

Lloyd Yavener, Chair  
Justin Bedard, Vice Chair  
Ann Aldrich  
Brianna Candelaria



Michael Lushbaugh  
Tyler Milam  
Gregory Smith  
Randal Leatherman,  
BOCC Rep

## HISTORIC DISTRICT COMMISSION OF WASHINGTON COUNTY, MARYLAND

### AGENDA

September 3, 2025

#### Regular Meeting – 6:00 p.m.

Washington County Administration Complex, 100 West Washington Street, Room 2001, Hagerstown,  
MD 21740

#### CALL TO ORDER AND ROLL CALL

#### NEW BUSINESS

1. Residential Addition-Alteration (2025-03697) – 17827 Spielman Road (WA-II-277, Fairplay Rural Village) – (Discussion/Approval) - Installation of (33) 13.20 kW roof mounted solar panels on dwelling \*
2. HTC-25-002, 817 The Terrace, WA-HAG-146 (Oak Hill Historic District) –  
(Discussion/Comments) – Part 1 and Part 2 applications for tax credits for the John Pangborn House \*

#### OLD BUSINESS

1. HTC-25-001, 32 E Baltimore Street, Funkstown – WA-I-639 – (Discussion/Comments) – Part 2 project description clarifications from staff from site visit 8/21/2025

#### OTHER BUSINESS

1. Correspondence
  - a. Section 106 Consultation: I-70 Bridge Nos. 2111503 and 2111504 over MD 632 - No Properties Affected (16539) \*
  - b. HTC-24-002, Williamson, Status Update to Withdrawn
2. Staff Report
  - a. Staff Reviews \*
  - b. Legislative Priorities Update
  - c. City of Hagerstown Outreach, Tax Credits
  - d. Comprehensive Plan Status

#### ADJOURNMENT

#### UPCOMING MEETING

1. Wednesday, October 1, 2025, 6:00 p.m.

\*attachments

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET



## Historic District Commission

### MEMORANDUM

To: Washington County Historic District Commission  
From: Meghan Jenkins, GISP, GIS Coordinator - Historic District Commission Staff  
Date: August 21, 2025  
Subj: Residential Addition-Alteration Permit/Solar Panels, 2025-03697

### Staff Report and Analysis

---

**Property Owner:** MOYERS DOUGLAS ET AL, MOYERS RUTH

**Applicant:** David Schildtknecht

**Location:** 17827 SPIELMAN Road

**Tax Account ID:** 12005628

**Map/Grid/Parcel/Lot:** 67/2/144/

**Legal Description:** LOT .45 ACRES 17827 SPIELMAN ROAD

**Zoning:** Rural Village

**Rural Village:** Fairplay (MHT-C) Historic Rural Village

**Project Description:** Installation of (33) 13.20 kW roof mounted solar panels on dwelling

---

### Applicable Law and Review Criteria:

The HDC is enabled through [Article 20 of the Zoning Ordinance for Washington County, MD](#). Specifically Section 20.3.a states: *"The Commission shall act upon all applications as required by Section 20.6, Historic Preservation district, Section 5D.4, Rural Village District and Article 20A, Antietam Overlay District of this Ordinance."*

The HDC shall consider only exterior features of a structure that would affect the historic, archeological, or architectural significance of the site or structure, any portion of which is visible or intended to be visible from a public way. It does not consider any interior arrangements, although interior changes may still be subject to building permit procedures.

1. The application shall be approved by the HDC if it is consistent with the following criteria:
  - A. The proposal does not substantially alter the exterior features of the structure.
  - B. The proposal is compatible in character and nature with the historical, cultural, architectural, or archeological features of the site, structure, or district and would not be detrimental to achievement of the purposes of [Article 20 of the County Zoning Ordinance](#).
  - C. The proposal would enhance or aid in the protection, preservation and public or private utilization of the site or structure, in a manner compatible with its historical, archeological, architectural, or cultural value.



## Historic District Commission

- D. The proposal is necessary so that unsafe conditions or health hazards are remedied.
- E. The [\*Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings\*](#) and subsequent revisions are to be used as guidance only and are not to be considered mandatory.
- 2. In reviewing the plans for any such construction or change, the HDC shall give consideration to and **not disapprove** an application except with respect to the factors specified below.
  - A. The historic or architectural value and significance of the site or structure and its relationship to the historic or architectural value and significance of the surrounding area.
  - B. The relationship of the exterior architectural features of the structure to the remainder of the structure and to the surrounding area.
  - C. The general compatibility of exterior design, scale, proportion, arrangement, texture, and materials proposed to be used.
  - D. Any other factors, including aesthetic factors, that the Commission deems to be pertinent.
- 3. The HDC shall be strict in its judgment of plans for those structures, sites, or districts deemed to be valuable according to studies performed for districts of historic or architectural value. The HDC shall be lenient in its judgment of plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding structures.

For Rural Villages, additional review criteria for applications are listed in [Section 5D.5 Architectural Review](#) of the Zoning Ordinance and include:

- 1. The exterior appearance of existing structures in the Rural Village, including materials, style, arrangement of doors and windows, mass, height and number of stories, roof style and pitch, proportion.
- 2. Building Size and Orientation
- 3. Landscaping
- 4. Signage
- 5. Lighting
- 6. Setbacks
- 7. Accessory structures

**Secretary of Interior Standards which may be applicable to this project review include:**

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



## Historic District Commission

Washington County Design Guidelines for Historic Structures which may be applicable to this project review include:

### Guidelines for Roofs (p.67)

5. New skylights, mechanical and service-related equipment or pipes, chimneys or other projections, including solar panels should be located so that they are not visible from a public right-of-way. If able, roof mounting of mechanical equipment and solar panels should be avoided. If ground mounted these systems should still not be visible from the public right-of-way.

### Guidelines for Solar (p.78)

Traditional Roof-Mounted Solar Panels should

1. Have a low-profile.
2. Be mounted less than or equal to six inches above the surface of the roof (to the face of the panel).
3. Be consistent with the existing slope of the supporting roof.
4. Set solar panels back from the edges and ridge of the roof.
5. Place any conduits for connections to electrical meters on the inside of the building or on a secondary elevation.
6. Locate conduits, inverters, storage units, or other hardware associated with the panels on the interior or on secondary elevations with limited visibility from the public rights-of-way.
7. Blend with the surrounding features of the historic resource with respect to color of the panel, support racks, and conduits.
8. Be arranged in an organized configuration and avoid disjointed and multi-roof solutions. This may require the relocation of modern vents, and, pipes.

---

### Staff Report:

This project is located in the Fairplay Historic Rural Village which is located at the intersection of Spielman Road and Fairplay Road. It is west of the Rural Village of Tilghmanton and Maryland Route 65 Sharpsburg Pike. The rural village contains 22 contributing resources and 4 non-contributing with a period of significance from 1830-1900. The inventory form was evaluated under Criterion C. Primary materials in the rural village include stone foundations, with wood walls/weatherboard/brick and roofs of synthetics, stone and or metal. The structure (#18) is listed as contributing and described as follows: two-story vernacular residence with laterally-oriented gable roof of standing-seam metal; interior brick chimney; synthetic siding; two-bay facade, with main entrance centered on facade, shielded by single-story pedimented portico supported by attenuated replacement wood supports; one-story wing, including a breezeway, is on the left side (c. 1840)" – MIHP WA-II-277, Fairplay

The permit application is for the installation of (33) 13.20 kW roof mounted solar panels on the dwelling on two rear roof sections of the two-story main portion of the dwelling and one streetside elevation for the single-story wing as well as its rear elevation. While undated, the wing to the side is an enclosed breezeway to a single car garage and is constructed of asphalt shingles while the main portion





## Historic District Commission

has a deteriorated metal roof. The application document does note a need for a new metal roof prior to installation of the panels.

---

### Staff Analysis:

The proposed solar panels are at a low profile with the mounts indicating they are 4.68-6" in height. No changes are proposed in the slope of the roof. Equipment for the panels appears to be placed near existing utility meters to the east side of the structure. The panels are a dark color similar to existing roofing materials. The panels visible from the right-of-way are symmetrical and joined in a way to not have any gaps in panels. The panels visible from the right-of-way, while placed on the single-story structure will have minimal visibility to the majority of the structures contributing to this rural village due to its setback from the road and subordinate position to the main two story portion of the structure. The panels with visibility from the right of way are also placed on the single-story portion which appears to be more modern and less impactful to the historic portion of the structure. The panels meet most County guidelines regarding solar placement for these reasons. Their placement does not conflict with review criteria under Article 20 or Section 5D.5 of the zoning ordinance.

---

### Staff Recommendation:

Recommend approval of the Residential Addition-Alteration Permit/Solar Panels, permit number 2025-03697, in Fairplay Historic Rural Village for the reasons stated in the Staff Analysis.

Respectfully Submitted,

Meghan Jenkins, GISP  
Historic District Commission Staff

#### Attachments:

- Photos provided by Staff
- Permit Submission Packet



## Historic District Commission



Picture 1 - Looking East, west elevation showing one story garage and lean to.



## Historic District Commission



Picture 2: Looking south, north side of the 2-story structure.



## Historic District Commission



Picture 3: Looking south, north side of the 1-story structure.






## Historic District Commission



Picture 4: Looking southwest along right of way at east side of the structure

# DAVID C. HERNANDEZ, PE

513-418-8812 

4912 Prospect Ave., Blue Ash OH 45242 

davehernandezpe@gmail.com 

DATE: July 15, 2025

RE: 17827 Spielman Rd Fairplay, MD, 21733, USA

To Whom It May Concern,

As per your request, Exactus Energy has inspected the structure and has conducted a structural assessment of the building at the above address.

PV solar panels are proposed to be installed on roof areas as shown in the submitted plans. The panels of Roof 1 and Roof 2 are clamped and attached to the roof decking with a rail-less mounting system. The panels of Roof 3 are clamped which are attached to the roof with Solar Stack Pedestal mounting system adhered with ICP POLYSET AH-160 foam adhesive while the panels of Roof 4 are clamped to rails which are attached to the roof with a flushed mounting system. The PV system (PV modules, racking, mounting hardware, etc.) shall be installed according to the manufacturer's approved installation specifications. The Engineer of Record and Exactus Energy claim no responsibility for misuse or improper installation.

It was found that the roof structures satisfactorily meet the applicable standards included in the IBC 2021, IRC 2021, and ASCE 7-16 as well as the design criteria shown below:

## Design Criteria:

Risk Category	= II
Exposure Category	= B
Wind speed	= 115 mph
Ground snow load	= 30 psf
Roof dead load	= 9 psf
Solar system dead load	= 3 psf

Overall, the roof area, along with the upgrades noted appended on this letter, is structurally adequate to support the PV alteration. Roof 4 must be re-roofed to new metal roof prior to installation.

This letter was completed in accordance to recognized design standards, professional engineering experience, and judgement. Prior to installation, the on-site contractor must notify Exactus Energy if there are any discrepancies, or damages to the members, that was not addressed in the plan set.

If you have any further questions, please do not hesitate to contact me.

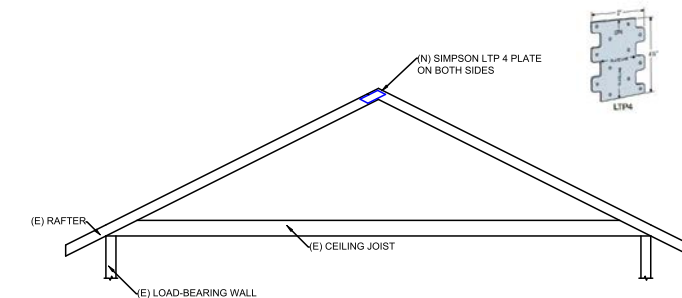
Acknowledged by:





# RAFTER CONNECTION UPGRADES

ROOF 4 REQUIRES STRUCTURAL UPGRADES. EACH RAFTER CONNECTION SHALL BE REINFORCED WITH SIMPSON LTP4 PLATES ON BOTH SIDES. REFER TO SHEET S4 FOR SPECIFICATIONS.

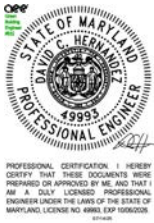


## INSTALLATION NOTES:

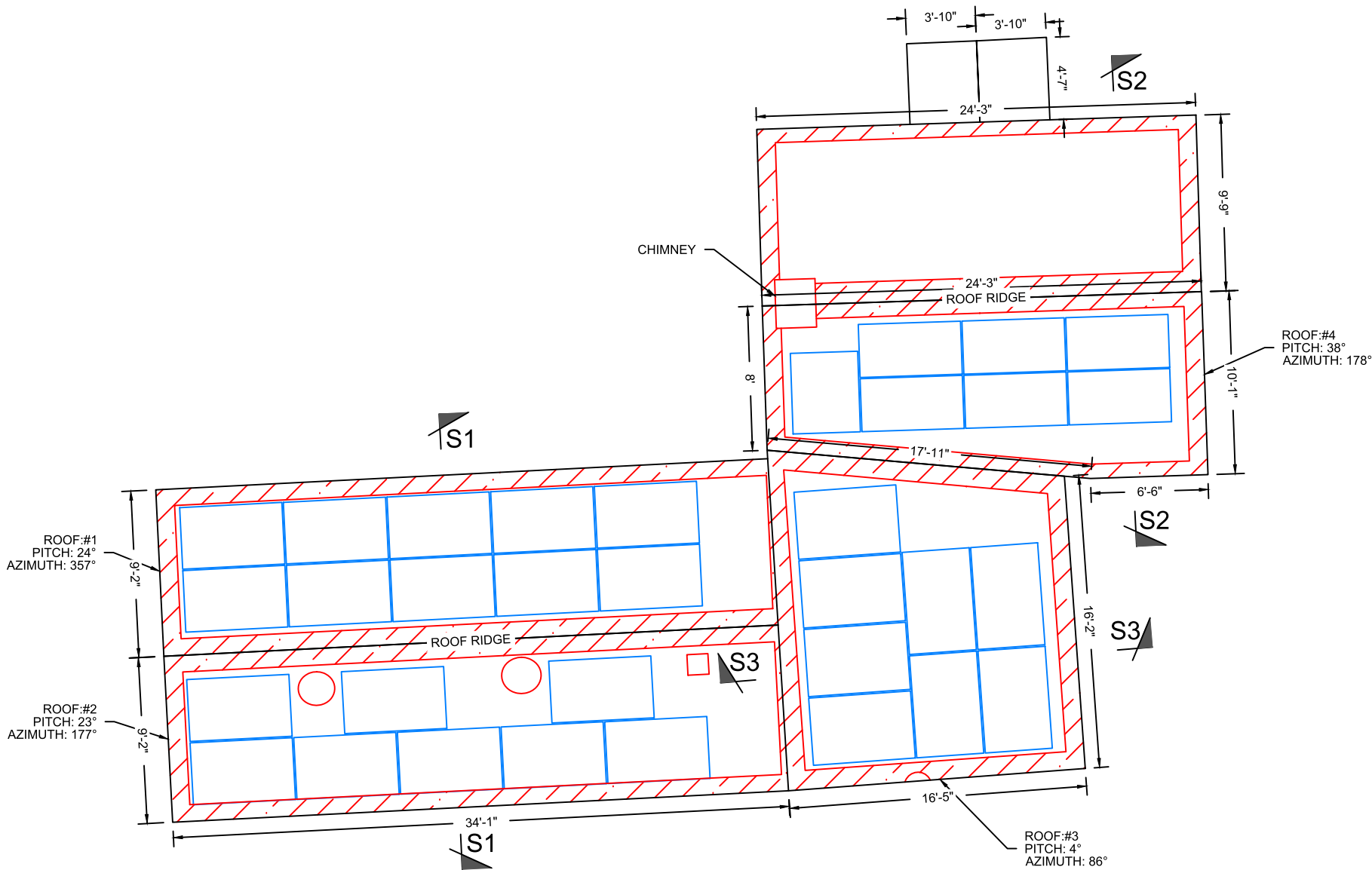
- POSITION THE LTP4 PLATE CENTERED OVER THE RAFTER INTERSECTION, ENSURING FULL CONTACT WITH BOTH MEMBERS.
- FASTEN (N) SIMPSON LTP 4 PLATE TO (E) RAFTER USING SIMPSON STRONG-DRIVE CONNECTOR SCREWS.

**S1** SIDE VIEW - RAFTER CONNECTION UPGRADES  
SCHEMATIC DEPICTION OF MP THAT REQUIRES UPGRADES INTS

Critter Guard  
Solarstack on R3  
Raised Rib Metal Roof on R4



David C. Hernandez, PE  
Digitally signed by David C. Hernandez, PE  
Date: 2025.07.15 09:45:43 -04:00



**KEY** FIRE SAFETY ZONE  
1' PATHWAYS AROUND PERIMETER OF ROOF PLANES

PLAN VIEW TOTAL ROOF AREA: 1633 SQFT  
SOLAR ARRAY AREA: 693.66 SQFT  
THE SOLAR ARRAY IS 42.5% OF THE PLAN VIEW TOTAL ROOF AREA

- NOTES:
- THE SYSTEM SHALL INCLUDE (33) LONGI LR5-54HABB-400M.
  - SNAPNRACK TOPSPEED WILL BE INSTALLED IN ACCORDANCE WITH SNAPNRACK INSTALLATION MANUAL.
  - SNAPNRACK SOLAR RAIL WILL BE INSTALLED ON R4 IN ACCORDANCE WITH SNAPNRACK INSTALLATION MANUAL.
  - SOLAR STACK MOUNT KIT WILL BE INSTALLED ON R3 IN ACCORDANCE WITH SOLAR STACK INSTALLATION MANUAL.
  - REFER TO STRUCTURAL DRAWING FOR SECTIONS MARKED AND ADDITIONAL NOTES.

SOLAR PANEL LAYOUT  
Scale: 1/8" = 1'-0"

**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code  
International Residential Code (IRC) 2021

Electrical Code  
National Electrical Code (NEC) 2020

Wind Speed 115 MPH	Snow Load 30 PSF
-----------------------	---------------------

Modules  
(33) LONGi LR5-54HABB-400M

Inverter(s)  
(33) IQ8+-72-M-US

DC System Size 13.200 kW	AC System Size 9.570 kW
-----------------------------	----------------------------

Customer Information  
Douglas Moyers  
17827 Spielman Rd  
Fairplay, MD, 21733

Partner/Lender  
GoodLeap

City Washington	Utility Potomac Edison
--------------------	---------------------------

Sheet Name  
Solar Panel Layout

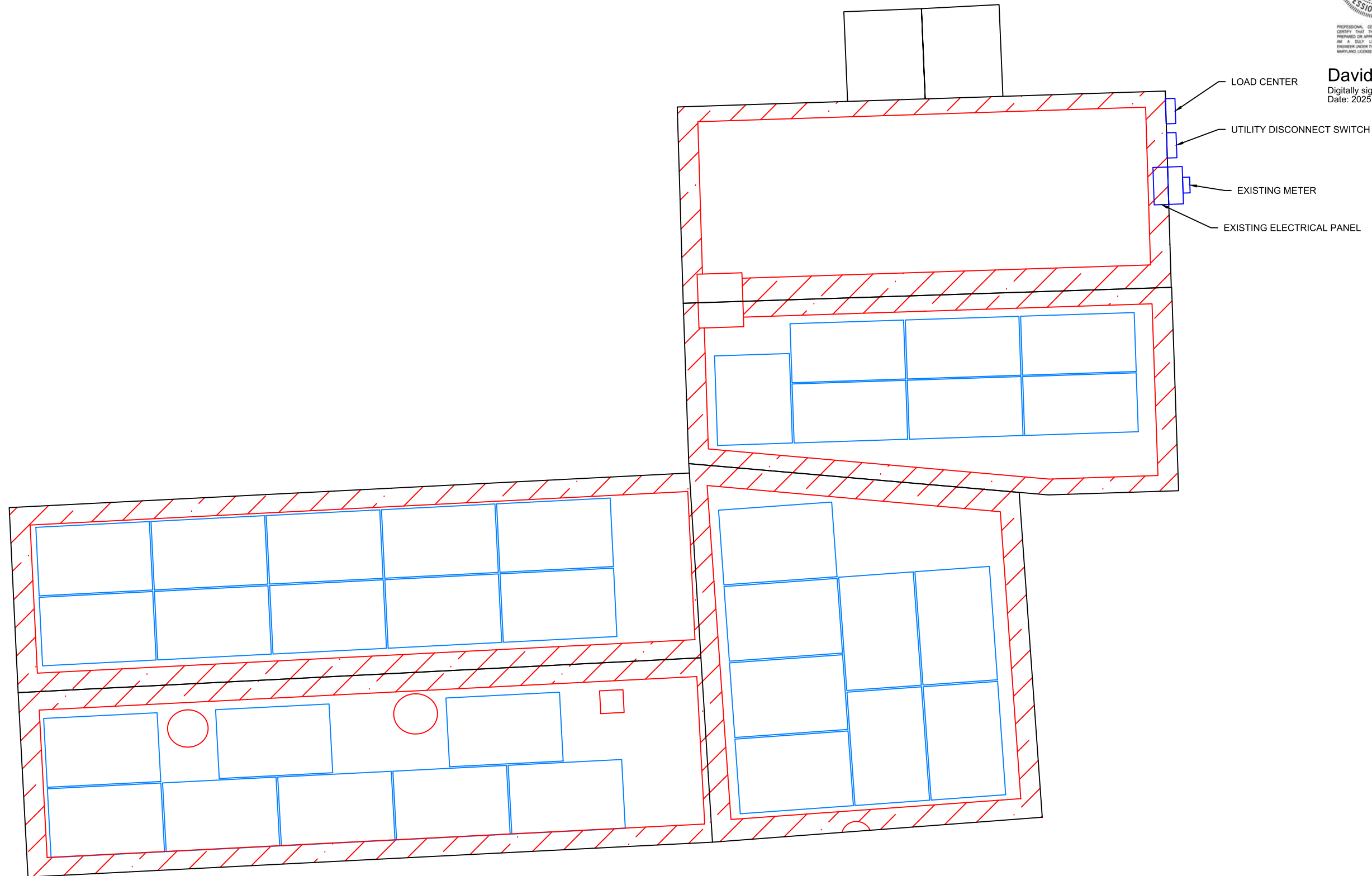
Drawn By ----	Date July 9, 2025
------------------	----------------------

Scale AS NOTED	Job Number MD24753	Sheet A-1
-------------------	-----------------------	--------------





David C. Hernandez, PE  
Digitally signed by David C. Hernandez, PE  
Date: 2025.07.15 09:45:43 -04:00



**EQUIPMENT LOCATION PLAN**  
Scale: NTS

**NOTE:**  
EQUIPMENT LOCATION PLAN IS APPROXIMATE, EXACT LOCATION  
TO BE VERIFIED WITH INSTALLATION CREW AND HOME OWNER  
AT THE TIME OF INSTALLATION.

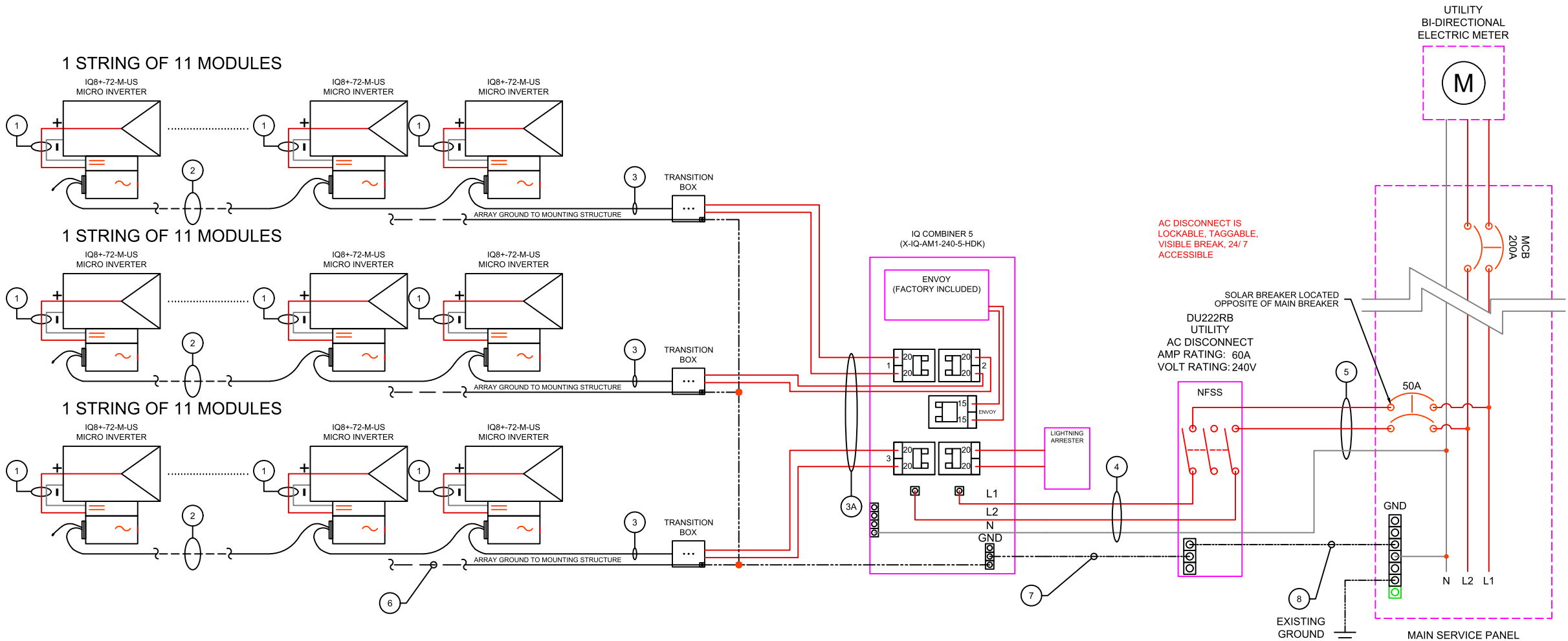


**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code		
International Residential Code (IRC) 2021		
Electrical Code		
National Electrical Code (NEC) 2020		
Wind Speed	Snow Load	
115 MPH	30 PSF	
Modules		
(33) LONGi LR5-54HABB-400M		
Inverter(s)		
(33) IQ8+-72-M-US		
DC System Size	AC System Size	
13.200 kW	9.570 kW	
Customer Information		
Douglas Moyers 17827 Spielman Rd Fairplay, MD, 21733		
Partner/Lender		
GoodLeap		
ANU	Utility	
Washington	Potomac Edison	
Sheet Name		
Equipment Location Plan		
Drawn By	Date	
----	July 9, 2025	
Scale	Job Number	Sheet
AS NOTED	MD24753	E-1



MODULE SPECIFICATIONS			
MODEL NUMBER	LR5-54HABB-400M		
PEAK POWER	400 W		
RATED VOLTAGE (V <sub>mpp</sub> )	30.94 V		
RATED CURRENT (I <sub>mp</sub> )	12.93 A		
OPEN CIRCUIT VOLTAGE (V <sub>oc</sub> )	37.05 V		
SHORT CIRCUIT CURRENT (I <sub>sc</sub> )	13.72 A		
MAXIMUM SYSTEM VOLTAGE	1500VDC		
INVERTER SPECIFICATIONS			
MODEL NUMBER	IQ8PLUS-72-M-US		
MAXIMUM DC VOLTAGE	60 V		
MAXIMUM POWER OUTPUT	290 W		
NOMINAL AC VOLTAGE	240 VAC		
MAXIMUM AC CURRENT	1.21 A		
CEC EFFICIENCY	97.0%		
ARRAY DETAILS			
NO. OF MODULES PER STRING	11	11	11
NO. OF STRINGS	1	1	1
ARRAY WATTS AT STC	4400	4400	4400

### 3-LINE DIAGRAM

WIRE/CONDUIT SCHEDULE ARRAY			
TAG	DESCRIPTION	WIRE SIZE/TYPE	NOTES
1	Panel to Micro Inverter	PV Wire (Factory Made)	INTEGRATED
2	Micro Inverter to Micro Inverter	Pre-Manufactured Cable	
3	Micro Inverter to Transition Box	Pre-Manufactured Cable	
3A	Transition Box to Load Center	#10 THHN/THWN-2	INTEGRATED
4	Load Center to AC Disconnect	#8 Cu THHN/THWN-2	
5	AC Disconnect to Interconnection Point	#8 Cu THHN/THWN-2	
6	Equipment Grounding Conductor	#8 Cu Bare Copper Wire	
7	Equipment Grounding Conductor	#8 Cu THHN/THWN-2	
8	Grounding Electrode Conductor	#6 Cu	

### GENERAL ELECTRIC NOTES: NEC2020

- EQUIPMENT USED SHALL BE NEW, UNLESS OTHERWISE NOTED.
- EQUIPMENT USED SHALL BE UL LISTED, UNLESS OTHERWISE NOTED.
- EQUIPMENT SHALL BE INSTALLED PROVIDING ADEQUATE PHYSICAL WORKING SPACE AROUND THE EQUIPMENT AND SHALL COMPLY WITH NEC.
- COPPER CONDUCTORS SHALL BE USED AND SHALL HAVE AN INSULATION RATING OF 600V, 90°C, UNLESS OTHERWISE NOTED
- CONDUCTORS SHALL BE SIZED IN ACCORDANCE TO THE NEC. CONDUCTORS AMPACITY SHALL BE DE-RATED FOR TEMPERATURE INCREASE, CONDUIT FILL AND VOLTAGE DROP.
- ALL CONDUCTORS, EXCEPT PV WIRE SHALL BE INSTALLED IN APPROVED CONDUITS OR RACEWAY. CONDUITS SHALL BE ADEQUATELY SUPPORTED AS PER NEC.
- AC DISCONNECT SHOWN IS REQUIRED IF THE UTILITY REQUIRES VISIBLE-BLADE SWITCH.
- EXPOSED NON-CURRENT CARRYING METAL PARTS SHALL BE GROUNDED AS PER NEC.
- LINE SIDE INTER-CONNECTION SHALL COMPLY WITH NEC.
- SMS MONITORING SYSTEM AND IT'S CONNECTION SHOWN IS OPTIONAL. IF USED, REFER TO SMS INSTALLATION MANUAL FOR WIRING METHODS AND OPERATION PROCEDURE.
- ASHRAE FUNDAMENTAL OUTDOOR DESIGN TEMPERATURES DO NOT EXCEED 47°C IN THE U.S. (PHOENIX, AZ OR PALM SPRINGS, CA)
- FOR LESS THAN 9 CURRENT-CARRYING CONDUCTORS IN ROOF MOUNTED SUNLIGHT CONDUIT USING THE OUTDOOR TEMPERATURE OF 47°C
  - 10AWG CONDUCTOR ARE GENERALLY ACCEPTABLE FOR MODULES WITH AN I<sub>sc</sub> OF 9.6 AMPS WITH A 15 AMP FUSE.

WIRE SIZING FOR OCPD  
EX (I<sub>sc</sub> \*(1.25)/(1.25))/# OF STRINGS IN PARALLEL) = WIRE AMPACITY OR USING NEC TABLE 690.8



**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code  
International Residential Code (IRC) 2021

Electrical Code  
National Electrical Code (NEC) 2020

Wind Speed 115 MPH	Snow Load 30 PSF
-----------------------	---------------------

Modules  
(33) LONGi LR5-54HABB-400M

Inverter(s)  
(33) IQ8+-72-M-US

DC System Size 13.200 kW	AC System Size 9.570 kW
-----------------------------	----------------------------

Customer Information  
Douglas Moyers  
17827 Spielman Rd  
Fairplay, MD, 21733

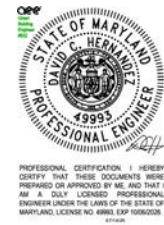
Partner/Lease  
GoodLeap

City Washington	Utility Potomac Edison
--------------------	---------------------------

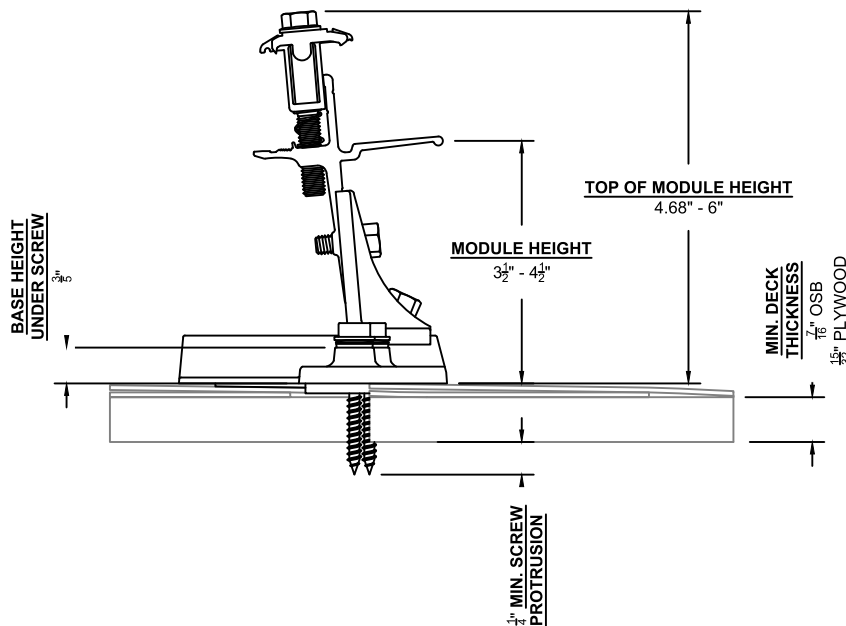
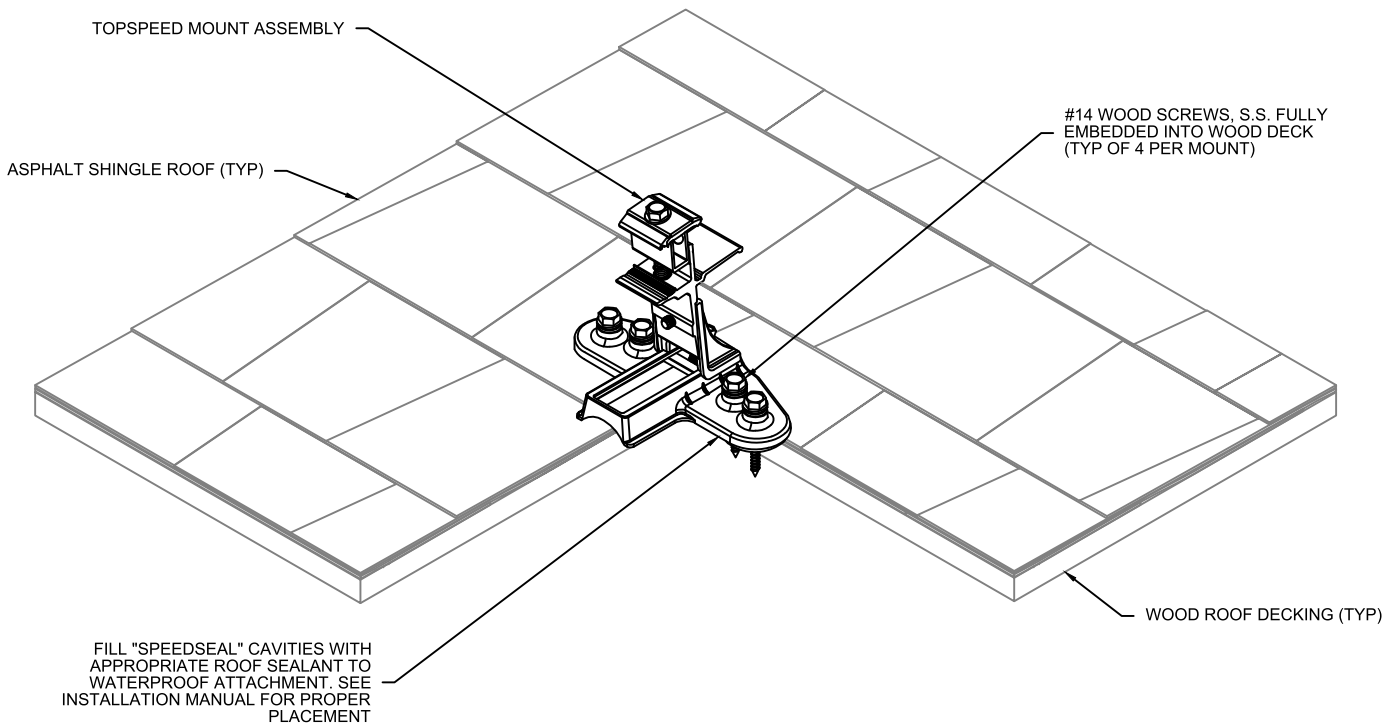
Sheet Name  
Electrical 3-Line Diagram

Drawn By ----	Date July 9, 2025
------------------	----------------------

Scale AS NOTED	Job Number MD24753	Sheet E-2
-------------------	-----------------------	--------------



David C. Hernandez, PE  
Digitally signed by David C. Hernandez, PE  
Date: 2025.07.15 09:45:43 -04:00



Structural Details		
S1	Truss	2x4 O.C. 24"

NOTES:

- ALL WORK SHALL COMPLY WITH REQUIREMENTS OF INTERNATIONAL RESIDENTIAL CODE (IRC 2021), LOADING CODE (ASCE 7-16), WOOD DESIGN CODE (NDS 2015), AND LOCAL REQUIREMENTS.
- LOAD CRITERIA PER :
  - EXPOSURE CATEGORY "B"
  - GROUND SNOW LOAD,  $P_g = 30$  PSF
  - LATERAL LOAD RISK CATEGORY "II"
  - ULTIMATE DESIGN WIND SPEED = 115 MPH
- SOLAR PANELS AND RACKING SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- FOLLOW ALL LOCAL AND FEDERAL SAFETY REQUIREMENTS.

STRUCTURAL ATTACHMENT DETAIL - ROOF S1



**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code  
International Residential Code (IRC) 2021

Electrical Code  
National Electrical Code (NEC) 2020

Wind Speed 115 MPH	Snow Load 30 PSF
-----------------------	---------------------

Modules  
(33) LONGi LR5-54HABB-400M

Inverter(s)  
(33) IQ8+-72-M-US

DC System Size 13.200 kW	AC System Size 9.570 kW
-----------------------------	----------------------------

Customer Information  
Douglas Moyers  
17827 Spielman Rd  
Fairplay, MD, 21733

Partner/Lender  
GoodLeap

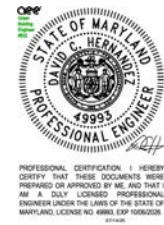
City Washington	Utility Potomac Edison
--------------------	---------------------------

Sheet Name  
Structural Attachment Details

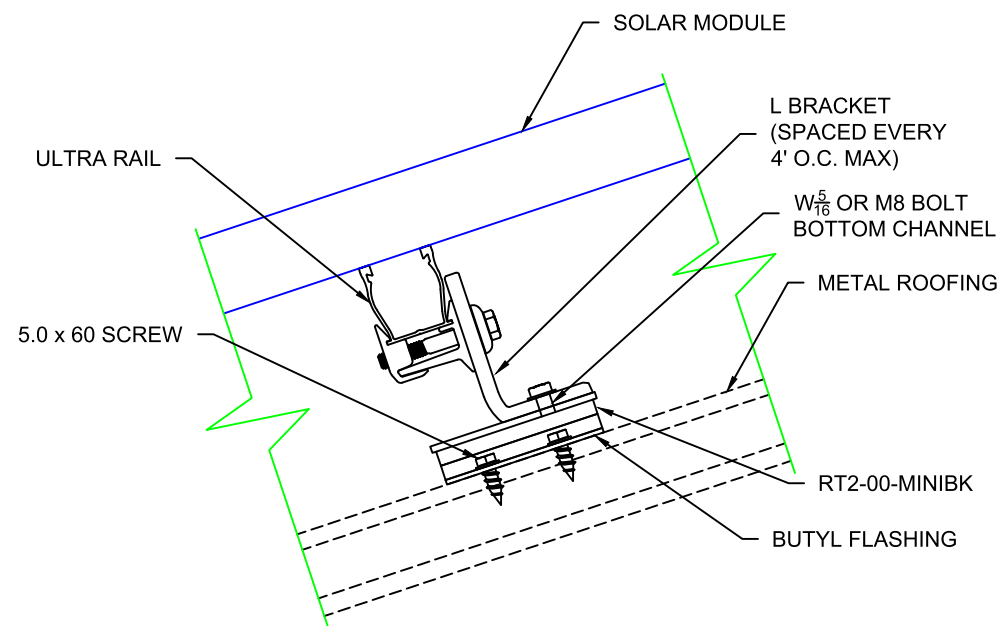
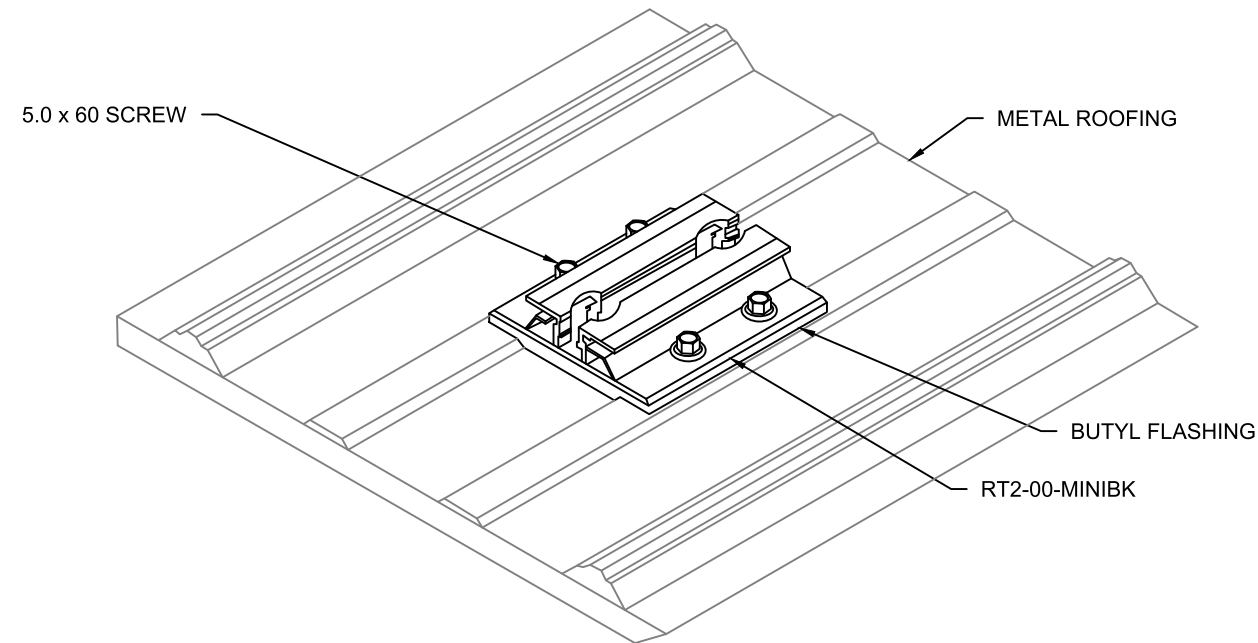
Drawn By ----	Date July 9, 2025
------------------	----------------------

Scale AS NOTED	Job Number MD24753	Sheet S-1
-------------------	-----------------------	--------------





David C. Hernandez, PE  
Digitally signed by David C. Hernandez, PE  
Date: 2025.07.15 09:45:43 -04:00




Structural Details		
S2	Rafter	3x4 O.C. 34"

NOTES:

- ALL WORK SHALL COMPLY WITH REQUIREMENTS OF INTERNATIONAL RESIDENTIAL CODE (IRC 2021), LOADING CODE (ASCE 7-16), WOOD DESIGN CODE (NDS 2015), AND LOCAL REQUIREMENTS.
- LOAD CRITERIA PER :
  - EXPOSURE CATEGORY "B"
  - GROUND SNOW LOAD,  $P_g = 30$  PSF
  - LATERAL LOAD RISK CATEGORY "II"
  - ULTIMATE DESIGN WIND SPEED = 115 MPH
- SOLAR PANELS AND RACKING SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- FOLLOW ALL LOCAL AND FEDERAL SAFETY REQUIREMENTS.

STRUCTURAL ATTACHMENT DETAIL - ROOF S2



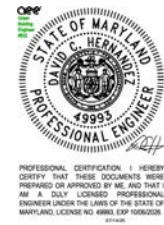
**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

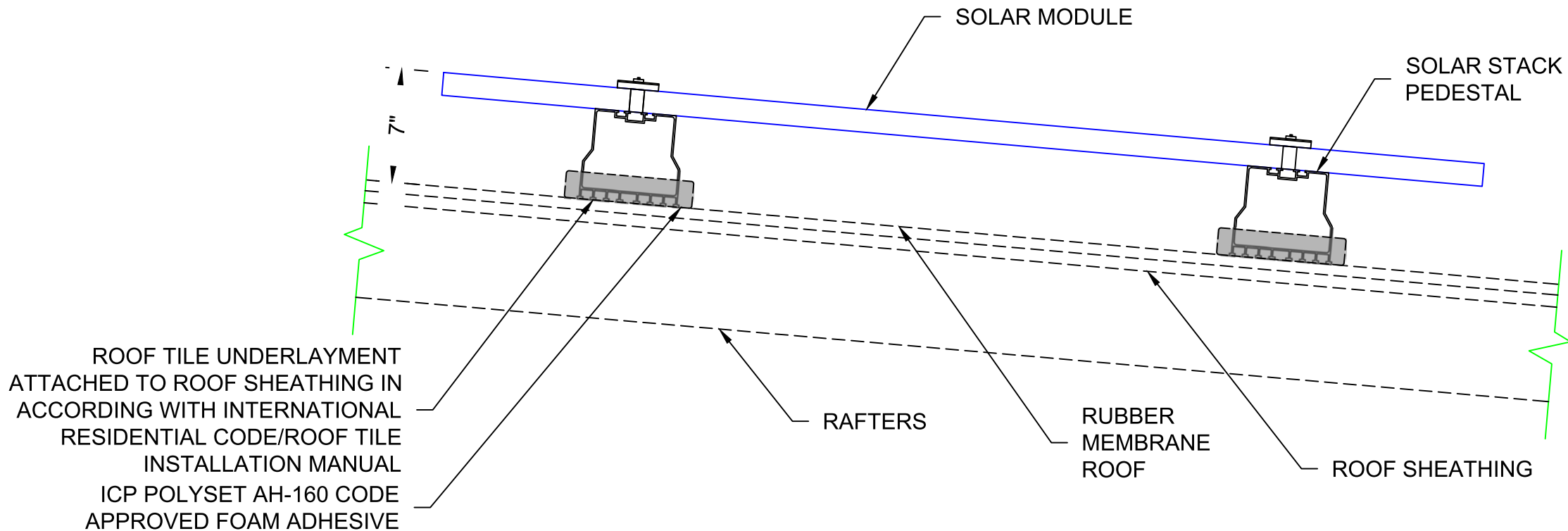
**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code		International Residential Code (IRC) 2021	
Electrical Code		National Electrical Code (NEC) 2020	
Wind Speed	115 MPH	Snow Load	30 PSF
Modules			
(33) LONGi LR5-54HABB-400M			
Inverter(s)			
(33) IQ8+-72-M-US			
DC System Size	13.200 kW	AC System Size	9.570 kW
Customer Information			
Douglas Moyers 17827 Spielman Rd Fairplay, MD, 21733			
Partner/Lender			
GoodLeap			
City	Washington	Utility	Potomac Edison
Sheet Name			
Structural Attachment Details			
Drawn By	----	Date	July 9, 2025
Scale	AS NOTED	Job Number	MD24753
			Sheet
			S-2





David C. Hernandez, PE  
Digitally signed by David C. Hernandez, PE  
Date: 2025.07.15 09:45:43 -04:00




Structural Details		
S3	Rafter	2x6 O.C. 24"

NOTES:

- ALL WORK SHALL COMPLY WITH REQUIREMENTS OF INTERNATIONAL RESIDENTIAL CODE (IRC 2021), LOADING CODE (ASCE 7-16), WOOD DESIGN CODE (NDS 2015), AND LOCAL REQUIREMENTS.
- LOAD CRITERIA PER :
  - EXPOSURE CATEGORY "B"
  - GROUND SNOW LOAD, Pg = 30 PSF
  - LATERAL LOAD RISK CATEGORY "II"
  - ULTIMATE DESIGN WIND SPEED = 115 MPH
- SOLAR PANELS AND RACKING SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- FOLLOW ALL LOCAL AND FEDERAL SAFETY REQUIREMENTS.

STRUCTURAL ATTACHMENT DETAIL - ROOF S3



**SolarEnergyWorld**  
Because Tomorrow Matters

Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code  
International Residential Code (IRC) 2021

Electrical Code  
National Electrical Code (NEC) 2020

Wind Speed 115 MPH	Snow Load 30 PSF
-----------------------	---------------------

Modules  
(33) LONGi LR5-54HABB-400M

Inverter(s)  
(33) IQ8+-72-M-US

DC System Size 13.200 kW	AC System Size 9.570 kW
-----------------------------	----------------------------

Customer Information  
Douglas Moyers  
17827 Spielman Rd  
Fairplay, MD, 21733

Partner/Lender  
GoodLeap

City Washington	Utility Potomac Edison
--------------------	---------------------------

Sheet Name  
Structural Attachment Details

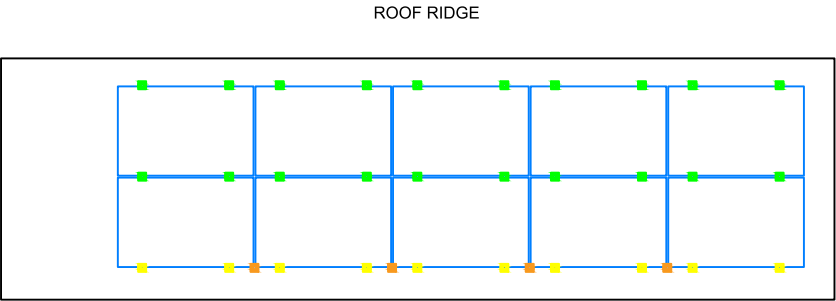
Drawn By ----	Date July 9, 2025
------------------	----------------------

Scale AS NOTED	Job Number MD24753	Sheet S-3
-------------------	-----------------------	--------------

Bill Of Materials	
Product	Count
Mounts Without Spacers	36
Mounts With Spacers	20
Clamps Without Spacers	0
Clamps With Spacers	8

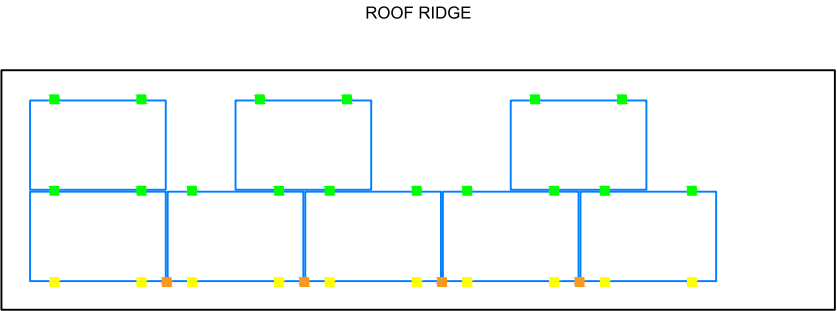
Bill Of Materials	
Product	Count
RT Mini Attachment	20
Ultra Rail - Landscape	4
Ultra-Rail - Portrait	2

Bill Of Materials	
Product	Count
Solar Stack	22



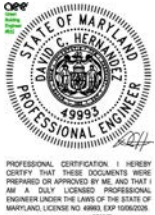
SOLAR PANEL FOOTING PLAN R1

Scale: 1/8" = 1'-0"



SOLAR PANEL FOOTING PLAN R2

Scale: 1/8" = 1'-0"



David C Hernandez  
Digitally signed by David C Hernandez  
Date: 2025.07.15 10:28:27 -04'00'

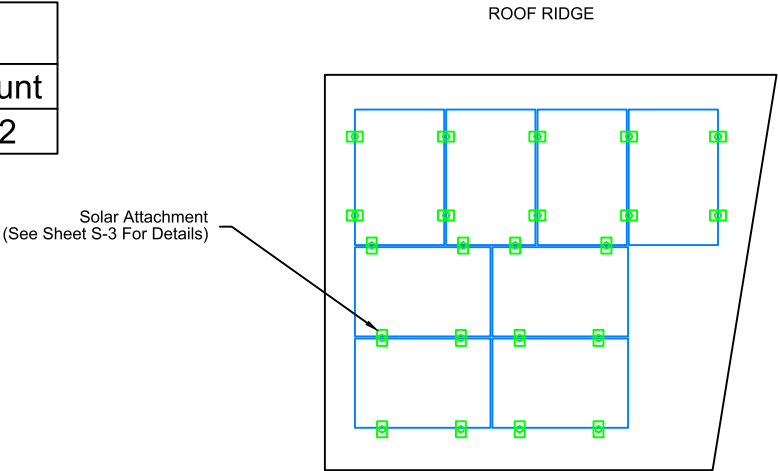
KEY

- MOUNTS WITHOUT SPACERS
- MOUNTS WITH SPACERS
- CLAMPS WITHOUT SPACERS
- CLAMPS WITH SPACERS

- NOTES:
- SNAPNRACK TOPSPEED SHALL BE INSTALLED IN ACCORDANCE WITH SNAPNRACK INSTALLATION MANUAL.
  - ADD TOPSPEED CLAMP IF GREATER THAN (SOLAR PANEL LENGTH / 4) FOR LANDSCAPE OR (SOLAR PANEL WIDTH /4) FOR PORTRAIT
  - NO SOLAR PANEL SHALL CANTILEVER MORE THAN 1/4 SOLAR PANEL LENGTH OR WIDTH DEPENDING ON ORIENTATION. UNLESS FOR MANUFACTURER SPECIFIED CLAMPING ZONE

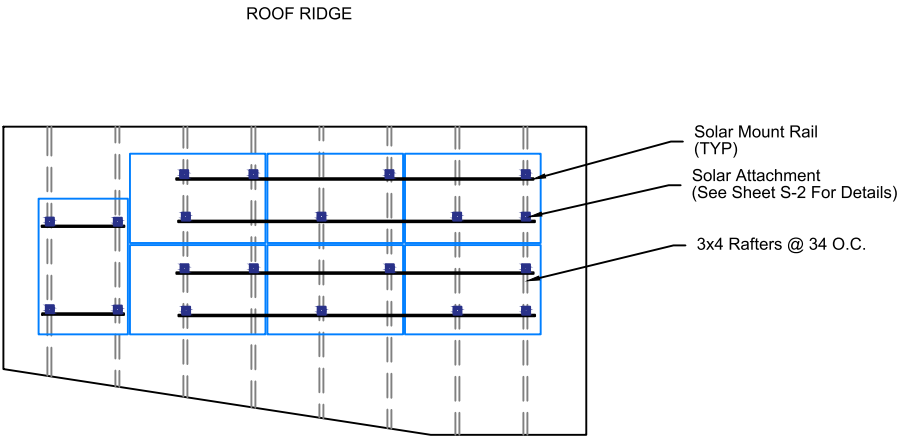
- NOTES:
- SOLAR STACK SHALL BE INSTALLED IN ACCORDANCE WITH SOLAR STACK INSTALLATION MANUAL.

- NOTES:
- SNAPNRACK SOLAR MOUNT RAIL SHALL BE INSTALLED IN ACCORDANCE WITH SNAPNRACK INSTALLATION MANUAL.
  - "L" FEET SHALL BE SPACED AT A MAXIMUM OF 4' O/C.
  - AN "L" FOOT SHALL BE PLACED WITHIN 25% OF MAXIMUM "L" FOOT SPACING (16" MAX.) AT THE CANTILEVERED END OF EACH SECTION OF RAIL.
  - MAX OVERHANG (CANTILEVER) OF MODULES SHALL NOT EXCEED 12".



SOLAR PANEL FOOTING PLAN R3

Scale: 1/8" = 1'-0"



SOLAR PANEL FOOTING PLAN R4

Scale: 1/8" = 1'-0"



Solar Energy World LLC.  
14880 Sweitzer Lane  
Laurel, MD 20707  
(888) 497-3233

**Disclaimer:**  
This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Building Code  
International Residential Code (IRC) 2021

Electrical Code  
National Electrical Code (NEC) 2020

Wind Speed  
115 MPH

Snow Load  
30 PSF

Modules  
(33) LONGi LR5-54HABB-400M

Inverter(s)  
(33) IQ8+-72-M-US

DC System Size  
13.200 kW

AC System Size  
9.570 kW

Customer Information  
Douglas Moyers  
17827 Spielman Rd  
Fairplay, MD, 21733

Partner/Lender  
GoodLeap

ANJ  
Washington

Utility  
Potomac Edison

Sheet Name  
Solar Panel Footing Plan

Drawn By  
----

Date  
July 9, 2025

Scale  
AS NOTED

Job Number  
MD24753

Sheet  
S-4



v.07/26/2024

## Application for Historic Properties Tax Credit

ORDINANCE 2024-23

### Part I – Evaluation of Significance

HTC Number (HDC office use only): \_\_\_\_\_

**Instructions:** Fill out this form for determination of whether the historic structure is located within a qualifying area. Owners of properties that have the Historic Preservation Zoning Overlay do NOT need to complete this form. For structures under MHT Easement, a copy of the easement document must be included.

#### PROPERTY INFORMATION

Property Name John C. Pangborn, Sr. House

Street Address 817 The Terrace

City Hagerstown

Zip 21742

Check all designations that apply:

- ☐ Historic Structure in the Antietam Overlay 1 or 2
- ☐ Historic Structure contributing to a Historic Rural Village
- ☐ Historic Structure under MHT Easement
- ☒ Historic Structure in an eligible municipality (list below)

Municipality \_\_\_\_\_

#### APPLICANT INFORMATION

Name Amélie Lavenant-Wink

Street Address 817 The Terrace

City Hagerstown

State ---

Zip 21742

Telephone [REDACTED]

Email Address [REDACTED]

#### PROJECT CONTACT (if different from applicant)

Name

Company

Street Address

City

State ---

Zip

Telephone 0000000000

Email Address

## PROPERTY DETAIL INFORMATION

Date(s) of building(s) including source of date(s)

1935, built by Amos J. Klinkhart, (1876-1954) - (Maryland Inventory of Historic Places)

Construction materials (brick, wood frame, etc.)

Local limestone

Date(s) of exterior alteration(s)

N/A

Description of the physical appearance (size, number of stories, style, construction materials)

The John C. Pangborn, Sr. House is a two and a half storey stone colonial revival with to the rear, a covered colonnade leading southward, to a three bay, two storey garage, and to the north, an octagon-shaped frame and screened gazebo.

Statement of significance

Beyond being included in the Oak Hill Historic District of Hagerstown, MD, the house is significant due to its owner, Mr. John C. Pangborn, Sr. LL. D, K.M. who, along with his brother Thomas W. Pangborn, LL. D., D.Sc., K. M. G. C. D. S., K. S. G. Papal Chamberlain of the Sword and Cape and Papal Count, formerly of 935 The Terrace - were successful industrialists as well as dedicated philanthropists, with significant contributions to the war effort of WWII for which they were recognized, but also to the Catholic Church (St. Anne's, Hagerstown, MD), the Washington Country Hospital,, St. Mary's elementary school, Pangborn Park, Hagerstown, MD, as well as further afield at Notre Dame University, Mount St. Mary's

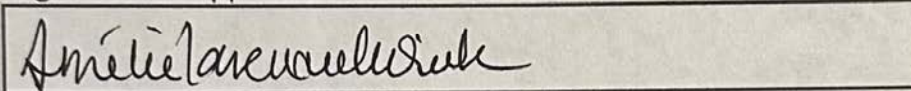


## APPLICATION CHECKLIST

- ☒ **Application Form** – I have filled in all applicable fields. (check Equivalent Documentation below if applicable)
- ☒ **Signature** – I signed and dated the Part 1 application
- ☐ **Ownership** – If I am not the fee-simple owner of the property, I have provided a written statement from the fee-simple owner indicating that he or she is aware of the application and has no objection to the request for review
- ☐ **Significance justification** – I have attached documentation to support the significance of the historic structure
- ☒ **Photographs** – I have attached exterior photographs of all sides of the structure including areas applicable to the application
- ☐ **Equivalent Documentation** – I am attaching an equivalent documentation packet for review.

I attest that I have read and understand the Historic Properties Tax Credit Application and that the information provided in this application is true, completed and accurate to the best of my/our knowledge and belief.

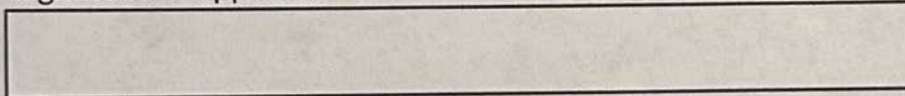
Signature of Applicant



Printed Name of Applicant Amélie Lavenant-Wink

Date 8/20/25

Signature of Applicant



Printed Name of Applicant

Date

## Historic District Commission Use Only

The Historic District Commission has reviewed the Application for Historic Properties Tax Credit – Part I for the above-named property and has determined that the property:

- ☐ Is located in an existing qualified area and meets historic structure criteria
- ☐ Appears to meet the qualifications of a historic structure pending designation through individual Historic District
- ☐ Is not a historic structure because it is not in a qualifying area; does not meet criteria for local designation
- ☐ Is not adequately documented in the application and therefore cannot be reviewed

Date of HDC Review



Front Elevation: 817 The Terrace

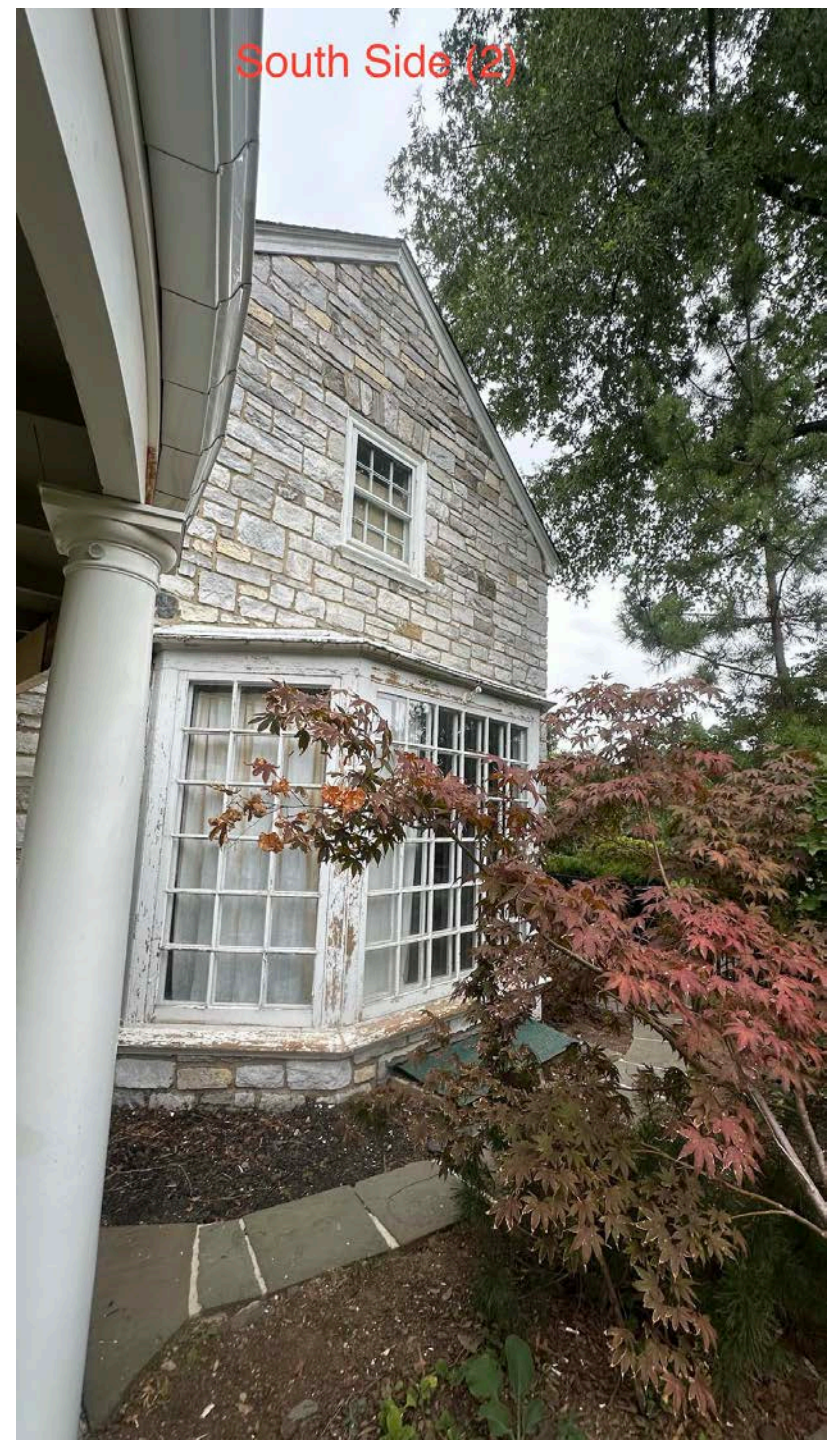
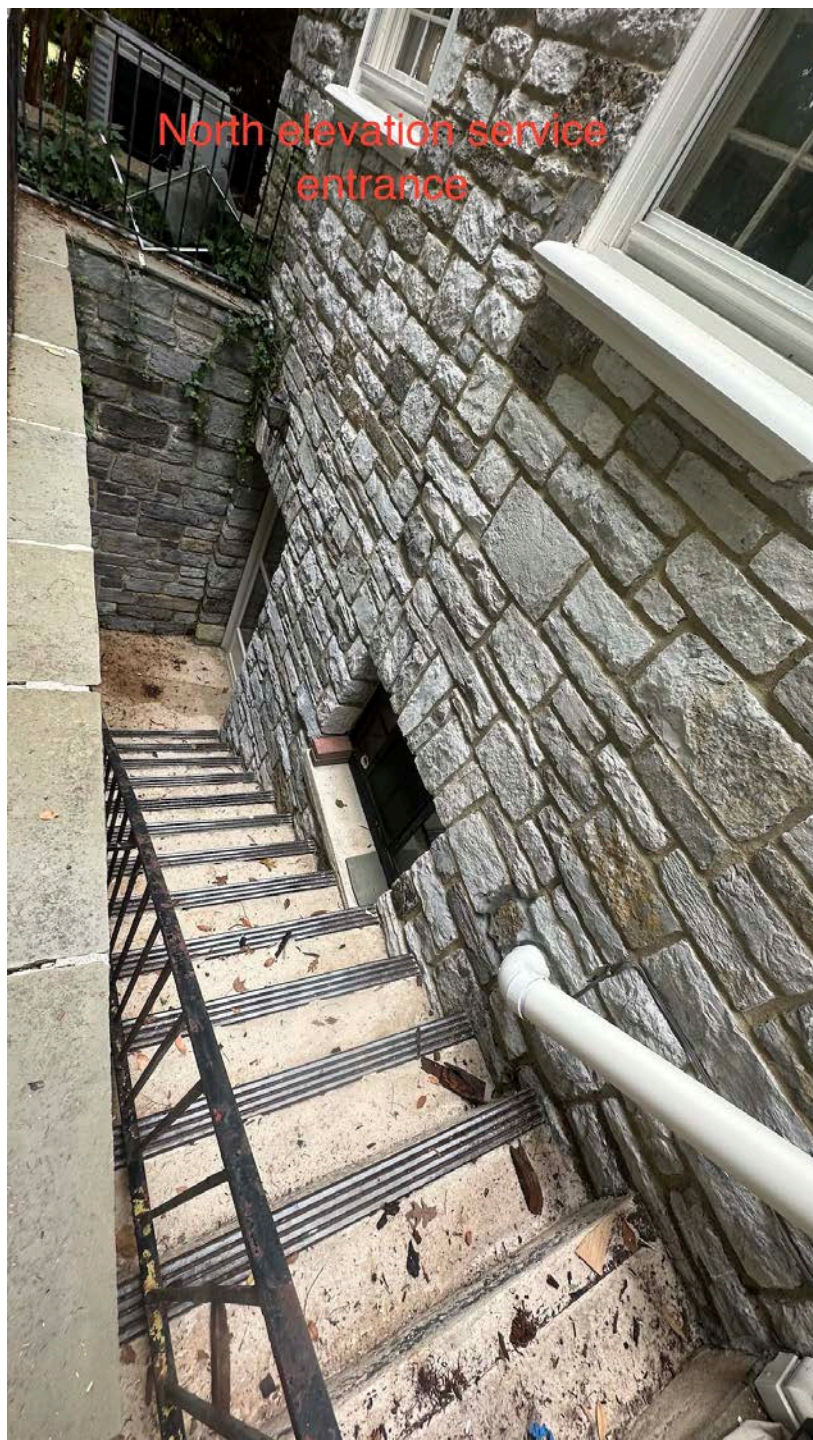




West Elevation: 817 The Terrace









South Side : 817 The Terrace







v. 07/26/2024

**Application for Historic Properties Tax Credit  
ORDINANCE 2024-23**

**Part II – Description of Rehabilitation**

HTC Number (from Part I Application): \_\_\_\_\_

**Instructions:** Fill out this form for determination of whether the proposed work is consistent with Washington County Design Guidelines and Secretary of the Interior Standards for Rehabilitation.

**PROPERTY INFORMATION**

Property Name John C. Pangborn Sr. House

Street Address 817 The Terrace

City Hagerstown

Zip 21742

**APPLICANT INFORMATION**

Name Amélie Lavenant-Wink

Street Address same as above

City

State ---

Zip

Telephone (301) [REDACTED]

Email Address [REDACTED]

**PROJECT CONTACT (if different from applicant)**

Name

Company

Street Address

City

State ---

Zip

Telephone 0000000000

Email Address

**PROPERTY DATA**

Indicate One:

☒ Primary/Secondary Residence Mixed-Use

☐ Residential Commercial

☐ Other \_\_\_\_\_

Estimated Start Date ASAP

Estimated Completion Date

Estimated Qualified Rehabilitation Expenditures \$6k-10k

## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
<b>Describe existing feature and its condition</b>	
<p>The colonnade from the house leading to the garage, follows a 90degree curve. Its flat rubber roof is supported with arched joists, which in turn are held up by 14 rounded columns set on metal bases, and copper topped capitals. At each end, the covered walkway is additionally supported by two flat columns set against the masonry walls of the garage, and two more at the far southwest house entrances. Evidence of electrical work shows that the original wiring was boxed in, while the more recent work done prior to current ownership, shows metal conduit mounted along the interior facia of the inside.</p>	
<b>Describe work and impact on feature</b>	
<p>The proposed work will include</p> <ol style="list-style-type: none"> <li>1)Repairing or replacing any and all rotted wood. Where repairs are possible, weakened areas will be reinforced with hardening agent. In the case of replacements, new pressure treated wood will be sandwiched between layers of lauan, according to the method used along the existing curved areas.</li> <li>2). Column bases and capitals will be repaired or replaced as needed, including copper caps. In addition, metal will also be extended along contact points with the column,</li> </ol>	
<b>Photo Numbers</b>	<b>Drawing Numbers</b>
1 through 7	

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

### DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers



## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

**APPLICATION CHECKLIST**

- ☒ **Application Form** – I have filled in all applicable fields.
- ☒ **Signature** – I signed and dated the Part 2 application
- ☒ **Description of Rehabilitation Work** – I have described ALL proposed work planned for the exterior of my property. I understand that all work must be consistent with the Washington County Design Guidelines and Secretary of the Interior's Standards and be reviewed and approved by the Historic District Commission

☐ **Supplementary Materials** – If applicable to my project, I have attached site plans, demolition plans, architectural plans, HVAC plans, replacement window/door drawings and/or product specifications.

☒ **Photographs** – I have attached photographs to support the description of work.

☐ **Equivalent Documentation** – I am attaching an equivalent documentation packet for review.

I attest that I have read and understand the Historic Properties Tax Credit Application and that the information provided in this application is true, completed and accurate to the best of my/our knowledge and belief.

Signature of Applicant

*Amélie Lavenant-Wink*

Printed Name of Applicant Amélie Lavenant-Wink

Date 8/19/25

Signature of Applicant

Printed Name of Applicant

Date

**Historic District Commission Use Only**

The Historic District Commission has reviewed the Application for Historic Properties Tax Credit – Part II for the above-named property and has determined that the proposed rehabilitation described herein:

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation and Washington County Historic Guidelines. Final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 application is submitted and approved

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ Is not consistent with the Secretary of the Interior's Standards for Rehabilitation, eligibility requirements, and/or does not comply with program requirements and therefore certification is denied.

☐ Is not adequately documented in the application and therefore cannot be reviewed

Date of HDC Review



v. 07/26/2024

**Application for Historic Properties Tax Credit**  
**ORDINANCE 2024-23**  
**Part II – Description of Rehabilitation**

HTC Number (from Part I Application): \_\_\_\_\_

**Instructions:** Fill out this form for determination of whether the proposed work is consistent with Washington County Design Guidelines and Secretary of the Interior Standards for Rehabilitation.

**PROPERTY INFORMATION**

Property Name John C. Pangborn, Sr. House

Street Address 817 The Terrace

City Hagerstown

Zip 21742

**APPLICANT INFORMATION**

Name Amélie Lavenant-Wink

Street Address Same as above

City

State ---

Zip

Telephone (301) [REDACTED]

Email Address [REDACTED]

**PROJECT CONTACT (if different from applicant)**

Name

Company

Street Address

City

State ---

Zip

Telephone 0000000000

Email Address

**PROPERTY DATA**

Indicate One:

☒ Primary/Secondary Residence Mixed-Use

☐ Residential Commercial

☐ Other \_\_\_\_\_

Estimated Start Date ASAP

Estimated Completion Date

Estimated Qualified Rehabilitation Expenditures approx. \$60k



## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
<p><b>Describe existing feature and its condition</b></p> <p>Two storey stone colonial revival house, along with garage: recent washing of the structures has revealed a need for repair of some of the wooden frame, at the corner of windows and doors...also, paint failures, and pin holes in the boxed guttering.</p>	
<p><b>Describe work and impact on feature</b></p> <p>Proposed scope of work would address</p> <p>1)failing wood around windows and doors, and trim, including portico</p> <p>2)replacement where needed of storm windows, doors and screens,</p> <p>3)repairs to boxed guttering (Bondo Fiberglass Resin, or rubber will be used to coat and seal pinholes) following thorough cleaning examination/preparation of existing copper linings and finally,</p> <p>4)scraping, sanding, replacing glazing putty where needed, priming, and two coats of</p>	
<p><b>Photo Numbers</b> 1-10</p>	<p><b>Drawing Numbers</b></p>

Number	Feature
<p><b>Describe existing feature and its condition</b></p>	
<p><b>Describe work and impact on feature</b></p>	
<p><b>Photo Numbers</b></p>	<p><b>Drawing Numbers</b></p>

### DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

# **DETAILED DESCRIPTION OF REHABILITATION WORK**

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers



## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

**APPLICATION CHECKLIST**

- ☒ **Application Form** – I have filled in all applicable fields.
- ☒ **Signature** – I signed and dated the Part 2 application
- ☒ **Description of Rehabilitation Work** – I have described ALL proposed work planned for the exterior of my property. I understand that all work must be consistent with the Washington County Design Guidelines and Secretary of the Interior's Standards and be reviewed and approved by the Historic District Commission

☐ **Supplementary Materials** – If applicable to my project, I have attached site plans, demolition plans, architectural plans, HVAC plans, replacement window/door drawings and/or product specifications.

☒ **Photographs** – I have attached photographs to support the description of work.

☐ **Equivalent Documentation** – I am attaching an equivalent documentation packet for review.

I attest that I have read and understand the Historic Properties Tax Credit Application and that the information provided in this application is true, completed and accurate to the best of my/our knowledge and belief.

Signature of Applicant

*Amélie Lavenant-Wink*

Printed Name of Applicant Amélie Lavenant-Wink

Date 8/19/25

Signature of Applicant

Printed Name of Applicant

Date

**Historic District Commission Use Only**

The Historic District Commission has reviewed the Application for Historic Properties Tax Credit – Part II for the above-named property and has determined that the proposed rehabilitation described herein:

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation and Washington County Historic Guidelines. Final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 application is submitted and approved

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ Is not consistent with the Secretary of the Interior's Standards for Rehabilitation, eligibility requirements, and/or does not comply with program requirements and therefore certification is denied.

☐ Is not adequately documented in the application and therefore cannot be reviewed

Date of HDC Review



v. 07/26/2024

**Application for Historic Properties Tax Credit  
ORDINANCE 2024-23**

**Part II – Description of Rehabilitation**

HTC Number (from Part I Application): \_\_\_\_\_

**Instructions:** Fill out this form for determination of whether the proposed work is consistent with Washington County Design Guidelines and Secretary of the Interior Standards for Rehabilitation.

**PROPERTY INFORMATION**

Property Name John C. Pangborn, Sr.

Street Address 817 The Terrace

City Hagerstown

Zip 21742

**APPLICANT INFORMATION**

Name Amélie Lavenant-Wink

Street Address Same as above

City

State ---

Zip

Telephone (301) [REDACTED]

Email Address [REDACTED]

**PROJECT CONTACT (if different from applicant)**

Name

Company

Street Address

City

State ---

Zip

Telephone 0000000000

Email Address

**PROPERTY DATA**

Indicate One:



Primary/Secondary Residence Mixed-Use



Residential Commercial



Other

Estimated Start Date ASAP

Estimated Completion Date Weather dependent

Estimated Qualified Rehabilitation Expenditures \$85k++



## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
	<p><b>Describe existing feature and its condition</b></p> <p>Double flagstone five-step staircase leading up from the sidewalk to a circular landing, with scrolled wrought iron railing on outer perimeter; each run of which includes a small hinged gate of similar design and material.</p> <p>From the central axis, further 12-step flagstone staircase, flanked on either side by same style wrought iron scrolled railing also inset into the flagstone, leads to a 49"x 55' (approx) flagstone walkways to the house.</p> <p><b>Describe work and impact on feature</b></p> <p>The work will consist of dismantle existing stairs and walkway, pouring a solid concrete substrate, and then replacing existing and or replacement flagstone as necessary on top of concrete, to duplicate existing footprint. Razing will require substantial work, or replacement due to age and corrosion- the whole painter and reinstalled into flagstone steps.</p>
<b>Photo Numbers</b>	<b>Drawing Numbers</b>
1-9	

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

### DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

# **DETAILED DESCRIPTION OF REHABILITATION WORK**

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers



## DETAILED DESCRIPTION OF REHABILITATION WORK

Use this page to describe all exterior work and new construction.

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

Number	Feature
Describe existing feature and its condition	
Describe work and impact on feature	
Photo Numbers	Drawing Numbers

**APPLICATION CHECKLIST**

- ☒ **Application Form** – I have filled in all applicable fields.
- ☒ **Signature** – I signed and dated the Part 2 application
- ☒ **Description of Rehabilitation Work** – I have described ALL proposed work planned for the exterior of my property. I understand that all work must be consistent with the Washington County Design Guidelines and Secretary of the Interior's Standards and be reviewed and approved by the Historic District Commission

☐ **Supplementary Materials** – If applicable to my project, I have attached site plans, demolition plans, architectural plans, HVAC plans, replacement window/door drawings and/or product specifications.

☒ **Photographs** – I have attached photographs to support the description of work.

☐ **Equivalent Documentation** – I am attaching an equivalent documentation packet for review.

I attest that I have read and understand the Historic Properties Tax Credit Application and that the information provided in this application is true, completed and accurate to the best of my/our knowledge and belief.

Signature of Applicant

*Amélie Lavenant-Wink*

Printed Name of Applicant Amélie Lavenant-Wink

Date 8/19/25

Signature of Applicant

Printed Name of Applicant

Date

**Historic District Commission Use Only**

The Historic District Commission has reviewed the Application for Historic Properties Tax Credit – Part II for the above-named property and has determined that the proposed rehabilitation described herein:

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation and Washington County Historic Guidelines. Final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 application is submitted and approved

☐ Is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ Is not consistent with the Secretary of the Interior's Standards for Rehabilitation, eligibility requirements, and/or does not comply with program requirements and therefore certification is denied.

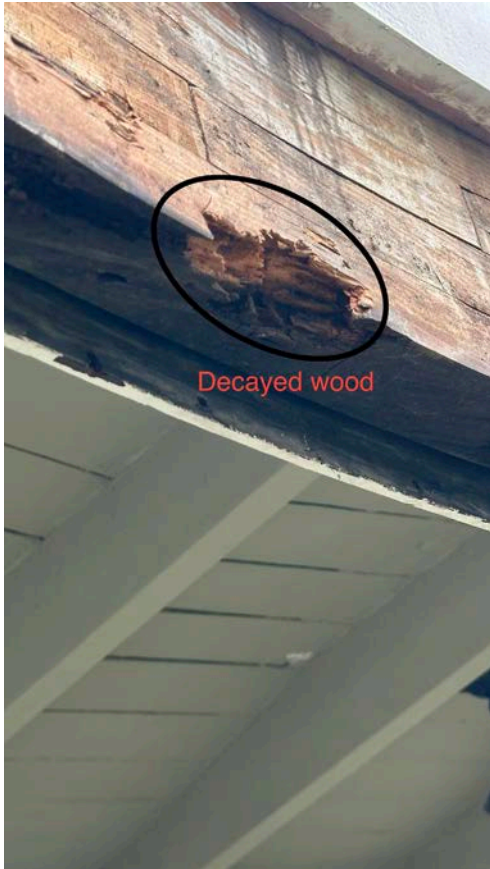
☐ Is not adequately documented in the application and therefore cannot be reviewed

Date of HDC Review

# Phase 1

Colonnade





Wink - 817 The Terrace - closeup of decay (6)



Wink - 817 The Terrace - decayed capital (4)



Front Elevation: 817 The Terrace

Wink - 817 The Terrace - East Elevation (D)



Missing Column

Wink - 817 The Terrace - Missing  
Column (3)





View from the garage

Wink - 817 The Terrace - View from the garage (2)



West Elevation: 817 The Terrace

Wink - 817 The Terrace - West Elevation (A)





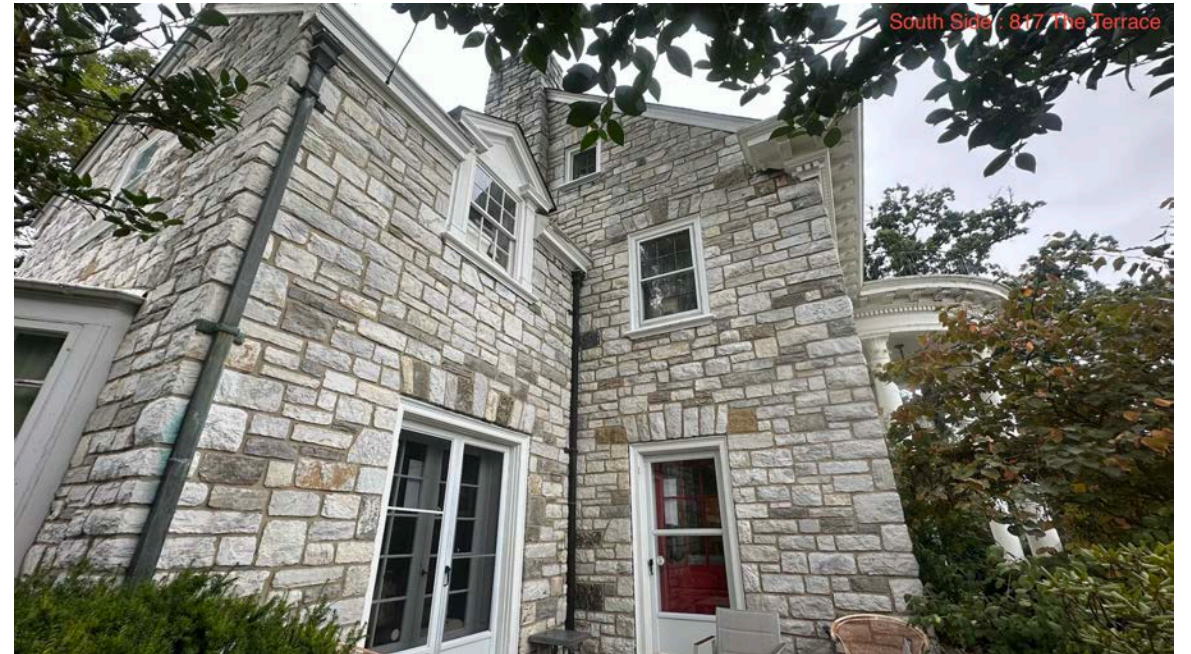
Wink - 817 The Terrace rotted capital (7)



Wink - 817 The Terrace- South side (2)  
(B)



Wink- 817 The Terrace - Decayed capital closeup (5)



Wink- 817 The Terrace - South Side (C)





View from the garden room

WINK81~1



# Phase 2

Exterior wood trim repair, window repair and painting



Wink - 817 The Terrace - failing paint (6)



Wink - 817 The Terrace - failing window trim (7)



Wink - 817 The Terrace - old repair  
back porch (9)



Wink - 817 The Terrace - Southfacing  
bay window (4)





Wink- 817 The Terrace - Northwest  
door (10)



Wink. - 817 The Terrace - Portico 2 (3)



Wink-817 The Terrace - portico (2)

# Phase 3

Walkway, Stair and Railing

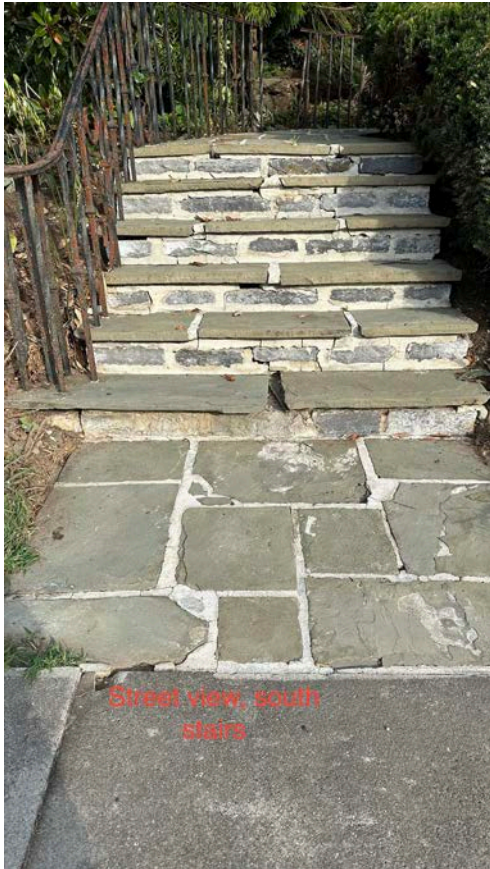




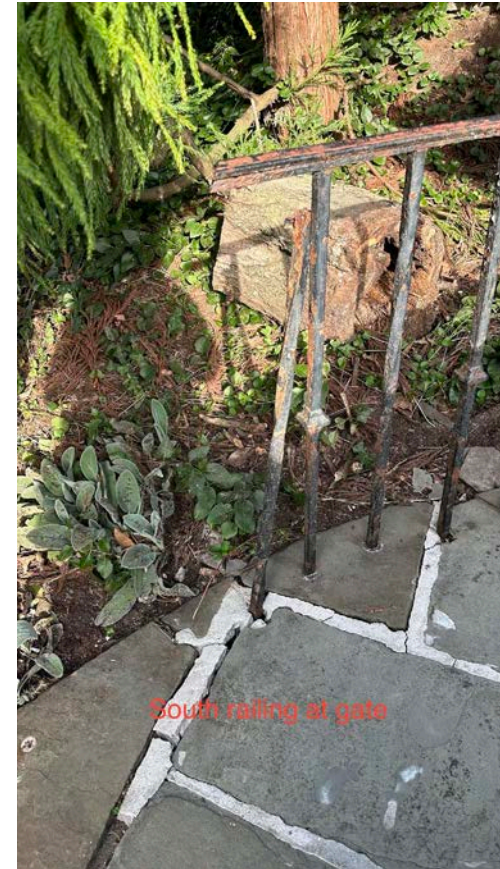
WIDFCD~1



Wink- 817 The Terrace - Broken risers  
(7)



Wink- 817 The Terrace - South lower  
stair (1)

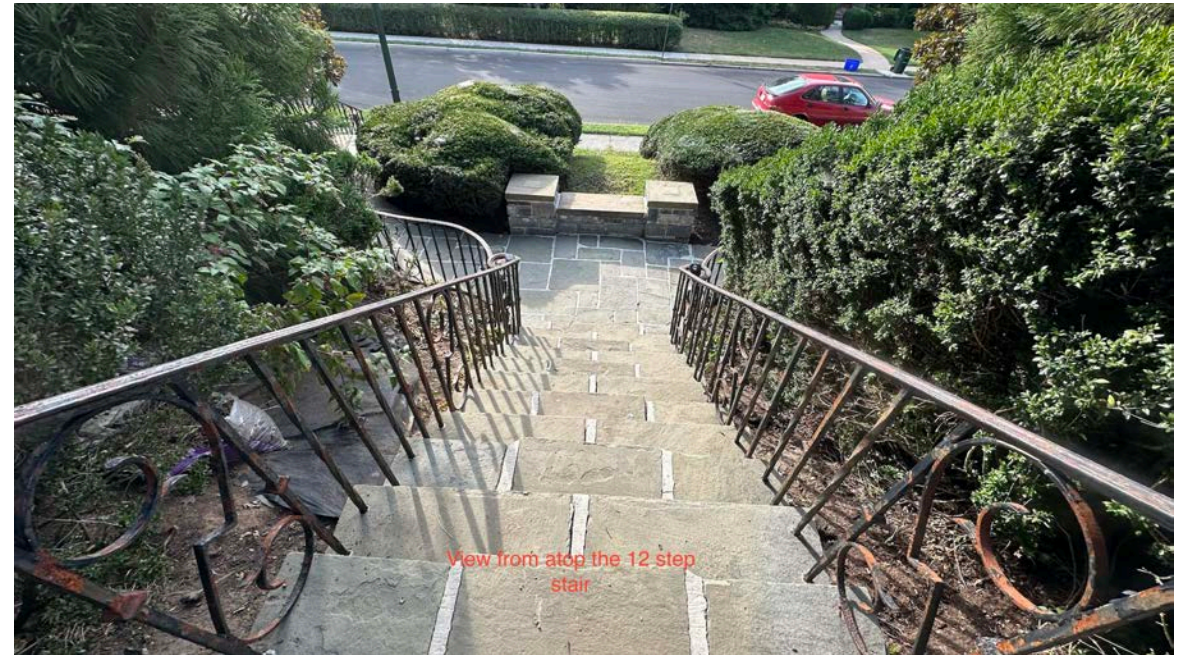


WI5519~1



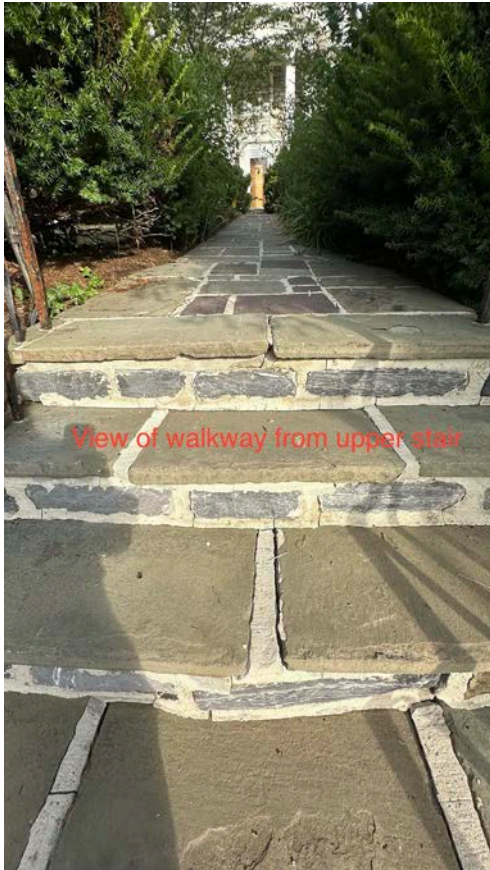


WI3B05~1



WIE969~1





WINK-8~4



Wink- The Terrace - Closeup of north 'volute' (3)



Wink-817 The Terrace - General  
Failing walkway (8)

---

August 19, 2025

Ms. Elizabeth Hughes  
State Historic Preservation Officer  
Maryland Historical Trust  
100 Community Place  
Crownsville, MD 21032-2023

Dear Ms. Hughes:

### Introduction and Project Description

This letter serves to inform the Maryland Historical Trust (MHT) of the finding by the Maryland Department of Transportation State Highway Administration (SHA), on behalf of the Federal Highway Administration (FHWA), that there will be no historic properties affected by the proposed Project No. WA480B21, I-70 Bridge Nos. 2111503 and 2111504 over MD 632, in Washington County.

The proposed work includes replacement of the existing dual bridges with two new three-span continuous steel girder bridges. The new bridges will carry two 12'-0" wide through lanes, a 12'-0" acceleration lane with a 10'-0" outside shoulder, and a 16'-0" median shoulder. The profile at the new bridges will be adjusted to increase the clearance over MD 632. The work also includes removal/replacement of existing traffic barriers, fine milling and resurfacing of eastbound and westbound I-70, full-depth asphalt paving, wedge/leveling, resurfacing of approach roadways, construction of stormwater management facilities, and final placement of signs and pavement markings. All work would take place within existing SHA right-of-way (ROW), except for small areas at the base of the roadway fill slopes to accommodate ditch grading for drainage. A location map is included as **Attachment 1**.

Project plans are included as **Attachment 2**. Note that these plans are draft and are subject to change. These plans constitute an interagency/intra-agency deliberative communication that is not for public disclosure under the Annotated Code of Maryland, General Provisions Article § 4-344 (Maryland Public Information Act).

### Funding

Federal funds are anticipated for this project.



## **Area of Potential Effects**

In determining the Area of Potential Effects (APE) for this project, SHA considered the ways in which the undertaking may cause alterations in the character or use of historic properties, should such properties exist, that could diminish the integrity of those characteristics that would qualify a property for the National Register of Historic Places (NRHP).

Project WA480B21 involves replacement of I-70 Bridge Nos. 2111503 and 2111504 over MD 632 (Downsville Road) largely within existing ROW south of Halfway in Washington County. The project also includes traffic barriers, resurfacing, and stormwater management along I-70 and within the median. The steel girder dual bridge, part of a limited-access interchange with MD 632, is bordered by trees, partially screening it from view. The area north of the bridge consists of mid- to late twentieth-century residential development; the area south of the bridge includes agricultural fields and retains a rural character.

Although wider and longer, the replacement three-span, steel girder, dual bridge will be constructed along the same alignment and at a similar elevation, maintaining the existing visual appearance. Construction is anticipated to occur mostly within existing SHA ROW. The APE is therefore defined as the limits of direct construction disturbance for the proposed bridge replacement, as indicated on the attached map within the USGS quadrangle for Williamsport (**Attachment 3**). The archaeology survey area is defined as the worst-case limits of disturbance (LOD) and is coterminous with the APE.

## **Identification Methods and Results**

Potentially significant architectural and archaeological resources were both researched as part of the historic properties investigation for the proposed structure repairs.

*Architecture:* SHA Consultant Architectural Historian Matt Manning examined the State of Maryland GIS Cultural Resources Database, the Maryland Inventory of Historic Properties (MIHP), and Google Street View to identify architectural historic properties within the APE.

Bridge Nos. 2111503 and 2111504 are part of I-70 and are exempt from Section 106 requirements under the Advisory Council on Historic Preservation's Exemption Regarding Historic Preservation Review Process for Effects to the Interstate Highway System (Federal Register Vol. 70, No. 46). No other architectural resources are present within the APE; multiple MIHP resources identified on Medusa and GIS mapping adjoining the project area are no longer extant (WA-I-691; WA-I-692). SHA has determined the project will not affect architectural historic properties.

*Archaeology:* SHA Senior Archaeologist Richard Ervin assessed the archaeological potential of the survey area based on review of Medusa, the SHA GIS Cultural Resources Database, historic

maps, USGS mapping, aerial imagery, and SCS soil survey data. No field visit was made based on the availability of information about the survey area.

The archaeology survey area is defined as the LOD depicted in preliminary investigation (PI) plans dated September 5, 2024. No sites are recorded in the survey area, which was examined by Fehr et al. (1996) with negative results.

MHT's Medusa database shows site 18WA463, the former location of the nineteenth century Funk Family cemetery within the project area; however, SHA has determined the location is incorrectly mapped in Medusa.

SHA compared the MIHP data to the original report and has found that site 18WA463 is incorrectly plotted to the north of its actual location; **Attachment 4** shows the corrected boundary, which is outside the project survey area, and will not be affected. Additionally, site 18WA463 was determined not eligible for the NRHP, and MHT concurred with this finding on February 23, 1996. SHA will provide MHT with a revised shapefile and requests that the location be updated in Medusa.

Three of the four quadrants of the interchange have been disturbed by interstate road, bridge, and ramp construction; surface grading; stormwater management basins; and recreational facilities (ballfields). LiDAR imagery shows that I-70 is built on fill, while MD 632 and the ramps to I-70 are within cut sections. Invert elevations indicate that the cut is at least seven feet deep; in some areas of the southwest quadrant, the cut exceeds seven feet. Most of the proposed bridge replacement work would take place within existing, disturbed SHA ROW.

Plans for the proposed bridge replacement show very small areas of cut and fill outside the existing ROW to accommodate ditch grading at the base of the I-70 highway berm. There is extensive prior disturbance in these areas and low potential for intact significant archaeological deposits.

Based on the corrected location of 18WA463, results of prior archaeological survey and evaluation, and on previous disturbance to the survey area, no further archaeological investigations are warranted. Orange safety fencing will be placed along the southern edge of the LOD in the southwest quadrant of the intersection between approximately Station 467+10 and Station 468+55. No staging, storage, or construction activity will be allowed within the area to the south of the fence (to be designated on plans as an "environmentally sensitive area"), to avoid impacts to the former cemetery location.

## **Review Request**


Please examine the attached maps and plans. We request your concurrence by September 18, 2025, that there would be no historic properties affected by the I-70 Replacement of Bridge Nos. 2111503 and 2111504 over MD 632 project in Washington County.

Ms. Elizabeth Hughes  
Page Four

By electronic copy, we invite the Washington County Department of Planning and Zoning/ Historic District Commission and the Washington County Historical Trust, Inc., to provide comments and participate in the Section 106 process. Pursuant to the requirements of the implementing regulations found at 36 CFR Part 800, SHA seeks their assistance in identifying historic preservation issues as they relate to this specific project (see 36 CFR §800.2(c)(3) and (5), and §800.3(f) for information regarding the identification and participation of consulting parties, and §800.4, and §800.5 regarding the identification of historic properties and assessment of effects). For additional information regarding the Section 106 regulations, see the Advisory Council on Historic Preservation's website, [www.achp.gov](http://www.achp.gov), or contact SHA or MHT. If no response is received by September 18, 2025, we will assume that these offices decline to participate.

SHA will also assume concurrence by MHT with the finding of No Adverse Effect if no response is received within 30 days following receipt of this letter. Please call Matt Manning at 410-545-8560 (or email at [MManning@mdot.maryland.gov](mailto:MManning@mdot.maryland.gov)) with questions regarding architectural history for this project. Richard Ervin may be reached at 410-545-2878 (or via email at [RErvin@mdot.maryland.gov](mailto:RErvin@mdot.maryland.gov)) with concerns regarding archaeology.

Sincerely,

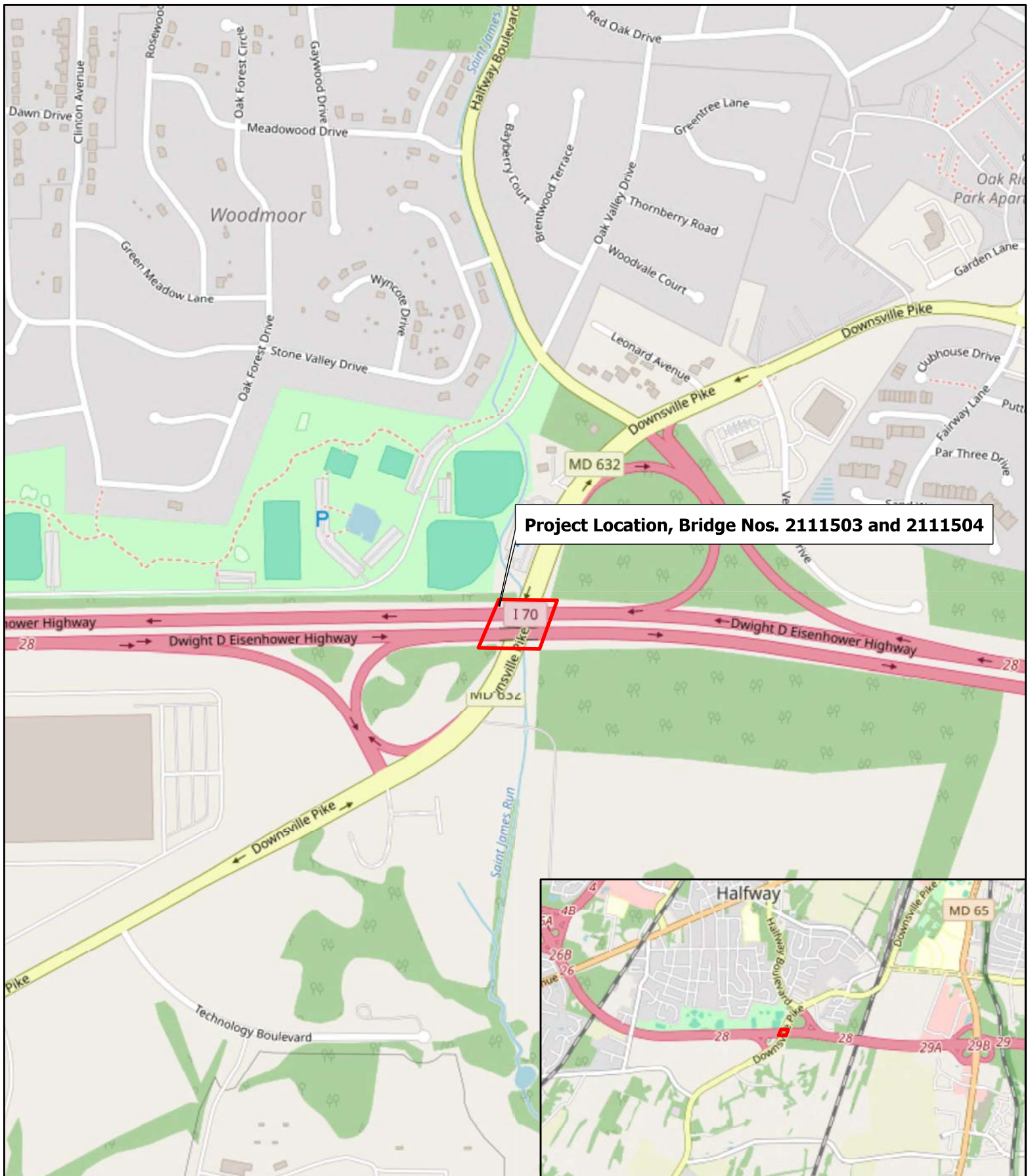
 Digitally signed by  
Steve Archer  
Adobe Acrobat  
version:  
2025.001.20435

Steve Archer  
Assistant Division Chief  
Environmental Planning Division

#### Attachments

cc: Ms. Meghan Jenkins, Staff to Washington County Department of Planning and Zoning/  
Washington County Historic District Commission, w/Attachments 1,2,3  
Ms. Pat Schooley, Washington County Historical Trust, Inc., w/Attachments 1,3  
Ms. Irene Enweze, Environmental Manager, SHA- EPLD  
Mr. Richard Ervin, Archaeologist, SHA-EPLD  
Mr. Matt Manning, Architectural Historian, SHA-EPLD



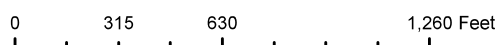


**Project Location, Bridge Nos. 2111503 and 2111504**

### Attachment 1: Project Location Map

I-70 Bridge Nos. 2111503 and 2111504 over MD 632  
 WA480B21  
 MAPEL ID: WA4801  
 08/18/2025

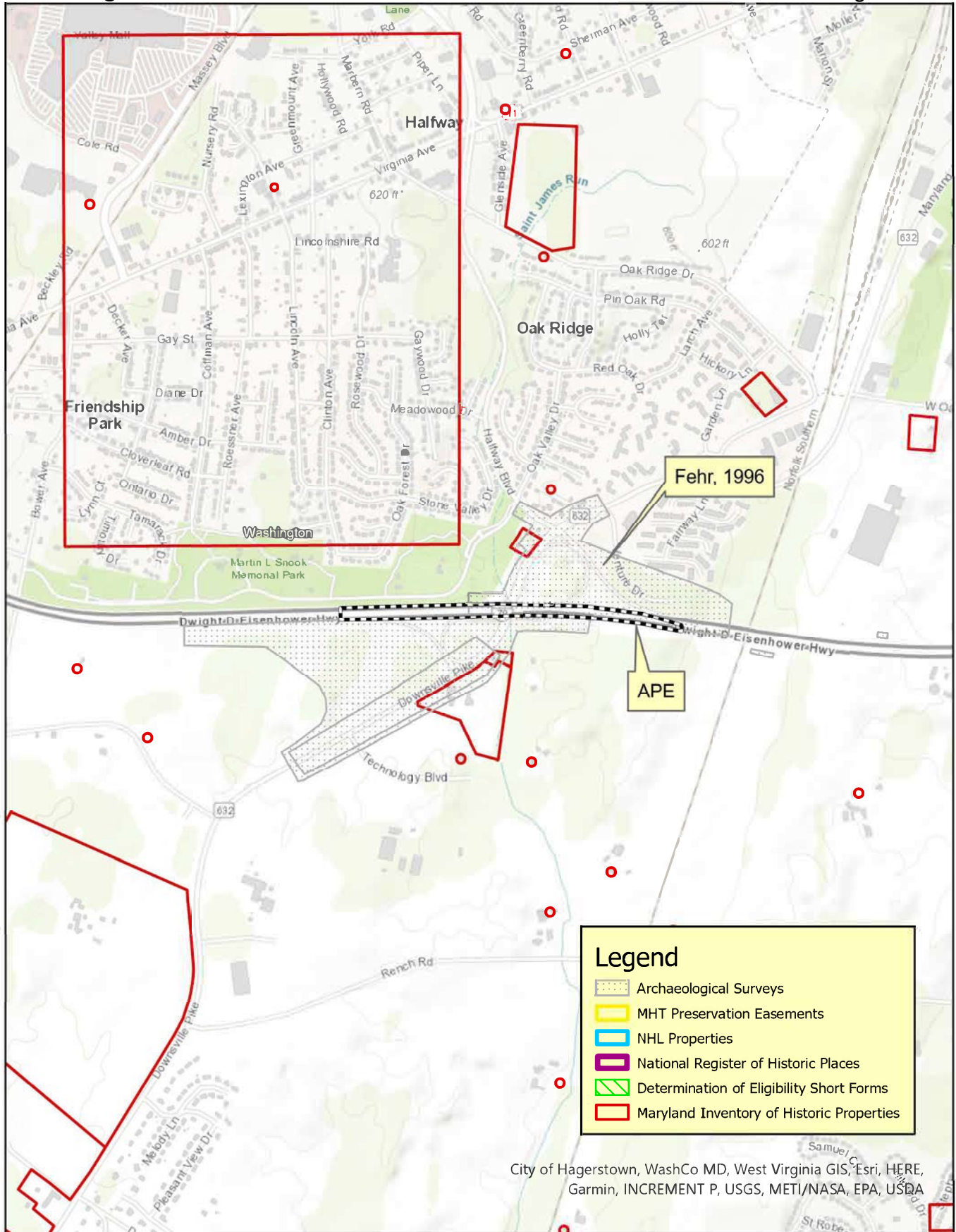
Topo Quad: WILLIAMSPORT  
 County: Washington  
 Scale: 1: 7,000  
 Coordinates: 77.7542816°W 39.6065501°N



Note: Project location is approximate.

**Attachment 3: APE Map**  
**I-70 Bridge Nos. 2111503 and 2111504 over MD 632**

Washington County  
 August 2025



USGS 7.5' Quadrangle - Williamsport  
 1:24,000

0 0.25 0.5 Miles



**Concurrence with the MDOT State Highway Administration's  
Determination(s) of Eligibility and/or Effects**

**Project Number:** WA480B21                      **MHT Log No.** \_\_\_\_\_  
**Project Name:** I-70 Bridge Nos. 2111503 and 2111504 over MD 632  
**County:** Washington  
**Letter Date:** August 19, 2025

The Maryland Historical Trust has reviewed the documentation attached to the referenced letter and concurs with the MDOT State Highway Administration's determinations as follows:

**Effect:**

- ☐ No Properties Affected
- ☐ No Adverse Effect
- ☐ Conditioned upon the following action(s) (see comments below)
- ☐ Adverse Effect

**Comments:**

---

---

---

---

---

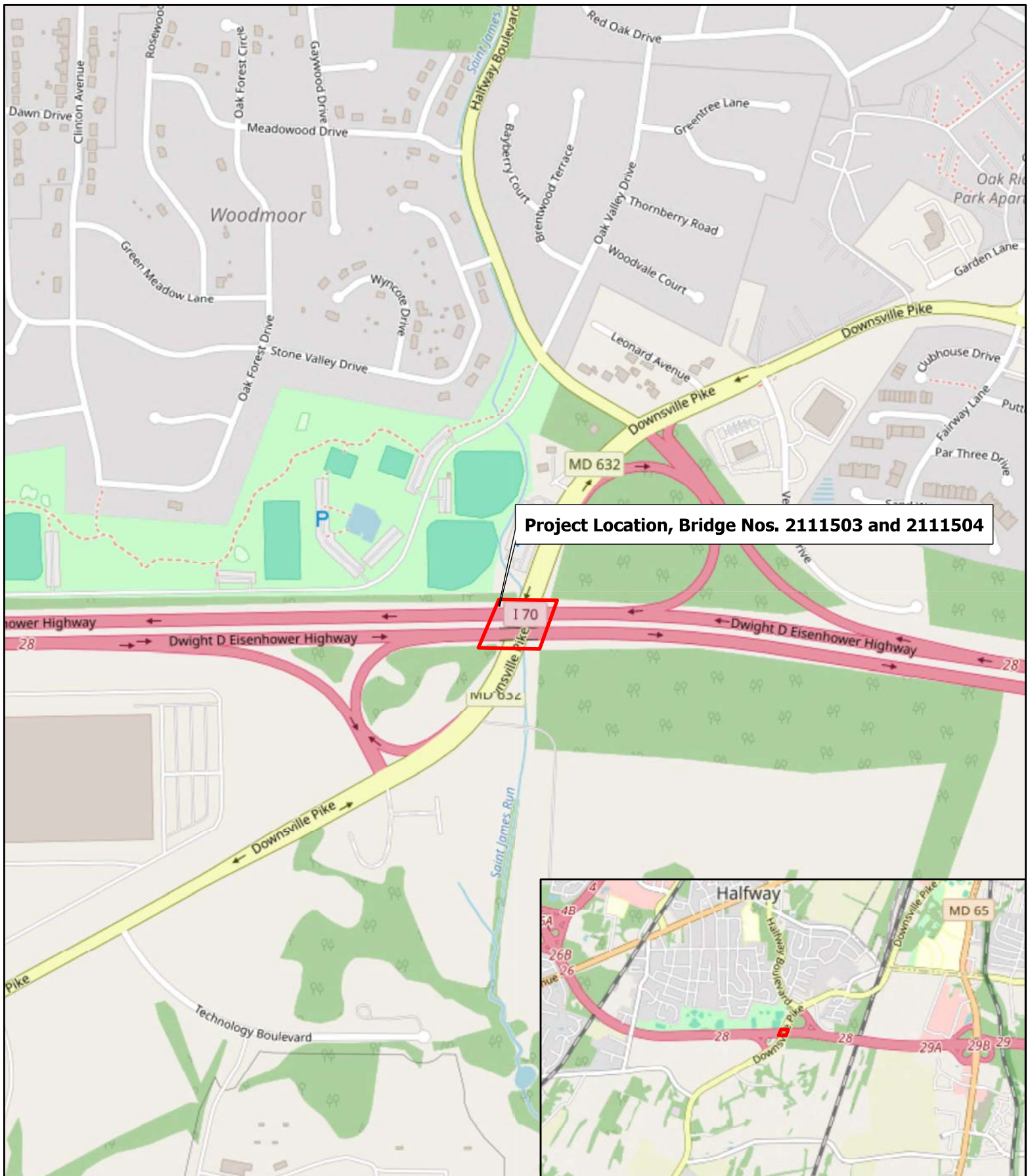
---

By: \_\_\_\_\_ Date \_\_\_\_\_  
MD State Historic Preservation Office/  
Maryland Historical Trust

Return by U.S. Mail or Facsimile to:  
Mr. Steve Archer, Assistant Division Chief, Environmental Planning Division,  
MDOT State Highway Administration, P.O. Box 717, Baltimore, MD 21203-0717  
Telephone: 410-545-8870 and Facsimile: 410-209-5046  
Master No. 16538

cc: Enweze  
Ervin  
Manning





**Project Location, Bridge Nos. 2111503 and 2111504**

### Attachment 1: Project Location Map

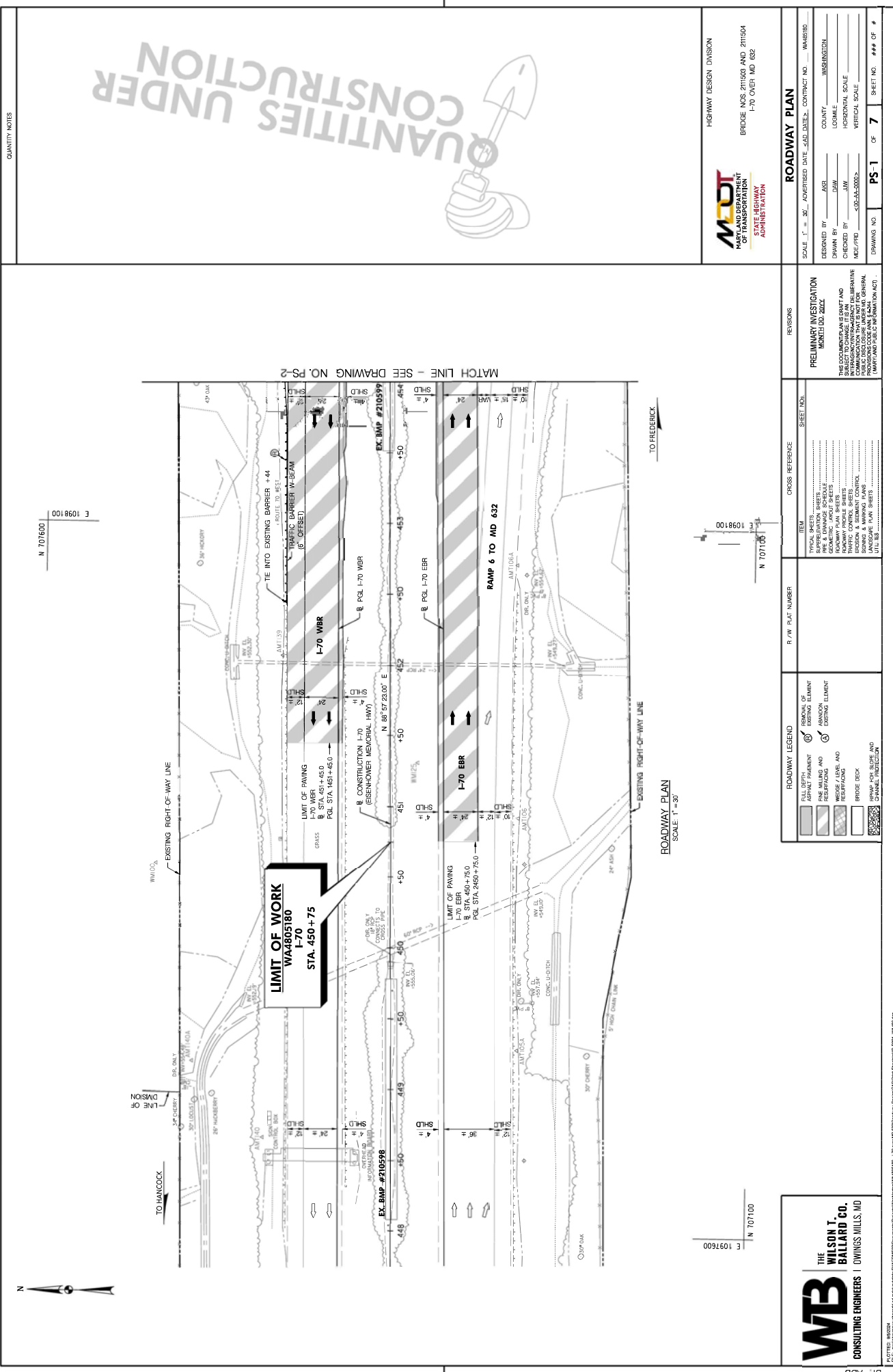
I-70 Bridge Nos. 2111503 and 2111504 over MD 632  
 WA480B21  
 MAPEL ID: WA4801  
 08/18/2025

Topo Quad: WILLIAMSPORT  
 County: Washington  
 Scale: 1: 7,000  
 Coordinates: 77.7542816°W 39.6065501°N



Note: Project location is approximate.

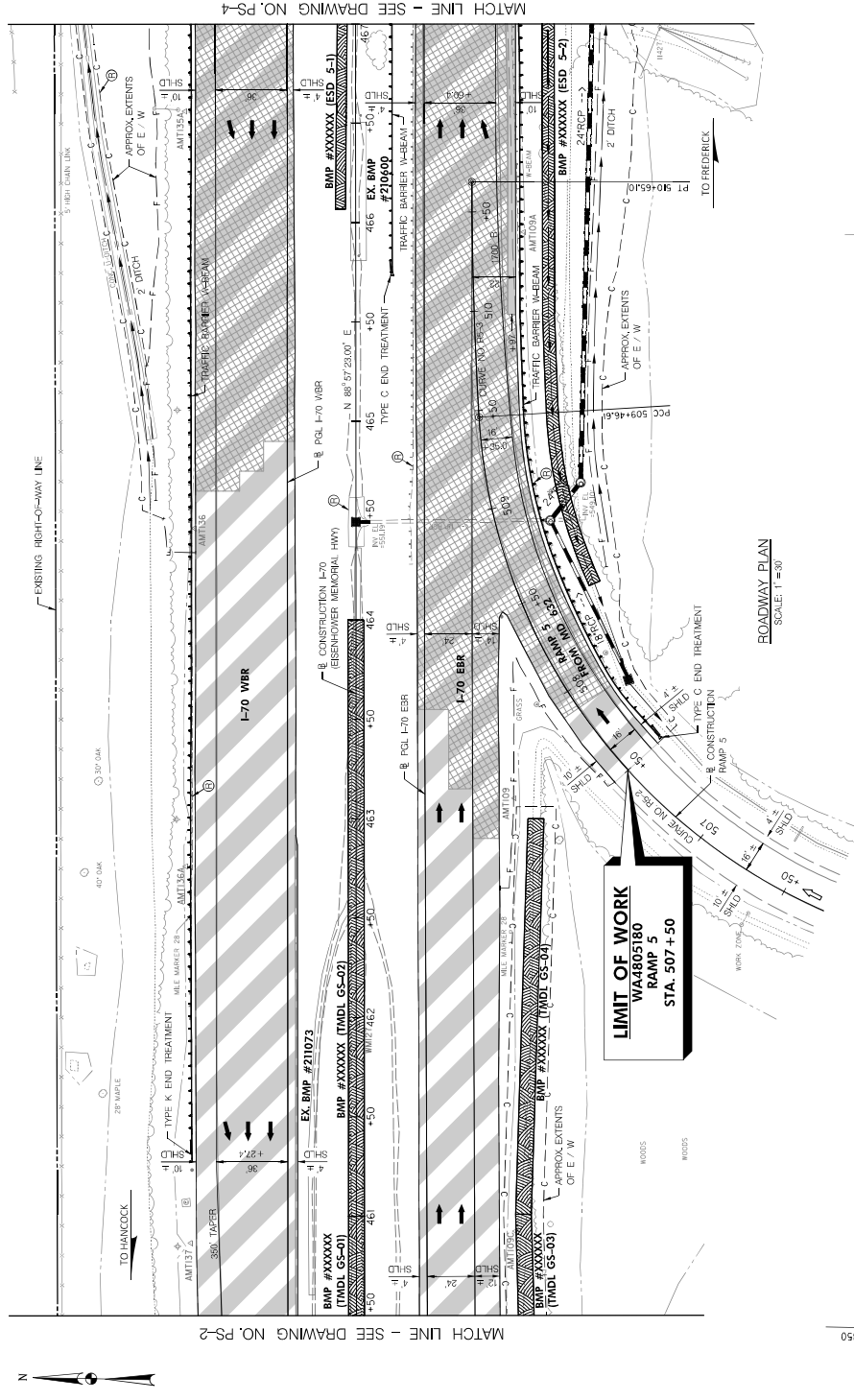




QUANTITY NOTES		HIGHWAY DESIGN DIVISION	
		BRIDGE NOS. 2H1558 AND 2H1554 170 OVER MD 632	
		M.D.T. MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION	
		SCALE: 1" = 30' ADVERTISED DATE: 5-10-2012 CONTRACT NO.: WA48590	
		DESIGNED BY: ASB COUNTY: WASHINGTON	
		DRAWN BY: DAW LOOMIE	
		CHECKED BY: JMW HORIZONTAL SCALE	
		M.E./P.D.: SJD-JAL-2002 VERTICAL SCALE	
		DRAWING NO. PS-1 OF 7 SHEET NO. ### OF #	







QUANTITY NOTES

QUANTITIES UNDER CONSTRUCTION



MDOT  
STATE HIGHWAY  
ADMINISTRATION

DESIGNED BY: AMR  
DRAWN BY: DMW  
CHECKED BY: JMW  
DATE: 05/01/2022

HIGHWAY DESIGN DIVISION  
BRIDGE NO. 211504 AND 211504  
170 OVER MD 632

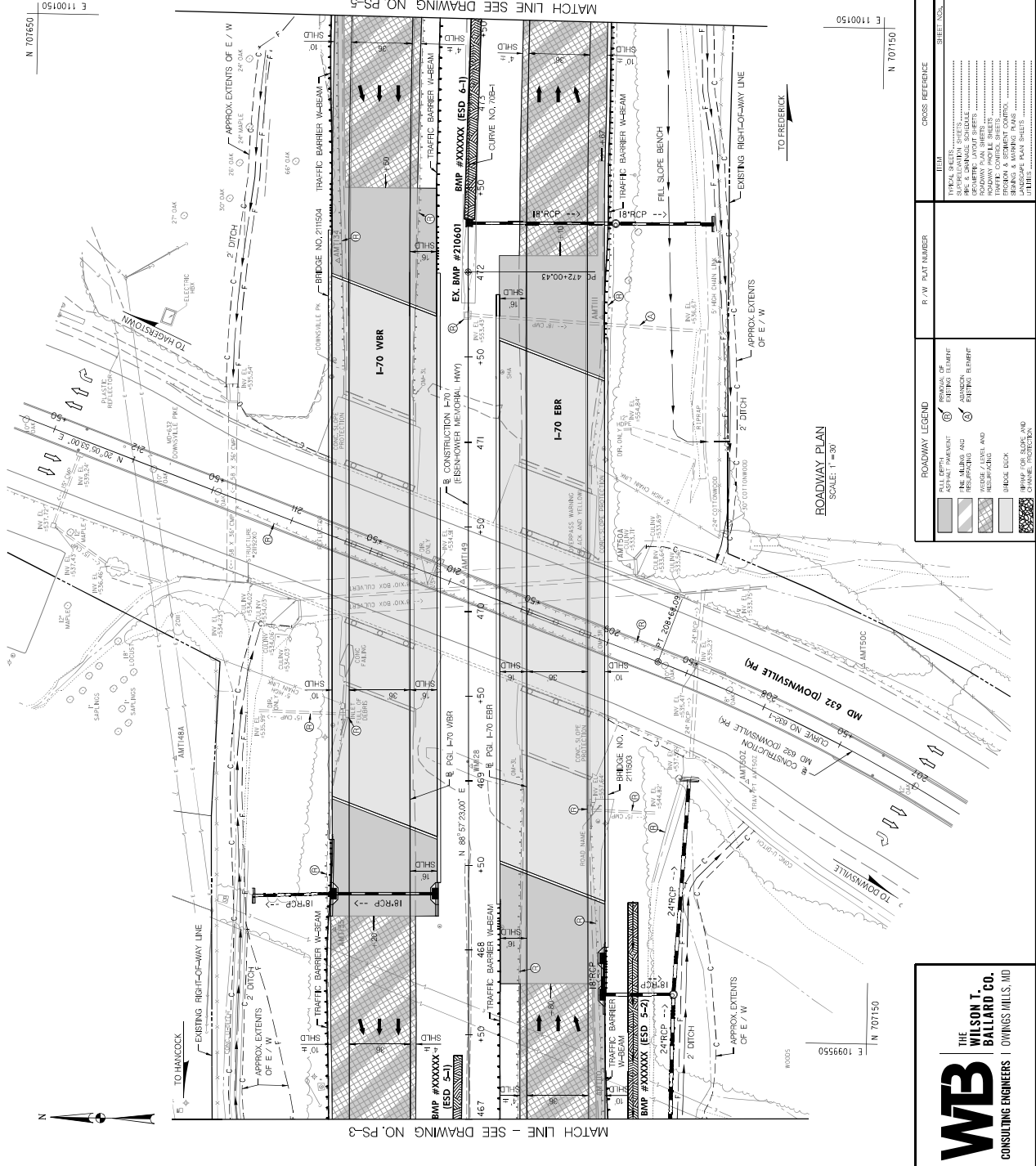
ROADWAY PLAN

SCALE: 1" = 30'	ADVERTISED DATE: 03/01/2022	CONTRACT NO.: M45820
DESIGNED BY: AMR	COUNTY: WASHINGTON	
DRAWN BY: DMW	COUNTY: LORIMER	
CHECKED BY: JMW		
DATE: 05/01/2022		
DRAWING NO.: PS-4	SHEET NO.: 7	SHEET TOTAL: 7

REVISIONS

PRELIMINARY INVESTIGATION  
MAY 01, 2022

THE CONTRACTOR HAS BEEN AND  
SUBJECT TO CHANGE IF AN  
ADDITIONAL INVESTIGATION  
COMMUNICATION THAT IS NOT FOR  
PROCESSED AND A GENERAL  
LANDSCAPE PLAN SHEET  
(MAYLAND PUBLIC WORKS DIVISION)



**WB**  
THE  
WILSON T.  
BALLARD CO.  
CONSULTING ENGINEERS | OWINGS MILLS, MD

BY: ADB -

QUANTITIES UNDER CONSTRUCTION



HIGHWAY DESIGN DIVISION

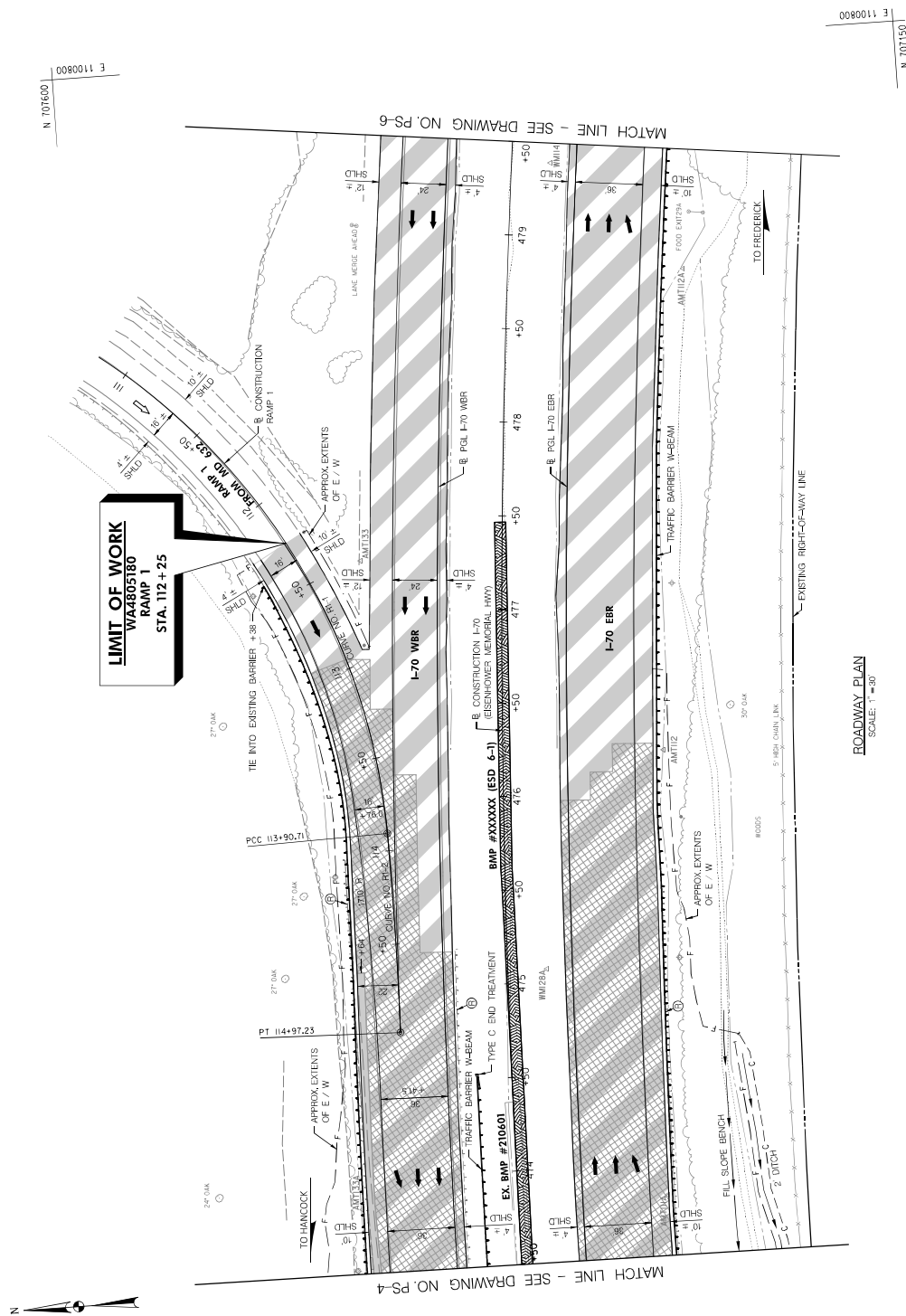


NOS. 2111503 AND 2111504  
-70 OVER MD 632

## ADWAY PLAN







SCALE 1" = 30'	ADVERTISED DATE <DD> DATE>	CONTRACT NO.	W546390
DESIGNED BY	ASR	COUNTY	WASHINGTON
DRAWN BY	DWJ	LOGNAME	
CHECKED BY	JMN		
DATE/PRO	<DD>MM<YY>		
DRAWING NO.	PS-5	OF	7
		SHEET NO.	### OF #

DRAWING NO.	PS-5	OF 7	SHEET NO. ### OF #
-------------	------	------	--------------------



**ROADWAY PLAN**  
SCALE: 1" = 30'

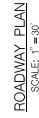
SCALE: 1" = 30'






























ROADWAY LEGEND		P/W PLAT NUMBER	CROSS REFERENCE	SHEET NO.	REVISIONS
	ALL ADJACENT PARCELS				
	FINE ADJUGING AND RE-PAVING		ADJACENT PARCEL		
	WIDEN / LEVEL AND RE-PAVING				
	SHOULDER DUCK				
	SHOULDER DUCK				

**WB** | **THE WILSON T. BALLARD CO.** | **CONSULTING ENGINEERS** | OWINGS MILLS, MD

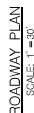
**LOTTED:** 9/5/2024  
E: [enr@brownco.com](mailto:enr@brownco.com), [info@brownco.com](mailto:info@brownco.com), [projects@brownco.com](mailto:projects@brownco.com), [design@brownco.com](mailto:design@brownco.com)





ROADWAY LEGEND	R/W PLAT NUMBER	CROSS REFERENCE	SHEET NOS.	REMARKS
 RIGHT OF WAY PAYMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				
 RIGHT OF WAY EASEMENT				

**WB** | **CONSULTING ENGINEERS** | **THE WILSON T. BALLARD CO.** | OWINGS MILLS, MD



**LIMIT OF WORK**  
WA4805180  
I-70  
STA. 491+95

**WB** | THE WILSON T. BALLARD CO. | CONSULTING ENGINEERS | OWINGS MILLS, MD

NOTED: 9/5/2024  
E:\mwf\Newsroom\the-subj.ctb\nd\st\mst\stsc\S\WAEQM\S22 Documents\Projects\West Point\WJ46105180 - L-70 over MD 85028\cardinal Desktop\CARD\Print Sheets\let-ID-P007 WJ46105180

THIS DOCUMENT/PLAN IS DRAFT AND  
SUBJECT TO CHANGE. IT IS AN  
INTERAGENCY/INTRA-AGENCY DELIBERATIVE  
COMMUNICATION THAT IS NOT FOR  
PUBLIC DISCLOSURE UNDER MD. GENERAL  
REGULATIONS CODE ANN. § 4-344  
(MARYLAND PUBLIC INFORMATION ACT).

CROSS REFERENCE	ITEM	SHEET NO.
	TOTAL SHEETS.....	
	SUPERELEVATION SHEETS.....	
	HP & DRAINAGE SCHEDULE.....	
	HP & DRAINAGE LAYOUTS.....	
	PROPOSED PLAN SHEETS.....	
	ROADWAY PROFILE SHEETS.....	
	TRAFFIC CONTROL SHEETS.....	
	EROSION & SEGMENT CONTROL.....	
	SEALING & MARKING PLANS.....	
	CONCRETE PAVEN SHEETS.....	
	UTILITIES.....	

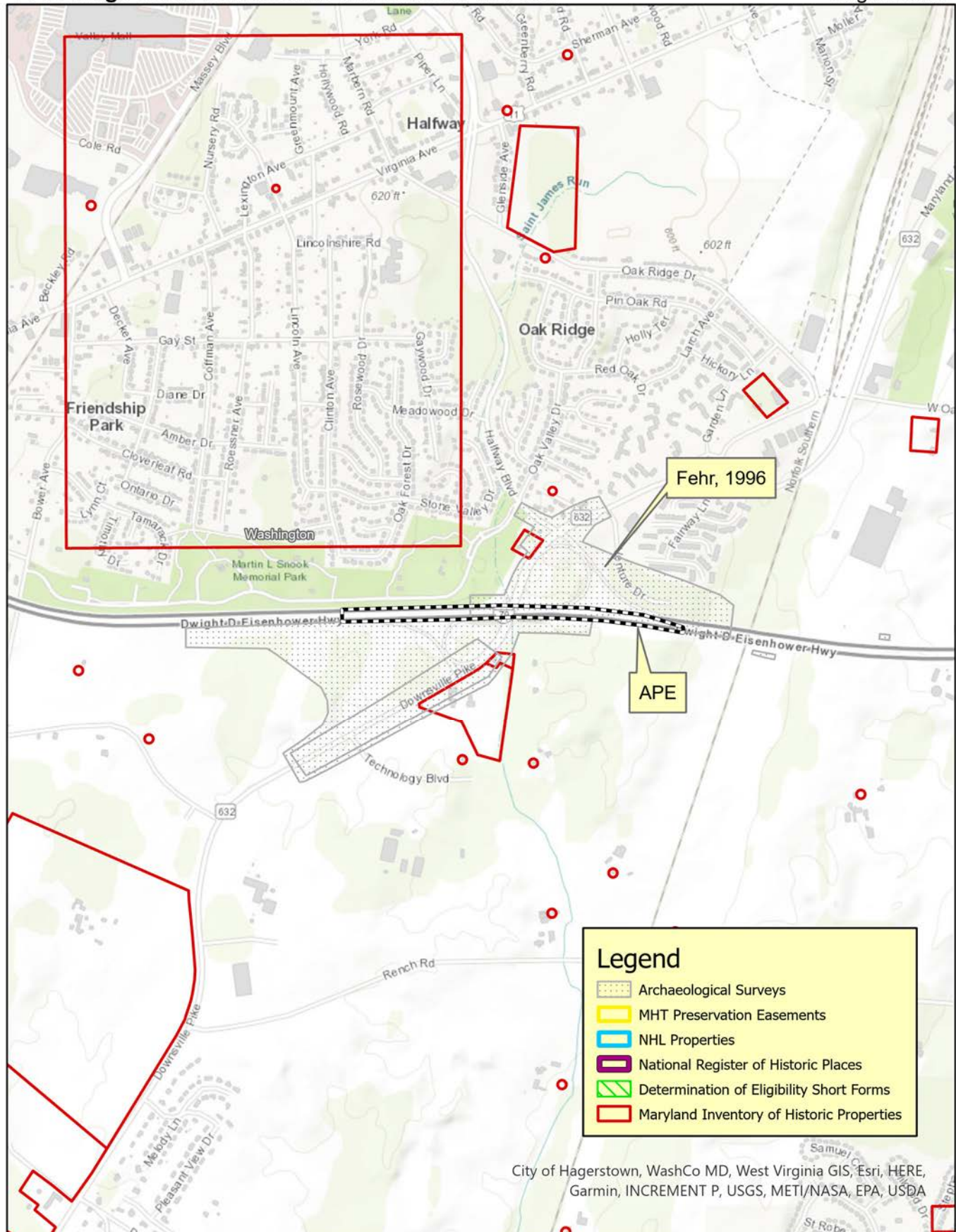
ROADWAY LEGEND	
FULL DEPTH ASPHALT PAVEMENT	REMOVAL OF EXISTING ELEMENT
FINE MILLING AND RESURFACING	ABANDON EXISTING ELEMENT
WEDGE / LEVEL AND RESURFACING	
BRIDGE DECK	
WRAP FOR SLOPE AND CHANNEL PROTECTION	

## ROADWAY PLAN

SCALE 1" = 30'	ADVERTISED DATE <50 DATE>	CONTRACT NO.	W485830
DESIGNED BY	AGE	COUNTRY	WASHINGTON
DRAWN BY	DAW	LOGWALE	
CHECKED BY	JAW		
MADE FROM	<100-1-1-000>		
DRAWING NO.	PS-7	OF 7	SHEET NO. ### OF #

**Attachment 2: APE Map**  
**I-70 Bridge Nos. 2111503 and 2111504 over MD 632**

Washington County  
 August 2025



USGS 7.5' Quadrangle - Williamsport  
 1:24,000

0 0.25 0.5 Miles





Historic Review Activity 07/28/2025 thru 08/22/2025											
Record #	Type	MIHP#	Record Status	Open Date	Date Assigned	Location	Description	Workflow Info			
SP-22-026	Site Plan		In Review	27-Jun-22	05-Apr-24	MASON DIXON RD AT CITICORP DRIVE HAGERSTOWN MD 21742	PROPOSED CONVENIENCE STORE REV 3	Folder Status	Status Date	Task Name	Comments
								Note	01-Aug-25	Historical Review	Mason Dixon mile marker labeled on all pages as requested and there is a general note as requested.
								Approved	01-Aug-25	Historical Review	
								Days in Review:	483		
S-24-029	Preliminary-Final Plat		Revisions Required	16-Sep-24	24-Jul-25	8642 DOWNSVILLE PIKE WILLIAMSPORT, MD 21795	PURPOSE OF THIS PLAN IS TO SUBDIVIDE EXISTING HOUSE FROM THE EXISTING GENERAL STORE.	Folder Status	Status Date	Task Name	Comments
								Approved	28-Jul-25	Historic District Commission	Updated by Script from EPR.
								Days in Review:	4		
2025-02234	Residential Addition-Alteration Permit		Approved	15-May-25	10-Jul-25	LOR 220 EAST MAIN STREET	REPLACE EXISTING FRONT PORCH STEPS AND RAILING, REPLACE 20 SQ. FT. REAR LANDING DECKING AND RAILING, COMPOSITE DECKING AND RAILINGS	Folder Status	Status Date	Task Name	Comments
								Note	28-Jul-25	Antietam Overlay Zone Review	Property is not contributing to the Sharpsburg NR Historic District. While work does impact the structure view from the RoW this is an existing structure and the changes would not typically be reviewed if it was a residential structure. Its technically commercial due to the use but as Staff, the intent of the ordinance aligns more with review of new construction or impacts to the view into the Town which work of this nature would not impact significantly.
								Passed - Info	28-Jul-25	Antietam Overlay Zone Review	Updated by Script from EPR.
								Days in Review:	18		
2025-02914	Non-Residential New Construction Permit	I207	Approved	24-Jun-25	12-Aug-25	SP-24-034 20026 LEHMANS MILL ROAD	155-FOOT MONOPOLE-STYLE WIRELESS TELECOMMUNICATIONS TOWER, (1) 28 SQ. FT. PAD FOR GENERATOR, (1) 33 SQ. FT. CONCRETE PAD FOR THREE EQUIPMENT CABINETS, AND 8-FT. SECURITY FENCE. ZONING CERTIFICATION	Folder Status	Status Date	Task Name	Comments
								Passed - Info	12-Aug-25	Historical Review	
								Days in Review:	0		
SP-25-022	Site Plan		Approved	24-Jun-25	31-Jul-25	6925 SHARPSBURG PIKE SHARPSBURG, MD 21782	PROPOSED SITE PLAN FOR AUTOMOTIVE TIRE SHOP	Folder Status	Status Date	Task Name	Comments
								Approved	01-Aug-25	Historic District Commission	Updated by Script from EPR.
								Days in Review:	1		
2025-03505	Residential Addition-Alteration Permit		Review	24-Jul-25	07-Aug-25	LOR 21313 MOUNT LENA ROAD	1,357 SQ. FT. INTERIOR RENOVATIONS TO INCLUDE FIRST FLOOR: DRYWALL REPAIRS, CONVERT FULL BATHROOM TO HALF BATH, KITCHEN CABINETS, LVP FLOORING ADD RECESSED LIGHTING, SECOND FLOOR: DRYWALL REPAIRS, CONVERT STORAGE ROOM INTO FULL BATHROOM. EXPAND CLOSET IN	Folder Status	Status Date	Task Name	Comments
								Note	08-Aug-25	Historical Review	Mt. Lena is not an area for HDC review at this time. Sending no review contact letter.
								Passed - Info	08-Aug-25	Historical Review	Updated by Script from EPR.
								Days in Review:	1		
2025-03548	Non-Residential New Construction Permit	V163	Approved	28-Jul-25	29-Jul-25	SP-25-024 11802 ERNSTVILLE ROAD, PARCEL 1	40 SQ. FT. CONCRETE PAD FOR NEW GENERATOR AND AUTOMATIC TRANSFER SWITCH AT&T MOBILITY, PARCEL 1	Folder Status	Status Date	Task Name	Comments
								Approved	01-Aug-25	Historical Review	Updated by Script from EPR.
								Days in Review:	2		
2025-03550	Residential New Construction Permit	I332	Approved	28-Jul-25	28-Jul-25	S-24-030 17700 & 17620 BROADFORDING ROAD, LOT 2R	2,400 SQ. FT. ONE STORY ONE CAR DETACHED GARAGE ON CONCRETE SLAB TO REAR OF DWELLING, PRE-ENGINEERED ROOF TRUSSES LANDS OF REID RENTALS LLC, LOT 2R	Folder Status	Status Date	Task Name	Comments
								Note	01-Aug-25	Historical Review	Not in a review area for HDC. Note that this structure has had extensive changes including vinyl siding over the brick and all windows were replaced and one chimney has been removed. Roof has also been replaced and porch removed at some point. Interior changes are unknown. Will still send the no review contact letter but it is not in a state that would likely qualify for any incentive programs.
								Passed - Info	01-Aug-25	Historical Review	Updated by Script from EPR.
								Days in Review:	4		
2025-03697	Residential Addition-Alteration Permit		Review	05-Aug-25	05-Aug-25	LOR 17827 SPIELMAN ROAD	INSTALLATION OF (33) 13.20 KW ROOF MOUNTED SOLAR PANELS ON DWELLING	Folder Status	Status Date	Task Name	Comments
								Note	06-Aug-25	Historical Review	w/in Fairplay and is subject to HDC review. Putting on September 3 agenda.
								Days in Review:	1		
2025-03750	Residential Demolition Permit		Approved	07-Aug-25	07-Aug-25	LOR 143151 BARKDOLL ROAD	DEMOLISH AND HAUL AWAY (1) TWO-STORY WOOD BARN AND (1) ONE-STORY WOOD SHED; TOTAL 500 SQ. FT.	Folder Status	Status Date	Task Name	Comments
								Note	07-Aug-25	Historical Review	Ringgold is a Historic RV with full documentation. The main house for this property was previously demolished after extensive fire damage in 2014. A new structure was built in its place. The documentation from the district does not mention the accessory buildings/dependencies for this site contributing to the district in any way and they have also lost primary structure on the property that provided context. The 2 structures for demo are connected/share a wall and look to be frame construction. This is not the summer kitchen to the rear of the house that is still intact. Not taking to HDC for these reasons.
								Passed - Info	07-Aug-25	Historical Review	Updated by Script from EPR.
								Days in Review:	0		
Activity Count:	10										

Review Activities Summary

Application Type	Application Number	Approved	Note	Passed - Info	Total
Non-Residential New Construction Permit	Total	1	0	1	2
Preliminary-Final Plat	Total	1	0	0	1
Residential Addition-Alteration Permit	Total	0	3	2	3
Residential Demolition Permit	Total	0	1	1	1
Residential New Construction Permit	Total	0	1	1	1
Site Plan	Total	2	1	0	2
Total		4	6	5	10