

Lloyd Yavener, Chair
Justin Bedard, Vice Chair
Ann Aldrich
Brianna Candelaria



Michael Lushbaugh
Tyler Milam
Gregory Smith
Randal Leatherman,
BOCC Rep

HISTORIC DISTRICT COMMISSION OF WASHINGTON COUNTY, MARYLAND

AGENDA

July 1, 2026, 6:00 p.m.

Washington County Administration Complex, 100 West Washington Street, Room 2001, Hagerstown, MD 21740

CALL TO ORDER AND ROLL CALL

MINUTES

1. Minutes of June 3, 2026, meeting *

NEW BUSINESS

1. **Residential New Construction Permit - 2026-02372 - 22335 Old Georgetown Road, Smithsburg** (Discussion/Approval) - 440 sq. ft. one story detached garage on concrete slab to rear of dwelling, pole construction, pre-engineered roof trusses *

OLD BUSINESS

1. **Historic Properties Grant**
 - a. County budget considerations for FY28
2. **Legislative Priorities**

OTHER BUSINESS

1. **Correspondence**
 - a. **Request for Comment** - Telecommunications Tower - 10944 White Hall Road Smithsburg, MD - Trileaf #770617 *
 - i. **Note:** Staff submitted requested updates based on the GIS Viewshed. Consultant has responded. Awaiting MHT direction. Discuss in-house GIS options.
 - b. **Request for Comment** - Proposed Telecommunications Tower - 3417/3413 Rohrersville Rd., Rohrersville, MD - Trileaf #771285 (no attachments)
 - i. **Note:** Section 106 process is continuing next meeting 6/23/26, SP-25-029, local site plan, approved, Zoning appeals granted; Appeal case to court c-21-cv-26-000318
2. **Staff Report**
 - a. Staff Reviews *
 - b. Review of information shared at the Building Code/Ruins workshop
 - c. Preservation Maryland visit Price's Bridge July 29

The Historic District Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are requested to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than ten (10) days prior to the meeting. Notice is given that the agenda may be amended at any time up to and including the meeting.

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

CLOSED SESSION

To discuss potential candidates to be recommended to the Board of County Commissioners for appointment to the Historic District Commission to fill an upcoming vacancy.

ADJOURNMENT

UPCOMING MEETING

1. Wednesday, August 5, 2026, 6:00 p.m.

***attachments**

**MINUTES OF THE
HISTORIC DISTRICT COMMISSION
FOR WASHINGTON COUNTY
June 3, 2026**

The Washington County Historic District Commission held its regular monthly meeting on Wednesday, June 3, 2026 at 6:00 p.m. in the Washington County Administrative Complex, 100 W. Washington Street, Room 2001, Hagerstown, Maryland

CALL TO ORDER AND ROLL CALL

The Chairman called the meeting to order at 6:00 p.m.

Commission members present were: Lloyd Yavener, Chairman; Justin Bedard (arrived at 6:06 pm), Ann Aldrich, Michael Lushbaugh, Greg Smith, Brianna Candelaria, and Ex-officio County Commissioner Randy Leatherman. Staff member present was: Washington County Department of Planning & Zoning: Meghan Jenkins, GIS Coordinator and HDC Staff member.

Also present was Heather Holman from the Historic Advisory Committee.

MINUTES

Motion and Vote: Ms. Aldrich made a motion to approve the minutes of the May 6, 2026 regular meeting as presented. The motion was seconded by Mr. Lushbaugh and unanimously approved.

NEW BUSINESS

Historic Advisory Committee Merger

Mr. Yavener expressed the Commission's desire to continue enthusiasm and energy for historic preservation. He also acknowledged the importance of the continuation of the John Frye awards. There was a brief discussion regarding subcommittees for special events such as the Frye awards. There was a discussion regarding membership, attendance of meetings, length of meetings, etc. Members discussed the duties and responsibilities of each group.

OTHER BUSINESS

Staff Report

- **Staff Reviews** - A written report was provided to members in the agenda packet.
- **Preservation Month 2026 Recap:**
 - A social media summary was provided. Ms. Aldrich's photo was the most viewed photo this year.
 - Media post topics this year included: the Bikle tax credits, ordinary maintenance, and deconstruction of historic buildings
 - "Where Is It" Wednesdays did not go as well as anticipated.
 - The Preservation Maryland workshop for discussion of architectural styles went well. Ms. Jenkins would like to research ways to cross-promote this event to boost attendance.
 - Ms. Aldrich stated that the windows workshop went well also.
- Ms. Jenkins shared the draft inventory for 2353 Harpers Ferry Road prepared by RK&K.
- Ms. Jenkins announced that the HDC budget has been given \$15,000 for FY2027. We are exploring the possibility of applying for a grant and using these funds for other inventories.

- The Ditto Farm located near Regional Park is currently owned by the County and was recently sold to a private individual. Ms. Jenkins requested that the Historic Preservation zoning overlay be applied to the property prior to transfer from the County's ownership. This application will be brought before the HDC as well as the Planning Commission in the near future. This would allow the new owners to apply for County tax credits.
- A GIS Viewshed was received today for the proposed cell tower on White Hall Road that the applicant claimed was unable to be seen from historic resources. The viewshed analysis revealed that the tower will be seen. Ms. Jenkins will submit comments that there are historic resources that will be impacted by the cell tower. Mr. Bedard asked that comments be included regarding the continued poor assessment of the adverse effects on historic resources by this applicant.

Mr. Bedard made a motion to adjourn to Closed Session at 6:55 p.m. and so ordered by the Chairman.

CLOSED SESSION

To discuss potential candidates to be recommended to the Board of County Commissioners for appointment to the Historic District Commission to fill an upcoming vacancy.

Mr. Bedard made a motion to adjourn to Open Session at 7:05 p.m. and so ordered by the Chairman.

Motion and Vote: Ms. Aldrich made a motion to forward the recommended candidate to the Board of County Commissioners for appointment to the HDC. The motion was seconded by Mr. Bedard and unanimously approved.

UPCOMING MEETINGS

1. Monday, June 8, 2026, 11:00 a.m. (Workshop for Building Codes/Historic Resources)
2. Wednesday, July 1, 2026, 6:00 p.m.

ADJOURNMENT

Ms. Candelaria made a motion to adjourn the meeting at 7:10 pm. The motion was seconded by Ms. Aldrich, unanimously approved and so ordered by the Chairman.

Respectfully submitted,

Lloyd Yavener, Chairman



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MEMORANDUM

To: Washington County Historic District Commission
From: Meghan Jenkins, GISP, GIS Coordinator - Historic District Commission Staff
Date: June 24, 2026
Subj: Residential New Construction Permit/Garage-Carport, 2026-02372

Staff Report and Analysis

Property Owner: CHILEL JUAN CHAVEZ, LOPEZ CELESTINA RAMIREZ

Applicant: Juan Chilel

Location: 22335 OLD GEORGETOWN Road

Tax Account ID: 07014279

Map/Grid/Parcel/Lot: 51/5/165/

Legal Description: LOT 135X156 .48 AC22335 OLD GEORGETOWN
RDCAVETOWN

Zoning: Business, Local

Rural Village: Cavetown (MHT-C) Historic Rural Village

Project Description: 440 sq. ft. one story detached garage on concrete slab to rear of dwelling, pole construction, pre-engineered roof trusses

Applicable Law and Review Criteria:

The HDC is enabled through [Article 20 of the Zoning Ordinance for Washington County, MD](#). Specifically [Section 20.3.a](#) states: *"The Commission shall act upon all applications as required by [Section 20.6, Historic Preservation district, Section 5D.4, Rural Village District and Article 20A, Antietam Overlay District of this Ordinance.](#)"*

The HDC shall consider only exterior features of a structure that would affect the historic, archeological, or architectural significance of the site or structure, any portion of which is visible or intended to be visible from a public way. It does not consider any interior arrangements, although interior changes may still be subject to building permit procedures.

1. The application shall be approved by the HDC if it is consistent with the following criteria:
 - A. The proposal does not substantially alter the exterior features of the structure.
 - B. The proposal is compatible in character and nature with the historical, cultural, architectural, or archeological features of the site, structure, or district and would not be detrimental to achievement of the purposes of [Article 20 of the County Zoning Ordinance](#).
 - C. The proposal would enhance or aid in the protection, preservation and public or private utilization of the site or structure, in a manner compatible with its historical, archeological, architectural, or cultural value.
 - D. The proposal is necessary so that unsafe conditions or health hazards are remedied.

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- E. The [*Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*](#) and subsequent revisions are to be used as guidance only and are not to be considered mandatory.
2. In reviewing the plans for any such construction or change, the HDC shall give consideration to and **not disapprove** an application except with respect to the factors specified below.
 - A. The historic or architectural value and significance of the site or structure and its relationship to the historic or architectural value and significance of the surrounding area.
 - B. The relationship of the exterior architectural features of the structure to the remainder of the structure and to the surrounding area.
 - C. The general compatibility of exterior design, scale, proportion, arrangement, texture, and materials proposed to be used.
 - D. Any other factors, including aesthetic factors, that the Commission deems to be pertinent.
3. The HDC shall be strict in its judgment of plans for those structures, sites, or districts deemed to be valuable according to studies performed for districts of historic or architectural value. The HDC shall be lenient in its judgment of plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding structures.

For Rural Villages, additional review criteria for applications are listed in [Section 5D.5 Architectural Review](#) of the Zoning Ordinance and include:

1. The exterior appearance of existing structures in the Rural Village, including materials, style, arrangement of doors and windows, mass, height and number of stories, roof style and pitch, proportion.
2. Building Size and Orientation
3. Landscaping
4. Signage
5. Lighting
6. Setbacks
7. Accessory structures

Policy HDC-2021-01: Review of Pole Buildings

2. Permit applications for construction of pole buildings that will require HDC review:
 - b. Construction of a pole building, associated with a residential use, on a property or portion of property which DOES contribute to Historic Rural Village.

Design Guidelines for Historic Structures – New Construction and Accessory Buildings – p.71

1. New construction should be sited to avoid demolition of contributing structures.
2. The design of new construction or new accessory buildings should be compatible with the form, height, scale, proportions, materials and details of the adjacent contributing structures or landscapes.
3. Consideration of the ratio of built versus open space of the site or the adjacent landscape should be given.
4. Existing setbacks, landscaping or site grading of adjacent historic resources should be preserved when siting new construction if those characteristics contribute to the historic site or its landscape. This includes circulation routes, fences, walls, and yards, etc.
5. Locate new construction and new accessory buildings so that the existing significant visual and special characteristics of the property are maintained.

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6. Locate new construction and new accessory buildings so that significant viewsheds are maintained or enhanced.

Secretary of Interior Standards for Rehabilitation (p.45 of County Design Guidelines)

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Report:

This project is in the Cavetown Rural Village which is located primarily at the intersection of Mapleville Road and Cavetown Church Road directly west of the Town of Smithsburg. The rural village district contains a survey of 59 contributing resources and 10 non-contributing for a total of 69 items surveyed. Most of the contributing resources are buildings within the district's period of significance ranging from 1820 to 1950. The primary criteria for significance for the National Register according to the MIHP nomination is "Criteria C", though this district has not been placed on the National Register at this time. Most of that architecture is vernacular and typically 2 stories in height. The residential dwelling unit on this property is a contributing structure to the district. It was previously described as: "two-story vernacular residence of wood construction with laterally oriented gable roof; two-bay façade with windows flat topped with molded heads; one-story hipped-roof porch on the façade supported by battered wood posts (c.1840)"-MIHP Cavetown. The structure was renovated in 2022 through permit 2022-04324 which came before the Historic District Commission at their September 7, 2022, meeting. The original windows and front door are no longer extant. The porch columns were also replaced during the renovation, leaving little original features to the primary façade.

The permit application is for a 440 sq. ft. one story detached garage on concrete slab to rear of dwelling using pole construction with pre-engineered roof trusses. The proposed finishes include vinyl siding and metal roofing. The approximate footprint of the structure is 20 ft. by 22 ft. This structure was cited for work without permits under service request SR2026-0113. This permit application is for a correction of that violation and was submitted after a stop work order was issued in May of 2026.

The proposed structure is located to the right rear of the residence with its primary façade and garage door facing Old Georgetown Road. The purpose of the structure is for storage. There are existing storage buildings also on site near this structure and to the rear of the dwelling. There are an existing tree and some shrubs which partially obscure the existing construction elements subject to this permit from the right of way. The property also has a service request SR2026-0101 for a junk violation that is currently in process of resolution.

Staff Analysis:

This rural village has a mixture of construction materials with the proposed vinyl siding and metal roofing being consistent with other examples in the village. The scale of this structure and its placement make it less visible from the right of way. There is existing vegetation that also screens the

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new construction partially. The proposed new construction is a pole building type which results in minimal disturbance of the site and would be removable without loss of integrity to the site should it be necessary in the future. This permit, pending approval, will assist in resolving two open service requests on this property for junk and for construction without permits. For these reasons the Residential New Construction Permit/Garage-Carport, 2026-02372, appears to be consistent with the review criteria of Section 5D.5 Architectural Review of the Zoning Ordinance and the applicable County Design Guidelines and Secretary of Interior Standards for Rehabilitation listed.

Staff Recommendation:

Recommend approval of the Residential New Construction Permit/Garage-Carport, 2026-02372, in Cavetown Historic Rural Village for the reasons stated in the staff analysis.

Respectfully Submitted,



Meghan Jenkins, GISP
Historic District Commission Staff

Attachments:

- Photos provided by Staff
- Permit Submission Packet

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Photo 1: Existing Dwelling, Pre renovation



Photo 2: Existing Dwelling, post renovation, taken from Old Georgetown, facing southeast

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Photo 3: View of construction from road, facing south

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Photo 4: View of Construction at time of stop work (source: SR2026-0113); facing south

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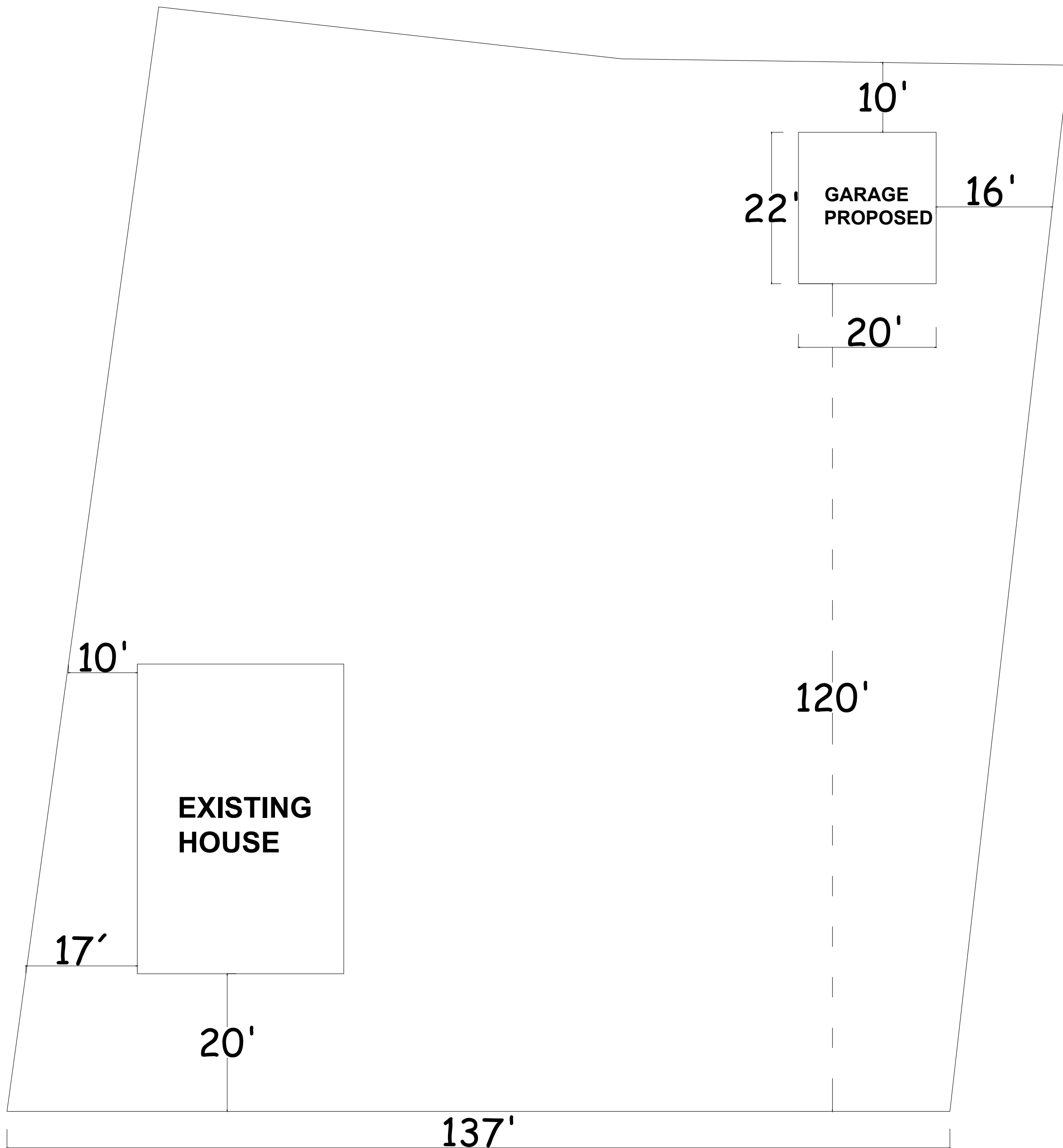


Photo 5: View of Construction at time of stop work (source: SR2026-0113), facing southwest

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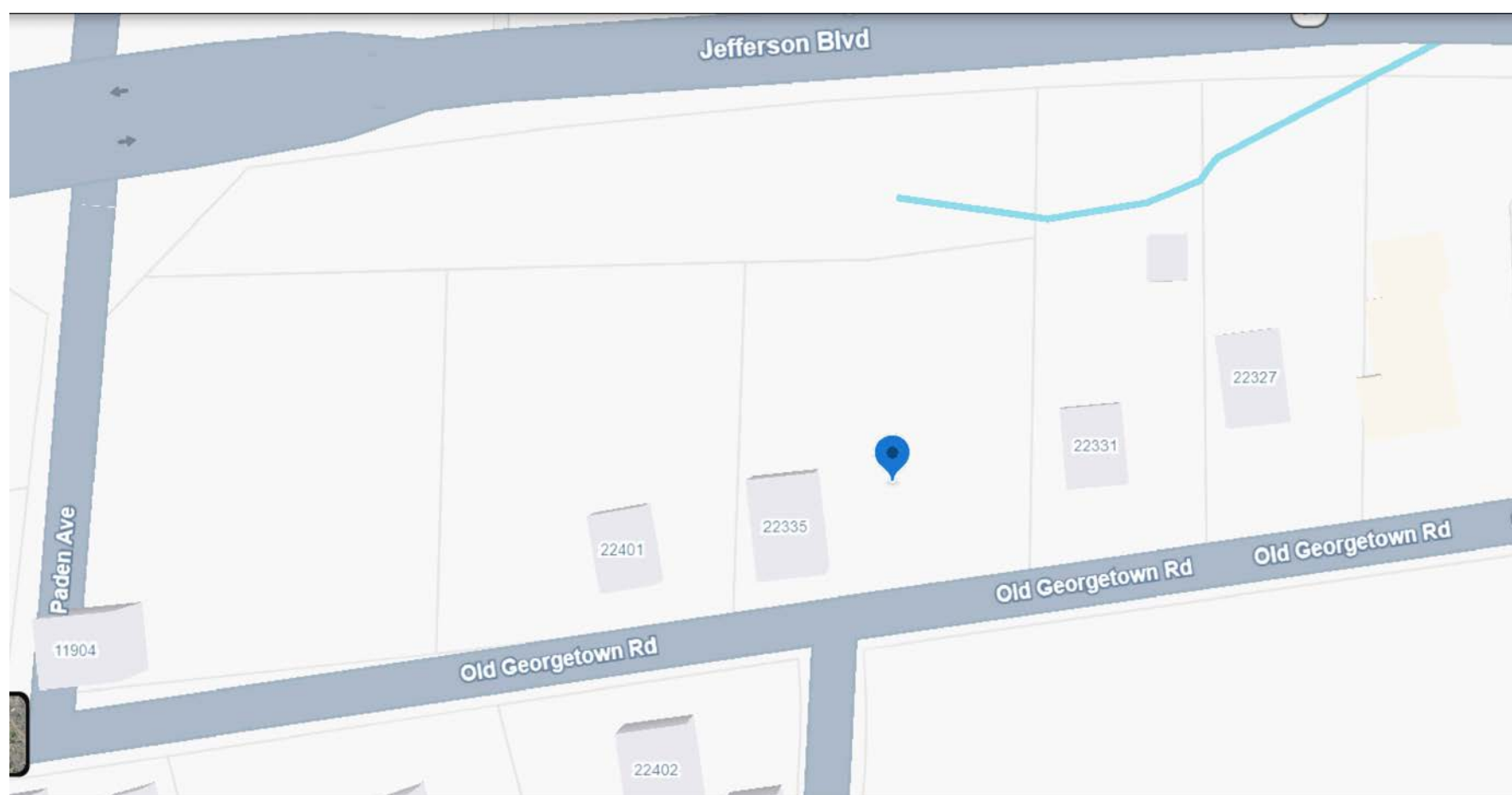


Photo 6: View of Construction at time of stop work (source: SR2026-0113), detail of footer



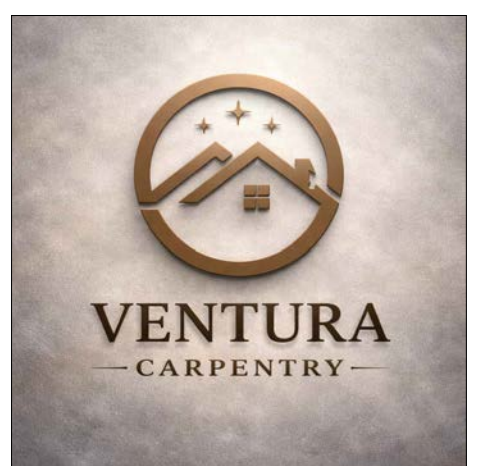
OLD GEORGETOWN RD.

1 PLOT PLAN
A-1 SCALE: 1:4 1/4" = 1'



RESIDENCE FOR:
**22335 OLD GEORGETOWN RD,
 SMITHSBURG MD 21783**

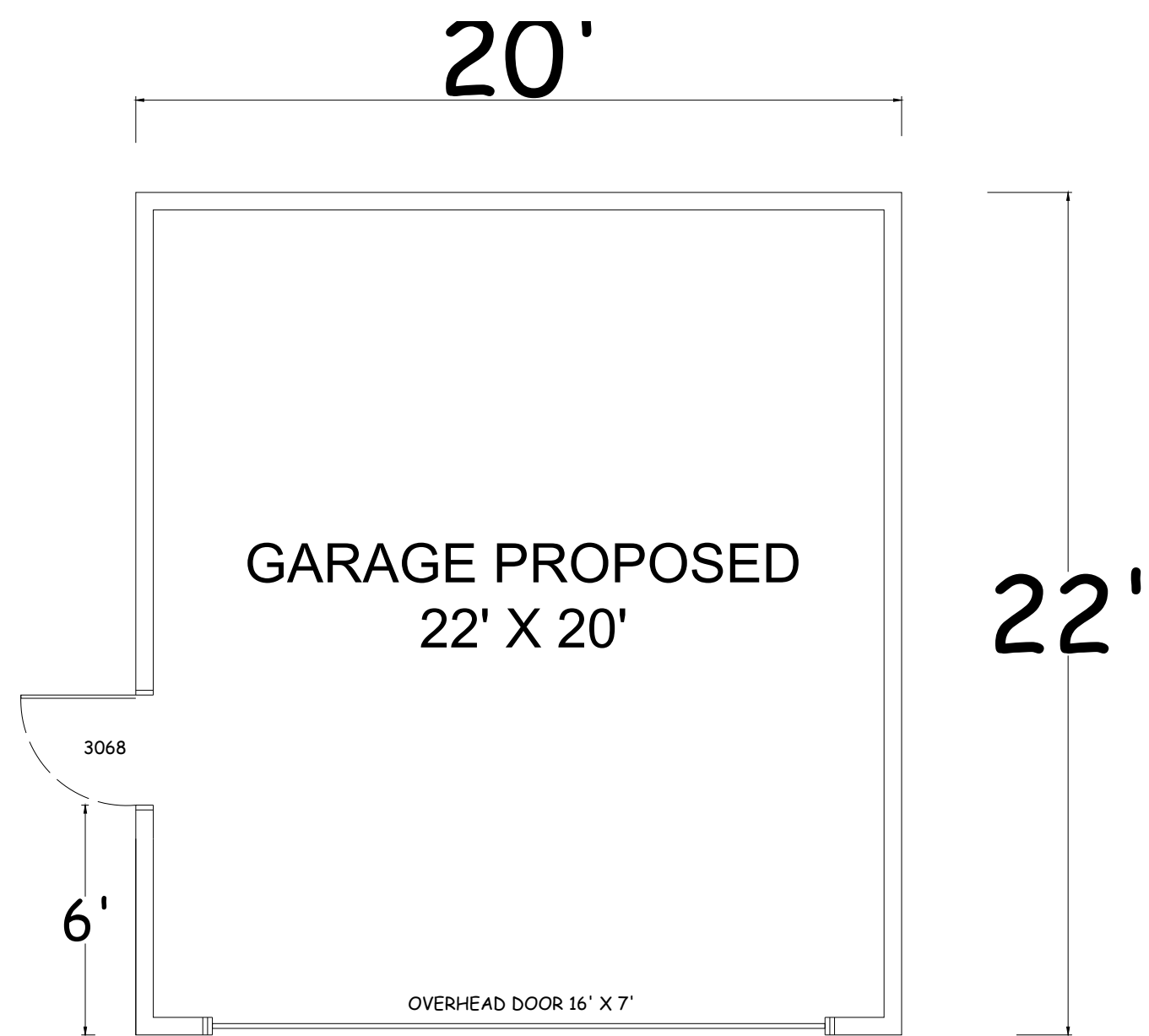
DWN: JAFET PAREDES LAZO	CHECKED: JOSE B. PADILLA	REV:	REV:
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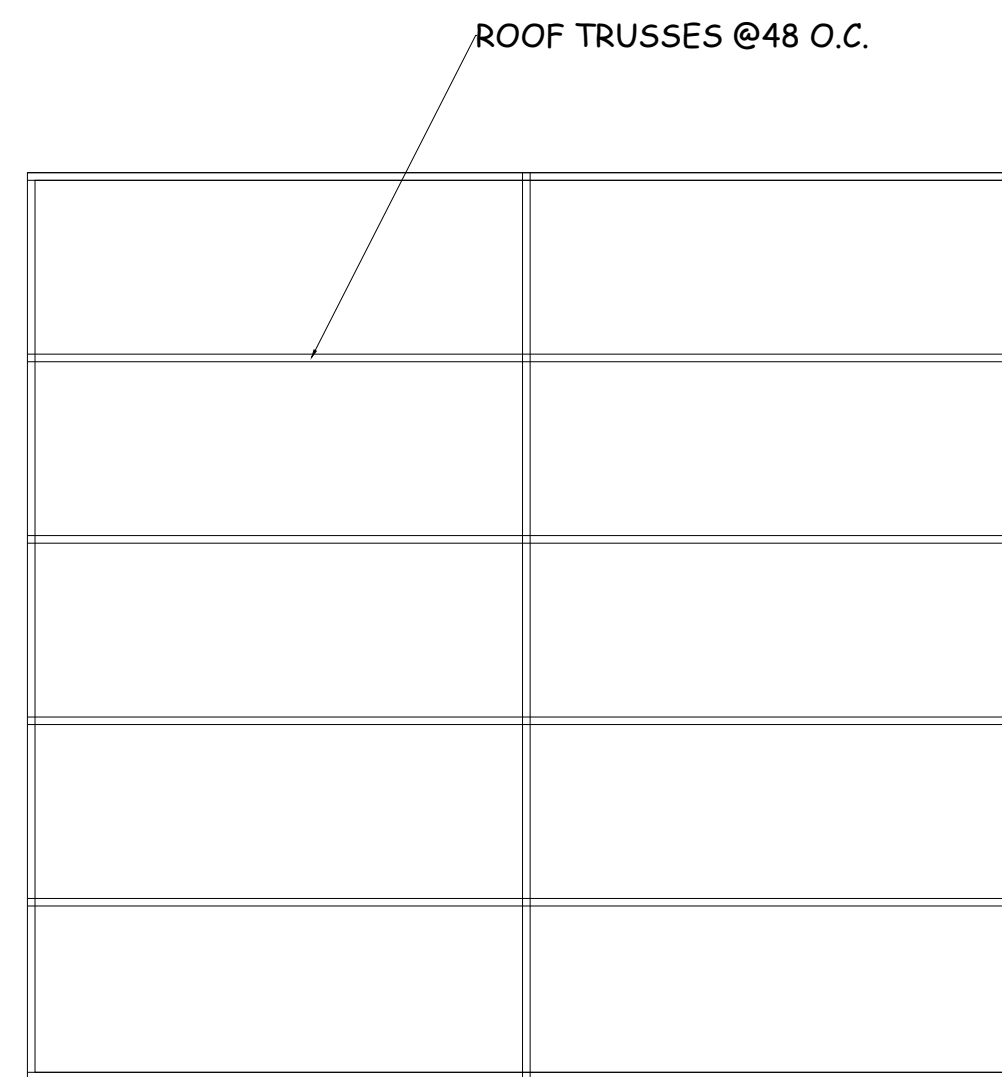
SHEET:

OF: 1

DATE:



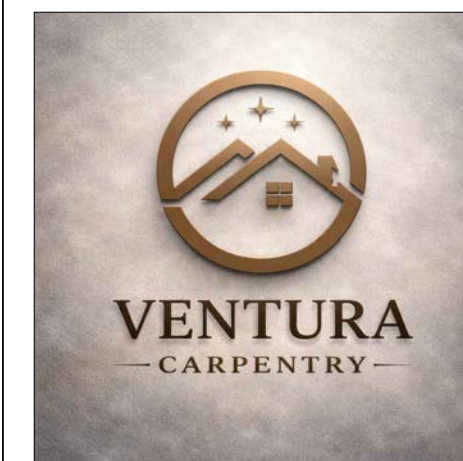
2 FLOOR PLAN
A-2 SCALE: 1:2 1/2" = 1'



3 ROOF FRAMING
A-2 SCALE: 1:2 1/2" = 1'

RESIDENCE FOR:
 22335 OLD GEORGETOWN RD,
 SMITHSBURG MD 21783

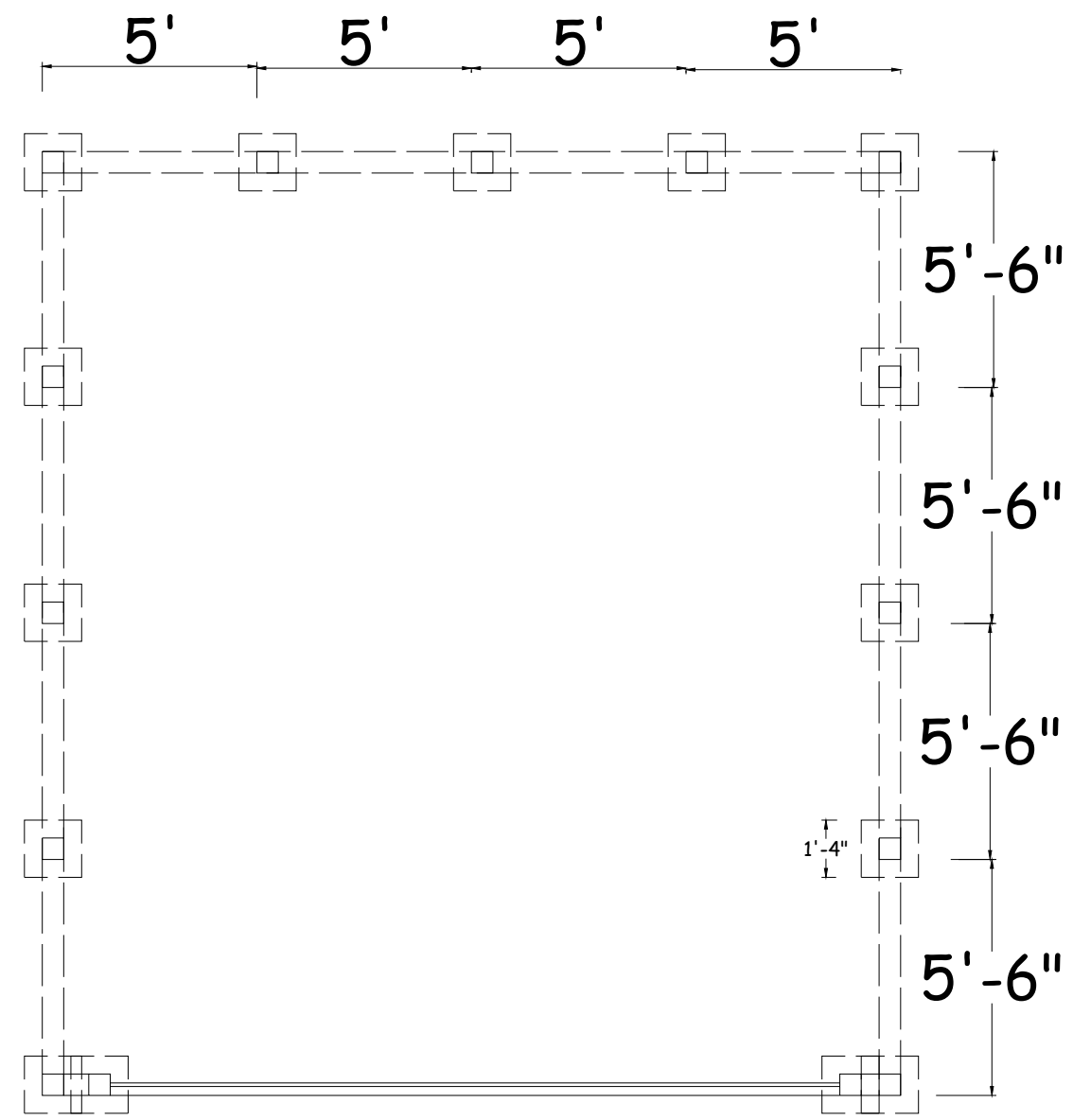
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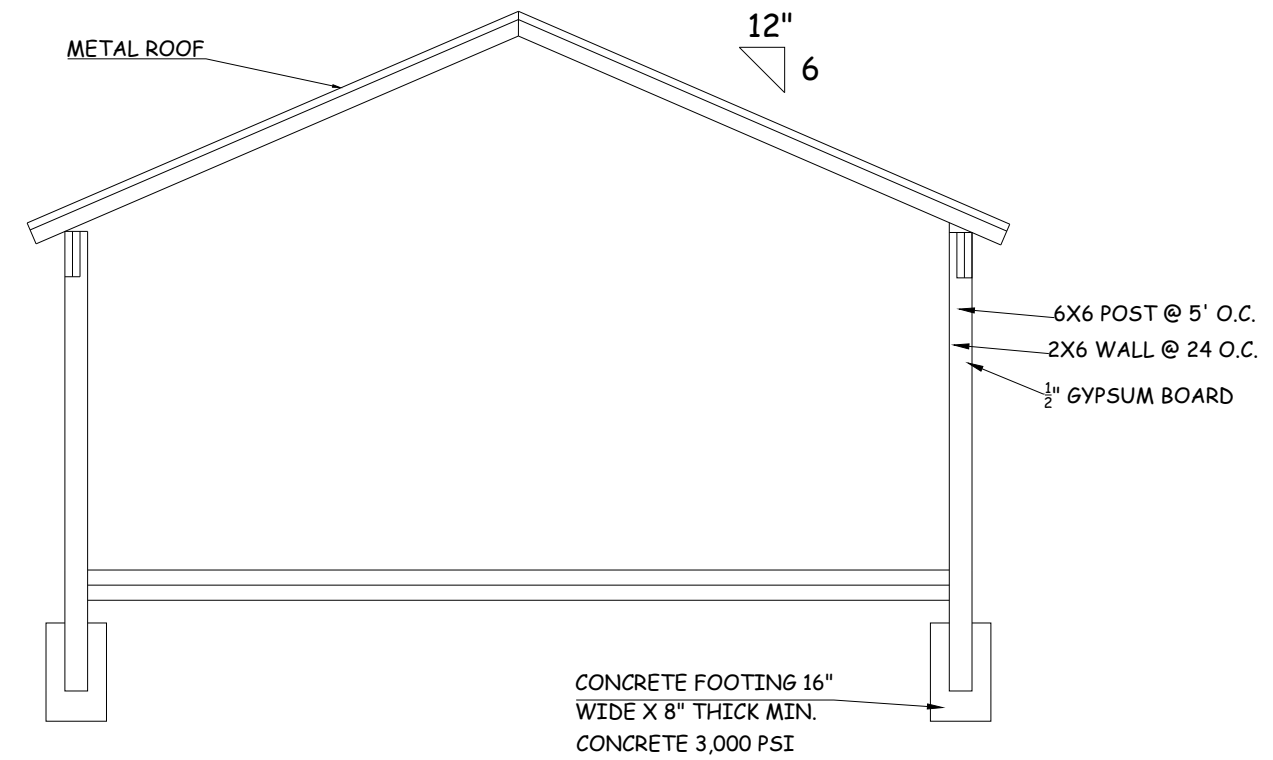
SHEET:

OF: 1

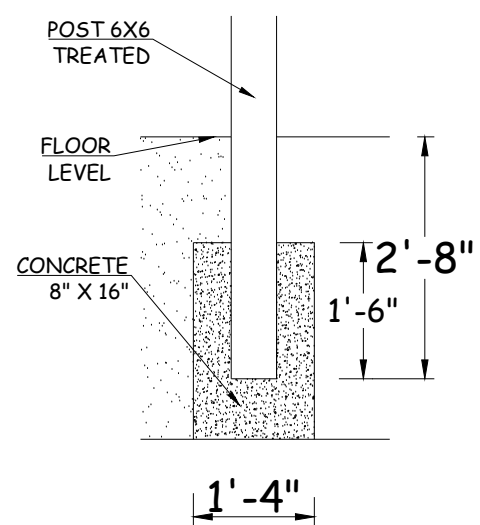
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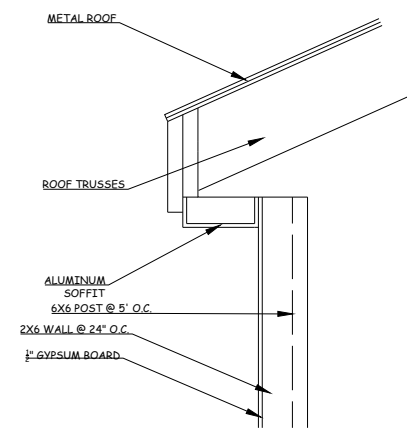
4 GARAGE FURING
A-3 SCALE: 1:2 1/2" = 1'



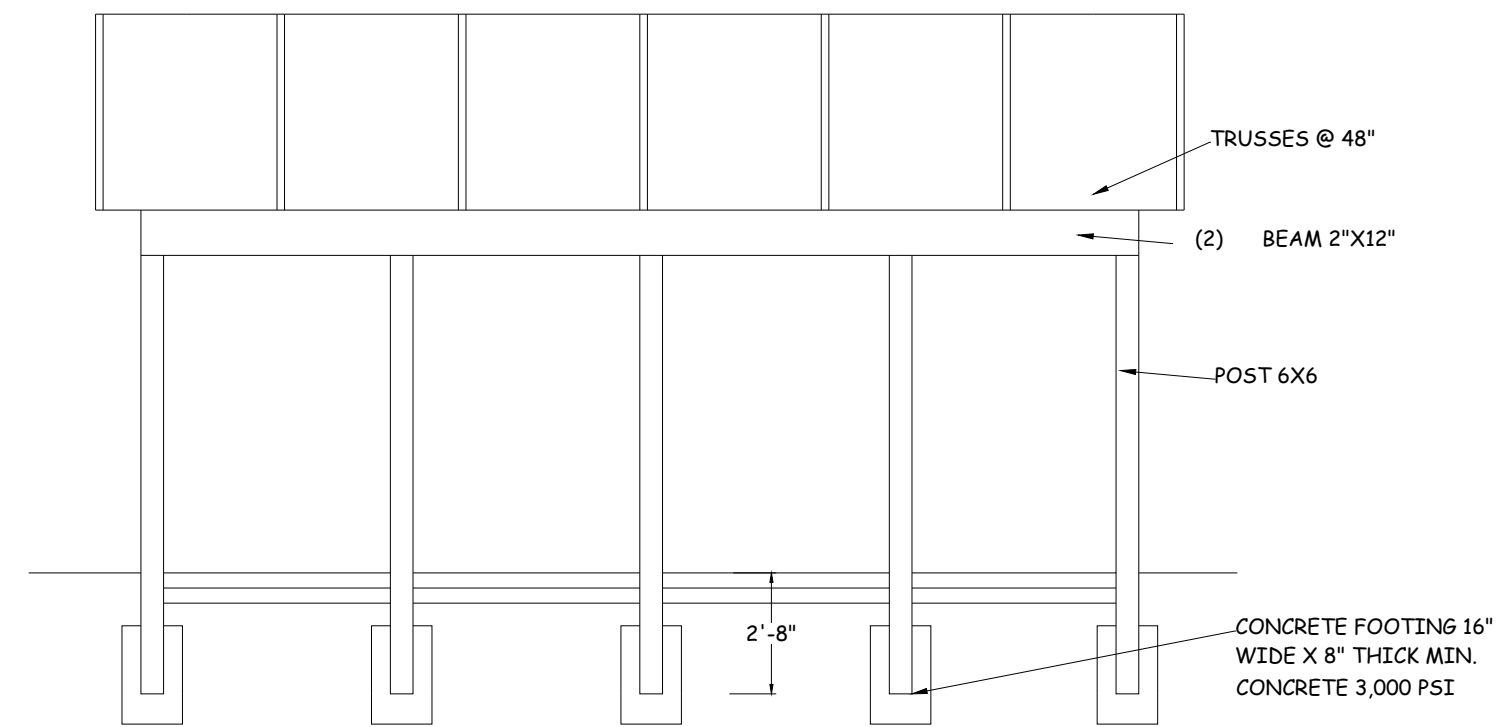
6 SECTION A
A-3 SCALE: 1:2 1/2" = 1'



5 POST DETAIL
A-3 SCALE: 1:1 1" = 1'



7 ROOF DETAIL
A-3 SCALE: 1:1 1" = 1'



6 SECTION B
A-3 SCALE: 1:2 1/2" = 1'

RESIDENCE FOR:
 22335 OLD GEORGETOWN RD,
 SMITHSBURG MD 21783

DWN:	JAFET PAREDES LAZO
CHECKED:	JOSE B. PADILLA
REV:	
REV:	



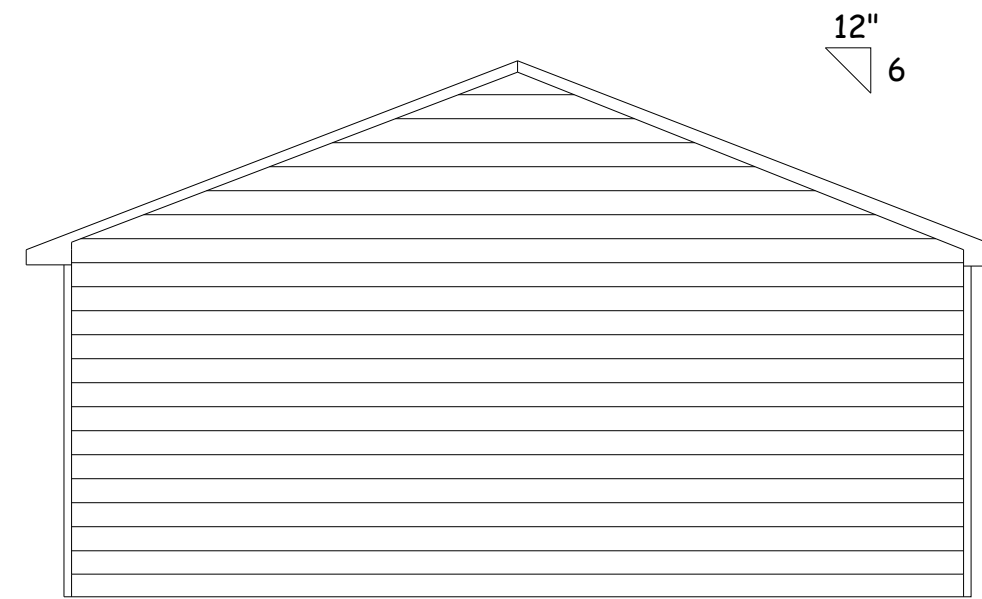
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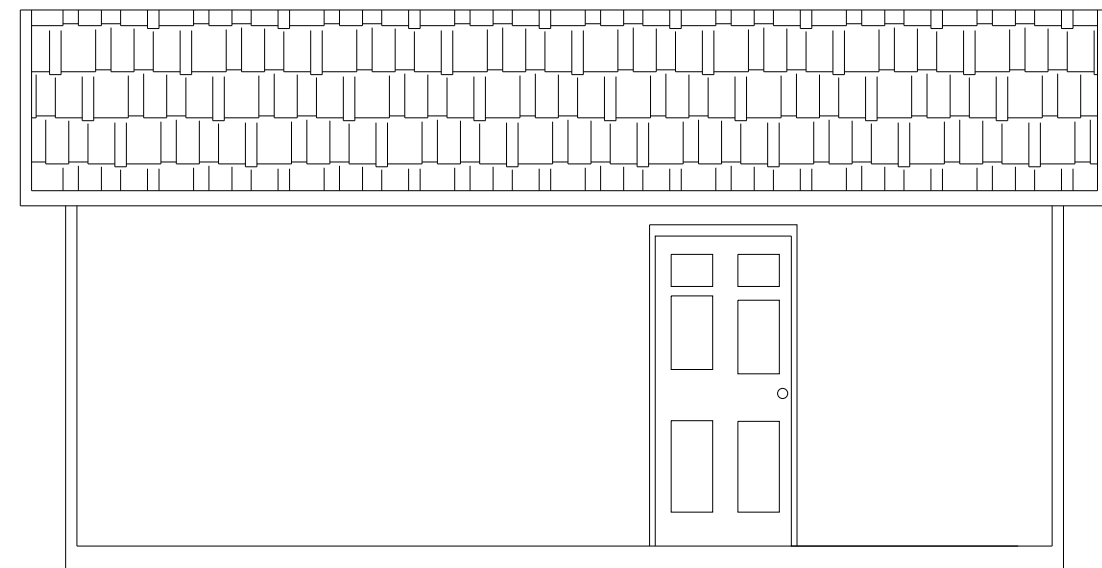
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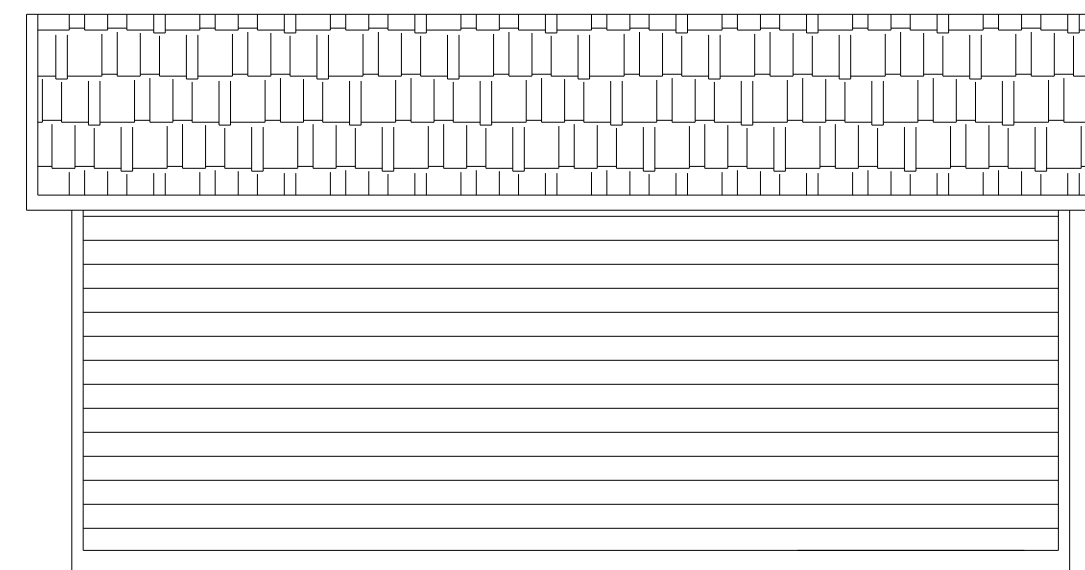
8 FRONT ELEVATION
A-4 SCALE: 1:2 1/2" = 1'



9 REAR ELEVATION
A-4 SCALE: 1:2 1/2" = 1'



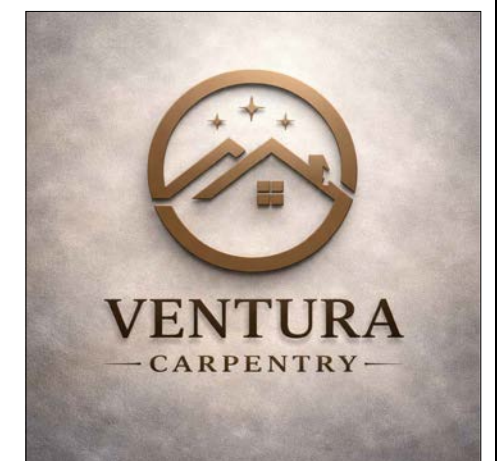
10 LEFT ELEVATION
A-4 SCALE: 1:2 1/2" = 1'



11 RIGHT ELEVATION
A-4 SCALE: 1:2 1/2" = 1'

RESIDENCE FOR:
 22335 OLD GEORGETOWN RD,
 SMITHSBURG MD 21783

DWN: JAFET PAREDES LAZO	CHECKED: JOSE B. PADILLA	REV:	REV:
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SHEET:
 OF: 1
 DATE:









Viewshed Analysis

Latitude: 39° 36' 51.686" N Longitude: 77° 38' 45.768" W



Legend

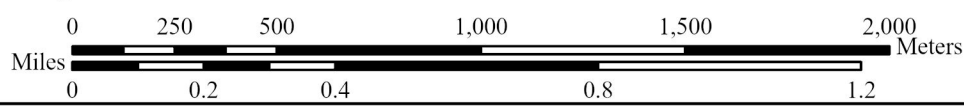
-  1/2 Mile APE-VE
-  Baseline
-  47.25 feet
-  94.5 Feet
-  141.75
-  189 Feet

Project Location

1/2 Mile APE-VE

Vantor

Esri World Imagery
Arcola Towers- Whitehall
 10944 White Hall Road, Smithsburg, MD 21783
 Trileaf Project: 770617



Historic Review Activity 05/22/2026 thru 06/18/2026

Record #	Type	MIHP#	Record Status	Open Date	Date Assigned	Location	Description	Folder Status	Status Date	Task Name	Workflow Info	Comments
SP-25-043	Site Plan	1471; 1866	In Review	22-Oct-25	05-Jun-26	13850 CRAYTON BOULEV, SUITE# A HAGERSTOWN, MD 21742	THIS SITE PLAN IS FOR THE CONSTRUCTION OF A CONVENIENCE STORE/GAS STATION WITH AUTO AND DIESEL FUELING ISLANDS. THE PROPOSED SITE DISTURBED AREA IS 9.8 ACRES, AND THE PROPOSED IMPERVIOUS	Approved	08-Jun-26	Historic District Commission	Updated by Script from EPR.	
								Days in Review:	3			
SP-26-001	Site Plan		In Review	07-Jan-26	15-Jun-26	13705 RAILROAD STREET MAUGANSVILLE, MD 21767	PROPOSED BUILDING EXPANSION	Approved	17-Jun-26	Historic District Commission	Updated by Script from EPR.	
								Days in Review:	2			
SP-26-014	Site Plan		Approved	09-Apr-26	21-May-26	14366 RECKORD AVENUE CASCADE, MD 21719	CHANGE IN USE SITE PLAN FROM COMMERCIAL RETAIL SALES TO A BARBER SHOP	Approved	29-May-26	Historic District Commission		
								Days in Review:	8			
SP-26-013	Site Plan		Approved	09-Apr-26	21-May-26	25009 LAKE WASTLER DRIVE CASCADE, MD 21719	CHANGE IN USE SITE PLAN FOR A BAKERY TO A TAVERN	Approved	29-May-26	Historic District Commission	Updated by Script from EPR.	
								Days in Review:	8			
S-26-020	Final Plat	1075; 1063	In Review	06-May-26	01-Jun-26		ARBORVIEW PHASE 1 SECTION 1 FINAL PLAT 72 SF & 44 SEMI DETACHED LOTS	Revisions Required	08-Jun-26	Historic District Commission	Updated by Script from EPR.	
								Days in Review:	6			
2026-02214	Residential New Construction Permit	IV072	Approved	28-May-26	29-May-26	LOR 12968 ROWE ROAD	CONSTRUCTION OF (3) TIERED SEGMENTED BLOCK RETAINING WALLS ON SOUTH SIDE OF HOUSE, EACH WILL BE 2FT - 9.5 FT. IN HEIGHT INCLUDING RAILING, STEPS TO GRADE IN THE MIDDLE OF WALL #1 JOEL & EVALINDA STRITE	Note	08-Jun-26	Historical Review	wall is adjacent to previous new construction dwelling. No hdc review required in this area.	
								Days in Review:	10			
2026-02251	Floodplain Permit	I123	Approved	01-Jun-26	02-Jun-26	SP-25-009 458 ANTIETAM DRIVE	FLOODPLAIN PERMIT FOR NEW WATER TRAIL PARK AT ANTIETAM DRIVE. 11 SPACE PARKING LOT, VIEWING PLATFORM AND CREEK ACCESSA ANTIETAM DRIVE WATER TRAIL PARK	Note	08-Jun-26	Historical Review	Not a review area/activity for HDC.	
								Days in Review:	6			
2026-02372	Residential New Construction Permit		Review	08-Jun-26	08-Jun-26	22335 OLD GEORGETOWN ROAD SMITHSBURG, MD 21783	440 SQ. FT. ONE STORY DETACHED GARAGE ON CONCRETE SLAB TO REAR OF DWELLING, POLE CONSTRUCTION, PRE-ENGINEERED ROOF TRUSSES	Note	08-Jun-26	Historical Review	For the July 1 HDC Agenda	
								Days in Review:	0			
Activity Count:	8											

Review Activities Summary

Application Type	Application Number	Approved	Note	Passed - Info	Revisions Required	Total
Final Plat	Total	0	0	0	1	1
Floodplain Permit	Total	0	1	1	0	1
Residential New Construction Permit	Total	0	2	1	0	2
Site Plan	Total	4	0	0	0	4
Total		4	3	2	1	8