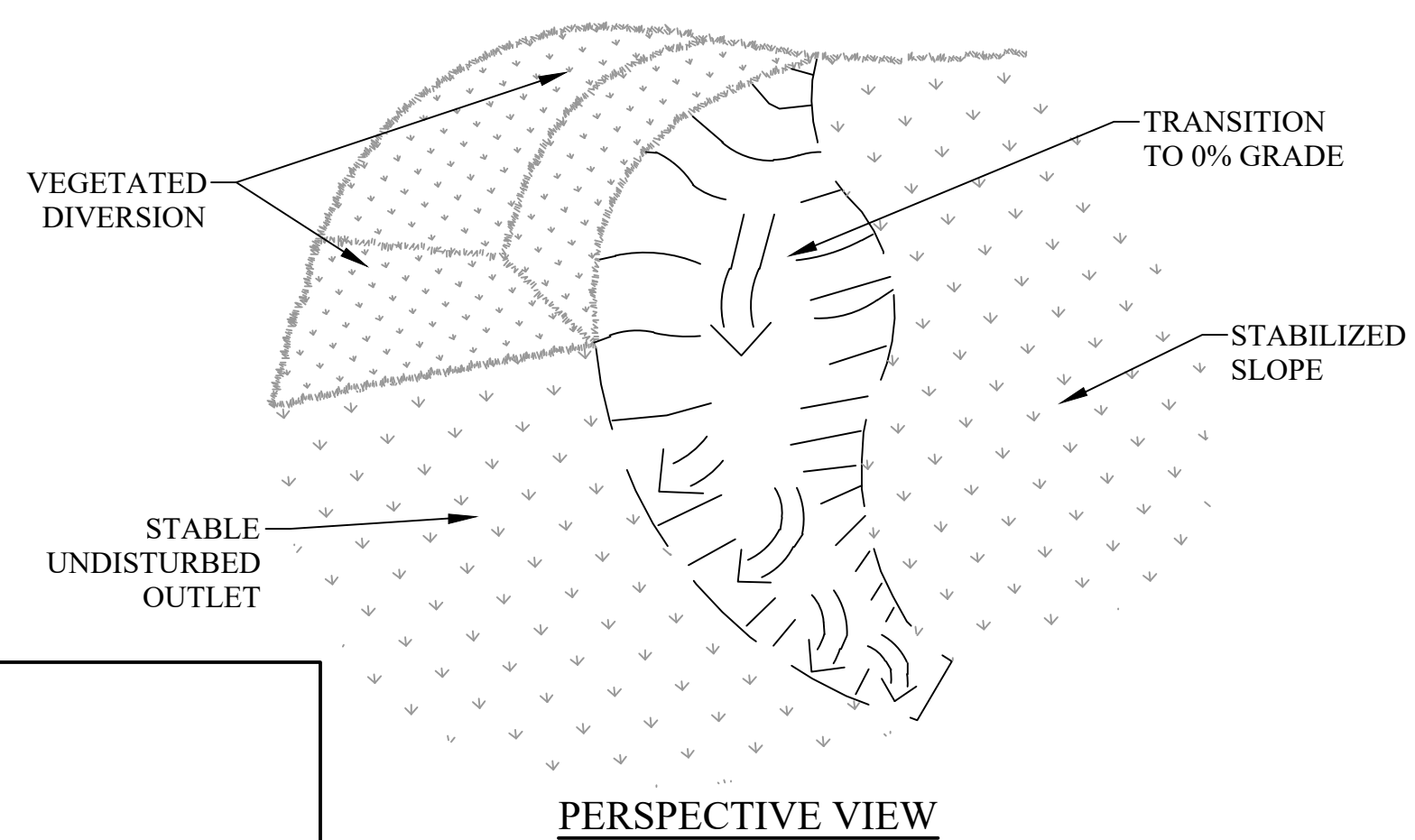
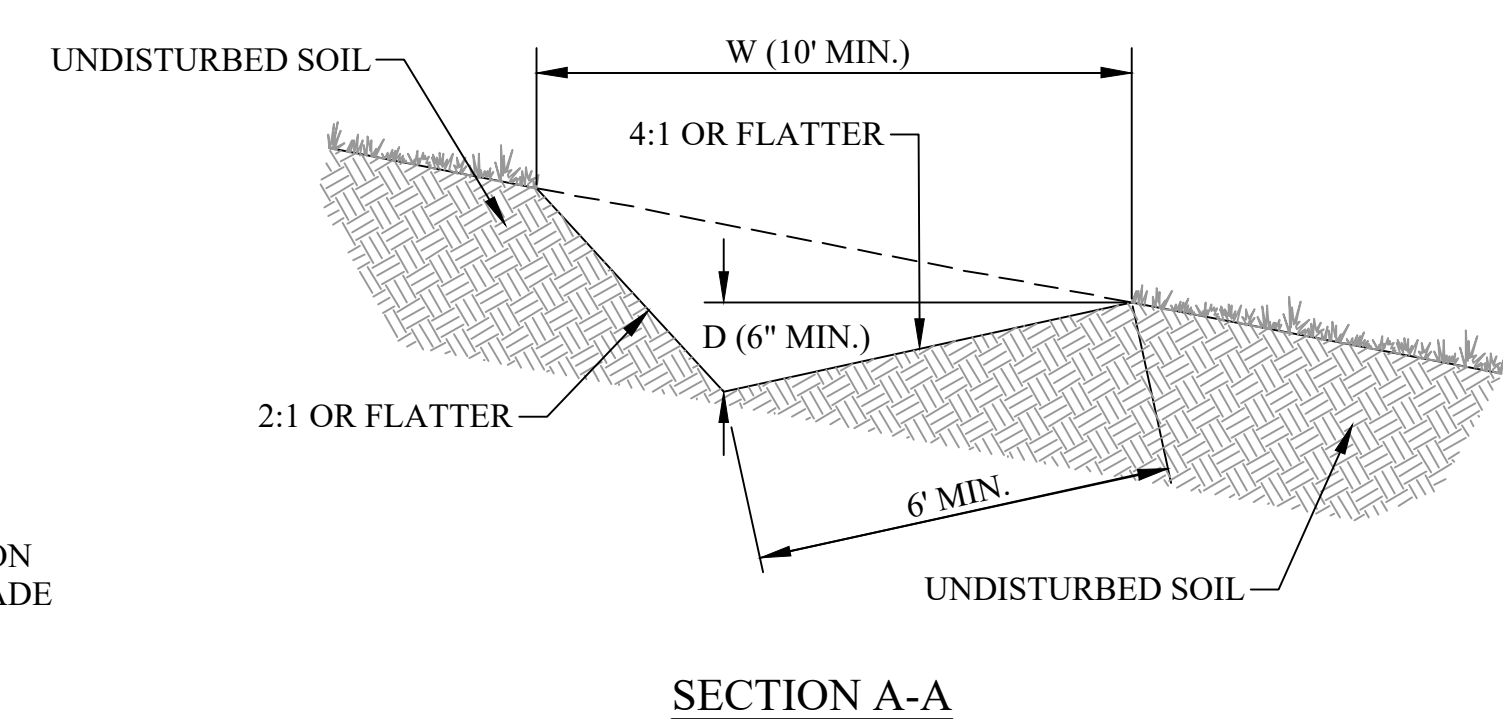
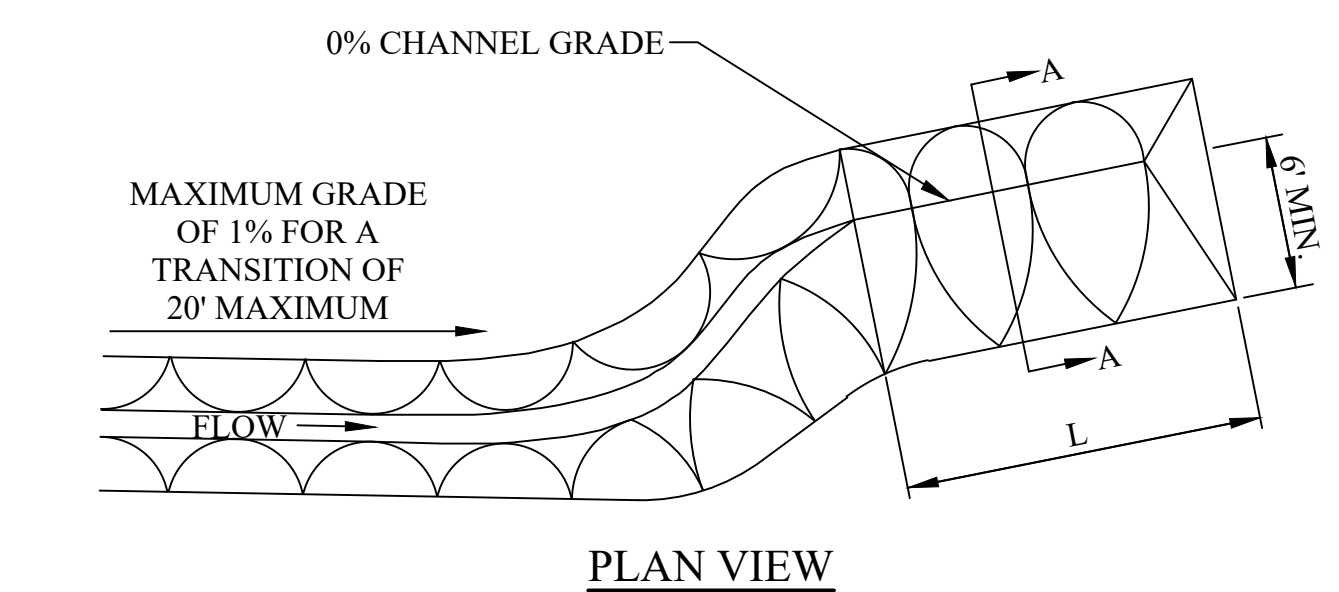
**IN THE EVENT OF
AN EMERGENCY**

**ALTUS POWER
OWNER CONTACT
(XXX) XXX-XXXX**

EMERGENCY SIGN



- INSTALLATION INSTRUCTIONS:**
- EXCAVATE TRENCH A MAXIMUM OF 4" WIDE AND 6" DEEP. THE TRENCH SHALL BE HAND-CLEANED FOLLOWING EXCAVATION TO REMOVE BULKY DEBRIS SUCH AS ROCKS, STICKS, AND SOIL CLODS FROM THE TRENCH. DRIVE STUDDED METAL T-POSTS WITH ANCHOR PLATES HAVING A MINIMUM WEIGHT OF 1.25 LB/FT AND A MINIMUM 5 FT LENGTH. DRIVE POST INTO GROUND A MINIMUM OF 18" DEPTH. POST SPACING MUST BE NO GREATER THAN 6 FT MAXIMUM.
 - LAYOUT SMARTFENCE 42 ALONG PROPOSED FENCE LINE NEXT TO ANCHOR TRENCH. LOCATE ONE END OF THE SMARTFENCE 42 AND POSITION NEAR THE INITIAL POST. POSITION SMARTFENCE 42 VERTICALLY ALONG THE INITIAL POST.
 - FOR THE INITIAL POS, PLACE THE END OF SMARTFENCE 42 ALONG THE POST HEIGHT AND ROTATE THE POST 360 DEGREES, MAINTAINING TENSION ON THE FENCE SYSTEM. SECURE THE FENCE TO THE POST AT ALL FOUR (4) ORANGE COLORED BAND LOCATIONS WITH STEEL WIRE OR NYLON TIES.
 - FOR FASTENING SMARTFENCE 42 TO STUDDED METAL T-POST USING ONE OF FOLLOWING METHODS:
 - METHOD I (T-POST): 16 GAGE WIRE ATTACHED SMARTFENCE 42 TO METAL T-POST USING 16-GAGE 304 SS WIRE WITH MITERED ENDS, SECURING THE FENCE TO THE POST USING SAFETY PLIERS
 - METHOD II (T-POST): 8" NYLON HEAVY-DUTY, UV-STABILIZED, CABLE TIES (ZIP-TIES) WITH MINIMUM 120 LB TENSILE STRENGTH. PUNCTURE TWO 0.24" OPENINGS, SPACED AT A WIDTH APART THAT IS ROUGHLY EQUIVALENT TO THE POST WIDTH, AND SECURE THE FENCE TO THE POST.
 - DRIVE THE INITIAL POST WITH THE ATTACHED FENCE INTO THE GROUND TO A 18" DEPTH.
 - DRIVE THE INTERIOR T-POSTS OF THE FENCE SYSTEM INTO THE GROUND AT LEAST 18"
 - MOVE TO THE NEXT T-POST WHILE PULLING SMARTFENCE 42 TIGHTLY. POSITION THE SMARTFENCE 42 IN FRONT OF THE ADJACENT T-POST IN PREPARATION FOR FASTENING THE FENCE TO THE POST. FASTEN FENCE TO POST AT ALL FOUR (4) ORANGE COLORED BAND LOCATIONS AS INSTRUCTED IN STEP 4.
 - AFTER THE INTERIOR POSTS HAVE BEEN FASTENED TO THE SMARTFENCE 42, SECURE THE FENCE TO THE FINAL POST BY PULLING THE FINAL SECTION OF FENCING TAUT, THEN ROTATING THE POST 360 DEGREES, MAINTAINING TENSION ON THE FENCE SYSTEM. SECURE THE FENCE TO THE POST AT ALL FOUR (4) ORANGE-COLORED BAND LOCATIONS WITH THE STEEL WIRE OR NYLON TIES PER STEP 4. DRIVE THE FINAL POST INTO THE GROUND TO A 18" DEPTH.
 - PLACE BOTTOM 8" OF FABRIC INTO THE TRENCH. BACKFILL TRENCH (OVERFILL) WITH SOIL PLACED AROUND FABRIC. COMPACT SOIL BACKFILL WITH EITHER MANUAL TAMPING (OR OTHER MANUAL MEANS) OR VIA MECHANICAL EQUIPMENT SUCH AS THE FRONT WHEEL OF A TRACTOR, SKID STEER, ROLLER, OR OTHER DEVICE (PER NOTE 5 OF ASTM D 6462 STANDARD PRACTICE FOR SILT FENCE INSTALLATION). DO NOT DAMAGE THE FABRIC DURING COMPACTION (DAMAGED FABRIC SHALL BE REPLACE.



LEVEL LIP SPREADER
NOT TO SCALE

- NOTES:**
- LEVEL SPREADER SHALL BE CONSTRUCTED IN CUT ONLY. NO PART SHALL BE CONSTRUCTED FROM FILL MATERIAL.
 - LEVEL SPREADER CHANNEL SHALL BE VEGETATED.
 - THE CHANNEL AND THE LIP SHALL BE LEVEL TO WITHIN 1/8" PER 10-LF AND THUS MUST BE INSTALLED ALONG THE CONTOUR OF THE SLOPE. CURVED LIP SPREADERS ARE PERMISSIBLE.
 - INSPECT WEEKLY AND AFTER SIGNIFICANT RUNOFF EVENT. REMOVE ANY DEBRIS AND/OR SEDIMENT WHICH HAS COLLECTED. IMMEDIATELY CORRECT ANY SCOURING, UNDERCUTTING, OR EROSION.
 - IF IN PLACE DURING THE WINTER MONTHS, INSPECT AFTER EACH FREEZE-THAW CYCLE TO ENSURE THAT THE LIP AND CHANNEL ARE STILL LEVEL. THE FINAL 20-LF OF THE APPROACH CHANNEL SHALL HAVE A GRADE LESS THAN 1%.

SUPER SILT FENCE (SMARTFENCE 42)
NOT TO SCALE

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NO.	BY	DATE	DESCRIPTION
2	TWW	12.04.2023	ADDED SEEDING AND APRON TABLES
1	SCB	09.20.2023	CHANGED SHEET NUMBER, ADDED QUANTITIES TABLE

SCALE:

DRAWN:	DMP	DATE:	03.20.2024
CHECKED:	JCA	DATE:	03.20.2024
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SURVEY DATE:
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THRASHER
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3000 THAYER CENTER, OAKLAND, MD 21550
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E&S & SWM CONSTRUCTION DETAILS

SHEET No.

14

CAD FILE: R:\070\T70-11032 - Altus Power-Benevola Solar Site-Altus Power America-Drawing\11032-GenNotes-Details.dwg PLOT DATE/TIME: 3/20/2024 10:22 AM

CAD FILE: R:\070\170-11032 - Altus Power-Benevola Solar-Site-Altus Power America - Drawing\11032-GenNotes-Detail.dwg PLOT DATE/TIME: 3/20/2024 10:22 AM

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations (CBFEs) shown on this map apply only to landward of 0.17 North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Lambert Conformal Conic State Plane Maryland Zone 1900. The horizontal datum was NAD83, GRS1980 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

National Geodetic Survey
NCEM, NIMS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit its website at <http://www.ngs.noaa.gov/>.

Base map source: Base map information shown on this FIRM was provided in digital format. Road centerline and political boundary files were provided by Washington County and the City of Hagerstown.

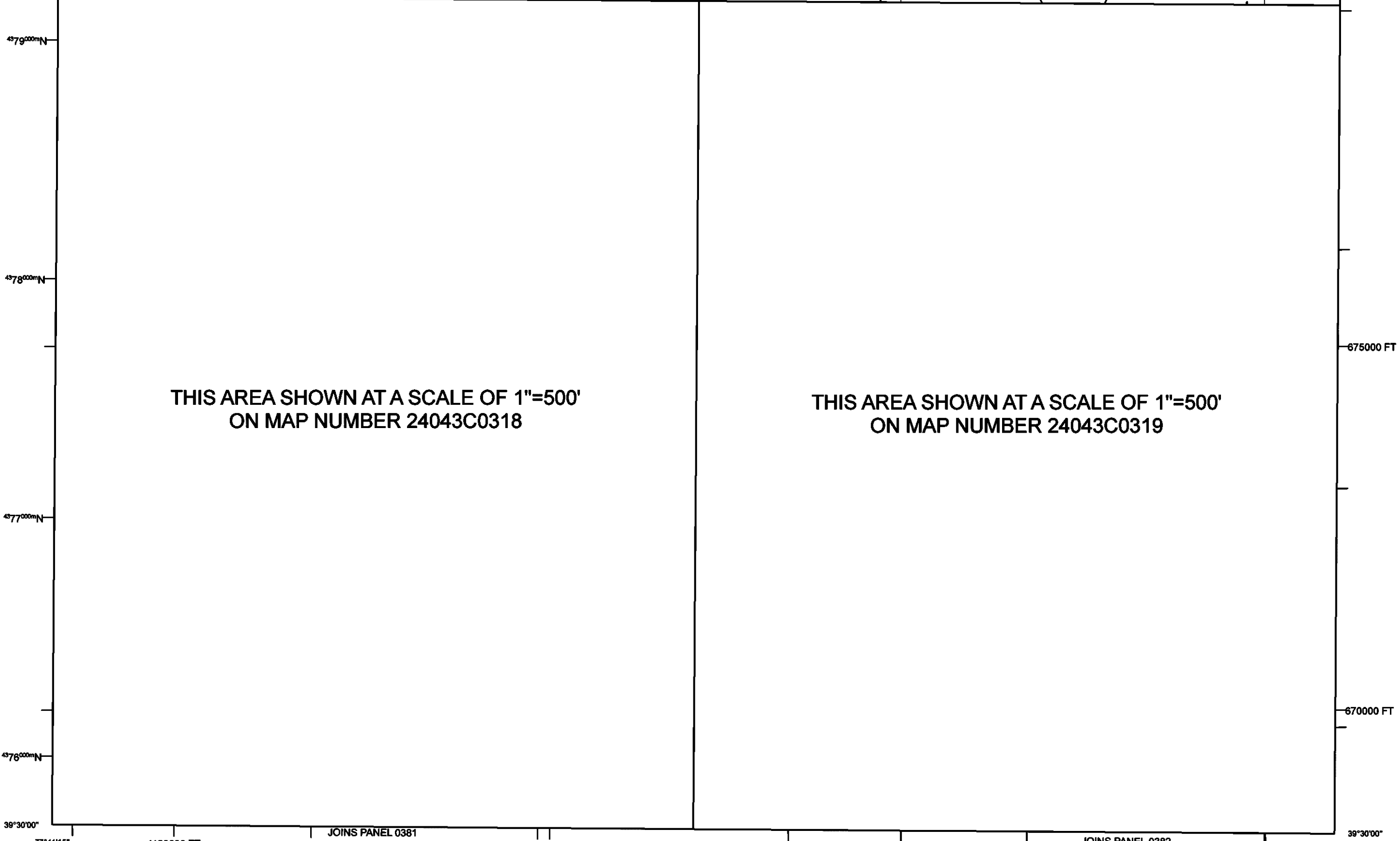
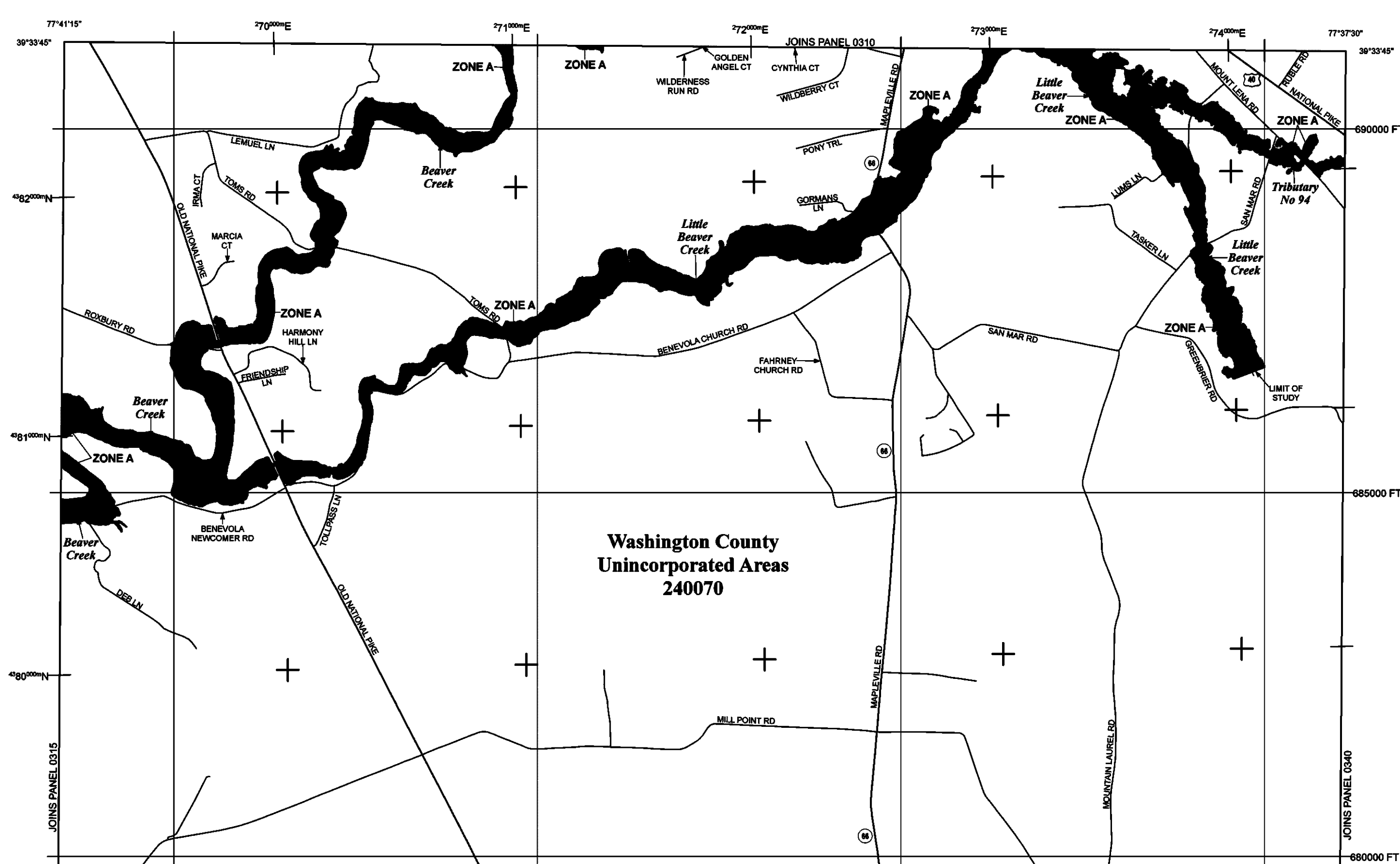
The profile base lines depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result of improved topographic data, the profile base line, in some cases, may deviate significantly from the channel centerline or appear outside the SFHA.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Information eXchange at 1-877-336-2627 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Information eXchange may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov/>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/>.



LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AV, AR, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A
No Base Flood Elevations determined.

ZONE AE
Base Flood Elevations determined.

ZONE AH
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO
Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR
Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently determined. Zone AR indicates that the flood control system is being restored to provide protection from the 1% annual chance of greater flood.

ZONE AV
Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE VE
Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

Areas determined to be outside the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
0.2% annual chance floodplain boundary
Floodway boundary
Zone D boundary
CBRS and OPA boundary
Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, Flood depths or flood velocities
Base Flood Elevation line and value; elevation in feet*
Base Flood Elevation value where uniform within zone; elevation in feet
* Referenced to the North American Vertical Datum of 1988

Bridge
Footbridge
Culvert
Cross section line
Transect line
Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
42°23'00"N
87°07'45", 32°22'30"
600000 FT
DX5510 x
M1.5
River Mile

MAP REPOSITORY
Refer to Listing of Map Repositories on Map Index.
EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
AUGUST 15, 2017
EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 1000'

0 500 1,000 1,500 2,000 2,500 FEET
0 500 1,000 1,500 2,000 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0320D

FIRM
FLOOD INSURANCE RATE MAP
WASHINGTON COUNTY,
MARYLAND
AND INCORPORATED AREAS

PANEL 320 OF 470
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:	COMMUNITY	NUMBER	PANEL	SUFFIX
	WASHINGTON COUNTY	240070	0320	D

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
24043C0320D

EFFECTIVE DATE
AUGUST 15, 2017

Federal Emergency Management Agency

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NO.	BY	DATE	DESCRIPTION
1	SCB	09.20.2023	CHANGED SHEET NUMBER

SCALE:	
DRAWN:	DMP DATE: 03.20.2024
CHECKED:	JCA DATE: 03.20.2024
APPROVED:	DATE:
SURVEY DATE:	
SURVEY BY:	
FIELD BOOK No.:	

THRASHER
THE THRASHER GROUP INC.
CIVIL • ENVIRONMENTAL • CONSULTING • FIELD SERVICES
3000 THAYER CENTER, OAKLAND, MD 21550
PHONE (301) 334-3866 • FAX (301) 334-4020

PHASE No.	
CONTRACT No.	
PROJECT No.	170-11032

BENEVOLA SEC (MDBN20301)
WASHINGTON COUNTY, MARYLAND
SP-23-006
BENEVOLA SOLAR ENERGY CENTER LLC
FEMA FLOOD MAP



April 23, 2024

Via Electronic Mail

Jill Baker
Washington County, MD
747 North Ave
Hagerstown, MD 21742

Re: Black Rock Holdings, LLC (219.49 ac)
Parcel 18019507 (M.0050, P.0321, G.0023) 58.35 ac
Parcel 18019493 (M.0050, P.0309, G.0017) 153.45 ac
Parcel 18048868 (M.0050, P.1751, G.0023) Lots 406-412, & Open Space 7.69 ac

Subj: **REQUEST TO APPLY CLUSTERING OPTION**

Dear Ms. Baker:

This letter is a formal request by DRB Homes (Applicant), on behalf property owner, Black Rock Holdings, LLC (BRH), for Planning Commission approval to utilize and incorporate all allowable provisions of the **DIVISION VIII - CLUSTER SUBDIVISION** Ordinance (Section 22.8) for all planning and engineering of a "By-Right" Site Development Plan and any/all associated entitlements thereof under the Residential, Transition (RT) Zoning District for Parcel #'s 18019507 (M.0050, P.0321, G.0023) and 18019493 (M.0050, P.0309, G.0017) & Parcel 18048868 (M.0050, P.1751, G.0023) Lots 406-412, & Open Space 7.69 ac (currently referenced as "Black Rock PUD").

The referenced property lies within the Residential, Transition District (RT) which permits, by-right, up to four (4) dwelling units per acre and single-family, two-family, and semi-detached (duplex) dwelling units as principal permitted. Under the current zoning, the theoretical yield, excluding acreage for forest conservation requirements, would permit approximately 450-900 dwelling units depending on lot type and mix. Per the current RT zoning, there is no requirement to provide any amount of passive or recreational open space.

Pursuant to the clustering ordinance referenced herein, the total number of lots and dwelling units shall not exceed the number that would be permitted if developed under normal lot size requirements of the zone and the un-lotted land derived from reduction of lot sizes shall be provided and maintained as "open space" or "recreational areas" for joint use by the residents of the cluster subdivision. The Applicant wishes to garner approval from the PC to explore the clustering option, pursuant to the provisions of the ordinance referenced herein. As explained, the yield would not increase beyond what is already permissible, however, the clustering



option would enable the Applicant to provide open space and recreational areas via a reduction of lot size from the standard zoning requirements. Although still in the conceptual stages, it is anticipated that this open space or recreational area created by lot size reductions would be dedicated to the future HOA for the resident’s use.

The Applicant requests approval to utilize the clustering option under the following lot size and setback minimum criteria. All other applicable requirements of the RT zoning beyond requested herein will remain applicable to any design or planning moving forward.

MINIMUM REDUCTION ALLOWANCES PER LOT/DWELLING UNIT TYPE					
Dwelling Type	Lot Width	Lot Size	Front Setback	Side Setback	Rear Setback
Single Family	60'	6,000	20'	8'	20'
Semi-Detached	30'	3,600	20'	8'	20'

Based on rough calculations, the Applicant believes the utilization of the requested minimum lot sizes and setbacks shown above could potentially yield up to 50+/- acres of passive and/or recreational open space. The added open space will allow for increased pervious area that improves the storm water quality of the community. Furthermore, the added open space creates possibilities for amenities such as walking trails and tot lots that would enhance the desirability of the community. As an added benefit, the use of clustering also enables the design of the community to use less roads and infrastructure there for reducing the County’s maintenance cost.

Due to the extensive time and expense of land planning and site engineering, the Applicant does make this request prior to any formal engineering submissions. The methodology, calculations, and layout are significantly different when applying the standard RT zoning requirement or the clustering option. It is our desire to garner approval from the PC to exercise the clustering option, so we are able to explore that avenue with confidence.



The Applicant respectfully requests a timeslot to discuss our submission for use of the clustering ordinance on the May 6, 2024, Planning Commission Agenda. Should you have any further questions or comments, please feel free to contact the undersigned at 240-420-6046.

Sincerely,

DRB Homes

A handwritten signature in black ink, appearing to read 'Matthew Stare', with a long horizontal flourish extending to the right.

Matthew Stare,
Division VP of Land

DIVISION VIII - CLUSTER SUBDIVISION

Section 22.81 General Provisions

In any rural or residential district, the Planning Commission may authorize the subdivision of tracts or parcels of land of not less than ten (10) acres into lots for residential uses, and such lots may be smaller than otherwise required in the districts in this Ordinance.

Section 22.82 Design Standards¹⁶⁷

A residential cluster subdivision shall meet the following standards:

- (a) The total number of lots and dwelling units shall not exceed the number that would be permitted if the area were developed in conformance with the normal minimum lot size requirements in the zoning district where they are located.
- (b) The unlotted land derived from reduction of lot sizes shall be provided and maintained as "open space" or "recreational areas" for joint use by the residents of the cluster subdivision. The open space areas may be conveyed to the County if the County is willing to accept such land, or shall be conveyed to a non-profit Home Association, as defined in Article 28A, or to another entity approved by the Planning Commission. The Planning Commission shall not approve left-over parcels or marginal land for open space but will accept for averaging only land suitable for park conservation and recreation purposes.

¹⁶⁷

Revision 11, Section 22.82(b) amended 5/19/98 (RZ-98-09)

ARTICLE 7A "RT" RESIDENTIAL, TRANSITION DISTRICT⁷⁵

Section 7A.0 Purpose

The purpose of the Residential, Transition District is to provide appropriate locations for single-family and two-family residential development in Urban and Town Growth Areas. The Residential, Transition District is usually located on the outer fringes of the Growth Areas, rather than the inner core, and is intended to be the least dense residential district in the Growth Areas at a density of between 2 and 4 dwelling units per acres.

All new development in the Residential, Transition District, should be served by public water and sewer facilities approved by the Washington County Health Department.

The following regulations and the applicable regulations contained in other articles shall apply in the "RT" - Residential, Transition District.

Section 7A.1 Principal Permitted Uses

- (a) Agriculture, as defined in Article 28A, including animal husbandry facilities as defined in Article 28A which shall be subject to the requirements set forth in Article 22, Division IX.
- (b) Places of worship, schools, and colleges. (See Section 23.1(g))
- (c) Dwellings, single-family, two-family, and semi-detached.
- (d) Buildings and properties of a cultural, civic, educational, social or community service-type, libraries, ponds, playgrounds, and community centers.
- (e) Conversion and alteration of a building existing at the time of the enactment of this Ordinance to accommodate not more than two (2) families; provided that the requirements of Section 23.1 as well as the requirements of the Health Department are complied with.
- (f) Mixed use developments subject to the provisions of Article 16.
- (g) Nursery Schools or Child Care Centers.

Section 7A.2 Special Exception Uses (Requiring Board Authorization After Public Hearing)⁷⁶

- (a) Professional offices, beauty parlors, or barbershops (in residence).
- (b) Nursing/Convalescent homes, and medical or dental clinics.

⁷⁵ Revision 17, Article 7A added, 4/17/12, eff. 7/1/12 (RZ-10-005) (ORD-2012-07)

⁷⁶ Revision 18, Section 7A.2 amended, 1/16/18 (RZ-17-007/ORD-2018-03)

- (c) Golf courses, country clubs, private clubs, and similar recreational uses.
- (d) Public utility buildings, structures, or uses not considered Essential Utility Equipment, as defined in Article 28A.
- (e) Bed and Breakfast; up to five (5) guest rooms.
- (f) Boarding or Rooming Houses.
- (g) Banquet/Reception Facilities.

Section 7A.3 Accessory Uses⁷⁷

- (a) Accessory buildings and uses customarily incidental to any principal permitted use or authorized special exception use.
- (b) Incidental home or farm occupations.
- (c) Guest house in an accessory building.
- (d) Swimming pools, tennis, and other similar courts when accessory to a residence.
- (e) Private stables as defined in Article 28A shall be subject to the requirements set forth in Article 4, Section 4.13.

Section 7A.4 Height Regulation

No principal permitted structure shall exceed thirty-five (35) feet in height, and no accessory structure shall exceed twenty (20) feet in height, except as provided in Section 23.4.

Section 7A.5 Lot Area, Lot Width, and Yard Setback Requirements⁷⁸

(a) The following minimum requirements shall be observed where public water and sewer facilities will be used, subject to the modified requirements in Article 23:

⁷⁷ Revision 18, Section 7A.3 amended, 1/16/18 (RZ-17-007/ORD-2018-03)

⁷⁸ Revision 18, Section 7A.5(a) amended, 1/16/18 (RZ-17-007/ORD-2018-03)

	Lot Area	Lot Width	Lot Area Per Family	Front Yard Depth	Side Yard (Width Each Side Yard)	Rear Yard Depth
Dwelling Single-Family*	15,000 sq. ft.	85 ft.	15,000 sq. ft.	30 ft.	10 ft.	40 ft.
Dwelling, Two-Family*	20,000 sq. ft.	100 ft.	10,000 sq. ft.	40 ft.	12 ft.	50 ft.
Dwelling, Semi-Detached*	7,500 sq. ft.	45 ft.	7,500 sq. ft.	30 ft.	10 ft. (exterior side only)	40 ft.
Places of Worship	2 acres	200 ft.		100 ft.	50 ft.	50 ft.
Schools, Elementary	12 acres	400 ft.		150 ft.	100 ft.	50 ft.
Schools, Middle	25 acres	500 ft.		150 ft.	100 ft.	50 ft.
Schools, High	35 acres	500 ft.		150 ft.	100 ft.	50 ft.
Colleges	15 acres	500 ft.		150 ft.	100 ft.	50 ft.
Convalescent or Nursing Homes, Medical or Dental Clinics	1 acre	150 ft.		40 ft.	30 ft.	50 ft.
Banquet/Reception Facilities	5 acres	300 ft.		50 ft.	100 ft.	50 ft.
Other Principal Permitted or Conditional Uses	20,000 sq. ft.	100 ft.		40 ft.	25 ft.	50 ft.

*A corner lot shall maintain the specified front yard setback along both street frontages. Setbacks from the remaining property lines shall be measured as if they were side yard setbacks.

(b) The following minimum requirements shall apply where the Planning Commission has determined that the use of a public water and sewer system is not required according to the guidelines contained in Section 7A.6.

	Lot Area	Lot Width	Lot Area Per Family	Front Yard Depth	Side Yard (Width Each Side Yard)	Rear Yard Depth
Dwelling Single-Family*	20,000 sq. ft.	100 ft.	20,000 sq. ft.	40 ft.	12 ft.	50 ft.
Dwelling, Two-Family*	20,000 sq. ft.	100 ft.	10,000 sq. ft.	40 ft.	12 ft.	50 ft.
Dwelling, Semi-Detached*	10,000 sq. ft.	50 ft.	10,000 sq. ft.	40 ft.	12 ft. (exterior side only)	50 ft.

*A corner lot shall maintain the specified front yard setback along both street frontages. Setbacks from the remaining property lines shall be measured as if they were side yard setbacks.

Section 7A.6 Public Facilities

- (a) All new development in the Residential, Transition District shall be served by public water and sewer facilities that have been approved by the Health Department.
 - 1. The Planning Commission may waive this requirement after consultation and advice from the Health Department.
 - 2. Prior to a decision to grant or not grant a waiver of this requirement the Planning Commission shall consider the following:
 - i. The need to protect environmental resources from potential pollution from failing septic systems.
 - ii. The availability and proximity of existing public water and sewer facilities.
 - iii. The status of any available plans for utility extensions in the future that may serve the area.
 - iv. The existence and operation of private, on-site health facilities in the vicinity.
 - v. Recommendations of the Washington County Health Department.
 - vi. The adopted Washington County Water and Sewerage Plan.
 - vii. Recommendations of the potential service provider.
 - viii. Any grant of a waiver to allow the use of a private, on-site well or septic system is conditional upon the agreement to abandon the private system and connect to the public utility when it becomes available.
 - ix. When the Planning Commission has determined that a waiver from the required use of public water and sewer facilities is appropriate, the minimum lot size shall be as specified in Section 7A.5(b). Lot dimensions shall also conform to any applicable minimum requirements affecting lot size, width or separations imposed by the Washington County Health Department.
 - x. Any private on-site well or septic system shall meet all Health Department requirements.

- (b) All new development in the Residential, Transition District shall comply with the requirements of the Washington County Adequate Public Facilities Ordinance.

Section 7A.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

Section 7A.8 Site Plans

Uses that require site plans according to the requirements of section 4.11 shall comply with and provide all information necessary to determine compliance with the design guidelines contained in Article 22, Division I (Parking), Division II (Signs), Division X (Lighting) and Division XI (Landscaping, Screening and Buffering).

ARTICLE 8 "RS" RESIDENTIAL, SUBURBAN DISTRICT⁷⁹

Section 8.0 Purpose

The purpose of the Residential, Suburban District is to provide appropriate locations in the Urban and Town Growth Areas for single and two-family dwellings on moderately sized lots and limited community service type uses.

All new development in the Residential, Suburban District should be served by public water and sewer facilities approved by the Washington County Health Department.

The following regulations and applicable regulations contained in other articles shall apply in the "RS" Residential, Suburban District.

Section 8.1 Principal Permitted Uses

- (a) Dwellings, single-family, two-family, and semi-detached.
- (b) Conversion or alteration of a building existing at the time of the enactment of this Ordinance to accommodate two (2) or more families; provided the requirements of Section 23.1 and the requirements of the Health Department are complied with.
- (c) Agriculture, as defined in Article 28A, including animal husbandry facilities as defined in Article 28A, which shall be subject to the requirements set forth in Article 22, Division IX.
- (d) Places of worship, schools, and colleges. (See also Section 23.1(g))
- (e) Buildings and properties of a cultural, civic, educational, social or community service-type, libraries, ponds, playgrounds, and community centers and their associated swimming pools.⁸⁰
- (f) Mixed use developments subject to the provisions of Article 16.

Section 8.2 Special Exception Uses (Requiring Board Authorization After Public Hearing)^{81 82}

- (a) Boarding or rooming houses.
- (b) Clubs, fraternities, lodges, or similar organizations, not conducted as a gainful business, provided any buildings or structures are located subject to the distance requirements specified in Section 4.9.

⁷⁹ Revision 17, Article 8 deleted and replaced, 4/17/12, eff. 7/1/12 (RZ-10-005) (ORD-2012-07)

⁸⁰ Revision 17, Section 8.1(e) amended and eff. 2/26/13 (RZ-12-004) (ORD-2013-03)

⁸¹ Revision 17, Section 8.2 amended and eff. 2/26/13 (RZ-12-004) (ORD-2013-03)

⁸² Revision 18, Section 8.2 amended 1/16/18 (RZ-17-007/ORD-2018-03)

- (b) All new development in the Residential, Transition District shall comply with the requirements of the Washington County Adequate Public Facilities Ordinance.

Section 7A.7 Parking Requirements

Parking shall be provided or prohibited according to the requirements of Article 22, Division I, and where applicable, in compliance with Washington County's adopted Road and Street Design Standards.

The parking of tractor-trailers, either separately or in tandem, shall be prohibited on public or private streets in this District.

Section 7A.8 Site Plans

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Annual Report Worksheet
Reporting (Calendar) Year 2023
For counties or municipalities issuing 50 or more residential permits

INSTRUCTIONS

Each Planning Commission/Board must approve an Annual Report for the reporting calendar year 2023 (January 1, 2023 - December 31, 2023), as required under [§1-207\(b\)](#) of the Land Use Article. In addition, the Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (MDP), via email to david.dahlstrom@maryland.gov and cc: to mdp.planreview@maryland.gov.

A jurisdiction may use the attached template form, or any of the previous Annual Report forms. The Land Use Article requirements have not changed for calendar year 2023, however, the templates have been slightly modified to better describe the requested information that will help MDP form a complete summary of all local government annual reports. An optional survey is included in Section VII. We encourage all jurisdictions to respond.

Section I- New Residential Permits, and Section II- Amendments and Growth-Related Changes, are required by all local jurisdictions.

Section III- Development Capacity Analysis, is required every three years.

Section IV- Locally Funded Agriculture Preservation, is required for counties only.

Section V – Measures and Indicators, is required for jurisdictions reporting more than 50 new residential permits in Section I. If new permit data is not available, MDP will accept new occupancy data, provided the jurisdiction describes this deviation in its submission.

Section VI- Adequate Public Facility Ordinances, is required every two years for jurisdictions with adopted Adequate Public Facility Ordinances (APFOs). Jurisdictions may delete this Section from their report if they have not adopted an APFO.

Section VII – Planning Survey Questions is optional.

**Annual Report Worksheet
Reporting (Calendar) Year 2023
For counties or municipalities issuing 50 or more residential permits**

**Section I: New Residential Permits Issued (Inside and Outside the PFA)
(§1-208(c)(1)(i) and (c)(3)(ii))**

(A) In Table 1, *New Residential Permits Issued (Inside and Outside the PFA)* below, enter the number of new residential building permits issued in calendar year (2023). Enter 0 if no new residential building permits were issued in 2023.

**Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)**

Residential – Calendar Year 2023	PFA	Non - PFA	Total
New Residential Permits Issued	135	62	198

Note: If new residential permit data is not available or tracked, jurisdictions are encouraged to begin a process to track the number of new residential permits approved. MDP will accept new residential occupancy permits as a substitute for new residential permits, provided that the jurisdiction represents the data as new occupancy permits, rather than new residential permits, in this template or other reporting form submitted to MDP. Similarly, if permitting data that specifies within and without of the PFA is not available, and the jurisdiction submits data related to a locally defined growth area, instead of PFAs, then the jurisdiction should consider a future process to track permits within the PFA. MDP will accept permit or occupancy data specific to a locally defined growth area, provided that the jurisdiction represents the data as such in this template or other reporting form submitted to MDP, rather than as PFA.

**Section II: Amendments and Growth Related Changes In Development Patterns
(§1-207(c)(1) through (c)(4))**

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A) Were any new comprehensive plan or plan elements adopted? If yes, briefly summarize what was adopted. Y N

No new comprehensive plan or plan elements were formally adopted during 2023. A draft of the 2040 Washington County Comprehensive Plan was released for public comment in July 2023. A ninety (90) day comment period was given to review and comment on the plan. Staff is currently working with the Washington County Planning Commission to revise the Plan before releasing a second draft, which is expected in July 2024. The public will be given a second comment period prior to Planning Commission approval and presentation of the Plan to the Board of County Commissioners for adoption.

(B) Were there any amendments to zoning regulations or zoning map? If yes, briefly summarize each amendment, include an updated zoning map, and/or GIS shapefile, if available.

Y N

Annual Report Worksheet Reporting (Calendar) Year 2023

For counties or municipalities issuing 50 or more residential permits

Case Number	Name	Location	Total Acres	From Zone	To Zone	Decision Date
RZ-23-004	Troy & Elisabeth Jernigan (Map)	23226 Fruit Tree Drive	22.4	RT	A(R)	11/28/2023
RZ-23-005	Martin & Colleen Katz (Map)	8524 Fahrney Church Road	9.39	RB (AR)	A(R)	08/22/2023

RZ-23-004

- Piecemeal application – Zoning Ordinance map amendment to rezone one parcel located on the east side of Jefferson Pike, west of Fruit Tree Drive from Rural Transition to Agriculture Rural. The property, located at 23226 Fruit Tree Drive, is 22.4 acres in size and will continue to be used for agricultural purposes.

RZ-23-005

- Piecemeal application – Zoning Ordinance map amendment for the removal of a Rural Business floating zone over 9.39 acres, located at 8524 Fahrney Church Road. The underlying zoning of Agricultural Rural will be re-activated on the property. The previous property owner subdivided Lot 3 off from the parent parcel and conveyed it to the current property owners without having the RB designation removed. The current property owners are interested in residential activities on the site.

- (C) Were there growth-related changes, including land use, annexations, zoning ordinance changes, new schools, changes in water or sewer service areas, municipal annexations that changed municipal or unincorporated area boundaries? If yes, describe or attach a map of the changes and/or GIS shapefile, and describe how they are consistent with internal, state, or adjoining jurisdiction plans.

Y N

CP-23-001

- Piecemeal application – Comprehensive Plan map amendment for the removal of one parcel from the edge of the Smithsburg Town Growth Area and re-designating it to the Agricultural Rural land use area of the County. The property, located on the east side of Jefferson Pike, west of Fruit Tree Drive, previously had a Low-Density Residential land use classification. The property, located at 23226 Fruit Tree Drive, is 22.4 acres in size and will continue to be used for agricultural purposes.

Hagerstown Annexation: A-2002-002

- The '2 Western Maryland' annexation is located along the east side of Western Maryland Parkway, north of West Washington Street, consists of 21.44 acres, and was effective on 7/1/2023. County Zoning was Highway Interchange; proposed City Zoning is Industrial – Mixed Use.

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Hagerstown Annexation: A-2003-001

- The ‘Bostetter’ annexation is located along the east side of McDade Road, south of Broadfording Road, consists of 81.55 acres, and was effective on 8/4/2023. County Zoning was Residential Transition, proposed City Zoning is Residential, Moderate Density.

Hagerstown Annexation: A-2003-003

- The ‘Parkway Neurosciences’ annexation is located along the west side of Western Maryland Parkway, north of West Washington Street, consists of 10.59 acres, and was effective on 12/8/2023. County Zoning was Highway Interchange, proposed City Zoning is Industrial – Mixed Use.

Smithsburg Annexation: RS-2022-01

- The ‘Clovery Hill LLC P.350’ Annexation is located along the east side of Jefferson Pike, north of Foxville Road, consists of 7.31 acres, and was effective on 6/26/2022. County Zoning was Residential Transition, proposed Town Zoning is Town Residential.

(D) If yes to municipal annexations, have copies of each adopted resolution been submitted to: Georgeanne Carter, Legislative Counsel Municipal Resolution Reposition Department of Legislative Services, 90 State Circle, Annapolis MD, 21401-1991? Y N

(E) Did your jurisdiction identify and/or implement recommendations, related to the following general planning topics, to improve the local planning and/or development process? Please select all that apply.

Y N

<input type="checkbox"/> Green Infrastructure	<input type="checkbox"/> Revitalization and Infill
<input type="checkbox"/> Zoning Reform	<input type="checkbox"/> Bike/Ped Planning
<input type="checkbox"/> Climate Change	<input type="checkbox"/> Commercial Redevelopment
<input type="checkbox"/> Affordable/Workforce Housing	<input type="checkbox"/> Sustainable Growth
<input type="checkbox"/> Equity	<input type="checkbox"/> Placemaking
<input type="checkbox"/> Resilience	<input type="checkbox"/> Aging Population
<input type="checkbox"/> Water/Air Quality	<input type="checkbox"/> Sensitive Area Preservation
<input type="checkbox"/> Water/Sewer Capacity	<input type="checkbox"/> Expedited Review for Preferred Projects
<input type="checkbox"/> Brownfield Remediation	

Please describe any other planning improvements identified or implemented in 2023. *n/a*

(F) Have all Planning (Commission/Board) and Board of Appeals members completed [the Maryland Planning Commissioners Association \(MPCA\) training course](#)?

Y N

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Section III: Development Capacity Analysis (DCA)(§1-208(c)(1)(iii))

Note: MDP provides technical assistance to local governments in completing development capacity analyses. Please contact your MDP regional planner for more information.

(A) Has an updated DCA been submitted with your annual report or to MDP within the last three years? Y N

1. If no, explain why not, such as, no substantial growth changes.

An updated development capacity analysis was included as part of the draft of Washington County’s 2040 Comprehensive Plan which was released for public review and comment in July 2023. The draft 2040 Comprehensive Plan is currently going through a revision process and a revised development capacity analysis is expected in July 2024.

2. If yes, when was the last DCA submitted? Identify month and year:

Note: A DCA is not due if a comprehensive plan was updated in the past three years (2020-2023). MDP recommends that jurisdictions share DCAs with local school boards.

Was the DCA shared with the local school board facilities planner? Y N

(B) Using the most current DCA available, provide the following data on capacity inside and outside the PFA in Table 2, Residential Development Capacity (Inside and Outside the PFA):

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

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Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) (§1-208(C)(1)(iv and v))

(A) How many acres were preserved using local agricultural land preservation funding? Enter 0 if no land was preserved using local funds. Enter the value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation*

<u>Local</u> Preservation Program Type	Acres	Value (\$)
CREP Easements (2)	28.50	\$100,416.60
MALPF Easements (3)	595.83	\$2,398,749.75
Rural Legacy Easements (4)	309.62	\$1,052,128.80
SHAF Easement (1)	0.92	\$113,476.00
Total	934.87	\$3,664,771.15

*State funded agricultural land preservation acres and values are not required to be reported as state funding is documented.

(B) What is the county’s established local land use percentage goal? This percentage should include land uses within PFAs, not including PFA comment areas %

Washington County does not have a percentage goal for land preservation efforts. We have had a long-established acreage goal of 50,000 acres.

(C) What is the timeframe for achieving the local land use percentage goal? 20-30 Years.

(D) Has there been any progress in achieving the local land use percentage goal?

Yes, more than 39,000 acres of land has been permanently preserved across all programs since the start of the County’s participation in agricultural land preservation 41 years ago.

(E) What are the resources necessary (e.g. legislative actions (programs incentives), functional planning, and capital funding) for infrastructure inside the PFAs?

Additional funding and streamlining regulations that have similar goals but require dedicated infrastructure to accomplish required mandates (i.e., programs that address water quality).

(F) What are the resources necessary (e.g. legislative actions (program incentives and zoning changes), preservation planning, and easement funding) for land preservation outside the PFAs?

- a. Promote the Agricultural Preservation program(s) as a method to incentivize farmers to preserve their land until funds become available for permanent easements.
- b. Seek out permanent funding sources that can sustain agricultural easements and development rights acquisition.

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- c. Place an emphasis on preserving large contiguous blocks of permanent farmland in excess of 1,000 acres by factoring this variable more heavily in the priority ranking system.
- d. Implement strategies that deter land uses that would remove large blocks of prime agricultural land from active farm production.
- e. Promote start up assistance and provide educational awareness to inspire a new generation of young farmers.
- f. Provide and highlight additional agritourism opportunities for farmers to expand operations with value added products and agricultural industry type uses.

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Section V: Measures and Indicators ([§1-208\(c\)\(1\)](#))

Note: Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2023	PFA	Non - PFA	Total
Total Minor Subdivisions Approved	14	25	39
Total Minor Subdivision Lots Approved	20	31	51
Total Residential Units Approved in Minor Subdivisions*	20	31	51
Gross Acres of All Approved Minor Subdivisions	73.37	619.35	692.72
Net Lot Area** in Acres of All Approved Minor Subdivisions	57.50	172.44	229.94
Total Major Subdivisions Approved	0	0	0
Total Major Subdivision Lots Approved	0	0	0
Total Residential Units Approved in Major Subdivisions	0	0	0
Gross Acres of All Approved Major Subdivisions	0	0	0
Net Lot Area** in Acres of All Approved Major Subdivisions	0	0	0
Total Residential Units Constructed	120	61	181
Total Residential Units Demolished***	7	8	15
Total Residential Units Reconstructed/Replaced***	3	2	5

* Residential units may be greater than lots if they include duplexes, triplexes. or multifamily

**Net lot area is the sum of all developed lots, minus open spaces and right-of-way, other publicly dedicated land.

***Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside PFAs)

Residential – Calendar Year 2023	PFA	Non – PFA	Total
Total Residential Units Approved (Major + Minor Subdivisions)	20	31	51
Total Approved Net Lot Area* (Major + Minor Subdivisions)	57.50	172.44	229.94

*Net lot area is the sum of all developed lots, minus open spaces and right-of-way, other publicly dedicated land.

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Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2023	PFA	Non – PFA	Total
Total Units Approved (Major + Minor Subdivisions)	20	31	51
% of Total Units (Approved Residential Units)	39.2 %	60.8 %	100%

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2023	PFA	Non - PFA	Total
Site Plans			
Total # of Commercial Site Plans Approved	21	7	28
Gross Acres of All Approved Commercial Site Plans	1093.65	308.61	1402.26
Gross Building Area Approved in Square Feet for Commercial Site Plans	4,876,616	90,250	4,966,866
Building Permits			
Total Commercial Building Permits Issued	25	7	32
Gross Building Area Constructed in Square Feet for issued Building Permits	1,210,704	22,151	1,232,855

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**Section VI: Adequate Public Facility Ordinance (APFO) Restrictions ([§7-104](#))
(Section VI is only required by jurisdictions with adopted APFOs)**

Note: Jurisdictions with adopted APFOs must submit a biennial APFO report. The APFO report is due by July 1 of each even year and covers the reporting period for the previous two calendar years. APFO reports for 2022 and 2023 are due July 1, 2024. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

***The Washington County APFO has not restricted development during the 2023 reporting period. Therefore, no biennial APFO report is required.**

- (A) What type of infrastructure is monitored and may trigger development approval restrictions or require a developer to address deficiencies? (List each for schools, roads, water, sewer, stormwater, health care, fire, police or solid waste.)

The Washington County Adequate Public Facilities Ordinance applies to infrastructure including: Roads, Schools, Sewage Disposal Systems, Water Supply and Distribution Systems and Fire Protection.

- (B) Has APFO impacted development approvals within the PFA? Y/N

No, not during the 2023 reporting period.

- (C) If APFO has delayed, limited, or denied development, defined here as a “restriction”:
- a. Are there infrastructure or service facility deficiencies that have triggered denials of development requests, or held up development approvals? Y/N *n/a*
Note: This does not include APFO required developer-funded projects, or phased development approvals due to APFO limitations, or APFO required study areas for approval.
 - b. Can the impact area of facility deficiencies/ development restrictions, which temporarily delay development approvals, be mapped? Y/N *n/a*

- (D) If yes for (C)(b), where is each restriction located? (Identify on a map, including PFA boundary.)
n/a

- (E) Describe what is causing each restriction. **The following restrictions, due to the County’s APFO could be identified in the future.**

- Schools: Many of the County’s school districts are over the designated school capacity due to population growth and there are limited funds for new school construction.
- Roads: Many restrictions are in the rural areas where some roads are not considered adequate by today’s standards.
- Sewer: Collection systems are aging and need upgrades. Availability of treatment capacity is limited by water quality regulations.
- Water: Distribution systems are aging and need upgrades. Availability of water is limited by permitting and water quality regulations.
- Fire: There are no restrictions currently.

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(F) If applicable, what is the proposed resolution of each restriction? **The following are proposed resolutions to future restrictions:**

- **Schools:** The County has adopted an Alternative Mitigation Contribution option for developers who will voluntarily pay a fee to help mitigate the impact of new development on school districts. Funds collected go towards expanding capacity in the educational system.
- **Roads:** Restrictions are mitigated on a case-by-case basis.
- **Sewer:** Developers are required to install and/or upgrade infrastructure to service their development. There is no local control that can resolve the issue of diminishing availability due to State and Federal water quality regulations.
- **Water:** Same as Sewer
- **Fire:** No restrictions currently.

(G) If applicable, what is the estimated date to resolve each restriction?

All categories are mitigated on a case-by-case basis and have no established timeline for resolution.

(H) If a development restriction has been addressed, what was the resolution that lifted each restriction? **n/a**

(I) If a development restriction has been addressed, when was each restriction lifted? **n/a**

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Section VII: Planning Survey Questions (Optional)

This information can help MDP and MDOT staff to identify potential pedestrian/bicycle projects and their funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan? Y N

1. Plan name
2. Date Completed (MM/DD/YR)
3. Has the plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? (Every ____ years)
6. Are existing and planned bicycle and pedestrian facilities mapped? Y N

(B) Does your jurisdiction have a transportation functional plan in addition to a comprehensive plan? Y N

1. Plan name
2. Date completed (MM/DD/YY)
3. Has the plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? (Every ____ years)

(C) Has your jurisdiction completed and submitted a five-year mid-cycle comprehensive plan implementation review report this year? Y N

Note: To find out if your jurisdiction is scheduled to submit this report, consult the Transition Schedule (Counties/Municipalities) section located at: <https://planning.maryland.gov/pages/OurWork/compPlans/ten-year.aspx>

If yes, please include the 5-Year Report as an attachment.

END

Annual Report Worksheet
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Submitting Annual Reports and Technical Assistance
(Please do not return this form)

(A) Please sign, scan, and email a copy of the Annual Report to david.dahlstrom@maryland.gov and cc: to mdp.planreview@planning.gov

Alternatively, if emailing is not possible, one copy may be mailed to:

Office of the Secretary
Maryland Department of Planning
301 W. Preston Street, Suite 1101
Baltimore, Maryland 21201-2305
Attn: David Dahlstrom, AICP

(B) Annual reports should include a cover letter indicating that the planning commission has approved the annual report and acknowledges that a copy has been filed with the local legislative body. The cover letter should indicate a point of contact(s) if there are questions about the report. Before emailing the annual report:

1. Was the annual report approved by the planning commission/board? Y N
2. Was the annual report filed with the local legislative body? Y N
3. Does the cover letter:
 - a. Acknowledge that the planning commission/board has approved the annual report? Y N
 - b. Acknowledge that the annual report has been filed with the local legislative body? Y N
 - c. Answer whether all members of the planning commission/board and board of appeals have completed a training course ? Y N
(See <https://planning.maryland.gov/Pages/YourPart/MPCA/pcbzacompleteded.aspx> for a list of those who have completed the course. See <https://planning.maryland.gov/Pages/YourPart/EducationWelcome.aspx> for the online training modules
 - d. Indicate a point of contact(s)? Y N

(C) If you desire, you may also send an additional copy of your annual report directly to your [Maryland Department of Planning Regional Office](#) via email or hardcopy.

(D) If you need assistance to prepare or submit reports, MDP regional planners are available to assist. Contact information is found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml

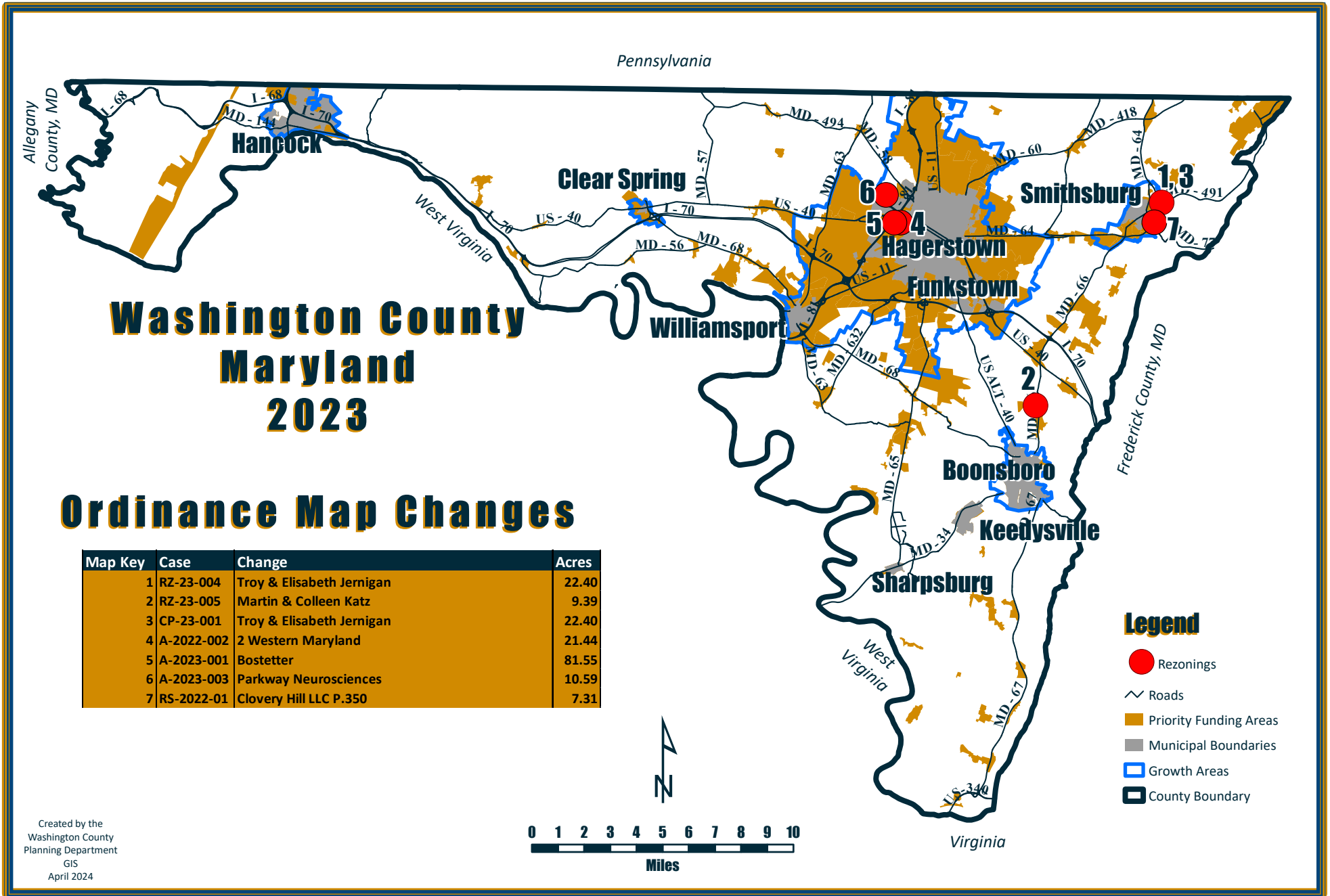
(E) You may wish to send additional copies directly to your MDP regional planner or school board facilities planner.

(F) Copies of this annual report worksheet, and links to legislation about annual report requirements can be found on the Maryland Department of Planning website:

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[Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml](https://planning.maryland.gov/YourPart/SGGAnnualReport.shtml)

- (G) If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at david.dahlstrom@maryland.gov.



Washington County Maryland 2023

Ordinance Map Changes

Map Key	Case	Change	Acres
1	RZ-23-004	Troy & Elisabeth Jernigan	22.40
2	RZ-23-005	Martin & Colleen Katz	9.39
3	CP-23-001	Troy & Elisabeth Jernigan	22.40
4	A-2022-002	2 Western Maryland	21.44
5	A-2023-001	Bostetter	81.55
6	A-2023-003	Parkway Neurosciences	10.59
7	RS-2022-01	Cloverly Hill LLC P.350	7.31

Legend

- Rezoning
- Roads
- Priority Funding Areas
- Municipal Boundaries
- Growth Areas
- County Boundary



Created by the
Washington County
Planning Department
GIS
April 2024



Plan Review Projects Initialized - March 01, 2024 - March 31, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
FS-24-003	Forest Stand Delineation	Approved	05-Mar-24	DOWNSVILLE SOLAR II	17137 BLACK STALLION LANE HAGERSTOWN, MD 21740	KIMLEY-HORN & ASSOCIATES INC	VATERS MICHAEL D SR
FS-24-004	Forest Stand Delineation	In Review	19-Mar-24	UPDATED FOREST STAND DELINEATION FOR BATTLEFIELD ESTATES	125 ORCHARD DRIVE BOONSBORO, MD 21713	FOX & ASSOCIATES INC	BATTLEFIELD EST LLC
FS-24-005	Forest Stand Delineation	Received	19-Mar-24	FOREST STAND DELINEATION FOR RICK HARSHMAN	16220 SHINHAM ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	HARSHMAN JACOB R SIMANE JENNA L
FS-24-006	Forest Stand Delineation	Received	27-Mar-24	SAINT JAMES SCHOOL DORMITORY - SFS	17632 COLLEGE ROAD HAGERSTOWN, MD 21740	TRIAD ENGINEERING	ST JAMES SCHOOL TRUSTEES OF
SIM24-016	IMA	Active	05-Mar-24	9540 STOTTLEMYER ROAD BO	9540 STOTTLEMYER ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	SHINHAM JOSHUA D ET AL SHINHAM JENNIFER M
SIM24-017	IMA	Active	06-Mar-24	20734 TROVINGER MILL ROAD HN	20734 TROVINGER MILL ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	SPRECHER MATTHEW EUGENE
SIM24-018	IMA	Active	08-Mar-24	SMITHSBURG WWTP ENR UPGRADE AND EXPANSION	22523 LEITERSBURG SMITHSBURG ROAD SMITHSBURG, MD 21783	WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY	WASH CO COMMISSIONERS BOARD OF
SIM24-019	IMA	Active	22-Mar-24	13814 PENNSYLVANIA AVENUE HN	13814 PENNSYLVANIA AVENUE, UNIT# 100 HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	FOUNTAINHEAD PROPERTIES MNGT INC
SIM24-020	IMA	Active	25-Mar-24	18614 BURNSIDE BRIDGE RD SH	18614 BURNSIDE BRIDGE ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	PIPES HAROLD A PIPES EVA R
OM-24-001	Ordinance Modification	Approved	14-Mar-24	MARK D MYERS	14710 NATIONAL PIKE CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	MYERS MARK D
PP-24-003	Preliminary Plat	In Review	11-Mar-24	THE RUN AT ELIZABETHTOWNE	17755 HALFWAY BOULEV HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	KREYKENBOHM HELEN Z
S-24-005	Preliminary-Final Plat	In Review	01-Mar-24	CHARLES A SHIRK	11505 ASHTON ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	SHIRK CHARLES A TRUSTEE RESIDUARY TRUST OF CHARLES E SHIRK
S-24-006	Preliminary-Final Plat	Revisions Required	12-Mar-24	WOLFE LOT 2	11681 CEDAR RIDGE ROAD WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	CURRY CINDY L ET AL WOLFE WALTER WILLIAM III
S-24-008	Preliminary-Final Plat	In Review	25-Mar-24	NIKLEWSKI, LOT 1	13191 ROCKDALE ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	NIKLEWSKI ROBERTA M
SP-21-033.R01	Redline Revision	Signatures Complete	13-Mar-24	PROJECT CYPRESS	11901 & 11903 GREENCASTLE PIKE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN 2000 LLC
SP-08-008.R02	Redline Revision	Approved	25-Mar-24	SHEPHERD'S SPRING REDLINE TO MOVE PROPOSED YURT	SW OF TAYLORS LANDING ROAD	FREDERICK SEIBERT & ASSOCIATES	DTRCT BD OF MID-ATLTIC DTRCT CHURCH OF BRETHREN P.O. BOX 369
SI-24-004	Simplified Plat	Approved	04-Mar-24	JOHN J. PENNESI	13910 MAPLE RIDGE HANCOCK, MD 21750	GEHR DANIEL R. SURVEYING	WILSON ROBERT L JR
SI-24-009	Simplified Plat	In Review	11-Mar-24	SIMPLIFIED PLAT, LANDS OF TIMOTHY B. MOATS	11425 NATIONAL PIKE CLEAR SPRING, MD 21722	FOX & ASSOCIATES INC	MOATS TIMOTHY B

Plan Review Projects Initialized - March 01, 2024 - March 31, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SI-24-010	Simplified Plat	Waiting for Final Paper Copies	13-Mar-24	WILLIAM BYRD PARCEL A	17323 SPIELMAN ROAD FAIRPLAY, MD 21733	FREDERICK SEIBERT & ASSOCIATES	BYRD WILLIAM M
SP-24-010	Site Plan	In Review	08-Mar-24	SITE PLAN FOR MYERS MANAGEMENT	225 MCRAND COURT HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	ROWLAND ON HOLDINGS LLC
SP-24-011	Site Plan	Revisions Required	11-Mar-24	BOONSBORO RESERVOIR AND WATER MAIN REPLACEMENT	20854 BOONSBORO MOUNTAIN ROAD BOONSBORO, MD 21713		BOONSBORO MAYOR COUNCIL
SP-24-012	Site Plan	In Review	12-Mar-24	COMBINED ESD PLAN& SITE PLAN FOR BSE STATELINE, LLC	14700 CITICORP DRIVE HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	BSE STATELINE LLC
SP-24-013	Site Plan	In Review	15-Mar-24	EXISTING BROOKMEADE APTS PROPOSED RENTAL OFFICE	10750 BROOKMEADE CIRCLE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	SHAOOL BROOKMEADE DEVELOPMENT LLC
GP-24-003	Site Specific Grading Plan	In Review	12-Mar-24	SOMMERS RESIDENCE LOT 3	21630 CHEWSVILLE ROAD SMITHSBURG, MD 21783		SOMMERS DWIGHT EUGENE SOMMERS ANDREA NOEL
SGP-24-015	Standard Grading Plan	Approved	08-Mar-24	ANTON BLUMBERG	11737 ASHTON ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	ABL MANAGEMENT LLC
SGP-24-016	Standard Grading Plan	In Review	19-Mar-24	ROBERT E GOETZ JR	19625 AIR VIEW ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	
SGP-24-017	Standard Grading Plan	Approved	19-Mar-24	KELLGARD GENERAL CONTRACTING	19127 RED MAPLE DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	ADKINS GREGORY J TRUSTEE
SGP-24-018	Standard Grading Plan	In Review	20-Mar-24	HOPE PARTNERSHIP LLC	14523 BIG BEND WAY WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	HOPE PARTNERSHIP LLC
SGP-24-019	Standard Grading Plan	In Review	23-Mar-24	OAK RIDGE DR UTILITY EXTENSIONS	17710 OAK RIDGE DRIVE HAGERSTOWN, MD 21740		GUEVARA GARCIA JOSE A GUEVARA GARCIA LISETH
SGP-24-020	Standard Grading Plan	In Review	25-Mar-24	DMITRIY CRAIG - LOT 6	13278 STUTZ LANE HAGERSTOWN, MD 21740	APEX LAND SOLUTIONS LLC	CRAIG DMITRIY CRAIG OLGA
SGP-24-021	Standard Grading Plan	Pending	25-Mar-24	COREYS CONSTRUCTION - LUM 2	20050 TOMS ROAD BOONSBORO, MD 21713		LUM CHANEY ADDAM
SGP-24-022	Standard Grading Plan	In Review	25-Mar-24	COREYS CONSTRUCTION - PRATT	1042 HARPERS FERRY ROAD KNOXVILLE, MD 21758		PRATT JOSHUA DEAN
SWCP24-007	Stormwater Concept Plan	In Review	08-Mar-24	BOWMAN CEDAR SPRINGS BUSINESS PARK	12000 GREENCASTLE PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN 2000 LLC
SWCP24-008	Stormwater Concept Plan	In Review	12-Mar-24	VOLVO XE WAREHOUSE	13302 PENNSYLVANIA AVENUE HAGERSTOWN, MD 21742		MACK TRUCKS INC C/O MS ECHENIQUE
SSWP24-013	Stormwater Standard Plan	In Review	19-Mar-24	ROBERT E GOETZ JR	19625 AIR VIEW ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	
SSWP24-014	Stormwater Standard Plan	In Review	20-Mar-24	HOPE PARTNERSHIP LLC		FREDERICK SEIBERT & ASSOCIATES	HOPE PARTNERSHIP LLC
SSWP24-015	Stormwater Standard Plan	In Review	25-Mar-24	DMITRIY CRAIG - LOT 6	13278 STUTZ LANE HAGERSTOWN, MD 21740	RENN ENGINEERING, INC.	CRAIG DMITRIY CRAIG OLGA

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Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-24-007	Subdivision Replat	Waiting for Final Paper Copies	13-Mar-24	LOT 5, "BRUCE N. HOFFMAN AND SONS"	15952 BROADFORDING ROAD HAGERSTOWN, MD 21740	TRIAD ENGINEERING	WIELAND CHARISSA D
TYU-24-005	Two Year Update	In Review	04-Mar-24	EMERALD POINTE PUD - PHASE 4 - SECTIONS 2-6	EAST SIDE OF MARSH PIKE	FOX & ASSOCIATES INC	EMERALD POINTE INC C/O PAUL N CRAMPTON JR 222 E OAK RIDGE DRIVE STE 100
GPT-24-010	Type 2 Grading Plan	Approved	11-Mar-24	GAVER MEADOWS LOT 87	21 BESSY NAOMI DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DAVID C LYLES DEVELOPERS LLC
GPT-24-011	Type 2 Grading Plan	Approved	13-Mar-24	ELMWOOD FARMS LOT 185 10026 WILKES DR	10026 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-012	Type 2 Grading Plan	Approved	20-Mar-24	ELMWOOD LOT 52 9855 RIPPLE DR	9855 RIPPLE DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-24-013	Type 2 Grading Plan	Approved	20-Mar-24	ELMWOOD LOT 147 10069 WILKES DR	10069 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-014	Type 2 Grading Plan	Approved	21-Mar-24	ELMWOOD LOT144 10045 WILKES DR	10045 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-015	Type 2 Grading Plan	Approved	21-Mar-24	ELMWOOD LOT180 10046 WILKES DR	10046 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-016	Type 2 Grading Plan	Approved	21-Mar-24	ELMWOOD LOT 174 10070 WILKES DR	10070 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-017	Type 2 Grading Plan	Approved	22-Mar-24	ELMWOOD LOT 182 10038 WILKES DR	10038 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-018	Type 2 Grading Plan	Approved	22-Mar-24	ELMWOOD LOT 177 10058 WILKES DR	10058 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-019	Type 2 Grading Plan	Approved	22-Mar-24	ELMWOOD LOT 146 10061 WILKES DR	10061 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-020	Type 2 Grading Plan	Approved	25-Mar-24	ELMWOOD LOT 176 10062 WILKES DR	10062 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-021	Type 2 Grading Plan	Approved	25-Mar-24	ELMWOOD LOT 142 10033 WILKES DR	10033 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-022	Type 2 Grading Plan	Approved	25-Mar-24	ELMWOOD LOT 183 10034 WILKES DR	10034 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-023	Type 2 Grading Plan	Approved	25-Mar-24	ELMWOOD LOT 173 10074 WILKES DR	10074 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-024	Type 2 Grading Plan	Approved	25-Mar-24	ELMWOOD LOT 179 10050 WILKES DR	10050 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-025	Type 2 Grading Plan	Approved	27-Mar-24	ELMWOOD LOT 181 10042 WILKES DR	10042 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-026	Type 2 Grading Plan	Approved	27-Mar-24	ELMWOOD LOT 143 10037 WILKES DR	10037 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-027	Type 2 Grading Plan	Approved	28-Mar-24	ELMWOOD LOT 145 10053 WILKES DR	10053 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-028	Type 2 Grading Plan	Approved	28-Mar-24	ELMWOOD LOT175 10066 WILKES DR	10066 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
GPT-24-029	Type 2 Grading Plan	Approved	28-Mar-24	ELMWOOD LOT 178 10054 WILKES DR	10054 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-00921	Entrance Permit	Approved	01-Mar-24	STICK BUILT HOME	S-18-035 9431 ALLOWAY DRIVE, LOT 217		WESTFIELDS INVESTMENT LLC
2024-00926	Entrance Permit	In Progress	01-Mar-24	STICK BUILT HOME	S-15-00 10827 HERSHEY DRIVE, LOT 568		DOWNEY RICHMOND LEE
2024-00968	Entrance Permit	Approved	04-Mar-24	SEMI-DETACHED HOME	S-22-006 13336 DIAMOND POINTE DRIVE, LOT 232		EMERALD POINTE INC
2024-00976	Entrance Permit	Approved	04-Mar-24	SEMI-DETACHED HOME	S-22-006 13338 DIAMOND POINTE DRIVE, LOT 231		EMERALD POINTE INC
2024-00986	Entrance Permit	Approved	05-Mar-24	STICK BUILT HOME	S-18-035 9355 ALLOWAY DRIVE, LOT 76		DRB GROUP MID ATLANTIC LLC
2024-01035	Entrance Permit	Approved	07-Mar-24	SEMI-DETACHED HOME	S-22-006 13330 DIAMOND POINTE DRIVE, LOT 234		EMERALD POINTE INC
2024-01038	Entrance Permit	Approved	07-Mar-24	SEMI-DETACHED HOME	S-22-006 13332 DIAMOND POINTE DRIVE, LOT 233		EMERALD POINTE INC
2024-01055	Entrance Permit	Approved	08-Mar-24	STICK BUILT HOME	S-23-052 FAIRPLAY ROAD, LOT 10	BOWMAN DEVELOPMENT CORPORATION	BOWMAN 2000 LLC
2024-01063	Entrance Permit	In Progress	08-Mar-24	STICK BUILT HOME	S-18-035 9344 ALLOWAY DRIVE, LOT 764		DRB GROUP MID ATLANTIC LLC
2024-01091	Entrance Permit	In Progress	11-Mar-24	STICK BUILT HOME	S-08-015 11737 ASHTON ROAD, LOT 6		ABL MANAGEMENT LLC
2024-01139	Entrance Permit	Review	13-Mar-24	FARM BUILDING	LOR 17504 SNYDERS LANDING ROAD		BOWMAN NORTH LLC
2024-01163	Entrance Permit	Approved	14-Mar-24	STICK BUILT HOME	S-21-019 10026 WILKES DRIVE, LOT 185	RICHMOND AMERICAN HOMES OF MARYLAND, INC	FELIXS FOLLY LLC
2024-01168	Entrance Permit	In Progress	14-Mar-24	STICK BUILT HOME	S-21-037 21115 MOUSETOWN ROAD, LOT 2		MICHELE A MCKENNA REVOCABLE TRUST MCKENNA MICHELE A TRUSTEE
2024-01214	Entrance Permit	Approved	18-Mar-24	STICK BUILT HOME	S-03-230 19127 RED MAPLE DRIVE, LOT 133	KENNY GARDNER	KELLGARD GENERAL CONTRACTING, LLC
2024-01226	Entrance Permit	In Progress	19-Mar-24	STICK BUILT HOME	S-23-042 19625 AIR VIEW ROAD, LOT 1		
2024-01228	Entrance Permit	Approved	19-Mar-24	FOREST HARVEST	LOR 17218 SNYDERS LANDING ROAD		MORGAN BONNARD J
2024-01232	Entrance Permit	In Progress	19-Mar-24	STICK BUILT HOME	S-23-069 21630 CHEWSVILLE ROAD		SOMMERS DWIGHT EUGENE SOMMERS ANDREA NOEL
2024-01241	Entrance Permit	Approved	19-Mar-24	COMMERCIAL			USA NATL PARK SERVICE
2024-01279	Entrance Permit	In Progress	20-Mar-24	STICK BUILT HOME	S-21-019 9855 RIPPLE DRIVE, LOT 52		RICHMOND AMERICAN HOMES OF MARYLAN
2024-01285	Entrance Permit	In Progress	20-Mar-24	STICK BUILT HOME	S-23-024 10069 WILKES DRIVE, LOT 147		FELIXS FOLLY LLC
2024-01307	Entrance Permit	In Progress	21-Mar-24	STICK BUILT HOME	S-23-024 10045 WILKES DRIVE, LOT 144		FELIXS FOLLY LLC
2024-01313	Entrance Permit	In Progress	21-Mar-24	STICK BUILT HOME	S-23-024 10046 WILKES DRIVE, LOT 180		FELIXS FOLLY LLC
2024-01316	Entrance Permit	In Progress	21-Mar-24	STICK BUILT HOME	S-23-024 10070 WILKES DRIVE, LOT 174		FELIXS FOLLY LLC
2024-01328	Entrance Permit	Review	22-Mar-24	COMMUNITY	CRESTWOOD DRIVE		
2024-01331	Entrance Permit	In Progress	22-Mar-24	STICK BUILT HOME	S-23-024 10038 WILKES DRIVE, LOT 182		FELIXS FOLLY LLC
2024-01335	Entrance Permit	In Progress	22-Mar-24	STICK BUILT HOME	S-23-024 10058 WILKES DRIVE, LOT 177		FELIXS FOLLY LLC
2024-01342	Entrance Permit	Approved	22-Mar-24	STICK BUILT HOME	S-23-030 13808 WEAVER AVENUE, LOT 1A	JEFFREY A. PIPER & CO.	WEAVER AVENUE JOINT VENTURE LLC
2024-01345	Entrance Permit	In Progress	22-Mar-24	STICK BUILT HOME	S-23-024 10061 WILKES DRIVE, LOT 146		FELIXS FOLLY LLC
2024-01361	Entrance Permit	In Progress	25-Mar-24	STICK BUILT HOME	S-23-024 10062 WILKES DRIVE, LOT 176		FELIXS FOLLY LLC
2024-01366	Entrance Permit	In Progress	25-Mar-24	STICK BUILT HOME	S-23-024 10033 WILKES DRIVE, LOT 142		FELIXS FOLLY LLC
2024-01374	Entrance Permit	In Progress	25-Mar-24	STICK BUILT HOME	S-23-024 10034 WILKES DRIVE, LOT 183		FELIXS FOLLY LLC
2024-01378	Entrance Permit	In Progress	25-Mar-24	STICK BUILT HOME	S-23-024 10074 WILKES DRIVE, LOT 173		FELIXS FOLLY LLC
2024-01382	Entrance Permit	In Progress	25-Mar-24	STICK BUILT HOME	S-23-024 10050 WILKES DRIVE, LOT 179		FELIXS FOLLY LLC

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-01424	Entrance Permit	In Progress	27-Mar-24	STICK BUILT HOME	S-23-024 10042 WILKES DRIVE, LOT 181		FELIXS FOLLY LLC
2024-01428	Entrance Permit	In Progress	27-Mar-24	STICK BUILT HOME	S-23-024 10037 WILKES DRIVE, LOT 143		FELIXS FOLLY LLC
2024-01457	Entrance Permit	In Progress	28-Mar-24	STICK BUILT HOME	S-23-024 10053 WILKES DRIVE, LOT 145		FELIXS FOLLY LLC
2024-01460	Entrance Permit	In Progress	28-Mar-24	STICK BUILT HOME	S-23-024 10066 WILKES DRIVE, LOT 175		FELIXS FOLLY LLC
2024-01463	Entrance Permit	In Progress	28-Mar-24	STICK BUILT HOME	S-23-024 10054 WILKES DRIVE, LOT 178		FELIXS FOLLY LLC
2024-01179	Entrance Permit	Approved	15-Mar-24	2 FAMILY DWELLING	S-21-028, 20558 AND 20560 LEFT AND RIGHT SIDE, LOT 3	BEN SHAOOL CONSTRUCTION, INC.	BEN SHAOOL DEVELOPMENT LLC
2024-01184	Entrance Permit	Approved	15-Mar-24	2 FAMILY DWELLING	S-21-028, 20572 AND 20574 MARIAM COURT, LOT 4	BEN SHAOOL CONSTRUCTION, INC.	BEN SHAOOL DEVELOPMENT LLC
2024-00950	Floodplain Permit	Approved	01-Mar-24		220 PARK ROAD		HANCOCK TOWN OF
2024-01053	Floodplain Permit	Review	08-Mar-24	INDUSTRIAL	SP-21-023 22523 LEITERSBURG SMITHSBURG ROAD	RK&K	WASH CO COMMISSIONERS BOARD OF
2024-01370	Floodplain Permit	Review	25-Mar-24	RESIDENTIAL ADDITION	LOR 14652 HIGH GERMANY ROAD		COOPER WILLIAM WALES COOPER SUSAN WILLIAMS
2024-00927	Grading Permit	Approved	01-Mar-24	WESTFIELDS LOT #217	S-18-035 9431 ALLOWAY DRIVE, LOT 217		WESTFIELDS INVESTMENT LLC
2024-00969	Grading Permit	Approved	04-Mar-24	SEMI-DETACHED HOME	S-22-006 13336 & 13338 DIAMOND POINTE DRIVE, LOT 231 & LOT 232		EMERALD POINTE INC
2024-00987	Grading Permit	Approved	05-Mar-24	WESTFIELDS LOT #76	S-18-035 9355 ALLOWAY DRIVE, LOT 76		DRB GROUP MID ATLANTIC LLC
2024-01036	Grading Permit	Approved	07-Mar-24	SEMI-DETACHED HOME	S-22-006 13330 & 13332 DIAMOND POINTE DRIVE, LOT 234 & LOT 233		EMERALD POINTE INC
2024-01065	Grading Permit	In Progress	08-Mar-24	WESTFIELDS LOT #764	S-18-035 9344 ALLOWAY DRIVE, LOT 764		DRB GROUP MID ATLANTIC LLC
2024-01092	Grading Permit	In Progress	11-Mar-24	STICK BUILT HOME	S-08-015 11737 ASHTON ROAD, LOT 6		ABL MANAGEMENT LLC
2024-01097	Grading Permit	Approved	11-Mar-24	GRADING FOR GAVER MEADOWS LOT 87	TWN-19-007 21 BESSY NAOMI DRIVE, LOT 87		DAVID C LYLES DEVELOPERS LLC
2024-01137	Grading Permit	Approved	13-Mar-24	ELMWOOD 185 10026 WILKES DR	S-21-019 10026 WILKES DRIVE, LOT 185		FELIXS FOLLY LLC
2024-01165	Grading Permit	In Progress	14-Mar-24	STICK BUILT HOME	LOR 18614 BURNSIDE BRIDGE ROAD		PIPES HAROLD A PIPES EVA R
2024-01215	Grading Permit	Approved	18-Mar-24	STICK BUILT HOME	S-03-230 19127 RED MAPLE DRIVE, LOT 133	KENNY GARDNER	KELLGARD GENERAL CONTRACTING, LLC
2024-01227	Grading Permit	In Progress	19-Mar-24	ROBERT E GOETZ JR	S-23-042 19625 AIR VIEW ROAD, LOT 1		
2024-01233	Grading Permit	In Progress	19-Mar-24	STICK BUILT HOME	S-23-069 21630 CHEWSVILLE ROAD		SOMMERS DWIGHT EUGENE SOMMERS ANDREA NOEL
2024-01277	Grading Permit	In Progress	20-Mar-24	HOPE PARTNERSHIP LLC	LOR 14523 BIG BEND WAY, LOT 12		HOPE PARTNERSHIP LLC
2024-01280	Grading Permit	In Progress	20-Mar-24	ELMWOOD 52 REV 9855 RIPPLE DR	S-21-019 9855 RIPPLE DRIVE, LOT 52		RICHMOND AMERICAN HOMES OF MARYLAN
2024-01286	Grading Permit	In Progress	20-Mar-24	ELMWOOD 147 10069 WILKES DR	S-23-024 10069 WILKES DRIVE, LOT 147		FELIXS FOLLY LLC
2024-01287	Grading Permit	In Progress	20-Mar-24	STICK BUILT HOME	S-08-020 7301 MONROE ROAD, LOT 5	LONG L CONSTRUCTION LLC	WILHIDE MARK
2024-01309	Grading Permit	In Progress	21-Mar-24	ELMWOOD 144 10045 WILKES DR	S-23-024 10045 WILKES DRIVE, LOT 144		FELIXS FOLLY LLC
2024-01314	Grading Permit	In Progress	21-Mar-24	ELMWOOD 180 10046 WILKES DR	S-23-024 10046 WILKES DRIVE, LOT 180		FELIXS FOLLY LLC
2024-01317	Grading Permit	In Progress	21-Mar-24	ELMWOOD 174 10070 WILKES DR	S-23-024 10070 WILKES DRIVE, LOT 174		FELIXS FOLLY LLC

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-01332	Grading Permit	In Progress	22-Mar-24	ELMWOOD 182 10038 WILKES DR	S-23-024 10038 WILKES DRIVE, LOT 182		FELIXS FOLLY LLC
2024-01336	Grading Permit	In Progress	22-Mar-24	ELMWOOD 177 10058 WILKES DR	S-23-024 10058 WILKES DRIVE, LOT 177		FELIXS FOLLY LLC
2024-01347	Grading Permit	In Progress	22-Mar-24	ELMWOOD 146 10061 WILKES DR	S-23-024 10061 WILKES DRIVE, LOT 146		FELIXS FOLLY LLC
2024-01364	Grading Permit	In Progress	25-Mar-24	ELMWOOD 176 10062 WILKES DR	S-23-024 10062 WILKES DRIVE, LOT 176		FELIXS FOLLY LLC
2024-01367	Grading Permit	In Progress	25-Mar-24	ELMWOOD 142 10033 WILKES DR	S-23-024 10033 WILKES DRIVE, LOT 142		FELIXS FOLLY LLC
2024-01375	Grading Permit	In Progress	25-Mar-24	ELMWOOD 183 10034 WILKES DR	S-23-024 10034 WILKES DRIVE, LOT 183		FELIXS FOLLY LLC
2024-01379	Grading Permit	In Progress	25-Mar-24	ELMWOOD 173 10074 WILKES DR	S-23-024 10074 WILKES DRIVE, LOT 173		FELIXS FOLLY LLC
2024-01384	Grading Permit	In Progress	25-Mar-24	ELMWOOD 179 10050 WILKES DR	S-23-024 10050 WILKES DRIVE, LOT 179		FELIXS FOLLY LLC
2024-01390	Grading Permit	Pending	26-Mar-24	MODULAR HOME	S-21-014 20050 TOMS ROAD, LOT 4	COREY'S CONSTRUCTION	LUM CHANEY ADDAM
2024-01406	Grading Permit	In Progress	27-Mar-24	STICK BUILT HOME	S-23-037 13278 STUTZ LANE, LOT 6	COMPLETE BUILDERS LLC	CRAIG DMITRIY CRAIG OLGA
2024-01420	Grading Permit	Approved	27-Mar-24	STICK BUILT HOME	LOR 18614 BURNSIDE BRIDGE ROAD		PIPES HAROLD A PIPES EVA R
2024-01425	Grading Permit	In Progress	27-Mar-24	ELMWOOD 181 10042 WILKES DR	S-23-024 10042 WILKES DRIVE, LOT 181		FELIXS FOLLY LLC
2024-01430	Grading Permit	In Progress	27-Mar-24	ELMWOOD 143 10037 WILKES DR	S-23-024 10037 WILKES DRIVE, LOT 143		FELIXS FOLLY LLC
2024-01453	Grading Permit	In Progress	28-Mar-24	MODULAR HOME	S-06-115 1042 HARPERS FERRY ROAD, LOT 7	COREY'S CONSTRUCTION	PRATT JOSHUA DEAN
2024-01458	Grading Permit	In Progress	28-Mar-24	ELMWOOD 145 10053 WILKES DR	S-23-024 10053 WILKES DRIVE, LOT 145		FELIXS FOLLY LLC
2024-01461	Grading Permit	In Progress	28-Mar-24	ELMWOOD 175 10066 WILKES DR	S-23-024 10066 WILKES DRIVE, LOT 175		FELIXS FOLLY LLC
2024-01464	Grading Permit	In Progress	28-Mar-24	ELMWOOD 178 10054 WILKES DR	S-23-024 10054 WILKES DRIVE, LOT 178		FELIXS FOLLY LLC
2024-01429	Grading Permit	Review	27-Mar-24	TROVINGER MILL	S-08-022 REGENT PARK		LAH CARRIAGE FORD LLC
2024-01027	Non-Residential New Construction Permit	Review	07-Mar-24	CYPRESS PV CARPORT	SP-21-033 16650 HALFWAY BLVD	SUNTRAIL ENERGY LLC	HITACHI RAIL STS USA LLC
2024-01144	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	19504 MARSH CIRCLE	CITY OF HAGERSTOWN (WATER DEPT)	TAMASSIA ROBERT D JR & TAMASSIA MELANIE H
2024-01145	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	WORK ON OAK RIDGE DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	CLISE ENTERPRISES LLC
2024-01146	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	22032 MOHAWK DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	HUNTZBERRY FRED L & LAURA J
2024-01147	Utility Permit	Review	13-Mar-24	CITY OF HAGERSTOWN	18104 PRESTWICK TERRACE	CITY OF HAGERSTOWN (WATER DEPT)	LAVANDEROS EDINSON Y &
2024-01148	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	17021 BIVENS LANE	CITY OF HAGERSTOWN (WATER DEPT)	MCKENRICK TIMOTHY J
2024-01149	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	12922 THE TERRACE	CITY OF HAGERSTOWN (WATER DEPT)	KRETZER KAREN I

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-01150	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	13802 WEAVER AVENUE	CITY OF HAGERSTOWN (WATER DEPT)	HOLSINGER'S MEAT MARKET INC
2024-01151	Utility Permit	Approved	13-Mar-24	CITY OF HAGERSTOWN	12906 CATHEDRAL AVENUE	CITY OF HAGERSTOWN (WATER DEPT)	SALUBAUGH RICHARD E
2024-01161	Utility Permit	Approved	14-Mar-24	CITY OF HAGERSTOWN	11703 WHITE PINE DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	MELLENDEZ JORGE A MORENO
2024-01308	Utility Permit	Pending Information	21-Mar-24	MERITUS STUDENT HOUSING- SEWER AND WATER MAIN	11120 HEALTH DRIVE HAGERSTOWN, MD 21742	KYLE HERMANSEN	MERITUS MEDICAL CENTER INC
2024-01368	Utility Permit	Approved	25-Mar-24	ANTIETAM BROADBAND	125 STANFORD ROAD	ANTIETAM CABLE TELEVISION INC	ABBOTT LEON P ABBOTT SHARON M
2024-01437	Utility Permit	Approved	28-Mar-24	COMCAST	10422 GOVERNOR LANE BOULEVARD		PACKAGING SERVICES OF MD INC
2024-01439	Utility Permit	Approved	28-Mar-24	COLUMBIA GAS	13807 PULASKI DRIVE	COLUMBIA GAS OF MD	PARADISE HEIGHTS LAND
2024-01431	Utility Permit	Review	27-Mar-24		20139 TROVINGER MILL ROAD	SCOTT HERRICK	CLEVENER CRAIG & CLEVENER MICHELLE

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	Type	Total
LandDev Total by Group: 59	Forest Stand Delineation	4
	IMA	5
	Ordinance Modification	1
	Preliminary Plat	1
	Preliminary-Final Plat	3
	Redline Revision	2
	Simplified Plat	3
	Site Plan	4
	Site Specific Grading Plan	1
	Standard Grading Plan	8
	Stormwater Concept Plan	2
	Stormwater Standard Plan	3
	Subdivision Replat	1
	Two Year Update	1
Type 2 Grading Plan	20	
Permits Total by Group: 95	Entrance Permit	40
	Floodplain Permit	3
	Grading Permit	37
	Non-Residential New Construction Permit	1
	Utility Permit	14
Total		154