

DEPARTMENT OF PLANNING & ZONING PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION 100 W Washington Street, Room 2000 September 9, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

PUBLIC REZONING INPUT MEETING

- RZ-24-002 John Halteman * Travis Allen Information/Discussion/Tentative Action
 Proposed map amendment to apply the Rural Business floating zone on 6.82 acres located at 12635 Flying Duck Lane; Current Zoning: A(R) Agricultural Rural; Proposed Zoning: A(R) with RB (Rural Business) floating zone
- 2. RZ-24-003 Text Amendment * Jill Baker and Kyla Shingleton Information/Discussion/Tentative Action
 Proposed text amendment related to address state legalization of adult-use cannabis

NEW BUSINESS

MINUTES

1. August 5, Planning Commission regular meeting * Discussion/Action

ELECTION OF OFFICERS

PRELIMINARY CONSULTATIONS

PC-24-005 – Beryl Wieland Age-Restricted Residential Concept
 - Misty Wagner-Grillo Information/Discussion
 Preliminary consultation for the proposed construction of 52 semi-detached dwelling units on 12.85 acres; Location: 1230 Mt. Aetna Road, east of Robinwood Drive; Zoning: RS (Residential, Suburban)

ORDINANCE MODIFICATION

Sandra McCoy [OM-24-007] * - Misty Wagner-Grillo Discussion/Action
 Application to create s lot without public road frontage; Location: Exline Road; Zoning: EC (Environmental Conservation) with RB (Rural Business) floating zone

SITE PLAN

Saint James School Dormitory [SP-23-015] * - Scott Stotelmyer Discussion/Action
 Proposed construction of a new dormitory; Location: 17652 College Road; Zoning: A(R) – Agricultural, Rural

FOREST CONSERVATION

<u>Saint James School Dormitory</u> [SP-23-015] * - Travis Allen *Discussion/Action*Request to use the payment-in-lieu option to mitigate .13 acres of planting and to remove 4 specimen trees from the site for the construction of a proposed dormitory; Location: 17652 College Road; Zoning: A(R) — Agricultural, Rural

OTHER BUSINESS

- 1. Update of Projects Initialized Jennifer Kinzer * Information/Discussion
- 2. Comp Plan Update Jill Baker Information/Discussion

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

CLOSED SESSION

To discuss the appointment, employment, assignment, promotion, discipline, demotion, compensation, removal, resignation, or performance evaluation of appointees, employees, or officials over whom this public body has jurisdiction; or any other personnel matter that affects one or more specific individuals.

ADJOURNMENT

UPCOMING MEETINGS

1. October 7, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



FOR PLANNING COMMISSION USE ONLY
Rezoning No
Date Filed:

WASHINGTON COUNTY PLANNING COMMISSION ZONING ORDINANCE MAP AMENDMENT APPLICATION

	JOHN HALTEMAN Applicant 12635 Fryns Duendn, Clear Sprin Address	Property Owner □Attorney □Other: Z MD 21722	□Consultant
	FGA Primary Contact		ie Number
,	128 S. POTOMARST, HAGERSTOWN MD Address 21740	ESCHREIRE E-ma	Re FSA -Mc. Con iil Address
	Property Location: 12635 Faying Puere		
	Tax Map: <u>35</u> Grid: <u>8</u> Paro	rel No.: <u>58</u> Ao	creage: <u>50,28</u>
	Current Zoning: A(R) Requ	uested Zoning: RB	OVERLAY
	Reason for the Request: Mistake in origina PLEASE NOTE: A Justification Staten	racter of the neighborh I zoning nent is required for eitl	M FIRSTING ZON
inen.	manning.	Applicar	nt's Signature
William NO	Subscriber and sworn before me this 30 day ON COMMENTATION FOR PLANNING COMM TON COMMENTATION FORM	May MKK S. Eu Notar	_, 20 <u>24</u> . Mulberger y Public
TANK STAN	TON CO. TON CO	AISSION USE ONLY	
	Application Form	-10000000000000000000000000000000000000	6 11 2 12 2

Application Form

Fee Worksheet

Application Fee

wnership Verification

Boundary Plat (Including Metes

& Bounds)

Names and Addresses of all Adjoining

& Confronting Property Owners

Wicinity Map

✓Justification Statement

≥ 30 copies of complete Application Package



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING FEE WORKSHEET

FOR PLANNING COMMISSION USE ONLY
Rezoning No
Date Filed:

PLEASE COMPLETE ONLY THE SECTION THAT APPLIES.

Applicant's Name: John Halteman	Date: July 2, 2024
Zoning Ordinance Map Amendment Number of Acres * 6.82 x \$20.00 [1 acre minimum per acre	n]
Engineering Review Fee	\$ 150.00
Technology Fee	
TOTAL FEES DUE – MAP AMEND	MENT \$ 2,301.40
*Minimum charge of \$20.00 [if less than one acre]	
Text Amendment Choose One:	\$ <u>15.00</u>
Water and Sewer Plan Amendment Technology Fee	
TOTAL FEES DUE – WATER AND SEWER PLAN AMENDIN	/IENT \$ 2,015.00
Forest Conservation Exemption	\$ 25.00
Technology Fee	
TOTAL FEES DUE – FOREST EXEM	PTION \$ 40.00

Please make checks payable to "Washington County Treasurer".

T- .,

Real Property Date arch Result for WA		UNTY	
View Map	View Grou	ndRent Redem	otion
Special Tax Recapto	ure: AGRICULTURA	AL TRANSFER T	ΓΑX
Account Identifier:	District -	23 Account Nu	ımber
		Owne	r Inf
Owner Name:	HALTEM HALTEM	AN JOHN & AN LISA	
Mailing Address:		YING DUCK LN SPRING MD 217	
	L	ocation & S	truc
Premises Address:		YING DUCK LN SPRING 21722-0	
Map: Grid: Parcel: 0035 0008 0058	Neighborhood: 23010027.22	Subdivision: 0000	Sec
Town: None			
Primary Structure B	uilt Above Grad	e Living Area	Finis

View GroundRent Registration

count Number - 003414

Owner Information

Use:

AGRICULTURAL

Principal Residence:YES

Deed Reference: /03800/ 00346

MD 21722-1727

on & Structure Information

Legal Description: LOT 1 50.28 ACRES

12635 & 12640 FLYING DUCK LANE

N/S US RT 40

ivision: Section: Block: Lot: Assessment Year:

1 2024

Plat No: 9728 Plat Ref:

1900

Area Finished Basement Area

Property Land Area County Use

Stories Basement Type

5,393 SF

50.2800 AC

YES

STANDARD UNIT SIDING/ 4

4 full

Exterior Quality Full/Half Bath Garage Last Notice of Major Improvements

Value Information

	Base Value	Value	Phase-in Assess	Phase-in Assessments	
		As of 01/01/2024	As of 07/01/2023	As of 07/01/2024	
Land:	128,100	148,100			
Improvements	411,700	635,500			
Total:	539,800	783,600	539,800	621,067	
Preferential Land:	18,100	18,100			

Transfer Information

Seller: HALTEMAN STANLEY H	Date: 12/29/2009	Price: \$326,700
Type: ARMS LENGTH IMPROVED	Deed1: /03800/ 00346	Deed2:
Seller: HALTEMAN GERALD H &	Date: 06/21/2005	Price: \$702,500
Type: NON-ARMS LENGTH OTHER	Deed1: /02693/ 00127	Deed2:
Seller: HALTEMAN STANLEY H ET AL	Date: 06/21/2005	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /02693/ 00122	Deed2:

Exemption Information

Partial Exempt Assessment	s:Class	07/01/2023	07/01/2024
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00

Special Tax Recapture: AGRICULTURAL TRANSFER TAX

Homestead Application Information

Homestead Application Status: Approved 09/21/2010

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

CHARTENINO VERIOR 111,

3800 0346

CLERK OF CIRCUIT COURT WASHINGTON COUNTY

D E E D

THIS DEED, Made this 29 day of December, 2009, by STANLEY H. HALTEMAN, (hereinafter "Grantor").

WITNESSETH: That for the Monetary Consideration of THREE HUNDRED TWENTY-SIX THOUSAND SEVEN HUNDRED DOLLARS AND ZERO CENTS (\$326,700.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the said Grantor, does hereby grant and convey unto JOHN HALTEMAN and LISA HALTEMAN, his wife, their heirs, personal representatives and assigns, all that lot or parcel of land, together with the improvements thereon situate in Election District No. 23 in Washington County, Maryland, containing 50.28 acres of land, more or less, and being graphically depicted as "Lot 1" on a subdivision plat entitled "Preliminary/Final Plat of Subdivision Parcel A for John Halteman situated along the North side of National Pike (U.S. Route 40) Washington County, Maryland," which subdivision plat is recorded among the plat records of Washington County, Maryland at Plat Folio 9728, et seq.

Being a part of the same parcel of land which by deed dated June 21, 2005, and recorded among the land records of Washington County, Maryland at Liber 2693, folio 127, was granted and conveyed from Gerald H. Halteman to Stanley H. Halteman.

The above described property is hereby conveyed subject to any and all applicable conditions, restrictions, covenants, limitations, rights of way, streets, alleys, reservations, easements, and appurtenances of record.

And the said Grantor does hereby covenant that he will warrant specially the property hereby conveyed, except as to the aforesaid conditions and restrictions, and that he will execute such other and further assurances thereof as may be requisite.

WITNESS my hand and seal the day and year first above written.

WITNESS:

STANKEY H. HALTEMAN

(SEAL)

Proportedio Verisionerina

3800 0347

CLERK OF CIRCUIT COURT WASHINGTON COUNTY

STATE OF MARYLAND, WASHINGTON COUNTY, to-wit:

I HEREBY CERTIFY, that on this Jy day of December, 2009, before me a Notary Public in and for the State and County aforesaid, personally appeared STANLEY H. HALTEMAN personally known to me or proven to be the person whose name is subscribed to the aforegoing Deed and who did acknowledge in due form of law that the aforegoing Deed was his true and valid act, and he further acknowledges that he is a resident of the State of Maryland.

WITNESS my hand and Official Notarial Seal.

My Commission Expires: 3/3/3

Notar

James D. Johnson, Jr. **Notary Public** Washington County Maryland

AFFIDAVIT

The undersigned each state under oath and penalties of perjury that the following is true to the best of their knowledge, information and belief.

- The undersigned are Grantees of real property located and known as Lot 1, North Side National Pike, Clear Spring, Maryland and being part of a parcel with a Tax I.D. No. 23-003414, Washington County, Maryland.
- The undersigned are first-time Maryland home buyers (defined as an individual who has never owned in the State residential real property that has been the individual's principal place of residence) who will occupy the property as her principal residence.

The above oath or affirmation was given under the penalties of perjury before me, a Notary Public in and for the State of Maryland, County, of Washington, this 29 day of December, 2009.

My Comm. Exp

lidames D. Johnson, Jr. Notary Public Washington County Maryland

2

CLERK OF CIRCUIT COURT WASHINGTON COUNTY

AFFIDAVIT CONCERNING RECORDATION TAXES

The undersigned JOHN HALTEMAN and LISA HALTEMAN, hereby declare and affirm under the penalties of perjury as follows. They intend to use Lot 1, North Side of National Pike, Clear Spring, Washington County, Maryland, as their principal residence by actually occupying the residence for at least seven (7) months of a twelve (12) month period. They further state that under the Contract of Sale by which they are buying the within property, they are legally obligated and will pay all recordation taxes, if any, imposed by Title 12, Tax Property Article, Annotated Code of Maryland.

HALTEMAN

James D. Johnson, Ji. Notary Public Washington County Maryland

STATE OF MARYLAND, COUNTY OF WASHINGTON , to wit:

I hereby certify, that on this the \mathcal{L} day of December, 2009 before the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared LISA HALTEMAN and JOHN HALTEMAN, known to me, or satisfactorily proven to be the persons whose names are subscribed to the within instrument, who acknowledged that they executed the Affidavit Concerning Recordation Taxes as their voluntary act and deed.

IN WITNESS WHEREOF, I hereunto set my hand and Official Notarial Seal.

My Comm. Expires: $\frac{3}{23}$

James D. Johnson, Jr. Notary Public Washington County Maryland

STATE OF MARYLAND, WASHINGTON COUNTY, to-wit:

I HEREBY CERTIFY, that on this day of December, 2009, before me a Notary Public in and for the State and County aforesaid, personally appeared John Halteman and Lisa Halteman, personally known to me or proven to be the persons whose names are subscribed to the aforegoing Deed and who did acknowledge in

3800 0349

CLERK OF CIRCUIT COURT WASHINGTON COUNTY

due form of law that the aforegoing affidavit was their true and valid act.

WITNESS my hand and Official Notarial Seal.

My Commission Expires: 3/23/13

James D. Johnson, Jr. Notary Public Public Washington County Maryland

This is to certify that the within instrument was prepared by or under the supervision of the undersigned an attorney duly admitted to practice before the Court of Appeals of Maryland.

MAIL TO:

James D. Johnson, Jr., Esquire Post Office Box 529 Hagerstown, MD 21741-0529

RECORDATION TR TAX STATE TOTAL Rest HAR RCP1 # 74509 DJH SP Blk # 1265 Dec 29, 2009

RECEIVED FOR TRANSFER State Department of Assessments & Taxation for Washington County

TODD L. HERSHEY, TREASURER TAXES PAID elecentre 29 2009

AGRICULTURE TAX \$

CLERK OF CIRCUIT COURT State of Maryland, Land Instantin Intake Sheet ☐ Baltimore City WAShington (County: Information provided is for the use of the Clerk's Office, State Department of
Assessments and Taxation, and County Finance Office Only.)
(Type or Print in Black Ink Only—All Copies Must Be Legible) 1 Type(s) (Check Box if addendum Intake Form is Attached.) of Instruments Deed Mongage Other Deed or Trust Lease 2 Conveyance Type Improved Sale Unimproved Sale Multiple Accounts Not an Arms-Check Box Arms-Length [1] Arms-Length [2] Arms-Length [3] Length Sale [9] Recordation Tax Exemptions (if Applicable) State Transfer Cite or Explain Authority County Transfer 4 Consideration Amount Finance Office Use Only Purchase Price/Consideration 326,700,00 Transfer and Recordation Tax Consideration Consideration Any New Mortgage \$ Transfer Tax Consideration 326,700,00 \$ and Tax Balance of Existing Mortgage \$ S Calculations Less Exemption Amount S Total Transfer Tax \$ Other: S Recordation Tax Consideration \$) per \$500 =\$ Full Cash Value: 5 TOTAL DUE \$ 5 Amount of Fees Doc. 1 Doc. 2 Agent: Recording Charge 20,00 20,00 Fees Surcharge 20.00 20,00 Tax Bill: State Recordation Tax S 65,20 State Transfer Tax S S 816 175 C.B. Credit: County Transfer Tax 5 0100 Other Ag. Tax/Other: Other 6 District Property Tax ID No. (1) Grantor Liber/Folio Map Parcel No. Var. LOG 23 23-6034/4 1127 Description of 58 Subdivision Name Lot (3a) Block (3b) Sect/AR (3c **Property** Plat Ref. SqFt/Acreage (4) SDAT requires 56,Acres submission of all Location/Address of Property Being Conveyed (2) Clene spring mil 21722 applicable information. Pike NAHMAL A maximum of 40 Other Property Identifiers (if applicable) Water Meter Account No. characters will be indexed in accordance Residential or Non-Residential Fee Simple or Ground Rent with the priority cited in Partial Conveyance? Yes □ No Description/Amf. of SqFt/Acreage Transferred: Real Property Article Section 3-104(g)(3)(i). If Partial Conveyance, List Improvements Conveyed: Doc. 1 - Grantor(s) Name(s) Doc. 2 - Grantor(s) Name(s) Halteman Halteman Stanley H. Its/tenan JOHN **Transferred** 454 From Doc. 1 - Owner(s) of Record, if Different from Grantor(s) Doc. 2 - Owner(s) of Record, if Different from Grantor(s) Doc. 1 - Grantee(s) Name(s) Doc. 2 - Grantee(s) Name(s) **Transferred** Stanley It. Halteunga JOHN HALTENMON To HALTEMAN LISA New Owner's (Grantee) Mailing Address NATIONAL PIKE, CIEM Spring MAZ/722

De Indexed (Optional)

Doc 2 - Additional Names to be Indexed (Optional) 9 Other Names Doc. 1 - Additional Names to be Indexed (Optional) to Be Indexed 10 Instrument Submitted By or Contact Person Return to Contact Person Contact/Mail Name I Ames D Johnson Information Trimes D Jos P.O. Sox 579 Johnson Firm ☐ Hold for Pickup Address Hagerstown Md2174 PHone: (301) 733-0122 Return Address Provided 11 IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER No Will the property being conveyed be the grantee's principal residence? Yes No Does transfer include personal property? If yes, identify: Assessment Information Yes No Was property surveyed? If yes, attach copy of survey (if recorded, no copy required). Assessment Use Only - Do Not Write Below This Line Terminal Verification Agricultural Verification Whole Tran. Process Verification Transfer Number Date Received: Deed Reference Assigned Property No.: Year 20 Geo. Map Sub Block Land Zoning Grid Plat Buildings Parce Section Occ. Cd. Town Cd Ex. St Ex. Co REMARKS

> Distribution: White - Clerk's Office Canary - SDAT

01/04/2010. Printed 05/23/2024

available

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MSA

0350.

3800

rds)

WASHINGTON COUNTY CIRCUIT COURT (Land

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Description of lands for the business overlay zone for John Halteman

Beginning at a point at the end of the N 83°50'40" W 374.24 feet line of the remaining lands of Halteman as shown on a Preliminary / Final Plat of Subdivision for Lot 1 and Parcel A for John Halteman and recorded at Plat folio 9728, thence running in a clockwise direction and with bearings and distances to define the limits of the rural business overlay zone, N 82°29'51" W 16.34 feet to a point, thence N 20°53'49" W 143.26 feet to a point, thence N 21°56'46" E 151.17 feet to a point, thence N 61'03"48" W 131.24 feet to a point, thence S 21°29'48" W 101.69 feet to a point, thence N 37°0122" W 249.21 feet to a point, thence N 31°32'10" E 357.75 feet to a point, thence N 24°30'00" E 126.51 feet to a point, thence N 18°51'20" E 155.88 feet to a point, thence N 45°12'09" W 49.43 feet to a point, thence N 23°49'15" E 42.54 feet to a point, thence S 71°25'40" E 347.07 feet to a point, thence S 23°58'01" W 506.53 feet to a point, thence S 64°47'41" E 133.01 feet to a point, thence S 21°28'41" W 491.76 feet to a point, thence N 84°07'12" W 22.74 feet to the place of beginning;

Covering 6.82 acres of land more or less;

Said business overlay zoning laying within the boundary of the lands conveyed by Stanley H. Halteman to John Halteman and Lisa Halteman by deed dated December 29, 2009 and recorded at Deed Book 3800, page 346 among the Land Records of Washington County, Maryland.

FMF/vab.5687 business overlay desc

July 8, 2024

Morros & Zuna. Des min 1

Zoning Ordinance Map Amendment

12635 Flying Duck Lane, Clear Spring MD 21722

Applicant: John & Lisa Halteman

Adjoining Property Owners

Tax Account Number: 23-009838

Tax Map/Parcel:

35/60

Property Address: 12614 Flying Duck Lane

Owner(s):

Cropland LLC

Mailing Address:

12640 Flying Duck Lane, Clear Spring, MD 21722

Tax Account Number: 23-017482

Tax Map/Parcel:

Mailing Address:

35/438

Property Address: 14234 National Pike

Owner(s):

St Pauls United Church of Christ c/o Mike Hull 13254 Gruber Road, Clear Spring, MD 21722

Tax Account Number: 23-010348

Tax Map/Parcel:

35/359

Property Address: 12620 Flying Duck Lane

Robert & Pamela Starliper

Mailing Address:

Owner(s):

12620 Flying Duck Lane, Clear Spring, MD 21722

Tax Account Number: 23-017512

Tax Map/Parcel:

35/59

Property Address: National Pike

Owner(s):

St Pauls Cemetery Co of Washington County

Mailing Address:

PO Box 582, Clear Spring, MD 21722

Tax Account Number: 23-004038

Tax Map/Parcel:

35/410

Property Address: 12715 St Paul Road

Owner(s):

Vincent John Jr & Tami Gesiskie

Mailing Address:

6 Glenhurst Ct, North Potomac, MD 20878

Tax Account Number: 23-003406

Tax Map/Parcel:

35/57

Property Address: National Pike

Owner(s):

Cropland LLC

Mailing Address:

12640 Flying Duck Lane, Clear Spring, MD 21722

Tax Account Number: 23-0022680

Tax Map/Parcel: 35/550

Property Address: National Pike Owner(s): Cropland LLC

Mailing Address: 12640 Flying Duck Lane, Clear Spring, MD 21722

Tax Account Number: 23-009900

Tax Map/Parcel: 35/61

Property Address: Flying Duck lane
Owner(s): Cropland LLC

Mailing Address: 12640 Flying Duck Lane, Clear Spring, MD 21722

Tax Account Number: 23-002124

Tax Map/Parcel: 35/229

Property Address: 14245 National Pike
Owner(s): Clear Spring Farm LLC

Mailing Address: 278 Hawthorn Ave, Glencoe, IL 60022-1707

Tax Account Number:

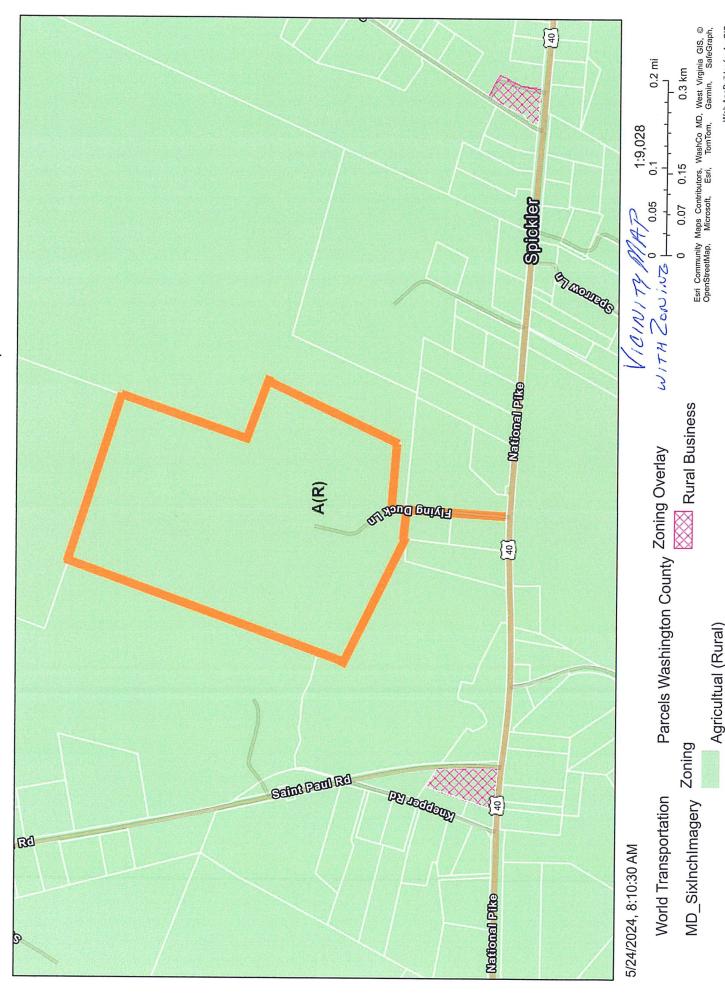
Tax Map/Parcel: Property Address:

Owner(s):

Mailing Address:

n ... Donas

Frederick Seibert & Associates, Inc.



Web AppBuilder for ArcGIS

Maxar | MD IMAP, DOIT | U.S. Geolocial Survey | Hagerstown MD | Washington County Planning Department | Source: USDA NRCS, Earl | Washington County | MD iMAP, USDA | Earl, HERE, iPC | Earl Community Maps Contributors, WashCo MD, West Virginia GIS. ©



July 2, 2024

Board of County Commissioners Planning Commission Washington County, Maryland 100 West Washington St Hagerstown, MD 21740

RE: Zoning Map Amendment Application for 12635 Flying Duck Lane

Request for Rural Business (RB) Overlay Zone

Honorable County Commissioners and Planning Commission:

On behalf of our client John & Lisa Halteman (Applicant), owners of the 50.28 acres located on the north side of US 40 west of Hagerstown, 12635 Flying Duck Lane, Clear Spring, 21722, Tax Map 35, Grid 8, Parcel 58, Tax ID# 23-003414, we offer the following justification statement in support of our request for application of the Rural Business District (RB) Overlay/Floating Zone to the property. The area associated with this rezoning request is 6.82 acres and is more specifically designated on the Preliminary Site Plan Rezoning Exhibit.

The property is currently zoned A(R) Agriculture (Rural) and is improved with two (2) dwellings, numerous Ag buildings and outbuildings with the farming complex existing since the late 1800's. Like many farms in Washington County, various Ag related uses evolved on the property over the years. While in the Halteman family, the primary use has been agriculture on the subject property and surrounding properties owned by the Applicant. Other businesses such as a wood planer shop, agricultural equipment rental, outdoor woodstove sales and produce sales have developed. Most recently sales of cemetery monuments has become a potential revenue source. The Applicant operates all of these businesses with three (3) employees who are not family members. Not all businesses are extremely busy throughout the year which allows the employees to work different facets of each business as needed. With the exception of produce sales all existing businesses are wholesale or customer by appointment. The produce store has a paved parking lot with handicapped accessible parking spaces. The Applicant would like to convert a portion of the produce store into a sales/display area for cemetery monuments. This business would serve the needs of the community and adjacent St Paul's Cemetery. The Applicant would continue operate these businesses with no additional employees in the foreseeable future.

Granting the request would allow the Applicant to continue to provide the goods and services to the agricultural community that they have over the years plus sales of cemetery monuments. There would be no adverse impacts on surrounding properties related to noise, traffic, dust or fumes that would not otherwise be typical in a rural/agricultural setting. As mentioned in the Purpose statement of the RB District, the existing uses would "support the agricultural industry and farming community along with serving the needs of the rural residential population".

Below in bold type are the relevant provisions from the Washington County Zoning Ordinance with responses following each provision:

ARTICLE 5E- "RB" RURAL BUSINESS DISTRICT

Section 5E.4 Criteria

- (b) The RB Floating Zone District may be newly established at a particular location if the following criteria are met.
 - 1. The proposed RB District is not within any designated growth area identified in the Washington County Comprehensive Plan.

RESPONSE: The property is NOT within any designated growth area identified in the Washington County Comprehensive Plan.

2. The proposed RB District has safe and useable road access on a road that meets the standards under the "Policy for Determining Adequacy of Existing Roads." In addition a traffic study may be required where the proposed business, activity or facility generates 25 or more peak hour trips or where 40% of the estimated vehicle trips are anticipated to be commercial truck traffic;

RESPONSE: The property has a safe and useable access onto US Route 40 otherwise known as National Pike. The County Comp plan designates this road as a Minor Arterial and is maintained by the MD SHA. Several of the businesses currently on the property use the existing access and combined peak hour trips will not exceed the reference policy document.

3. Onsite issues related to sewerage disposal, water supply, stormwater management, floodplains, etc. can be adequately addressed; and

RESPONSE: The site is currently improved with several uses such as agriculture and associated buildings, rental of agricultural equipment, a wood planer shop and other small retail sales offices that are by appointment only. Some of the agricultural buildings have been there for over 100 years. More recent construction of pole buildings etc have gone through the permitting process, including Stormwater Management review. The uses are seasonal and there are only 3 employees for all of the operations. With the exception of the produce stand, customers are by appointment only. With limited use, the existing well and septic systems are in good condition. Floodplain does exist on the property however it is not near the uses.

4. The location of an RB District would not be incompatible with existing land uses, cultural or historic resources, or agricultural preservation efforts in the vicinity of the proposed district.

RESPONSE: As stated previously, several of the uses have been on the site for decades and have served the community well. Several of the uses serve the agricultural community as well as the general public. The proposed use of Monument Sales will complement the adjacent St. Paul's Cemetery. The uses are compatible with the surrounding uses and complement one another.

Section 27.3 Factors to be considered in a request for a map amendment.

In order for an amendment, modification, repeal, or reclassification of such district as herein provided, the local legislative body shall make findings of fact in each specific case including, but not limited to, the following matters:

(a) The report and recommendation of the Planning Commission.

RESPONSE: Acknowledged

(b) Population change in the area of the proposed change.

RESPONSE: According to census.gov, April 1, 2010 population in Washington County was 147,430 and estimate for July 1, 2022 was 155,590. An increase of 8,160 persons or 5.5%

(c) Availability of public facilities in the area.

RESPONSE: The property is served by US route 40 (National Pike) a MD SHA maintained road with private water & septic systems.

(d) Present and future transportation patterns in the area.

RESPONSE: As the National Pike is considered a Minor Arterial in the County Comp plan, in 2022 the MDSHA published a 3,360 ADT count just east of Clear Spring. The road has been designed and improved to accommodate more than 10,000 ADT. National Pike is used by local residents traveling east and west from Hancock to points east of Hagerstown.

(e) Compatibility with existing and proposed development of the area including indication of neighboring sites identified by the Washington County Historic Sites Survey and subsequent revisions or updates.

RESPONSE: The current uses are synonymous with agricultural and agricultural related activities. The property does contain historic resource WA-V-115 known as the Halteman Farm found on the Maryland Inventory of Historic Properties.

(f) The relationship of the proposed change to the Adopted Plan for the County, Development Analysis Plan Map and Policies.

RESPONSE: The uses would be consistent with the Adopted Plan maps and policies, as the RB Zoning District is specifically meant for rural areas of the County.

(g) Whether there was a substantial change in the character of the neighborhood where the property is located.

RESPONSE: Not Applicable, as the RB Zoning District is a floating overlay zone.

(h) Whether there was a mistake in the existing zoning classification.

RESPONSE: Not Applicable, as the RB Zoning District is a floating overlay zone.

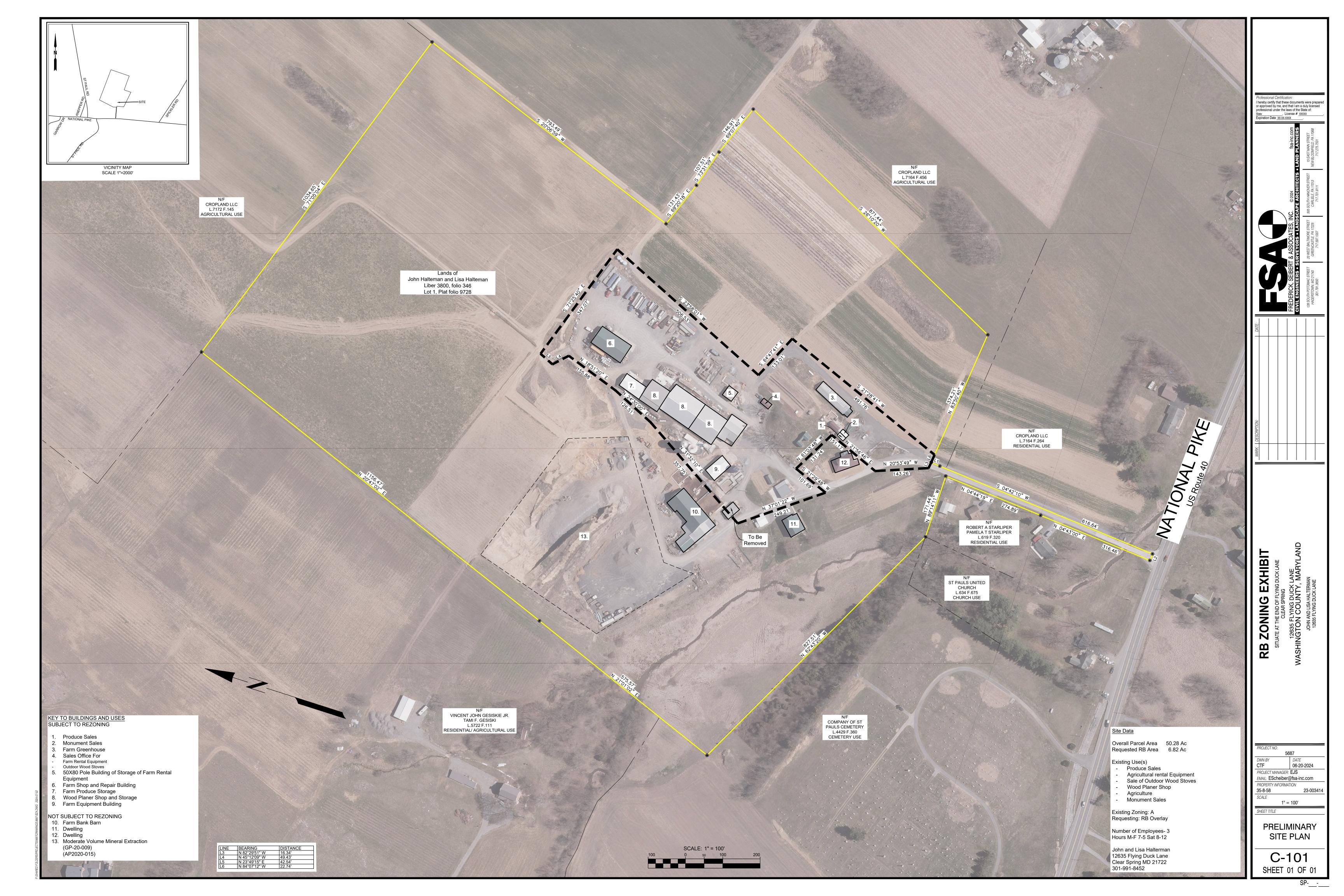
For the aforementioned reasons, and supported by the accompanying application materials, the Applicant submits that the requested zoning meets the requirements and we request your approval of the application. The Applicant will provide additional information, submissions and testimony as may be required.

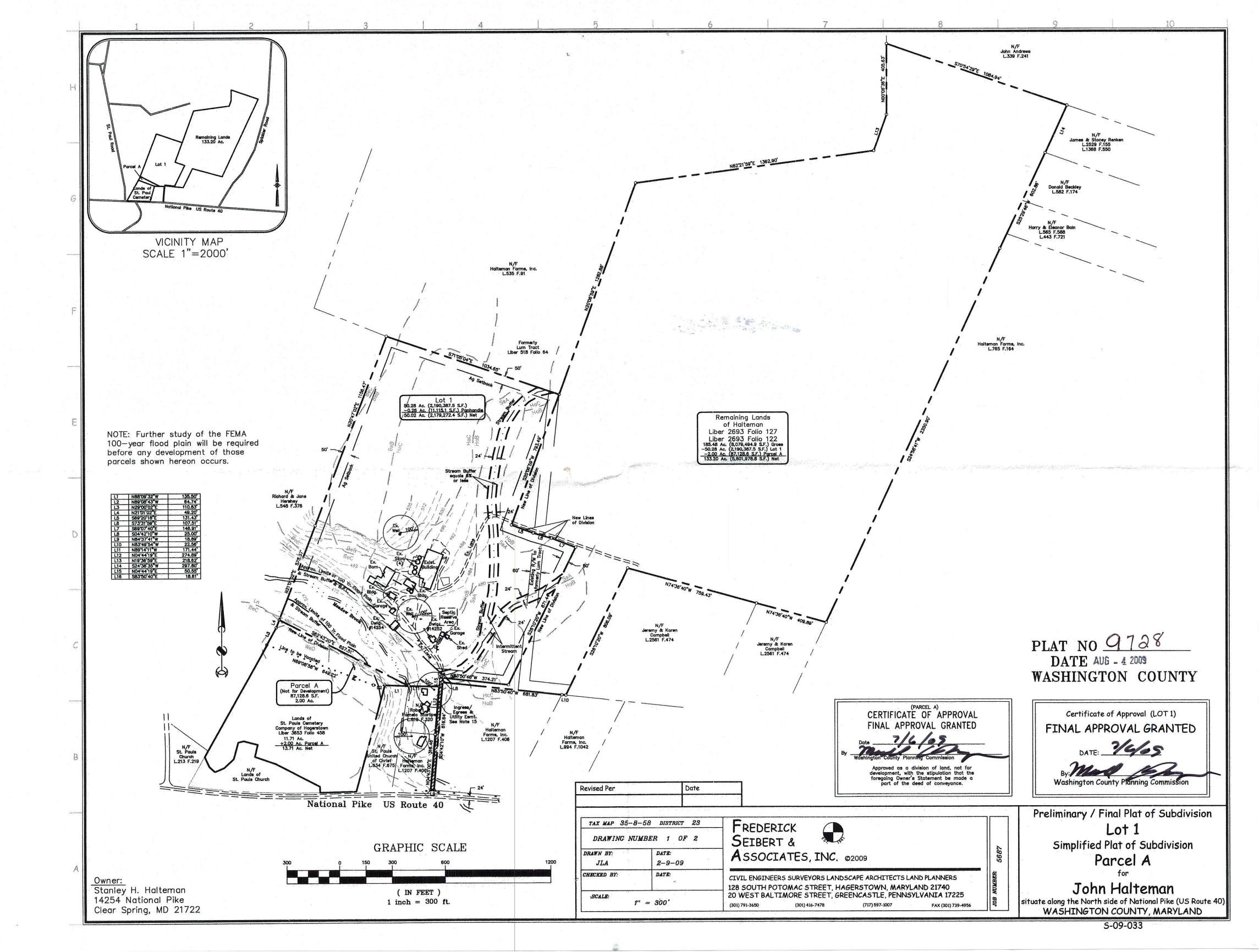
Respectfully,

Ed Schreiber

Ed Schreiber

Frederick, Seibert & Associates





Note:

This development must comply with the new Stormwater Management Regulations. Stormwater Management will be provided at the time of permit application. Washington County Engineering Department review fees will be determined and due prior to the approval of building and entrance permits.

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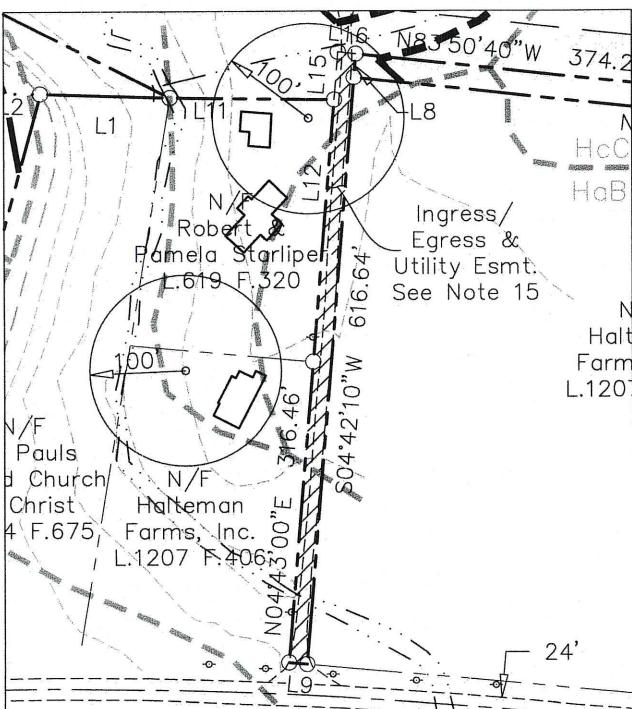
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Soil	Area (Ac.)	%
BeB	7.06	13.58
BeC	2.60	5.00
HaB	11.67	22.44
HaC	11.90	22.88
HbC	0.73	1.40
HcC	1.57	3.02
Ln	5.51	10.60
SsA	10.06	19.35
WeD	0.90	1.73





Detail Scale: 1"=100'

Owner:
Stanley H. Halteman
14254 National Pike
Clear Spring, MD 21722

Dedication for Individuals (LOT 1)

I/we do hereby certify, for ourselves and our personal representatives, heirs and assigns, that I/we are the legal and true owner(s) of the property shown and described on this plat and that I/we hereby odopt the plan of subdivision shown hereon, hereby establish the minimum building restriction lines shown hereon, hereby dedicate to public use all utility and drainage easement areas and all alley, street, and road rights of way designated on this plat, hereby agree to keep open all spaces and recreation areas shown hereon and hereby agree that said dedication shall not impose and responsibility on the Board of County Commissioners of Washington County regarding the subjects of such dedications until legal acceptance thereof by said Board, and I/we hereby reserve the fee simple title to the land underlying said easements, rights of way, open spaces and recreation areas and with regard to said easements and rights of way, hereby agree to convey the same to said Board for the use of said Washington County, without consideration, upon the legal acceptance of said easements and/or rights of way by said Board.

This deed and agreement of dedication shall be binding upon my/our grantees, assigns, successors, heirs, and personal representatives.

This deed and agreement of dedication shall be binding upon my/our grantees, assigns, successors, heirs, and personal representatives.

There are no suites, actions at law, leases, liens, mortgages, trusts, easements, or rights of way affecting the property included on this plan of subdivision except the following:

NONE

and all parties having an interest therein have here unto affixed their signatures, indicating their assent to this plan of subdivision.

I/We do hereby assent to this plan of subdivision.

itness our hands and seals this ____day of ______2009.

Stanford Tracks of Stanford St

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In compliance with C.O.M.A.R. 26.03.01.05 B.(1) and (2), the individual water supply and individual sewer systems are hereby permitted on a temporary interim basis. Future lat owners are advised that the individual systems serving the lot(s) indicated on this plat are of a temporary interim nature and that connection to a future community

Starly N. Holtman

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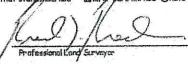
Date: 7/8/09



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Date: 5/21/09



General Notes

1. 10,000 square feet is hereby reserved for sewage disposal. No permanent physical objects are permitted in this area.

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 There is a 10 ft. wide drainage and utilities easement along all from lot lines and an office easement along all side and rear lot lines hereby reserved unless otherwise shown hereon.

3. Bearings based on deed North.

4. Soil types are as shown hereon.

5. Minimum Building Setbacks: front yard-40'; side yard-50' (due to 50+ Acre lot size); rear yard-50'. Minimum Building Setback Lines are based on the current

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6. Total upstream watershed affecting this subdivision: is less than 400 Acres.
7. A portion of this parcel does lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 240070 0060A and Panel No. 240070 0070A dated May 1, 1978, Flood Zone A.

8. Contours based on field survey and assumed elevation.
9. There are no steep slopes or habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 CFR 17 as required to be shown by Sections 306, 307 and 314 of the Washington County Subdivision Ordinance and Section 4.21 (C&D) of the Washington County Zoning Ordinance. This subdivision is not

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12. All grading on each lot, done either before or after the construction of a dwelling or their appurtenances, shall be the full responsibility of the lot owner.

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15. An Ingress/Egress & Utilities Easement is hereby created over the existing lane for the Remaining Lands. This easement runs over the existing lane from its Northernmost location South to US Route 40.

6. This is an historic site located on this property (National Historic Site: WA-V-115).

Additional Owner's Statement (Remaining Lands)

We hereby certify that our interest is to transfer this land only to a member of the immediate family. No conveyance of this lot will be made to anyone not a member of the immediate family for a period of ten (10) years without approval of the Planning Commission except as may be required to satisfy a mortagee in case of loan foreclosure. We also acknowledge that the County is not responsible for acceptance or maintenance of the private road or right of way.

5-11,09

Owner: Stanley H. Holteman

5-11-09 Date Recipient: Stanley H. Haiteman

INTRAFAMILY TRANSFER DECLARATION OF INTENT FOR FOREST CONSERVATION EXEMPTION

Account #003414 District 23 Map 35 Grid 8 Parcel 58

Property Owner(s) Name(s): Stanley H. Halteman

Permanent Mailing Address: 14254 National Pike Clear Spring, MD 21722

Recipients Name(s): Stanley H. Halteman

Recipients Relationship to Owner(s): Self

Property Location: Along the North side of National Pike

Current deed reference(s): Liber 2693 folio 127, Liber 2693 folio 122

I (We), Stanley H. Halteman, the owner(s) of the real property located along the North side of National Pike and described in the above referenced deed(s) hereby declare my (our) intention to invoke the intrafamily transfer exemption for the above property, in accordance with the provisions of the Washington County Forest Conservation Program and COMAR 08.19.01.04, for a period of at least ten (10) consecutive full taxable years following this date.

This declaration grants an exemption for the purpose of constructing a dwelling house intended for the use of the owner, or an immediate family member of the owner based on the Washington County Forest Conservation Program. If the lands does not remain in the possession of an immediate family member for a period of ten (10) years the Owner must notify the Washington County Planning Commission and may lose this exemption. If the Owner makes application for an activity regulated under the Forest Conservation Program, clears more than 40,000 square feet of forest, or violates the requirements of a previous Forest Conservation Plan all or part of the lot within the ten (10) year period, Washington County may require the owner to meet the forest conservation threshold established in the Forest Conservation Program and COMAR 08.19.03, and may also assess a noncompliance fee for forested areas cut in violation of this exemption.

I (we) declare, under the penalties of law, that this declaration, including any accompanying forms and statements, has been examined by me (us) and the information contained herein, to the best of my (our) knowledge, information and belief, is true, correct and complete.

Signaturals) Starle HALLE

-5-11-09

OWNER'S STATEMENT (PARCEL A)

Application is hereby made for approval of the indicated transfer of land for enlargement purposes only and not for development except as indicated hereon. Any development of this land other than for permitted accessory uses or any future seperation of the parcels combined hereon will be submitted in the regular manner for approval in accordance with the provisions of the existing Subdivision Ordinance.

<u>-11-09</u>

09

Appertaser: St. Padi Certhelisry Company of Washington County

PLAT NO 9729
DATE AUG-4 2009
WASHINGTON COUNTY

Revised Per Date TAX MAP 35-8-58 DISTRICT 23 FREDERICK DRAWING NUMBER 2 OF 2 SEIBERT & DRAWN BY: DATE: ASSOCIATES, INC. ©2009 2-9-09 JLACHECKED BY: DATE: CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225 SGALE: NTS (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

Preliminary / Final Plat of Subdivision

Lot 1

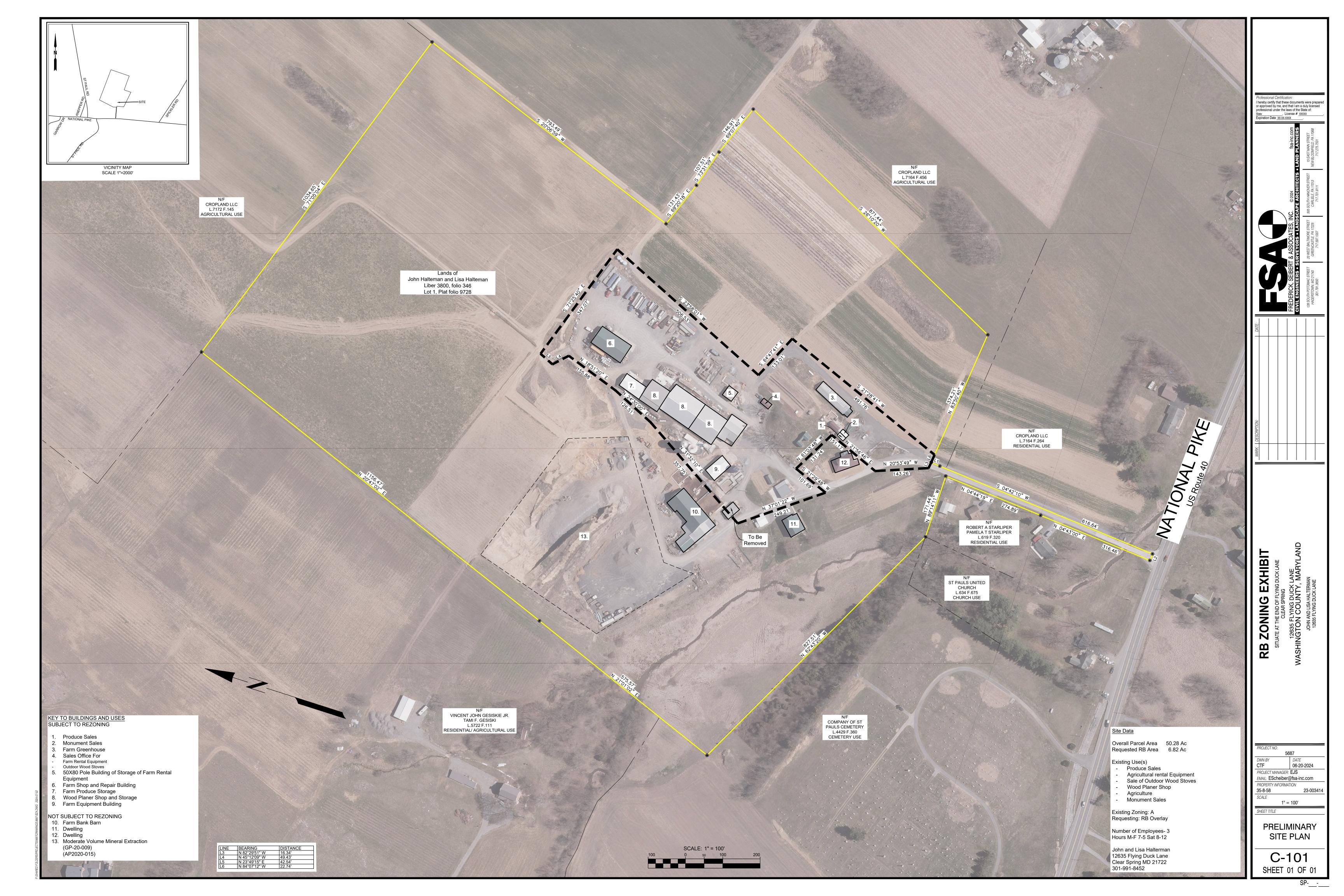
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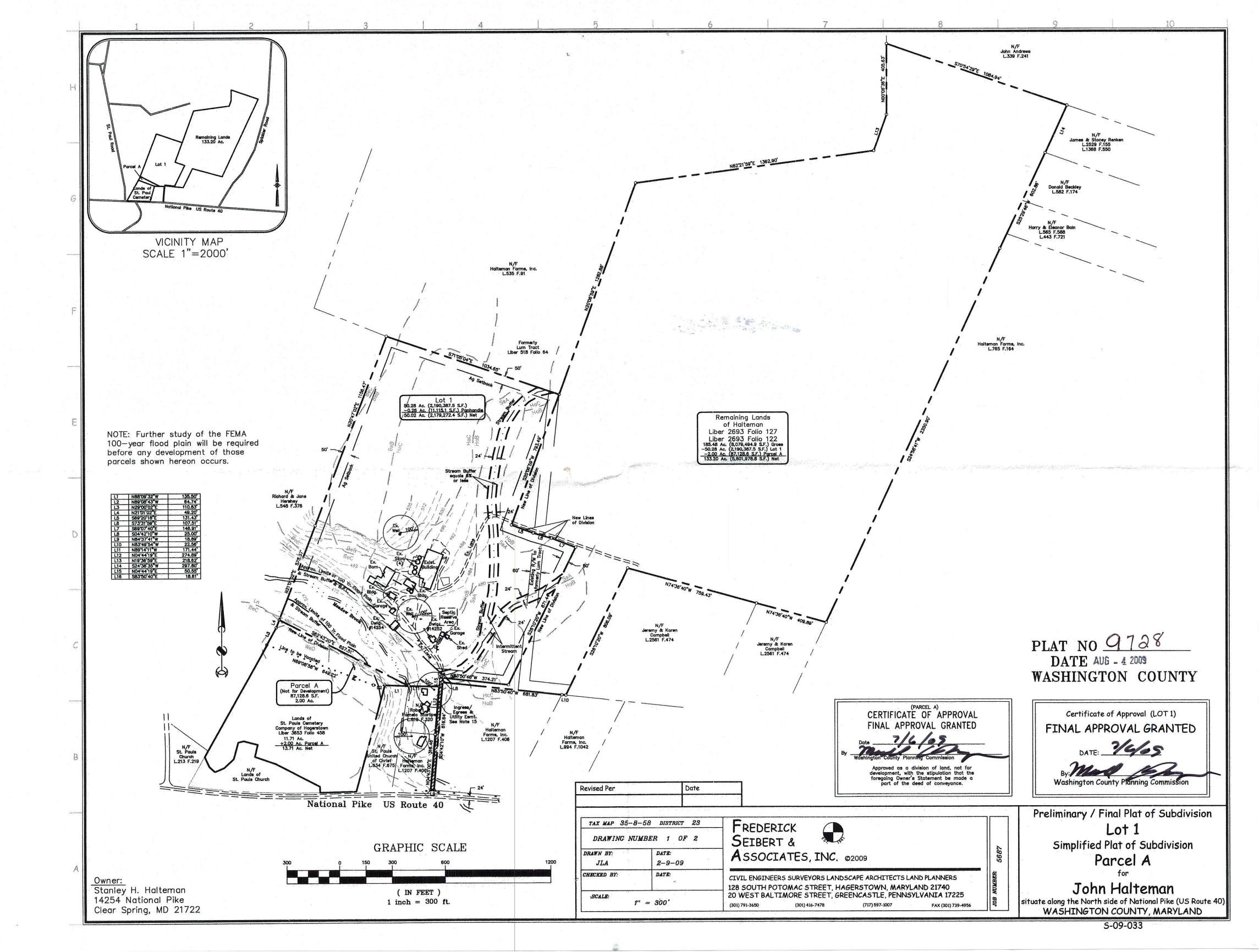
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John Halteman

situate along the North side of National Pike (US Route 40)

WASHINGTON COUNTY, MARYLAND





Note:

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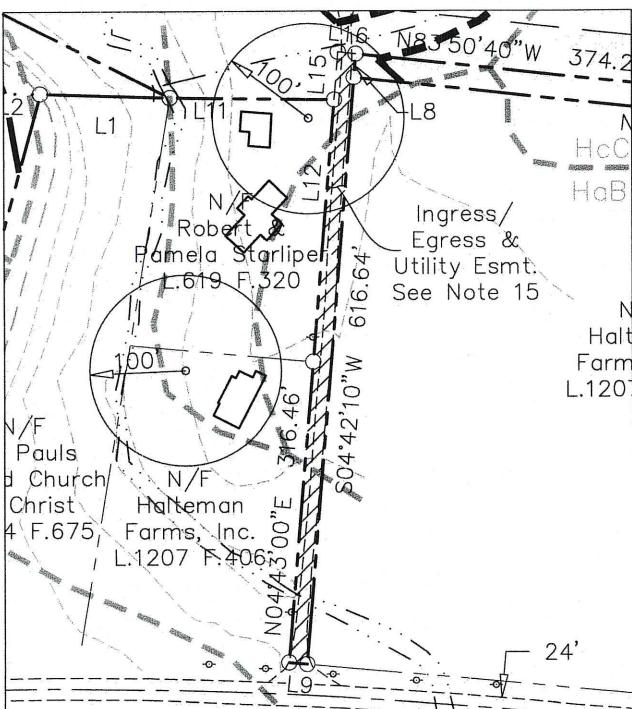
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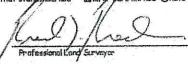
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Recipients Relationship to Owner(s): Self

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This declaration grants an exemption for the purpose of constructing a dwelling house intended for the use of the owner, or an immediate family member of the owner based on the Washington County Forest Conservation Program. If the lands does not remain in the possession of an immediate family member for a period of ten (10) years the Owner must notify the Washington County Planning Commission and may lose this exemption. If the Owner makes application for an activity regulated under the Forest Conservation Program, clears more than 40,000 square feet of forest, or violates the requirements of a previous Forest Conservation Plan all or part of the lot within the ten (10) year period, Washington County may require the owner to meet the forest conservation threshold established in the Forest Conservation Program and COMAR 08.19.03, and may also assess a noncompliance fee for forested areas cut in violation of this exemption.

I (we) declare, under the penalties of law, that this declaration, including any accompanying forms and statements, has been examined by me (us) and the information contained herein, to the best of my (our) knowledge, information and belief, is true, correct and complete.

Signatures Stade WHalten

m=5=11-09

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69

Puperhoser: St. Padi Cethebery Company of Washington County

PLAT NO 9729
DATE AUG-4 2009
WASHINGTON COUNTY

Revised Per Date TAX MAP 35-8-58 DISTRICT 23 FREDERICK DRAWING NUMBER 2 OF 2 SEIBERT & DRAWN BY: DATE: ASSOCIATES, INC. ©2009 2-9-09 JLACHECKED BY: DATE: CIVIL ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS LAND PLANNERS 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225 SGALE: NTS (301) 416-7478 (717) 597-1007 FAX (301) 739-4956

Preliminary / Final Plat of Subdivision

Lot 1

Simplified Plat of Subdivision

Parcel A

John Halteman

situate along the North side of National Pike (US Route 40)
WASHINGTON COUNTY, MARYLAND



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

September 9, 2024 Case #: RZ-24-002

Application for Map Amendment Staff Report and Analysis

Property Owner(s) : John & Lisa Halteman

Applicant(s) : John Halteman

Location : 12635 Flying Duck Lane

Election District : #23 – Wilson

Comprehensive Plan

Designation : Agriculture

Zoning Map : 35 Parcel(s) : P. 58

Acreage : 50.28 acres (6.82 within RB Overlay)

Existing Zoning : Agricultural Rural (AR)

Requested Zoning : Agricultural Rural (AR) with Rural Business (RB) overlay

Date of Hearing : September 9, 2024

I. Background Information

a. Location and Description of Subject Properties



The subject parcel is located on a private lane on the north side of National Pike (U.S. 40) between St. Paul Rd (MD-57) and Spickler Rd, approximately 3 miles east of Clear Spring. The property subject to this rezoning encompasses 50.28 acres of agricultural land, 6.82 acres of which would be encumbered with the Rural Business floating zone.

Two existing single-family dwellings and an extensive series of agricultural support buildings make up the entirety of the farm complex which dates to the 1800s. These buildings support both the primary agricultural operation as well as related trades or services which have arisen over time such as a wood planer shop, agricultural equipment rental, produce sales and woodstove sales.

Along the western boundary of the property is a permitted moderate volume mineral extraction area used for shale mining. Moderate volume mineral operations are areas in which the land area devoted to mineral extraction and mineral processing is between 1-5 acres.

A perennial stream, Meadow Brook, flows through the southwest corner of the property, resulting in a notable area of floodplain and wetlands on that part of the parcel.

b. Rural Business Floating Zone Purpose and Criteria

The Rural Business Zoning District (RB) is established to permit the continuation and development of businesses that support the agricultural industry and farming community, serve the needs of the rural residential population, provide for recreation and tourism opportunities, and to establish locations for businesses and facilities not otherwise permitted in the rural areas of the County. It is established as a "floating zone" which may be located on any parcel in an Agricultural, Environmental Conservation, Preservation or Rural Village Zoning District. A floating zone is a zoning district that delineates conditions which must be met before that zoning district can be approved for an existing piece of land.

Section 5E.4 of the Rural Business Zoning District describes the criteria that must be met for the establishment of a new Rural Business Zoning District. These criteria include:

- 1. The proposed RB District is not within any designated growth area identified in the Washington County Comprehensive Plan;
- 2. The proposed RB District has safe and usable road access on a road that meets the standards under the "Policy of Determining Adequacy of Existing Roads." In addition, a traffic study may be required where the proposed business, activity or facility generates 25 or more peak hour trips or where 40% of the estimated vehicle trips are anticipated to be commercial truck traffic;
- 3. Onsite issues relating to sewage disposal, water supply, stormwater management, floodplains, etc. can be adequately addressed; and
- 4. The location of an RB District would not be incompatible with existing land uses, cultural or historic resources, or agricultural preservation efforts in the vicinity of the proposed district.

Section 5E.6c further expands upon the above noted criteria in describing the basis for which the Planning Commission should base its recommendation to the Board of County Commissioners upon after the Public Information Meeting including:

- 1. The proposed district will accomplish the purpose of the RB District;
- 2. The proposed site development meets criteria identified in Section 5E.4 of this Article;

- 3. The roads providing access to the site are appropriate for serving the business-related traffic generated by the proposed RB land use;
- 4. Adequate sight distance along roads can be provided at proposed points of access;
- 5. The proposed landscaped areas can provide adequate buffering of the proposed RB land use from existing land uses in the vicinity;
- 6. The proposed land use is not of a scale, intensity or character that would be incompatible with adjacent land uses or structures.

To be established, RB districts must also meet bulk requirements outlined in Article 5E.5. A preliminary site plan which addresses the elements noted above and other criteria in 5E.6.a(3) in greater detail is also a required part of the application process. Finally, approval of the application to create an RB District shall only be for the use identified on the application and preliminary site plan. An approved RB District covers only the portion of the parcel or lot identified in the application. Changes to the use, intensity or area covered by an approved RB District shall be reviewed by the Planning Commission. A new public hearing may be required to approve the changed use.

II. Staff Analysis

The staff analysis of the proposed rezoning will utilize the criteria outlined in the previous section of this report to determine the suitability of applying a newly created RB floating zone in the designated location.

1. The proposed district will accomplish the purpose of the RB District;

As defined above, one purpose of the floating zone is to "establish locations for businesses and facilities not otherwise permitted in the rural areas of the County." This application notes several different land uses proposed for the property which should be individually considered in deliberating whether the proposed district will accomplish the intent of the Rural Business Zoning District overall.

Land uses on the property previously allowed by right or by special exception on the property include agriculture, moderate volume mineral extraction, and a greenhouse.

Land uses that fall within the proposed area of the parcel to receive the RB floating zone include the wood planer shop, agricultural equipment rental, produce sales, woodstove sales, and cemetery monument sales. The Commission and Board should consider the appropriateness of each of the uses noted above to fulfill the intent of the RB District. To that end, the Zoning Ordinance offers the following regulations for these uses under the following two definitions in the Article 3, Table 3.3:

Rural Area Table of Land Uses

Land Uses	A(R)	EC	P	RV	RB	IM	Intensity of Use
Produce Stands/Farmers Market	SE	SE	SE	SE	P	N	Moderate
Machinery dealerships and other businesses providing support for agricultural work	SE	SE	N	SE	Р	N	Low

Note: P-Permitted SE-Special Exception N-Not Permitted

Under the current A(R) zoning, much of these uses would therefore be permitted with the approval of a special exception. Within an RB Zoning District, however, they would become principal permitted uses.

2. The proposed RB District is not within any designated growth area identified in the Washington County Comprehensive Plan;

The proposed site of this rezoning is located outside of the County's current Urban Growth Area boundary. This status is not proposed to change in the forthcoming Comprehensive Plan update.

3. Road and Traffic Considerations

a. Traffic Generation

Traffic counts on County and State roads in the vicinity of the rezoning site provide limited insight on traffic flow or congestion that might be impacted an expanded business at this location. Single day traffic counts were collected for one 24-hour period in 2022 at three local road intersections with National Pike in the immediate vicinity of the subject site. The counts for these three locations are noted below:

- Saint Paul Rd at National Pike (.25 miles west): 796 vehicles
- Knepper Rd at National Pike (.33 miles west): 78 vehicles
- Spickler Rd at National Pike (.50 miles east): 561 vehicles

The Maryland State Highway Administration (SHA) has also maintained a permanent traffic counter approximately 2.25 miles west of the site, just outside the town boundary of Clear Spring. These counts indicate a clear <u>decline</u> in traffic heading west on U.S. 40 during the last

twenty years. From a high of 4,450 vehicles in 2002, traffic heading west on U.S. 40 has dropped 24.4% in the last twenty years (or 1.2% annually). The traffic volume data shown in the table below is expressed in annual average daily traffic volumes (AADT).

Year	National Pike
i ear	@ Clear Spring
2022	3,360
2017	3,751
2012	3,832
2007	4,030
2002	4,450

As noted previously, the requirements of the RB District require a traffic study when the proposed business, activity or facility generates "25 or more peak hour trips or where 40% of the estimated vehicle trips are anticipated to be commercial truck traffic." The applicant's justification statement asserts that "peak hour trips will not exceed the reference policy document" from various business operations occurring on the parcel.

b. Road and Site Circulation Improvements

The site is located at the end of Flying Duck Lane (a private road) and U.S. 40. The latter road is classified as a minor arterial in the Functional Road Classification portion of the Transportation Element in the County's 2002 Comprehensive Plan. This classification accounts for mobility and access characteristics of the roadway in its categorization. Minor Arterial roads are designed to carry between 2,000 –5,000 Average Daily Traffic in rural areas. The County's road classification system is based upon the Federal Highway Functional Classification System, but modified to reflect local road conditions.

A review of the County's 10-Year CIP and the State Highway Administration's Consolidated Transportation Plan did not note any road improvements in the vicinity of this proposed rezoning that would affect road capacity or traffic flow. The Highway Plan in the 2002 Comprehensive Plan and HEPMPO's LRTP also did not indicate any immediate road improvements in the vicinity.

The Applicant's preliminary site plan (Exhibit H) does not anticipate any access changes to the property from U.S.40.

SHA and the Washington County Department of Engineering had no comment when routed the application for review.

Site Planning Considerations

a. Water

The proposed rezoning site is designated as W-7 in the 2009 Water and Sewer Plan with no planned connection to public water. Two existing wells connected to the residential

uses on the property are depicted on Washington County Plat 9728 which has been included in as part of the application file. Regarding impacts to existing water and sewer usage from the proposed businesses, the Applicant's justification statement asserts that "With limited use, the existing well and septic systems are in good condition."

Well locations are approved by the Washington County Health Department. The Health Department is also responsible for monitoring wells for water quality issues.

b. Sewer

The proposed rezoning site is designated as S-7 in the 2009 Water and Sewer Plan with no planned connection to public sewer. An approximate location of the existing septic system is depicted on the recorded plat noted above. No additional information on sewage disposal was provided beyond the declaration noted above.

The Washington County Health Department is responsible for approving the location and method of sewage disposal on individual properties in the County. A copy of this rezoning application was routed for the Health Department for their review, and they offered the following comment:

"Our office has no issue concerning the rezoning; however, a 10,000 sq. ft. reserve area should be platted for each dwelling unit and if restrooms are to be provided for the employees."

c. Stormwater Management

As noted in the applicant's justification statement regarding recent (mostly agriculture related) development permitted on the property "More recent construction of pole buildings, etc. have gone through the permitting process including stormwater management review." Stormwater review and mitigation was also done for the moderate volume mineral extraction area on the western boundary on the property. Proposed stormwater management facilities are not shown on the preliminary site plan included with the application.

The Washington County Department of Engineering had no comment when routed the application for review.

d. Floodplain

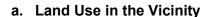
As noted previously, the proposed rezoning site contains floodplain and wetland areas in the southwest corner of the property. These areas lie outside of the developed footprint of the property which is proposed inclusion within the Rural Business floating zone. Disturbance of such areas is generally prevented or limited by restrictions contained within the County's Floodplain Management Ordinance. Development review by various regulatory agencies would also likely account for continued protection of the area, should the site see additional construction in the future.

e. Bulk Regulations

The applicant's Justification Statement does not specifically address bulk requirements such as setbacks or lot coverage aside from noting the current existence of parking in connection with the produce stand. The lot does however contain ample acreage to meet zoning setbacks and other bulk requirements, and the boundaries of the developed footprint at the site have been largely established within a centralized location on the parcel over time.

In 2020, a variance to reduce the minimum required side yard setback on the western property boundary from 100 feet to 25 feet was granted by the Board of Zoning Appeals as a part of special exception AP-2020-015. This same decision also authorized the moderate volume mineral extraction operation discussed earlier, in this same area of the parcel.

4. Compatibility with Adjacent Land Uses





As seen above, nearly all surrounding lands are zoned Agricultural Rural A(R). The properties in the area shown on the image, between Saint Paul and Spickler Roads, are either large agricultural parcels or smaller residential lots. A notable exception being Saint Paul's Reformed Church and Cemetery located on the adjacent parcels to the southwest of the subject site.

There are four other existing RB Zoning Districts (hatched in pink above) in the immediate vicinity providing prior precedent for commercial uses along this stretch of U.S. 40. These adjacent rural businesses include (viewed left to right on the above image):

- National Pike Convenience Store (Saint Paul Rd & National Pike)
- Miller's Farmstead (wedding venue at Spickler Rd and National Pike)
- Mt. Tabor Builders (east of Spickler Rd and National Pike)
- Myers Building Systems (east of Spickler Rd and National Pike)

b. Historic Resources

As the property is located along the Historic National Road Maryland Scenic Byway (encompassing U.S. 40 from Baltimore to the Pennsylvania state line in Garrett County) there are 13 existing historic sites within ½ mile or less of this proposed rezoning that should be considered in evaluating its compatibility. The subject site itself contains a surveyed historic site, the Halteman Farm. The remaining 12 sites are found mostly along National Pike, along with a few also located on Saint Paul Rd. These 13 sites are described in the Maryland Historic Trust Inventory of State Historic Sites as follows:

> Onsite



• WA-V-115: "Halteman Farm"

Mid-19th century farm complex including 2 story farmhouse, stone smokehouse and bank barn along with numerous frame agricultural buildings.

➤ Offsite Historic Properties within ½ mile of property

• WA-V-155: "St. Paul's Church" (adjacent property to southwest)

18th century Gothic Revival Style limestone church.

• WA-V-028 & WA-V-028: St. Paul's Manor" (adjacent property to west)

Early 19th century farm complex including two farmhouses (one 2-story brick dwelling and one 2-story stone dwelling), bank barn and outbuildings.

• WA-V-025 & WA-V-026: "Dennis Farm" (adjacent property to south)

Mid-19th century farm complex including two farmhouses (one 2-story brick dwelling and one 2-story log and stone dwelling), bank barn and spring house.

• WA-V-156: "Sided Log House" (.20 miles west)

19th century 2 story log cabin with exterior stone and brick chimney.

• WA-V-143: "Firey Log Cabin" (.25 miles northwest)

Late 19th century farm complex with modified single-story log cabin.

• WA-V-024: "Snyder Farmhouse" (.5 miles northwest)

Late 18th century farm complex with 2 ½ story stone farmhouse, bank barn and outbuildings

• WA-V-118: "Litton Farm" (.25 miles north)

Late 19th century frame farmhouse and bank barn

• WA-V-192: "Brick House" (.33 miles east)

Late 19th century brick farmhouse

• WA-V-099: "Carriage Factory" (.5 miles east)

Late 19th century frame house, barn and numerous frame outbuildings said to have been a carriage factory during the turn of the century period

• WA-V-098: Bloyer House" (.5 miles east)

Mid-19th century brick farmhouse that served as an inn or hotel on the National Pike, bank barn and wagon shed. Currently operates as wedding reception venue (Miller's Farmstead).

➤ Other Historic Structures within ½ mile of property

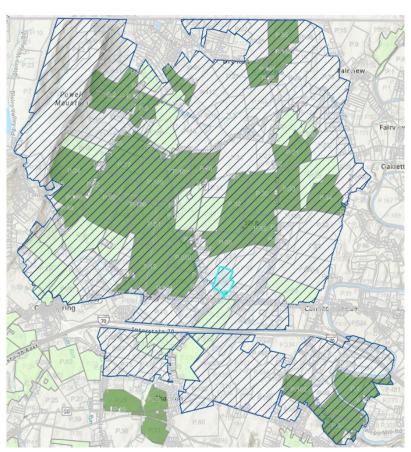
Multiple other historic road infrastructural elements or mile markers associated with the historic National Pike or Saint Paul Road are found along the stretch of these roads that run in immediate vicinity of the site.

Reviewing Agency Comments

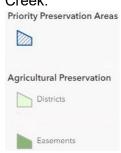
Meghan Jenkins, who acts as the liaison between the Department of Planning and Zoning and the Historic District Commission, offered the following comment when outed a copy of the rezoning application:

"It appears the property has had significant alteration to the main house over time since the original survey which have deteriorated its character. The barn remains relatively intact compared to the survey documentation. The proposed rezoning excludes these 2 structures from the RB Overlay area which is recommended. The HDC does not comment on the use of the property, however, I noted that the structures and area proposed for the RB uses are not directly adjacent to the historic structures and would appear to have minimal impacts on them should this be approved."

c. Agricultural Land Preservation



The proposed rezoning site is located within the heart of the County's designated Priority Preservation Area (PPA) shown in the image at left. The PPA defines areas that are targeted for future preservation in various agricultural land preservation programs. The PPA in this area of the County encompasses numerous parcels, mostly north of U.S. 40 and I-70, north and east of the Town of Clear Spring and west of Conococheague Creek.



The blue hatched area above denotes all parcels falling within this part of the County's PPA. Parcels in light green have enrolled in the County's Agricultural District program. This program is intended to be a precursor for lands to eventually a permanent agricultural land preservation easement, which are identified in dark green on the map.

The applicant is requesting to apply the RB floating zone atop 6.82 acres of 50.28 acres of total agricultural land on the parcel in question. The moderate volume mineral extraction

operation on the western property boundary also encompasses roughly another 3.5-4 acres of land on the parcel. Floodplain in the southwestern corner takes up approximately 4.5 acres. This leaves around 36 acres of agricultural land that would still be available onsite for permanent preservation in the future.

In addition to the property subject to this rezoning, the applicant appears to own several other agricultural parcels located adjacent or in the immediate vicinity of the site, some of which are even larger the one under discussion. Thus, when considering all lands owned by the applicant, the possibility of achieving a commercial use on a portion of the subject site while also permanently preserving other agricultural lands in this area of the PPA seems entirely feasible.

5. Additional Considerations

a. Emergency Services

The Clear Spring Ambulance Club and Clear Spring Volunteer Fire Company are the nearest emergency services provider to this site, located approximately 2.75 miles west within the Town limits. The Division of Emergency Services had no comment when routed a copy of the application.

b. Comprehensive Plan Designation

The 2002 Comprehensive Plan designated this site as falling within the Agriculture Policy Area in its Land Use Plan. This Policy Area is primarily associated with various sections of the Great Hagerstown Valley, including the lands between Conococheage Creek and Fairview Mountain where the subject property is found. It's intended to encompass large blocks of the best soils for intensive agricultural production and, by extension, large blocks of preserved farmland. The text notes that rural businesses in this policy area are limited by right, but permitted with the establishment of an RB floating zone.

c. Hours of Operation, Employees

According to the preliminary site plan provided by the applicant, the anticipated hours of operation for the various proposed businesses are Monday through Friday, 7 am to 5 pm, Saturday 8-12 pm. The number of non-family employees would be three for all non-agricultural business being considered. The applicant's justification statement indicates that "with the exception of the produce stand, customers are by appointment only."

III. Recommendation

As noted at the beginning of the Staff Analysis portion of this staff report, this rezoning application notes several different land uses proposed for the property which should be individually considered in deliberating whether the proposed district will accomplish the intent of the Rural Business Zoning District overall. These non-agricultural or resource extraction uses include a wood planer shop, agricultural equipment rental, produce sales and woodstove sales.

Staff Report and Analysis RZ-24-002 – John Halteman

The Planning Commission and Board of County Commissioners should carefully consider the appropriateness of each of the uses noted above to fulfill the intent of the RB District.

Considerations that the Planning Commission and Board of County Commissioners may wish to investigate further during public meetings include the following:

- Anticipated daily vehicle traffic coming in and out of the site from the various businesses, particularly those with more public facing operations such as the produce stand, agricultural equipment rental and cemetery monument sales.
- ➤ The ability of the site to meet to meet modern site planning requirements in light of much of the property being developed historically before such regulations took effect.

Based on the analysis provided throughout this report and offered by the applicant in their justification statement, Staff believes that the establishment of the Rural Business floating zone would offer a path forward to comprehensively bring the various active or proposed businesses operating on this parcel into legal conformance with zoning regulations. Without the RB District in place, the owner would need to seek individual special exceptions for some of the land uses occurring, such as the agricultural equipment rental or produce stand, as not all of these land uses are allowed by right under the current AR zoning.

If the requested zoning were to be approved, it would then also allow site planning requirements to bring previously unregulated portions of the property into compliance with modern land use regulations, such as those pertaining to stormwater management.

The combined efforts of zoning change and site modernization would therefore cumulatively offer assurances to the landowner that they could continue serving the needs of the rural community with the goods and services that they offer, while also adhering to modern land use regulations that protect the health, safety and welfare of the general public.

Respectfully submitted,

Travis Allen Senior Planner



DEPARTMENT OF PLANNING & ZONING

PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

RZ-24-003

August 20, 2024

WASHINGTON COUNTY ZONING ORDINANCE STAFF REPORT AND ANALYSIS

ARTICLES 3, 7A, 8, 9, 10, 11, 12, 13, 14, 19C, 28A

Proposal: This application is proposing to amend several sections of the Zoning Ordinance (see Exhibit 1) to address the state legalization of adult-use cannabis. Presently the Zoning Ordinance does not include language for cannabis and facilities associated.

Staff Report: The legalization of recreational cannabis has been occurring more frequently since the first state legalization in 2012. Currently, cannabis is legal in 24 states, several US territories, and Wahington, D.C. Only medical cannabis is legalized in the county's bordering states of Pennsylvania and West Virginia. Every state and territory have differing laws and regulations for recreational adult-use cannabis. With the recent legalization, communities need to update ordinances to allow the new land use. The state of Maryland has characterized the dispensary use comparable to alcohol retail use. Presently, Washington County has one active medical cannabis dispensary; medical may become recreational through an application with the state. Through the first round of licensing Washington County was given 3 standard dispensary licenses in addition to the medical dispensary. Maryland's cannabis licensing and regulations are handled by the Maryland Cannabis Administration. There are two types of recreational cannabis licenses for growers, processors, and dispensaries: Standard and Micro. These are defined in the definitions.

Analysis: In 2022 a referendum was placed on the voting ballot allowing voters to support or oppose legalization of recreation cannabis use and sales in Maryland. The referendum was supported by a majority of Maryland residents to legalize recreational cannabis use after July 1, 2023. Since that time, several bills have been adopted by the Maryland General Assembly to allow and regulate this industry.

The initial regulatory bill passed in 2023 provided rules related to zoning administration of the use. These rules were further refined during the 2024 session and have prompted these amendments to the zoning ordinance.

Maryland House Bill 805 outlines and refines the zoning authorities of a local elected body. HB-805 states that a local elected body is prohibited from establishing more restrictive zoning requirements for cannabis dispensaries than alcohol package retail stores. The zoning restrictions do not apply to medical cannabis licenses that were issued on or before July 1, 2023.

The state law provided the required maximum setbacks for dispensaries.

Dispensaries must be:

500 feet from a pre-existing primary or secondary school in the State, or a licensed childcare center
or registered family childcare home; a pre-existing playground, recreation center, library, public
park, or place of worship.

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• Up to one half-mile from another dispensary

The proposed amendments to Articles 3, 7A, 8, 9, 10, 11, 12, 13, 14, and 19C are additions to define where cannabis dispensaries, processors, and growers are permitted or prohibited.

Per state law, the zoning districts where alcoholic beverage package stores are permitted shall permit cannabis dispensaries; relatively zoning districts where alcohol production facilities are permitted shall allow cannabis processors. The growing on cannabis is a strictly agricultural use.

Cannabis Dispensaries are proposed to be permitted as follows:

• In the urban areas, cannabis dispensaries shall be <u>principally permitted</u> in Business, Local (BL) and Special Economic districts. By allowing cannabis dispensaries in these districts as a permitted use they shall be permitted in the Business, General (BG), Mixed Use (MX), Planned Unit Development (PUD), Planned Business (PB), Highway Interchange (HI) districts through cross reference. In the rural areas, these uses shall be <u>principally permitted</u> use in the Rural Business (RB) floating zoning district. Per the definition of agriculture provided in Article 28A, the growing, drying and packaging of cannabis, a product of the soil, is considered an agricultural use. Therefore, cannabis growing facilities must be permitted in every district agriculture is permitted.

Cannabis processing facilities are proposed to be permitted as follows:

• In the urban areas, cannabis processing facilities shall be <u>principally permitted</u> in the Industrial Restricted (IR). By allowing cannabis processor facilities in these districts as a principally permitted use they shall be permitted in the Industrial, General (IG) and Highway Interchange (HI) districts through cross references. This use may also be permitted as a <u>special exception</u> in the Business, General (BG) district. In the rural areas the use may be <u>special exceptions</u> in the Agriculture Rural (AR), Environmental Conservation (EC), Preservation (P) and Rural Business (RB) floating zoning district.

Articles 28A will be amended to include definitions of cannabis: cannabis products, dispensary, grower, and processor.

Maryland Cannabis Administration defines Cannabis products as:

"Products that are composed of cannabis, cannabis concentrate, cannabis extract, or other ingredients and are intended for use or consumption, including edible products, oils, and tinctures".

Dispensary is defined as:

"An entity licensed under this title that acquires, possesses, repackages, transports, sells, distributes, or dispenses cannabis or cannabis products, including tinctures, aerosols, oils, and ointments, related supplies, and educational materials for use by qualifying patients, caregivers, or consumers through a storefront or through a delivery service, based on license type"

- A standard licensed dispensary operates a store at a physical location that sells cannabis or cannabis products.
- A micro licensed dispensary operates a delivery service that sells cannabis or cannabis products without a physical storefront, provided that the licensee employs not more than 10 employees.

Grower is defined as:

"An entity licensed under this title that: (1) cultivates or packages cannabis; and (2) is authorized by the Administration to provide cannabis to other cannabis licensees and registered independent testing laboratories"

- A standard licensed grower operates more than 10,000 square feet, but not more than 300,000 square feet, of indoor canopy or its equivalent, as calculated by the Administration.
- A micro licensed grower operates not more than 10,000 square feet of indoor canopy or its equivalent, as calculated by the Administration.

Processor is defined as:

"An entity licensed under this title that: (1) transforms cannabis into another product or an extract and packages and labels the cannabis product; and (2) is authorized by the Administration to provide cannabis to licensed dispensaries and registered independent testing laboratories"

- A standard licensed processor processes more than 1,000 pounds of cannabis per year, as calculated by the Administration.
- A micro licensed processor processes no more than 1,000 pounds of cannabis per year, as calculated by the Administration.

Staff Recommendation: Based upon feedback and comments from other government agencies, developers, property owners, and the general public, Staff recommends approval of these amendments in order to provide consistent implementation of our land use policies and regulations.

Respectfully submitted,

Kyla M. Shingleton

Comprehensive Planner



DEPARTMENT OF PLANNING & ZONING

PLANNING ZONING LAND PRESERVATION FOREST CONSERVATION GIS

RZ-24-003 August 20, 2024

Exhibit 1 for Cannabis Ordinance Text Amendment

ARTICLE 3. DISTRICTS ESTABLISHED; ZONING MAPS, DISTRICT BOUNDARIES; LAND USE REGULATIONS (RURAL AREA USES)

Section 3.3 - Table No. 3.3 - TABLE OF LAND USE REGULATIONS (RURAL AREA USES)

Land Uses	A(R)	EC	P	RV	RB	IM	Intensity of Use
K. Manufactı	ıring						
Cannabis Processor, Standard	SE	<u>SE</u>	<u>SE</u>	N	<u>P</u>	N	<u>N/A</u>
Cannabis Processor, Micro	<u>SE</u>	<u>SE</u>	<u>SE</u>	N	<u>P</u>	N	<u>N/A</u>
P. Retail and	Wholesale To	rade		l		l	
Cannabis Dispensary, Standard	N	N	N	N	<u>P</u>	N	N/A
Cannabis Dispensary, Micro	N	N	N	<u>SE</u>	<u>P</u>	N	N/A

Article 11 "BL" Business, Local District

Section 11.1 Principal Permitted Uses

(a) Local retail goods and service shops, including:

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Cannabis Dispensary, Standard and Micro. Provided that the use is a minimum 500 feet from pre-existing primary or secondary school in the State, or a licensed childcare center or registered family childcare home; a pre-existing playground, recreation center, library, public park, or place of worship; and that the use be a minimum one half-mile from another dispensary.

Article 12 "BG" Business, General District

Section 12.2 Special Exception Uses (Requiring Board Authorization After Public Hearing)

(1) Cannabis Processor, Standard and Micro.

(<u>h</u>) (<u>m</u>)-Any other use that the Board finds is functionally similar to any principally permitted use or special exception except adult book stores, adult mini_motion picture theaters, or any other type of adult entertainment listed in this Article. The Board shall not grant any special exception which is inconsistent with the purpose set forth for this District, nor which will materially or adversely affect the use of any adjacent or neighboring properties.

Article 13 "IR" Industrial, Restricted District

Section 13.1 Principal; Permitted Uses

(i) Cannabis Processor, Standard and Micro.

Article 19C "Special Economic District"

Section 19C.2 Principal Permitted Uses

Cannabis Dispensary, Standard and Micro. Provided that the use is a minimum 500 feet from preexisting primary or secondary school in the State, or a licensed childcare center or registered family childcare home; a pre-existing playground, recreation center, library, public park, or place of worship; and that the use be a minimum one half-mile from another dispensary.

ARTICLE 28A – DEFINITIONS

Cannabis Dispensary: An entity licensed under this title that acquires, possesses, repackages, transports, sells, distributes, or dispenses cannabis or cannabis products, including tinctures, aerosols, oils, and ointments, related supplies, and educational materials for use by qualifying patients, caregivers, or consumers through a storefront or through a delivery service, based on license type

- A standard licensed dispensary operates a store at a physical location that sells cannabis or cannabis products.
- A micro licensed dispensary operates a delivery service that sells cannabis or cannabis products without a physical storefront, provided that the licensee employs not more than 10 employees.

Cannabis Grower: An entity licensed under this title that: (1) cultivates or packages cannabis; and (2) is authorized by the Administration to provide cannabis to other cannabis licensees and registered independent testing laboratories. Per the definition of agriculture provided in Article 28A, the growing, drying and packaging of cannabis, a product of the soil, is considered an agricultural use. Therefore, cannabis growing facilities must be permitted in every district agriculture is permitted.

- A standard licensed grower operates more than 10,000 square feet, but not more than 300,000 square feet, of indoor canopy or its equivalent, as calculated by the Administration.
- A micro licensed grower operates not more than 10,000 square feet of indoor canopy or its equivalent, as calculated by the Administration.

<u>Cannabis Processor:</u> An entity licensed under this title that: (1) transforms cannabis into another product or an extract and packages and labels the cannabis product; and (2) is authorized by the Administration to provide cannabis to licensed dispensaries and registered independent testing laboratories

- A standard licensed processor processes more than 1,000 pounds of cannabis per year, as calculated by the Administration.
- A micro licensed processor processes no more than 1,000 pounds of cannabis per year, as calculated by the Administration.

<u>Cannabis Products:</u> Products that are composed of cannabis, cannabis concentrate, cannabis extract, or other ingredients and are intended for use or consumption, including edible products, oils, and tinctures

WASHINGTON COUNTY PLANNING COMMISSION REGULAR MEETING August 5, 2024

The Washington County Planning Commission held its regular monthly meeting on Monday, August 5, 2024 at 6:00 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

CALL TO ORDER AND ROLL CALL

Mr. Kline called the meeting to order at 6:10 p.m.

Planning Commission members present were: David Kline, Jeff Semler, BJ Goetz and Ex-officio County Commissioner Randy Wagner. Staff members present were: Washington County Department of Planning & Zoning: Jill, Baker, Director; Jennifer Kinzer, Deputy Director; Misty Wagner-Grillo and Scott Stotelmyer, Planners; Kyla Shingleton, Comprehensive Planner; and Debra Eckard, Office Manager.

NEW BUSINESS

MINUTES

Motion and Vote: Commissioner Wagner made a motion to approve the minutes of the June 17, 2024 Planning Commission regular meeting as presented. The motion was seconded by Mr. Goetz and unanimously approved.

Motion and Vote: Mr. Goetz made a motion to approve the minutes of the July 1, 2024 Planning Commission regular meeting as presented. The motion was seconded by Mr. Semler and unanimously approved.

PRELIMINARY CONSULTATION

Black Rock Remaining Lands [PC-24-004]

Ms. Wagner-Grillo presented a preliminary consultation for the remaining lands at Black Rock. The 219-acre parcel is located along the north side of Mt. Aetna Road, east of Robinwood Drive. The property is currently zoned RT (Residential Transition). The Planning Commission approved the clustering provision for this development at its May 6th meeting. The developer is proposing 648 residential lots as follows: 336 single-family units, 76 Duplex Type 1 units, and 236 Duplex Type 2 units. Ms. Baker noted that in order to use the clustering provision, lot sizes have been reduced; however, the proposed uses are those permitted in the RT zoning district.

Discussion and Comments: Mr. Kline recommended that the developer discuss the viability of building on the lot that backs up to the Potomac Edison substation in case expansion of the substation is needed in the future.

Ms. Baker noted there is a proposed water tank to be located on the property to address water pressure issues in the area.

Mr. Goetz asked about access to the development. Ms. Baker stated there is access from Mt. Aetna Road and a secondary access through the Black Rock subdivision. She explained that the road going through the subdivision has a larger right-of-way and will be striped as the development progresses.

Ms. Baker noted that the Board of Education submitted a comment on this concept plan expressing interest in locating a school site in this area. Currently, the development is split in two different school districts.

SITE PLANS

Oliver Drive Retail Building [SP-23-047]

Ms. Wagner-Grillo presented for review and approval a site plan for a proposed retail building to be located at 13727 Oliver Drive. The 1.97-acre parcel is currently zoned HI/AP (Highway Interchange with Airport overlay). The developer is proposing a 9,600 sq. ft. retail building for the Maryland Wine House. The hours of operation will be 10 am to 9 pm, 7 days per week. Required parking is 50 spaces; 68 spaces will be provided. Eight employees per shift are proposed. A 60 sq. ft. pole mounted sign is proposed. Lighting will be pole mounted and building mounted; a photometric plan has been submitted. There will be daily deliveries. Water service will be provided by the City of Hagerstown; sewer service will be provided by Washington County. Solid waste will be collected in a dumpster and removed by a private hauler. Landscaping is proposed around the building and parking areas. Storm water management will be an underground facility. Forest Conservation requirements have been met by a payment-in-lieu of planting. All agency approvals have been received.

Motion and Vote: Mr. Semler made a motion to approve the site plan as presented. The motion was seconded by Commissioner Wagner and unanimously approved with Mr. Goetz abstaining from the vote.

CM Investments [SP-23-029]

Mr. Stotelmyer presented for review and approval a site plan for two 7,800 sq. ft. flex buildings to be constructed on an existing site located at 132 Old National Pike. Access to the property is provided from Old National Pike. Water and sewer services will be provided by the Town of Funkstown. Hours of operation will be 8 am to 8 pm. Lighting will be pole mounted and building mounted. Proposed signage will be building mounted. Required parking is 112 spaces; 114 spaces will be provided. Forest conservation requirements were previously addressed. All agency approvals have been received.

Motion and Vote: Mr. Semler made a motion to approve the site plan as presented. The motion was seconded by Mr. Goetz and unanimously approved.

Take 5 Oil [SP-23-031]

Mr. Stotelmyer presented for review and approval a site plan for a proposed 1,336 sq. ft. oil change facility to be located at 10306 Sharpsburg Pike. The property is currently zoned HI (Highway Interchange). There will be one access point from Sharpsburg Pike. Sewer service will be provided by Washington County; water service will be provided by the City of Hagerstown. Signage will be building mounted and pole mounted. The proposed sign does not meet the State Highway Administration's setbacks; therefore, the developer is requesting conditional approval of the site plan contingent upon the sign meeting all zoning requirements. Required parking is 7 spaces; 8 spaces will be provided. Hours of operation will be Monday thru Friday, 7 am to 7 pm, Saturday 8 am to 6 pm and Sunday 9 am to 5 pm. The site is exempt from Forest Conservation requirements. All agency approvals have been received.

Motion and Vote: Commissioner Wagner made a motion to approve the site plan contingent upon approval of the sign setbacks. The motion was seconded by Mr. Semler and unanimously approved.

OTHER BUSINESS

Update of Projects Initialized

Ms. Kinzer provided a written report for land development plan review projects initialized during the month of June which included two preliminary/final plats and three simplified plats.

<u>Proposed Text Amendment – Cannabis Facilities</u>

Ms. Baker and Ms. Shingleton presented a proposed text amendment to address recreational cannabis facilities in the County. These businesses will be treated as a retail use under the guidelines of the County's Zoning Ordinance. Ms. Baker explained that the proposed definitions are taken directly from State law. She stated there are three types of licenses:

- 1. Dispensaries retail sales; cannot grow or process cannabis
 - a. Standard Dispensaries large facilities (there will be 4 in the County) which operate a retail space that sells cannabis or cannabis products
 - b. Micro Dispensaries delivery only with no more than 10 employees
- 2. Processors take in raw product and create a value-added product
 - a. Standard Processor can process more than 1,000 lbs. of cannabis per year
 - b. Micro Processor can process no more than 1,000 lbs. of cannabis per year
- Growers there are both indoor and outdoor growers. Ms. Baker noted that the majority of growers use indoor facilities due to security requirements, such as security cameras, lighting, fencing, guards, etc.
 - a. Standard Grower grower operates more than 10,000 sq. ft. but less than 300,000 sq. ft. (indoor canopy)
 - b. Micro Grower grower does not grow more than 10,000 sq. ft. (indoor canopy)

Ms. Baker noted that outdoor growing is not listed in the proposed amendment because it is considered an agricultural crop.

Ms. Baker explained that Maryland State law dictates that a licensed dispensary may not locate within 500 feet of an existing primary or secondary school, a licensed childcare center or a registered family care home, recreational centers, libraries, public parks or places of worship. The law also states dispensaries may not be within 1000 feet of another dispensary.

Ms. Baker noted that in the proposed amendment, processing facilities would be considered a manufacturing use and would be permitted in the A(R), EC, P and RB zoning districts. After reviewing the proposed Table of Land Use Regulations, the Planning Commission decided to remove the Micro Dispensary as a Special Exception Use in the RV zoning district. Also, proposed in the amendment, a dispensary would be a permitted use in the BL, BG, HI and SED zoning districts. Processors are not included in the BL zoning district because this district is meant for small, neighborhood businesses. Processors would be permitted in the IR and IG zoning districts and a special exception use in the BG district. Following a discussion the Planning Commission recommends that processors should be a special exception use in the A(R) zoning district.

Comp Plan Update

Ms. Baker began discussions regarding the rural area land use designations. There are currently three land use designations in the rural areas of the County: Environmental Conservation (1 dwelling unit per 20 acres or 1:20), Agricultural Rural (1 dwelling unit per 5 acres or 1:5), and Preservation (1 dwelling unit per 30 acres or 1:30). Staff is considering eliminating the Preservation land use category and changing the Agricultural Rural category to 1:10 (1 dwelling unit per 10 acres). Ms. Baker reminded members that because the County has not adopted a septic tiers map, landowners are currently limited to a maximum of seven lots. Following a brief discussion, members asked staff to develop a different map showing the areas being discussed and bring the proposal back to the Commission at a later date.

UPCOMING MEETINGS

1. September 9, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

ADJOURNMENT

Mr. Goetz made a motion to adjourn the meeting at 7:45 p.m. The motion was seconded by Mr. Semler and so ordered by Mr. Kline.

Respectfully submitted,	
David Kline, Vice-Chairman	

PRELIMINARY CONSULTATION PC-24-005 – Beryl Wieland Age Restricted Residential Concept

A preliminary consultation was held on July 9, 2024 at 11:00 a.m. at the Washington County Administrative Annex, 747 Northern Avenue, Conference Room 124, Hagerstown, MD. A concept plan was presented for the proposed new construction of 52 semi-detached dwelling units on 12.85 acres. The property is located at 1230 Mt. Aetna Road and is currently zoned RS (Residential Suburban).

The following were in attendance: Washington County Department of Planning & Zoning: Misty Wagner-Grillo, Planner; Adam Tressler, GIS Technician; Travis Allen, Senior Planner; Meghan Jenkins, GIS Coordinator and staff to the Historic District Commission; and Debra Eckard, Office Manager; Washington County Division of Engineering: Rebecca Calimer, Chief of Plan Review and Heather Williams, Senior Plan Reviewer and Flood Plain Manager; State Highway Administration: Chris Reed, District 6, Access Permits; Fred Fredericks, Frederick, Seibert & Associates, engineer/consultant; and Doug Karn, Berkshire Hathaway Realty.

Department of Planning & Zoning

Ms. Wagner-Grillo stated that a HOA will be required for maintenance of the open spaces. She asked what type of open spaces are planned. Mr. Karn stated the open spaces will be kept simple and would probably include walking trails. Ms. Wagner-Grillo noted that sidewalks and screening are recommended. She asked if any signage is proposed. Mr. Frederick believes there will be a small sign at the entrance.

Forest Conservation

Mr. Allen noted there are no plans at this time for forest easements. For high-density residential projects such as this one, a portion of the forest conservation requirements should be accomplished on-site if at all possible. Street trees offer one option of accomplishing mitigation on-site if there isn't room for a larger forest easement. Mr. Frederick stated there is no existing forest on the site; however, a portion of the on-site forest conservation would be accomplished using street trees and in a 35-foot screening buffer around the perimeter. The remaining mitigation would be met using the payment-in-lieu of planting option. Mr. Allen stated that the landscaping for the buffering must be on a separate parcel and not on the back of individual lots.

Washington County Historic District Commission

Ms. Jenkins explained there is a historic structure on the property that is listed on the Washington County Inventory as well as the Maryland Inventory of Historic Places. Documentation suggests this structure is pre-Civil War or of the Civil War era. The HDC would recommend that alternatives to demolition of the structure should be explored, including site integration. Alternatives are listed in the Design Guidelines found on the County's website. If the site design cannot accommodate retention of the structure, the HDC recommends updated documentation because of the structure's age. It is also recommended that a Phase I archaeological study be completed. Justification for non-retention of the structure will be required if it is to be demolished. The HDC prefers that the project goes through the site plan process prior to applying for a demolition permit.

Division of Engineering

Ms. Calimer stated that the stub off of North Colonial Drive does not show up as part of the County's road network; however, the Real Property Administrator is researching the issue. Mr. Frederick believes the road is shown on a plat with an offer of dedication, but he is not sure if the road was accepted by the County. It appears that the existing apartment building has an easement/right-of-way per Liber 6794, Folio 254 where residents are currently parking. Mr. Frederick asked what would happen if the development were approved. Ms. Calimer stated if the County owns the roadway, this issue will need to be resolved appropriately.

Ms. Calimer explained that the proposed number of lots will exceed the Highway Adequacy policy exemption; therefore, a traffic study will be required. The traffic engineer may submit the scope of work to the County; the County will coordinate with the State Highway Administration. Ms. Calimer noted that storm water management areas are being reserved; however, a separate ESD storm water concept plan must be submitted and approved prior to submission of a preliminary plat. Sidewalks must follow ADA and accessibility requirements and will be owned and maintained by the HOA; a note will be required on the plat. Ms. Calimer expressed concern with the bulbed cul-de-sac on the turn at proposed Lots 13 thru 18 and recommends a different design, such as a mini roundabout. Mr. Frederick asked if a T-intersection would be acceptable and Ms. Calimer stated it would be. Mr. Frederick stated there is only one access to the development; however, the developer owns a narrow strip of land that goes to Mt. Aetna Road. This will be used as an emergency access only.

State Highway Administration

Mr. Reed agreed that a traffic study will be required.

<u>Addressing</u>

Mr. Tresler noted addresses will be assigned during the site plan phase. Birch Knoll Road will be extended into the development. The two cul-de-sacs will need to be named. Mr. Tresler asked if the emergency access from Mt. Aetna Road will be gated. Mr. Frederick stated that a gate could be installed and a knock box provided for emergency services. Mr. Tresler explained if the access is gated and not for public use, the road will not need to be named. There is a prohibitive names list and a roads name list that should be followed when choosing road names. A total of six road names will be required.

Washington County Health Department

A representative was not present at the meeting; however, the following written comment was submitted.

Water and sewer allocation forms will be required.

Washington County Soil Conservation District

A representative was not present at the meeting; however, the following written comment was submitted.

• A copy of the soils map, from the hard copy and/or digitized version of the Soil Survey, with boundaries clearly delineated must be provided (the Web Soil Survey does not have an accurate stream layer). Evaluate any streams and/or drainage ways, sinkholes, steep slopes, etc. and provide any and all required documentation. If buffers are required, please incorporate them into your design and include it with your next submission. Please ensure any required buffers are shown on the Soil Erosion and Sediment Control Plan, particularly if affected by the proposed project and/or are within close proximity to the project area.

Washington County Department of Water Quality

A representative was not present at the meeting and no written comments have been received.

<u>City of Hagerstown Water and Sewer Department</u>

A representative was not present at the meeting; however, the following written comments were submitted.

• City water is available and may be extended from the existing mains in Colonial Drive and Birch Knoll Road. A pre-annexation agreement will be required for water service.

- Water and wastewater allocation may not be available until issues with the Health Department regarding allocation outside city boundaries have been resolved.
- Gravity sewer service can be extended from the existing stub in Birch Knoll Road assuming grades permit.

Discussion and Comments: Mr. Frederick asked what the priority designation for water and sewer is for the property. Ms. Jenkins stated the property is currently in priority designation W-1/S-1. Mr. Frederick asked if the development is in the sewer service area of the County or the City. Ms. Wagner-Grillo stated it is in the City.

Closing Comments

All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

Misty Wagner-Grillo
Washington County Department of Planning &
Zoning

MAWG/dse

Beryl Wieland Age Restricted Residential Concept Plan- Option A Washington County, Maryland June 2024 / Job# 7772.1 -VICINITY MAP-**CONCEPT NOTES** 1. THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE. 2. NO FIELD SURVEYING HAS BEEN COMPLETED FOR THIS CONCEPT PLAN. ALL BASE INFORMATION IS COMPRISED OF GIS INFORMATION 4. NO GRADING OR ENGINEERING HAS BEEN COMPLETED AS PART OF THIS SCOPE. 5. STORMWATER MANAGEMENT IS CONCEPTUAL IN SIZE AND LOCATION. 6. ALL PROPOSED ACCESS POINTS AND DRIVEWAYS MUST BE REVIEWED AND APPROVED BY THE REVIEWING AGENCIES AND SUBJECT TO CHANGE **ZONING DATA** RS (WASHINGTON COUNTY) **SETBACKS** MINIMUM LOT WIDTH 12,500 SF 6,250 SF MINIMUM LOT AREA PER D/U **CONCEPT DATA** 12.85 ACRES ±
RESIDENTIAL- DUPLEX UNITS PROJECT AREA PROPOSED DEVELOPMENT ASSUMED BUILDING FOOTPRINT 25' X 65' OR 30' X 55' 52 UNITS PROPOSED DUPLEX UNITS SWM POND LANDSCAPE SCREENING **OPPORTUNITIES** LANDSCAPE SCREENING **OPPORTUNITIES** 52 51 EXISTING 60' ROW PER L. 6794 F. 254 13 14 SWM POND PROPOSED EMERGENCY DRIVE TO ACCESS MT. AETNA ROAD TO THE SOUTH



ORDINANCE MODIFICATION STAFF REPORT

	BASE INFORMATION
SITE NAME:	Exline Rd - Ordinance Modification
NUMBER:	OM-24-007
OWNER:	GORDON SANDRA K
LOCATION:	
DESCRIPTION:	Approval to create a lot w/o public road frontage. Existing lot created as a lot "not for development."
ZONING::	Environmental Conservation
COMP PLAN LU:	Environmental Conservation
PARCEL:	05021561
PLANNING SECTOR:	6
ELECTION DISTRICT:	05
ТҮРЕ:	
GROSS ACRES:	10
DWELLING UNITS:	
TOTAL LOTS:	1
DENSITY:	N/L Units Per Acre
PLANNER:	Misty Wagner-Grillo
ENGINEER:	NO CONSULTANT LLC
RECEIVED:	August 8, 2024
	SITE ENGINEERING

211E	ENGII	NEEKII	NG

HYDROGRAPHY, SENSITIVE	& ENVIRONMENTAL INFORMATION
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FLOOD ZONE.....: No **WETLANDS.....:** None

WATERSHED...... Potomac River AL Cnty

ENDANGERED SPECIES...... None

METHOD....:

HISTORIC INVENTORY.....: No Resources Present

HISTORIC INVENTORY	No Resources Present		
EASEMENTS PRESENT:	None		
	SCHOOL INFORMA	TION	
Staff Comments:	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT Not Applicable PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY	Hancock	Hancock	Hancock
	PUBLIC FACILITIES INFO	RMATION	
FIRE DISTRICT:	Hancock		
AMBULANCE DISTRICT:	Hancock		
	WATER & SEWER INFOR	RMATION	
	WATER		SEWER

Well/Cistern

Septic Tank



SERVICE AREA:	Well	Septic
PRIORITY:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS:		
GALLONS PER DAY SEWAGE:		
PLANT INFO:		None



DEPARTMENT OF PLANNING & ZONING PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

WASHINGTON COUNTY PLANNING COMMISSION APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT		
NAME Sandra McCos	/	
MAILING ADDRESS 17 Brent	St. Hancock	MD 21750
TELEPHONE (301) 707 #	#4660 (work)	(cell)
PROPERTY OWNER		
NAME Sandra McCoy		
NAME Sandra McCoy MAILING ADDRESS 17 Brent	St. Hangock	MO 21750
TELEPHONE (301) 707-46 (home)	60 (work)	(cell)
CONSULTANT		
NAME	=	
ADDRESS		
TELEPHONE		
DESCRIPTION OF PROPERTY		
TAX ACCOUNT ID # (Required) <u>05 02</u>	156)	
PARCEL REFERENCE: MAR(0) 5	GRID 0023 PARCEL	0075
PROPOSED LOT ACREAGE 10.00	TOTAL SITE ACREAGE	10.00
ZONING DISTRICT <u>FC</u>	ROAD FRONTAGE (FT)	Ö
7/22/22		Page 1 of 6

747 Northern Avenue | Hagerstown, MD 21742 | 15 240.313.2430 | 17 240.313.2431 | TDD: 7-1-1

Exline Rd Hancock MD 21750
10,00 Acres w of Woodmont Road
EXISTING AND PROPOSED USE OF PROPERTY Currenty Vacant land
Proposed use is single family home to be built
LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER
SUBDIVISION MODIFICATION INFORMATION
MODIFICATION TO SUBDIVISION ORDINANCE SECTION 405.11, B
MODIFICATION IS TO ALLOW The property to be built on
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other Property is not served by a County or State Rd., its was is a private road. We need approved to the Allow development on lot without public road frontage.
(Attach additional sheets if necessary)

In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access rights-of-way or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

Sandra Mª Coy	8-6-2024
Applicant's Signature	Date
SandraMª Con	8-6-2024
Property Owner's Signature	Date
STAFF USE ONLY:	
STAFF PLANNER:	DATE RECEIVED:
NUMBER:	
MEETING DATE:	

To the best of my knowledge, the information provided in this application and other material

submitted is correct.

PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE STANDARDS OF THE SUBDIVISION ORDINANCE

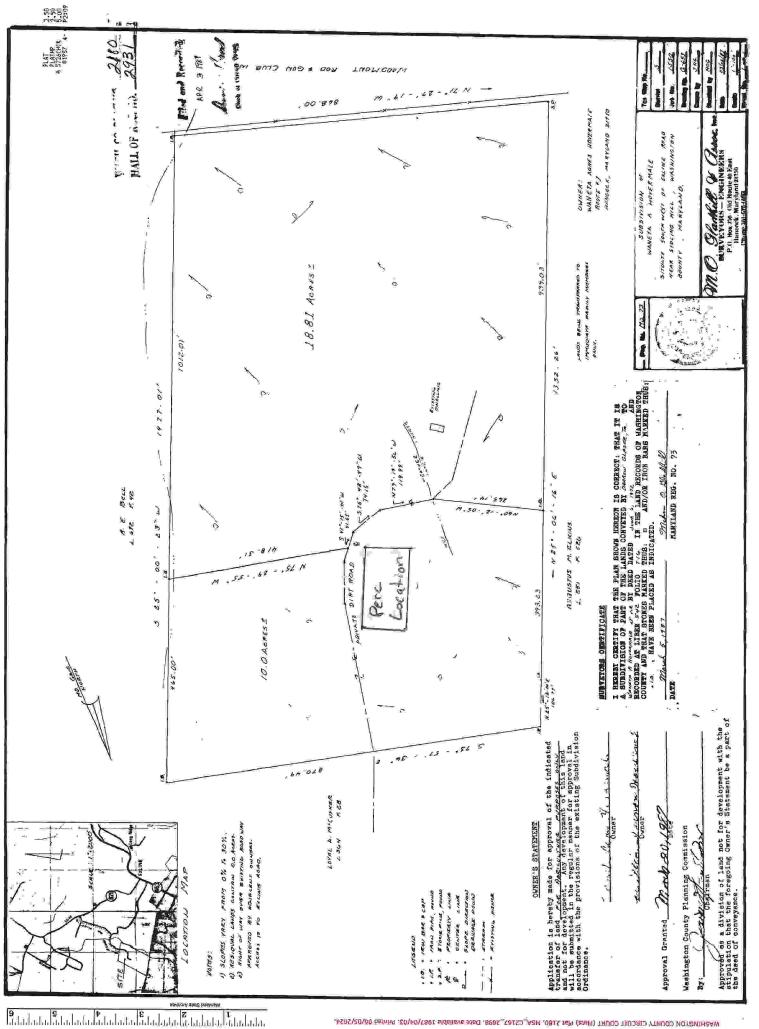
- 1. Modification request applications shall be filed with the Washington County Department of Planning & Zoning, Washington County Administrative Annex, 747 Northern Avenue, Hagerstown, Maryland 21742, Phone: 240-313-2430, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed from the following: https://www.washco-md.net/wp-content/uploads/planrev-AppSubdOrdMods.pdf. A Filing fee of \$115.00 dollars should be submitted when no engineering / outside agency review is required. A filing fee of \$265.00 is required when multiple agency review is necessary, and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.
- 2. The Planning Commission meets on a monthly basis on the second floor of the County Administration Building, 100 West Washington Street, Room 2000, Hagerstown, Maryland. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.
- 3. Upon receipt of the modification application, the Planning & Zoning Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.
- 4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):
 - (a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.
 - (b) The hardship is not the result of the applicant's own actions that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.
 - (c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.
 - (d) That the modification is to correct inequities resulting from a physical hardship such as topography.
 - (e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.

- 5. The Director of the Department of Planning & Zoning shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:
 - (a) Where it is impractical to dedicate the full right-of-way required by Washington County Plan Review or State Highway Administration are satisfied with the acquired right-of-way.
 - (b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.
 - (c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Planning & Zoning and/or State Highway; and have no negative impact on neighboring properties.
 - (d) Panhandle Length based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.
 - (e) Public Road Frontage Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by County Planning & Zoning and/or State Highway Administration. There is no negative impact on neighboring properties.
 - (f) The Director of the Department of Planning & Zoning shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.
- 6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.
- 7. Appeal by any person aggrieved from any action of the Planning Commission or the Director of the Department of Planning & Zoning shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 Subdivision Ordinance). You may contact the Board of Appeals at the County Administrative Annex, 747 Northern Avenue, Hagerstown, Maryland 21742; Phone: 240-313-2430; https://www.washcomd.net/planning-zoning/zoning-appeals/.

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
		A complete Application Form, signed by the applicant, property owner and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist .
		A filing fee of \$115.00 when no Engineering or outside agency review Is required. A fee of \$265.00 is required when multiple agency reviews are required. Make check payable to: Washington County Treasurer. Include fee worksheet.
		Twelve (12) sketch plans, drawn to scale, showing:
		a. dimensions & shape of proposed lot with acreage;
		b. size & location of existing and/or future structures;
		 c. existing/proposed roadways and associated access right of way or easements;
×		d. existing/proposed entrance/exit to property;
-		e. natural or topographic peculiarities of the lot in question.
	·	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.



RECEIVED FOR RECORD

June 18,

, 1987 at 3:12 o'clock P M, Liber 848

1987, by WANETA A. HOVERMALE and WILLIAM V. HOVERMALE, her husband, of Washington County, State of Maryland,

WITNESSETS: That for and in consideration of the sum of SEVEN THOUSAND (\$7,000.00) DOLLARS, the receipt of which is hereby acknowledged, We, the said Waneta A. Hovermale and William V. Hovermale, her husband, do hereby grant and convey unto SANDRA K. GORDON, all that tract or parcel of unimproved land situate approximately 1/2 mile Southwest of Exline Road and 3/5 of a mile West of Exline in Election District No. 5 of Washington County, Maryland and being more particularly described, in accordance with a survey made and description prepared by M. O. Gladhill, Surveyor, as follows:

BEGINNING at an iron pipe, found, at a common corner with the lands of Augustus M. Elkins (Liber 251, folio 526), Loyal A. McCusker (Liber 364, folio 28) and this Tract and running thence with the lands of said McCusker, South 73° 57' 36" East 870.49 feet crossing a private dirt road at the end of 390 feet, more or less, to an iron bar, found, thence with the lands of R. E. Bell (Liber 692, folio 42), South 25° 00' 23" West 465.00 feet to an iron bar/cap, set thence with new lines of division, North 75° 29' 55" West 418.31 feet to an iron bar set in the aforementioned dirt road, thence with the center of said road, South 41° 15' 01" West 41.65 feet to a spike, thence South 75° 48' 49" West 74.15 feet to a spike, thence North 79° 19' 56" West 119.99 feet to a spike, thence leaving said road 12' 05" West 265.14 feet to an iron bar set on the North 60° Eastern boundary of the Elkins lands, thence with it North 25° 06' 16" East 393.23 feet to an iron pipe and stones, found, thence North 25° 12' 00" East 106.77 feet to the place of beginning; Containing 10.0 acres of land, more or less; and BEING a part of the same lands conveyed from Darrow Glaser, Trustee, to Waneta A. Hovermale and William V. Hovermale, her husband, by Deed dated June 6, 1972 and recorded at Liber 542, folio 715 among the Land Records of Washington County, Maryland.

Together with a right of way, approved by adjacent land owners, over an existing private dirt road leading from Exline Road to the above described property.

The above subdivision was approved for the indicated transfer of land for agricultural purposes only, and not for development. Any development of this land will be submitted in the regular manner for approval in accordance with the provisions of the existing Subdivision Ordinance.

The above described property being shown on the Plat of the Subdivision of Waneta A. Hovermale dated March 3, 1987 and filed on April 3, 1987 at Plat folio 2180 among the Plat Records for Washington County, Maryland; said plat being approved by the Washington County Planning Commission on March 20, 1987.

The above property is conveyed subject to any of the conditions, restrictions, limitations, easements and/or rights

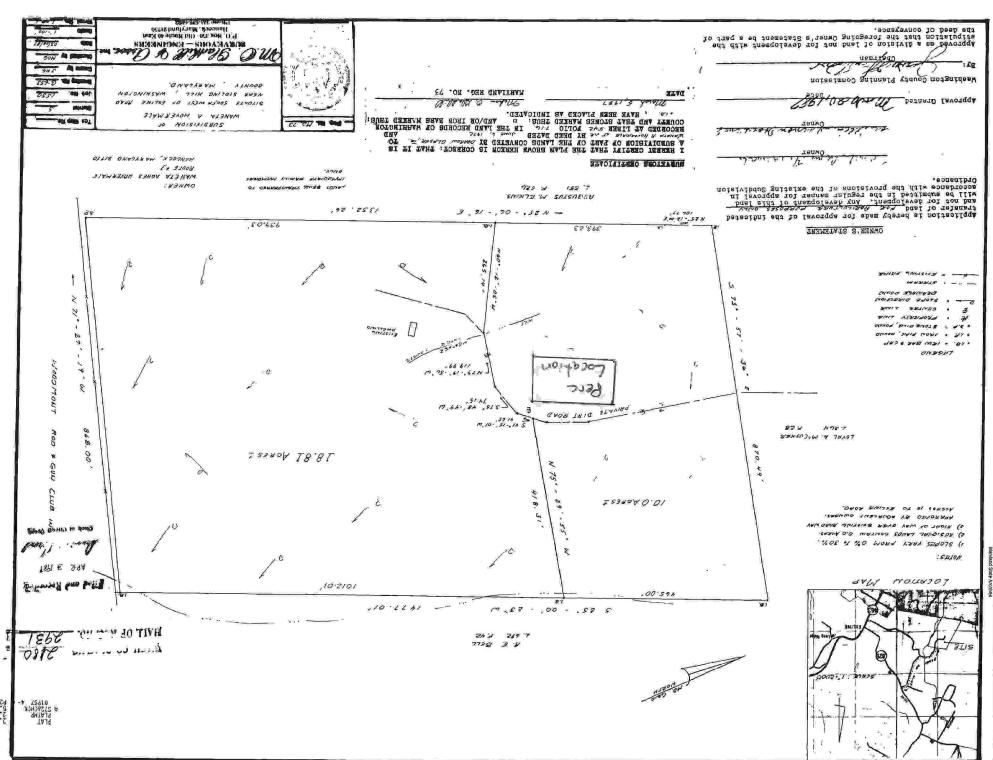
Mail to: Mrs. Sandra K. Gordon Rt. 1, Box 116, Exline Road Hancock, Md. 21750

MANUE JUL 8 1987

R POOLE, P.A.

RNEYS AT LAW
HARRSTOWN TRUST BUILDING
BY YEST WASHINGTON STREET
HABERSTOWN, MD 21740

RECORD 13.00 RECTAX 30.80 TRYAX 35.00 HNDFEE 50 SPIL 79.30 A 5792CHCK 79.30 01987 6-18 P3.10



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WASHINGTON COUNTY CIRCUIT COURT (Flats) Plat 2180, MSA_C2167.

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME....: Saint James School Dormitory

NUMBER....: SP-23-015

OWNER....: ST JAMES SCHOOL TRUSTEES OF

LOCATION....: 17626 COLLEGE Road Hagerstown, MD 21740

DESCRIPTION....: Proposed construction of a new Dormitory.

ZONING....: Agricultural, Rural

COMP PLAN LU....: Agriculture PARCEL....: 02021331

PLANNING SECTOR..... **ELECTION DISTRICT.....** 02

TYPE.....: Institutional

GROSS ACRES.....: DWELLING UNITS..... 0 TOTAL LOTS.....: 0

DENSITY....: 0 Units Per Acre

PLANNER....: Scott A Stotelmyer ENGINEER....: TRIAD ENGINEERING

RECEIVED....: May 8, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No WETLANDS.....: None WATERSHED....: Marsh Run **ENDANGERED SPECIES.....** State Listed

HISTORIC INVENTORY:	No Resources Present	
EASEMENTS PRESENT:	None	
	SITE DESIGN	
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Staff Comments:		
Not Appin Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		

Not Fast Track

Parking Spaces - Total Planned Parking Spaces - Per Dwelling Unit Recreational Parking Provided Parking Spaces - Minimum Required



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SCHOOL INFORMATION							
	ELEMENTARY	MIDDLE	HIGH				
SCHOOL DISTRICT PUPIL YIELD CURRENT ENROLLMENT MAXIMUM CAPACITY	Rockland Woods	Springfield	Williamsport				
	PUBLIC FACILITIES INFO	RMATION					
FIRE DISTRICT	FAIRPLAY WILLIAMSPORT						
	WATER & SEWER INFOR	RMATION					
	WATER		SEWER				
METHOD:	Private		County				
SERVICE AREA:	Private		County				
PRIORITY: NEW HYDRANTS: GALLONS PER DAY SEWAGE:	1-Existing Service	ce	1-Existing Service				
PLANT INFO:			St. James School				

SAINT JAMES SCHOOL - DORMITORY

MAP LOCATION A-CLAGGETT HALL

F-LAIDLAW INFIRMARY

I-GIRL'S DORMITORY J-DINING HALL

M-FOOTBALL FIELD N-DORMITORY O-STAFF HOUSING P-HERSHEY HALL

K-TREATMENT FACILITY

Q-JOHN ROSS FULTON HOUSE R-EXISTING TENNIS COURTS S-EXISTING BASEBALL FIELD T-ART CENTER (PROPOSED)

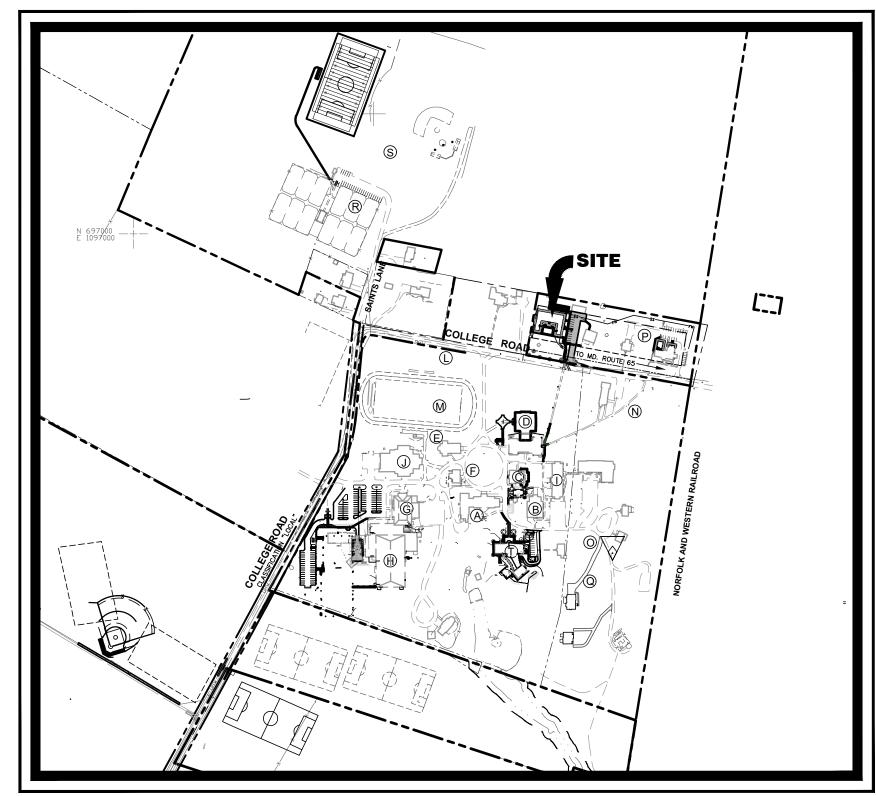
C-KEMP HALL **D-POWELL HALL** E-CHAPEL

L-TRACK

B-JOHN E. OWENS LIBRARY

G-BOW-BYRON FINE ARTS CENTER H-ALUMNI HALL (FIELD HOUSE)

LOCATION MAP:

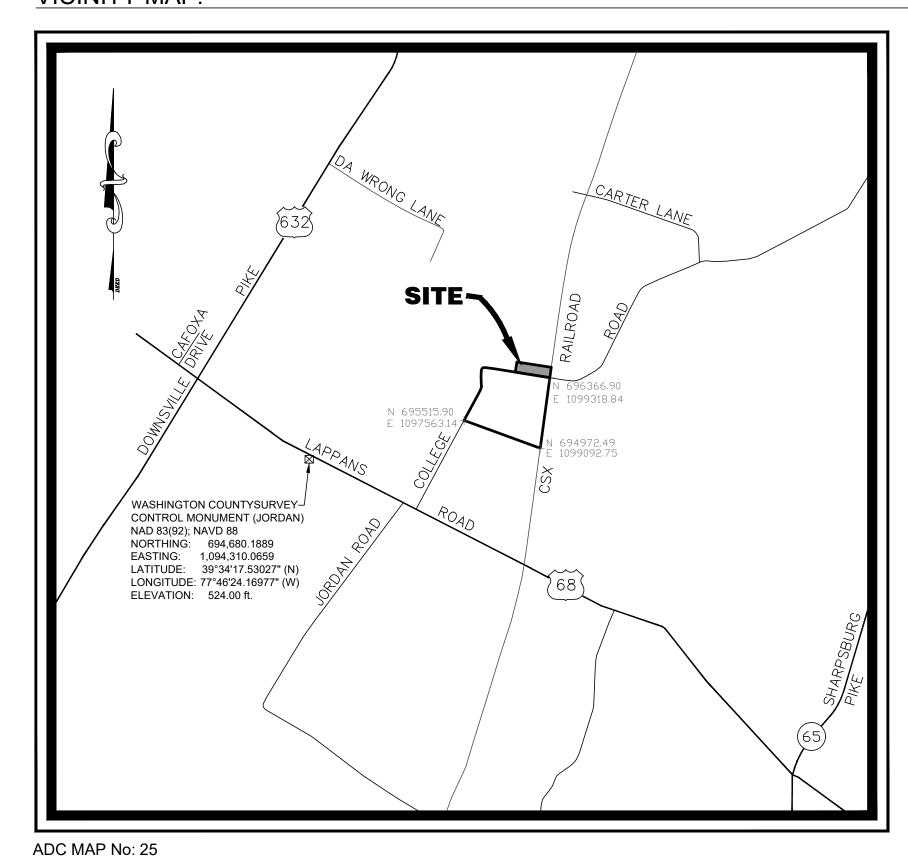


SCALE: 1" = 400'

VICINITY MAP:

GRID:4J

SCALE:1"=2,000'



SITE DATA:

TYPE OF USAGE:	INSTITUTIONAL
ACREAGE PER DEED:	4 ACRES
ZONING:	AR - AGRICULTURAL (RURAL)
PHYSICAL ADDRESS:	17626 COLLEGE ROAD HAGERSTOWN, MD. 21740
PURPOSE OF PLAN:	NEW DORMITORY
STORMWATER QUALITY:	ESD MICRO SCALE PRACTICE
STORMWATER QUANTITY:	HANDLED ON-SITE
EXCISE TAX CLASSIFICATION:	N/A
LIMITS OF DISTURBANCE:	1.01 ACRES

PROJECT CONTACTS:

WNER:	SAINT JAMES SCHOOL, INC.
AILING ADDRESS-	17641 COLLEGE ROAD
	SAINT JAMES, MD 21740
HONE NUMBER-	301-733-9330 EXT. 3014
ONTACT-	BILL WIVELL
	BUSINESS MANAGER

SITE :	SAINT JAMES SCHOOL
ADDRESS-	17632 COLLEGE ROAD
	HAGERSTOWN, MD 2174
PHONE NUMBER-	301-733-9330 EXT. 3014
CONTACT-	BILL WIVELL

BUSINESS MANAGER

CERTIFICATIONS:

OWNER/DEVELOPER	S'S CERTIFICATION		OWNER/DEVELOPER'S CERTIFICATION
DEVELOPMENT WILL STORMWATER MANA	BE DONE PURSUANT TO THIS AGEMENT ORDINANCE OF WAS SUBDIVISION INFRASTRUCTUI	DING, CONSTRUCTION AND/OR S PLAN AND IN ACCORDANCE WITH THE SHINGTON COUNTY AND THE POLICY ON RE FOR ACCEPTANCE AND OWNERSHIP	I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL; BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.
3\(S\2\	WILLIAM WIVELL PRINTED NAME	SIGNATURE	3/(S/24 WILLIAM WIVELL SIGNATURE SIGNATURE
			WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL STAMP HERE
ENGINEERIS STOR			
I VERIFY AND AFFI MANAGEMENT FACI REQUIREMENTS AN AND REFERENCED GOOD CONSTRUCT THE CONSTRUCTIO THAT IT HAS BEEN I AND AT A LEVEL DE AND ALL DISCREPA	STANDARDS, AND HAS BEEN OF STANDARDS, AND HAS BEEN OF STANDARDS VERIFORD TO STANDARDS VERIFORD TO SENTE TO ASSURT OF SETWEEN THE AS-BUILD STANDARDS VERIFORD V	N FOR THE STORMWATER	THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 1.01 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 200 CUBIC YARDS OF EXCAVATION AND 2,500 CUBIC YARDS OF FILL. NOTES: 1. THE QUANTITIES SHOWN ARE APPROXIMATE AND SHOULD NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES. 2. ALL FILL MUST COME FROM A SITE WITH AN APPROVED AND UPDATED EROSION AND SEDIMENT CONTROL PLAN, AS WELL AS AN UPDATED N.P.D.E.S. PERMIT, WHERE APPLICABLE. 3. ALL SPOIL MUST GO TO A SITE WITH AN APPROVED AND UPDATED EROSION AND
SIGNATURE	DATE	SEAL	SEDIMENT CONTROL PLAN, AS WELL AS AN UPDATED N.P.D.E.S. PERMIT, WHERE APPLICABLE.
I HEREBY CERTIFY T DESIGNED IN ACCOR	RDANCE WITH LOCAL ORDINAL	AND SEDIMENT CONTROL HAS BEEN NCES, COMAR 26.17.01.07, MARYLAND SION AND SEDIMENT CONTROL. SIGNATURE	UTILITY NOTIFICATION THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. THE LAW REQUIRES PRIOR TO EXCAVATION THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777
THIS APPROVAL IS IN DESIGN AND LAYOU EXTENSIONS. ALL SO CONSTRUCTED IN S	FOR GENERAL CONFORMANCE WIT TOF PROPOSED SEWER AND/OR EWER AND/OR WATER SYSTEM IN TRICT ACCORDANCE WITH THE CO ATIONS FOR CONSTRUCTION OF	THENT OF WATER QUALITY TH THE COUNTY'S REQUIREMENTS FOR R WATER SYSTEM IMPROVEMENTS OR MPROVEMENTS OR EXTENSIONS SHALL BE OUNTY'S LATEST EDITION OF THE SANITARY SEWERS AND/OR WATER LINES. OF SEWER AND/OR WATER SERVICE.	FINAL SITE PLAN APPROVAL BLOCK

SHEET INDEX:

1. COVER SHEET	C.1.0
2. LEGEND & GENERAL SITE NOTES	C.1.1
3. ESD-EXISTING CONDITIONS AND SITE RESOURCE MAPPING	C.2.0
4. ESD-SITE FINGERPRINTING & DEVELOPMENT LAYOUT/ LOCATION OF ESD PRACTICES	
5. SITE PLAN	
6. SITE DETAILS	
7. LANDSCAPE PLAN & DETAILS	
8. EROSION & SEDIMENT CONTROL AND GRADING PLAN	C.6.0
9. EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C.6.1
10. STORMWATER MANAGEMENT PLAN - FILTERRA BOXES (ESD)	
11. STORMWATER MANAGEMENT NOTES AND DETAILS	
12. STORM DRAIN PLAN & PROFILE, NOTES AND DETAILS	
13. STORM DRAIN DETAILS	C.8.1
14. SITE LIGHTING PLAN	E-1.5
15. SITE PHOTOMETRIC LIGHTING PLAN	E-1.6

STORMWATER MANAGEMENT SUMMARY TABLE PROJECT NAME: SAINT JAMES SCHOOL - DORMITORY COUNTY PROJECT No. (SP,PP,GP): SP-23-015 ESD PRACTICES (CHAPTER 5 -STRUCTURAL & NON-STRUCTURAL)

TYPE	No.	DA (ACRES) (TO STRUCTURE)	IMPERVIOUS DA (acres) (TO STRUCTURE)	RCN	ESDv (c.f. / ac-ft)	WQv(ac-ft)	CPv(ac-ft)	CPv(cfs) (DISCHARGE)	Rev (ac-ft)	PE ADDRESSED (IN)
N-1	1	0.017	0.017	55	59/0.001	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	1.0
N-2	1	0.075	0.075	55	259/0.006	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	1.0
M-6	1	0.15	0.09	55	533/0.012	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	1.7
M-6	2	0.09	0.09	55	838/0.019	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	2.7
M-6	3	0.09	0.09	55	838/0.019	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	2.7
M-6	4	0.13	0.09	55	611/0.014	-	PROVIDED W / ESD	PROVIDED W / ESD	PROVIDED W / ESD	1.9

TOTAL DA (SITE)	1.01 ACR	ES	
CONSTRUCTION TYPE (CIRCLE ONE)	NEW	REDEVELOPMENT	RESTORATION

The required Environmental Site Design (ESD) and Stormwater Management for this project are being accounted for by the ESD Practice BMPS N-1 Disconnection of Rooftop Runoff, N-2 Disconnection of Non-Rooftop Runoff AND M-6 Micro-Bioretention Areas per Revised Chapter 5 of the 2000 Maryland Stormwater Management Ordinance. Computations indicate the no change in the Pre-Post Development Peak Storms through reduced RCN. See these plan and the supplemental "Final SWM and Erosion Sediment Control Design Report" for all supporting information.

STANDARD NOTES:

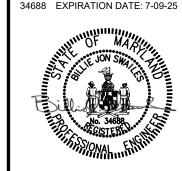
WASHINGTON COUNTY STANDARD GENERAL NOTES FOR SITE PLANS

- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- THE STORMWATER SYSTEM AND PUBLIC ROAD SYSTEM SHOWN ON THIS PLAN IS AN APPROXIMATION OF ITS ULTIMATE SIZE AND SHAPE. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN DESIGNED AND ITS SIZE AND SHAPE MAY CHANGE ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS DEVELOPMENT.
- THE DEVELOPER AGREEMENT FOR ROADS AND/OR STORMWATER MANAGEMENT SHALL BE EXECUTED BEFORE THE GRADING PERMIT CAN BE ISSUED FOR THIS DEVELOPMENT. THE COST ESTIMATE FOR ROADS, DRAINAGE AND STORMWATER MANAGEMENT SHALL BE SUBMITTED TO THE WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS - ENGINEERING AND CONSTRUCTION PRIOR TO GRADING PERMIT APPLICATION.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A "NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" (N.O.I.). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (M.D.E.). THE N.O.I. IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO M.D.E. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY CAN PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER. NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY
- THIS PROJECT WILL REQUIRE A THIRD PARTY QUALIFIED PROFESSIONAL TO BE PRESENT AT THE PRECONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND
- STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES" DATED OCTOBER 17, 2008. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF PUBLIC WORKS.

FIRE DEPARTMENT NOTICE

- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH N.F.P.A. 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF N.F.P.A. 1, UNIFORMED FIRE CODE.
- NO OPEN AIR BURNING IS PERMITTED A PERMIT IS REQUIRED FROM THE HAGERSTOWN FIRE MARSHALL'S OFFICE, 25 WEST CHURCH
- STREET, HAGERSTOWN, BEFORE PERFORMING BLASTING OPERATIONS.
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ALL BUILDINGS.

OCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A ULY LICENSED PROFESSIONAL NGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.



www.triadeng.com SHEET NUMBER:

SP-23-015 JOB NO.: 03-22-0521

LEGEND PROPERTY LINE EXISTING WATER VALVE EXISTING HYDRANT ----GAS EXISTING GAS LINE EXISTING WATERLINE —×—×—×—×— EXISTING FENCELINE —————— EXISTING EDGE OF PAVEMENT EXISTING EDGE OF GRAVEL ---- EXISTING EDGE OF CONCRETE ---- EXISTING BUILDING STRUCTURE EXISTING TREE LINE TYPICAL SOIL TYPE DESIGNATION SOIL TYPE BOUNDARY EXISTING UTILITY POLE EXISTING OVERHEAD UTILITY PROPOSED EDGE OF PAVEMENT **CONVENTIONAL PAVEMENT** LIMITS OF DISTURBANCE LIMITS OF DISTURBANCE/SUPER SILT FENCE SILT FENCE

STONE CONSTRUCTION ENTRANCE

PROJECT NOTES:

- 1. NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY TRIAD ENGINEERING, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK, OR OTHER
- NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- 2. EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM NUMEROUS SOURCES INCLUDING, BUT NOT LIMITED TO PROPERTY OWNER, UTILITY OWNER, PAST SITE PLANS AND DRAWINGS AND LOCATION OF SURFACE FEATURES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND ANY OTHER UTILITY AND SUBSURFACE INVESTIGATIVE SERVICES AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- 3. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S)
- 4. THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DESCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY FOR WORK WITHIN TOWN RIGHT-OF-WAYS.
- 6. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- 7. TRIAD ENGINEERING, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- 8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 9. NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND
- 10. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER TO OBTAIN ALL NECESSARY EASEMENTS AND/OR RIGHT OF WAYS NECESSARY IN ORDER TO COMPLETE THE PROJECT SHOWN ON THESE PLANS. TRIAD ENGINEERING, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY ASSOCIATED WITH THE ACQUIRING OF OFFSITE EASMENTS AND RIGHT OF WAYS.
- 11. SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD/SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR
- MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS. 12. IF A STORMWATER MANAGEMENT STRUCTURE IS PRESENT ON THIS SITE, CONSTRUCTION INSPECTION AND ASBUILT CERTIFICATION OF THIS STRUCTURE OR STRUCTURES BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED. IT SHALL BE THE RESPONSIBILTY OF THE CONTRACTOR TO NOTIFY THE INSPECTING ENGINEER PRIOR TO THE START OF CONSTRUCTION IN ORDER TO DETERMINE WHEN INSPECTIONS WILL BE REQUIRED. IT SHALL ALSO BE THE RESPONSIBILTY OF THE CONTRACTOR TO NOTIFY THE ENGINEER WHEN THE STRUCTURE HAS BEEN COMPLETED AND STABILIZED IN ORDER THAT THE ASBUILT SURVEY MAY BE PERFORMED. STABILIZATION IS DEFINED AS HAVING A STAND OF GRASS OR OTHER SUITABLE VEGETATIVE COVER AS SPECIFIED ON THESE PLANS.
- 13. FINAL APPROVAL OF A STORMWATER MANAGEMENT STRUCTURE MUST BE GRANTED BY THE APPROPRIATE GOVERNMENT AGENCY/AGENCIES. APPROVAL BY THE INSPECTING ENGINEER DOES NOT GUARANTEE THAT ADDITIONAL WORK WILL NOT HAVE TO BE PERFORMED ON A STORMWATER MANAGEMENT STRUCTURE IN ORDER FOR IT TO COMPLY WITH THE STANDARDS OF THE GOVERNMENT AGENCY OR AGENCIES THAT ARE RESPONSIBLE FOR APPROVING THE STRUCTURE. TRIAD ENGINEERING, INC., ITS PERSONNEL AND ITS SUBCONTRACTORS WILL NOT BE LIABLE FOR ANY ADDITIONAL WORK ASSOCIATED WITH A STORMWATER MANAGEMENT STRUCTURE IN ORDER TO HAVE IT CONFORM TO NECESSARY STANDARDS.
- 14. ALL SPECIFICATIONS SHOWN HEREIN SHALL BE USED AND LOCAL, STATE AND FEDERAL SPECIFICATIONS SHALL BE MINIMUM STANDARD.
- 15. IF SITE IS TO BE COVERED BY THE WASHINGTON COUNTY, MARYLAND S-3 POLICY, THEN THE INSPECTION/CERTIFYING ENGINEER SHOULD BE CONTACTED ONE (1) WEEK IN ADVANCE TO START OF WORK.

GENERAL NOTES

- 1. TAX MAP 0062, PARCEL 0056.
- 2. ELECTION DISTRICT 02.
- 3. TOTAL SITE AREA (PER REAL PROPERTY SEARCH) = 4 ACRES. DEED REFERENCE:
- BEING ALL OF LANDS CONVEYED TO COLLEGE OF ST. JAMES SCHOOL FROM ADRIAN H. JR. AND MILDRED G. ONDERDONK, ET. AL., DEED DATED JULY 13,1957, AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY AT LIBER 328 FOLIO 82.
- 5. THE EXISTING PROPERTY LINES SHOWN HEREON ARE DERIVED FROM DEEDS AND /OR PLATS OF RECORD BEING OVERLAID ONTO EXISTING FIELD MONUMENTATION.
- 6. TOPOGRAPHY SHOWN HEREON IS BASED ON WASHINGTON COUNTY TOPOGRAPHIC MAPPING.
- . HORIZONTAL DATUM IS N.A.D. 83(2007) AND VERTICAL DATUM IS N.A.V.D. 88. 8. SITE IS ZONED "A(R)" - AGRICULTURAL (RURAL) DISTRICT.
- 9. USAGE EXISTING USAGE OF THE SITE PROJECT IS CURRENTLY IS AN OPEN WITH HOUSES FOR SCHOOL STAFF ON EITHER SIDE. THE PROPOSED USAGE OF THE SITE WILL BE A NEW DORMITORY ADDITION FOR
- USE BY STUDENTS AND STAFF. 10. DIMENSIONAL RESTRICTIONS PER ARTICLE 5A, SECTION 5A.5, OF THE WASHINGTON COUNTY ZONING
- ORDINANCE: a. LOT AREA: 3 ACRES
- b. FRONT YARD DEPTH: 50 FFFT c. REAR YARD DEPTH:
- d. MINIMUM WIDTH OF SIDE YARDS: 50 FEET*
- e. MINIMUM LOT WIDTH: 300 FEET

*A VARIANCE WAS APPROVED BY THE WASHINGTON COUNTY BOARD OF ZONING APPEALS TO REDUCE THE LEFT SIDE SETBACK TO 11' FEET PER ZONING APPEAL NUMBER AP2024-004.

- 11. WASHINGTON COUNTY DOES NOT HAVE SPECIFIC NUMBER OF PARKING SPACES REQUIREMENTS FOR SCHOOLS. THE PARKING REQUIREMENT IS BASED ON NEED. THE CURRENT NEED FOR THE EXISTING PARKING LOT IS MINIMUM OF 12. THE NEW PARKING LOT WILL ADD 12 SPACES INCLUDING 1 HANDICAP
- 12. PARKING PROVIDED: 12 TOTAL SPACES (11 SPACES & 1 ADA ACCESSIBLE) 13. SITE IS SERVED BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR SEWER. WATER IS SERVED BY A ONSITE SPRING AND CLEAN AND PURIFIED BY AN ONSITE WATER FILTRATION SYSTEM. THE PLAN WILL INCREASE THE NUMBER OF STUDENTS AND WOULD NECESSITATE THE NEED FOR 17
- MORE EDUS 14. THE PROPOSED SEWER LINE AND ASSOCIATED PUMP ARE OWNED BY THE PROPERTY OWNER, THUS THE OWNER IS RESPONSIBLE FOR MAINTENANCE.
- 15 NO NEW SIGN'S PROPOSED FOR THIS PROJECT
- 16. TRASH AND RECYCLABLES ARE COLLECTED ONSITE AND REMOVED FROM SITE BY STAFF. 17. NO FREIGHT DELIVERIES.
- 18. SITE LIGHTING PROPOSED WILL BE POLE AND BUILDING MOUNTED AS SHOWN ON THE ARCHITECTURAL
- 19. PROPOSED BUILDING AREA = 7,664 S.F. 20. PROPOSED BUILDING WILL BE A TWO STORY.
- 21. THERE ARE NO WETLANDS WITHIN THE PROJECT SITE AS SHOWN PER U.S. FISH AND WILDLIFE SERVICE - NATIONAL WETLANDS INVENTORY MAPPING.
- 22. THERE ARE NO HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 WITHIN THE PROJECT LOD.
- 23. THERE ARE NO INTERMITTENT STREAM SYMBOLS ASSOCIATED WITHIN THE PROJECT SITE AS SHOWN ON SHEET NUMBER 35 OF 56 OF THE SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND.
- 24 THERE ARE NO AREAS OF STEEP SLOPES (AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 OF THE WASHINGTON COUNTY ZONING ORDINANCE)
- WITHIN THE PROJECT SITE. 25. THIS PROJECT SITE IS NOT WITHIN THE LIMITS OF THE APPALACHIAN TRAIL CORRIDOR OR THE WATERSHEDS OF THE EDGEMONT-SMITHSBURG RESERVOIR OR THE UPPER BEAVER CREEK DRAINAGE
- 26. THIS SITE PROJECT IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEDERAL
- EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 24043 C0284D, WITH EFFECTIVE DATE OF AUGUST 15, 2017.
- 27. THE PROJECT WILL COMPLY WITH THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE REQUIREMENTS VIA PAY-IN-LIEU.

TOTAL TRACT AREA LESS DEDUCTIONS NET TRACT AREA	0.00	ACRE ACRE ACRE
NET TRACT AREA OF FOREST COVER	0.00	ACRE
BREAK EVEN POINT	0.00	ACRE
PROPOSED FOREST CLEARING	0.00	ACRE
TOTAL FOREST TO BE RETAINED	0.00	ACRE
REQUIRED PLANTING FROM WORKSHEET	0.13	ACRE

TO ADDRESS THE PLANTING REQUIREMENT, THE APPLICANT PROPOSES A FEE IN LIEU OF PLANTING IN ACCORDANCE WITH ARTICLE 11 OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE. THE FEE IN LIEU AMOUNT IS CALCULATED BELOW

REQUIRED PLANTING IS 0.13 AC. OR 5,663 SQ. FT.X \$0.30/SQ. FT. = \$1,698.84

NET TRACT AREA REDUCED TO 0.84 ACRE FROM THE LOD OF 1.01 ACRES DUE TO REMOVAL OF EXISTING IMPERVIOUS AREA (0.17 AC.) FROM THE TOTAL TRACT AREA. SEE SHEET C.2.0 FOR DESIGNATION OF IMPERVIOUS AREA REMOVED FROM TRACT AREA.

THERE ARE 8 SPECIMEN TREES ON SITE. THE PROJECT PROPOSED THE REMOVAL OF 4 SPECIMEN TREES AND WILL APPLY FOR A VARIANCE TO THE WASHINGTON COUNTY PLANNING COMMISSION. A VARIANCE MUST BE APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION PRIOR TO THE REMOVAL OF ANY SPECIMEN TREES.

28. ON - SITE IMPERVIOUS AREA BASED ON LOD:

PRE-CONSTRUCTION: BUILDINGS 0 S.F. OR 0 AC. 7,405 S.F. OR 0.17 AC. 7,405 S.F. OR 0.17 AC./1.01 AC. = 16.8% OF L.O.D. PARKING, DRIVE AREAS, ET

POST CONSTRUCTION: BUILDING 7,765 S.F. OR 0.18 AC. PARKING, DRIVE AREAS, ETC.

20,397 S.F. OR 0.47 AC./1.01 AC. = 46.5% OF L.O.D.

- 29. LANDSCAPING FOR THIS SITE IS BEING ADDRESSED AS SHOWN ON THE SHEET C.5.0.
- 30. EACH ADDRESS IS BASED ON THE ENTRANCE LOCATION AS SHOWN ON THIS PLAN. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION. THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER/
- DEVELOPER OF THE LOT MUST REAPPLY TO THIS OFFICE FOR A NEW ADDRESS ASSIGNMENT.

31. THERMOPLASTIC TRAFFIC STRIPING MARKINGS SHALL BE USED FOR ALL STRIPING WITHIN THE COUNTY RIGHT OF WAY AND ADJOINING IT.

FERING Ш 9

						2 07-03-2024 REVISIONS PER WASH. CO. COM	A 03-15-2024 REVISIONS PER WASH. CO. COM	REV. # DATE DESCRIPTION
RMITORY		CHECKED BY:	B.J.S			SCALE:	NWOHS: SA	
2831-2022-DO		DKAWN BY:	STAFF			DATE:	04-27-2023	
	2831-2022-DORMITORY	2831-2022-DORMITORY	2831-2022-DORMITORY DRAWN BY: CHECKED BY:	2831-2022-DORMITORY DRAWN BY: CHECKED BY: STAFF B.J.S	2831-2022-DORMITORY DRAWN BY: CHECKED BY: STAFF B.J.S	2831-2022-DORMITORY DRAWN BY: CHECKED BY: STAFF B.J.S	BY:	3 BY: E:

DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A ULY LICENSED PROFESSIONAL NGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34688 EXPIRATION DATE: 7-09-25



DORM

www.triadeng.com

SHEET NUMBER

SP-23-015 JOB NO.: 03-22-0521



K FACTOR HYDROLOGIC

(WHOLE) | SOILS GROUP

A/D

0.37

0.24

0.37

0.37

0.37

0.49

SYMBOL

DESCRIPTION

HAGERSTOWN SILTY CLAY LOAM, 3 TO 8% SLOPES, VERY ROCKY

Fa FAIRPLAY SILT LOAM, 0 TO 3% SLOPES

Fd FAIRPLAY SILT LOAM, 0 TO 3% SLOPES, DRAINED

HAGERSTOWN SILT LOAM, 8 TO 15% SLOPES

HaB HAGERSTOWN SILT LOAM, 3 TO 8% SLOPES

SpB | SWANPOND SILT LOAM, 3 TO 8% SLOPES

- THE PROJECT LIMITS AS SHOWN ON SHEET NUMBER 35 OF 44 OF THE SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND; THERE IS AN INTERMITTENT STREAM SYMBOL TO THE SOUTH OF THIS PROJECT, BUT ANY REQUIRED STREAM BUFFERS WOULD NOT AFFECT THE
- 2. THERE ARE NO AREAS OF STEEP SLOPES (AS DEFINED BY ARTICLE 28.631 OF THE WASHINGTON COUNTY ZONING ORDINANCE) WITHIN
- 3. THIS SITE IS NOT WITHIN THE LIMITS OF THE APPALACHIAN TRAIL CORRIDOR OR THE WATERSHEDS OF THE EDGEMONT-SMITHSBURG
- ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE
- 5. THE PROJECT LIMITS ARE NOT WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM COMMUNITY PANEL NO. 24043C 0284 D, WITH
- BY THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL NGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.

34688 EXPIRATION DATE: 7-09-25

DORMIT

TRIAD ENGINEERING, INC. www.triadeng.com SHEET NUMBER:

SAINT JAMES SCHOOL, INC

SP-23-015

C/O WILLIAM WIVELL

17641 COLLEGE ROAD

ST. JAMES, MD 21740

PHONE: 301-671-2603

JOB NO.: 03-22-0521

SITE FINGERPRINTING AND DEVELOPMENT LAYOUT The development of the New Dormitory at Saint James School proposes the following strategies for site layout. 1. Plan the building footprint and layout to protect conservation areas. • There are no conservation areas on site. 2. Evaluate opportunities to enhance/expand forested, wetland, and stream buffers. • There are no opportunities to enhance/expand forested, wetlands or stream buffers as part of this development. 3. Grade the site so that runoff will flow from impervious areas directly to pervious areas or other natural conveyance systems. • Proposed design incorporates impervious area flows directly to pervious areas. 4. Maintain natural flow paths between the site and upstream and downstream systems. Site design incorporates proposed grading and conveyance systems to maintain current upstream and downstream flow paths. 5. Maintain sheet flow and natural overland flow processes where feasible. • Existing site sheet flow patterns and natural overland flow processes are maintained to the maximum extent practical. 6. Provide stable conveyance of runoff off-site. • Design demonstrates stable conveyance of runoff off-site. 7. Additional strategies. • In accordance with the design process micro-scale practices are proposed to treat • Implementation of the Stormwater Management Plan will be integrated into the Soil Erosion and Sediment Control design. St. James Dormitory Building proposes to incorporate the following Site Development Strategies in accordance with Chapter 5, Table 5.2. A. Drive aisles and sidewalks narrowed to minimum where possible to limit impervious B. Cul-de-sac design with reduced paving is not applicable to the project. C. Storm drainage is conveyed by the existing drainage systems for this project. D. Parking stalls designed for minimum allowable sizes and parking numbers reduced to that only required by and specified by the school to limit impervious developed area. E. The parking lot runoff is treated through Filterra Box Bio-retention systems located in landscaped areas around the parking lot for stormwater treatment. F. Existing open space will be maintained in the front and rear of the building. G. Relaxed setbacks and frontages are not applicable to the project. H. The new proposed driveway will serve both the new dormitory building and the existing faculty apartment building on the property. I. Rooftop runoff is directed to Filterra Box Bio-retention systems in landscaped areas around the building for stormwater treatment.

100 Year Flood Plain and Stream Buffers are not applicable to the project.

M. Conservation incentives (Natural Areas) are applicable to this project.

L. There are no opportunities for forest protection.

K. Proposed grading and earth disturbance will be limited to that required to develop the dormitory building.

SOIL TYPES ON SITE

DESCRIPTION

HAGERSTOWN SILTY CLAY LOAM, 3 TO 8% SLOPES, VERY ROCKY

Fa FAIRPLAY SILT LOAM, 0 TO 3% SLOPES

SpB | SWANPOND SILT LOAM, 3 TO 8% SLOPES

FAIRPLAY SILT LOAM, 0 TO 3% SLOPES, DRAINED

HAGERSTOWN SILT LOAM, 3 TO 8% SLOPES

HAGERSTOWN SILT LOAM, 8 TO 15% SLOPES

SYMBOL

K FACTOR | HYDROLOGIC

0.37

0.37

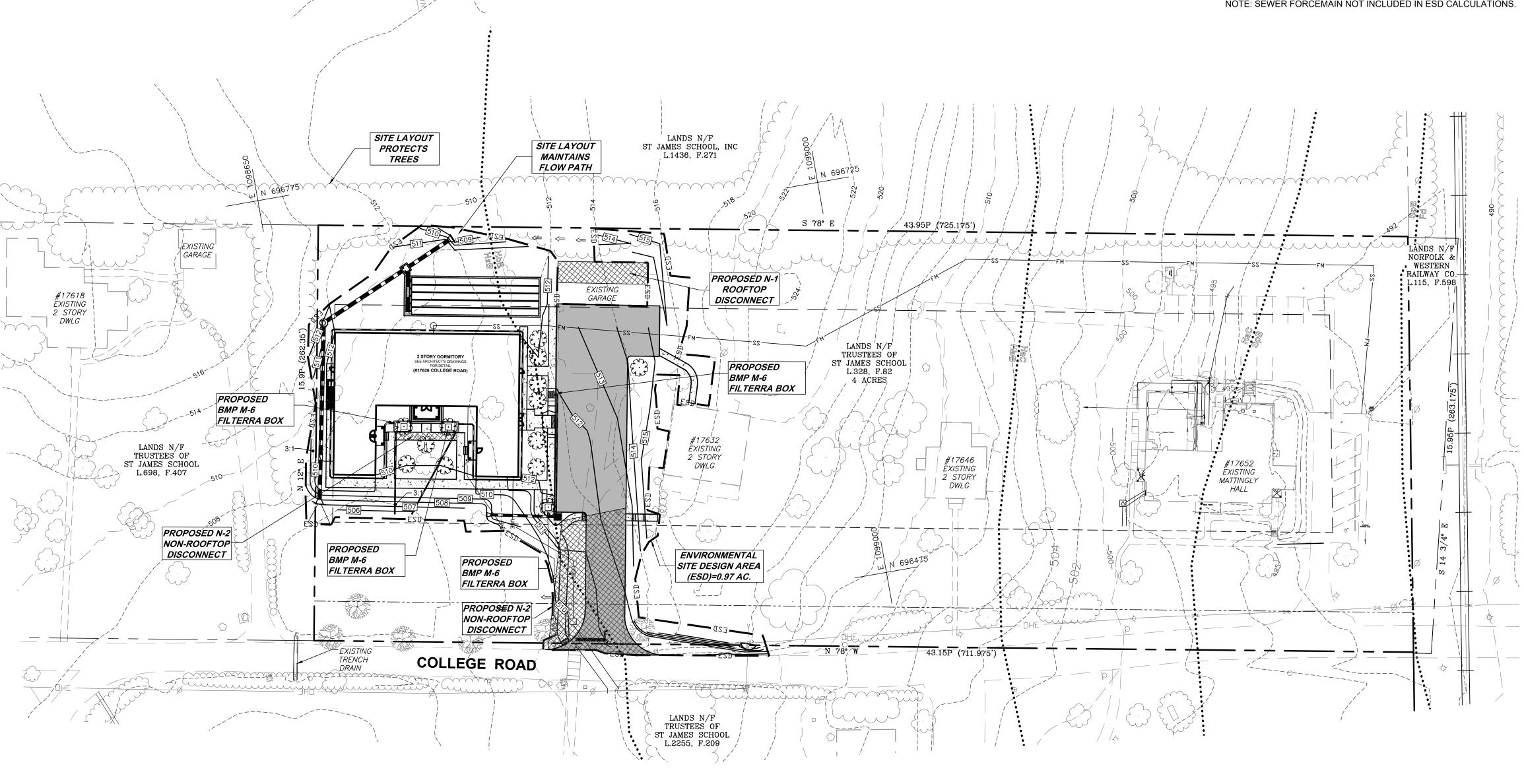
0.37

0.37

0.49

(WHOLE) | SOILS GROUP

A/D



(IN FEET)

1 inch = 40 ft.

ENVIRONMENTAL SITE DESIGN (ESD) AREA LIMITS

TOTAL ESD LIMITS......1.01 AC.±

KARST NOTES:

1. THE USDA SOIL SURVEY OF WASHINGTON COUNTY SHOWS THAT ALL SOILS WITHIN THE SITE AS BEING "KARST LANDSCAPE" SOILS. THE CONTRACTOR SHALL BE AWARE THAT THESE SOILS PROVIDE THE POTENTIAL FOR SINKHOLES.

ENGINEERING,

8

2. THERE ARE NO KNOWN SINKHOLES ON SITE.

PROPOSED IMPERVIOUS AREA TABULATION

BUILDING	7,665	S.F.±	OR 0	.18 /	AC.
PARKING AND SIDEWALK	12,632	S.F.±	OR 0.	.29	AC.
TOTAL PROPOSED IMPERVIOUS AREA	20,297	S.F.±	OR 0	.47	AC.

IMPERVIOUS AREA

PRE DEVELOPMENT IMPERVIOUS	0.17 AC.±
POST DEVELOPMENT IMPERVIOUS	0.47 AC.±
TOTAL IMPERVIOUS AREA	0.47 AC.±

TOTAL ESD AREA = 1.01 AC.±.

0.47/1.01 = 46.5% SITE IMPERVIOUSNESS

NOTE: SEWER FORCEMAIN NOT INCLUDED IN ESD CALCULATIONS.

OCUMENTS WERE PREPARED OR PPROVED BY ME, AND THAT I AM A JLY LICENSED PROFESSIONAL IGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34688 EXPIRATION DATE: 7-09-25 DORMITORY

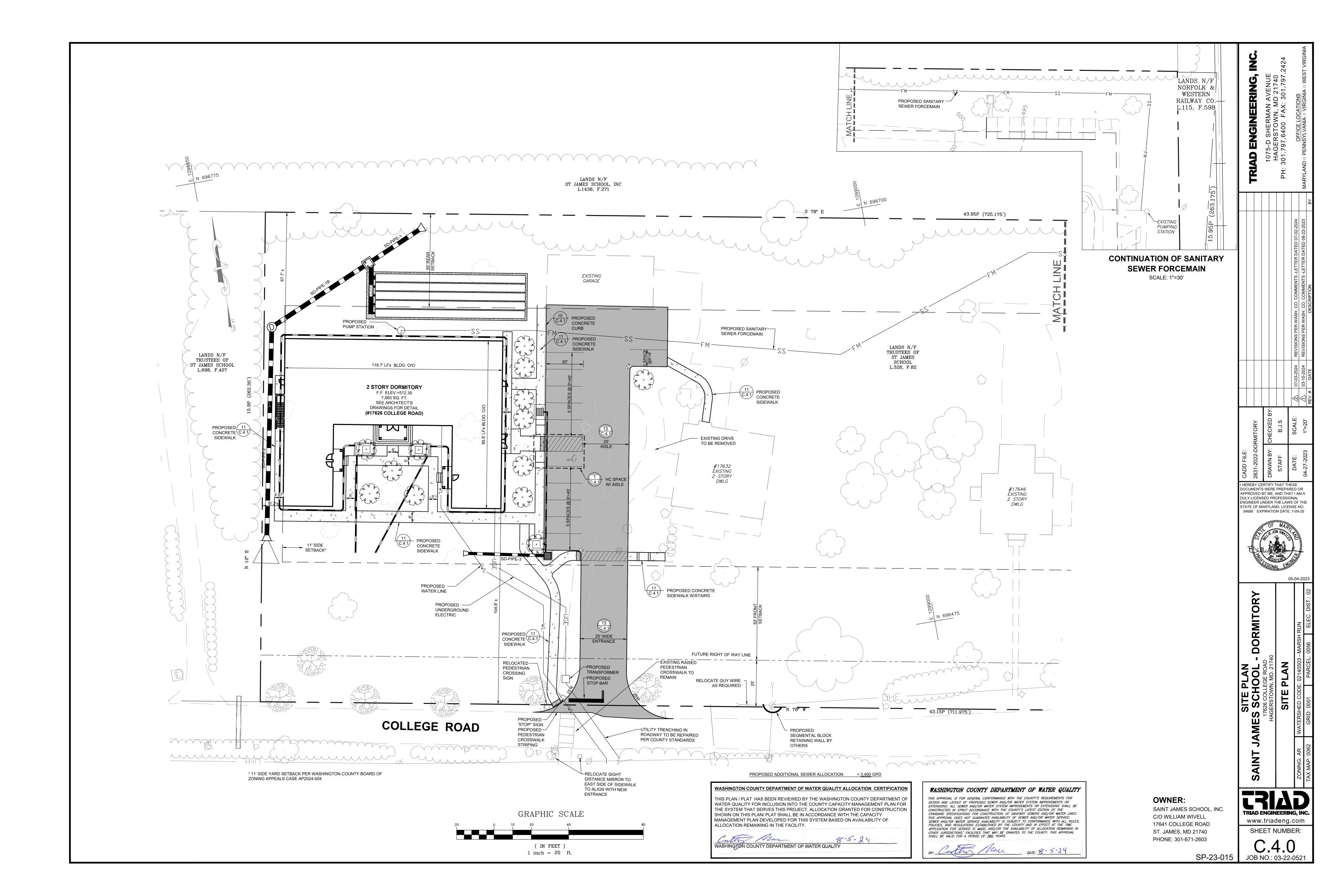
OWNER: SAINT JAMES SCHOOL, INC C/O WILLIAM WIVELL 17641 COLLEGE ROAD

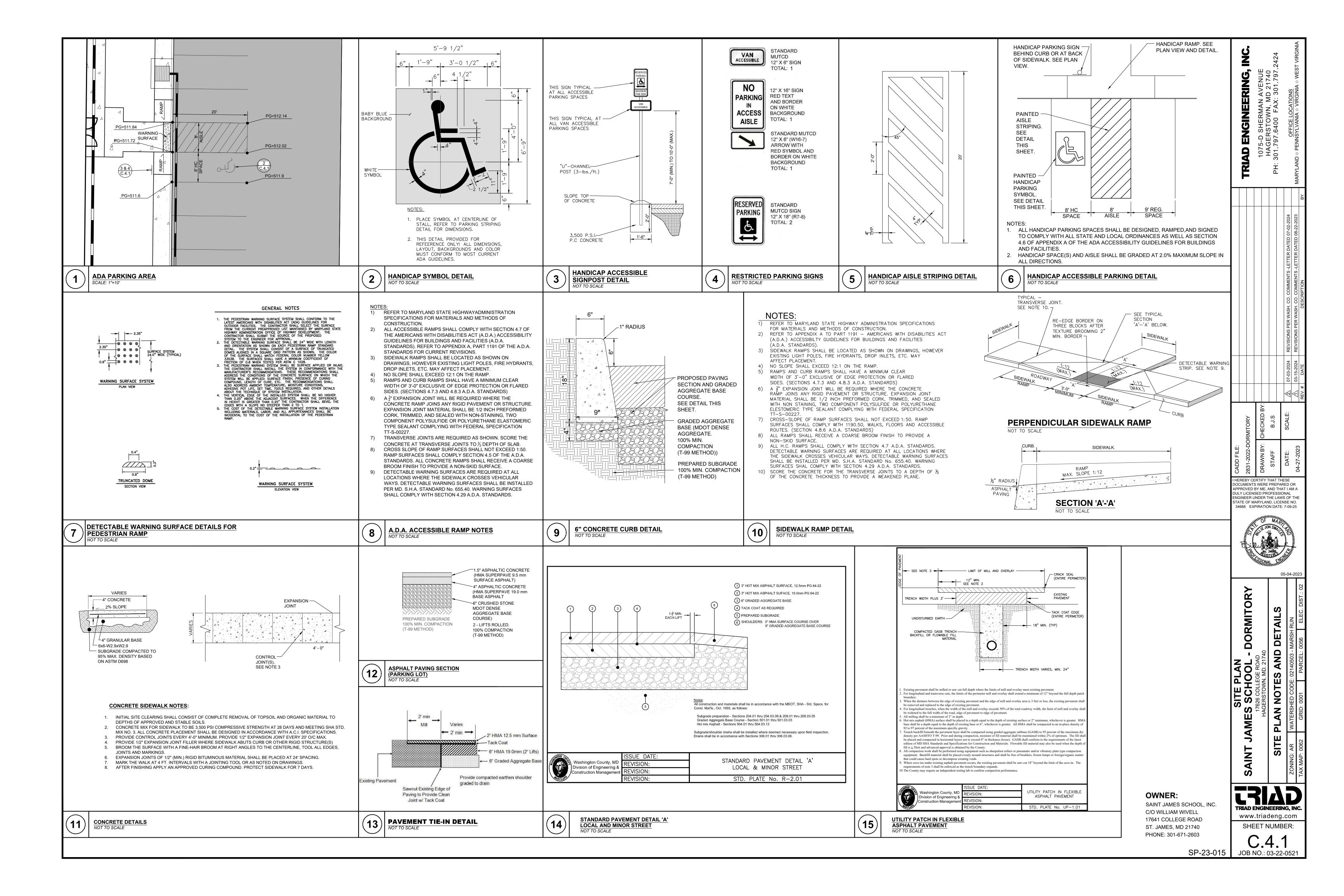
ST. JAMES, MD 21740

www.triadeng.com SHEET NUMBER:

PHONE: 301-671-2603 SP-23-015 JOB NO.: 03-22-0521

JAMES





SYMBOL	KEY	QUANTITY	Common Name ^{1,2,8}	Latin Name	Plant Type	Sun	Hardiness Range	Mature Height ⁵	Mature Spread ⁵	Sizing ⁷	Availability ⁹	Nativity
\\V/			A		0 10	D. F. LOL. J.	0.7	0"	40" 40"	V0	OL MA	EUG
	AS	6	Appalachian Sedge	Carex appalachica	Grass/Sedge	Partial Shade	3 - 7	6"	12" - 18"	XS	GL, MA	E-US

1. The species listed are drought tolerant and have applicability to bioretention due to shallow root zones.

- 2. The species highlighted in green are typically more readily available in the noted regions as the listed species or another similar cultivar.
- 3. This list is subject to availability and Contech reserves the right to make appropriate substitutions when necessary. 4. For species not listed, please contact Contech for suitability.
- 5. Mature height and spread do not reflect plant size at planting / system activation. Contact Contech for information on available sizes at activation.
- 6. Contech promotes the use of non-invasive species in Filterra systems, and has made efforts to maintain a plant list free of invasives. However, always check with local sources, as some species listed (even natives) may be invasive in some regions and not others.
- 7. All Filterra vault systems incorporate a ponding depth ranging from 12"-36" between finished grade and media surface. For systems with more than 18" from finished grade to media (FTIBC,
- FTIBP, FTPD, etc), Contech recommends choosing a species with "Sizing" noted as "XL" or "Tree". 8. The species highlighted in orange are available for an additional charge of \$250 per plant required.
- 9. Availability Key: GL=Great Lakes; GP=Great Plains; MA=Mid-Atlantic; NE=Northeast; NW=Northwest; SW=Southwest; SE=Southeast; SC=South Central; NoCA=Northern CA; SoCA=Southern

2 STORY DORMITORY

SEE ARCHITECT'S DRAWINGS

FOR DETAIL

(#17626 COLLEGE ROAD)

LANDS N/F

ST JAMES SCHOOL, INC

L.1436, F.271

COLLEGE ROAD

GRAPHIC SCALE

1 inch = 20 ft.

EXISTING

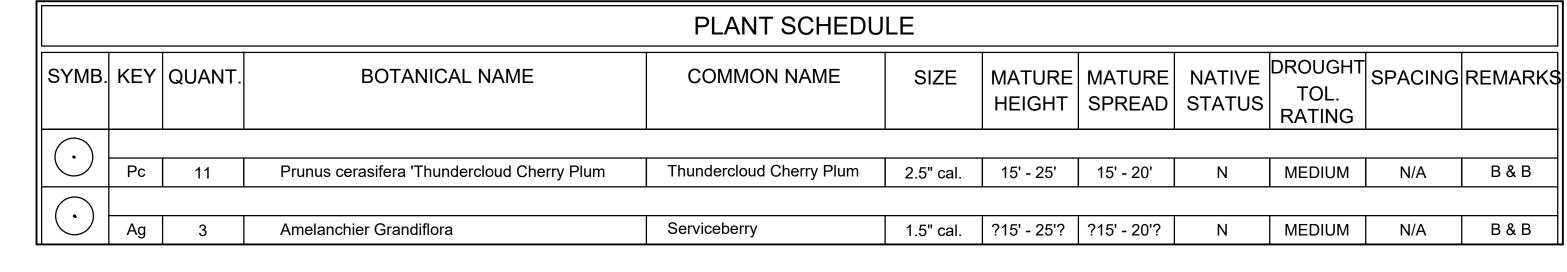
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CA; E-Can=Eastern Ca	anada;	W-Can	=W6	estern C	Canada

TRUSTEES OF

ST JAMES SCHOOL

L.698, F.407



NOTES: I. SCOPE

- A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
- B. TOTAL NUMBER OF PLANS SHALL BE AS DRAWN ON THE LANDSCAPE PLAN. IF THIS TOTAL DIFFERS FROM THE PLANT KEY, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT.

II. STANDARDS

- A. ALL PLANT MATERIAL WILL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED BY STATE OR FEDERAL AGENCIES.

III. SUBSTITUTIONS

- A. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT. B. THE LANDSCAPE ARCHITECT SHALL THEN PROVIDE THE
- LANDSCAPE CONTRACTOR A REASONABLE ALTERNATIVE. C. ALL SUBSTITUTES MUST BE OF THE SAME SIZE, VALUE AND QUALITY AS THE ORIGINAL PLANT.

IV. UTILITIES

- A. THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES
- AHEAD OF CONSTRUCTION TO LOCATE MAIN UTILITIES. B. STREET LIGHTING AND OTHER UTILITIES THAT ARE PUT IN BY THE
- GENERAL CONTRACTOR ARE TO BE LOCATED BY THE OWNER OR GENERAL C. IF THERE IS A CONFLICT WITH THE UTILITIES AND THE PLANTING,

V. DRAINAGE

NO PLANTS SHALL BE PLANTED IN SITUATIONS THAT SHOW OBVIOUS POOR DRAINAGE. SUCH SITUATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER, AND IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED OR THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST.

VI. MAINTENANCE AND WARRANTY

PRIOR TO THE PLANTING PROCESS.

- A. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIALS PRIOR TO PLANTING AND AFTER PLANTING UNTIL ALL WORK IS COMPLETE AND THE WORK HAS BEEN ACCEPTED BY THE OWNER.
- B. FOLLOWING ACCEPTANCE BY THE OWNER THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. ANY PLANTS THAT HAVE DIED OR ARE IN FAILING CONDITION SHALL BE REPLACED. THE OWNER MAY NOTIFY THE LANDSCAPE ARCHITECT TO DETERMINE THE NEED FOR REPLACEMENT.

VII. WORKMANSHIP

- A. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN, AND ALL REASONABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES.
- B. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
- C. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

VIII. WATER

EXISTING 2 STORY

DWLG

#17362

FUTURE RIGHT OF WAY LINE

IF AVAILABLE ON SITE, THE OWNER SHALL SUPPLY WATER AT NO COST. IT WILL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY WATER IF THERE IS NONE ON THE SITE.

PLANTING PROCEDURES FOR TREES

I. PREPARING TREE PIT

- A. WALLS OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL
- AND SCARIFIED. B. THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
- C. THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW 1/8 OF THE BALL TO BE ABOVE THE EXISTING GRADE. ANY LOOSE SOIL AT THE BOTTOM OF THE PIT SHALL BE TAMPED BY HAND OR WITH THE BUCKET OF THE BACKHOE.

II. PLACING TREE IN PIT

- A. PLACE THE TREE IN THE PIT EITHER BY LIFTING AND CARRYING THE TREE IN ITS BALL (NEVER LIST BY BRANCHES OR TRUNK) AND THEN LOWERING IT INTO THE PIT.
- B. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE OF THE TREE FACING TOWARD THE PROMINENT VIEW (SIDEWALK, BUILDING, STREET, ETC.).

III. BACKFILLING TREE PIT

- A. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE DETAIL. B. MIX SOIL AMENDMENTS IN MIXTURE EITHER PRIOR TO FILLING PIT
- OR AS PIT IS BEING FILLED C. MAKE SURE PLANT REMAINS STRAIGHT DURING BACKFILLING
- PROCEDURE.
- D. BACKFILL SIDES OF TREE PIT HALFWAY WITH SOIL MIXTURE AND
- TAMP AS PIT IS BEING FILLED. E. CUT ROPE OR WIRE ON BALL OF TREE AND PULL BURLAP BACK TO
- THE EDGE OF THE TREE BALL. REMOVE ALL PLASTIC WRAPS AND TWINE. F. FINISH BACKFILLING SIDES OF TREE PIT AND TAMP FIRMLY.
- G. NEVER COVER TOP OF TREE BALL WITH SOIL. H. FORM A SAUCER ABOVE EXISTING GRADE AND AROUND THE OUTER
- RIM OF THE TREE PIT. I. MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A
- MINIMUM DEPTH OF 2" AND TO A DEPTH NOT TO EXCEED 3". J. WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER
- UNTIL IT IS FILLED EVEN IF IT IS RAINING. A SECOND WATERING MAY BE
- NECESSARY TO INSURE SATURATION OF THE ROOT BALL. K. PRUNE OUT ANY DEAD OR BROKEN BRANCHES.
- L. IN EXTREMELY HOT WEATHER, REDUCE FOLIAGE SURFACE BY PRUNING OR STRIPPING.
- M. REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE TREE.
- THE LANDSCAPE ARCHITECT IS TO BE RESPONSIBLE FOR RELOCATING PLANTS PLANTING PROCEDURES FOR SHRUBS

I. PREPARING SHRUB PIT

- A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG LARGE ENOUGH FOR THE PROPERTY SETTING OF THE ROOT BALL (1 FOOT WIDER THAN ROOT BALL) AND DEEP ENOUGH TO ALLOW 1/8 OF THE ROOT BALL TO SET ABOVE EXISTING
- B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE ROTOTILLED 3 TO 4 INCHES DEEP. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOT BALL.
- C. FOR A HEDGE, A TRENCH SHALL BE DUG LARGE ENOUGH FOR THE PROPER SETTING OF ALL THE PLANTS' ROOT BALLS (THE TRENCH SHALL BE 1 FOOT WIDER THAN THE ROOT BALLS).

II. PLANTING SINGLE SHRUBS AND BACKFILLING POT

- A. PLACE THE PLANT IN THE PIT BY LIFTING AND CARRYING IT BY THE
- ROOT BALL. B. SET THE PLANT STRAIGHT AND IN THE CENTER OF THE PIT WITH
- THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW. C. USE A SOIL MIXTURE AS STATED IN THE DETAIL.
- . MAKE SURE THE PLANT REMAINS STRAIGHT DURING BACKFILLING PROCEDURE.
- E. BACKFILL SIDES OF THE PIT HALFWAY UP WITH SOIL MIXTURE AND
- TAMP AS THE PIT IS BEING FILLER F. CUT THE ROPE ON THE BALL OF THE SHRUB AND PULL THE BURLAP
- BACK TO THE EDGE OF THE PLANT BALL. ALL PLASTIC WRAPS AND TWINE SHALL BE REMOVED. CONTAINERS ARE TO BE REMOVED FROM
- CONTAINERIZED MATERIALS. G. FINISH BACKFILLING THE SIDES OF THE SHRUB PIT AND TAMP
- H. FORM A SAUCER ABOVE THE EXISTING GRADE AND AROUND THE PLANTING PIT
- I. MULCH TOP OF ROOT BALL AND SAUCER A MINIMUM OF 2" OF DEPTH, NOT TO EXCEED 3" OF DEPTH.
- J. WATER THOROUGHLY ON THE INTERIOR OF THE SHRUB SAUCER UNTIL IT IS FILLED EVEN IF IT IS RAINING.
- K. PRUNE OUT ANY DEAD OR BROKEN BRANCHES. L. REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE PLANT.

III. PLANTING A SHRUB MASS

- A. FOLLOW THE SAME PROCEDURE AS FOR A SINGLE SHRUB. B. EDGE AND RAKE THE ENTIRE PLANTING BED.
- C. MULCH THE ENTIRE PLANTING BED A MINIMUM OF 2" OF DEPTH, NOT TO EXCEED 3" OF DEPTH.
- D. WATER THE ENTIRE PLANTING BED THOROUGHLY EVEN IF IT IS
- E. PRUNE OUT ANY DEAD OR BROKEN BRANCHES. F. REMOVE ALL TAGS, LABELS, STRINGS, ETC. FROM THE PLANT.

WRAP ENTIRE SURFACE OF TRUNK TO HEIGHT OF SECOND BRANCHES. TIE SECURELY @ TOP,BOTTOM, & MIDDLE. __ 1/2" DIA. RUBBER HOSE - 2 STRANDS #14 WIRE TWISTED TO TIGHTEN. - 2"X2" HARDWOOD STAKES, 3/TREE, 12" BELOW DRAINAGE TROUGH TOP OF BALL TO BE 2"-3" ABOVE SOIL LINE BACKFILL MIX: 75% EXCAVATED SOIL (W/ UNSUITABLE MATERIALS INCLUDING ROCKS AND DEBRIS

- 1. REMOVE ENOUGH WHOLE BRANCHES (NOT JUST END TIPS) TO REDUCE FOLIAGE BY 1/3. NEVER LEAVE 'Y" CROTCHES OR DOUBLE
- LEADERS. RETAIN NORMAL PLANT SHAPE. LAY BACK BURLAP FROM TOP OF BALL. REMOVE ALL WIRES, NYLON ROPE OR STRING FROM BALL. PLASTIC BURLAP NOT
- 3. HOLE SHALL BE 2x DIA. OF THE BALL WHEN CONDITIONS PERMIT



SAINT JAMES SCHOOL, INC C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740 PHONE: 301-671-2603

SHEET NUMBER:

2"-3" BARK MULCH OR 1.5"-3" RIVER ROCK SEE LANDSCAPE PLAN FOR LOCATION & NOTE 2 THIS SHEET GREATER THAN 1-1/2" REMOVED) AND 25% ORGANIC MATTER WALLS TO BE VERTICAL & SCARIFIED 6" DEEP DRAINAGE TROUGH LOOSEN BASE BEFORE PLANTING

TYPICAL DECIDUOUS TREE PLANTING DETAIL

OCUMENTS WERE PREPARED OR

APPROVED BY ME, AND THAT I AM A

OULY LICENSED PROFESSIONAL

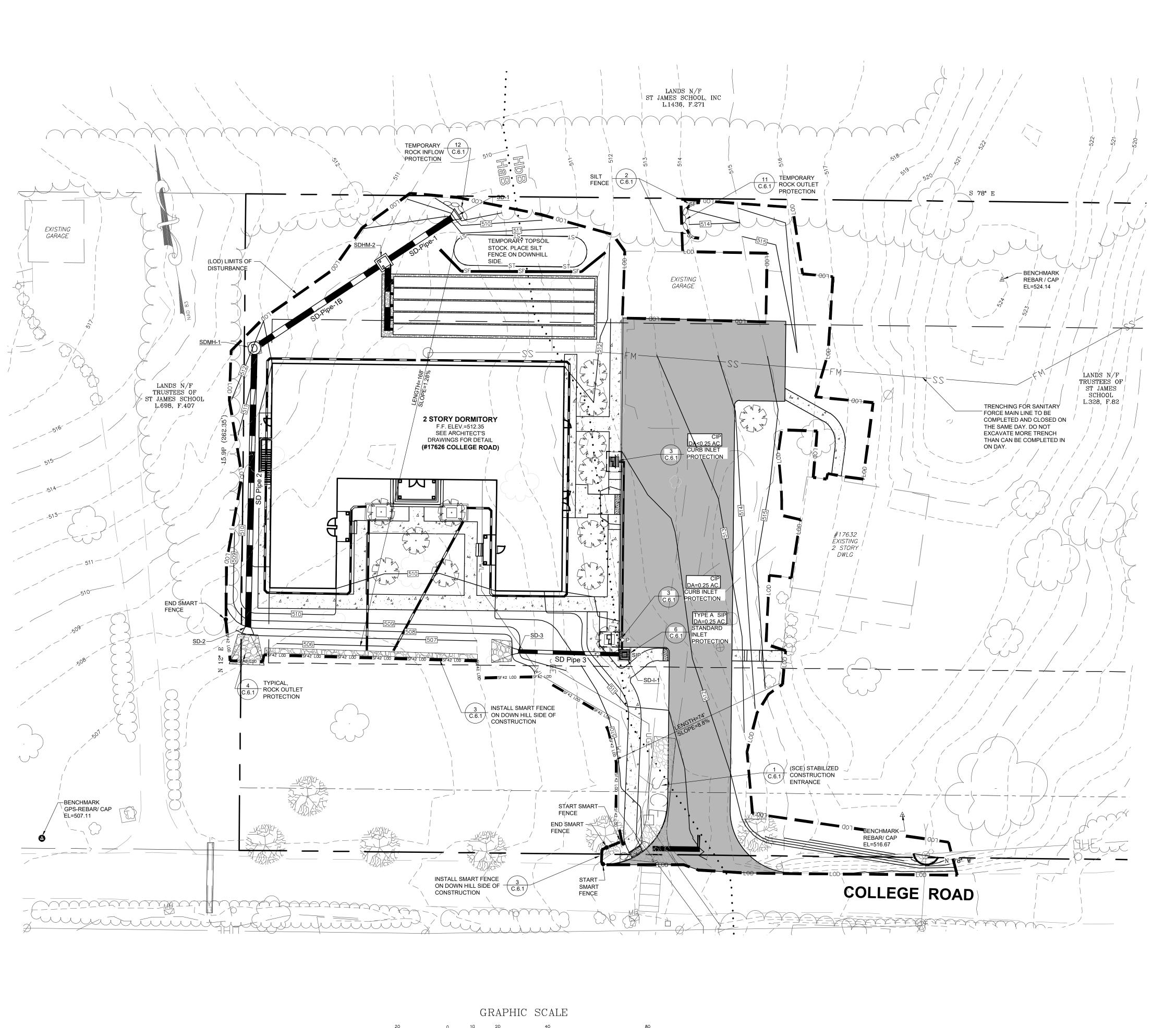
STATE OF MARYLAND, LICENSE NO.

34688 EXPIRATION DATE: 7-09-25

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SP-23-015 JOB NO.: 03-22-0521



(IN FEET)

1 inch = 20 ft.

SEQUENCE OF CONSTRUCTION

I. NOTIFICATION

- A. FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 TO SCHEDULE A PRECONSTRUCTION MEETING.
- 3. NOTIFY THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS (ENGINEERING & CONSTRUCTION) 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2400.
- C. NOTIFY TRIAD ENGINEERING, INC. OF PRE-CONSTRUCTION MEETING TIME AND DATE (301) 797-6400.
- D. CONTRACTOR SHALL NOTIFY MISS UTILITY AT (800) 257-777 A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- E. CONTRACTOR SHALL NOTIFY WASHINGTON COUNTY WATER QUALITY AT (240) 313-2600 A MINIMUM OF SEVENTY TWO (72) HOURS PRIOR TO CONNECTION.

II. INITIAL STABILIZATION

- A. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE).
- B. INSTALL PERIMETER CONTROLS: SMART FENCE, STONE OUTLET AND STONE INLET AS SHOWN PER PLANS
- C. CLEAR, GRUB AND STRIP TOPSOIL FROM SITE AND PLACE IN STOCKPILE AREA, INSTALL SILT FENCE ALONG DOWNHILL SLOPE OF STOCKPILE AND TEMPORARILY SEED IN ACCORDANCE WITH STABILIZATION SPECIFICATIONS WITHIN 3 CALENDAR DAYS. NOTE: ANY SPOIL AND /OR BORROW, MUST COME FROM AND/ OR GO TO, A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.

III. INTERIM GRADING AND CONSTRUCTION

- A. ROUGH GRADE SITE AND STABILIZE WITH TEMPORARY SEED AND MULCH IN
- ACCORDANCE WITH STABILIZATION SPECIFICATIONS WITHIN 3 CALENDAR DAYS.

 B. STARTING DOWNHILL WORKING UPHILL INSTALL SD PIPES 2 AND 1B, END SECTION SD-2
 AND MANHOLES SDMH-1 AND SDMH-2. INSTALL ROCK OUTLET PROTECTION AT SD PIPE 2.
- C. EXCAVATE AND INSTALL UNDERGROUND STORMTECH CHAMBER SYSTEM AND CONNECT TO SDMH-2. REPLACE TOPSOIL TO FINAL GRADE ABOVE UNDERGROUND SYSTEM AND SEED AND MULCH TO STABILIZE.
- D. STARTING FROM SDMH-2, INSTALL PIPE 1 AND END SECTION SD-1. INSTALL INFLOW PROTECTION AS PER PLAN.
- E. STARTING DOWNHILL WORKING UPHILL INSTALL SD PIPES 3, END SECTION AND INLET. INSTALL ROCK OUTLET PROTECTION AT SD PIPE 3. INSTALL INLET PROTECTION AS PER PI AN

EXCAVATE AND INSTALL UTILITIES.

- G. FINE GRADE DORMITORY AREA AND PARKING LOT AREA AND STABILIZE PARKING LOT AREA WITH STONE.
- H. CONSTRUCT DORMITORY.
- INSTALL FILTERRA BOX STRUCTURES AS SHOWN PER PLAN. INSTALL INLET PROTECTION AT FILTERRA BOX 1 & 4 AS PER PLAN.
 INSTALL CONCRETE CURB, CONCRETE SIDEWALK ETC.
- K. FINE GRADE SITE AND STABILIZE WITH PERMANENT SEED AND MULCH ANY REMAINING
- AREAS.

 I PAVE PARKING LOT AND PAINTSTRIPE

L. PAVE PARKING LOT AND PAINTSTRIPE.

M. INSTALL LANDSCAPE AND ANY REMAINING AMENITIES AS SHOWN PER PLAN AND WITH NOTICE TO PROCEED FROM WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AND WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS HAVE FILTERRA MEDIA INSTALLED BY CERTIFIED INSTALLER AND PLANT PER LANDSCAPE PLAN.

IV. SITE CLOSEOUT

- A. WITH THE ENTIRE SITE FINAL GRADED AND 95% OVERALL VEGETATIVE COVER IN PLACE, NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 AND THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS (ENGINEERING AND CONSTRUCTION) AT (240) 313-2400 AT LEAST FIVE (5) DAYS PRIOR TO THE REMOVAL OF ANY SEDIMENT CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW
- B. UPON APPROVAL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, REMOVE ALL SEDIMENT CONTROL DEVICES. STABILIZE, SEED AND MULCH ANY AREAS DISTURBED DURING CONTROL REMOVAL.

1.797.6400 FAX: 301.797

 JRY
 :KED BY:

 .J.S
 :J.S

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 :A

 | A | 03-15-2024
 REVISIONS PER WASH. CO. COMMENTS -LETTER DATED 08-22-2023

 | REV. # DATE
 DESCRIPTION

I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE NO.



AN OL - DORMITORY ROAD 0.21740 OL AND GRADING PLAN

AMES SCHOOL - DO

17626 COLLEGE ROAD
HAGERSTOWN, MD. 21740

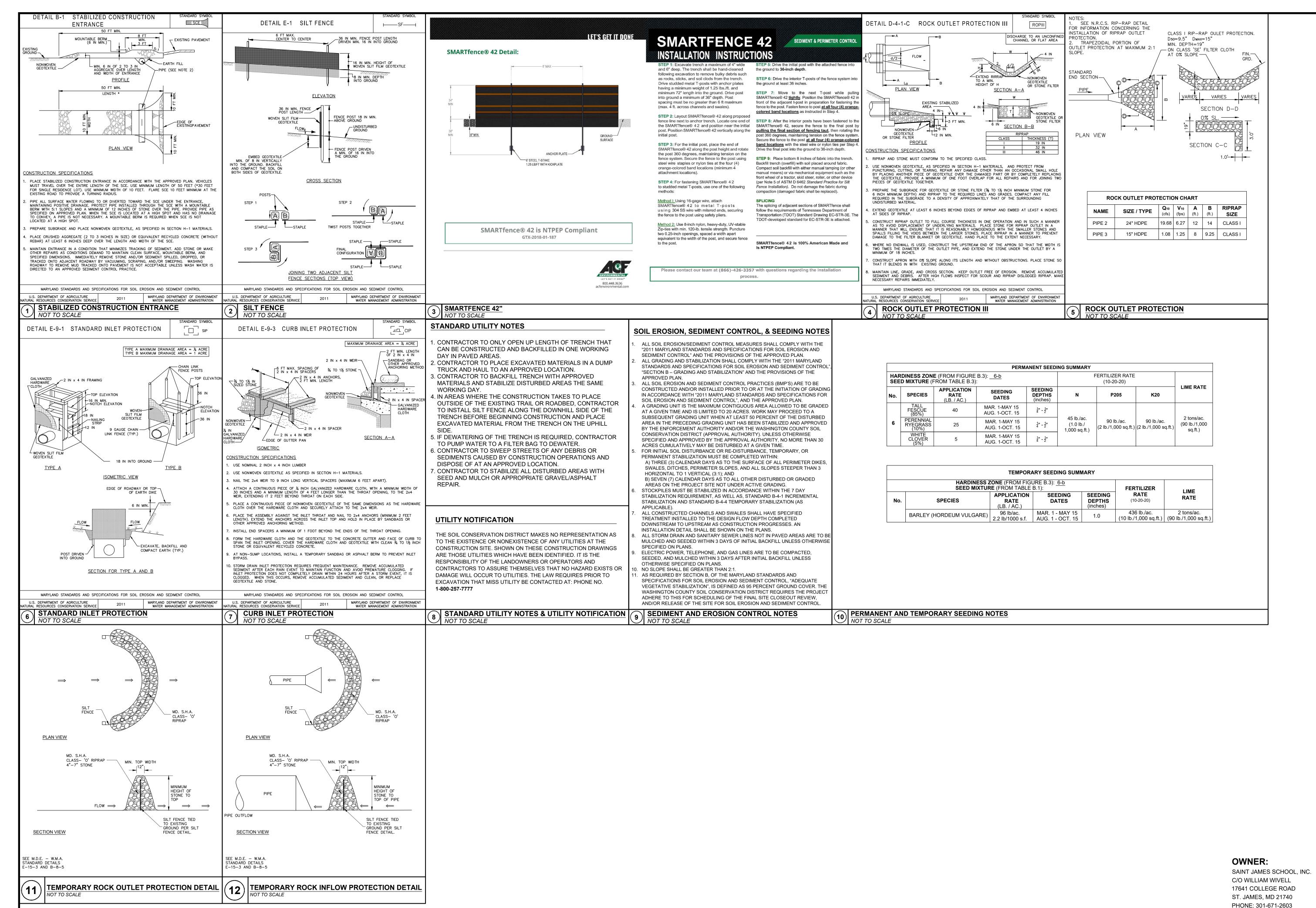
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TRIAD ENGINEERING, INC.

www.triadeng.com

SHEET NUMBER: **C.6.0**JOB NO.: 03-22-0521

OWNER:
SAINT JAMES SCHOOL, INC
C/O WILLIAM WIVELL
17641 COLLEGE ROAD
ST. JAMES, MD 21740
PHONE: 301-671-2603



TRIAD ENGINEERING, INC.

1075-D SHERMAN AVENUE
HAGERSTOWN, MD 21740
PH: 301.797.6400 FAX: 301.797.2424

OFFICE LOCATIONS
MARYLAND © PENNSYLVANIA © VIRGINIA

CADD FILE:

2831-2022-DORMITORY

GANN BY: CHECKED BY: DRAWN BY: CHECKED BY: EVISIONS PER WASH. CO. COMMENTS -LETTER DATED 07-02-2

DATE: SCALE: SCALE: A 03-15-2024 REVISIONS PER WASH. CO. COMMENTS -LETTER DATED 08-22-2

A 1"=20" REV. # DATE DATE

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STATE OF MARYLAND, LICENSE NO

34688 EXPIRATION DATE: 7-09-25

NGINEER UNDER THE LAWS OF THE

SITE PLAN

IT JAMES SCHOOL - DORMIT

17626 COLLEGE ROAD

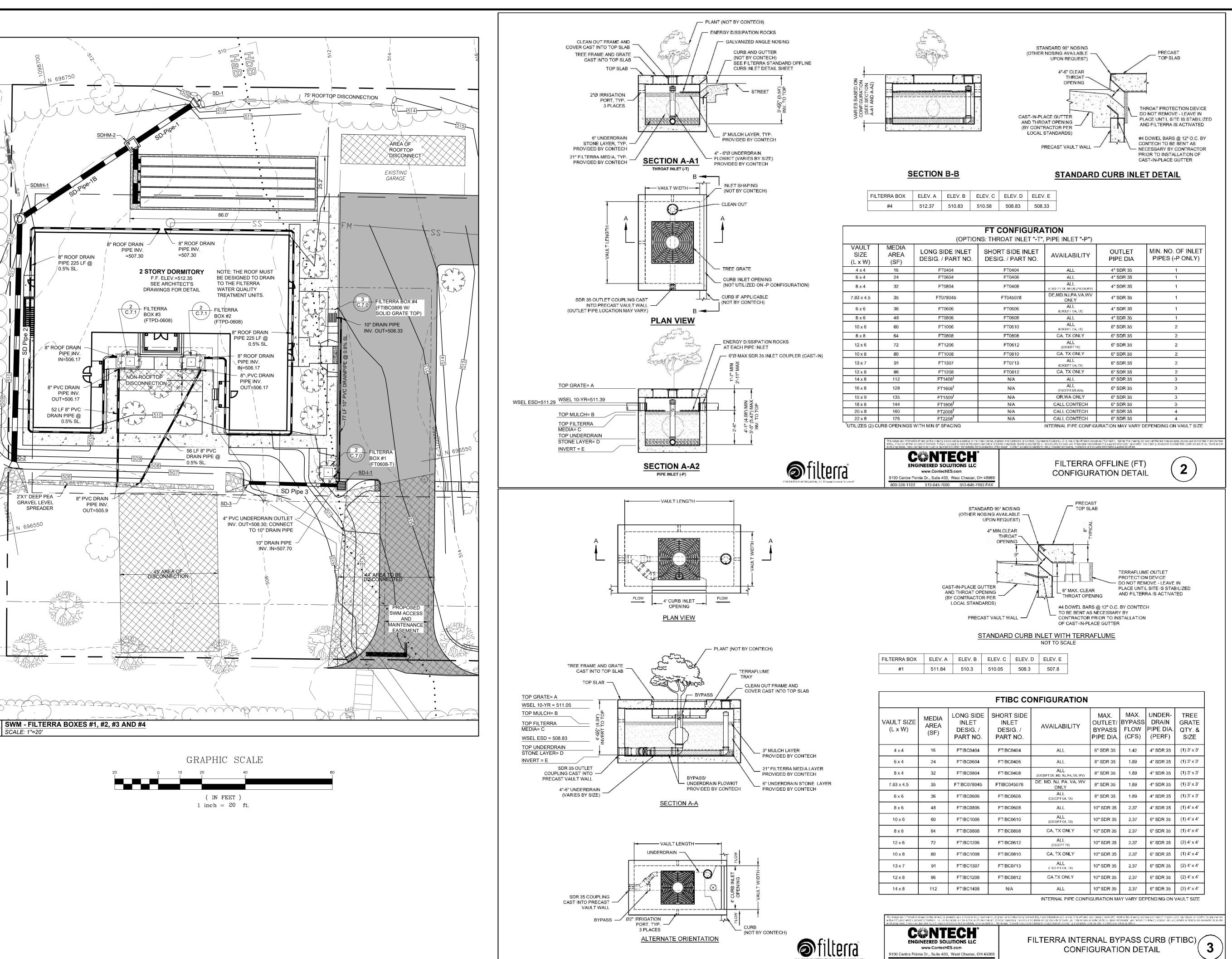
HAGERSTOWN, MD. 21740

ON & SEDIMENT CONTROL NOTES & DE

OR

TRIAD ENGINEERING, INC.
www.triadeng.com
SHEET NUMBER:

SP-23-015 | C.6.1 JOB NO.: 03-22-0521



RIAD OCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL NGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34688 EXPIRATION DATE: 7-09-25 OR

OWNER: SAINT JAMES SCHOOL, INC C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740 PHONE: 301-671-2603

0-338-1122 513-645-7000 513-645-7993 FA

SHEET NUMBER: SP-23-015 JOB NO.: 03-22-0521

TRIAD ENGINEERING, INC

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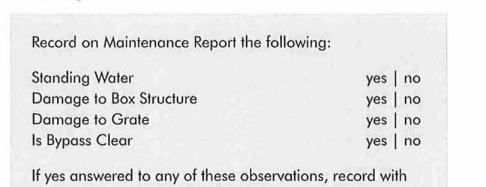
JAMES

Maintenance Visit Procedure

Keep sufficient documentation of maintenance actions to predict location specific maintenance frequencies and needs. An example Maintenance Report is included in this manual.

. Inspection of Filterra and surrounding area

• Record individual unit before maintenance with photograph (numbered). Record on Maintenance Report (see example in this document) the





. Removal of tree grate and erosion control stones

· Dig out silt (if any) and mulch and remove trash & foreign items.

· Remove cast iron grates for access into Filterra box.

close-up photograph (numbered).

Record on Maintenance Report the following:

Silt/Clay	yes no
Cups/ Bags	yes no
Leaves	yes no



*IF REQUIRED

INTERNAL PIPE CONFIGURATION MAY VARY

DEPENDING UPON OUTLET LOCATION

*INLET PIPE

NOT BY CONTECH -

3. Removal of debris, trash and mulch

• After removal of mulch and debris, measure distance from the top of the Filterra engineered media soil to the bottom of the top slab. If this distance is greater than 12" (300 mm), add Filterra media (not top soil or other) to recharge to a 9" (229 mm) distance

CURB AND GUTTER, TYP

SEE CURB INLET DETAIL

(NOT BY CONTECH)

Record on Maintenance Report the following: Distance of Bottom of Top Slab (inches) # of Buckets of Media Added

- VAULT LENGTH -

SECTION A-A (STANDARD DEPTH SHOWN)

TRANSFER OPENING

- 4" x 15" ON 4' WIDE VAULTS



Mulch replacement

- Please see mulch specifications.
- · Add double shredded mulch evenly across the entire unit to a depth of
- · Ensure correct repositioning of erosion control stones by the Filterra inlet to allow for entry of trash during a storm event.
- Replace Filterra grates correctly using appropriate lifting or moving tools, taking care not to damage the plant.



5. Plant health evaluation and pruning or replacement

as necessary

• Examine the plant's health and replace if dead.

• Prune as necessary to encourage growth in the correct directions

	e following:
Height above Grate	(Feet)
Width at Widest Point	(feet)
Health	alive dead
Damage to Plant	yes no
Plant Replaced	yes no



6. Clean area around Filterra

· Clean area around unit and remove all refuse to be disposed of



FTPD CONFIGURATION

. Complete paperwork

GRATE

SIZE

(1) 3' x 3'

(1) 3' x 3'

(1) 3' x 3'

(1) 4' x 4'

(1) 4' x 4'

(1) 4' x 4'

(1) 4' x 4'

(2) 4' x 4'

12"/12" (1) 3' x 3'

12"/12" (1) 3' x 3'

12"/12" (1) 4' x 4'

24"/24" (2) 4' x 4'

OUTLET

ACCESS

12"/12"

12"/12"

12"/12"

12"/12"

24"/24"

24"/24"

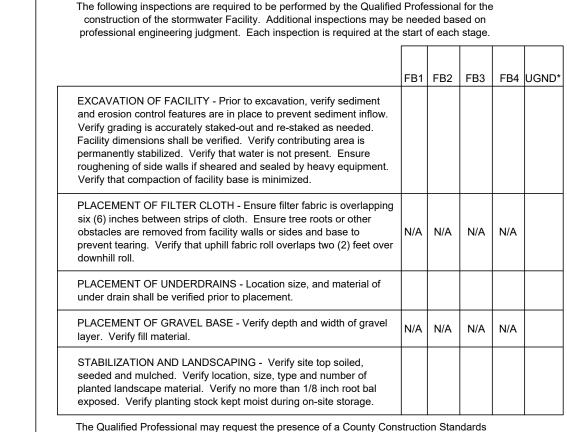
24"/24"

24"/24"

- Deliver Maintenance Report and photographs to appropriate location (normally during maintenance contract period).
- Some jurisdictions may require submission of maintenance reports in accordance with approvals. It is the responsibility of the Owner to comply with local regulations.

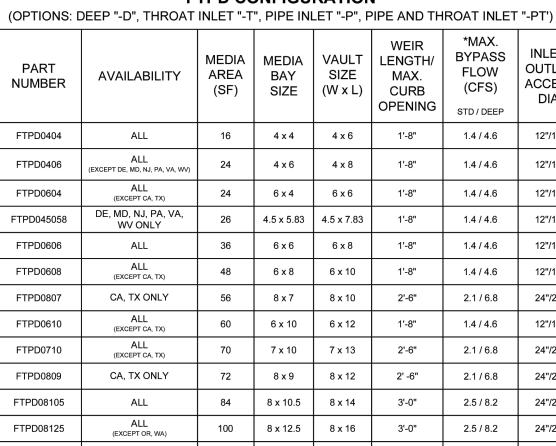
Maintenance Checklist

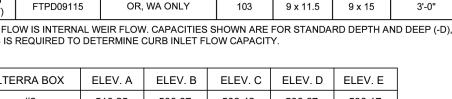
Drainage System Failure	Problem	Conditions to Check	Condition that Should Exist	Actions
Inlet	Excessive sediment or trash accumulation.	Accumulated sediments or trash impair free flow of water into Filterra.	Inlet should be free of obstructions allowing free distributed flow of water into Filterra.	Sediments and/or trash should be removed.
Mulch Cover	Trash and floatable debris accumulation.	Excessive trash and/or debris accumulation.	Minimal trash or other debris on mulch cover.	Trash and debris should be removed and mulch cover raked level. Ensure bark nugget mulch is not used.
Mulch Cover	"Ponding" of water on mulch cover.	"Ponding" in unit could be indicative of clogging due to excessive fine sediment accumulation or spill of petroleum oils.	Stormwater should drain freely and evenly through mulch cover.	Recommend contact manufacturer and replace mulch as a minimum.
Vegetation	Plants not growing or in poor condition.	Soil/mulch too wet, evidence of spill. Incorrect plant selection. Pest infestation. Vandalism to plants.	Plants should be healthy and pest free.	Contact manufacturer for advice.
Vegetation	Plant growth excessive.	Plants should be appropriate to the species and location of Filterra.		Trim/prune plants in accordance with typical landscaping and safety needs.
Structure	Structure has visible cracks.	Cracks wider than 1/2 inch or evidence of soil particles entering the structure through the cracks.		Vault should be repaired.



NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance. *UGND - UNDERGROUND STORMTECH CHAMBER SYSTEM



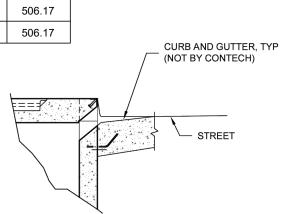


CINTECH

www.ContechES.com

100 Centre Pointe Dr., Suite 400, West Chester, OH 45069

800-338-1122 513-645-7000 513-645-7993 FAX

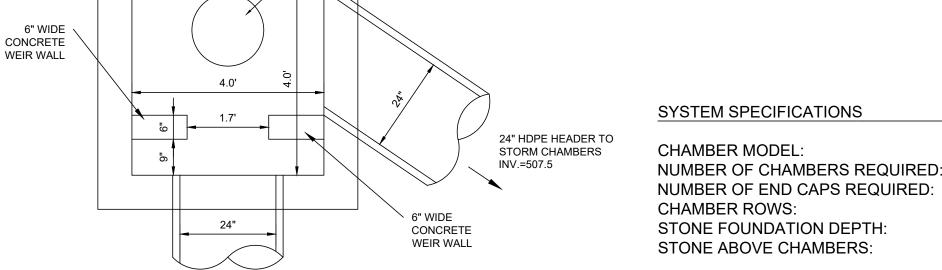


2.5 / 8.2

CURB INLET DETAIL

sign and information shown on this drawing is provided as a service to the project owner, engineer and contractor by Contech Engineered Solutions LLC or one of its affiliated companies ("Contech"). Neither this drawing, nor any part thereof, may be used, reproduced or modified in any may the project of the project owner, engineer and contractor by Contech Engineered Solutions LLC or one of its affiliated companies ("Contech"). Neither this drawing, nor any part thereof, may be used, reproduced or modified in any may be used. It is affiliated companies ("Contech"). Neither this drawing, nor any part thereof, may be used, reproduced or modified in any may be used. It is affiliated companies ("Contech"). Neither this drawing, nor any part thereof, may be used, reproduced or modified in any may be used. It is affiliated companies ("Contech"). Neither this drawing, nor any part thereof, may be used, reproduced or modified in any may be used. The project of FILTERRA PEAK DIVERSION (FTPD)

CONFIGURATION DETAIL



WEIR WALL

MANHOLE ACCESS

24" HDPE

INV.=507.5

INFLOW

9 INCHES STONE FOUNDATION DEPTH: STONE ABOVE CHAMBERS: 6 INCHES OUTFLOW CLEAN CRUSHED STONE TO BE WRAPPED IN ADS INV.=507.5 GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE TOP OF MANHOLE SDMH-2 GROUND ELEVATION VARIES = 511.5 MINIMUM MDSHA SQUARE SHALLOW MANHOLE WITH NON-TRAFFIC BEARING TOP 1.7' 6" WIDE CONCRETE WEIR WALL 6" WIDE CONCRETE

STORMTECH CHAMBERS UNDERGROUND STORAGE SYSTEM DETAILS AND SPECIFICATIONS

BOTTOM AND SIDES OF STONE TO BE LINED WITH 30 MIL PE IMPERMEABLE LINER

OWNER:

DC-780

SAINT JAMES SCHOOL, C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740 PHONE: 301-671-2603 SP-23-015

TRIAD

www.triadeng.com

SHEET NUMBER: JOB NO.: 03-22-0521

OCUMENTS WERE PREPARED OR

JLY LICENSED PROFESSIONAL

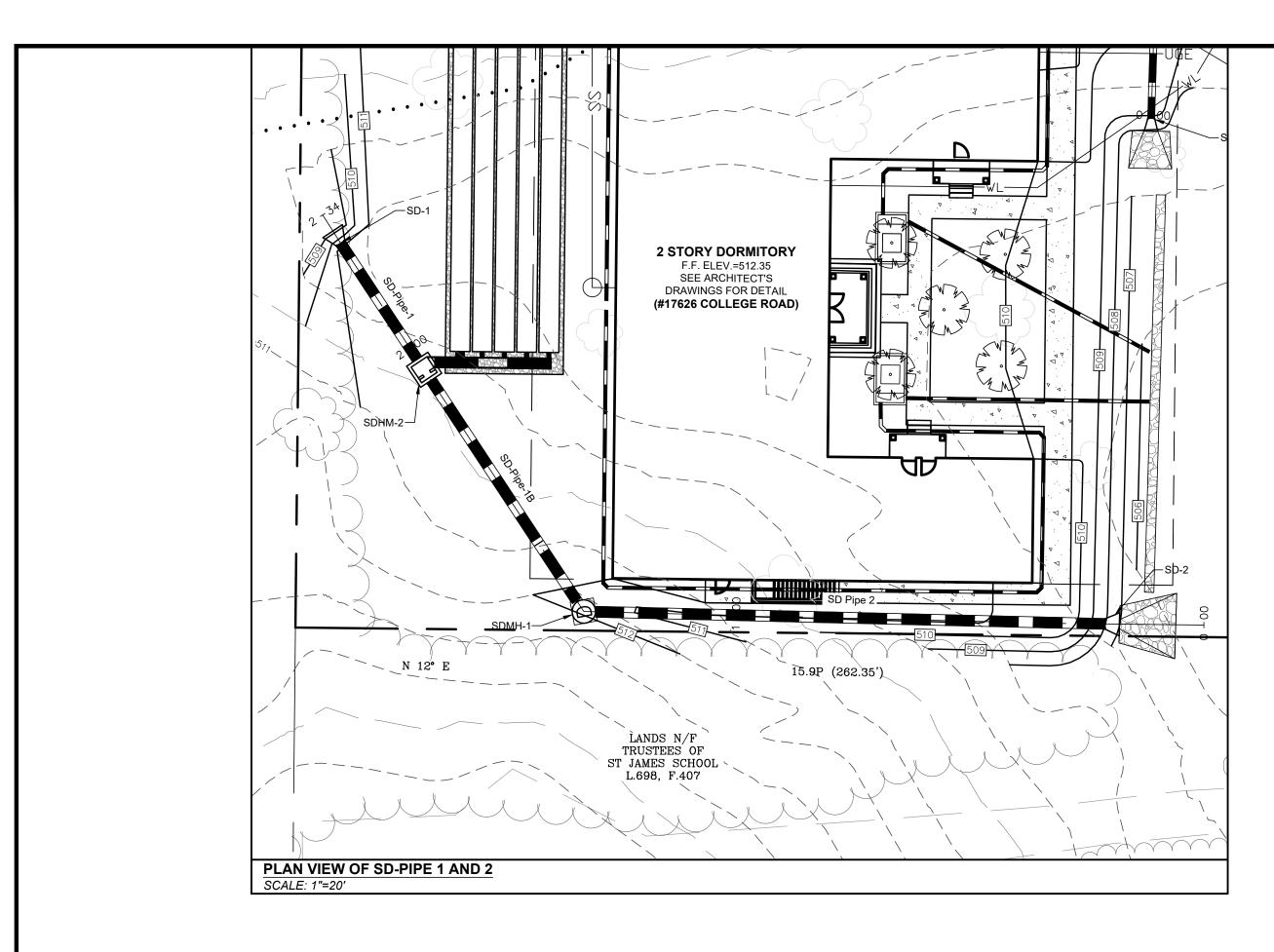
STATE OF MARYLAND, LICENSE NO

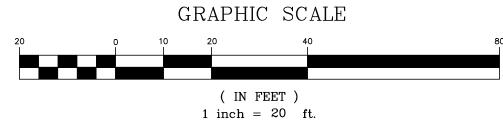
34688 EXPIRATION DATE: 7-09-25

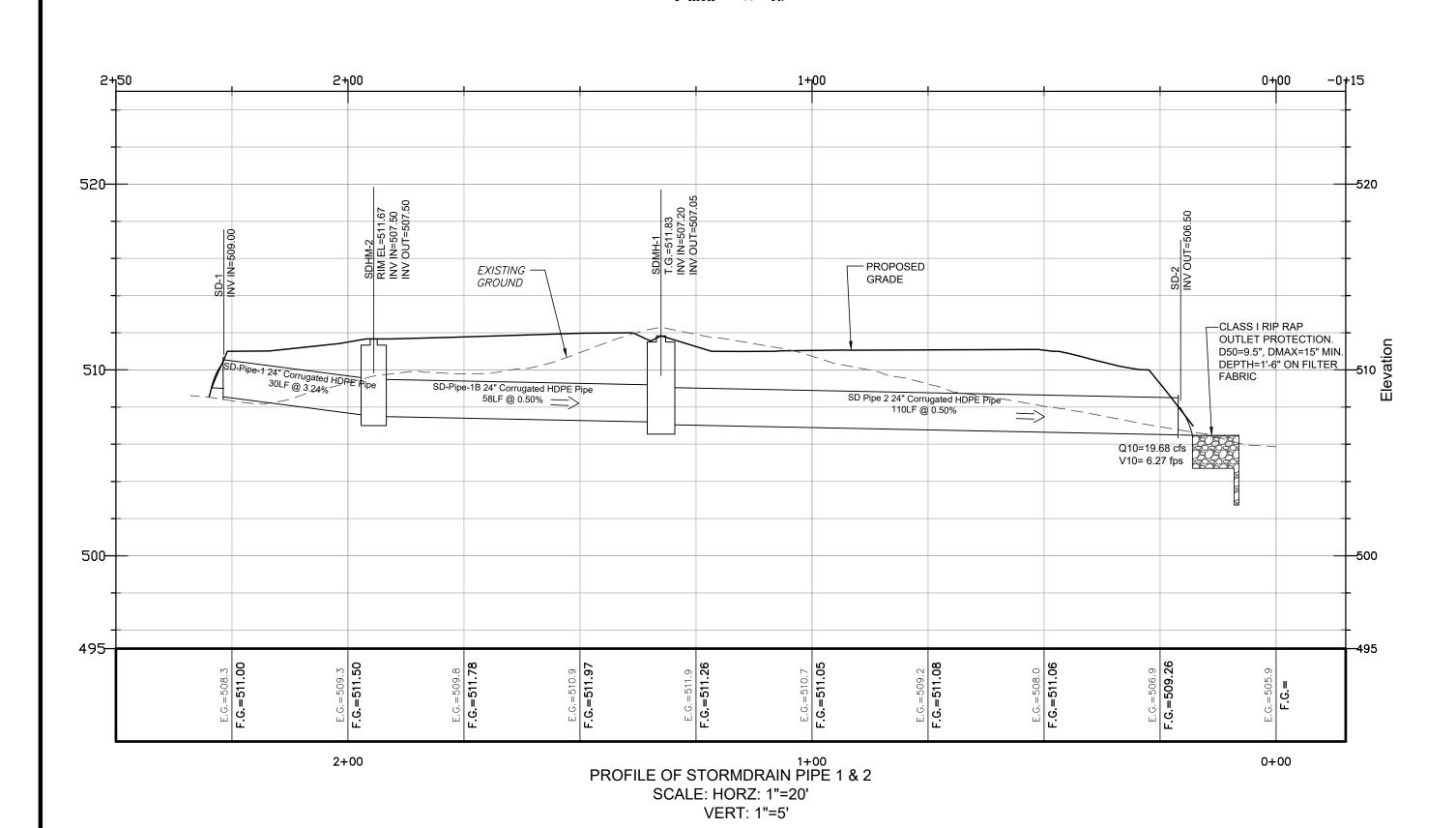
APPROVED BY ME, AND THAT I AM A

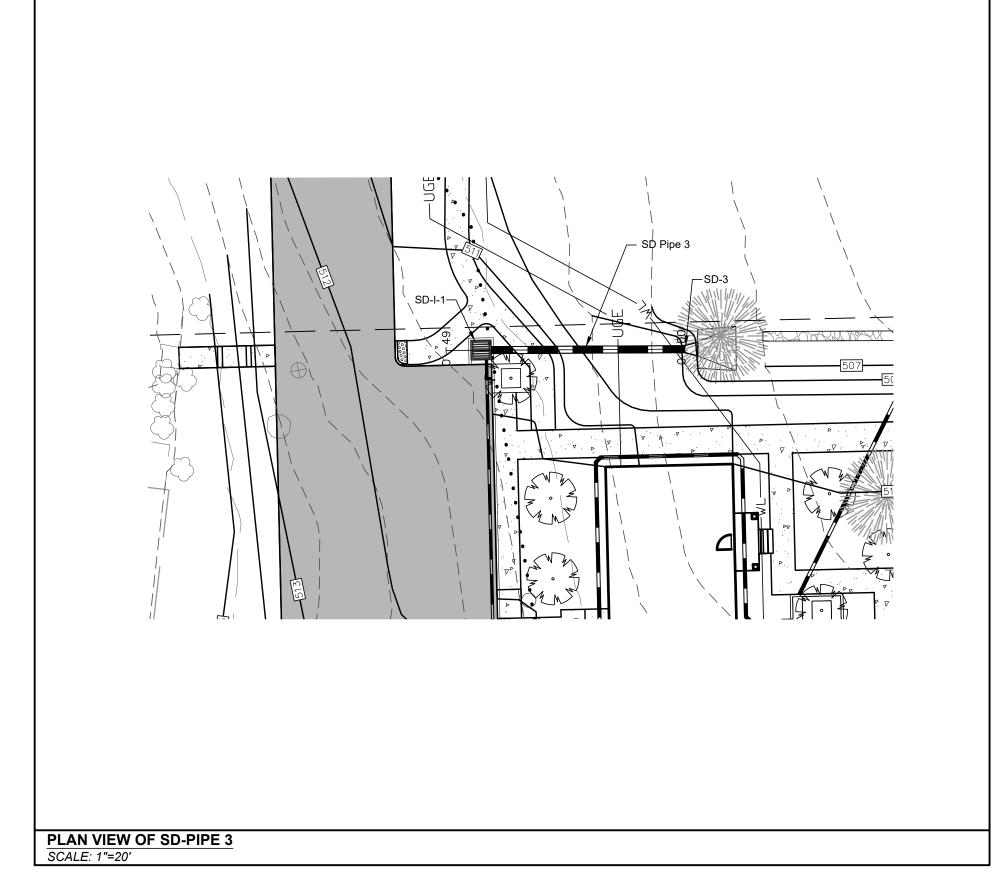
IGINEER UNDER THE LAWS OF THE

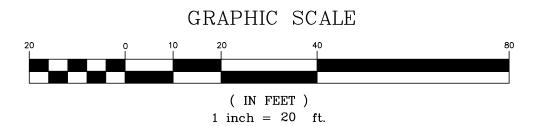
4" x 20" ON 6'-8' WIDE VAULTS MEDIA | MEDIA SIZE AVAILABILITY AREA BAY NAME NUMBER (SF) SIZE (W x L) UNDERDRAIN 4 x 4 FTPD0404 ALL 4 x 6 (4x6 VAULT) FTPD 4x6 ALL EXCEPT DE, MD, NJ, PA, VA, WV FTPD0406 4 x 6 (4x8 VAULT) ACCESS FTPD 6x4 6 x 4 6 x 6 (6x6 VAULT) (TYP. 3 PLACES) FTPD 4.5x5.8 DE, MD, NJ, PA, VA, FTPD045058 4.5 x 5.83 (4.5x7.8 VAULT) TREE GRATE FTPD 6x6 FTPD0606 ALL 6 x 6 6 x 8 (6x8 VAULT) FTPD0608 6 x 8 6 x 10 (6x10 VAULT) OUTLET PIPE NOT BY CONTECH — OUTLET ACCESS FTPD 8x7 CA, TX ONLY FTPD0807 8 x 7 (LOCATION VARIES) (8x10 VAULT) - MEDIA BAY -FTPD 6x10 ALL (EXCEPT CA, TX) FTPD0610 6 x 10 6 x 12 (6x12 VAULT) FTPD 7x10 **PLAN VIEW** FTPD0710 ALL (EXCEPT CA, TX) 7 x 10 7 x 13 (7x13 VAULT) CA, TX ONLY FTPD0809 8 x 9 8 x 12 (8x12 VAULT) FTPD 8x10.5 FTPD08105 84 8 x 10.5 ALL (8x14 VAULT) FTPD 8x12.5 FTPD08125 8 x 12.5 (8x16 VAULT) PLANT (NOT BY CONTECH) FTPD 9x11.5 FTPD09115 OR, WA ONLY 103 9 x 11.5 9 x 15 (9x15 VAULT) *MAX BYPASS FLOW IS INTERNAL WEIR FLOW. CAPACITIES SHOWN ARE FOR STANDARD DEPTH AND DEEP (-D), RESPECTIVELY. SITE SPECIFIC ANALYSIS IS REQUIRED TO DETERMINE CURB INLET FLOW CAPACITY. TREE FRAME AND GRATE CAST INTO TOP SLAB DISSIPATION -FILTERRA BOX | ELEV. A | ELEV. B | ELEV. C | ELEV. D | ELEV. E ROCKS CLEAN OUT FRAME AND COVER CAST INTO TOP SLAB 510.25 | 508.67 | 508.42 | 506.67 | 506.17 NOT BY CONTECH INLET *IF REQUIRED (LOCATION VARIES) 508.67 508.42 506.67 506.17 TOP GRATE= A 🗀 TOP MULCH= E PERMANENT (TYP. 3 PLACES) SETTLING 3" MULCH LAYER, TYP TOP UNDERDRAIN POOL ELEV.* PROVIDED BY CONTECH STONE LAYER= D INVERT = E 6" UNDERDRAIN STONE LAYER, TYP OUTLET PIPE PROVIDED BY CONTECH NOT BY CONTECH (LOCATION VARIES) 21" FILTERRA MEDIA, TYP. ALTERNATE ORIENTATION *PERMANENT WSEL = 508.75

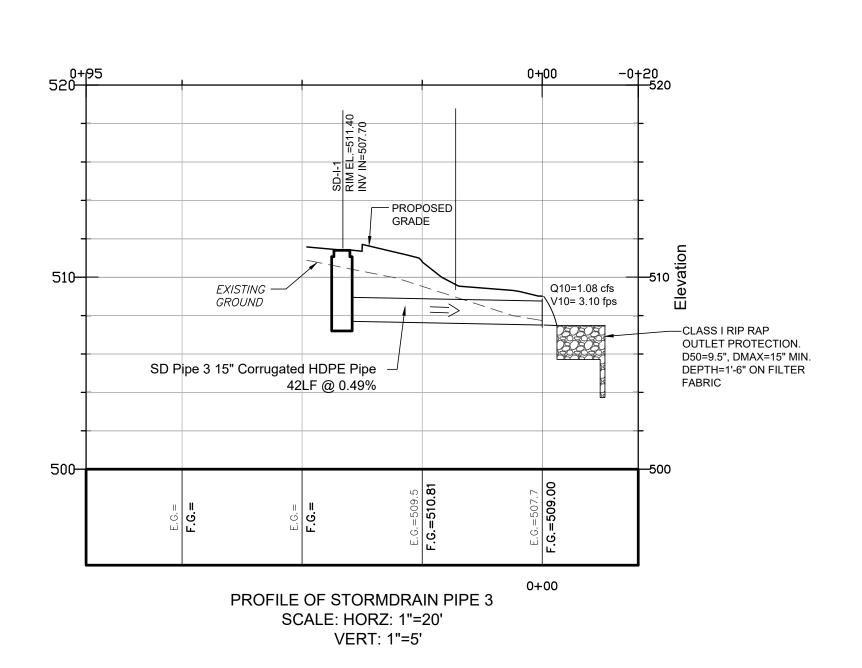






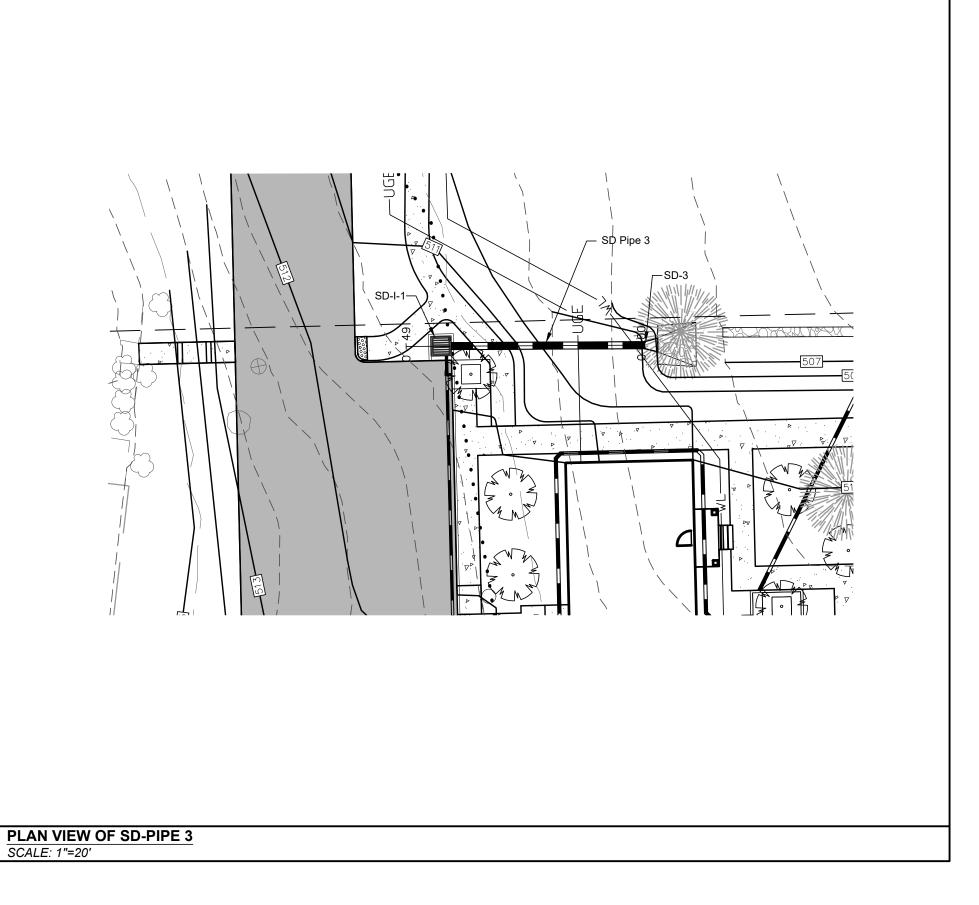


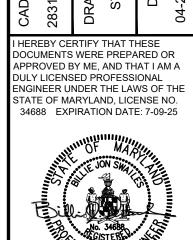




OWNER: SAINT JAMES SCHOOL, INC. C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740 PHONE: 301-671-2603

C.8.0 SP-23-015 JOB NO.: 03-22-0521





TRIAD ENGINEERING,

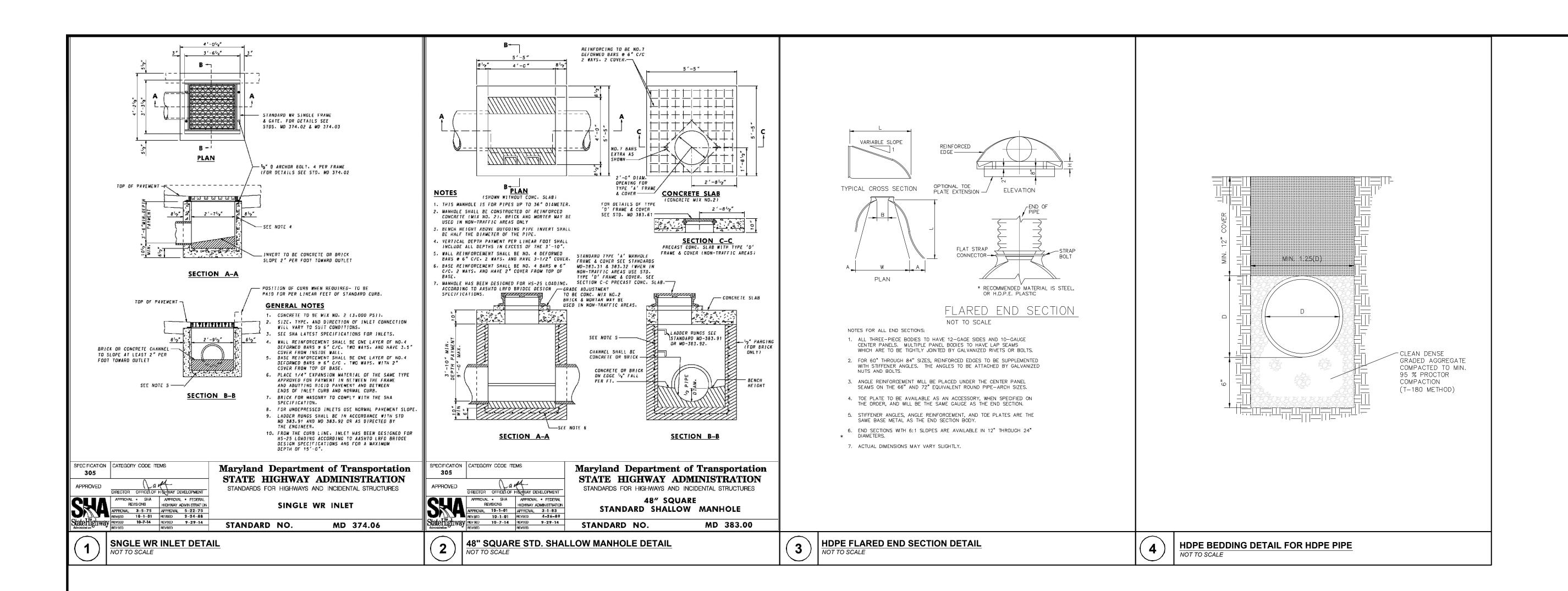
DORMITORY

SITE PLAN

I JAMES SCHOOL

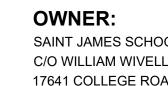
17626 COLLEGE ROAD
HAGERSTOWN, MD. 2174 SAINT

TRIAD ENGINEERING, INC. www.triadeng.com SHEET NUMBER:



STRUCTURE TABLE					
STRUCTURE NAME	STRUCTURE NAME DETAILS RIM INV IN				
SD-2	CMP Rectangular End Section	508.74	SD Pipe 2=506.50		
SD-3	CMP Rectangular End Section	508.94	SD Pipe 3=507.50		
SD-1	CMP Rectangular End Section	510.79		SD-Pipe-1=508.55	
SDHM-2*	SQUARE SHALLOW MANHOLE	511.67	SD-Pipe-1=507.50	SD-Pipe-1B=507.50	
SDMH-1	48" SQUARE SHALLOW MANHOLE	511.83	SD-Pipe-1B=507.20	SD Pipe 2=507.05	
SD-I-1	Single WR Inlet	511.40		SD Pipe 3=507.70	

	Pipe Table									
NAME	SIZE	LENGTH	SLOPE	INV. IN	INV. OUT					
SD-Pipe-1	24"Corrugated HDPE Pipe	32.45'	3.24%	508.55	507.50					
SD-Pipe-1B	24"Corrugated HDPE Pipe	59.92'	0.50%	507.50	507.20					
SD Pipe 2	24"Corrugated HDPE Pipe	109.43'	0.50%	507.05	506.50					
SD Pipe 3	15"Corrugated HDPE Pipe	41.04'	0.49%	507.70	507.50					



PHONE: 301-671-2603

SHEET NUMBER: SP-23-015 JOB NO.: 03-22-0521

SAINT JAMES SCHOOL, INC. C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740

TRIAD ENGINEERING, IN www.triadeng.com

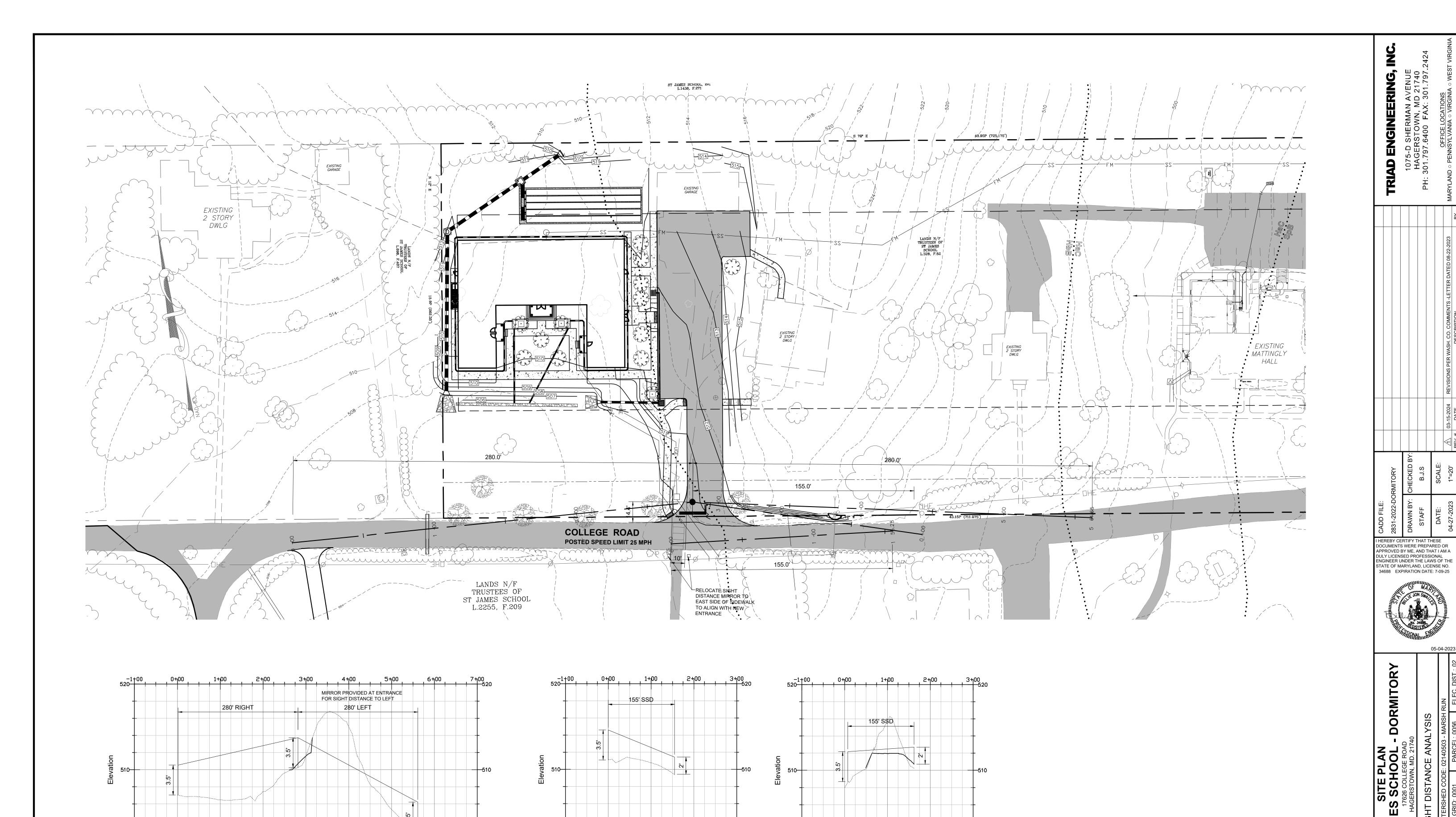
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34688 EXPIRATION DATE: 7-09-25

DORMITOR

SITE PLAN S SCHOOL

JAMES

TRIAD



PROFILE OF SIGHT DISTANCE ENTERING DRIVEWAY

SCALE: HORZ: 1"=100'

VERT: 1"=5'

PROFILE OF SIGHT DISTANCE EXITING DRIVEWAY

SCALE: HORZ: 1"=100'

COLLEGE ROAD - POSTED SPEED LIMIT 25 MPH

VERT: 1"=5'

PROFILE OF SSD APPROACH FROM LEFT

SCALE: HORZ: 1"=100'

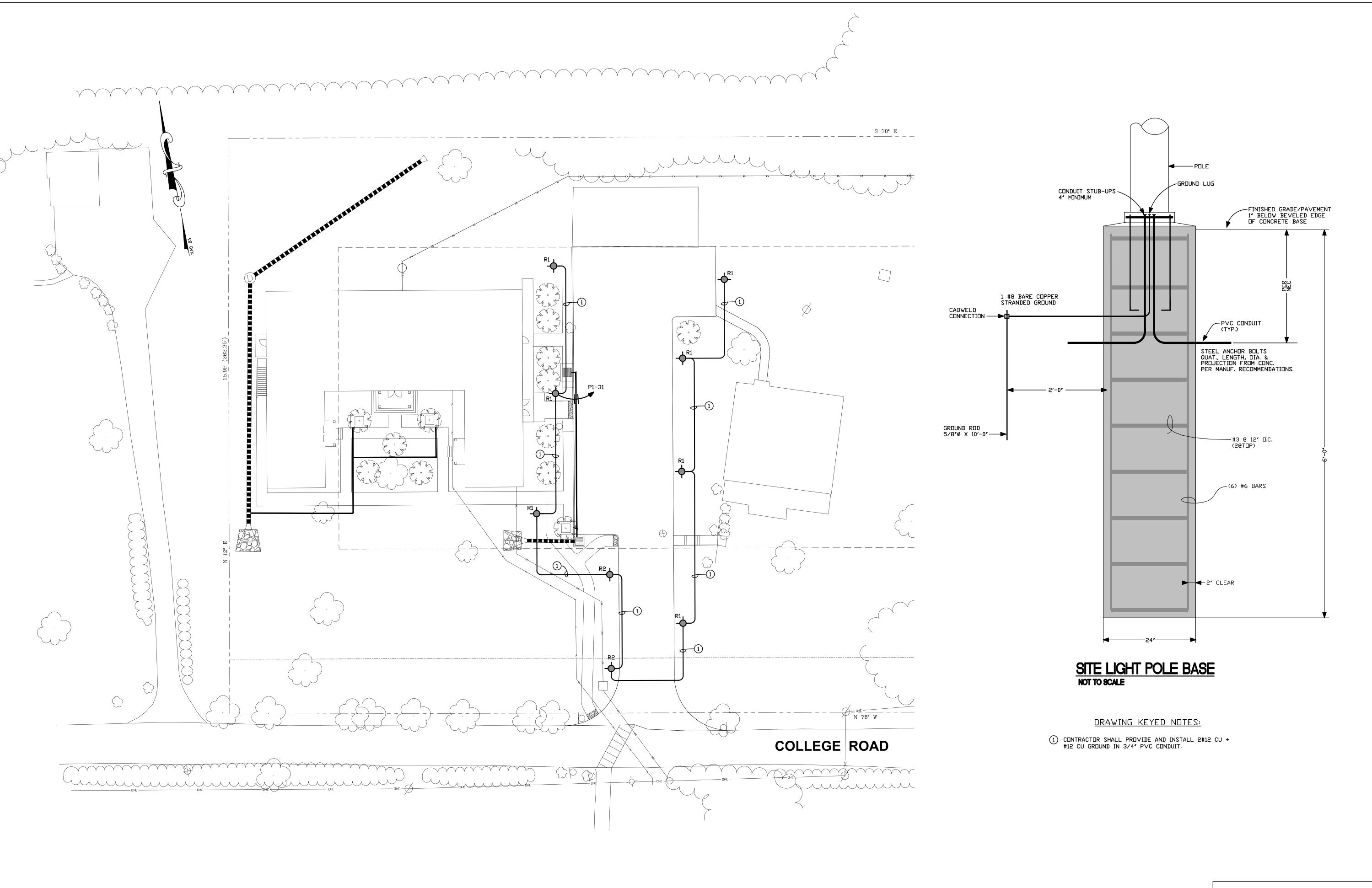
VERT: 1"=5'

OWNER:

SAINT JAMES SCHOOL, INC. C/O WILLIAM WIVELL 17641 COLLEGE ROAD ST. JAMES, MD 21740 PHONE: 301-671-2603

TRIAD ENGINEERING, INC.
www.triadeng.com
SHEET NUMBER:

1-2603 C.9.0 SP-23-015 JOB NO.: 03-22-0521



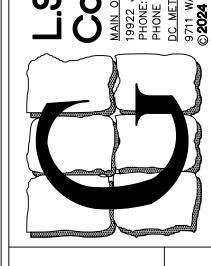
SITE LIGHTING PLAN

SCALE: 1" = 20"-0"

Perbi S. Lam, Response of the part of the

23-029

S. GRIM, INC. presulting Engineers



ST. JAMES SCHOOL STUDENT DORM BUILDING HAGERSTOWN, MARYLAND

Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland License Number: 14401

Expiration Date: 4/21/2023

LESLIE SCOTT GRIM, P.E.

CO PROF. ENG. NO. PE0050461
DC PROF. ENG. NO. PE901201
DE PROF. ENG. NO. PE032582
HI PROF. ENG. NO. PE13943
MD PROF. ENG. NO. 14401
NC PROF. ENG. NO. 14401
NC PROF. ENG. NO. 33364
NJ PROF. ENG. NO. 39497
NY PROF. ENG. NO. 075414
PA PROF. ENG. NO. 075414
PA PROF. ENG. NO. 023240
WV PROF. ENG. NO. 023240
WV PROF. ENG. NO. 10764

COMMENT

D23 PERMIT SET

D24 ADDED SITE LIGHTING

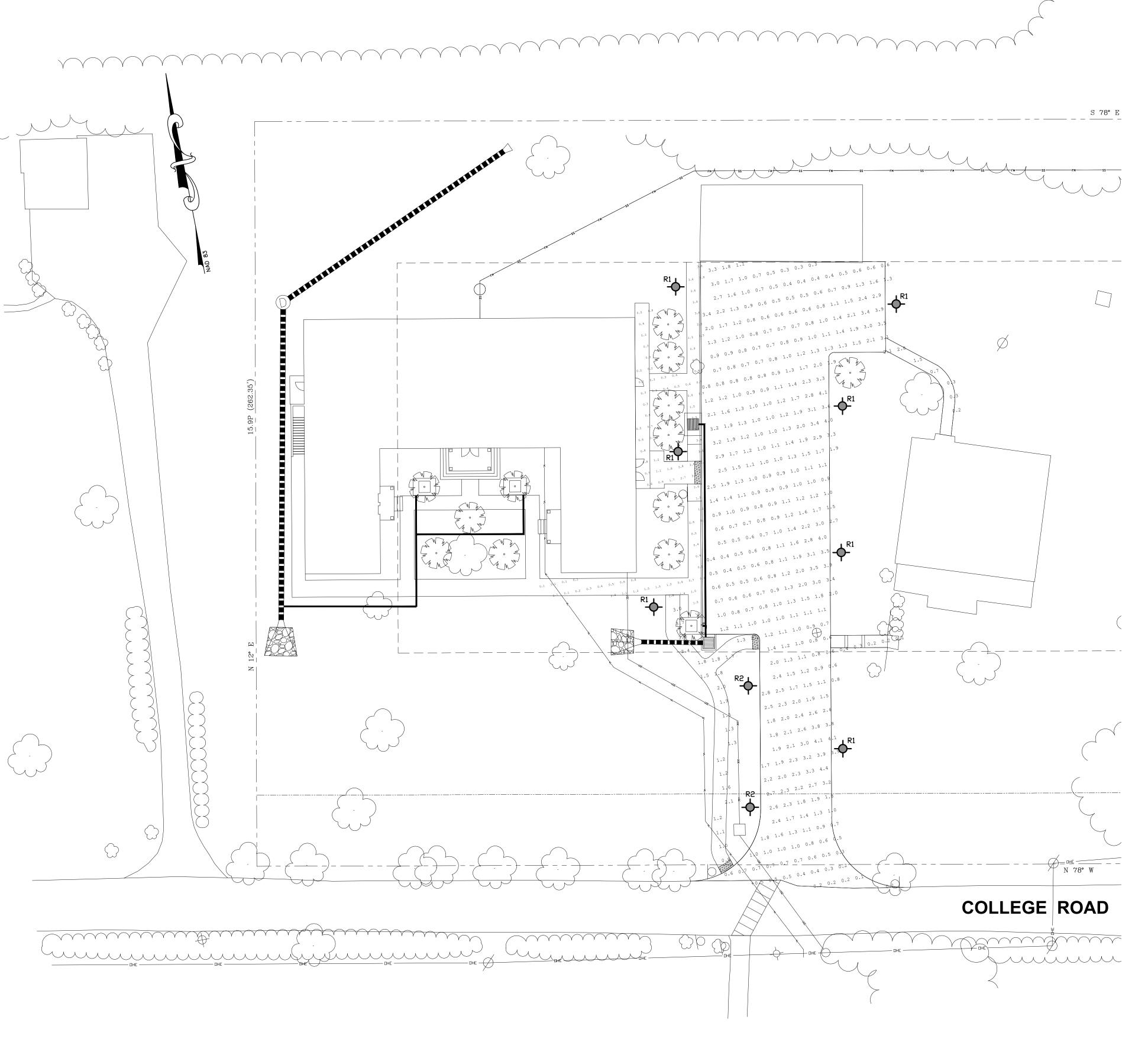
HML: SA NARUA (A) 09/29/2023 REV (D3/14/2024 ADI

DRAWN BY: TMH

E-1.5

10 OF 17 SHEETS

DATE: MARCH 14, 2024



	LUMINAIRE SCHEDULE					
TYPE	DESCRIPTION	LLF	WATTAGE	MDUNTING HEIGHT	QUANTITY	
R1	FGL-RB-Y4-36LED-4K-600	0.80000	73	10′-0″	7	
R2	FGL-RB-YF-36LED-4K-600	0.80000	73	10′-0″	2	

CALCULATION SUMMARY					
LABEL	CALCULATION TYPE	UNITS	AVERAGE	MAX	MIN
PARKING LOT CALCULATION	ILLUMINANCE	FC	1.43	4.40	0.10
SIDEWALK CALCULATION	ILLUMINANCE	FC	1.21	3.90	0.10

SITE PHOTOMETRIC LIGHTING PLAN SCALE: 1" = 20"-0"



23-029

ST. JAMES STUDENT DOF

Professional Certification

Expiration Date: <u>4/21/2023</u> LESLIE SCOTT GRIM, P.E.

CO PROF. ENG. NO. PE0050461
DC PROF. ENG. NO. PE901201
DE PROF. ENG. NO. 19513
GA PROF. ENG. NO. PE032582
HI PROF. ENG. NO. PE13943
MD PROF. ENG. NO. 14401
NC PROF. ENG. NO. 033364
NJ PROF. ENG. NO. 39497
NY PROF. ENG. NO. 39497
NY PROF. ENG. NO. 075414
PA PROF. ENG. NO. 075414
PA PROF. ENG. NO. 075414
VA PROF. ENG. NO. 075414
PA PROF. ENG. NO. 075414
PA PROF. ENG. NO. 10764

ı						
	COMMENT	07/28/2023 PERMIT SET	09/29/2023 REVISION 1	03/14/2024 ADDED SITE LIGHTING		
	DATE	07/28/2023	09/29/2023	03/14/2024		

DRAWN BY: TMH E-1.6
11 OF 17 SHEETS



DEPARTMENT OF PLANNING & ZONING COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Senior Planner

DATE: September 9, 2024

RE: Forest Conservation Mitigation Approval for St. James Dormitory (SP-23-015)

Attached you will find supporting documentation for two requests to meet forest conservation requirements for this project. The first request is to payment in lieu to satisfy the .13-acre planting requirement for the dormitories to be constructed on the St. James campus on College Rd. The second request is to remove 4 specimen trees from the site as a part of its development.

Enclosed for your review are two documents in support of the applicant's request. These include the forest stand delineation; which shows the location of the specimen trees proposed for removal within the project limits of disturbance, and the justification letter from Qualified Professional Tim Kellerman that make their case for both of the tree removal request.

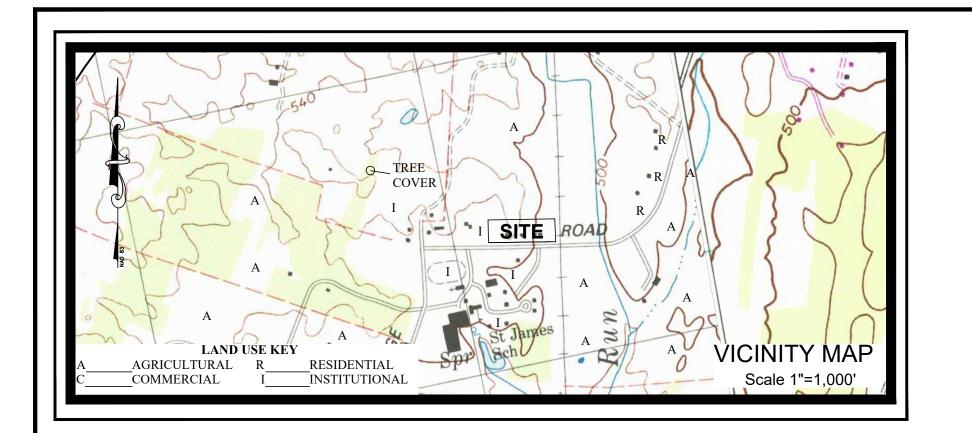
Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

The removal of specimen trees requires that approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen Senior Planner (240) 313-2432 tallen@washco-md.net

747 Northern Ave | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1



LEGEND

PROPERTY BOUNDARY

EXISTING NON-FCO TREE COVER

—— L□□ — NET TRACT AREA

SOIL TYPE DESIGNATION BOUNDARY • • HaC• • •

> SPECIMEN TREE LOCATION AND IDENTIFICATION NUMBER

ERODIBLE SOILS WITH SLOPES GREATER **THAN 15%**

STEEP SLOPES GREATER THAN 25%

AREA TABLE:

NET TRACT AREA 1.01 AC. NET TRACT AREA OF FOREST COVER...... 0.0 AC.

GENERAL NOTES:

- 1. DEED REFERENCE: BEING ALL OF LANDS CONVEYED TO COLLEGE OF ST. JAMES SCHOOL FROM ADRIAN H. JR. AND MILDRED G. ONDERDONK, ET. AL., DEED DATED JULY 13,1957, AND RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY AT LIBER 328 FOLIO 82.
- 2. THE EXISTING PROPERTY LINES SHOWN HEREON ARE DERIVED FROM DEEDS AND /OR PLATS OF RECORD BEING OVERLAID ONTO EXISTING FIELD MONUMENTATION.
- 3. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A COMPOSITE OF WASHINGTON COUNTY GIS INFORMATION AND FIELD RUN SURVEYS CONDUCTED BY TRIAD ENGINEERING, INC.
- 4. HORIZONTAL DATUM IS N.A.D. 83(2007) AND VERTICAL DATUM IS N.A.V.D. 88.

SIMPLIFIED FOREST STAND DELINEATION NARRATIVE

TAX MAP	PARCEL	OWNER	ADDRESS	DEED	ZONING
62	56	TRUSTEES OF ST JAMES SCHOOL	17632 & 17646 COLLEGE RD WILLIAMSPORT, MD 21795	328/82	AGRICULTURAL (RURAL) DISTRICT

THE SITE IS PART OF THE SAINT JAMES SCHOOL AND IS LOCATED ALONG THE NORTHERN SIDE OF COLLEGE AVENUE IN WASHINGTON COUNTY, MARYLAND. THE SITE CONTAINS EXISTING DWELLINGS AND THEIR INFRASTRUCTURE AND LANDSCAPED AREAS.

DIRECTION	ADJOINING USES
NORTH	UNDEVELOPED AGRICULTURAL LAND
SOUTH	SAINT JAMES SCHOOL
EAST	RESIDENCE
WEST	RESIDENCE

WATERSHED DETAILS	NAME	NUMBER
TRIBUTARY STRATEGY BASIN	UPPER POTOMAC	N/A
MD 6 DIGIT WATERSHED	UPPER POTOMAC RIVER	021405
MD 8 DIGIT WATERSHED	MARSH RUN	02140503
MD 12 DIGIT WATERSHED	MARSH RUN	021405030185
TIER II CATCHMENT	N/A	
SURFACE WATERS DESIGNATED USE CLASS	IV-P	

THERE ARE NO JURISDICTIONAL WATERS OF THE U.S. OR WATERS OF THE STATE, INCLUDING WETLANDS AT THE SUBJECT PROPERTY. THERE ARE NO NONTIDAL WETLANDS OF SPECIAL STATE CONCERN AT THE SUBJECT PROPERTY. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 24043C0284D, EFFECTIVE ON 8/15/2017, THE SUBJECT PROPERTY IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X).

THERE ARE SMALL AREAS OF HIGHLY ERODIBLE SOILS AND STEEP SLOPES AT THE SITE AS SHOWN HEREON. THE MAPPED SOILS AT THE SITE ARE LISTED IN THE TABLE BELOW.

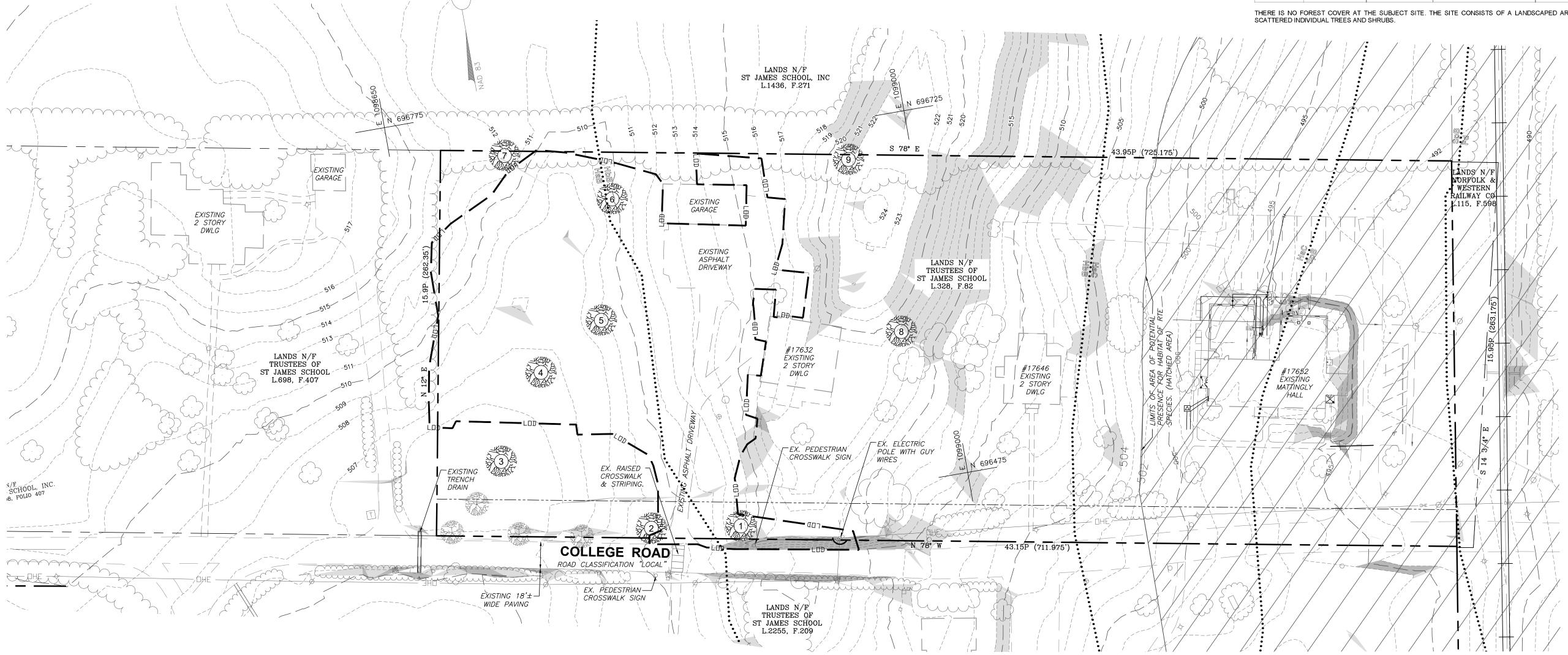
	SOIL MAP UNIT TABLE			
SYMBOL	MAP UNIT NAME	FARMLAND CLASS	K FACTOR	HYDRIC RATING
НаВ	HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES	PRIME FARMLAND	.37	0
HbB	HAGERSTOWN SILTY CLAY LOAM, 3 TO 8 PERCENT SLOPES, VERY ROCKY	NOT PRIME FARMLAND	.37	0

ACCORDING TO MARYLAND'S ENVIRONMENTAL RESOURCE AND LAND INFORMATION NETWORK (MERLIN), THE MARYLAND DNR WILDLIFE AND HERITAGE SERVICE INDICATES THE POTENTIAL FOR THE EXISTENCE OF THE HABITAT OF A MARYLAND DESIGNATED RARE, THREATENED OR ENDANGERED SPECIES. CURRENT AND FUTURE OWNERS ARE ADVISED TO CONTACT THE WILDLIFE AND HERITAGE SERVICE FOR ADDITIONAL INFORMATION ON PROGRAM GUIDELINES OR FURTHER DETERMINATION OF THE EXISTENCE OF THE HABITAT. NO ADDITIONAL LAND USE RESTRICTIONS ARE IMPOSED BY WASHINGTON COUNTY.

THERE ARE EIGHT SPECIMEN TREES AT THE SITE WHICH ARE SHOWN IN THE PLAN VIEW AND LISTED IN THE TABLE BELOW.

SPECIMEN TREE SUMMARY TABLE								
ID NUMBER	DBH IN INCHES	COMMON NAME	SCIENTIFIC NAME	CONDITION	CRZ IN FEET			
1	48	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	GOOD	72			
2	36	SILVER MAPLE	ACER SACCHARINUM	GOOD	54			
3	44	SILVER MAPLE	ACER SACCHARINUM	POOR - MULTIPLE LARGE, DEAD BRANCHES	54			
4	35	SILVER MAPLE	ACER SACCHARINUM	POOR - TRUNK DECAY	54			
5	54	SILVER MAPLE	ACER SACCHARINUM	GOOD	54			
6	40	SILVER MAPLE	ACER SACCHARINUM	GOOD	54			
7	69.5	SILVER MAPLE	ACER SACCHARINUM	GOOD	54			
8	35	HACKBERRY	CELTIS OCCIDENTALIS	GOOD	54			

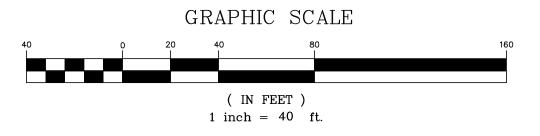
THERE IS NO FOREST COVER AT THE SUBJECT SITE. THE SITE CONSISTS OF A LANDSCAPED AREA WITH MAINTAINED LAWN AND SCATTERED INDIVIDUAL TREES AND SHRUBS.



PROJECT CONTACT:

SAINT JAMES SCHOOL, INC. OWNER: 17641 COLLEGE ROAD MAILING ADDRESS-ST. JAMES, MD. 21740 ATTENTION-WILLIAM WIVELL 301-671-2603 PHONE-

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01B. Snothy of Kellerman 3-18-2024 DATE TIMOTHY J. KELLERMAN



8

YES

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A ULY LICENSED PROFESSIONAL NGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. EXPIRATION DATE:

> DORMITORY STAND DELINEATION

FOREST JAMES SIMPLIFIED

www.triadeng.com SHEET NUMBER:

FSD JOB NO.: 03-22-0521

	Land Development Reviews								
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner		
FS-24-015	Forest Stand Delineation	Approved	16-Jul-24	STAND DELINEATION FOR AC&T - WILLIAMSPORT	16504 VIRGINIA AVENUE WILLIAMSPORT, MD 21795	 FREDERICK SEIBERT & ASSOCIATES	FAST GAS CORP		
SIM24-049	IMA	Active	08-Jul-24	13278 STUTZ LANE HN	13278 STUTZ LANE HAGERSTOWN, MD 21740	APEX LAND SOLUTIONS LLC	CRAIG DMITRIY CRAIG OLGA		
SIM24-050	IMA	Active	08-Jul-24	18361 BREATHEDSVILLE ROAD BO	18361 BREATHEDSVILLE ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	SHORT JEFFREY SHORT MICHELLE E		
SIM24-051	IMA	Active	17-Jul-24	BILLOTTI FARM BREWERY	23433 RINGGOLD PIKE SMITHSBURG, MD 21783	R LEE ROYER & ASSOCIATES	BILLOTTI SAM IV BILLOTTI CASSANDRA ANN		
SIM24-052	IMA	Active	17-Jul-24	MYERS MANAGEMENT	225 MCRAND COURT HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	MYERS LIMITED PARTNERSHIP		
SIM24-053	IMA	Active	18-Jul-24	 13816 PENNSYLVANIA AVENUE HN	13816 PENNSYLVANIA AVENUE, UNIT# 101 HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	FOUNTAINHEAD PROPERTIES MNGT		
SIM24-054	IMA	Active	19-Jul-24	5618 MOUNT BRIAR ROAD KE	5618 MOUNT BRIAR ROAD KEEDYSVILLE, MD 21756	FREDERICK SEIBERT & ASSOCIATES	OBRIEN LINDSAY REBECCA		
SIM24-055	IMA	Active	22-Jul-24	21011 KEADLE ROAD BC	21011 KEADLE ROAD	FREDERICK SEIBERT & ASSOCIATES	FRANQUIST TIMOTHY S SR		
SIM24-056	IMA	Active	29-Jul-24	11175 DAM NUMBER 5 ROAD CS	11175 DAM NUMBER 5 ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	STINE JORDAN L		
S-24-022	Preliminary-Final Plat	Revisions Required	11-Jul-24	HAROLD FARROW LOTS	14705 SAINT PAUL ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	BRANCHMAN BARBARA JEAN ET AL FARROW HAROLD VINCENT JR		
S-24-025	Preliminary-Final Plat	Revisions Required	18-Jul-24	TERRY DOYLE LOTS 1&2 RESUBDIVISION	9721 MEADOW ROCK DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	MCNAMEE BRADLEY W MCNAMEE SAVANNAH J		
S-24-027	Preliminary-Final Plat	In Review	24-Jul-24	LAND OF BROWN LOTS	14023 MAUGANSVILLE ROAD MAUGANSVILLE, MD 21767	FREDERICK SEIBERT & ASSOCIATES	BROWN EARL W JR BROWN MARIA J		
PWA2024-005	PWA	Active	03-Jul-24	ELMWOOD FARM SECTION 5C (WILKES DRIVE)	 10110 WILKES DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	FELIXS FOLLY LLC		
SP-22-033.R01	Redline Revision	Approved	05-Jul-24	REDLINE REVISION TO QUANTIFY PARKING LOST DUE TO THE EXTENSION OF ANATOMY DRIVE	 - 11116 MEDICAL CAMPUS RD HAGERSTOWN MD 21740 	 FREDERICK SEIBERT & ASSOCIATES 	MERITUS MEDICAL CENTER INC		
SI-24-015	Simplified Plat	Final Copies Due	03-Jul-24	IRENE DUNKIN, PARCEL A	13448 EDGEMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	DUNKIN IRENE DUNKIN SHERRY A		
SI-24-016	Simplified Plat	Revisions Required		CATHY SCOTT PARCEL B	17000 SHEPHERDSTOWN PIKE SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	SCOTT CATHY A		
SI-24-017	Simplified Plat	In Review	22-Jul-24	BLACK ROCK BIBLE CHURCH, PARCELS A & B	 21717 BLACK ROCK ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	CHURCH BIBLE BLACK ROCK		
SP-24-022	Site Plan	In Review	21-Jul-24	SITE PLAN FOR GRACE ACADEMY	13321 CEARFOSS PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	GRACE ACADEMY INC		
GP-24-007	Site Specific Grading Plan	Approved	09-Jul-24	MCKEE PROPERTY	14110 HOLLOW ROAD HANCOCK, MD 21750		Austin Douglas McKee III & Debra F McKee		

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Land Development Reviews								
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner	
GP-24-008	Site Specific Grading Plan	In Review	09-Jul-24	UNSWORTH WALL RESTORATION	13215 SMITHSBURG PIKE SMITHSBURG, MD 21783	1	UNSWORTH JEFFREY PAUL UNSWORTH LAURA LANE	
SGP-24-054	Standard Grading Plan	Approved	22-Jul-24	RAUPP/ SHREWSBURY CUSTOM HOME	16905 TAYLORS LANDING ROAD SHARPSBURG, MD 21782	MT. TABOR BUILDERS	RAUPP MICHAEL J SHREWSBURY PAULA M	
SGP-24-055	 Standard Grading Plan 	Revisions Required	 23-Jul-24 	AIR PARK ROAD UTILITY EXTENSIONS FOR PROPOSED SIGN & FUTURE DEVELOPMENT	 	 	WASH CO COMMISSIONERS	
SGP-24-056	Standard Grading Plan	Final Approvals	31-Jul-24	CRUCIANI	22132 WHITESTONE COURT SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	TDR CONSTRUCTION CO INC	
SWCP24-017	Stormwater Concept Plan	In Review	17-Jul-24	STORMWATER CONCEPT PLAN FOR PATTON WAREHOUSE	 18525 BREEZE HILL DRIVE HAGERSTOWN, MD 21742		 	
SSWP24-039	Stormwater Standard Plan	Approved	22-Jul-24	RAUPP/ SHREWSBURY CUSTOM HOME	16905 TAYLORS LANDING ROAD SHARPSBURG, MD 21782	MT. TABOR BUILDERS	RAUPP MICHAEL J SHREWSBURY PAULA M	
SSWP24-040	Stormwater Standard Plan	In Review	31-Jul-24	CRUCIANI	22132 WHITESTONE COURT SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	TDR CONSTRUCTION CO INC	
S-24-023	Subdivision Replat	In Review	15-Jul-24	PALMER, TRACT B REPLAT	5933 CLEVELANDTOWN ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	PALMER STEVEN MICHAEL PALMER WILLIAMS CRYSTAL ANN	
S-24-024	Subdivision Replat	Waiting for Final Paper Copies	 18-Jul-24 	JOSHUA & ANNA PRATT	1042 HARPERS FERRY ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	PRATT JOSHUA DEAN PRATT ANNA M	
S-24-026	Subdivision Replat	In Review	22-Jul-24	REPLAT - LOTS 406-412, BLACK ROCK PUD	11013 SASHA BOULEV HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	BLACK ROCK HOLDING LLC	
TIS-24-004	Traffic Impact Study	Pending	05-Jul-24	7-BREW (VALLEY COMMONS)	1701 MASSEY BOULEV HAGERSTOWN, MD 21740	SHAWN BARRY	DK VALLEY PLAZA LLC	
TYU-24-008	Two Year Update	In Review	16-Jul-24	BEAVER CREEK QUARRY	EAST SIDE OF MAPLEVILLE ROAD NR INTERSECTION WITH MT AETNA ROAD	FOX & ASSOCIATES INC	BEAVER CREEK PROPERTY LLC	
TYU-24-009	Two Year Update	In Review	 18-Jul-24 	EASTERN PANHANDLE EXPANSION PROJECT - COLUMBIA GAS TRANSMISSION LLC	 	 	SWORD FREDERICK R SWORD BARBARA E	

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	Permits Reviews								
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner		
2024-03157	Entrance Permit	In Progress		STICK BUILT HOME	S-23-032 14110 HOLLOW ROAD, LOT 3	MAJOR LEAGUE BUILDERS			
2024-03308	Entrance Permit	Approved	11-Jul-24	STICK BUILT HOME	S-18-035 9408 ALLOWAY DRIVE, LOT 227		DRB GROUP MID ATLANTIC LLC		
2024-03338	Entrance Permit	Approved	11-Jul-24	COMMERCIAL	SP-24-010 225 MCRAND COURT		MYERS LIMITED PARTNERSHIP		
2024-03448	Entrance Permit	In Progress	17-Jul-24	STICK BUILT HOME	LOR 24807 LINDEN AVE, LOTS 17 & 18	 	ZOPPI IRENE M L/E ZOPPI THOMAS J		
2024-03570	Entrance Permit	In Progress	24-Jul-24	STICK BUILT HOME	S-21-023 16905 TAYLORS LANDING ROAD, LOT 2	MT. TABOR BUILDERS	RAUPP MICHAEL J SHREWSBURY PAULA M		
2024-03541	Entrance Permit	Approved	23-Jul-24	FOREST HARVEST	20225 LEHMANS MILL ROAD		SHANK I DAVID L/E		
2024-03543	Entrance Permit	Approved	23-Jul-24	FOREST HARVEST	20225 LEHMANS MILL ROAD		SHANK I DAVID L/E		
2024-03158	Grading Permit	In Progress	01-Jul-24	STICK BUILT HOME	S-23-032 14110 HOLLOW ROAD, LOT 3	MAJOR LEAGUE BUILDERS			
2024-03310	Grading Permit	Approved	11-Jul-24	WESTFIELDS LOT #227	S-18-035 9408 ALLOWAY DRIVE, LOT 227		DRB GROUP MID ATLANTIC LLC		
2024-03339	Grading Permit	Approved	11-Jul-24	COMMERCIAL	SP-24-010 225 MCRAND COURT		MYERS LIMITED PARTNERSHIP		
2024-03360	Grading Permit	Approved	12-Jul-24	CITICORP - BLDG 3 RENOVATION	SP-24-012 14700 CITICORP DRIVE, BUILDING 3) 	BSE STATELINE LLC		
2024-03445	Grading Permit	In Progress	17-Jul-24	COMMERCIAL	SP-24-017 1711 MASSEY BLVD		DK VALLEY PLAZA LLC		
2024-03571	Grading Permit	In Progress	24-Jul-24	SIICK BIIII I HONNE	S-21-023 16905 TAYLORS LANDING ROAD, LOT 2	MT. TABOR BUILDERS	RAUPP MICHAEL J SHREWSBURY PAULA M		
2024-03690	Grading Permit	Review	31-Jul-24	COLUMBIA GAS - HANCOCK REPLACEMENT	163 EAST MAIN STREET	 	LANEHART ROLAND E SR LANEHART ROLAND E JR		
2024-03270	Non-Residential Addition-Alteration Permit	Review	09-Jul-24	SOLAR PANELS	SP-15-019 132 OLD NATIONAL PIKE	 - 	CM INVESTMENTS AND HOLDINGS LLC		
2024- 01872.R01	Revision	Approved	12-Jul-24	1	S-15-009 10839 HERSHEY DRIVE, LOT 571	KENNY GARDNER	Kellgard General Contracting LLC		
2024-03278	Utility Permit	Approved	09-Jul-24	ANTIETAM BROADBAND	14531 RINEHART ROAD	ANTIETAM CABLE TELEVISION INC	RINEHART JOHN D		
2024-03288	Utility Permit	Approved	10-Jul-24	POTOMAC EDISON - 63268825	 5712 RED HILL ROAD	POTOMAC EDISON	WEAVER GARY J & WEAVER PAMELA		
2024-03317	Utility Permit	Approved	11-Jul-24	10319 GRUMBACKER LN ROAD BORE	10319 GRUMBACKER LANE	POTOMAC EDISON	10319 GRUMBACKER LANE LLC		
2024-03362	Utility Permit	Approved	12-Jul-24	ANTIETAM BROADBAND	14137 WINDY HAVEN ROAD	ANTIETAM CABLE TELEVISION INC	MORRISEY THOMAS F BECK MORRISEY ELIZABETH A		
2024-03376	Utility Permit	Approved	15-Jul-24	CITY OF HAGERSTOWN	18845 PRESTON ROAD	CITY OF HAGERSTOWN (WATER DEPT)	SHANK RYAN PATRICK SHANK SHIANNE ELISE MARIE		
2024-03378	Utility Permit	Approved	15-Jul-24	CITY OF HAGERSTOWN	11831 CLEARVIEW ROAD	CITY OF HAGERSTOWN (WATER DEPT)	HUGHES DIANE		
2024-03379	Utility Permit	Approved	15-Jul-24	1	13530 PARADISE DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	PALMER JEFF L REPP PALMER RUTH		
2024-03381	Utility Permit	Approved	15-Jul-24	CITY OF HAGERSTOWN	10410 COLD HARBOR DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	BOYD KATHERINE F		
2024-03387	Utility Permit	Approved	15-Jul-24	CITY OF HAGERSTOWN	13008 PINEHILL DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	MARTIN STEPHEN J MARTIN ESTHER		
2024-03463	Utility Permit	Review	18-Jul-24	COMCAST	5922 CLEVELANDTOWN ROAD		GIOFFRE JENNIFER CROFT		
2024-03464	Utility Permit	Review	18-Jul-24	COMCAST	5849 RED HILL ROAD		SULCER CARROLL EDWARD		
2024-03564	Utility Permit	Approved	24-Jul-24	POTOMAC EDISON	415 EASTERN BLVD.	POTOMAC EDISON	POTOMAC EDISON CO		

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Permits Reviews								
Record #	Туре	Status	Accepted Date	Title	Location	Consultant	Owner	
2024-03568	Utility Permit	Approved	24-Jul-24	ANTIETAM BROADBAND	9127 STOTTLEMYER ROAD	ANTIETAM CABLE TELEVISION INC	CLINE BRIAN M & WENDY L	
2024-03620	Utility Permit	Approved	29-Jul-24	ANTIETAM BROADBAND	12808 SPICKLER ROAD		SAVAGE CLYDE MILTON	
2024-03687	Utility Permit	Approved	31-Jul-24	ANTIETAM BROADBAND	222 EAST OAK RIDGE DRIVE	ANTIETAM CABLE TELEVISION INC	LTPLLC	
2024-03650	Utility Permit	Review	30-Jul-24	ANTIETAM BROADBAND	10643 HERSHEY DRIVE	ANTIETAM CABLE TELEVISION INC	BOYER CORY W	
2024-03651	Utility Permit	Review	30-Jul-24	ANTIETAM BROADBAND	17222 TAMARACK DRIVE	ANTIETAM CABLE TELEVISION INC	BAKER WILLIAM H BAKER DODI	
2024-03652	Utility Permit	Review	30-Jul-24	ANTIETAM BROADBAND	10806 WYNCOTE DRIVE	ANTIETAM CABLE TELEVISION INC	ARTZ TERRY	
2024-03653	Utility Permit	Review	30-Jul-24	ANTIETAM BROADBAND	10811 BRENTWOOD TERRACE	ANTIETAM CABLE TELEVISION INC	BOCK LORNA D	

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	Туре	Total
LandDev	Forest Stand Delineation	1
Total by Group: 32	IMA	8
32	Preliminary-Final Plat	3
	PWA	1
	Redline Revision	1
	Simplified Plat	3
	Site Plan	1
	Site Specific Grading Plan	2
	Standard Grading Plan	3
	Stormwater Concept Plan	1
	Stormwater Standard Plan	2
	Subdivision Replat	3
	Traffic Impact Study	1
	Two Year Update	2
Permits	Entrance Permit	7
Total by Group: 35	Grading Permit	7
	Non-Residential Addition-Alteration Permit	1
	Revision	1
	Utility Permit	19
Total		67

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