



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
June 3, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. April 22, 2024 Planning Commission workshop meeting * **Discussion/Action**
2. April 30, 2024 Planning Commission workshop meeting * **Discussion/Action**

ORDINANCE MODIFICATIONS

1. **Lot 227 - Westfields [OM-24-003]** – Misty Wagner-Grillo * **Discussion/Action**
Proposed ordinance modification for a rear setback reduction from 40 feet to 32.5 feet to construct a single-family residential dwelling; Location: 9408 Alloway Drive; Zoning: RT – Residential Transition

SITE PLAN

1. **Bowman Sales and Equipment [SP-24-012]** – Misty Wagner-Grillo * **Discussion/Action**
Modifications associated with Bowman Sales and Equipment moving into Building 3 of the former Citicorp site; Location: 14700 Citicorp Drive; Zoning: HI – Highway Interchange
2. **Myers Management [SP-24-010]** – Scott Stotemyer * **Discussion/Action**
Proposed 24,000 square foot warehouse; Location: 225 McRand Court; Zoning: IG – Industrial General

FOREST CONSERVATION

1. **Myers Management [SP-24-010]** – Travis Allen * **Discussion/Action**
Request to meet forest conservation requirements utilizing off-site retention to satisfy .94 acre planting requirement; Location: 225 McRand Court; Zoning: IG – Industrial General
2. **Homeplate Mixed Use Development [FP-24-002]** – Travis Allen * **Discussion/Action**
Two requests to meet preliminary forest conservation requirements for a new mixed-use development located in the Town of Smithsburg; Location: 12230 Cloverly Farm Lane

OTHER BUSINESS

1. **Update of Projects Initialized** – Jennifer Kinzer * **Information/Discussion**
2. **Delegation of Administrative Amendments** – Jill Baker * **Discussion/Action**
Request to delegate approval of administrative amendments to the County's Water & Sewerage Plan to the Planning Director

CLOSED SESSION

To discuss the appointment, employment, assignment, promotion, discipline, demotion, compensation, removal, resignation, or performance evaluation of appointees, employees, or officials over whom this public body has jurisdiction; or any other personnel matter that affects one or more specific individuals.

ADJOURNMENT

UPCOMING MEETINGS

1. July 1, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

WASHINGTON COUNTY PLANNING COMMISSION
WORKSHOP MEETING
April 22, 2024

The Washington County Planning Commission held a workshop meeting on Monday, April 22, 2024 at 4:30 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

CALL TO ORDER AND ROLL CALL

Mr. Kline called the meeting to order at 4:35 p.m.

Planning Commission members present were: David Kline, BJ Goetz, Denny Reeder, and Terrie Shank. Staff members present were: Washington County Department of Planning & Zoning: Jill Baker, Director; Jennifer Kinzer, Deputy Director; Travis Allen, Senior Planner; Meghan Jenkins, GIS Coordinator; and Debra Eckard, Administrative Assistant.

Comprehensive Plan Update

Ms. Baker reminded members that during previous discussions it was recommended that the residential land use categories should be redefined using low density (4 to 6 dwelling units per acre), medium density (6 to 8 dwelling units per acre), and high density (anything over 8 dwelling units per acre). Staff has spent several weeks reviewing both the Town Growth Areas as well as the Urban Growth Area to determine the appropriate designations in order to be consistent with each municipality's Comprehensive Plan and Zoning Ordinance.

Ms. Baker began with a review of each of the growth areas and the residential designations proposed by staff.

- **Hancock** – Areas around Hancock were given a low-density residential land use due to topography issues and the current lack of sewer capacity. Members specifically discussed Parcels, 18, 20, 37 and 42. Parcels 18 and 20 are mostly floodplain; parcel 42 has steep slopes. Staff proposed a low-density residential use; however, due to the close proximity of these parcels to Interstate 70, Commission members believe these parcels would be better suited for commercial land uses.
 - **Consensus:** Change Parcels 18, 20, 37 and 42 to a commercial land use designation.
- **Clear Spring** – Due to extremely limited water and sewer resources and the fact that the municipality is not interested in development or annexation of any land, low-density residential is recommended.
 - **Consensus:** The Planning Commission concurred with staff's recommendations.
- **Smithsburg** – Staff is proposing mostly low-density residential which is consistent with the Town's Comprehensive Plan. Areas reviewed and proposed for low density residential are as follows: parcels along Bradbury Avenue to Stevenson and Eagle Nest Roads; parcels further south on Bradbury Avenue; Parcel 195; parcels along Cavetown Church Road to Federal Lookout and Wolfsville Road (this area currently contains single-family dwellings); parcels along the north side of Cavetown Church Road at Crystal Falls Drive; parcels along the south side of Cavetown Church Road west of Crystal Falls Drive (these parcels are larger with steep slopes and transitions to an area zoned Environmental Conservation); parcels following Mapleville Road toward the Town proper to Cavehill Road and along the back side of Whispering Hills [members discussed this area and believe it would be better suited for a medium-density residential use because it is in close proximity to Whispering Hills with water and sewer availability].
 - **Consensus:** The Planning Commission agrees with all of staff's proposed residential land uses with the following exception: starting with Parcel 355 and all parcels between the Town proper and the business/commercial mix should be medium density residential with Parcels 170, 256 and 246 being commercial/business uses.

The area around Cavetown behind Georgetown Road is proposed as a medium-density residential designation because it is closer to more densely populated areas with residential and commercial uses.

- **Consensus:** The Planning Commission concurred with staff's recommendation.

Ms. Baker noted that Parcel 289 was originally subdivided as Gardenhour Estates as single-family lots. The property has now been rezoned by the Town of Smithsburg for a higher density residential development.

- **Boonsboro** – Ms. Baker noted that most of the property around the Boonsboro Town Growth Area has been annexed into the Town. Parcels that are still within the County's Growth Area are proposed for low-density residential because it is on the edge of the Growth Area, transitioning to the rural and environmental areas. Areas reviewed and proposed for low density residential

are as follows: parcels along Lanafield Circle at Maple Avenue; parcels along Mountain Laurel Road (no water or sewer available); parcels along St. Paul Street; parcels along Boonsboro Mountain Road (steep slopes); smaller parcels with existing residential uses; parcels along Mousetown Road; Parcel 236 has environmental issues; Parcel 11 has no available access; parcels along Appletown Road (road is inadequate); and parcels along King Road that were not annexed.

- **Consensus:** The Planning Commission concurred with staff's recommendation.

Members then began a review of the Urban Growth Area and staff's recommendations.

- Parcels on the north side of Hagerstown around the Mason Dixon line close to I-81: single-family homes existing; recommendation: low-density residential
- Pennsylvania Avenue, Parcel 17 (cemetery) and single-family houses; recommendation: low density residential
- West side of Pennsylvania Avenue (Parcels 1020 and 368) contain a mobile home park (Northhaven) and the Old Orchard Hills subdivision; recommendation: medium density residential (this area is closer to the city, has available water and sewer access, and good road access)
- Parcels along the east side of Pennsylvania Avenue along Paradise Church Road (North Ridge subdivision); Parcel 1084 was recently sold and there are plans for residential development; recommendation: medium-density residential
- Parcels in the last phase of Paradise Heights subdivision; recommendation: medium-density residential
- Parcel 843 (Harper Park) – recommendation: low-density residential (it is at the edge of the Growth Area and there are environmental issues)
- Parcels along the north side of Longmeadow Road – all existing developments (Maple Valley Estates, Paradise Heights, etc.); recommendation: medium-density residential
- Parcels along Longmeadow Road east of the railroad tracks, Parcel 197; recommendation: medium density residential
- Parcels along the east side of Pennsylvania Avenue and south side of Longmeadow Road at Fountainhead North; recommendation: medium-density residential
 - **Consensus:** Parcels 270, 269 and 267 and a portion of Parcel 1152 on the north side should have a commercial land use designation.

There was a brief discussion regarding Parcels 300, 301, 302, and 303 (at the corner of Maugans and Pennsylvania Avenues). These parcels were the subject of a rezoning application in 2016 which was denied due to significant opposition from neighboring property owners. Following a brief discussion, it was the consensus of the members not to change the land use designation on these properties at this time.

Ms. Baker stated that staff is proposing a Mixed Use Corridor, which would be an overlay for the land use plan. The Mixed Use Corridor recognizes there is an area of transition from residential to commercial uses.

- Existing development - along Longmeadow Road at intersection with Marsh Pike (Emerald Pointe) - medium-density residential; existing development on Hunter Hill Drive –high-density residential; continuing out Longmeadow Road to Leitersburg Pike existing development (Rose Hill Manor) - medium density residential; existing development along Leitersburg Pike (Northbrook) - medium density residential;
- Parcel 350 off of Northern Avenue (past Free Range Café) is landlocked; however access could be gained from the parcel which currently contains the old ATM machine; recommendation: medium-density residential
- Parcels in the Security Boulevard/Potomac Heights area will remain medium-density residential. Parcels along Antietam Drive will be low-density residential.
 - **Consensus:** The Planning Commission concurs with staff's recommendation.
- Jefferson Boulevard at Eastern Boulevard to the Antietam Creek; recommendation: medium-density residential; east of this location to Chewsville – recommendation: low-density residential
 - **Consensus:** Parcel 921 (Wooden Keg) – change to a commercial land use.
- Parcels along Robinwood Drive to Hagerstown Community College – no proposed changes.
 - **Consensus:** The Planning Commission concurs with staff's recommendation.
- Parcel at intersection of Jefferson Boulevard and Eastern Boulevard (Eastern Boulevard bisects the property). Staff has received numerous inquiries regarding development of this property. Considering the cost of the land and the current zoning (RS), development is restricted and not conducive to the costs involved. Staff is recommending a high-density residential use for this parcel.
 - **Consensus:** The Planning Commission concurs with staff's recommendation.
- East of Dual Highway, Colonial Park, Doey's House, Meritus Hospital, Eastern Elementary and Ruth B. Monroe schools – no proposed changes.
 - **Consensus:** The Planning Commission concurs with staff's recommendation.

- Robinwood Corridor – in the areas of Rosewood PUD, Woodbridge, King’s Crest, and Youngstown (all high-density residential) – no proposed changes.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Black Rock Estates, Brightwood Acres, Brightwood Acres East, Fairway Meadows, Greenwich Village, (all low density residential) – no proposed changes.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Parcels west of Dual Highway outside the City limits and Town of Funkstown – recommendation: medium-density residential.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Parcel 52 is currently designated for high-density residential use. This parcel was the subject of a rezoning application to be designated as Highway Interchange; the rezoning was denied. Staff is recommending that the land use be changed to a low-density residential use with the portion of property along Dual Highway receiving a commercial land use designation.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Old National Pike/Poffenberger Road area east side of Antietam Creek – low density residential.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Parcel 631 (Roulette Farm) has been subdivided and is listed on the National Register of Historic Places; recommendation: low-density residential.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- South side of Poffenberger Road at St. James Village and Westfields; recommendation: medium-density residential
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.

ADJOURNMENT

Mr. Reeder made a motion to adjourn the meeting at 6:40 p.m. The motion was seconded by Ms. Shank and so ordered by Mr. Kline.

Respectfully submitted,

David Kline, Vice-Chairman

WASHINGTON COUNTY PLANNING COMMISSION
WORKSHOP MEETING
April 30, 2024

The Washington County Planning Commission held a workshop meeting on Monday, April 30, 2024 at 4:30 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

CALL TO ORDER AND ROLL CALL

Mr. Kline called the meeting to order at 4:35 p.m.

Planning Commission members present were: David Kline, BJ Goetz, Denny Reeder, and Jeff Semler. Staff members present were: Washington County Department of Planning & Zoning: Jill Baker, Director; Jennifer Kinzer, Deputy Director; Travis Allen, Senior Planner; Meghan Jenkins, GIS Coordinator; and Debra Eckard, Administrative Assistant.

Comprehensive Plan Update

Members continued their review of the Urban Growth Area and staff's recommendations.

- Claggett's Mill, Villas at Valencia, Carriage Hills, Cross Creek – medium density residential
- Rashti Court (duplex development behind Arby's on Sharpsburg Pike) – medium density residential
- Parcels south along Sharpsburg Pike are mixed-use development (St. James North), St. James Village and Westfield – medium density residential
- Parcels along I-70 west to Downsville Pike that include the Oak Ridge Apartments and across the street on Fairway Lane – high density residential
- Parcels along Halfway Boulevard and Oak Ridge Drive consist of existing development – medium density residential
- North side of Route 11 – low density residential
- Marbern Road – two parcels with existing apartment buildings - high density residential
- Parcel on Nursery Road adjacent to Massey Boulevard has an existing six lot subdivision with duplexes; however, the rest of the parcel is vacant. Staff recommends high density residential for the vacant parcel due to the parcel's location near other high-density development. It is staff's opinion that high-density development will be needed to make development cost-effective due to improvements needed on Nursery Road.
- Continuing on Route 11 passing under I-70 along Hickory School Road (Parcel 54) – there is a significant amount of floodplain; recommendation: low-density residential due to environmental and road constraints
- Hickory Elementary School – currently zoned for residential uses and the land use is institutional; both the zoning and land use will not change at this time
- Lakeside Mobile Home Park – high density residential
 - **Consensus:** The Planning Commission concurs with staff's recommendations on all of the above.
- South side of I-70 at Tower Avenue and Allison Avenue (Parcels 263, 829 and 724) – recommended for low density residential because there are no water and sewer services and it is outside of the Medium Range Growth Area (MRGA)
 - **Consensus:** The Planning Commission recommends medium-density residential. It will not be cost effective to develop the property at a low density use.
- Tammany Manor North and South – medium density residential
- Brookmeade – existing apartment complexes – high density residential
- Parcels 31 and 695 along Wright Road – recommended for low density residential due to environmental issues (significant amount of floodplain on both parcels and Wright Road is inadequate).
 - ❖ **Discussion:** On Parcel 695, members discussed a higher density residential use clustering development in the non-floodplain area. Staff reminded members that there is a large amount of environmentally sensitive area.
 - **Consensus:** The Planning Commission concurs with staff's recommendations.
- Hopewell Station - high-density residential.
- Milestone Apartments – high density residential
- Cloverton – medium density residential
- West of Greencastle Pike, parcels immediately adjacent to the Town of Williamsport – staff is recommending high-density residential because water and sewer could be extended and there is good access from Greencastle Pike.
 - ❖ **Discussion:** This property is currently zoned RS (Residential Suburban). The property owner has discussed giving a portion of the property to the Town of Williamsport in

exchange for the property being annexed into the Town and given an industrial or commercial zoning designation. If the annexation would occur and the Town gives the property an industrial/commercial zoning designation, the owner would not be able to develop the property for a period of five years unless the County Commissioners give an “express approval” per State law. Mr. Goetz suggested changing the zoning to an industrial district; however, staff pointed out that this would be heavily encroaching upon the residential uses in the area.

- Parcel 61 along Honeyfield Road – medium density residential (this is a good transition to the existing low density residential).
- On the left side of Elliott Parkway, there is an auto repair shop, Kemps Mill Park, and a church. Members asked why this is not designated for commercial use. Staff responded there is a lot of flood plain in the area, Greencastle Pike is a natural divide, and it is at the edge of the growth area. Staff recommends low-density residential.
- Elmwood Farms – low density residential
- Parcels 191 and 873 - medium density residential
- Lockwood Road – existing residential development - medium density residential
- Parcel 919 is part of the MET scenic easement – low density residential
- Fenton Avenue (going towards the Tannery Parcels 110 and 107) – low density residential because significant amount of floodplain
- Greencastle Pike – all low density residential
- Interchange on Greencastle Pike where Pilot, French Lane, etc. is located is the existing Walnut Point development – low density residential because of its proximity to the growth area and we do not want to encourage residential development going through a business park
- Highland Manor Mobile Home Park – medium density residential because of its proximity to the growth area boundary
- Huyetts Crossroads/US 40/Greencastle Pike – existing commercial and industrial development
- Parcel 373 and the three parcels on the corner of Smithfield Farm Lane and National Pike– low density residential; parcels to the right of this area should have commercial land uses
- Cedar Lawn - medium density residential
- Wabash Avenue - medium density residential
- Parcels 52 and 439 on the opposite side of Route 40 – medium density residential
- Broadfording Road/Pt. Salem Road – low density residential
- Salem Avenue – low density residential
- East side of Maugansville Road – business/commercial mix
- Along Maugansville Road – low density residential
- Maugans Meadows - medium density residential
- Seneca Ridge and parcels close to the interstate – high density residential
- Shelby Circle and Green Spring Apartments – high density residential
 - **Consensus:** The Planning Commission concurs with staff’s recommendations on all of the above.

Members then reviewed individual requests that have been received. A map was distributed showing water and sewer service, aerial photos, current land use in the Comp Plan and the proposed land use.

- Tax Map 10, Parcels 36, 37 and 176 - Staff recommendation: remove these parcels from the growth area; Request from Washington County Division of Public Works to leave these parcels in the growth area and designate them as a commercial land use to help support airport operations.
 - ❖ **Discussion:** Reidtown Road is inadequate; taking it out of the growth area the property owners would be eligible for agricultural preservation easements or to develop the property; the property owners did not make this request
 - **Consensus:** The Planning Commission concurs with staff’s recommendation to take these parcels out of the growth area.
- Tax Map 25, Parcel 28 owned by Perini - Staff recommendation: remove this parcel from the growth area; Request by property owner to leave this parcel in the growth area
 - **Consensus:** The Planning Commission concurs with staff’s recommendation to take this parcel out of the growth area.
- Tax Map 25, Parcel 74 owned by Perini – Staff recommendation: remove this parcel from the growth area; Request by property owner to leave this parcel in the growth area
 - **Consensus:** The Planning Commission concurs with staff’s recommendation to take this parcel out of the growth area.
- Tax Map 25, Parcel 77 owned by Perini – Staff recommendation: leave this parcel in the growth area and give it a commercial land use due to its location and access to Longmeadow Road and proximity to other commercial uses; Request by property owner is to leave this parcel in the growth area with a residential land use
 - **Consensus:** The Planning Commission recommends leaving this parcel in the growth area with a low-density residential land use.

- Tax Map 50, Parcel 293 owned by Abram Family Farm LLC – property owner is requesting that the portion of this parcel along Professional Boulevard have a commercial land use with the remaining portion of the parcel having a low-density residential land use. Staff recommendation: concur with owner’s request.
 - **Consensus:** The Planning Commission concurs with the request and Staff’s recommendation.
- Tax Map 57, Parcels 408. 329 and 210 at the intersection of Halfway Boulevard and Downsville Pike owned by Downsville Pike LLC – Staff recommendation: low density residential; Property owner is requesting a commercial land use designation;
 - ❖ **Discussion:** These parcels only contain approximately 1 acre of land; there is inadequate access for a commercial land use
 - **Consensus:** The Planning Commission recommends low-density residential land use.
- Tax Map 49, Parcels 274, 276 and 927 owned by the Washington County Housing Authority – Staff recommendation: high-density residential land use
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 56, Parcels 133 and 134 (Britner Farm) – Staff recommendation: remove these parcels from the growth area because they are outside the City’s MRGA, the property is on the edge of the rural area, and there are no available water or sewer services.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 56, Parcels 309 and 766 owned by AC&T – Staff recommendation: commercial land use on Parcel 309 and a residential land use on Parcel 766; Property owner is requesting that both parcels be given a commercial land use.
 - ❖ **Discussion:** Ms. Baker stated there is a “paper alley” between these two parcels which creates a good divider between commercial and residential uses. Staff believes that if Parcel 766 is given a commercial land use, it will encroach upon the residential uses. There was discussion by the members to make the three parcels up to Hoffman Drive also commercial; however, that change would affect the current property tax assessment if it is sold in the future.
 - **Consensus:** The Planning Commission recommends giving both parcels a commercial land use.
- Tax Map 56, Parcels 107 and part of 110 (the Tannery in Williamsport) – Staff recommendation: leave in the growth area
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 48, Parcel 916 on Findlay Mill Lane – Staff recommendation: low-density residential; property owner is requesting a commercial use; Staff considers this request a “spot” zoning because you are creating a commercial zoning where there is currently no other commercial zoning.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 37, Parcel 454 and Tax Map 36, Parcel 41 owned by Bostetter property behind the Hager’s Crossing development – Staff recommendation: no changes from the current Comp Plan; Property owner is requesting to be in the growth area and have a residential land use designation;
 - ❖ **Discussion:** Ms. Baker stated that this property is not currently in the growth area; this would expand the growth area and goes against our current goal of retracting the growth area.
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 24, Parcel 442 owned by Victor Martin along Pennsylvania Avenue – Staff recommendation: residential land use; Property owner wants an industrial land use
 - ❖ **Discussion:** The property is in close proximity to Mack Trucks; however, the parcels located at the intersection of Maugans Avenue and Pennsylvania Avenue were the subject to a rezoning request several years ago to change the parcels from residential to commercial. There was a lot of opposition from the neighboring property owners at that time.
 - **Consensus:** The Planning Commission recommends a commercial/business land use to make this a better transition to the neighboring residential properties and due to the proximity and sight lines to Pennsylvania Avenue.
- Tax Map 24, Parcels 470 and 1027 located along Crayton Boulevard and Showalter Road owned by Perini; Staff recommendation: commercial and industrial land uses; Property owner wants to keep his Highway Interchange zoning and permitted uses
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.
- Tax Map 40, Parcel 178 owned by Michael Scott (previously the Oswald Nursery) – Staff recommendation: concur with owner’s request; Property owner is requesting a commercial land use designation;
 - **Consensus:** The Planning Commission concurs with staff’s recommendation and the owner’s request.
- Tax Map 46, Parcel 40 owned by Thomas Grosh: Staff recommendation: agricultural land use; Property owner is requesting a commercial or Rural Village zoning
 - **Consensus:** The Planning Commission concurs with staff’s recommendation.

ADJOURNMENT

Mr. Kline adjourned the meeting at 6:10 p.m.

Respectfully submitted,

David Kline, Vice-Chairman

DRAFT

**ORDINANCE MODIFICATION STAFF REPORT****BASE INFORMATION**

SITE NAME.....: Ordinance Modification Lot 227 Westfields Community
NUMBER.....: OM-24-003

OWNER.....: DRB GROUP MID ATLANTIC LLC
LOCATION.....: 9408 ALLOWAY Drive
Hagerstown, MD 21740

DESCRIPTION.....: Request Ordinance Modification for a rear setback reduction from 40' to 32.50' to construct a single family residential dwelling.

ZONING.....: Residential, Transition
COMP PLAN LU.....: Low Density Residential
PARCEL.....: 10066159
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....:
GROSS ACRES.....: 0.27
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: May 20, 2024

SITE ENGINEERING*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Marsh Run
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: Halfway
AMBULANCE DISTRICT.....: Halfway

WATER & SEWER INFORMATION**WATER****SEWER**



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE....:		
PLANT INFO.....:		Conococheague



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

WASHINGTON COUNTY PLANNING COMMISSION APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME _____

MAILING ADDRESS _____

TELEPHONE _____
(home) (work) (cell)

PROPERTY OWNER

NAME _____

MAILING ADDRESS _____

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME _____

ADDRESS _____

TELEPHONE _____

DESCRIPTION OF PROPERTY

TAX ACCOUNT ID # (Required) _____

PARCEL REFERENCE: MAP _____ GRID _____ PARCEL _____

PROPOSED LOT ACREAGE _____ TOTAL SITE ACREAGE _____

ZONING DISTRICT _____ ROAD FRONTAGE (FT) _____

LOCATION / ADDRESS

EXISTING AND PROPOSED USE OF PROPERTY

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION _____

MODIFICATION IS TO ALLOW

STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

(Attach additional sheets if necessary)

In addition, twelve (12) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access rights-of-way or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

Statement of Justification to the Requested Modification

The subject lot has a total lot depth of 140.00'. The dwelling being considered on this lot is the Cedar product (house type) as offered by the DRB Group. The DRB Group has a pending sales contract on this lot for the Cedar dwelling for a private owner. The Cedar dwelling is offered with multiple options such as a large front porch and a morning room. These options have been requested as desired house options by the purchaser. The addition of the large front porch and morning room to this dwelling results in the house extending into the rear 40' MBSL by approximately 7' resulting in this Ordinance Modification request. It should be noted that the Westfield project utilized the clustering concept and therefore is not permitted to utilize provisions under Section 23.3 Projections into Yards of the Washington County Zoning Ordinance. The rear of this lot is bordered by a 25.42 acres open space area, so no residential lots abut the rear of this proposed dwelling. The DRB currently owns the lots on the right and left of lot 227, lots 228 and 226. A dwelling is under construction on lot 226 and lot 228 is currently vacant but building permits have been applied for on lot 228.

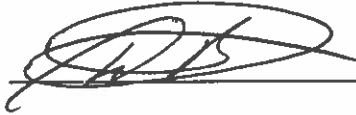
To the best of my knowledge, the information provided in this application and other material submitted is correct.



Applicant's Signature

5/20/24

Date



Property Owner's Signature

5/20/24

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

**PROCEDURE FOR REQUESTS FOR A MODIFICATION TO THE
STANDARDS OF THE SUBDIVISION ORDINANCE**

1. Modification request applications shall be filed with the Washington County Department of Planning & Zoning, Washington County Administrative Annex, 747 Northern Avenue, Hagerstown, Maryland 21742, Phone: 240-313-2430, between the hours of 7:30 a.m. and 4:30 p.m., Monday through Friday. Copies of the application forms can be picked up at this location or can be printed from the following: <https://www.washco-md.net/wp-content/uploads/planrev-AppSubdOrdMods.pdf>. A Filing fee of \$115.00 dollars should be submitted when no engineering / outside agency review is required. A filing fee of \$265.00 is required when multiple agency review is necessary, and can be paid by cash or check made payable to the Washington County Treasurer. Incomplete applications will not be accepted.
2. The Planning Commission meets on a monthly basis on the second floor of the County Administration Building, 100 West Washington Street, Room 2000, Hagerstown, Maryland. Meetings begin promptly at 7:00 p.m. The Planning Commission reserves the right to cancel and/or change the meeting dates and time as needed. Applications must be filed at least 25 days prior to the scheduled meeting of the Planning Commission.
3. Upon receipt of the modification application, the Planning & Zoning Staff will review for completeness and then set up an individual file for the application. Once review is complete, the assigned Planner will present the modification request to the Planning Commission at its regularly scheduled meeting. The Commission will take action the night of the meeting unless more information for review is requested. Staff would then schedule the modification request for a future Planning Commission meeting.
4. In requesting a modification from Subdivision Ordinance regulations, the Applicant and/or their Consultant should be prepared to tell the Planning Commission why the property is unique or the minimum terms of the Ordinance that cannot be complied with. A modification may only be granted by the Commission upon a showing of criteria of practical difficulty or undue hardship listed below (but not limited to):
 - (a) There are special circumstances or conditions affecting the property such that the strict application of the provisions of the Subdivision Ordinance would deprive the applicant of the reasonable use of their land.
 - (b) The hardship is not the result of the applicant's own actions – that is, special circumstances or conditions causing the hardship exist through no fault of the property owner.
 - (c) Granting the modification would be in harmony with the general purpose of the Ordinance and preserve its spirit.
 - (d) That the modification is to correct inequities resulting from a physical hardship such as topography.
 - (e) The granting of the modification will not be detrimental to the public health, safety and welfare or injurious to other property in the territory in which property is situated.

5. The Director of the Department of Planning & Zoning shall have the authority to consider administratively the following modifications from Subdivision Ordinance requirements:

(a) Where it is impractical to dedicate the full right-of-way required by Washington County Plan Review or State Highway Administration are satisfied with the acquired right-of-way.

(b) Where the existing structure, septic system, or other appurtenance is within the right-of-way to be dedicated and for which the relocation of same may create a future hardship.

(c) When the property access or driveway intersects with a State maintained road and the access permit issued by the State requires the property access or driveway to be located such that it fails to meet the Subdivision Ordinance spacing requirements. The Director can grant a modification from the County's Highway Plan spacing requirements up to 25% from the current spacing requirements if: a physical hardship or safety condition is identified; does not create a condition which allows for more lots than would be permitted if the modification was not granted; location must be approved by Planning & Zoning and/or State Highway; and have no negative impact on neighboring properties.

(d) Panhandle Length – based upon a physical hardship, no negative impact on neighboring properties; and the local fire department concurs with site.

(e) Public Road Frontage – Up to 25% from the current standard of 25 feet based upon a physical hardship, safety condition, existing condition where there is less than 25 foot of frontage identified. The driveway geometry associated with the new frontage/access configuration shall be approved by County Planning & Zoning and/or State Highway Administration. There is no negative impact on neighboring properties.

(f) The Director of the Department of Planning & Zoning shall have the ability to grant the creation of a lot without road frontage in those cases where the proposed subdivided lot(s) contain existing structures and an attempt is being made to comply with the Zoning Ordinance provision of one principle use on one zoning lot.

6. On the submitted Preliminary and Final Subdivision Plat, include modification reference number, description of modification request and approval, any conditions and the date request was granted by the Planning Commission. Submit modification approval letter with plat submittal.

7. Appeal by any person aggrieved from any action of the Planning Commission or the Director of the Department of Planning & Zoning shall be to the Board of Zoning Appeals pursuant to the provisions of Article 25 of the Washington County Zoning Ordinance. (Section 109 – Subdivision Ordinance). You may contact the Board of Appeals at the County Administrative Annex, 747 Northern Avenue, Hagerstown, Maryland 21742; Phone: 240-313-2430; <https://www.washco-md.net/planning-zoning/zoning-appeals/>.

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

Applicant	Staff	
_____	_____	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
_____	_____	A filing fee of \$115.00 when no Engineering or outside agency review is required. A fee of \$265.00 is required when multiple agency reviews are required. Make check payable to: Washington County Treasurer. Include fee worksheet.
_____	_____	Twelve (12) sketch plans, drawn to scale, showing:
_____	_____	a. dimensions & shape of proposed lot with acreage;
_____	_____	b. size & location of existing and/or future structures;
_____	_____	c. existing/proposed roadways and associated access right of way or easements;
_____	_____	d. existing/proposed entrance/exit to property;
_____	_____	e. natural or topographic peculiarities of the lot in question.
_____	_____	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.

EXISTING GRADING AND UTILITIES (WITHOUT BENEFIT OF AS-BUILT SURVEY DATA) SHOWN HEREON PER "GRADING & SEDIMENT CONTROL PLAN" SHEET 7 OF 22 OF WESTFIELDS SECTION 8 IMPROVEMENT PLANS PREPARED BY FOX & ASSOCIATES INC.

M.B.S.L. DENOTES MINIMUM BUILDING SETBACK LINE.

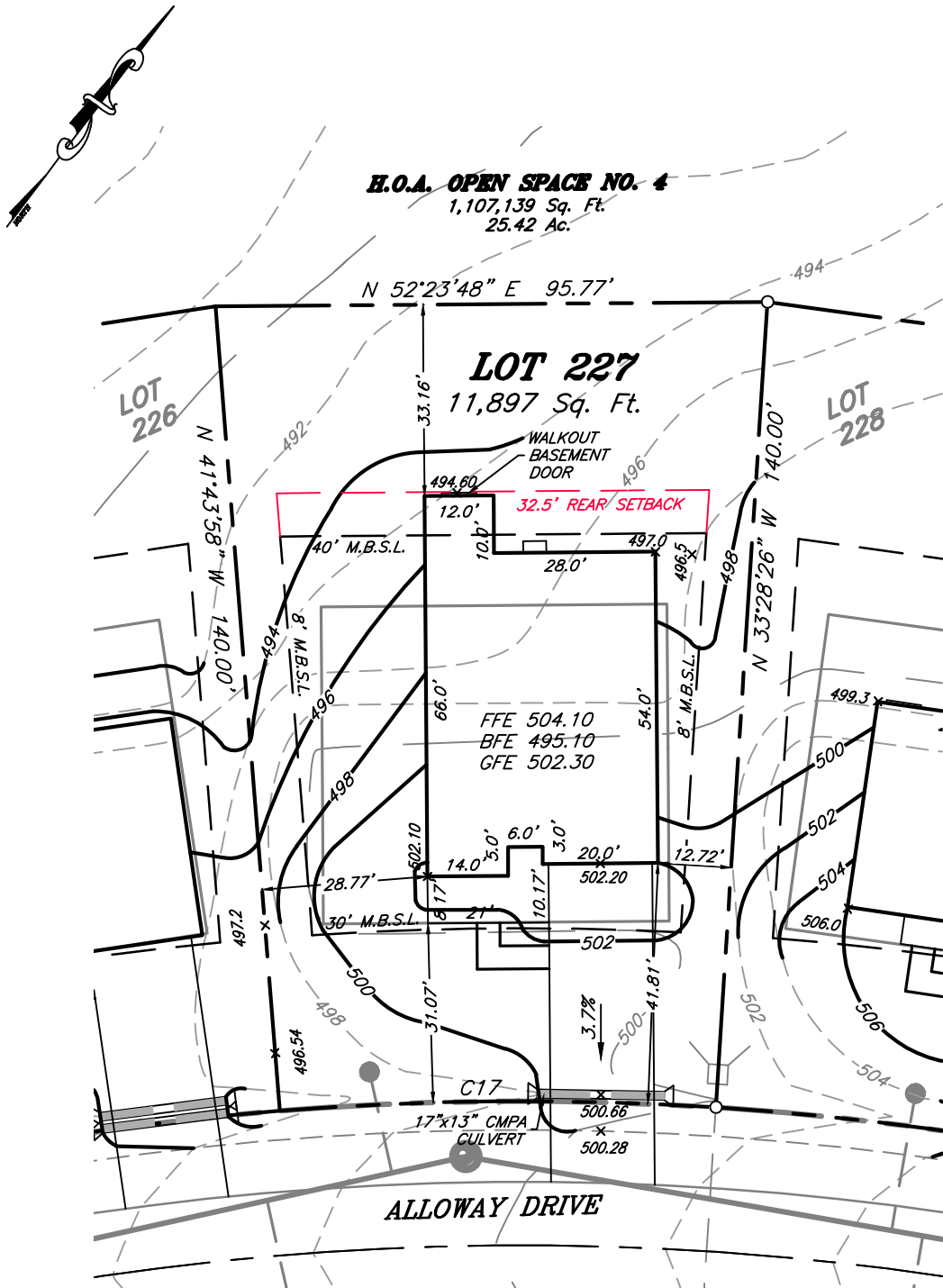
NOTE: PARCEL SHOWN HEREON BEING ALL OF LOT 227 AS SHOWN ON A FINAL PLAT OF WESTFIELDS, SECTION 7B AND RECORDED AT PLAT No. 11006-11008 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND.

NOTE: PARCEL SHOWN HEREON IS NOT WITHIN ANY 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 24043C0305D. EFFECTIVE DATE: AUGUST 15, 2017.

LOT 227

CEDAR II, ELEV. 4, COOF CO#0
MORNING ROOM
WALKOUT BASEMENT
FIREPLACE 36" DV GAS
STONE W/ TABLE ELEV 4
FIN BASEMENT/BATH
HOUSE FOOTPRINT = 2,290 S.F.

DRIVEWAY 999.3 S.F.
LEADWALK 66.0 S.F.
SOD 5,769.3 S.F.
SEED 3,597.2 S.F.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C17	525.00'	75.68'	75.61'	S 52°23'48" W	8°15'32"

PLOT PLAN
WESTFIELDS SECTION 7B
LOT 227

SITUATE AT 9408 ALLOWAY DRIVE
WASHINGTON COUNTY, MARYLAND

SHEET 1 OF 1
16-31238

DRAWN BY: WMH	DATE: 05.09.24
CHECKED BY: SCC	DATE: 05.09.24
SCALE: 1" = 30'	

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD, HAGERSTOWN, MARYLAND 21740
PHONE: (301) 733-8503 FAX: (301) 733-1853

DISTRICT	10
TAX MAP No.	62
DWG. No.	A-25768

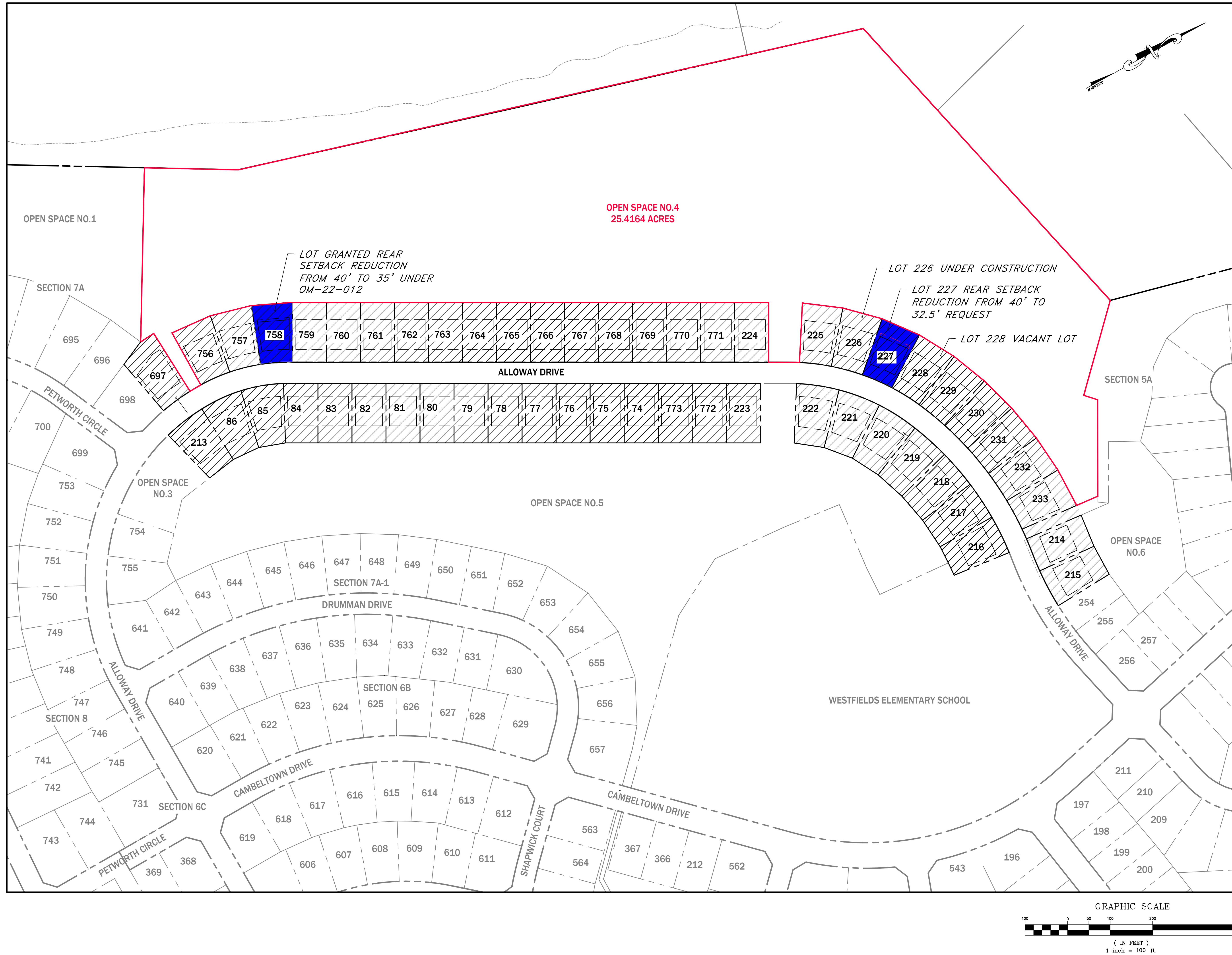
	DATE
	REVISION
	DRAWN BY

ORDINANCE MODIFICATION EXHIBIT
WESTFIELDS
SECTION 7B
SITUATE IN WESTFIELDS SUBDIVISION
ELECTION DISTRICT 10
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=100'

PROJECT NO. 16-31238
DRAWING NO. D-9382
DATE: MAY 2024
DRAWN BY: WMH
CHECKED BY: SCC

\\10109415501\Subdiv\716P-WC-7A-CORR\7167.dwg May 20, 2024 - 6:25pm User: WMH001



EXISTING GRADING AND UTILITIES (WITHOUT
BENEFIT OF AS-BUILT SURVEY DATA) SHOWN
HEREON PER "GRADING & SEDIMENT CONTROL
PLAN" SHEET 7 OF 22 OF WESTFIELDS
SECTION 8 IMPROVEMENT PLANS PREPARED
BY FOX & ASSOCIATES INC.

M.B.S.L. DENOTES MINIMUM
BUILDING SETBACK LINE.

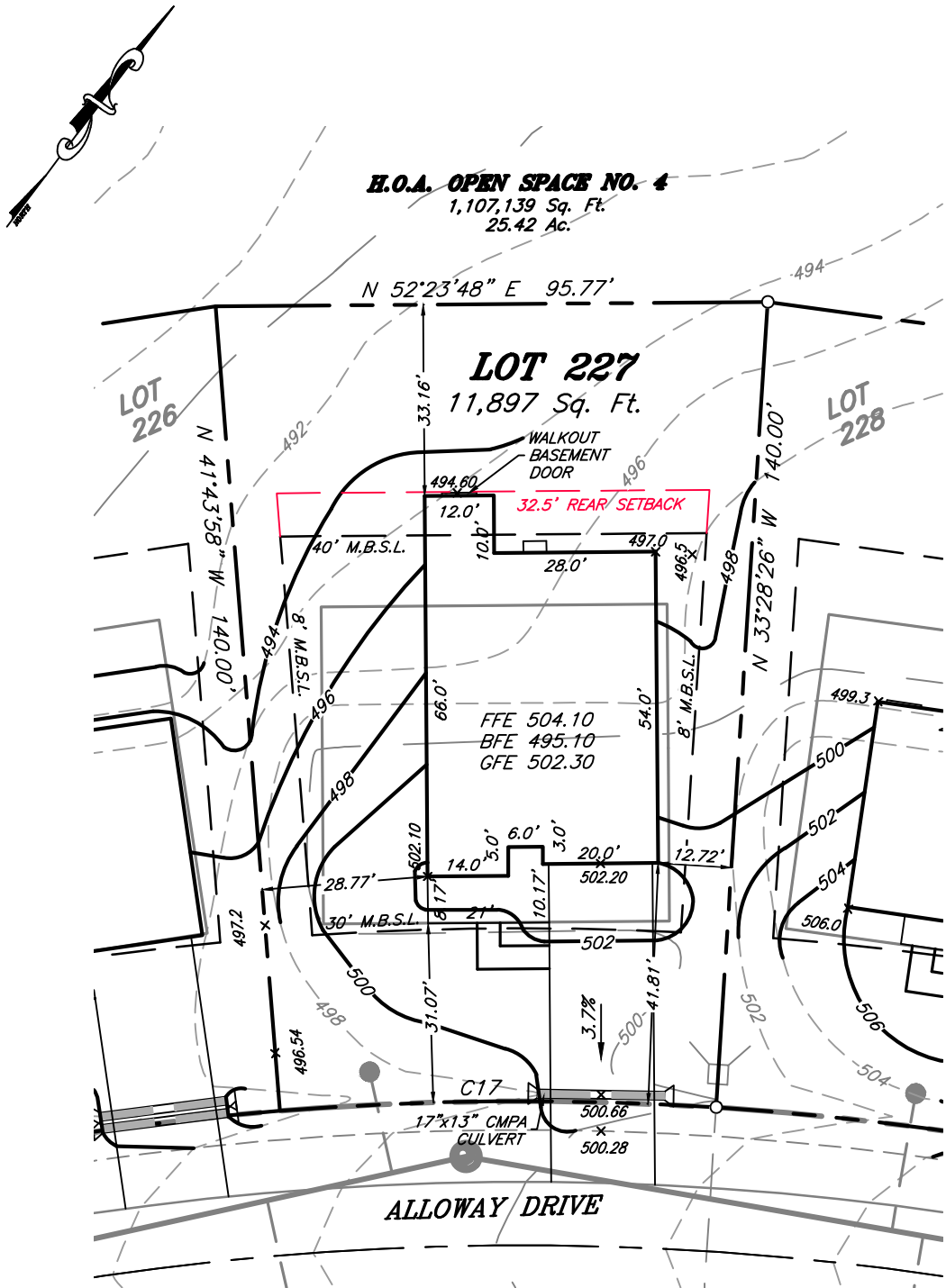
NOTE: PARCEL SHOWN HEREON BEING ALL OF
LOT 227 AS SHOWN ON A FINAL PLAT OF
WESTFIELDS, SECTION 7B AND RECORDED AT
PLAT No. 11006-11008 AMONG THE LAND
RECORDS OF WASHINGTON COUNTY, MARYLAND.

NOTE: PARCEL SHOWN HEREON IS NOT
WITHIN ANY 100 YEAR FLOOD PLAIN AS
SHOWN ON FEMA FLOOD INSURANCE RATE
MAP 24043C0305D. EFFECTIVE DATE:
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WESTFIELDS SECTION 7B
LOT 227

SITUATE AT 9408 ALLOWAY DRIVE
WASHINGTON COUNTY, MARYLAND

SHEET 1 OF 1
16-31238

DRAWN BY: WMH	DATE: 05.09.24
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PHONE: (301) 733-8503 FAX: (301) 733-1853

DISTRICT	10
TAX MAP No.	62
DWG. No.	A-25768



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Combined ESD Plan& Site Plan for BSE Stateline, LLC
NUMBER.....: SP-24-012

OWNER.....: BSE STATELINE LLC
LOCATION.....: 14700 CITICORP Drive
Hagerstown, MD 21742

DESCRIPTION.....: Site modifications associated with Bowman Sales and Equipment moving into Building 3 of the former Citicorp Site. Work includes placement of new pavement, installation of sidewalks and ADA ramps, and removal of existing pavements adjacent to the former daycare site located on the east side of the former Citicorp Campus

ZONING.....: Highway Interchange Airport Overlay
COMP PLAN LU.....: Industrial/Flex
PARCEL.....: 13021937
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 13

TYPE.....: Commercial
GROSS ACRES.....: 59.56
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: March 14, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
56.5	80	0
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
0		Private
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
2180		
Parking Spaces - Minimum Required	Recreational Parking Provided	
52	No	

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Maugansville	Western Heights	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	Maugansville
AMBULANCE DISTRICT.....:	Maugansville

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	City	County Line - City Treatment
SERVICE AREA.....:	City	County Line - City Treatment
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

GENERAL NOTES:

1. NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCKS OR OTHER NATURAL OR MAN-MADE FEATURES. EXCEPT AS SPECIFICALLY INDICATED, NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
2. EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE COUNTY AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT OF WAY.
4. THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS.
6. ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY S-3 POLICY.
7. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
8. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY PERMITS & INSPECTIONS DEPARTMENT AT 240-313-2400 AND THE WASH. CO. SOIL CONSERVATION DISTRICT AT 301.797.6821 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
10. A COMPLETE SET OF APPROVED PLANS AND THE GRADING PERMIT ISSUED FOR CONSTRUCTION COVERED UNDER THIS PLAN MUST BE KEPT ON SITE BY THE PERMITEE AT ALL TIMES DURING THE CONSTRUCTION.
11. TOPOGRAPHY SHOWN ON THESE PLANS BY FIELD RUN AND AERIAL SURVEY DATED DECEMBER, 2023. SURVEYS ARE BASED ON COUNTY HORIZONTAL AND VERTICAL DATUM (NAVD 88 AND NAD 83).
12. THERE ARE NO FLOODPLAINS, WETLANDS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
13. THERE IS NO 100 YEAR FLOODPLAIN ON THIS SUBJECT PROJECT AREA AS SHOWN ON FEMA PANEL No. 24043C01300 DATED 08.05.2017.
14. NO ADDITIONAL SITE SIGNAGE IS PROPOSED BY THIS PLAN.
15. NO ADDITIONAL POLE MOUNTED LIGHTING IS PROPOSED. BUILDING MOUNTED LIGHTING PROPOSED ON BUILDING #3.
16. ACCESSIBLE PARKING SHALL BE IN CONFORMANCE WITH THE MARYLAND ACCESSIBILITY CODE, COMAR 05.02.02 AND THE AMERICANS WITH DISABILITIES ACT.
17. ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
18. A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT OF WAY.
19. WATERSHED BOUNDARY IMPACTING THIS SITE IS LESS THAN 400 ACRES.
20. ROADS SERVING THE PROJECT AREA ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
21. FOREST CONSERVATION MITIGATION FOR THIS PROJECT WILL BE MET BY THE EXPRESS PROCEDURE PIL OPTION IN THE AMOUNT OF \$1,306.80.

WASHINGTON COUNTY STANDARD NOTES

1. I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY. (S-3).
2. PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A "NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECT TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY CAN PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDRC) HAS BEEN ISSUED BY MDE.
3. THIS PROJECT WILL REQUIRE A THIRD PARTY QUALIFIED PROFESSIONAL TO BE PRESENT AT THE PRE-CONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY DIVISION OF CONSTRUCTION AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES" DATED OCTOBER 17, 2009, IF APPLICABLE.
4. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY DIVISION OF PUBLIC WORKS.
5. ALL GRADING ON LOT, EITHER BEFORE OR AFTER THE CONSTRUCTION OF A BUILDING OR APPURTENANCES, SHALL BE THE FULL RESPONSIBILITY OF THE LOT OWNER.
6. NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.

SWM/ESD NARRATIVE

THE FORMER CITICORP SITE WAS PURCHASED BY BSE STATELINE, LLC IN JUNE OF 2023. THE FORMER CITICORP SITE IS CURRENTLY UNOCCUPIED. THE CITICORP SITE CONTAINS FOUR (4) BUILDINGS TO INCLUDE THREE (3) OFFICE BUILDINGS AND A FREE-STANDING BUILDING ON THE SOUTHEAST CORNER OF THE SITE THAT IN THE PAST HAS BEEN USED AS A DAYCARE. THE WORK PROPOSED BY THIS SITE PLAN IS ASSOCIATED WITH BOWMAN SALES AND EQUIPMENT MOVING THEIR OPERATION INTO BUILDING #3, THE REMAINING BUILDINGS, BUILDING #1, BUILDING #2, AND THE DAYCARE BUILDING ARE NOT PROPOSED TO BE OCCUPIED AS A PART OF THIS SITE PLAN SUBMITTAL.

BOWMAN SALES AND EQUIPMENT IS A BUSINESS THAT OFFERS SERVICES SUCH AS ROLL-BACK CONTAINER RENTALS, SEA CONTAINER RENTALS, AND TRAILER RENTALS. BOWMAN SALES & EQUIPMENT ALSO PERFORMS THEIR OWN TRAILER MAINTENANCE. THE MAINTENANCE OF TRAILERS WILL REQUIRE THE INSTALLATION OF DRIVE-IN DOORS INTO BUILDING #3 ON THE SOUTH SIDE OF BUILDING #3, THE CONSTRUCTION OF PAVEMENT TO ALLOW FOR VEHICLE ACCESS TO BUILDING #3, AND THE INSTALLATION OF AN EGRESS MAN DOOR ON THE NORTH SIDE OF BUILDING #3 FOR EMERGENCY EGRESS PURPOSES.

THE REQUIREMENTS OF THE WASHINGTON COUNTY STORMWATER MANAGEMENT, GRADING, SOIL EROSION AND SEDIMENT CONTROL ORDINANCE SHALL BE MET THROUGH PRACTICES AS PERMITTED UNDER SECTION 3.3 REDEVELOPMENT OF THE CITED ORDINANCE, SPECIFICALLY 3.3.1.A. THIS PRACTICE IS TO REDUCE THE IMPERVIOUS AREA WITHIN THE LIMIT OF DISTURBANCE (LOD) BY AT LEAST 50 PERCENT. THE PROJECT HAS THREE (3) SEPARATE LIMITS OF DISTURBED AREA (LOD). TWO (2) OF THE THREE (3) DISTURBED AREAS ARE ASSOCIATED WITH SITE IMPROVEMENTS TO FACILITATE THE INSTALLATION OF BOWMAN SALES & EQUIPMENT INTO A PORTION OF BUILDING 3 AT THE CITICORP SITE. THE DISTURBED AREA ON THE NORTH SIDE OF THE BUILDING CONTAINS AN LOD OF 5,102 SF. THIS LOD IS REQUIRED TO INSTALL AN EMERGENCY EGRESS FROM THE BUILDING. THE EXISTING LAND USE WITHIN THIS LOD IS GREEN SPACE OR LAWN AREA AND CONTAINS NO IMPERVIOUS SURFACE CURRENTLY. THE WORK PROPOSED IS TO FACILITATE THE EMERGENCY EGRESS FROM THE BUILDING CONSISTS OF GRADING AND INSTALLATION OF AN ADA COMPLIANT SIDEWALK AND RAMP FROM A PROPOSED EGRESS DOOR FROM BUILDING 3 TO THE EXISTING SIDEWALK THAT FORMERLY SERVED THE CITICORP BUILDING. THE IMPERVIOUS SURFACE PROPOSED IN THIS 5,102 SF LOD IS 583 SF.

THE SECOND LOD WHERE IMPROVEMENTS ARE PROPOSED IS ON THE SOUTH SIDE OF BUILDING 3 AND THIS LOD CONTAINS 25,888 SF. THE EXISTING IMPERVIOUS SURFACE PROPOSED WITHIN THIS LOD ARE REMOVAL OF EXISTING GREEN OR LAWN AREAS AND INSTALLATION OF HOT MIXED ASPHALT PAVEMENT TO ALLOW FOR DRIVE-IN DOOR ACCESS TO BUILDING 3. THE IMPERVIOUS SURFACE WITHIN THIS 25,888 SF LOD IS 23,274 SF.

THE FORMER CITICORP SITE IS CURRENTLY 58.2% IMPERVIOUS, WHICH INCLUDES THE BUILDINGS, ROADWAYS, DRIVE AISLES, PARKING FIELDS, AND SIDEWALKS. ALL THE IMPERVIOUS SURFACES FROM THE FORMER CITICORP SITE FLOWS TO A COUNTY-OWNED SWM FACILITY LOCATED TO THE SOUTHWEST OF THE BSE STATELINE, LLC PROPERTY. THE IMPERVIOUS SURFACE PROPOSED BY THE IMPROVEMENTS TO OCCUR IN THE TWO (2) AREAS DISCUSSED ABOVE TOTALS 23,857 SF OF NEW IMPERVIOUS SURFACE. THE EAST SIDE OF THE FORMER CITICORP SITE INCLUDES A LARGE PARKING FIELD ADJACENT TO THE FORMER DAYCARE SITE. THE CURRENT PROJECT PROPOSES THE REMOVAL OF THIS PARKING FIELD AND RESTORATION OF THE AREA BEING A GREEN OR LAWN AREA. THE IMPERVIOUS SURFACE TO BE REMOVED IN THIS AREA IS 65,435 SF. THIS PROPOSED WORK FULFILLS THE REQUIREMENTS SECTION 3.3.1.A OF THE WASHINGTON COUNTY STORMWATER MANAGEMENT, GRADING, SOIL EROSION AND SEDIMENT CONTROL ORDINANCE WHEREAS THE IMPERVIOUS SURFACE PROPOSED BY THE SITE IMPROVEMENTS ARE 23,857 SF AND THE IMPERVIOUS SURFACE BEING REMOVED FROM THE SITE AND RESTORED AS A PERVIOUS SURFACE IS 65,435 SF WHICH IS ABOUT 2.74 TIMES THE IMPERVIOUS SURFACE PROPOSED.

SENSITIVE AREA NOTE

THERE ARE NO FLOODPLAINS IMPACTING THIS SITE AS SHOWN ON COMMUNITY PANEL NUMBER 24043 C 0330 D WITH AN EFFECTIVE DATE OF AUGUST 15, 2017. NO STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES WITHIN THE DISTURBED AREA IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES IDENTIFIED AND/OR LOCATED BY THE LANDOWNERS OR OPERATORS OF THE UTILITIES. THE CONTRACTOR AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

COMBINED ESD PLAN & SITE PLAN FOR BSE STATELINE, LLC FORMERLY CITICORP SITE SITE MODIFICATIONS CITICORP DRIVE WASHINGTON COUNTY, MARYLAND TAX MAP 10 PARCEL 146 ELECTION DISTRICT 13



GOOGLE IMAGE JANUARY 2024

SCALE: 1"=250'

PROJECT PURPOSE

THE FORMER CITICORP SITE WAS PURCHASED BY BSE STATELINE, LLC IN JUNE OF 2023. THE FORMER CITICORP SITE IS CURRENTLY UNOCCUPIED. THE CITICORP SITE CONTAINS FOUR (4) BUILDINGS TO INCLUDE THREE (3) OFFICE BUILDINGS AND A FREE-STANDING BUILDING ON THE SOUTHEAST CORNER OF THE SITE THAT IN THE PAST HAS BEEN USED AS A DAYCARE. THE WORK PROPOSED BY THIS SITE PLAN IS ASSOCIATED WITH BOWMAN SALES AND EQUIPMENT MOVING THEIR OPERATION INTO BUILDING #3, THE REMAINING BUILDINGS, BUILDING #1, BUILDING #2, AND THE DAYCARE BUILDING ARE NOT PROPOSED TO BE OCCUPIED AS A PART OF THIS SITE PLAN SUBMITTAL. BOWMAN SALES AND EQUIPMENT IS A BUSINESS THAT OFFERS SERVICES SUCH AS ROLL-BACK CONTAINER RENTALS, SEA CONTAINER RENTALS, AND TRAILER RENTALS. BOWMAN SALES & EQUIPMENT ALSO PERFORMS THEIR OWN TRAILER MAINTENANCE. THE MAINTENANCE OF TRAILERS WILL REQUIRE THE INSTALLATION OF DRIVE-IN DOORS INTO BUILDING #3 ON THE SOUTH SIDE OF BUILDING #3, THE CONSTRUCTION OF PAVEMENT TO ALLOW FOR VEHICLE ACCESS TO BUILDING #3, AND THE INSTALLATION OF AN EGRESS MAN DOOR ON THE NORTH SIDE OF BUILDING #3 FOR EMERGENCY EGRESS PURPOSES.



CITY OF HAGERSTOWN UTILITIES DEPARTMENT -
WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE, PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

(SIGNATURE) (DATE)

WASHINGTON COUNTY DIVISION OF ENGINEERING

WASHINGTON COUNTY SOIL CONSERVATION DISTRICT

INDEX OF SHEETS

- 01 COVER SHEET
- 02 EXISTING CONDITIONS PLAN
- 03 OVERALL SITE PLAN
- 04 ENLARGED PLAN VIEW
- 05 ENLARGED PLAN VIEW
- 06 SITE NOTES & DETAILS
- 07 SESC NOTES & DETAILS

OWNER/DEVELOPER

BSE STATELINE, LLC
10228 GOVERNOR LANE BLVD
SUITE 3004
WILLIAMSPORT, MD 21795
301.582.1555
ATTN: JEFF TEDRICK

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.6 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 2800 C.Y. OF EXCAVATION AND 810 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Cordon Poffenberger LICENSE No. 27053 EXPIRATION DATE 01/26/2026
NAME

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES AND WITH LOCAL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

May 06, 2024 DATE 27053 REG. NO. SIGNATURE

OWNER/DEVELOPER CERTIFICATION - DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

5/8/24 DATE TOPO BOWMAN PRINTED NAME SIGNATURE

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT-APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

5/8/24 DATE TOPO BOWMAN PRINTED NAME SIGNATURE

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

I HEREBY VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.

SIGNATURE DATE SEAL

SP-24-012 PROJECT NO. 23-32040 D-9313 SHEET 1 OF 7

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

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Est. 1966

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www.foxassociatesinc.com

Email: foxassoc@foxassociatesinc.com

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www.foxassoc.com
Email: foxassoc@foxassoc.com

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WMH

REVISED PER AGENCY COMMENTS
REVISED PER OWNER COMMENT
REVISED PER OWNER COMMENT

05.06.24
03.20.24
03.15.24

DATE

REVISION

DOWN BY

EXISTING CONDITIONS
BSE STATELINE, LLC
SITE MODIFICATIONS
SITUATE OFF CITICORP DRIVE
HAGERSTOWN, MD 21742
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=100'



LICENSE No.: 27053 EXP. DATE: 1/25/26
PROJECT NO. 23-32040
DRAWING NO. D-9313
DATE: JANUARY 2024
DRAWN BY: WMH/DCM
CHECKED BY: SCC

SHEET 2 OF 7

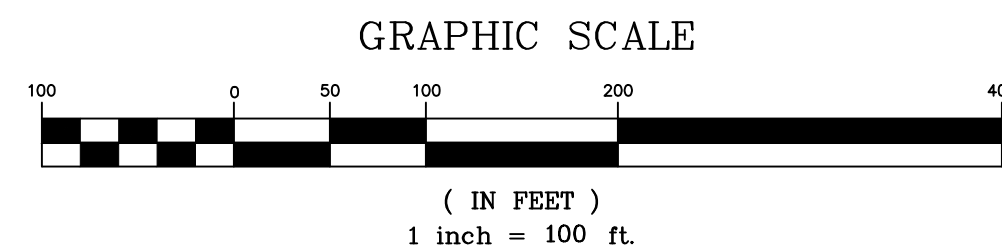
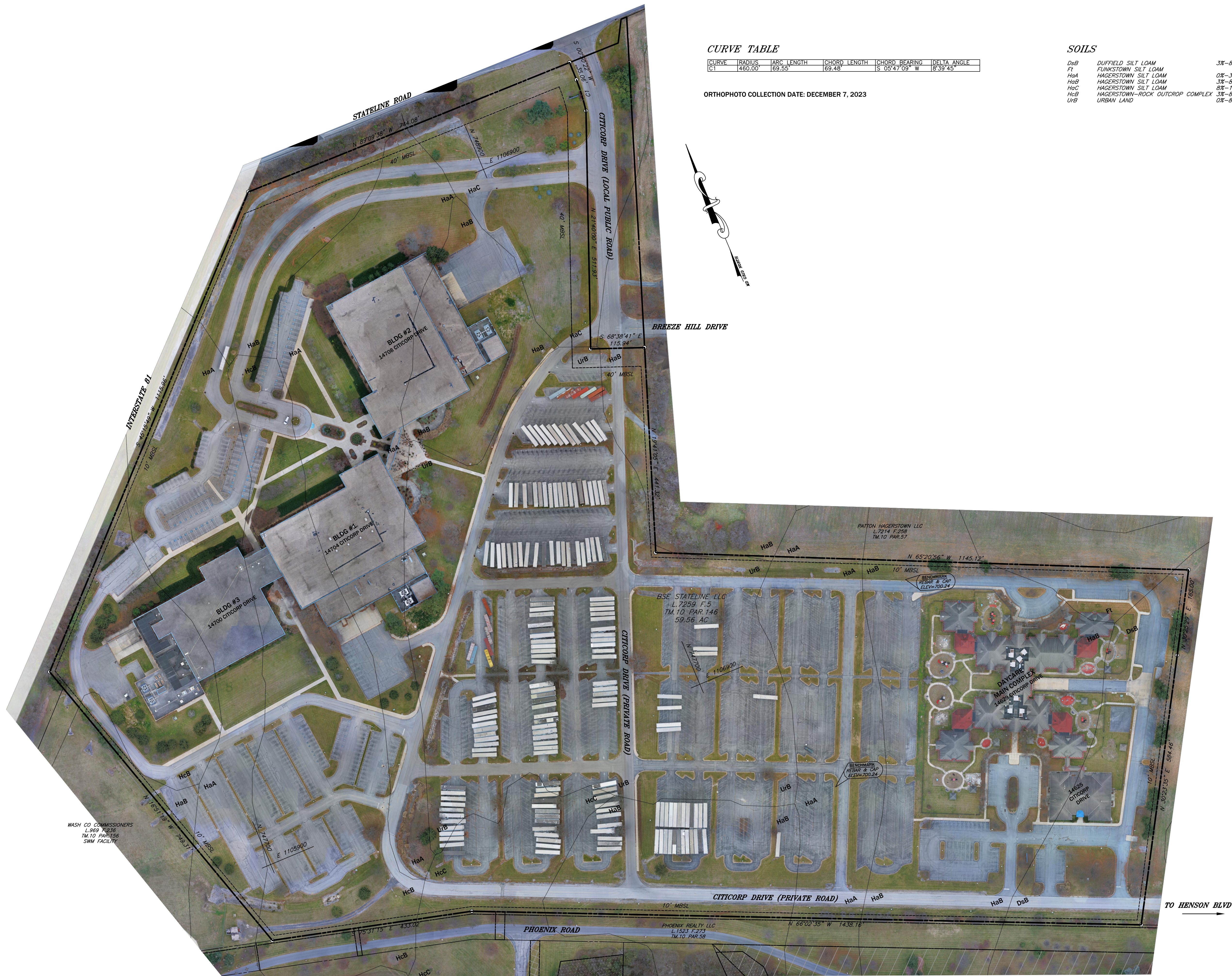
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	460.00'	69.55'	69.48'	S 05°47'09" W	8°39'45"

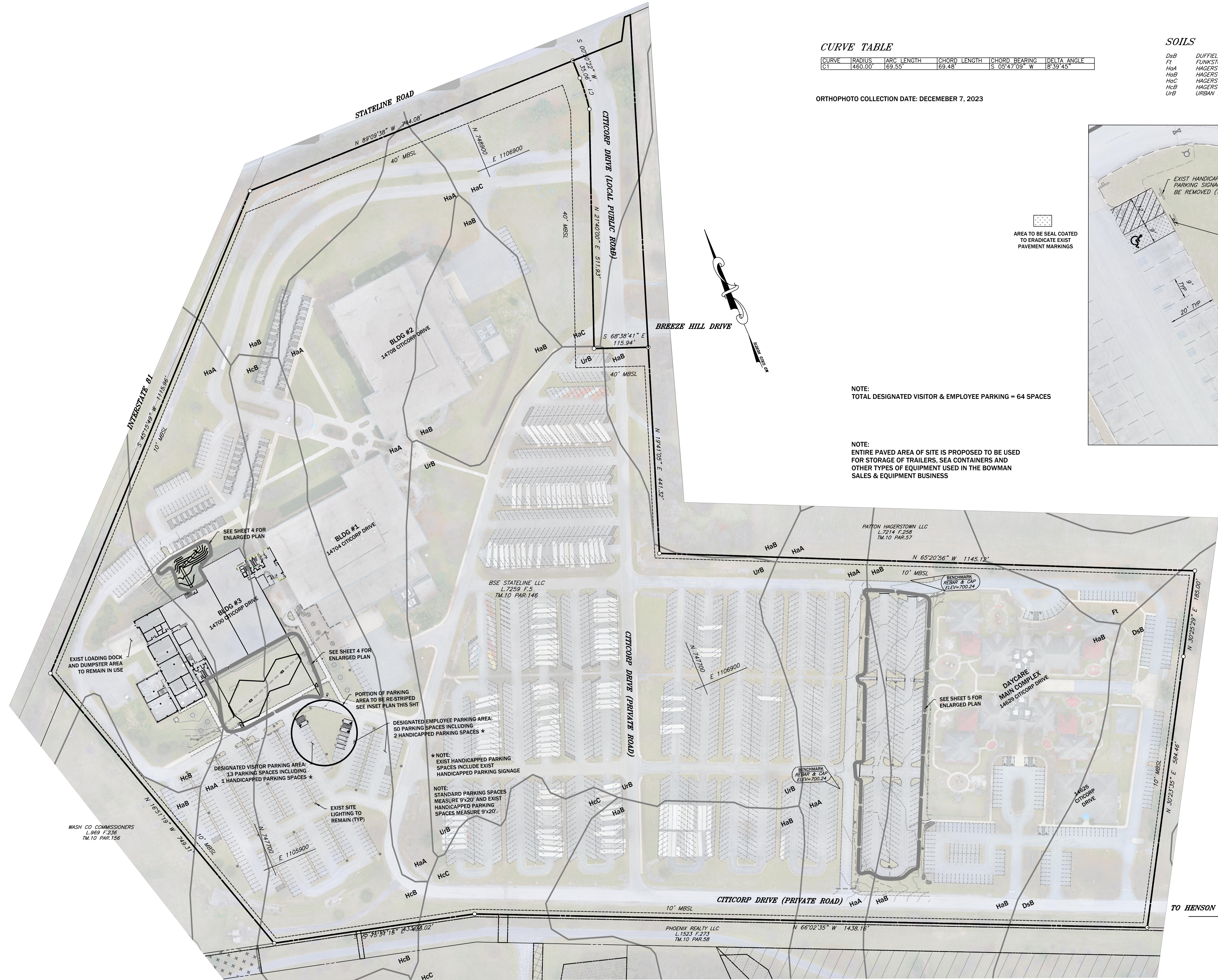
ORTHO PHOTO COLLECTION DATE: DECEMBER 7, 2023

SOILS

DsB	DUFFIELD SILT LOAM	3%-8% SLOPES
Ft	FUNKSTOWN SILT LOAM	0%-3% SLOPES
HaA	HAGERSTOWN SILT LOAM	3%-8% SLOPES
HaB	HAGERSTOWN SILT LOAM	3%-8% SLOPES
HaC	HAGERSTOWN SILT LOAM	8%-15% SLOPES
HcB	HAGERSTOWN-ROCK OUTCROP COMPLEX	3%-8% SLOPES
UrB	URBAN LAND	0%-8% SLOPES



SP-24-012



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	460.00'	69.55'	69.48'	S 05°47'09" W	8°39'45"

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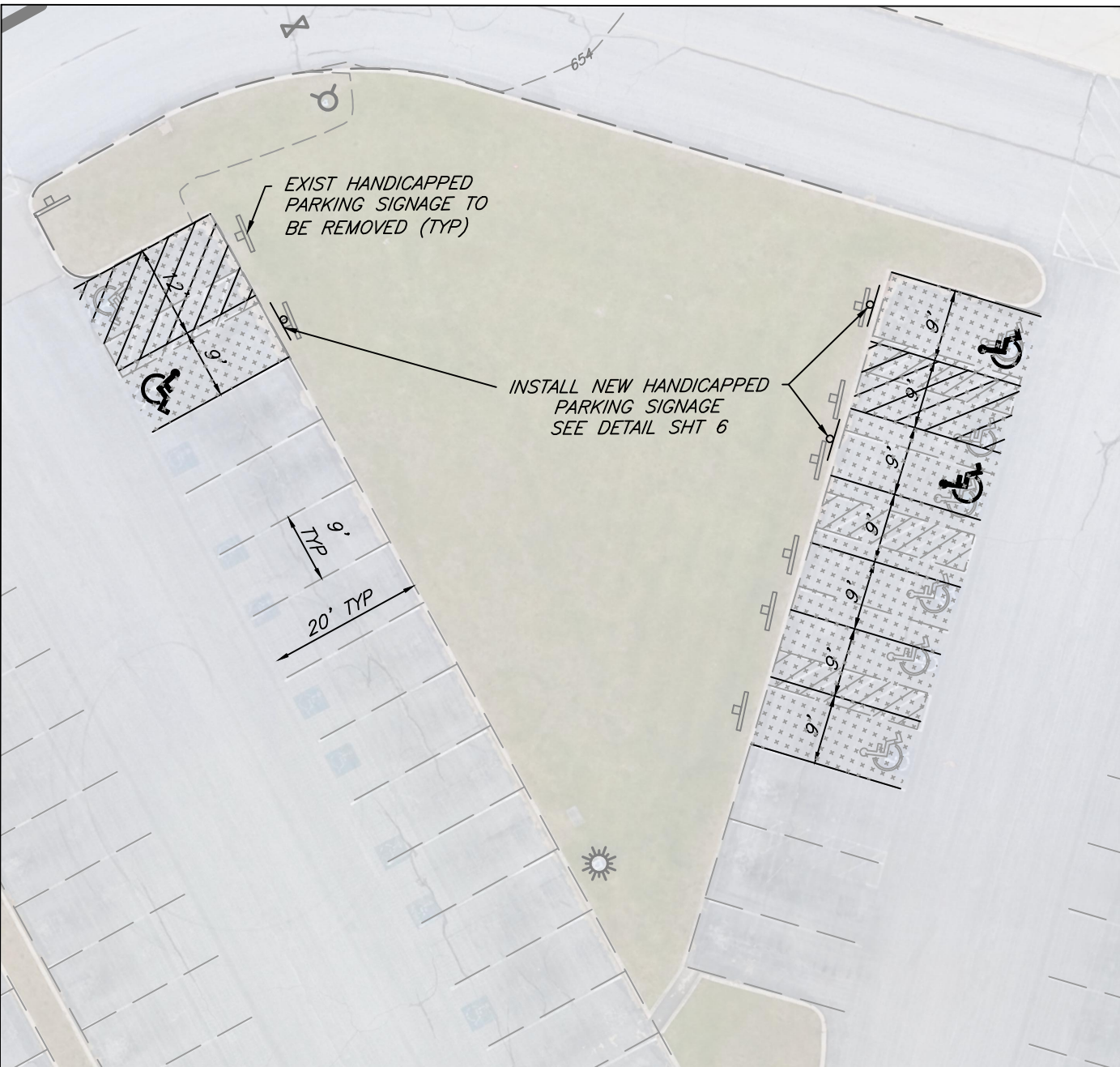
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UrB	HAGERSTOWN-ROCK OUTCROP COMPLEX	0%-8% SLOPES
	URBAN LAND	0%-8% SLOPES

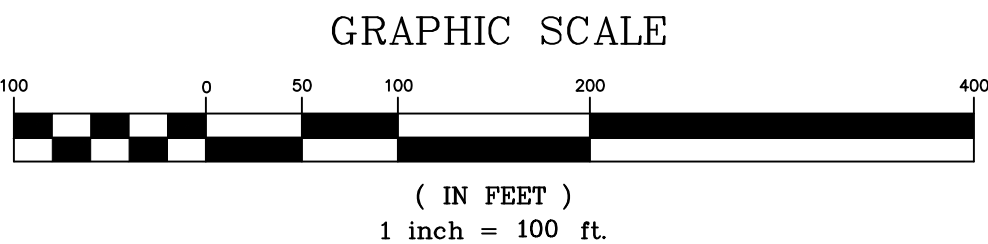
AREA TO BE SEAL COATED
TO ERADICATE EXIST
PAVEMENT MARKINGS

NOTE:
TOTAL DESIGNATED VISITOR & EMPLOYEE PARKING = 64 SPACES

NOTE:
ENTIRE PAVED AREA OF SITE IS PROPOSED TO BE USED
FOR STORAGE OF TRAILERS, SEA CONTAINERS AND
OTHER TYPES OF EQUIPMENT USED IN THE BOWMAN
SALES & EQUIPMENT BUSINESS



INSET MAP
SCALE: 1"=20'



GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

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OVERALL IMPROVEMENTS PLAN

BSE STATELINE, LLC

SITE MODIFICATIONS

SITUATE OFF CITICORP DRIVE
HAGERSTOWN, MD 21742
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=100'



LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 23-32040

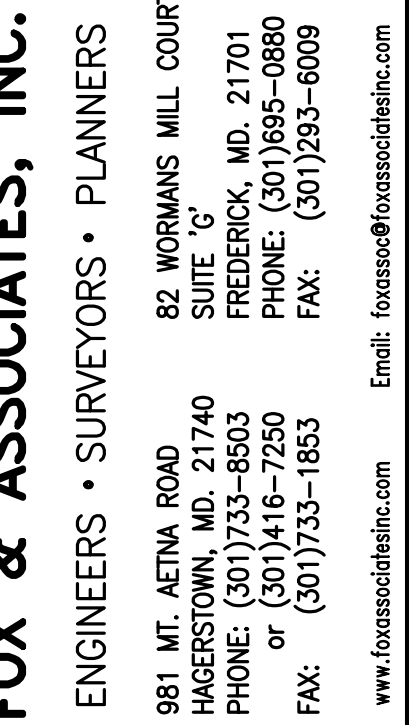
DRAWING NO. D-9313

DATE: JANUARY 2024

DRAWN BY: WMH/DCM

CHECKED BY: SCC

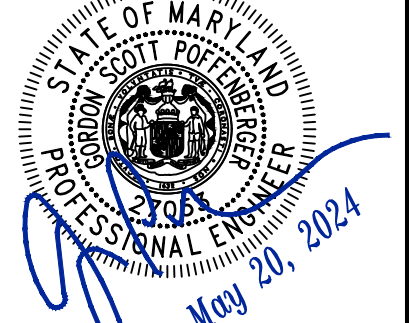
SHEET 3 OF 7



REVISED SITE LIGHTING
REVISED TYPAD SITE LIGHTING
REVISED PER AGSIC COMMENTS
REVISED PER OWNER COMMENT
REVISED PER OWNER COMMENT

***BSE STATELINE, LLC
SITE MODIFICATIONS***

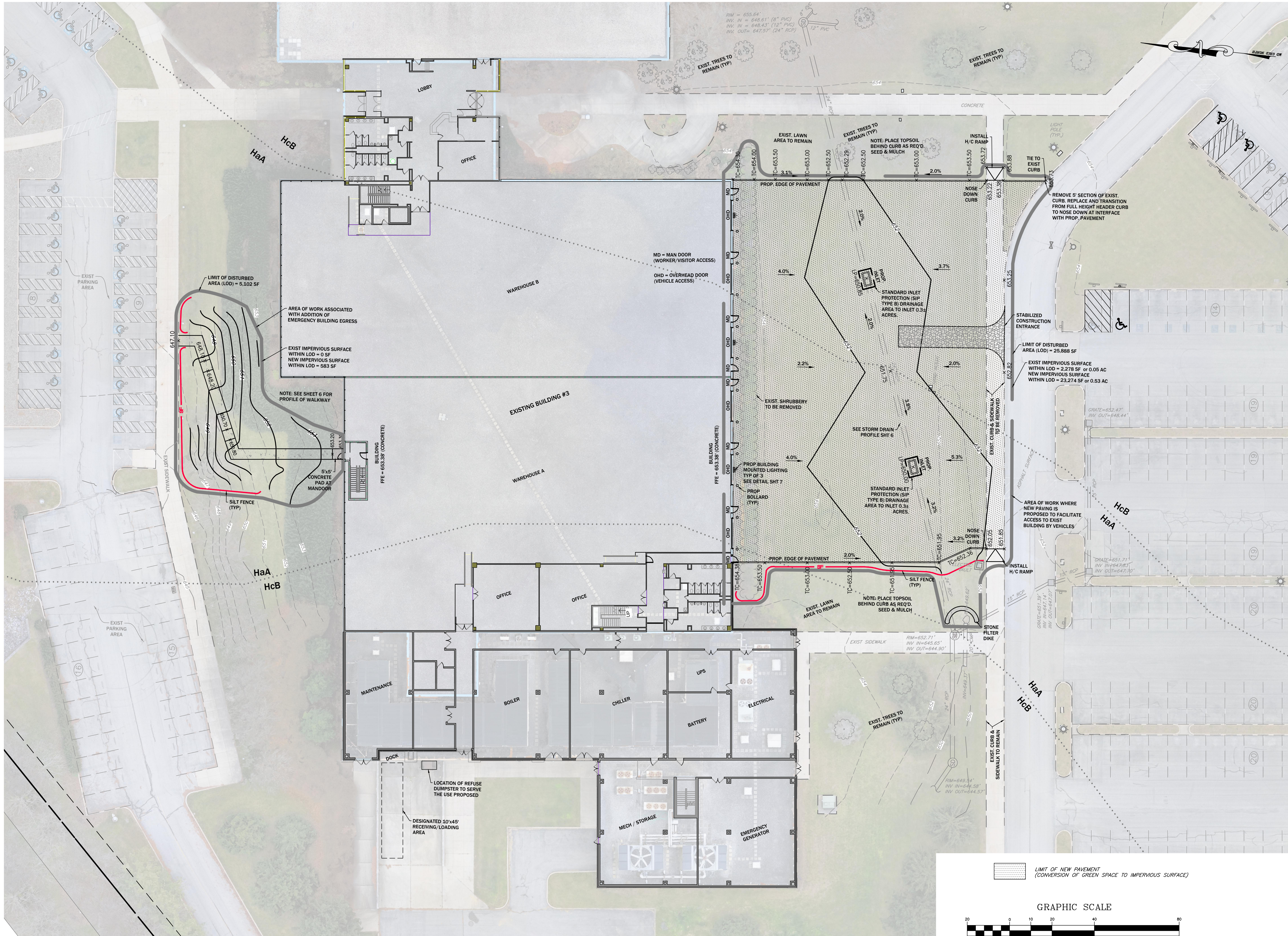
SCALE: 1"=20'



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 AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS
 OF THE STATE OF MARYLAND.

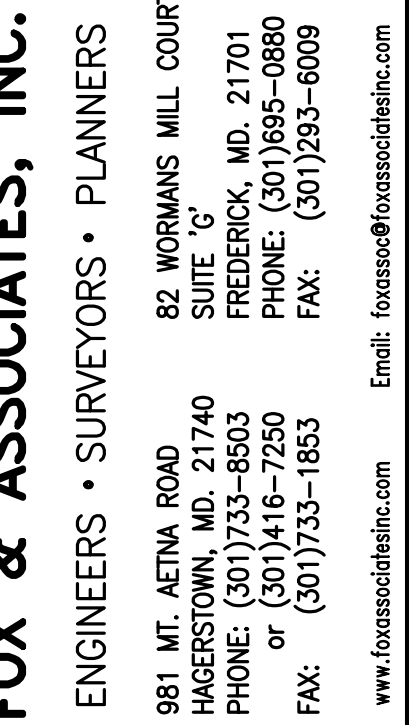
PROJECT NO. 23-32040
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DATE: JANUARY 2024
DRAWN BY: WMH/DCM
CHECKED BY: SCC

SHEET 4 OF 7




ORTHOPHOTO COLLECTION DATE: DECEMEBER 7, 2023

SP-24-012



DATE	REVISION	DRAWN BY
05.06.24	REVISED PER AGENCY COMMENTS	MMH
03.20.24	REVISED PER OWNER COMMENT	MMH
01.15.24	REVISED PER OWNER COMMENT	MMH

***BSE STATELINE, LLC
SITE MODIFICATIONS***



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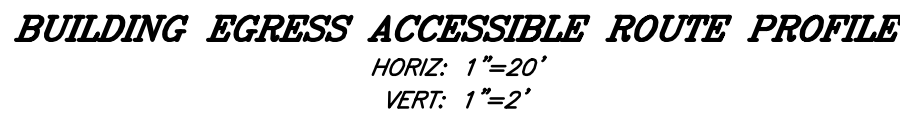
SHEET 5 OF 7



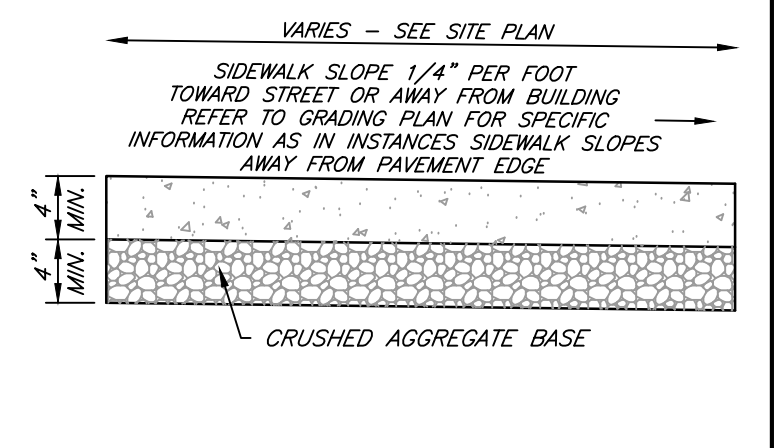
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

SP-24-012



1. TRANSVERSE EXPANSION JOINT TO BE PLACED AT INTERVALS NOT TO EXCEED 40 FT.
2. CONCRETE FOR SIDEWALK CONSTRUCTION SHALL BE MD S.H.A. STANDARD No. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.
3. SIDEWALK BETWEEN EXPANSION JOINTS SHALL BE DIVIDED INTO 4' BLOCKS BY TRANSVERSE CUTS.
4. 5" BITUMINOUS EXPANSION JOINT FILLER REQUIRED ONLY WHEN SIDEWALK IS AGAINST BUILDINGS OR OTHER FIXED OBJECTS.
5. SEE ARCHITECTURAL SITE PLAN A.1.D FOR SIDEWALK JOINT PATTERN.

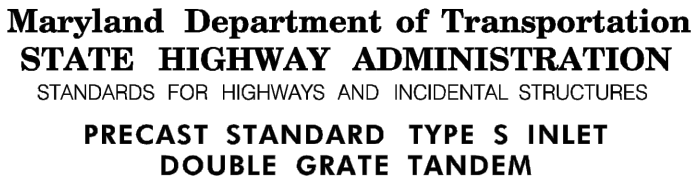


TYPICAL SIDEWALK & RAMP SECTION



1. TRANSVERSE EXPANSION JOINT TO BE PLACED AT INTERVALS NOT TO EXCEED 40 FT.
2. CONCRETE FOR CURB CONSTRUCTION SHALL BE MD S.H.A. STANDARD MIX No. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.

HEADER CURB DETAIL
N.T.S.



DOUGHOLE NOTE:

THE STORM DRAIN INLETS PROPOSED IN THE AREA TO SERVE AS THE ACCESS TO THE PROPOSED OVERHEAD DOORS IN BUILDING #3 ARE TO BE PLACED OVER THE EXISTING 24" RCP STORM DRAIN PIPE. THE INLETS TO BE INSTALLED ARE MSHA STANDARD 374.70. THE INLETS NEEDING TO BE PLACED OVER THE EXISTING 24" RCP STORM DRAIN SHALL BE AN OPEN BOTTOM INLET WITH A "DOUGHOLE" OPENING IN THE INLET WALL TO ALLOW THE INLET TO BE SET OVER THE EXISTING 24" PIPE. THE BOTTOM OF THE INLET WALLS SHALL EXTEND 6" BELOW THE INVERT OF THE EXISTING STORM DRAIN TO ALLOW FOR A CAST IN PLACE CONCRETE BASE TO BE PLACED. THE EXISTING 24" RCP STORM DRAIN WITHIN THE INLET SHALL BE REMOVED AND THE CAST IN PLACE CONCRETE BASE POURED. THE CONNECTION BETWEEN THE INLET WALLS AND THE 24" RCP STORM DRAIN TO BE SEALED WITH NON-SHRINK GROUT.

WATER ALLOCATION INFORMATION

CURRENT SITE WATER ALLOCATION: 80,288 GPD (AS REPORTED BY THE CITY OF HAGERSTOWN)

CURRENT USAGE REPORTED BY THE CITY OF HAGERSTOWN WATER DEPARTMENT: 0 GPD BASED ON 2023 ANNUAL WATER USAGE AS PROVIDED BY THE CITY OF HAGERSTOWN WATER DEPARTMENT. NOTE THE SITE IS CURRENTLY UNOCCUPIED.

PROPOSED WATER USAGE ANTICIPATED UPON BOWMAN SALES AND EQUIPMENT MOVING INTO THE BUILDING 600 GPD WHICH IS BASED ON 40 EMPLOYEES AND A WATER FLOW PROJECTION OF 15GPD/EMPLOYEE, THIS 600 GPD FLOW PROJECTION IS FOR THE INITIAL REDEVELOPMENT OF THIS SITE. IT IS EXPECTED THAT AT FULL REDEVELOPMENT THAT THE CURRENT ALLOCATION FOR THE SITE OF 80,288 GPD WILL BE UTILIZED.

ADDITIONAL ALLOCATION REQUESTED: 0 GPD

SEWER ALLOCATION INFORMATION

CURRENT SITE SEWER ALLOCATION: 118 EDUS (23,600 GPD) (AS REPORTED BY WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY)

CURRENT SITE SEWER USE: 10 EDUS (2,000 GPD BASED ON 2022 ANNUAL WATER USAGE,

PROPOSED SEWER USAGE ANTICIPATED UPON BOWMAN SALES AND EQUIPMENT MOVING INTO THE BUILDING 480 GPD WHICH IS BASED ON 80% OF THE ANTICIPATED WATER USAGE.

EXISTING ALLOCATIONS: 118 EDUS

EXISTING USAGE: 10 EDUS

PROPOSED TOTAL USAGE U

ADDITIONAL ALLOCATION REQUESTED: 0 EDUS

TOTAL SITE EMPLOYEES: 40 EMPLOYEES

HOURS OF OPERATION SUMMARY:
MONDAY THROUGH FRIDAY: 6:00 AM TO 6:00 PM
SATURDAY: 6:00 AM TO 6:00 PM

Forest Conservation Worksheet 2.2						
Net Tract Area						
A.	Total Tract Area					A = 0.66
B.	Deductions					B = 0.00
C.	Net Tract Area					C = 0.66
Land Use Category						
Input the number "1" under the appropriate land use zoning, and limit to only one entry						
	ARA 0	MDR 0	IDA 0	HDR 0	MPD 0	CJA 1
D.	Afforestation Threshold (Net Tract Area x 15%)					D = 0.10
E.	Conservation Threshold (Net Tract Area x 15%)					E = 0.10
Existing Forest Cover						
F.	Existing Forest Cover within the Net Tract Area					F = 0.00
G.	Area of Forest Above Conservation Threshold					G = 0.00
Break Even Point						
H.	Break Even Point					H = 0.00
I.	Forest Clearing Permitted Without Mitigation					I = 0.00
Proposed Forest Clearing						
J.	Total Area of Forest to be Cleared					J = 0.00
K.	Total Area of Forest to be Retained					K = 0.00
Planting Requirements						
L.	Reforestation for Clearing Above the Conservation Threshold					L = 0.00
M.	Reforestation for Clearing Below the Conservation Threshold					M = 0.00
N.	Credit for Retention above the Conservation Threshold					N = 0.00
P.	Total Reforestation Required					P = 0.00
Q.	Total Afforestation Required					Q = 0.10
R.	Total Planting Requirement					R = 0.10
**PIL Calculation						
		Convert Planting Requirement to Sq. Ft.				4356.00
		If Project is inside a Priority Funding Area:				1306.80
		If Project is outside of a Priority Funding Area:				1568.16

FOREST CONSERVATION MITIGATION FOR THIS PROJECT WILL BE MET BY THE EXPRESS PROCEDURE PIL OPTION IN THE AMOUNT OF \$1,306.80.

1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
2. ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
4. A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY) UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPLICABLE AGENCY. NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
5. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - a) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - b) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
6. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
7. ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES, AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
8. ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
9. ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
10. NO SLOPE SHALL BE GREATER THAN 2:1.

A. MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 20CP OR AN INDIVIDUAL PERMIT.

B. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.

C. DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).

D. FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITEE SHALL SUBMIT THE N.Y.L.D. DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

1. PRE-CONSTRUCTION NOTIFICATION TO SCHEDULE A PRE-CONSTRUCTION MEETING. NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 AND THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT 240-313-2400. AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
2. THE PROJECT PROPOSES WORK IN THREE (3) NONCONTOINGUOUS AREAS. THIS SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED TO ADDRESS EACH WORK AREA SEPARATELY. THE AREA OF WORK ADJACENT TO THE FORMER DAYCARE SITE IS AN AREA WHERE PAVEMENT IS TO BE REMOVED AND RESTORED TO BE A GRASS CONDITION. THIS AREA WILL REQUIRE PLACEMENT OF TOPSOIL. OVER PAVEMENT THAT IS TO BE REMOVED THEREFORE THIS AREA IS THE FIRST AREA TO BE DISCUSSED IN THIS SEQUENCE AS THIS AREA MAY UTILIZE TOPSOIL STRIPPED FROM THE OTHER TWO (2) AREAS OF WORK DENOTED ON THIS PLAN.
3. THE EXISTING PAVED AREA ADJACENT TO THE FORMER DAYCARE SITE IS PROPOSED TO BE REMOVED AND TOPSOILED/SEEDED TO RESTORE THE FORMER PARKING AREA TO A LAWN AREA. THE WORK WILL CONSIST OF REMOVING EXISTING SURFACE, BASE COURSES OF PAVEMENT AND STONE BASE. TOPSOIL TO A DEPTH EQUAL TO THE SURFACE, BASE COURSE OF PAVEMENT AND STONE BASE REMOVED. AS A RESULT, THE GRADE OF THE FORMER PARKING AREA WILL REMAIN AS IT CURRENTLY IS, AND DRAINAGE PATTERNS WILL REMAIN UNCHANGED.
4. SAWCUT PAVING AS REQUIRED TO FACILITATE THE INSTALLATION OF THE STABILIZED CONSTRUCTION ENTRANCE. REMOVE PAVEMENT TO ALLOW FOR THE INSTALLATION OF THE STABILIZED CONSTRUCTION ENTRANCE. ANY MATERIALS REMOVED FROM THE SITE FOR DISPOSAL SHALL BE TAKEN TO A FACILITY OR LOCATION FULLY PERMITTED TO ACCEPT THESE TYPES OF MATERIALS. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE ADJACENT TO STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PROJECT PLANS.
5. INSTALL AT-GRADE INLET PROTECTION ON THE TWO (2) EXISTING INLETS IN THE AREA OF WORK.
6. REMOVE EXISTING SURFACE, BASE COURSE OF PAVEMENT AND STONE BASE WITHIN LIMITS OF DISTURBANCE (LOD). REMOVE CURBS AND SIDEWALKS WITHIN LOD. ANY MATERIALS REMOVED FROM THE SITE FOR DISPOSAL SHALL BE TAKEN TO A FACILITY OR LOCATION FULLY PERMITTED TO ACCEPT THESE TYPES OF MATERIALS.
7. SPREAD TOPSOIL OVER AREAS WHERE SURFACE, BASE COURSE OF PAVING AND STONE BASE WAS REMOVED. PLACE TOPSOIL TO A THICKNESS EQUAL TO THE THICKNESS OF THE SURFACE, BASE COURSE OF PAVEMENT AND STONE BASE REMOVED. FINE GRADE TOPSOIL PRIOR TO PERMANENTLY STABILIZING THE AREA.
8. PERMANENTLY STABILIZE THE NEWLY GRADED AREA IN ACCORDANCE WITH THE SEEDING NOTES.
9. THE PROJECT PROPOSES THE ADDITION OF A SECONDARY MEANS OF BUILDING EGRESS ON THE NORTH SIDE OF BUILDING #3. THIS ADDITIONAL BUILDING EGRESS WILL INCLUDE A HANDICAPPED ACCESSIBLE ROUTE FROM THE PROPOSED EGRESS DOOR TO THE EXISTING SIDEWALK ALONG THE EXISTING PARKING FIELD ON THE NORTH SIDE OF BUILDING #3.
10. CLEAR AND GRUB WORK AREA AS REQUIRED INCLUDING REMOVAL OF ANY SHRUBBERY THAT WILL BE IMPACTED BY THE WORK PROPOSED.
11. PLACE SILT FENCE ALONG THE BACK OF THE EXISTING SIDEWALK TO LIMITS SHOWN ON THE PLAN.
12. REMOVE TOPSOIL FROM AREA OF WORK AND HAUL TO THE AREA ADJACENT TO THE FORMER DAYCARE SITE WHERE EXISTING PAVEMENTS ARE TO BE REMOVED AND THE AREA RESTORED TO A GRASS AREA. REFER TO SEQUENCE OF CONSTRUCTION THAT SPECIFICALLY DISCUSSES THE WORK IN THE AREA OF PAVEMENT REMOVAL AND RESTORATION AS A GRASS SURFACE.
13. GRADE AS REQUIRED TO REACH SUBGRADE FOR SIDEWALK AND HANDICAPPED RAMP INSTALLATION.
14. PLACE FORMS FOR SIDEWALK AND HANDICAPPED RAMP INSTALLATION.
15. PLACE CONCRETE FOR SIDEWALK AND HANDICAPPED RAMP.
16. INSTALL HANDRAIL ALONG RAMP. HANDRAIL TO BE IN CONFORMANCE WITH LATEST ADA REQUIREMENTS.

18. THE REMAINING AREA OF WORK IS THE AREA ON THE SOUTH SIDE OF BUILDING #3. THE WORK IN THIS AREA CONSISTS OF PLACEMENT OF DRIVE-IN DOORS AND MAN DOORS ON THE SOUTH BUILDING LINE OF BUILDING #3 AND THE INSTALLATION OF HOT MIXED ASPHALT PAVEMENT WITHIN THE AREA THAT IS CURRENTLY GRASS BETWEEN THE EXISTING SIDEWALK AND THE SOUTHERN EXTERIOR FACE OF BUILDING #3.

20. PLEASE SILT FENCE TO THE LIMITS SHOWN.

21. INSTALL STABILIZED CONSTRUCTION ENTRANCE

22. CLEAR AND GRUB WORK AREA AS REQUIRED INCLUDING REMOVAL OF ANY SHRUBBERY THAT WILL BE IMPACTED BY THE WORK PROPOSED.

2.3. REMOVE TOPSOIL FROM AREA OF WORK AND HAUL TO THE AREA ADJACENT TO THE FORMER DAYCARE SITE WHERE EXISTING PAVEMENTS ARE TO BE REMOVED AND THE AREA RESTORED TO A GRASS AREA. REFER TO SEQUENCE OF CONSTRUCTION THAT SPECIFICALLY DISCUSSES THE WORK IN THE AREA OF PAVEMENT REMOVAL AND RESTORATION AS A GRASS SURFACE.

24. SAWCUT EXISTING SIDEWALK AND CURBING TO BE REMOVED. ANY MATERIALS REMOVED FROM THE SITE FOR DISPOSAL SHALL BE TAKEN TO A FACILITY OR LOCATION FULLY PERMITTED TO ACCEPT THESE TYPES OF MATERIALS.

25. CONSTRUCT HANDICAPPED SIDEWALK RAMPS AT THE TWO (2) LOCATIONS SHOWN. HANDICAPPED RAMPS SHALL BE IN ACCORDANCE WITH LATEST ADA REQUIREMENTS.

26. INSTALL INLETS ON THE EXISTING 24" RCP STORM DRAIN AS LOCATIONS SHOWN. INSTALL INLET PROTECTION AS INLETS ARE BROUGHT TO GRADE.

27. FINE GRADE AREA FOR THE PLACEMENT OF GRADED AGGREGATE STONE BASE AND HOT MIXED ASPHALT.

28. PLACE GRADED AGGREGATE STONE BASE AND HOT MIXED ASPHALT TO THE LIMITS INDICATED.

29. UPON COMPLETION OF THE HOT MIXED ASPHALT PAVEMENT PLACEMENT, FINE GRADE REMAINING WORK AREA AND PLACE TOPSOIL OVER ANY REMAINING DISTURBED AREAS AND PERMANENTLY STABILIZE IN ACCORDANCE WITH THE SEEDING NOTES

30. ONCE ALL REMAINING AREAS ARE PERMANENTLY STABILIZED CLEAN UP THE ENTIRE CONSTRUCTION SITE.

31. POST-CONSTRUCTION NOTIFICATION—WHEN THE SITE IS 95% STABILIZED; NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 AND THE WASHINGTON COUNTY DIVISION OF PERMITS AND INSPECTIONS AT 240-313-2400 PRIOR TO REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL MEASURES.

32. REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.



TEMPORARY SEEDING SHALL COMPLY WITH

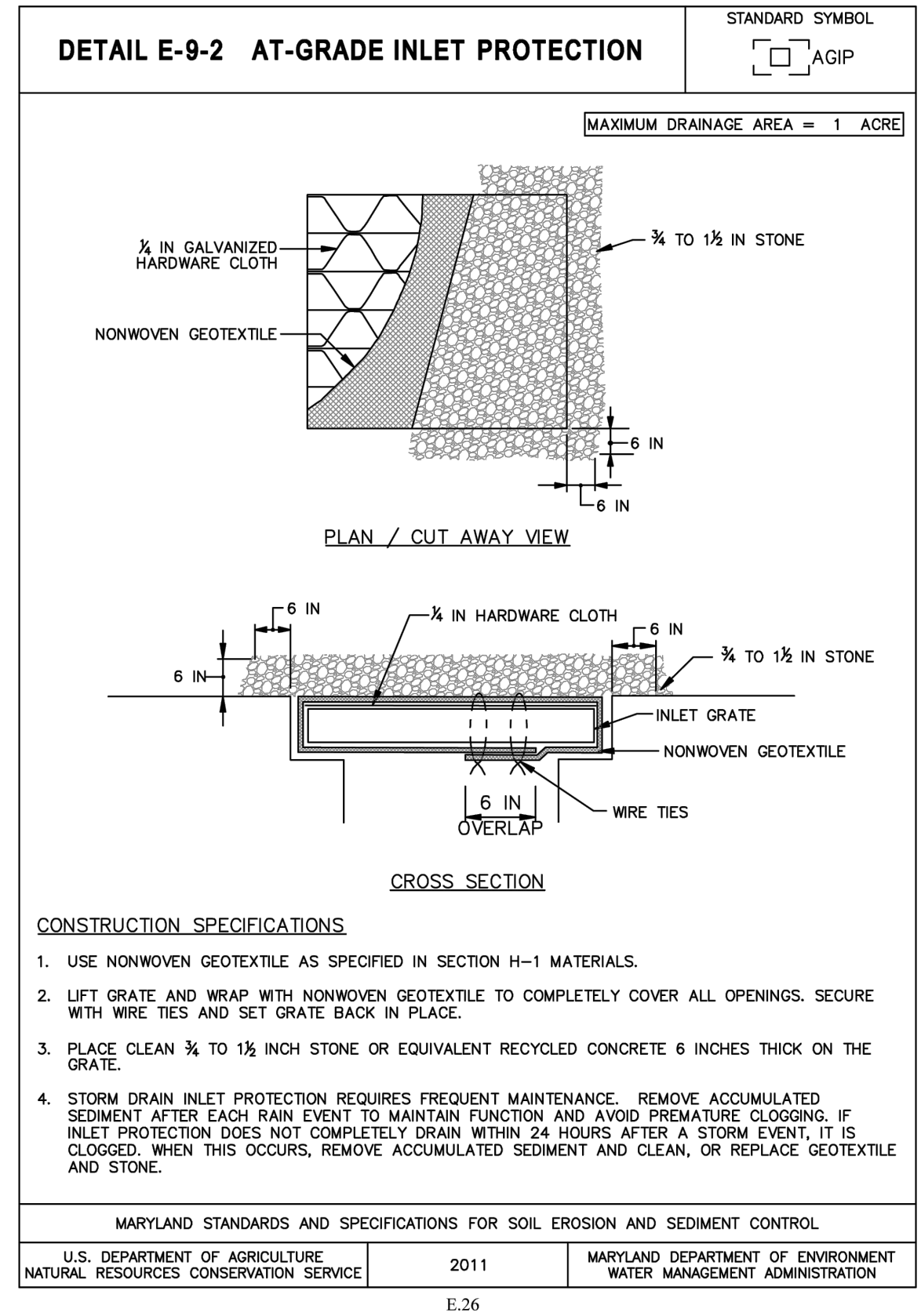
SECTION B-4-4 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL



PERMANENT SEEDING SUMMARY

PERMANENT SEEDING SHALL COMPLY WITH

SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAW
OF THE STATE OF MARYLAND.

PROJECT NO. 23-32040
DRAWING NO. D-9313
DATE: JANUARY 2024
DRAWN BY: WMH/DCM
CHECKED BY: SCC

SP-24-010 Myers Management

- Presented is a site plan for a 24,000 SF warehouse for Myers Management.
- The site is located at 225 McRand Court in Hagerstown.
- There will be one access point from McRand Court
- Parking required for the site is 16 spaces, and 16 will be provided
- Public water and sewer will be provided by the City of Hagerstown
- Hours of operation will be 7AM-5PM, M-F
- Lighting will be building mounted
- There will be no signage
- The developer is seeking conditional approval of the site plan pending approval of Forest Conservation which will be presented this evening as well.
- All agency approvals received
- Adam Hager of FSA is here to answer any questions you may have



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Site Plan for Myers Management
NUMBER.....: SP-24-010

OWNER.....: ROWLAND ON HOLDINGS LLC
LOCATION.....: 225 MCRAND Court
Hagerstown, MD 21740

DESCRIPTION.....: proposed site plan for a warehouse (routing on hold for revised plan)

ZONING.....: Industrial, General
COMP PLAN LU.....: Industrial
PARCEL.....: 24004902
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 24

TYPE.....: Commercial
GROSS ACRES.....: 2.57
DWELLING UNITS.....: 0
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Scott A Stotemyer
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: March 13, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SITE DESIGN

Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Staff Comments:		
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
Parking Spaces - Minimum Required	Recreational Parking Provided	



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Jonathan Hager	Springfield	Williamsport
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....:

AMBULANCE DISTRICT.....:

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	City	City
SERVICE AREA.....:	City	City
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

MD-ENG-6A
1/89

USDA
SCS

UTILITY NOTIFICATION

The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No.

1-800-257-7777

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY

<u>2.6</u>	ACRES AND THE TOTAL AMOUNT OF EXCAVATION
AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED	
TO BE APPROXIMATELY	
<u>4,226</u>	CU. YDS. OF EXCAVATION AND APPROXIMATELY
<u>8,056</u>	CU. YDS. OF FILL.

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION

"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

SIGNATURE	DATE	SEAL
CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER & WASTEWATER DIVISIONS		

This approval is for the design and layout of the proposed water and wastewater system improvements. All water and wastewater system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water or wastewater service. Water and wastewater service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE _____ DATE _____

OWNER / DEVELOPERS CERTIFICATION

"I/we certify all any parties responsible for clearing, grading, construction and/or development will; be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

3/18/21 LEROY MYERS
DATE PRINTED NAME


[Signature]
SIGNATURE

OWNER / DEVELOPERS CERTIFICATION


"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

3/18/24
DATE

LEROY MYERS
PRINTED NAME


SIGNATURE

ENGINEER / ARCHITECT DESIGN CERTIFICATION
I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

05.15.2024	49808	
DATE	REG. NO.	SIGNATURE

GENERAL NOTES

1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by Triad Engineering for sub-surface findings.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
5. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
6. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
7. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (New Business)	1-800-440-6111
Columbia Gas (Conflicts)	(301) 964-1065
Verizon	(301) 790-7124
Antietam Cable	(240) 420-2082
Washington County Division of Permits and Inspections	(240) 313-2450
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Washington County Soil Conservation District	(301) 797-6821

8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Benchmarks, as shown on sheet C-101, is base on datum NAVD 88.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
12. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
13. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
14. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
15. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
16. Please refer to Geotechnical Report completed by Triad Engineering for load bearing fills, etc.
17. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
18. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
19. All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland Accessibility Code and ADA Standards for Accessible Design.
20. The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in January 2024. (Contour accuracy is to plus or minus one half the contour interval).
21. Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
22. Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the photometric plan.
23. The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
24. This project has a projected start date of August 2024 and a completion date of March 2025.
25. A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
26. There are no Board of Zoning Appeals Cases for this property.
27. Proposed SWM will consist of an on-site submerged gravel wetland.
28. There are no parks, open space within or adjoining the tract.
29. All existing drainage culverts and drainage easements are to be maintained and unaltered.
30. There are no know floodplains, streams and related buffers, or habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 CFR 17 as required to be shown by Section 4.21 of the Washington County Zoning Ordinance. This site is not with 1,000 feet of the Appalachian Trail.
31. All grading for this project shall be the full responsibility of the property owner.
32. Any modifications of the approved grading plan shall be reviewed and approved by Washington County prior to construction.
33. Utility Permit will be required for any proposed utility work located within the County right-of-way.
34. Any new entrance (temporary or permanent) on McRand Court will require a Washington County Entrance Permit prior to construction.
35. No permanent structures (fences, sheds, play equipment, retaining walls, etc.) shall be permitted within any storm drainage easement either shown or described on the final plat of subdivision.
36. This project will require a third party qualified professional to be present at the preconstruction meeting scheduled with Washington County and the Washington County Soil Construction District. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
37. Developer/Contractor must contact the certifying engineer and Washington County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time schedules.

ZONING DATA

ZONING DISTRICT	IG - INDUSTRIAL, GENERAL DISTRICT
BUILDING HEIGHT	100 FT
MINIMUM YARD SETBACK:	
FRONT	50 FT.
SIDE	25 FT.
REAR	25 FT.

*EXCEPT WHERE LOT AND PROPOSED USES ABUT AND REQUIRE ACCESS TO A RAILROAD OR RAILROAD SIDING, THE SIDE OR REAR YARD SETBACK ABUTTING THE RAILROAD OR RAILROAD SIDING SHALL NOT BE REQUIRED

*EXCEPT WHERE THE PROPOSED USES OR BUILDING ABUT A LOT IN A RR, RT, RS, RU OR RM DISTRICT, OR ANY LOT OCCUPIED BY A DWELLING, THE SIDE AND REAR SETBACKS SHALL BE 10'

BOARD OF ZONING APPEALS' CASE NONE

SITE DATA

TAX MAP - GRID - PARCEL	0037-0020-0820
ELECTION DISTRICT	24
ACCOUNT NUMBER	004902
LIBER / FOLIO	07430 / 00468
PLAT NUMBER	2520
AREA SUMMARY:	
PARCEL	2.57 AC.
DISTURBED AREA	113,500 S.F. / 2.6 AC.
EXISTING IMPERVIOUS	0 SF / 0.0 AC (0%)
PROPOSED TOTAL IMPERVIOUS	47,900 S.F. / 1.1 AC (42%)
BUILDING SUMMARY:	
FOOTPRINT	24,000 S.F.
HEIGHT	45 FT.
PROPOSED USE	WAREHOUSE (PERMITTED USE)
HOURS OF OPERATION	7AM - 5PM, MON. - FRI.
DELIVERIES	10 BOX TRUCKS DAILY
EMPLOYEE SUMMARY:	
WAREHOUSE	16
WATER & SEWER USAGE:	
WATER PROVIDED	CITY OF HAGERSTOWN WATER DIVISION
SEWER PROVIDED	CITY OF HAGERSTOWN WASTEWATER DIVISION
EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	200 GPD
WASTE & RECYCLABLES:	
SOLID WASTE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
RECYCLE REMOVAL	PRIVATE HAULER: ROLL OFF TRASH COMPACTOR IN BAY
SITE LIGHTING:	
EXISTING	NONE
PROPOSED	BUILDING MOUNTED
SITE SIGNAGE:	
EXISTING	NONE
PROPOSED	NONE
ROAD CLASSIFICATION:	
LOCAL	MCRAND COURT (36' WIDE)
TRAFFIC GENERATOR	
ADT	62 TRIPS
PM PEAK HOUR	9 TRIPS
WAIVER AND/OR VARIANCE	NONE
FOREST CONSERVATION	OFF-SITE RETENTION EASEMENT, MISC PLAT
WATERSHED:	
NAME	CONOCOCHEAQUE CREEK
NUMBER	02-14-05-04
FEMA PANEL #	24043C0138D

PARKING, LOADING & BICYCLE DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
WAREHOUSE	1 SPACE PER 1,500 SF GFA	24,000 S.F. / 1,500 S.F.	16 SPACES
TOTAL REQUIRED SPACES			16 SPACES
TOTAL PROVIDED PARKING SPACES			16 SPACES

LEGEND

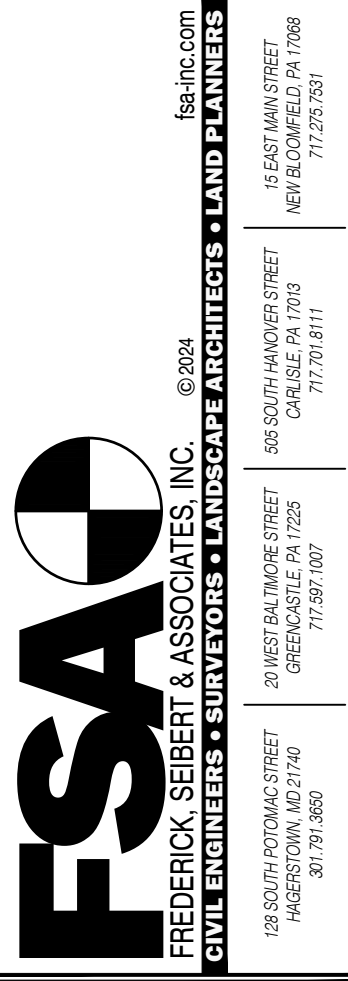
	EXISTING	PROPOSED
SUBJECT BOUNDARY		
BUILDING SETBACK LINE		
RIGHT OF WAY		
EASEMENT LINE		
ADJOINER BOUNDARY		
FENCE (METAL)		
FENCE (WOODEN)		
DITCH (STREAM)		
EDGE OF WATER		
WETLAND		
FLOODPLAIN		
SOIL BOUNDARY		
RAILWAY		
CENTERLINE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CURB		
WALL		
GUARD RAIL		
EDGE OF CONCRETE		
BUILDING		
MAIL BOX		
SIGN (ROAD)		
SIGN (SITE)		
TRAFFIC SIGNAL		
TOPOGRAPHIC FEATURES		
CONTOUR (INDEX)		
CONTOUR (INTERMEDIATE)		
SPOTS ELEVATION		
VEGETATION AREAS		
TREELINE		
DECIDUOUS TREES		
EVERGREEN TREES		
SANITARY SEWER		
GRAVITY LINE		
FORCE MAIN LINE		
LATERAL		
MANHOLE		
CLEANOUT		
VALVE		
WATER		
COLD WATER LINE		
HOT WATER LINE		
MANHOLE		
FIRE HYDRANT		
VALVE		
METER		
WELL		
STORM DRAINAGE		
STORM SEWER LINE		
ROOF DRAIN LINE		
MANHOLE		
INLETS		
CLEANOUT		
UTILITIES		
GAS LINE		
ELECTRICAL LINE		
FIBER OPTIC LINE		
COMMUNICATION LINE		
OVERHEAD LINES		
MANHOLE		
PEDS, BOX, & ETC		
POLE		
LIGHT POLE		
GAS METER		
GAS VALVE		

LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	PCC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIAMETER	SIP	SET IRON PIN
EGL	EXISTING GRADE LINE	SD	STORM DRAINAGE
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
EIP	EXISTING IRON PIN	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
GV	GATE VALVE	STA	STATION
HGL	HYDRAULIC GRADE LINE	STD	STANDARD
HDPE	HIGH DENSITY POLYETHYLENE	SY	SQUARE YARDS
INV	INVERT	TAN	TYPE AS NOTED
LF	LINEAR FEET	TEMP	TEMPORARY
MAX	MAXIMUM	TS	TOP OF STRUCTURE
MB	MAIL BOX	TG	TOP OF GRADE
MIN	MINIMUM	TR	TOP OF RIM
MJ	MECHANICAL JOINT	TYP	TYPICAL
NO	NUMBER	UP	UTILITY POLE
NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
NTS	NOT TO SCALE	WL	WATERLINE
OAC	OR APPROVED EQUAL	WM	WATER METER
		WV	WATER VALVE



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 48888
Expiration Date 05/15/2024



DATE	REVISION	DESCRIPTION	REVIEWED PER COUNTY AGENCIES COMMENTS	REVIEWED PER CLIENT REQUEST
05/07/24				
05/07/24				

MYERS MANAGEMENT

SITUATED AT JOSE LUCIANO COURT
WEST OF HUMP ROAD AND SOUTH OF WEST WASHINGTON STREET
WASHINGTON COUNTY, MARYLAND

MYERS MANAGEMENT
11745 ASHTON RD. CLEAR SPRING, MD 21722
ATTN: LEROY MYERS (301) 667-0763

PROJECT NO.	4566 L5.1
DWN BY	DWH
DATE	02-21-2024
PROJECT MANAGER	ADAM HAGER
EMAIL	AHAGER@FSA-INC.COM
TAX MAP-GRID-PARCEL	0037-0020-0820
SCALE	NTS
SHEET TITLE	

NOTES & LEGENDS

C-002
SHEET 02 OF 12



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	70.00'	71.04'	68.03	S 00°46'05" E	58°08'45"

N/F
RAMPF WASHINGTON COUNTY
LIMITED PARTNERSHIP
LIBER 928 FOLIO 461

MD STATE PLANE
NAD 83 NAVD 86

N/F
SARIAN, LLC
LIBER 2270 FOLIO 42

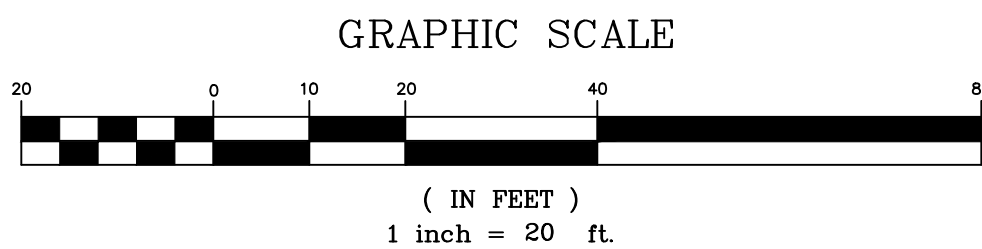
+ N:722238.41
E:1101477.78

LANDS OF ROWLAND ON HOLDINGS, LLC
LIBER 6826 FOLIO 28
257 AC +

N/F
MACRAND LIMITED PARTNERSHIP
LIBER 895 FOLIO 157

NF
SARIAN, LLC
LIBER 2770 FOLIO 424

SITE BENCHMARK
PK NAIL, STA. #2
ELEV. = 610.10



SITE RESOURCES

MYERS MANAGEMENT

SITUATED AT 225 MCRAND COURT
WEST OF HUMP ROAD AND SOUTH OF WEST WASHINGTON STREET
WASHINGTON COUNTY, MARYLAND

MYERS MANAGEMENT
11748 ASHTON RD. CLEAR SPRING, MD 21722
ATTN: LEROY MYERS (301)-667-6763

PROJECT NO.		4566.L5.1
DWN BY DWH	DAT	02-
PROJECT MANAGER: ADA		
EMAIL: AHAGER@FSA-		
TAX MAP-GRID-PARCEL		
0037-0020-0820		
SCALE		

EXISTING CONDITIONS

C-101
SHEET 03 OF 12



Professional Certification:
I hereby certify that these documents were prepared
or approved by me, and that I am a duly licensed
professional under the laws of the State of:
MARYLAND, License # 48808
Expiration Date 08-24-2024

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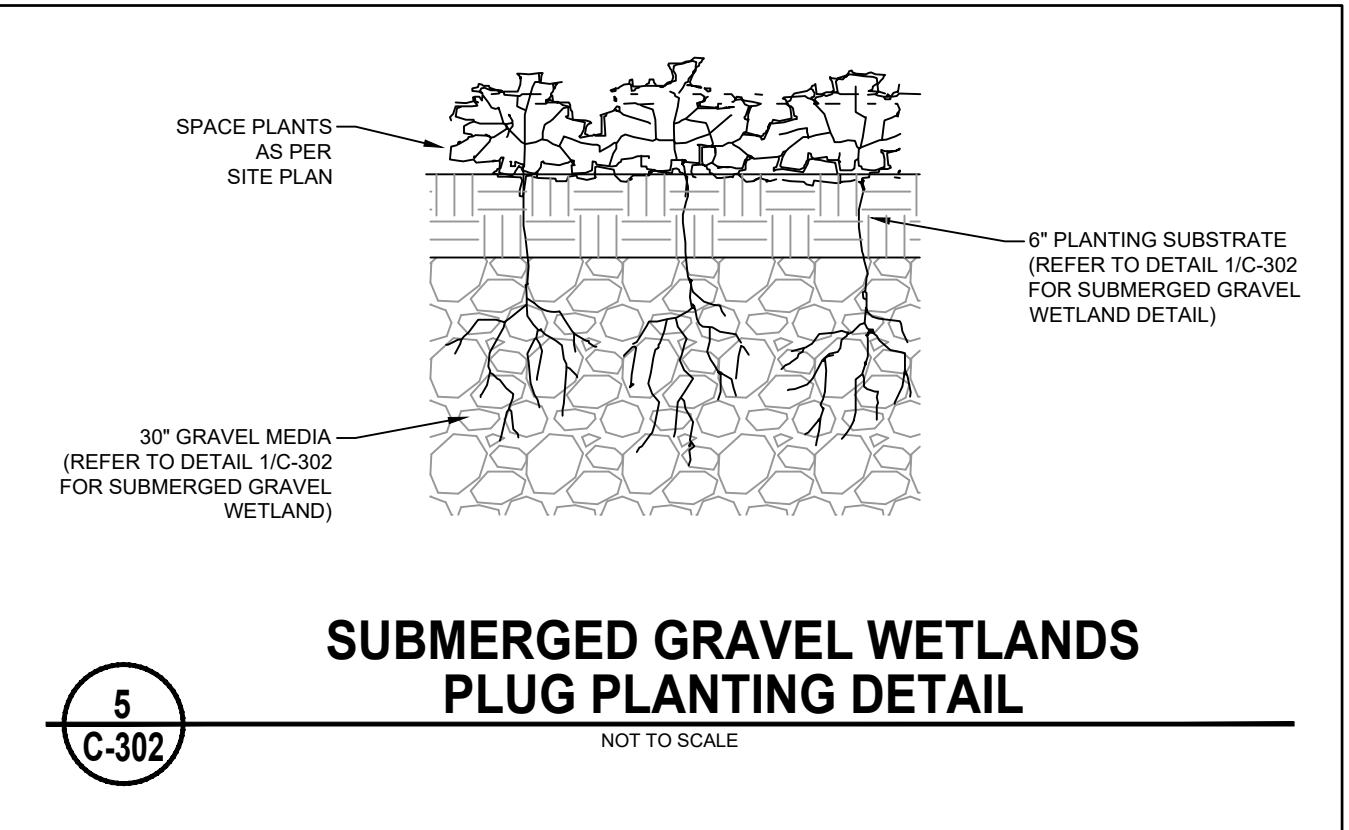
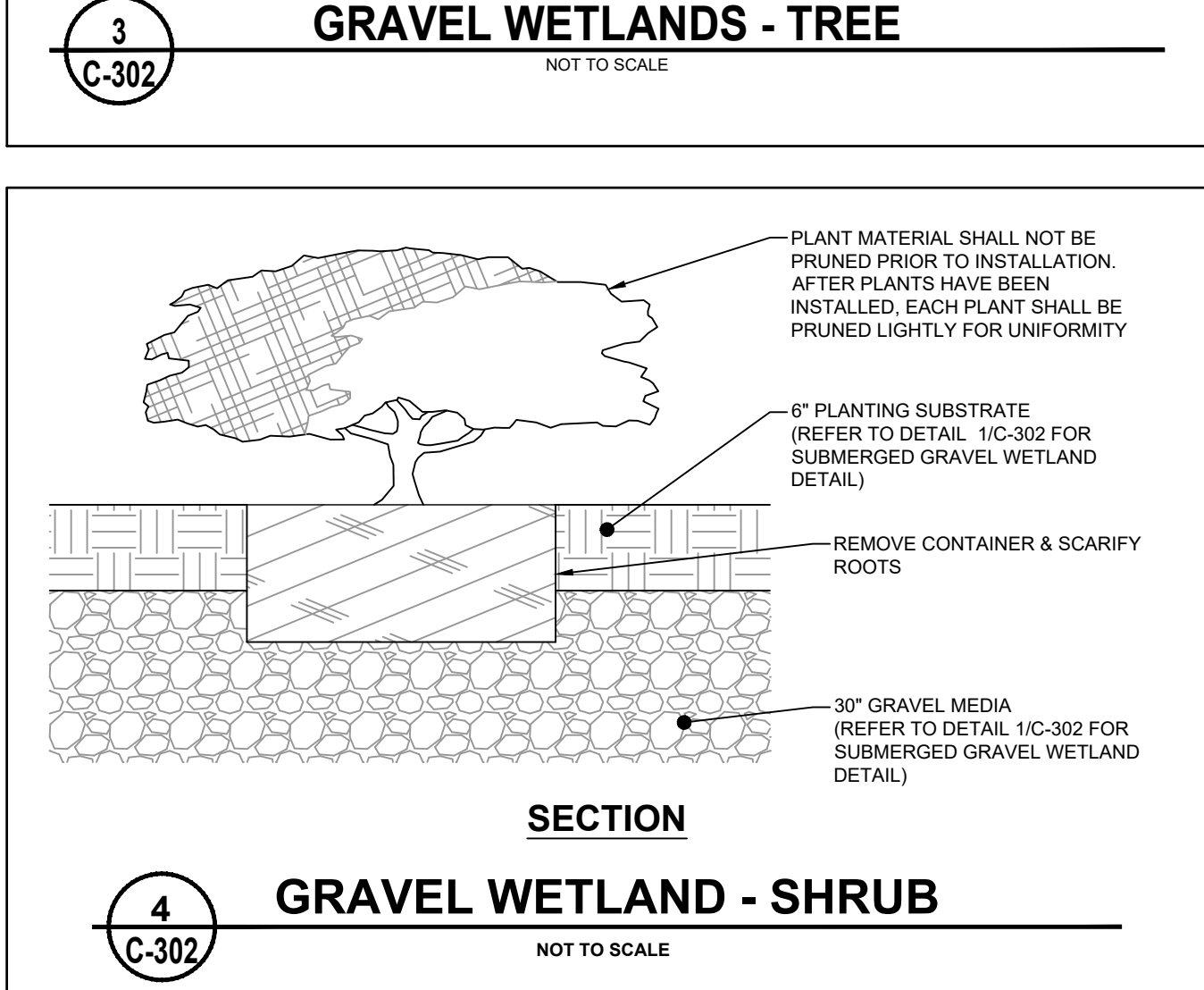
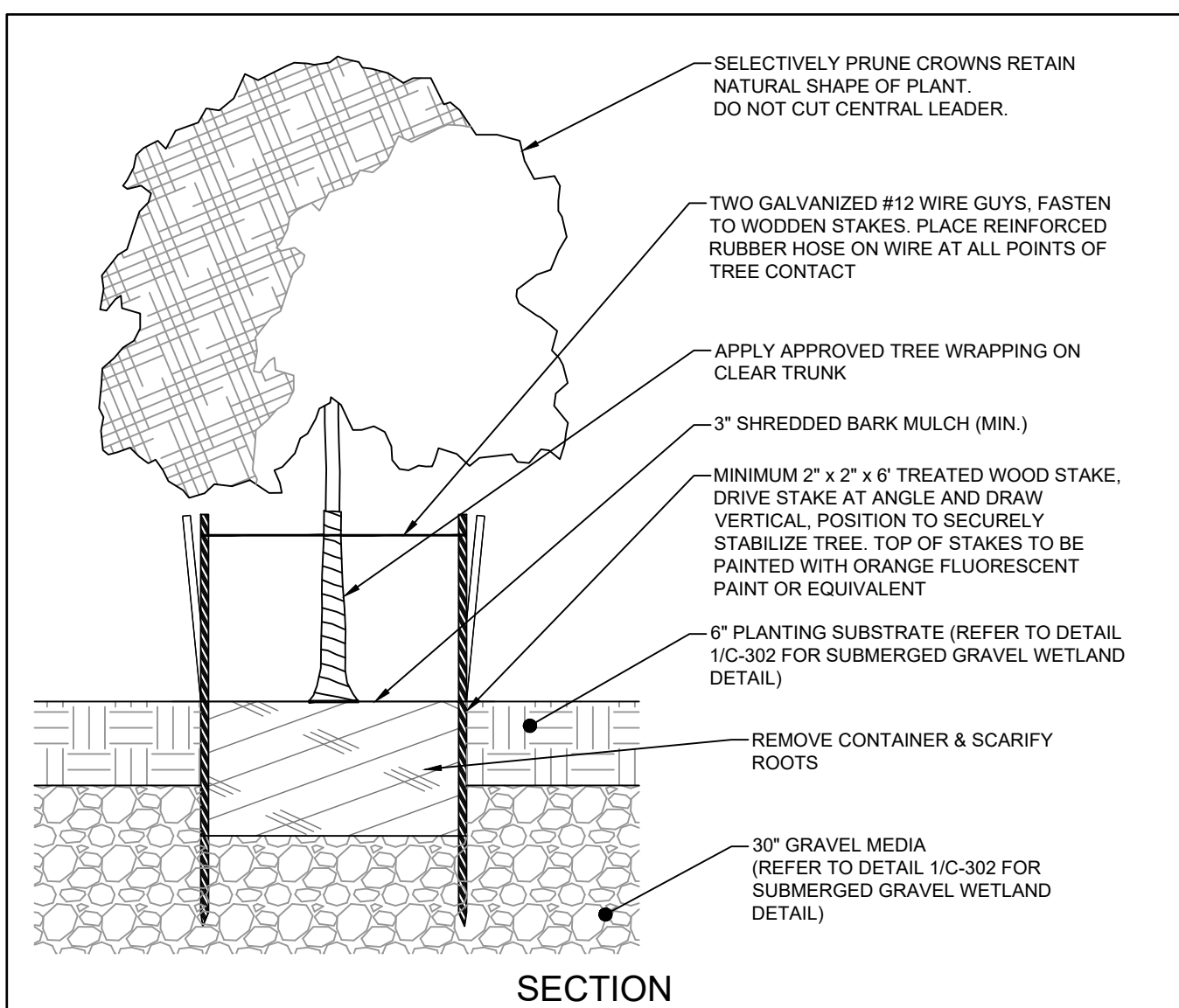
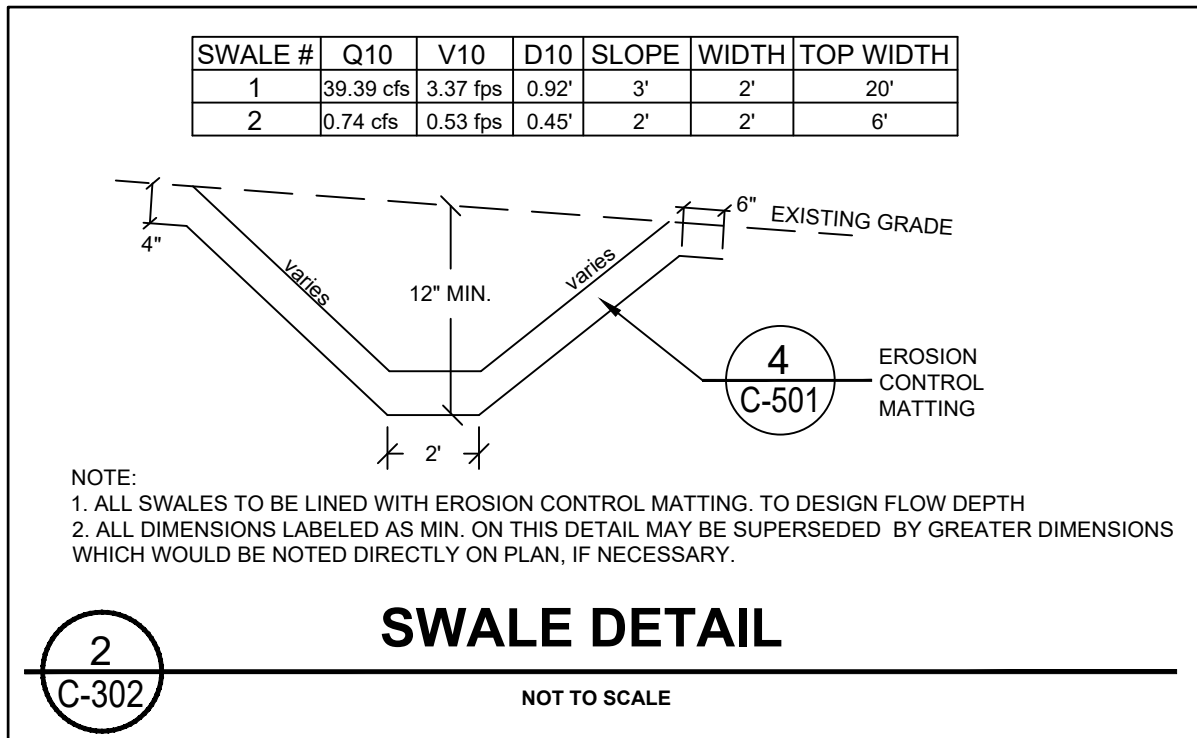
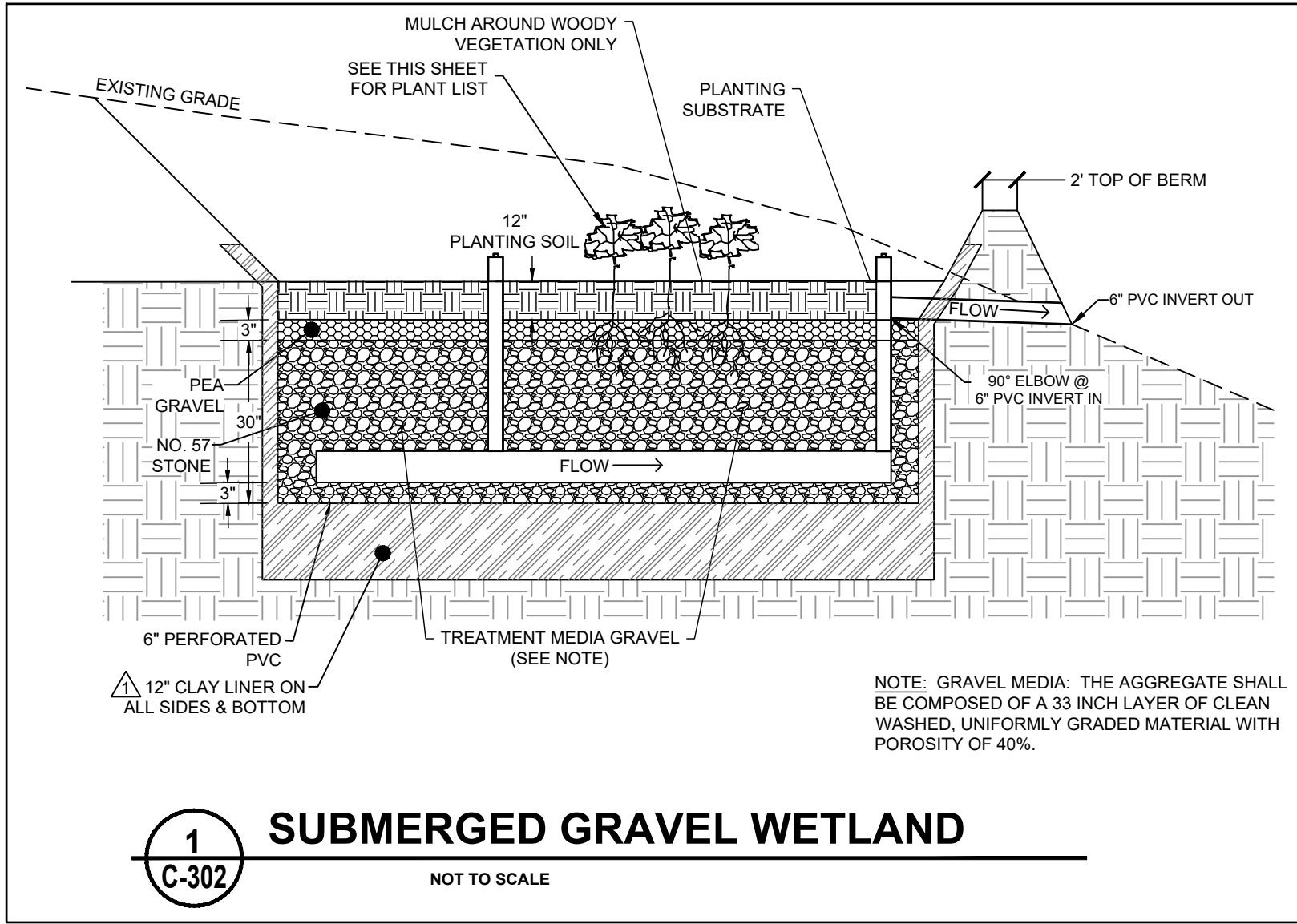
2024 RCH

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ENGINEERS • INC.

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TP-1	TP-1A	TP-2	TP-3	TP-4	TP-6
TOPSOIL 614.00	TOPSOIL 614.00	TOPSOIL 614.00	TOPSOIL 614.00	TOPSOIL 616.00	TOPSOIL 616.00
Tan orange CLAY, medium plasticity, trace sand, trace gravel, moist	CRUSHED STONE 613.50	CRUSHED STONE 613.20	Tan brown CLAY, low plasticity, and boulders, little cobbles, little gravel, moist, trace topsoil	Tan brown CLAY, medium plasticity, trace sand, trace gravel, moist	Tan brown CLAY, medium plasticity, trace sand, trace gravel, moist
TEST PIT TERMINATED AT 1.3	TEST PIT TERMINATED AT 2.8	TEST PIT TERMINATED AT 4.5	TEST PIT TERMINATED AT 1.5	TEST PIT TERMINATED AT 7.5	TEST PIT TERMINATED AT 2.3
612.80	611.20	609.50	606.30	609.50	609.50

NOTE: THESE SOIL LOGS ARE BASED SOLELY ON FIELD OBSERVATION, AND ARE VALID ONLY FOR THE LOCATIONS INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED TESTING AND CLASSIFICATION TO DETERMINE THE EXTENT OF SOILS ON SITE THAT MEET THE REQUIREMENTS OF MD-378. FOR SOIL LOG DESCRIPTIONS AND RECOMMENDATIONS REFER TO THE GEOTECHNICAL REPORT.

Specifications for Submerged Gravel Wetland

(Reference - Maryland Stormwater Design Manual, Volume Two, Appendix B.4)

Material Specifications
The allowable materials to be used in submerged gravel wetland areas are detailed in Table B.4.1

Planting Soil
The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the planting area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05..

Compaction
It is very important to minimize compaction of both the base of the planting area and the required backfill. When possible, use excavation hoes to remove original soil. If wetland areas excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause compaction resulting in reduced infiltration rates and storage volumes and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the wetland area facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the wetland facility before backfilling the required sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, place first 3 to 4 inches of topsoil over the sand, then rototill the sand / topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts of 12 inches or greater. Do not use heavy equipment within the wetland area. Heavy equipment may be used around the perimeter of the basin to supply soils and sand. Grade wetland materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

Plant Installation
Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. Root stock of the plant material shall be kept moist during transport and on-site storage. Planting pits shall follow LCA planting guidelines. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed shall be tilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the submerged gravel wetland is to improve water quality. Adding fertilizers defeats, and at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch is used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

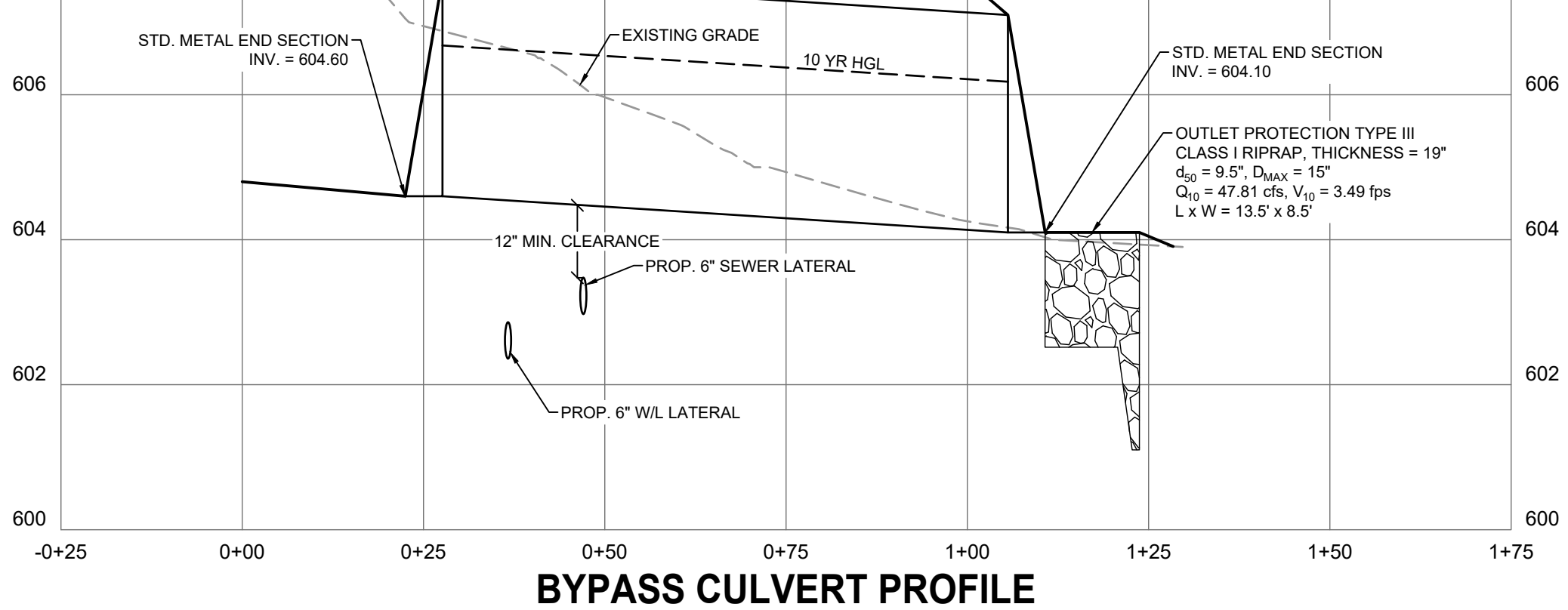
Underdrains
Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations - If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/4" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

Miscellaneous
These practices may not be constructed until all contributing drainage area has been stabilized.

Wetland berms are to be constructed per the MD 378 small pond standards with respect to materials, placement, and compactions.



NOTE: ANY ROCK ENCOUNTERED WITHIN THE SWM FACILITIES SHOULD BE UNDERCUT AT LEAST 12 INCHES AND COVERED WITH CONTROLLED AND COMPACTED CLAY LINER SOILS. IF A SYNTHETIC LINER IS USED, ANY ROCK ENCOUNTERED WITHIN THE SWM FACILITIES SHOULD BE UNDERCUT AT LEAST 6 INCHES (OR DEPTHS AS RECOMMENDED BY THE MANUFACTURER) AND COVERED WITH CONTROLLED FILL.

BMP MAINTENANCE NOTES:

- BMP AREAS SHALL BE INSPECTED AT A MINIMUM, BI-ANNUALLY.
- OWNER SHALL REMOVE SILT/SEDIMENT IF THE ACCUMULATION OF SEDIMENT EXCEEDS ONE INCH WITHIN THE BMP AREA.
- THE TOP FEW INCHES OF FILTER MEDIA SHALL BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS.
- TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
- MULCH SHALL BE REPLACED ON AN ANNUAL BASIS.
- PLANT MATERIAL SHALL BE INSPECTED YEARLY AND DEAD AND/OR DISEASED VEGETATION SHALL BE REPLACED, AS NECESSARY. WATERING MAY BE REQUIRED DURING PROLONGED DRY SPELLS.

CLAY LINER NOTES:

- Remove 12 inches of the SWM facilities subgrade.
- Place soil materials that meet the minimum requirements.
- The materials shall have a maximum dry density of at least 100 PCF as per ASTM D-698.
- Acceptable materials shall be ml, cl, mh, ch with no rock greater than 1-inch in diameter and constituting no more than 15% of the matrix.
- Materials are to be placed in 6-inch lifts and properly compacted to at least 98% of the maximum dry density value as determined by ASTM D-698 (Standard Proctor) at a moisture content in the range of optimum to 3 percent above optimum moisture as determined by the same standard. A sufficient number of in-place density tests should be performed by an experienced engineering technician to verify that the proper degree of compaction is being obtained.
- Any rock encountered within the SWM ponds shall be undercut at least 12 inches and covered and controlled and compacted clay liner soils.

Table B-4.1 Material Specifications for Submerged Gravel Wetland

Material	Specification	Size	Notes
Plantings	See planting list	n/a	plantings are site-specific;
Planting Substrate	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (20%), coarse sand (20%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min: 10% by dry weight (ASTM D 2974)		
Pea gravel	ASTM D-448	No. 8 or No. 9 (1/8" to 3/8")	
Gravelly Treatment Media	Clean Washed uniformly graded material with a porosity of 40%	No. 57 or No. 6 Aggregate	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4"-6" rigid sch. 40 PVC or SDR35	Slotted or perforated pipe, 3/8" perf. @ 6" o.c.; 4 holes/min. 3" of gravel over pipes, not necessary underneath pipes.
Sand	AASHTO M-6 or ASTM C-33	0.075 to 0.04"	Sand substitution such as Diabase and Graystone (AASHTO #10) are not acceptable. No calcium carbide or dolomite sand substitutions are acceptable. No "rock dust" can be used for sand.
Compost	MSHA Standard Specifications for Construction and Materials, July 2008 9202.02 Compost	Uniform particle size of 0.5" or less	Source - Separated Compost (Type B). Type B Compost shall be tree leaf compost or not-tree leaf compost. Type B Compost produced from lawn clippings shall be tested for contaminants in conformance with Maryland law and regulations.

WETLAND AND WET POOL SEED MIX NOTES

SITE PREPARATION

Eradicate existing invasive vegetation by having a licensed spray technician apply an approved herbicide, such as glyphosate (Rodeo®), triclopyr (Garlon® 3A) or other aquatic herbicide formulation, to control undesirable vegetation, such as multiflora rose, honeysuckle and woody species.

CAUTION: Some persistent species, such as purple loosestrife, phragmites or reed canarygrass, may need multiple applications of glyphosate or triclopyr. Perennial weeds not addressed before establishment will be more difficult to remove later. The soil is often too wet to till.

Newly constructed wetlands, retention basins and wet construction sites should be seeded as soon after construction as possible. Leaving the surface rough by creating mounds and kettles for an undulating microtopography can be very beneficial in obligate wetlands.

NOTE:

It is important that the basin be drained during the first 1-2 months that seed needs to establish, otherwise there will be a high risk of seed washout.

GROWING SEASON MAINTENANCE

- First Growing Season**
- When feasible (the ground isn't too slippery or mucky to safely walk), post-planting maintenance will provide the best results for wet meadows and wetlands. Whenever canopy (overall vegetation) reaches a height of 18"-24", use a string trimmer to trim the meadow to a height of 8". This will reduce competition by fast-growing weeds for sunlight and nutrients needed by slow-growing perennial natives. Mowing should cease by mid-September.
 - Problem weeds should be hand pulled or spot sprayed with an approved aquatic herbicide (such as Rodeo® or Garlon® 3A).
- Second Growing Season**
- Problem weeds, such as phragmites, reed canarygrass and purple loosestrife, should be hand pulled or spot sprayed with an approved aquatic herbicide (such as Rodeo® or Garlon® 3A).

Submerged Gravel Wetlands Maintenance Schedule

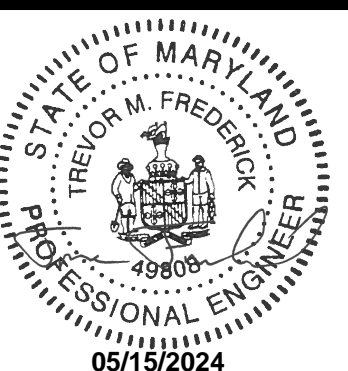
- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- During the first year of operation, inspections shall be conducted after every major storm and poorly established areas revegetated.
- Sediment accumulation in the pretreatment areas should be removed as necessary.
- Signs of uneven flow distribution within the wetland may mean that the gravel or underdrain is clogged. The gravel and/or underdrain may need to be removed, cleaned, and replaced.
- A dense stand of wetland vegetation should be maintained through the life of the facility with plantings replaced as needed.
- Inlet and outlets to each submerged gravel wetland cell should be free of debris to prevent clogging.
- Erosion at inflow points should be repaired. Flow splitters should be functional to prevent bypassing of the facility.

GENERAL LANDSCAPE NOTES:

- Landscape contractor is to call Miss Utility and have all underground utilities marked prior to any digging or planting.
- Landscape Contractor shall install all plant material in a timely fashion.
- Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
- NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
- Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
- All plants shall be watered thoroughly during installation and prior to final acceptance.
- All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
- Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
- All plant material shall be warranted for two years. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
- The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
- Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- Landscape is recommended to be installed during the two growing seasons. Spring: April 15-June 15, Fall: September 1-November 1.

MAINTENANCE:

- Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the bioretention area.
- All trash and debris should be removed from the top of the bioretention area as necessary.
- Areas devoid of mulch shall be re-mulched on an annual basis.



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 4989
Expiration Date: 05/15/2024

FSA
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CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND PLANNERS
108 SOUTH POTOMAC STREET
BALTIMORE, MD 21201
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WWW.FSA-INC.COM

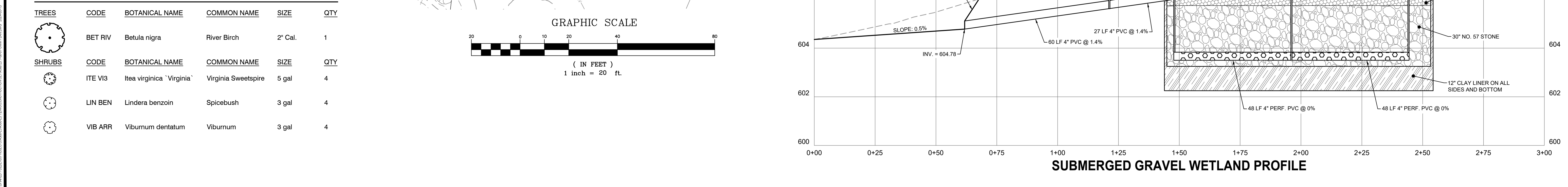
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REVIEWED PER COUNTY AGENCIES COMMENTS					
MARK / DESCRIPTION					

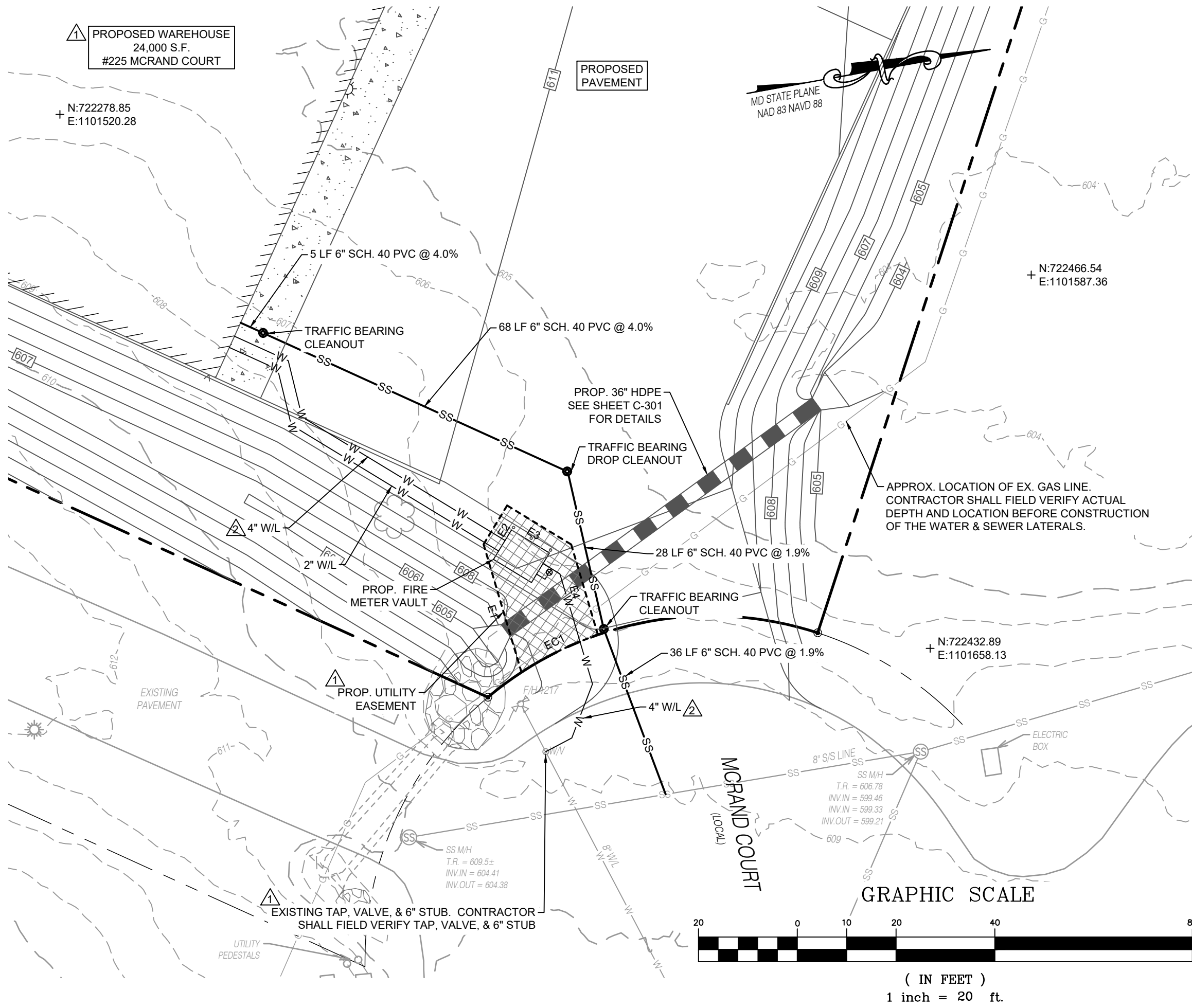
MYERS MANAGEMENT
SITUATED AT JOSE LUSKANO COURT
WEST OF HUMP ROAD AND SOUTH OF WEST WASHINGTON STREET
WASHINGTON COUNTY, MARYLAND
MYERS MANAGEMENT
11748 ASHTON RD. CLEAR SPRING, MD 21722
ATTN: LEROY MYERS (301) 607-0703

PROJECT NO.	4566.L5.1	DATE	02-21-2024
DWN BY	DWH	PROJECT MANAGER	ADAM HAGER
		EMAIL	AHAGER@FSA-INC.COM
		TAX MAP-GRID-PARCEL	0037-0020-0820
		SCALE	NTS
		SHEET TITLE	

STORMWATER MANAGEMENT PLAN

C-302
SHEET 07 OF 12





WATER & WASTEWATER ALLOCATION

EXISTING ALLOCATION	0 GPD
PROPOSED ALLOCATION	200 GPD

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577, EXT 653 FOR THE PERMIT APPLICATION

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER & WASTEWATER DIVISIONS

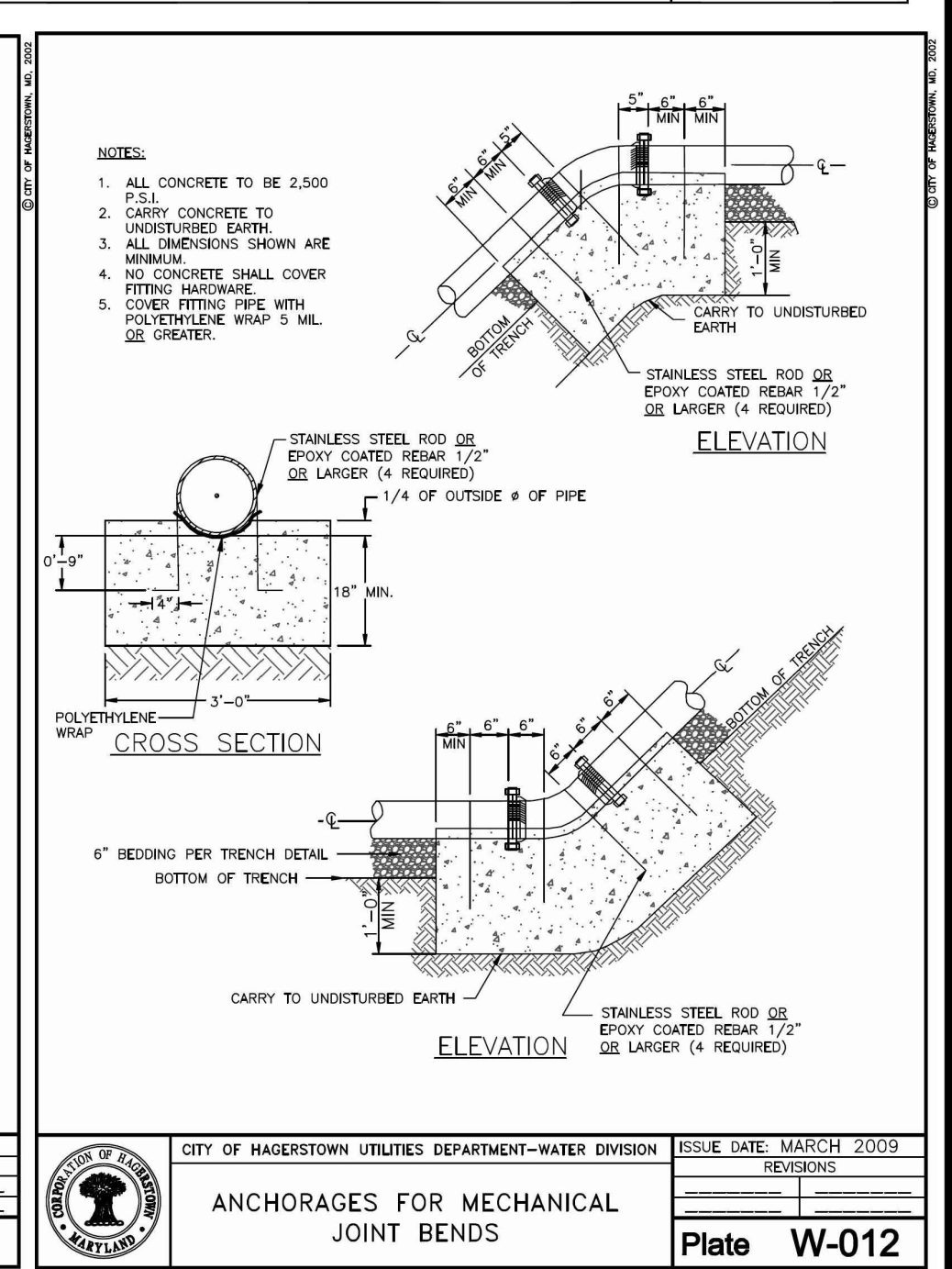
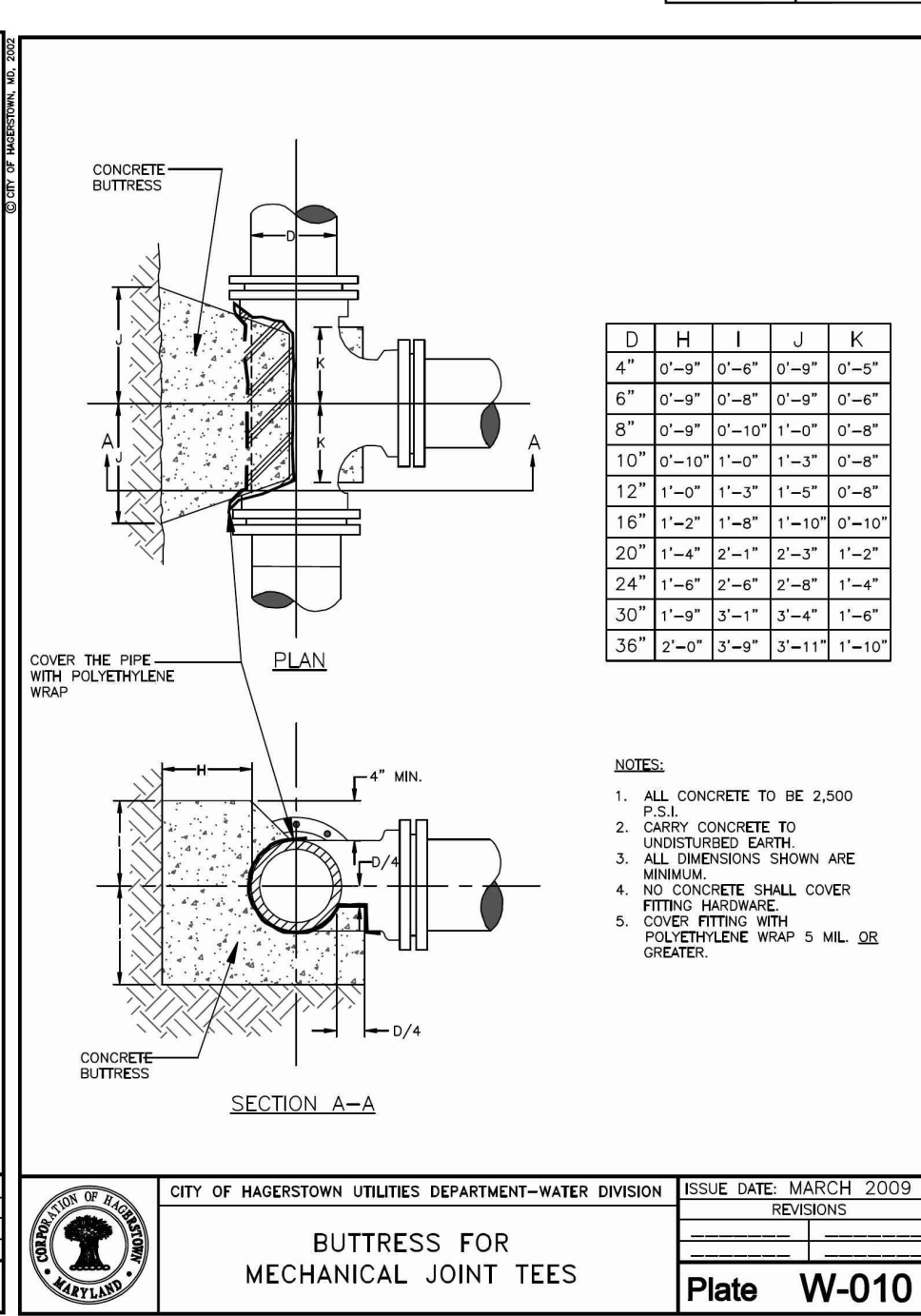
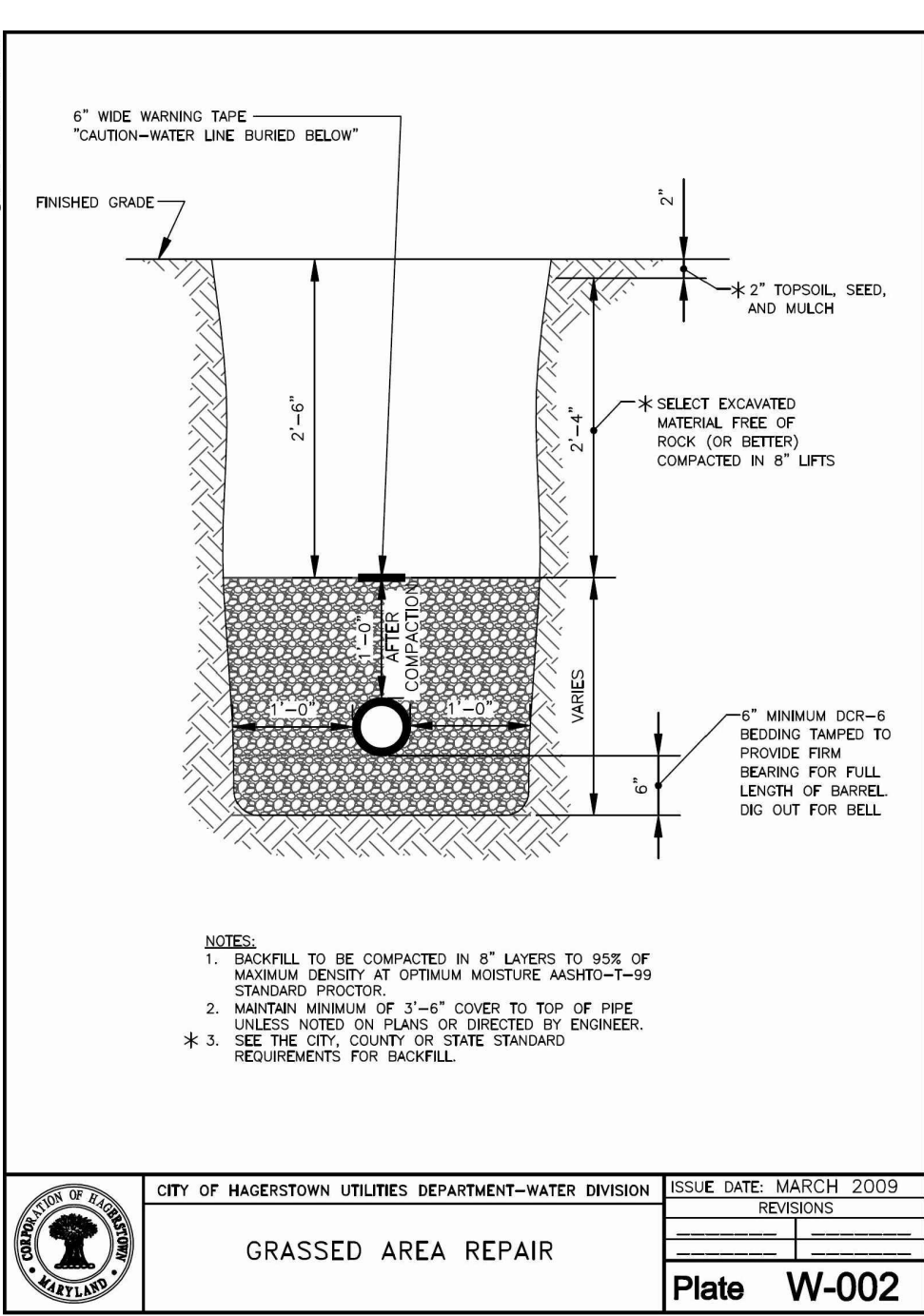
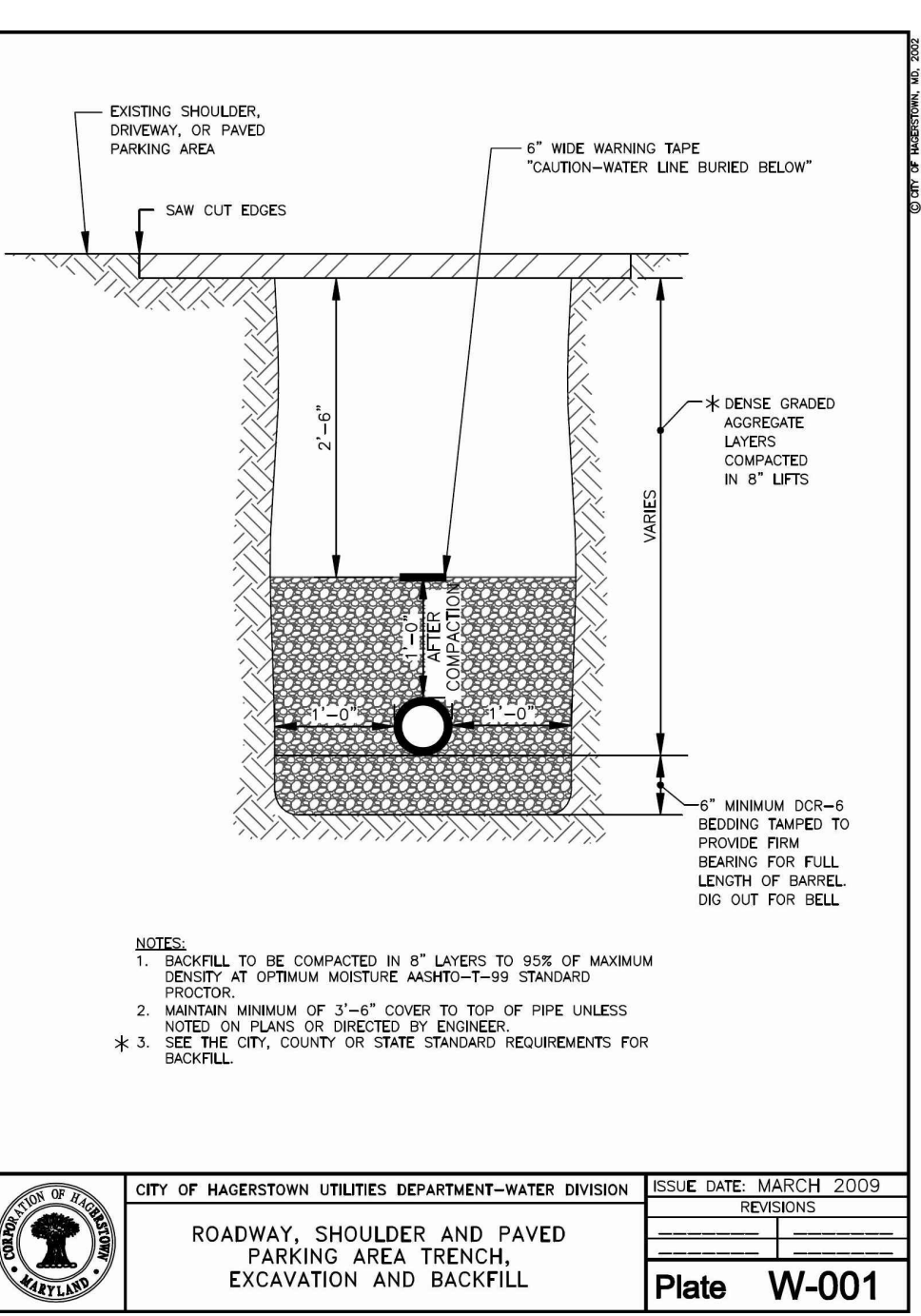
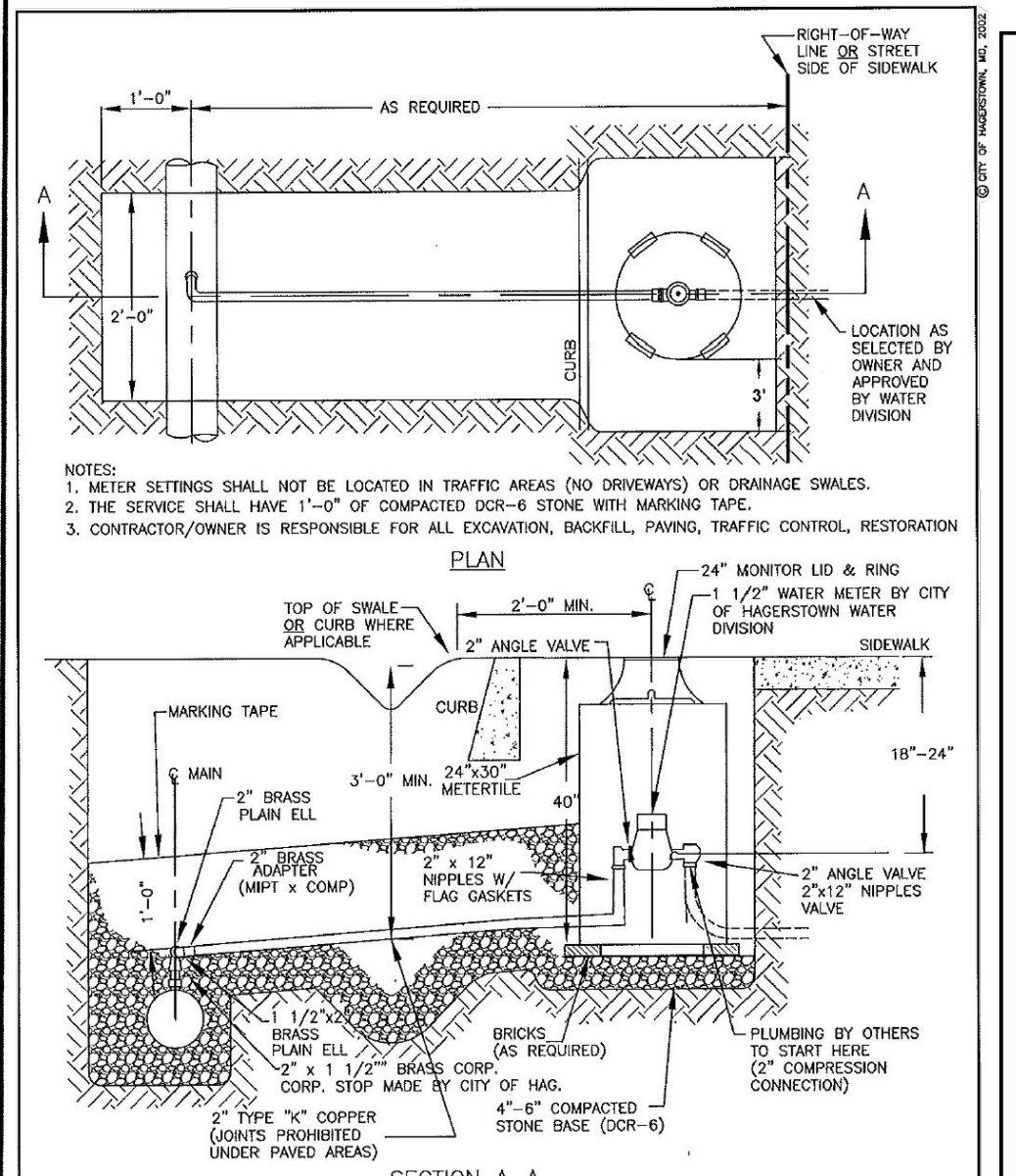
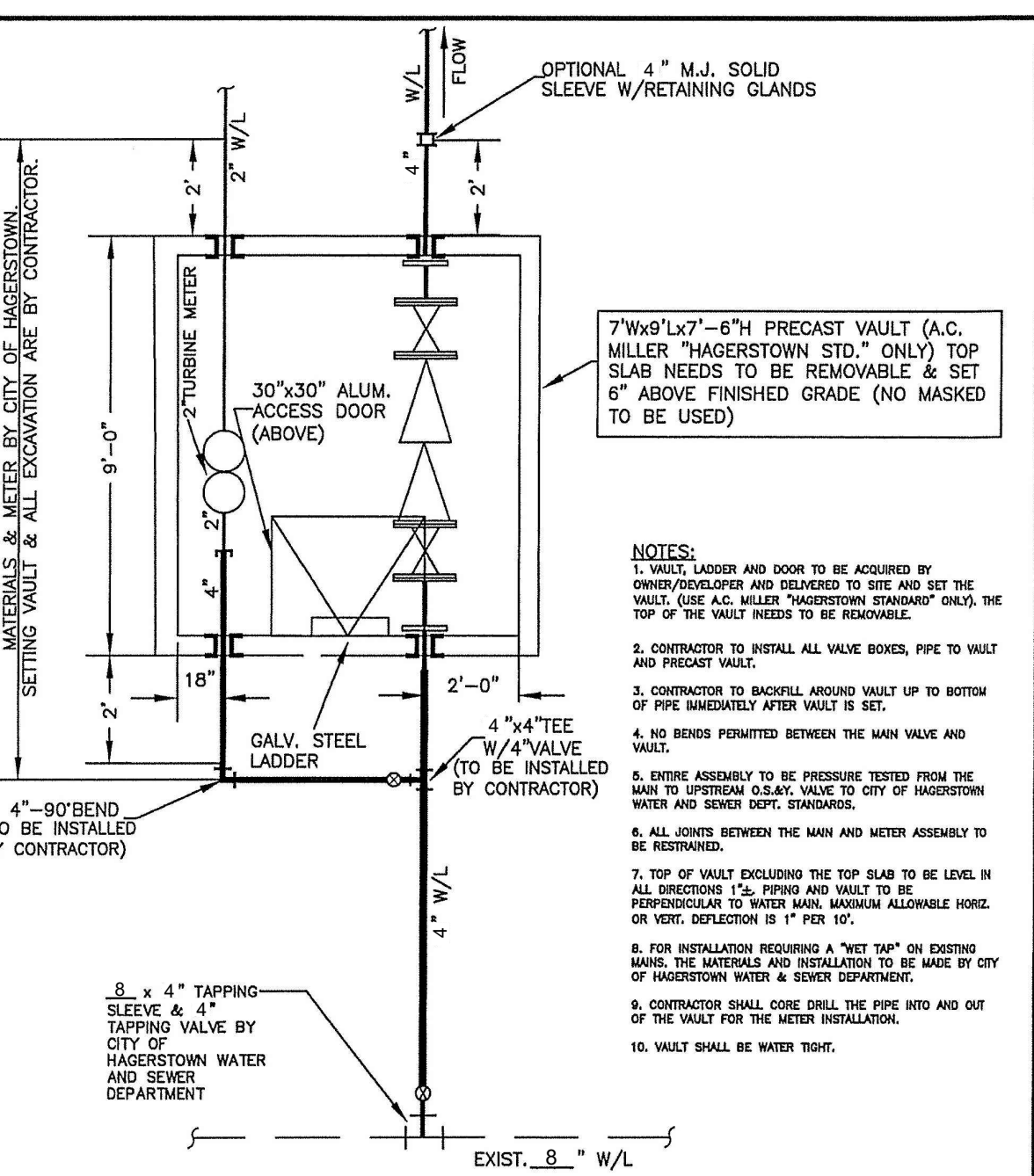
This approval is for the design and layout of the proposed water and wastewater system improvements. All water and wastewater system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water or wastewater service. Water and wastewater service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE _____ DATE _____

UTILITY EASEMENT

LINE	BEARING	DISTANCE
E1	S 83°48'18" W	27.03'
E2	N 48°23'53" W	9.19'
E3	N 41°36'07" E	15.17'
E4	N 83°48'18" E	19.07'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
EC1	70.00'	17.29'	17.24'	S 15°50'3" E	14°09'00"



CITY OF HAGERSTOWN, MARYLAND
HAGERSTOWN WATER & SEWER DEPARTMENT

STANDARD WATER DETAIL

DATE: FEB.2020
SCALE: NONE

CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

ISSUE DATE: APRIL 2015
REVISIONS: 4/17/15

2 INCH SINGLE SERVICE WATER CONNECTION

Plate W-020

CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

ISSUE DATE: MARCH 2009
REVISIONS:

ROADWAY, SHOULDER AND PAVED PARKING AREA TRENCH EXCAVATION AND BACKFILL

Plate W-001

CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

ISSUE DATE: MARCH 2009
REVISIONS:

GRASSSED AREA REPAIR

Plate W-002

CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

ISSUE DATE: MARCH 2009
REVISIONS:

BUTTRISS FOR MECHANICAL JOINT TEES

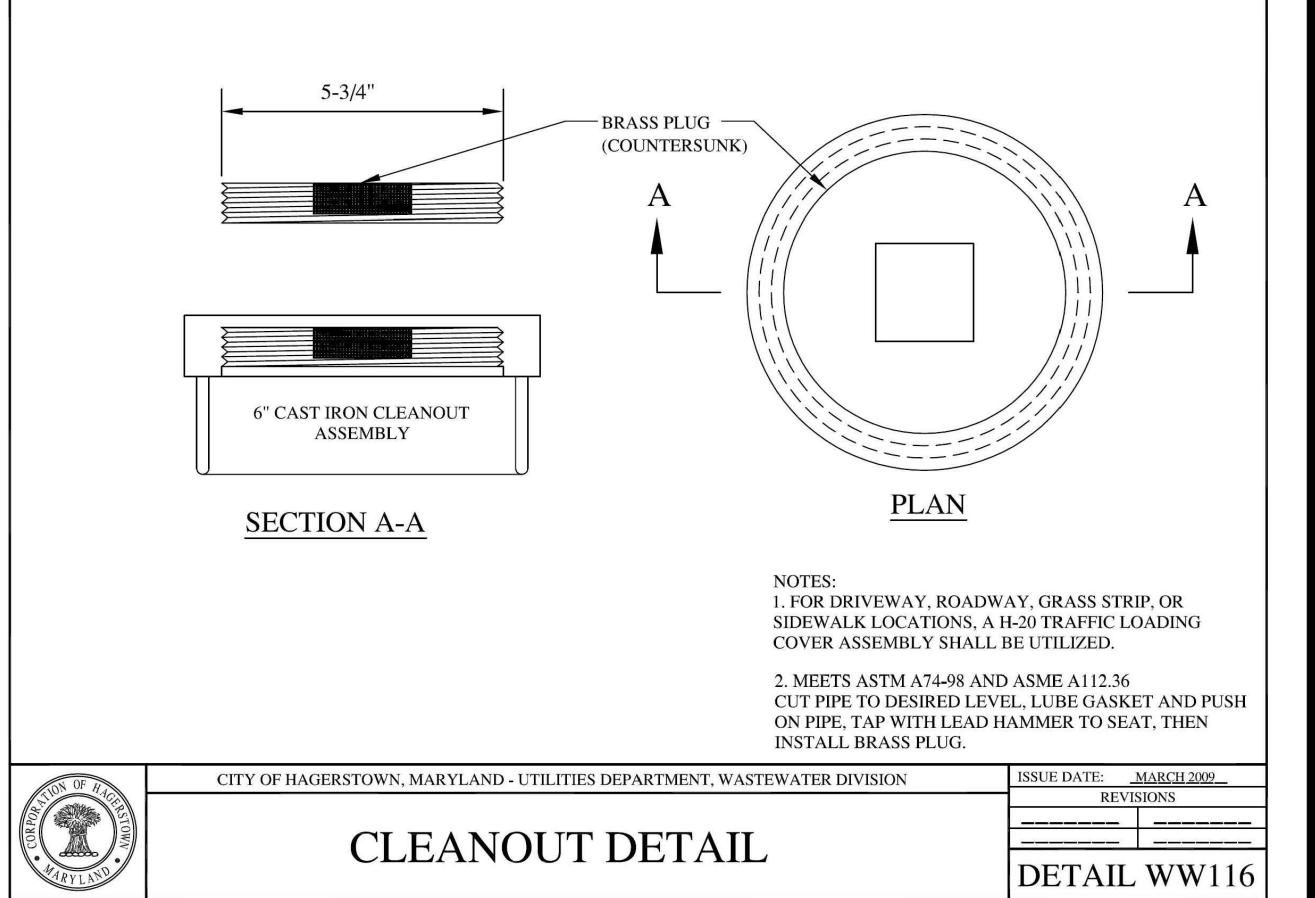
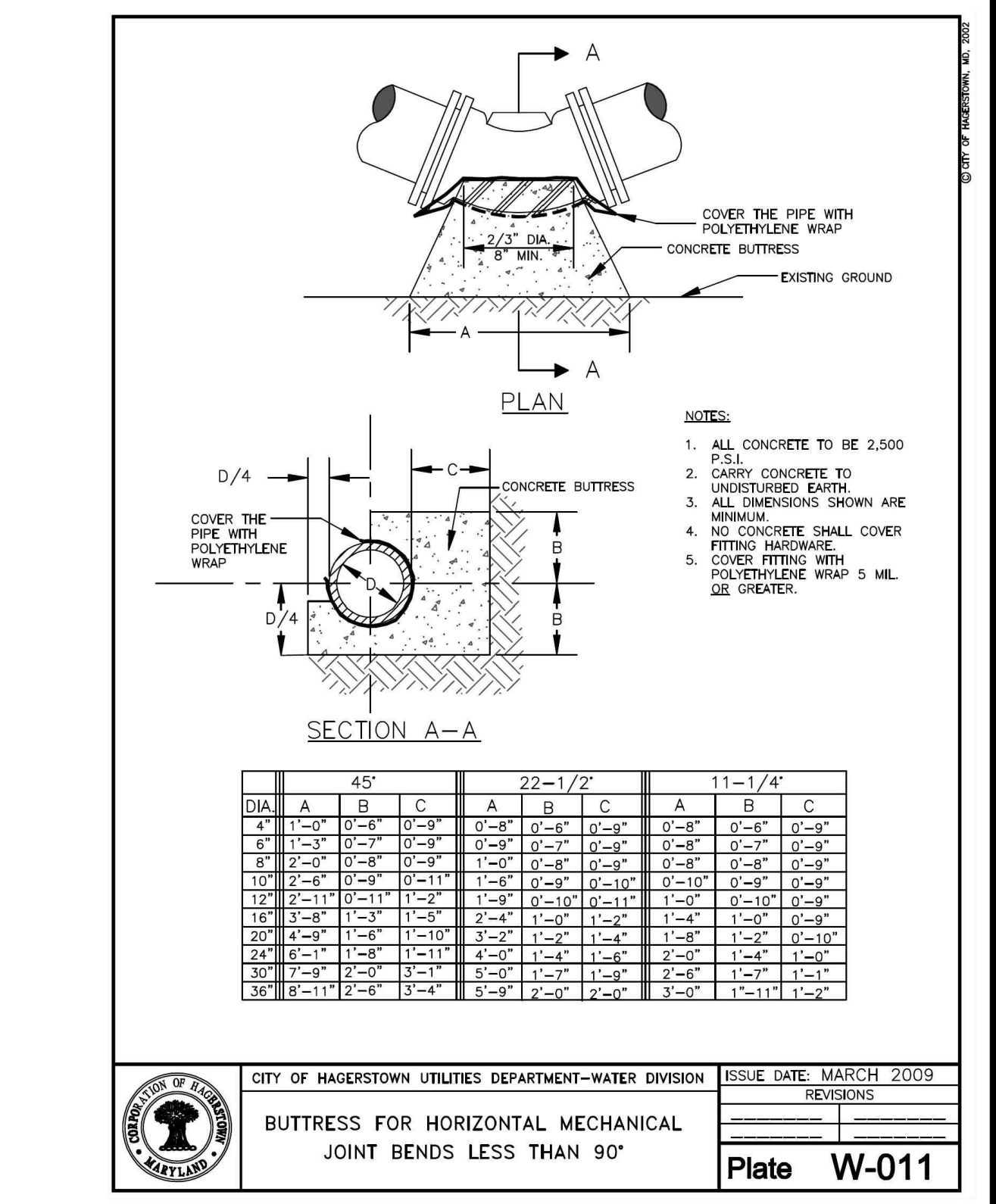
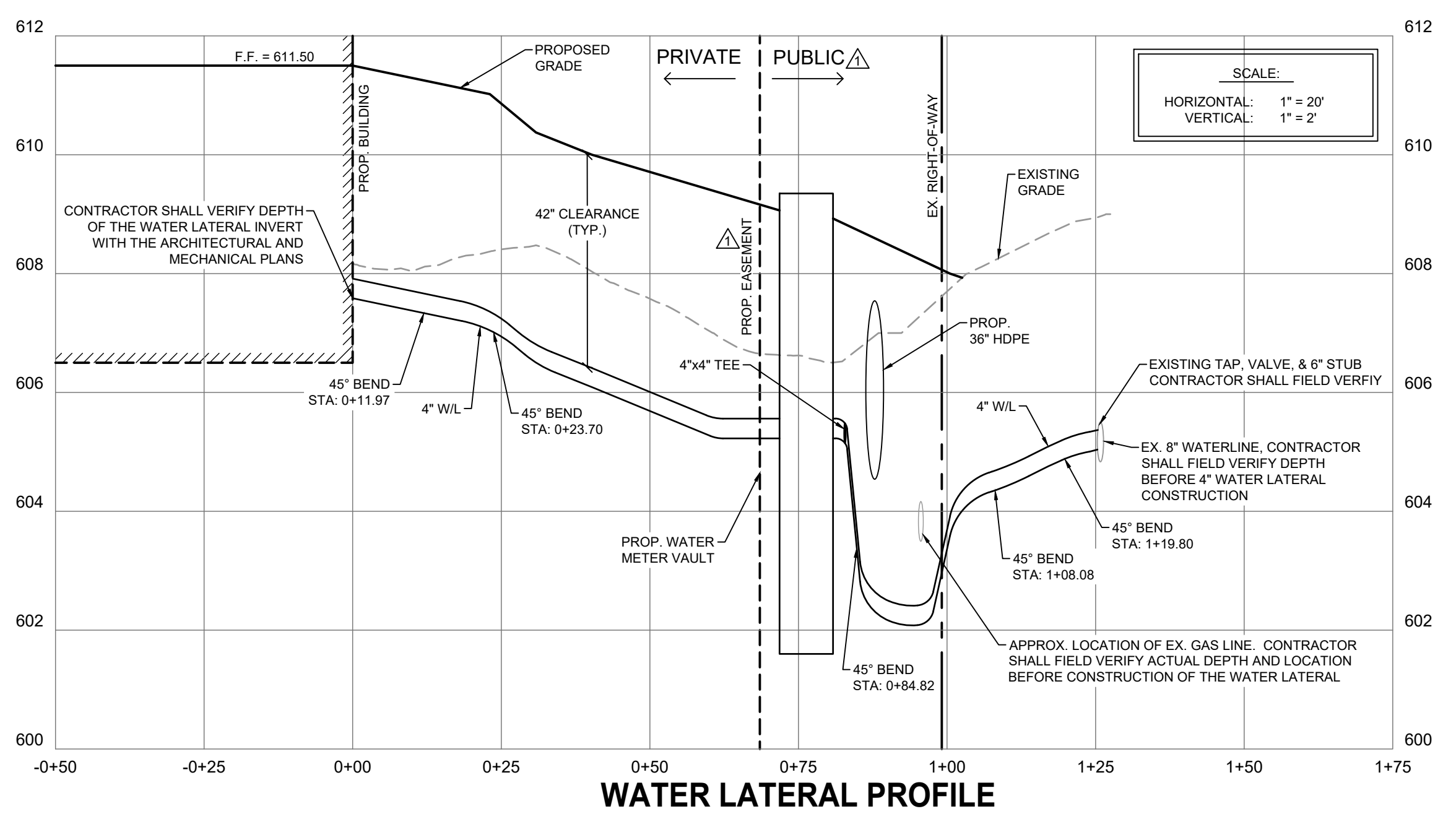
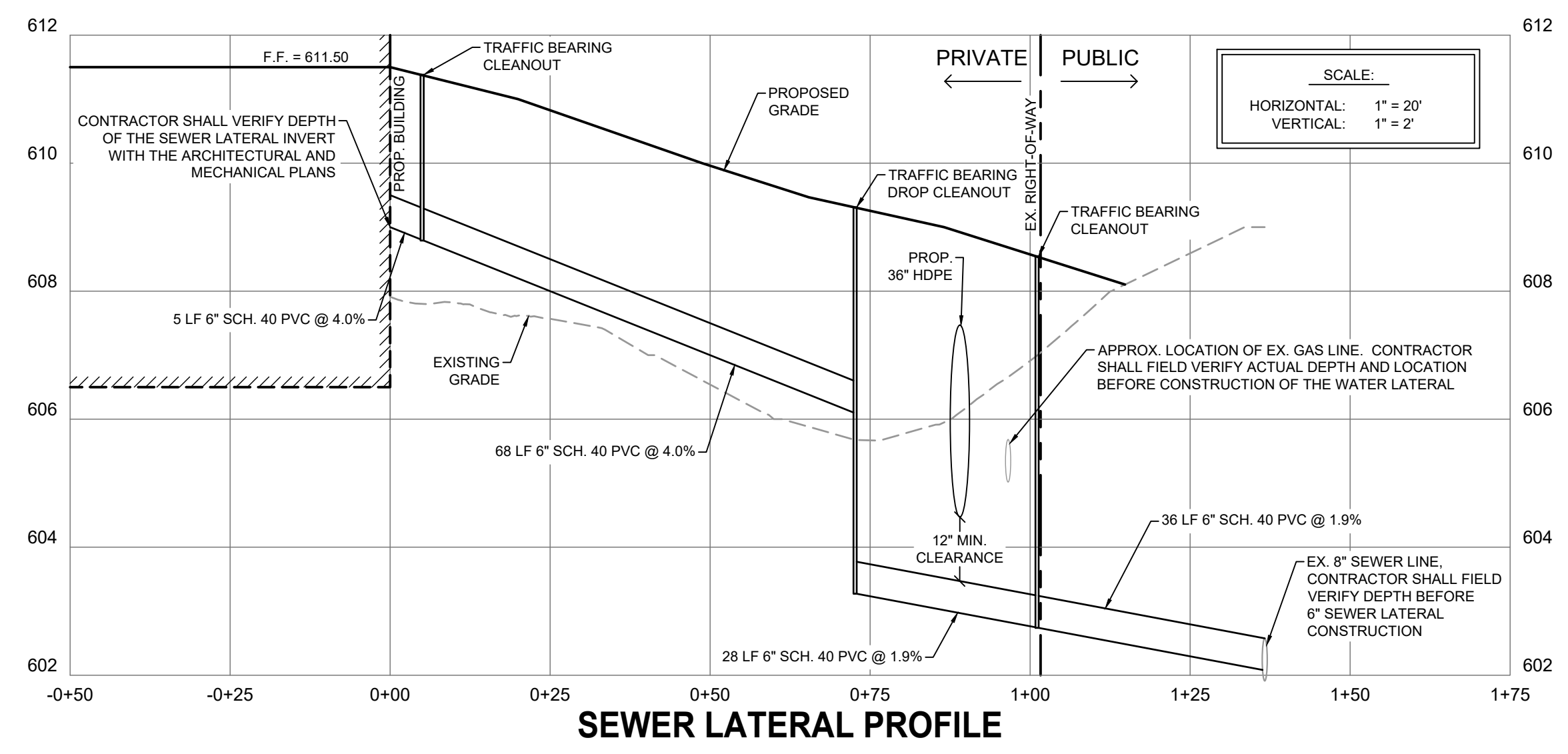
Plate W-010

CITY OF HAGERSTOWN UTILITIES DEPARTMENT-WATER DIVISION

ISSUE DATE: MARCH 2009
REVISIONS:

ANCHORAGES FOR MECHANICAL JOINT BENDS

Plate W-012



STATE OF MARYLAND
PROFESSIONAL ENGINEER
05/18/2024

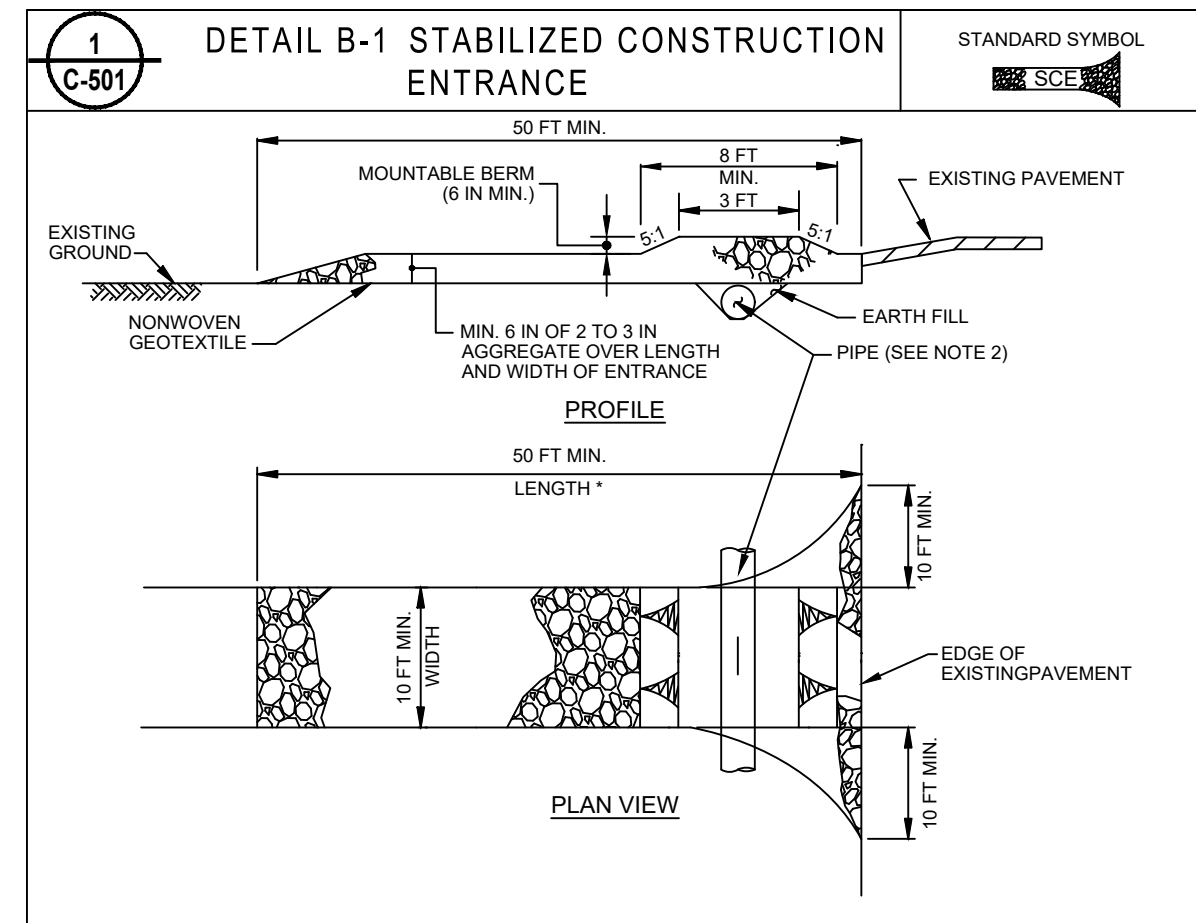
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 4989
Expiration Date: 05/18/2029

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEER • LANDSCAPE ARCHITECT • LAND PLANNERS

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FARMERSVILLE, MD 21048
301.791.8800

MYERS MANAGEMENT
SITUATED AT JOSE LUCIANO COURT
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WASHINGTON COUNTY, MARYLAND
11745 ASHTON RD. CLEAR SPRING, MD 21722
ATTN: LEROY MYERS (301) 567-0703

PROJECT NO. 4566 L5.1
DATE 02-21-2024
PROJECT MANAGER ADAM HAGER
EMAIL AHAGER@FSA-INC.COM
TAX MAP GRID-PARCEL 00037-0020-0820
SCALE 1" = 20'
SHEET TITLE



CONSTRUCTION SPECIFICATIONS

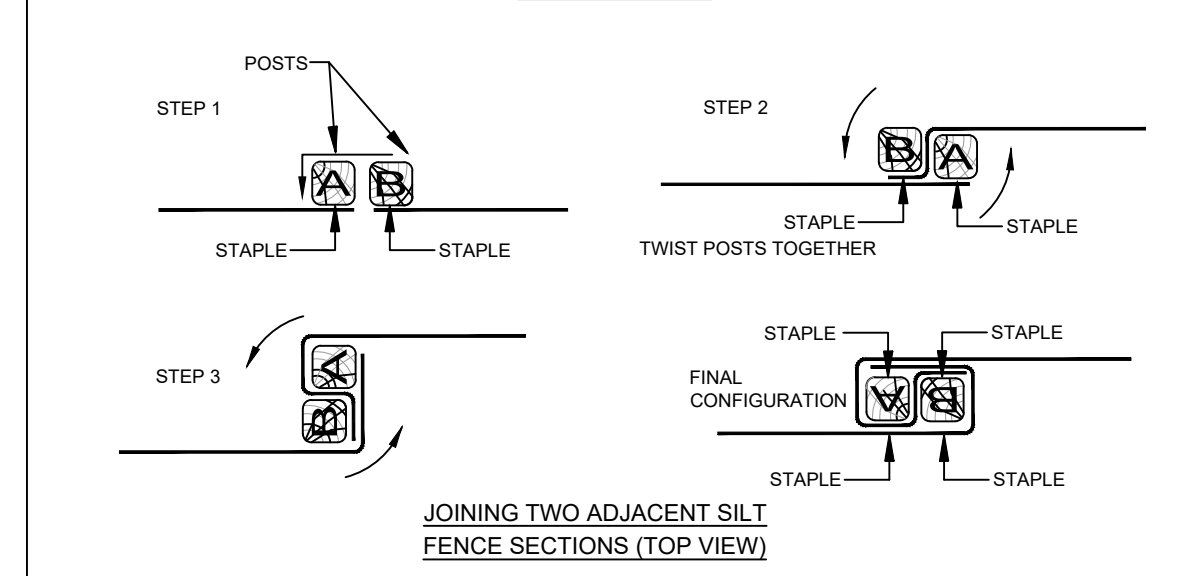
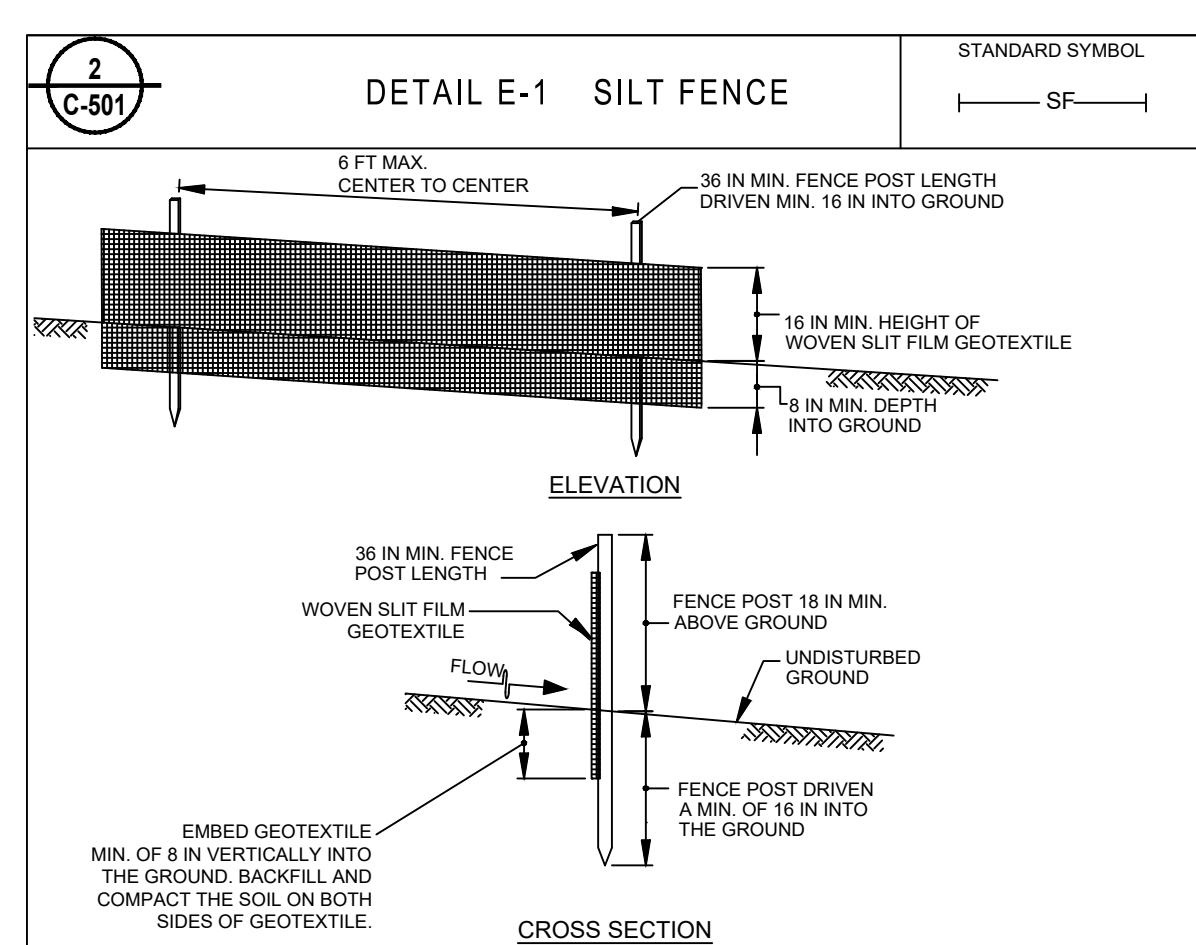
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY. A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITION DEMAND. MAINTAIN MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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TEMPORARY SEEDING SUMMARY

HARDINESS ZONE (FIGURE B-3): 6a & 6b
SEED MIXTURE (TABLE B.1)

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
1	Barley	96	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1"	436 lb/ac. (10 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)

PERMANENT SEEDING SUMMARY

HARDINESS ZONE (FIGURE B-3): 6a & 6b
SEED MIXTURE (TABLE B.1)

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
6	Perennial Ryegrass	25	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1/4"-1/2"	45 lb/ac. (1 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)
	White Clover	5				

TEMPORARY SEEDING SUMMARY

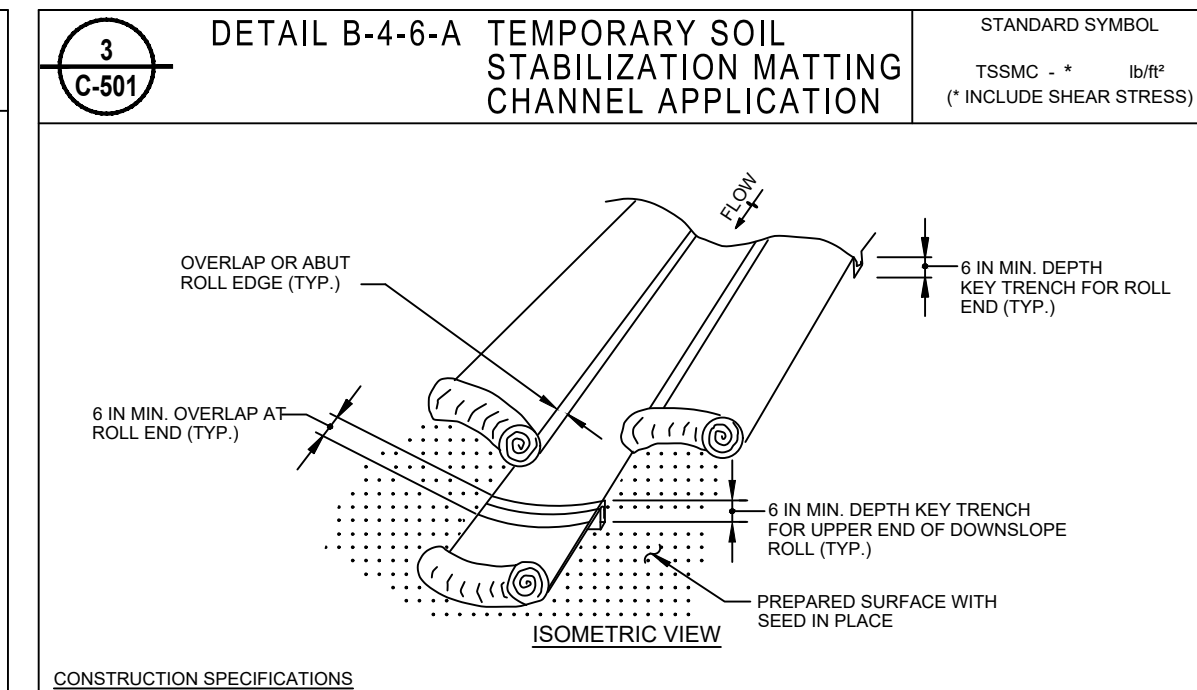
HARDINESS ZONE (FIGURE B-3): 6a & 6b
SEED MIXTURE (TABLE B.1)

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
1	Barley	96	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1"	436 lb/ac. (10 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)

PERMANENT SEEDING SUMMARY

HARDINESS ZONE (FIGURE B-3): 6a & 6b
SEED MIXTURE (TABLE B.1)

NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
6	Perennial Ryegrass	25	Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15	1/4"-1/2"	45 lb/ac. (1 lb/1000 s.f.)	2 tons/ac. (90 lb/1000 s.f.)
	White Clover	5				



CONSTRUCTION SPECIFICATIONS

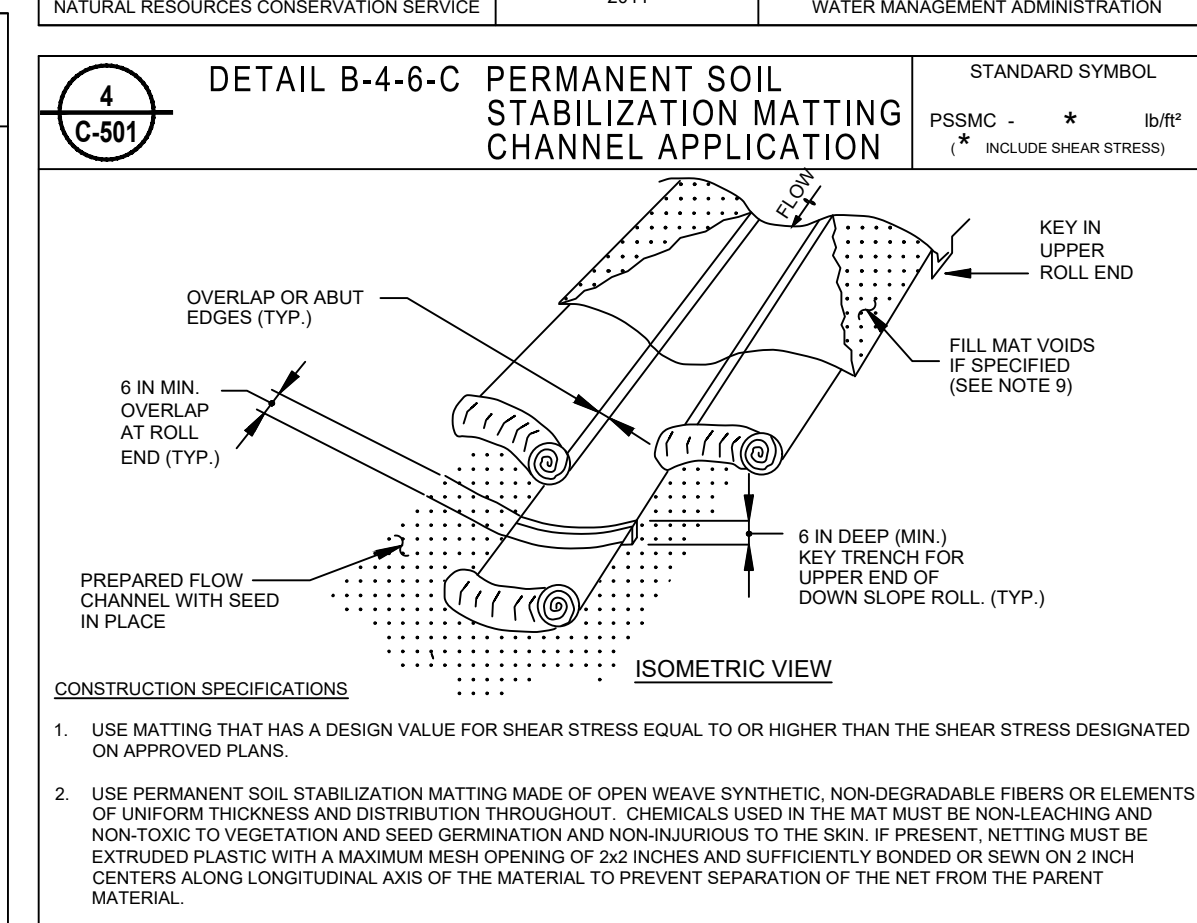
- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HARMFUL TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2-1/2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1-1/2 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MAT SMOOTHLY AND FIRMLY ON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- KEY-IN UPSLOPE END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSLOPE END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END.
- OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE NEXT DOWNSLOPE MAT.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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CONSTRUCTION SPECIFICATIONS

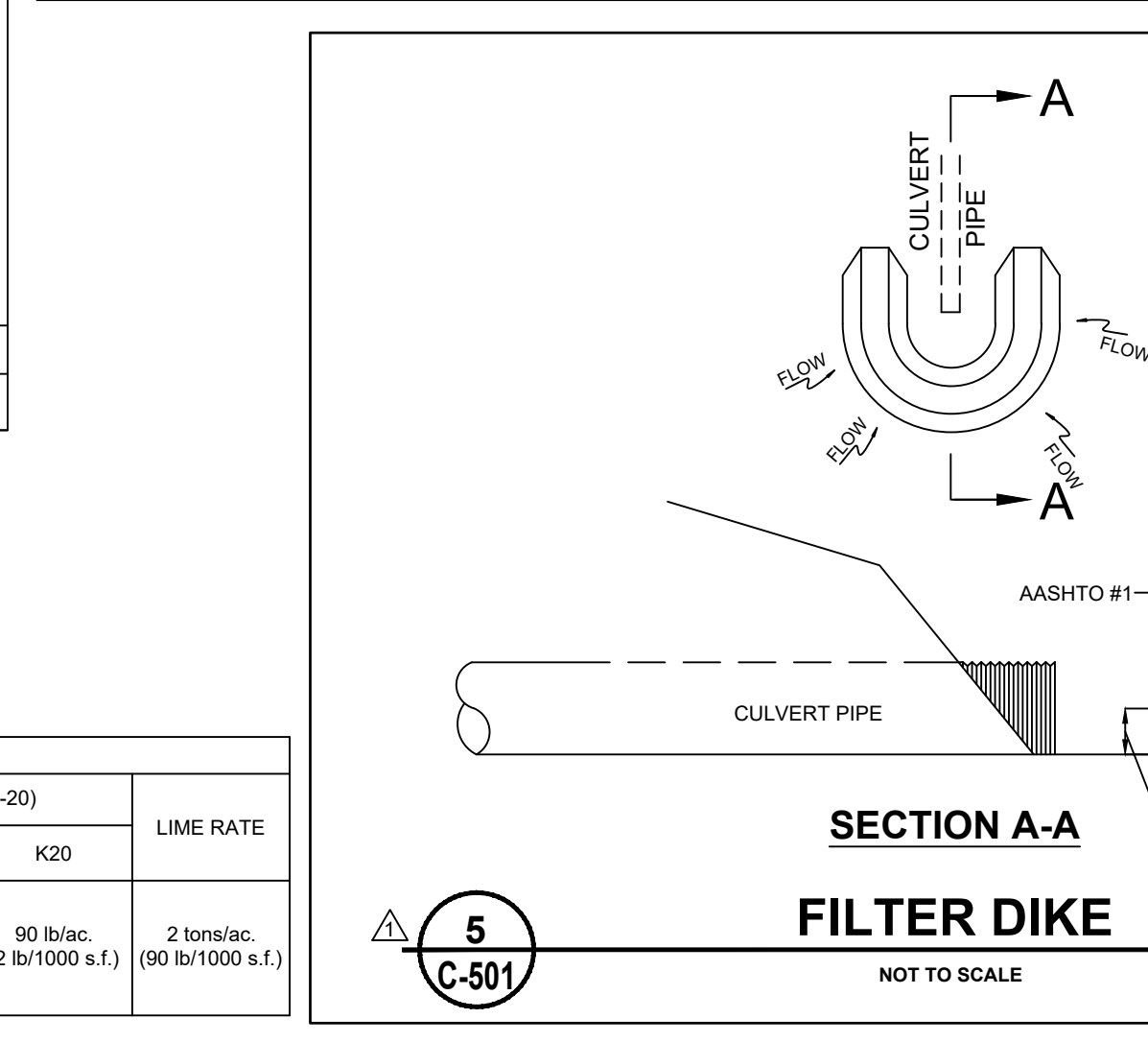
- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HARMFUL TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2-1/2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1-1/2 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE NEXT DOWNSLOPE MAT.
- KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEPTED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SMARTfence 42" SEDIMENT & PERIMETER CONTROL

INSTALLATION INSTRUCTIONS

STEP 1: Excavate trench a maximum of 4" wide and 6" deep. The trench shall be hand-cleaned following excavation to remove bulky debris such as rocks, sticks, and soil clods from the trench. Drive studded metal T-posts with anchor plates having a minimum weight of 1.25 lb/ft and a minimum 5 ft length. Drive post into ground a minimum of 18" depth. Post spacing must be no greater than 6 ft maximum.

STEP 2: Lay out SMARTfence 42 along proposed fence line next to anchor trench. Locate one end of the SMARTfence 42 and position near the initial post. Position SMARTfence 42 vertically along the initial post.

STEP 3: For the initial post, place the end of SMARTfence 42 along the post height and rotate the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with the steel wire or nylon ties per Step 4. Drive the final post into the ground to a 18" depth.

STEP 4: For fastening SMARTfence 42 to studded, metal T-posts using one of the following methods:

- Method I (T-Post): 16-gage wire-attach SMARTfence 42 to metal T-posts using the 16-gage 304 SS wire with mitered ends, securing the fence to the post using safety pliers.
- Method II (T-Post): 8" nylon heavy-duty, UV-stabilized, cable ties (zip-ties) with minimum 120-lb tensile strength. Punch two 0.25" openings, spaced at a width apart that is roughly equivalent to the post width, and secure the fence to the post.

STEP 5: Drive the initial post with the attached fence into the ground to a 18" depth.

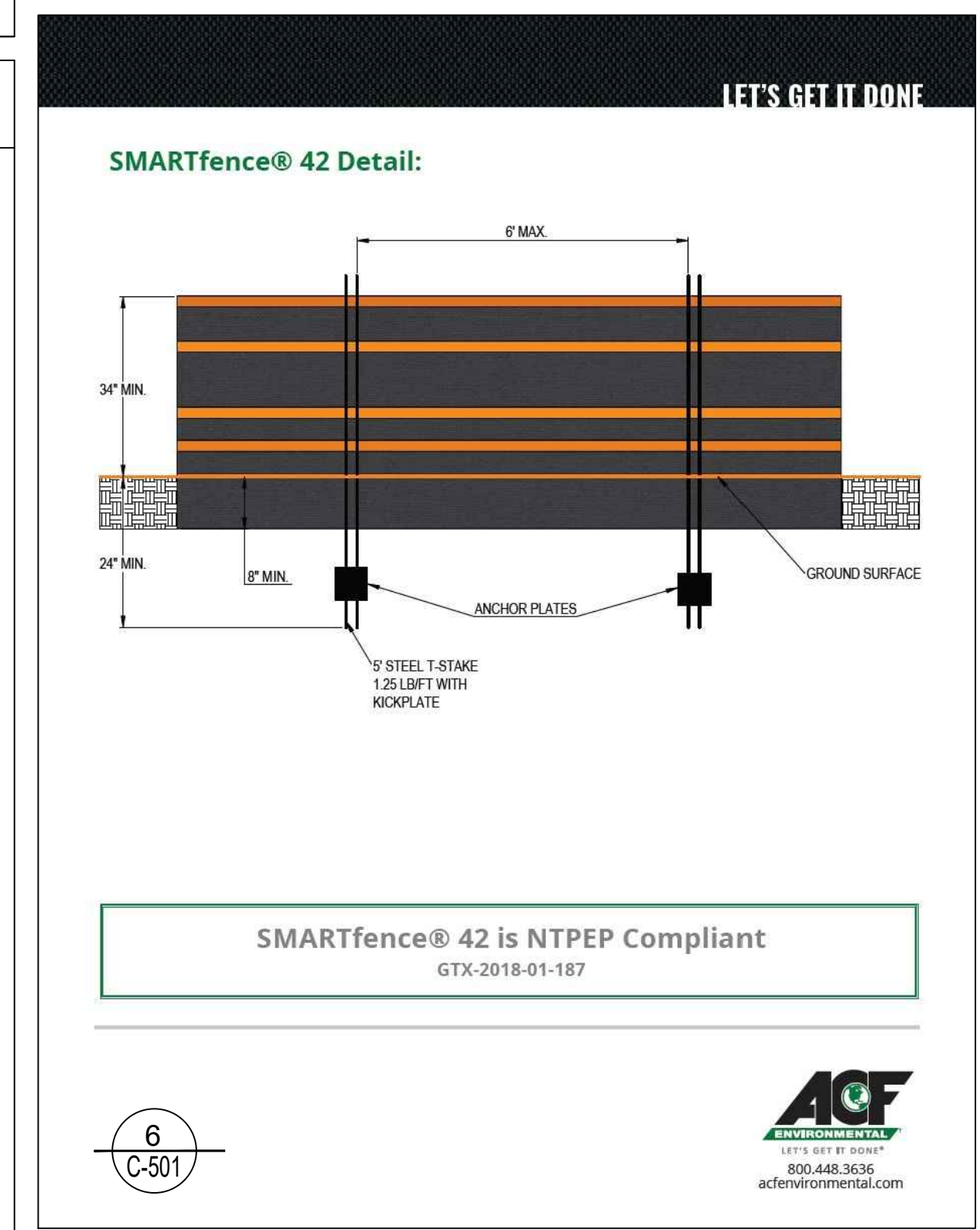
Please contact our team at 800-448-3636 or info@acfenv.com with any questions regarding the installation process.

LET'S GET IT DONE!™

SMARTfence

For more information, contact our Inside Sales team at 800-448-3636 email at info@acfenv.com

ACF ENVIRONMENTAL



SMARTfence 42 is NTPP Compliant

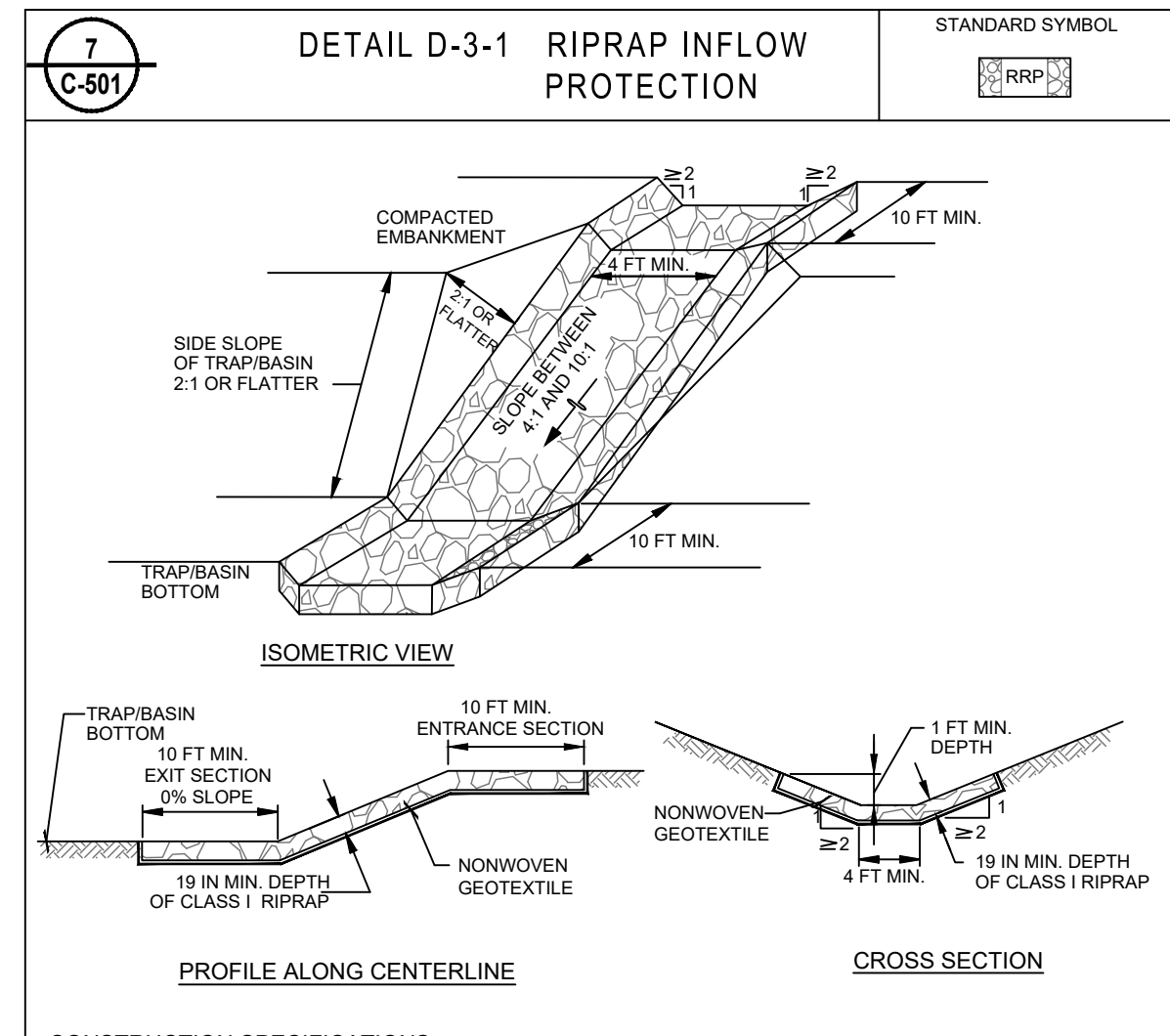
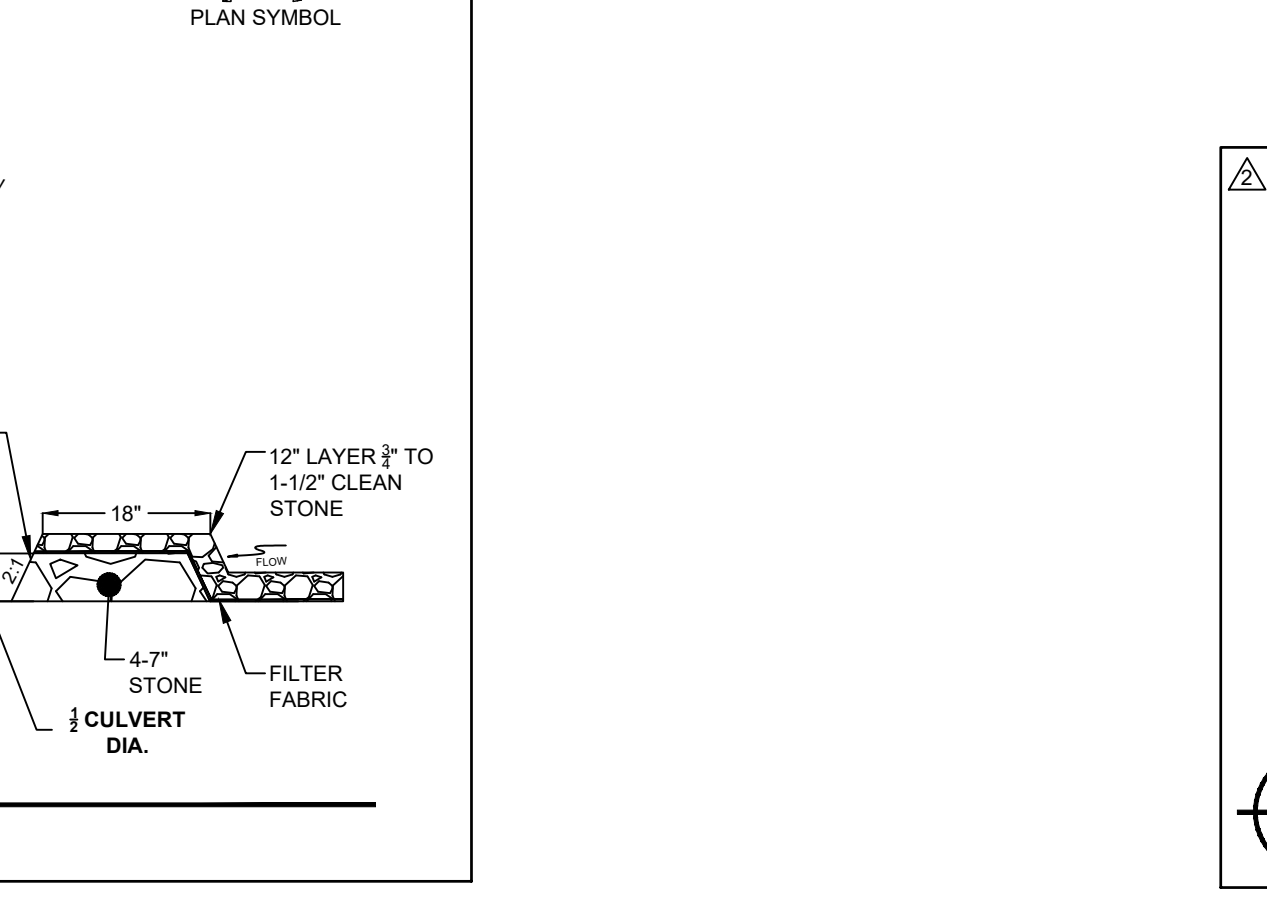
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ACF ENVIRONMENTAL

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acfenvironmental.com

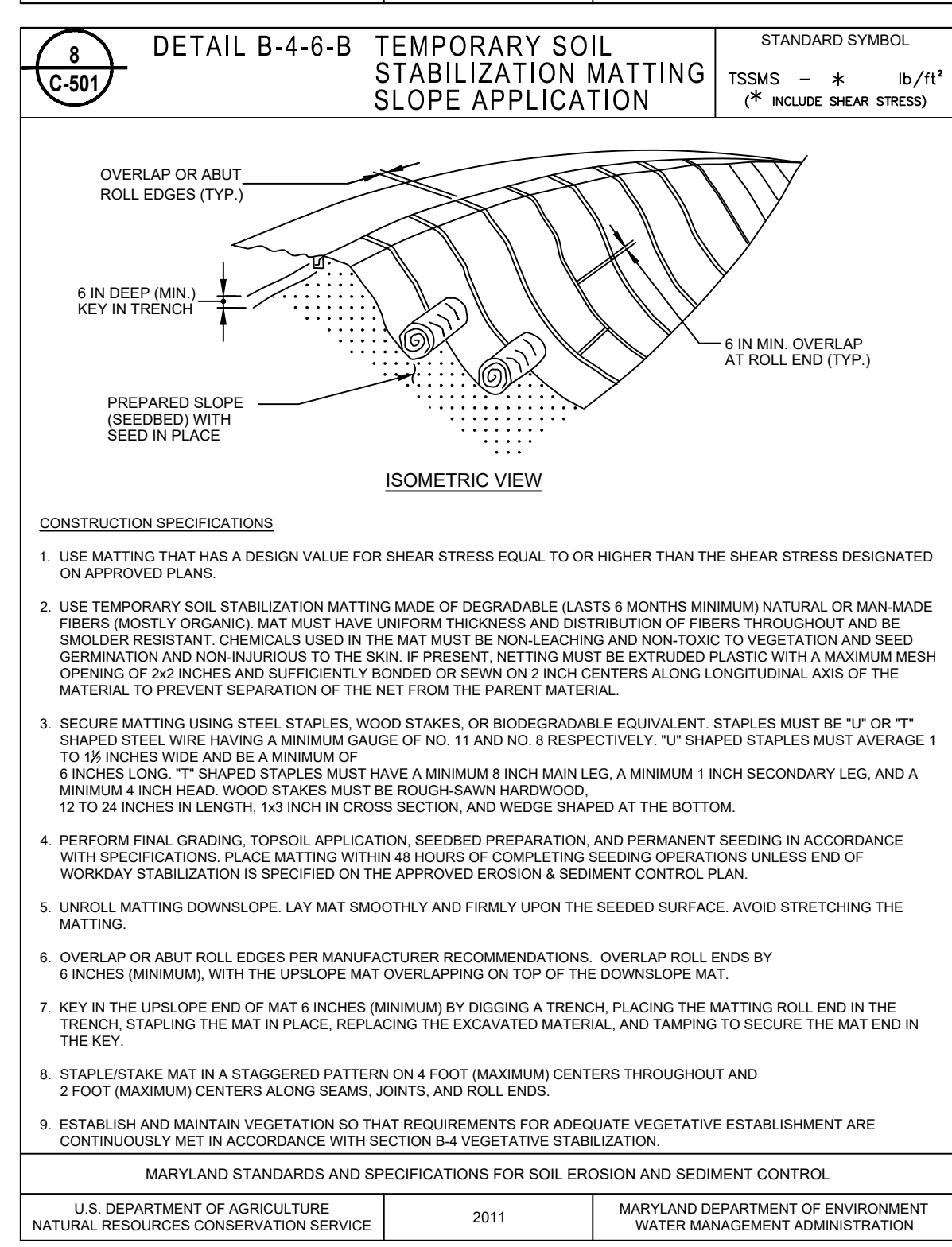


CONSTRUCTION SPECIFICATIONS

- PROVIDE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND ALONG SIDES OF ALL RIPRAP.
- CONSTRUCT INFLOW CHANNEL WITH CLASS I RIPRAP OR EQUIVALENT RECYCLED CONCRETE LINING TO A MINIMUM DEPTH OF 18 INCHES (2' D₅₀) AND A 1 FOOT DEEP FLOW CHANNEL. INFLOW RIPRAP PROTECTION CHANNEL MUST HAVE A TRAPEZOIDAL CROSS SECTION WITH 2:1 OR FLATTER SIDE SLOPES AND A 4 FOOT MINIMUM BOTTOM WIDTH.
- INSTALL ENTRANCE AND EXIT SECTIONS AS SHOWN ON THE PROFILE.
- BLEND RIPRAP INTO EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. KEEP POINTS OF INFLOW AND OUTFLOW FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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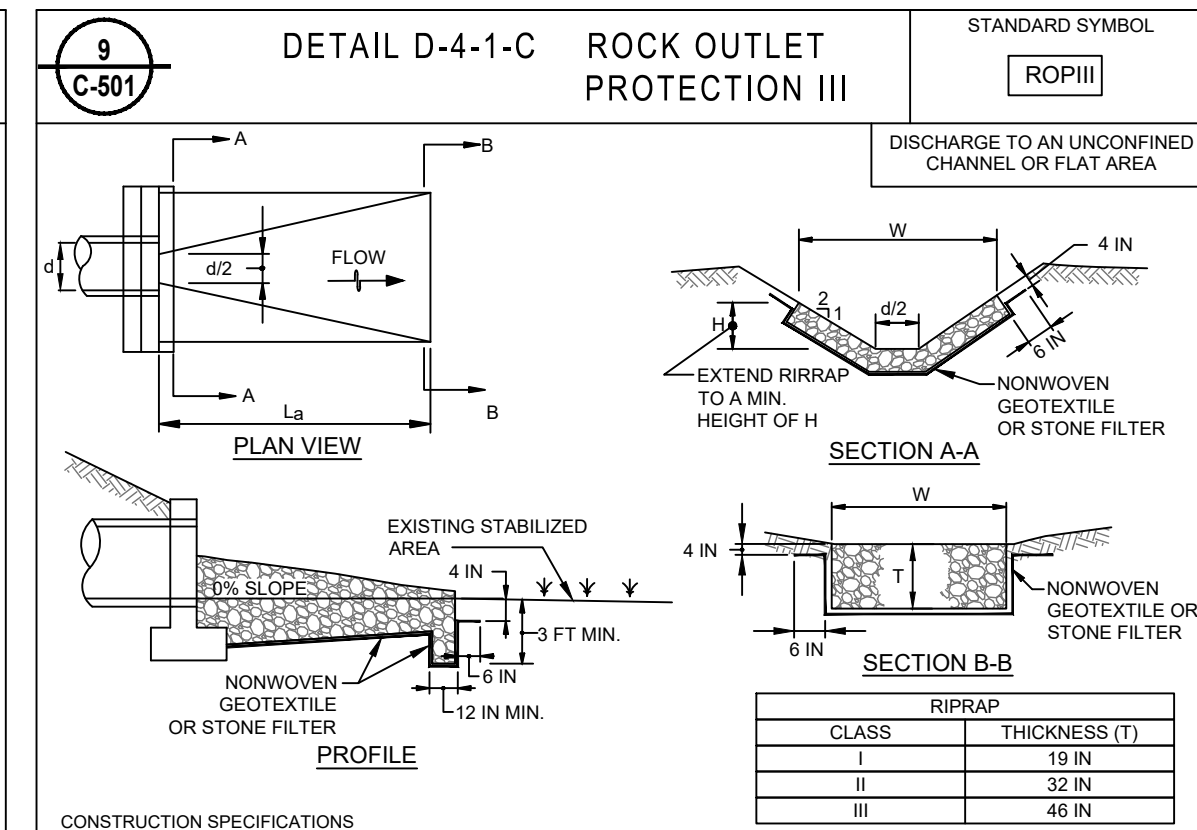
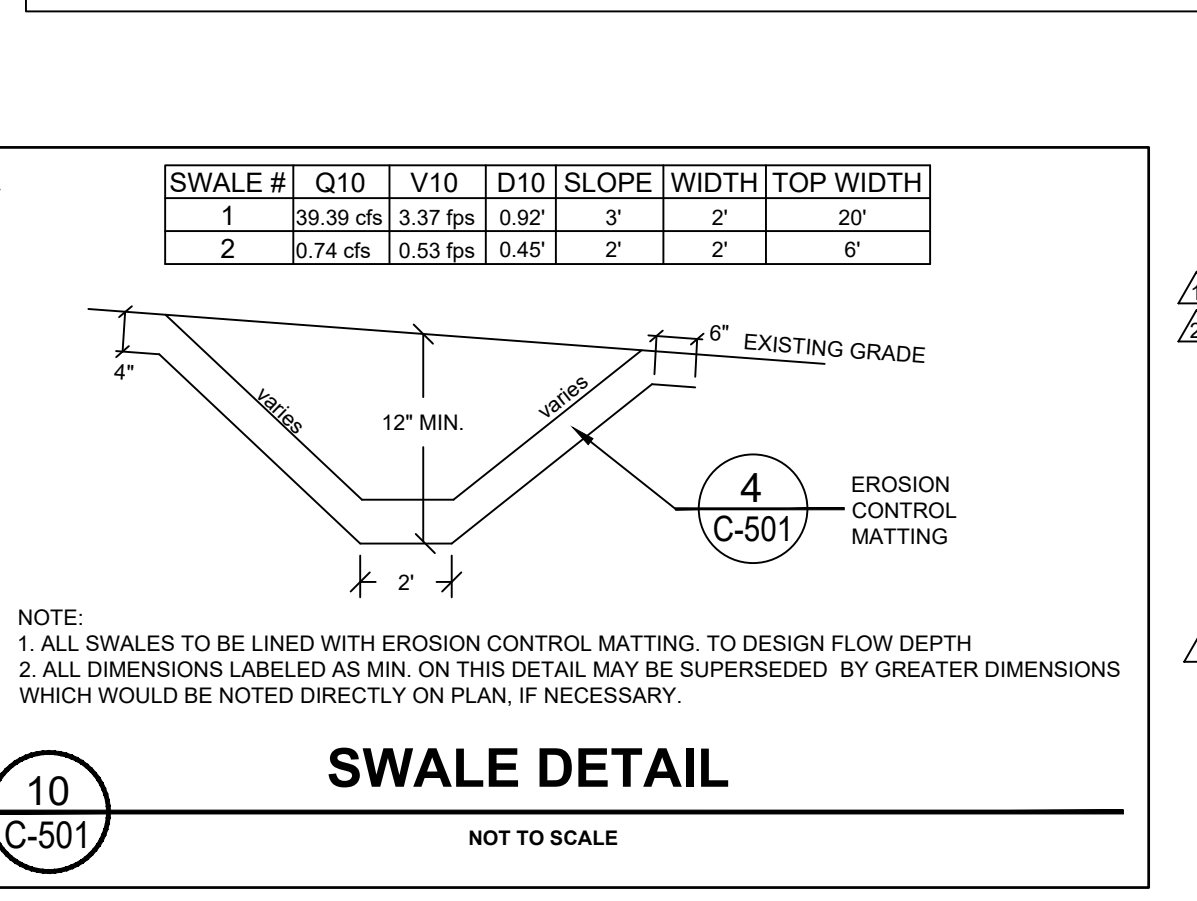


CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HARMFUL TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2-1/2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
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- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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CONSTRUCTION SPECIFICATIONS

- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 3/4 INCH MINIMUM STONE FOR 6 INCH MAXIMUM T₅₀) AND RIPRAP TO THE REQUIRED LINES AND SLOPES. COMPACT THE FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL CIRCLE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSLOPE END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLOADED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMPs) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
 - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
 - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B. of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

For sites 1.0 acre or more, the following are required:

- Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MD02, State Discharge Permit Number 2002, or an individual Permit.
- The Maryland Department of the Environment (General/Individual Permit - Notice of Intent- NOI) application and permit shall be posted and/or available on-site at all times.
- During construction, all soil erosion and sediment control practices (BMPs) shall be inspected and recorded on the "Standard Inspection Form", "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI).
- Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

Sequence of Construction

- Contractor shall contact Frederick Seibert & Assoc., Inc. (301)-791-3650, Washington County Soil Conservation District (301)-797-6821, and the Washington County Division of Permits & Inspections (240)-313-2460 at least five (5) days prior to the start of any earthwork to schedule a pre construction meeting.
- Contractor shall first install the stabilized construction entrance. If tracking of sediment occurs onto the road, the contractor must stop work immediately and clean up the tracked sediment before construction may resume.
- Contractor shall install perimeter controls with silt fence and smart fence 42.
- Contractor to strip topsoil, and place on stockpile on the uphill side of the silt fence and seed and mulch.
- Contractor shall start rough grading the site starting with the stormdrain culvert and bypass swale. Install inflow filter dike and outlet protection for the stormdrain culvert once brought to grade. Install control matting on the bypass swale.
- After the stormdrain culvert and bypass swale is complete, contractor shall continue rough grading the remaining site.
- Start construction of the pavement and building.
- Stabilize all disturbed areas with seed and mulch, and control matting as shown on the plans after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
- Contact Frederick, Seibert & Assoc., Inc. (301)-791-3650, 2 days prior to submerged gravel wetland construction before excavating the submerged gravel wetland area for interim inspection. Contractor shall have site area stabilized and then contact WCSD (301)-797-6821 and the Washington County Division of Permits & Inspections (240)-313-2460 for an interim inspection and approval to install the bio-material.
- Construct the submerged gravel wetland, stabilize with seed, mulch and plantings upon completion. Note that construction vehicles are prohibited from traveling over the submerged gravel wetland area.
- Contractor shall finalize grading then seed and mulch.
- Contractor shall contact WCSD and the Washington County Division of Permits and Inspections at least 5 days prior to the removal of any sediment control feature to schedule a final site close out review and meeting. Contractor to gain final approval from WCSD prior to removal of erosion and sediment controls. Vegetation must meet the 95% overall stabilization requirement per the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control prior to scheduling said meeting.
- Remove sediment and erosion control measures, and stabilize accordingly.

STATE OF MARYLAND
FREDERICK M. FREDERICK
PROFESSIONAL ENGINEER
05/15/2024

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland.
Expiration Date: 05/15/2024

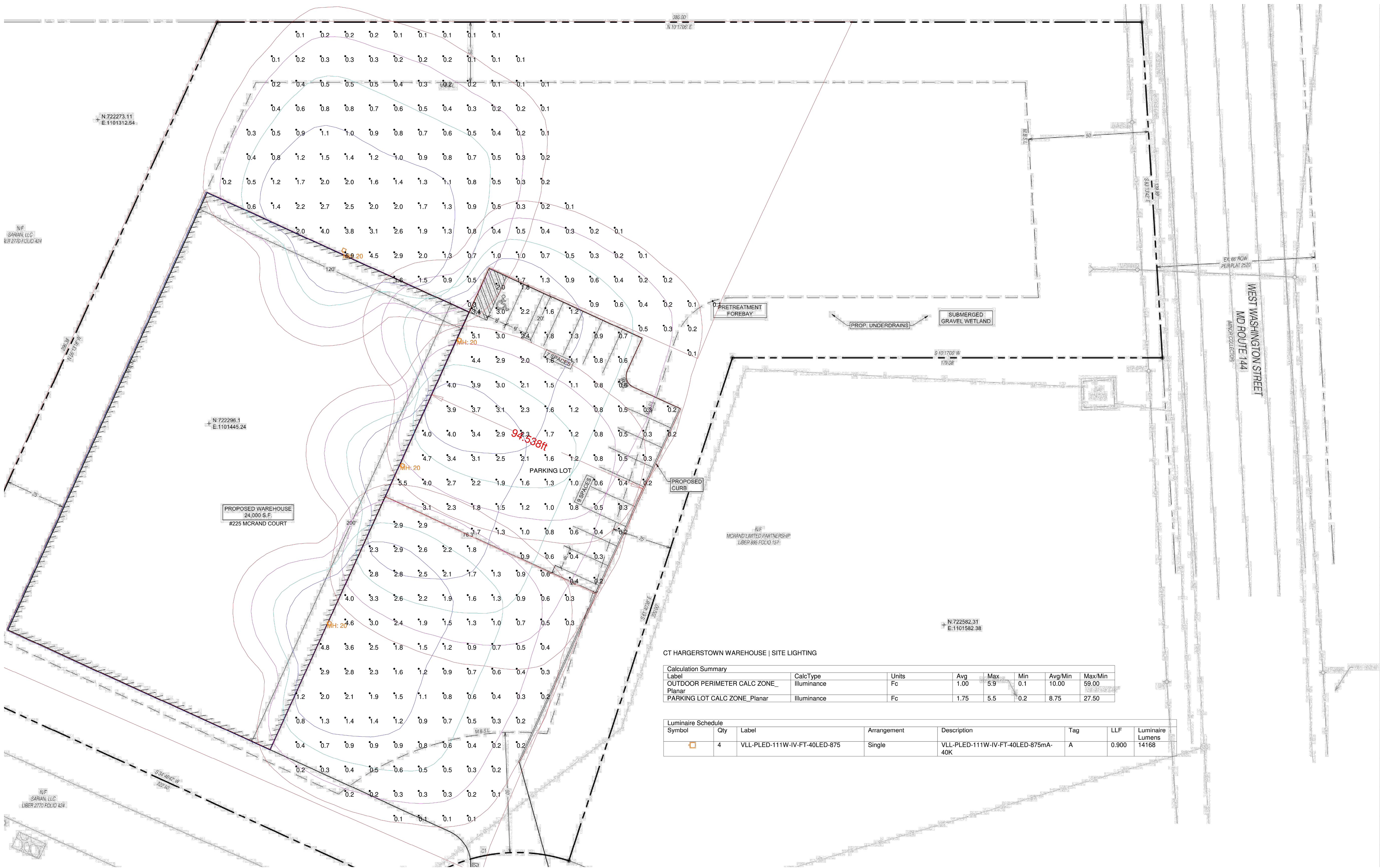
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND PLANNERS

114748 ASTOR RD. CLEAR SPRING, MD 21722
ATtn: LEROY WATERS (301) 667-0763

PROJECT NO. 4566.L5.1
DATE 02-21-2024
PROJECT MANAGER ADAM HAGER
E-MAIL AHAGER@PSA-INC.COM
TAX MAP-GRID-PARCEL 00037-0020-0820
SCALE NTS

SHEET TITLE
CONSTRUCTION
DETAILS & NOTES
E & S CONTROLS
C-501
SHEET 09 OF 12

P:\BARD FOLDERS\PROJECTS\BARD\BARD L5 FOLD\CONSTRUCTION\SP-24-010\BARD L5 FOLD\CONSTRUCTION\PLAN DETAILS & NOTES.DWG 2024.05.15



CT HARGERSTOWN WAREHOUSE | SITE LIGHTING

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OUTDOOR PERIMETER CALC ZONE	Illuminance	Fc	1.00	5.9	0.1	10.00	59.00
Planar							
PARKING LOT CALC ZONE	Illuminance	Fc	1.75	5.5	0.2	8.75	27.50

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens
□	4	VLL-PLD-111W-IV-FT-40LED-875	Single	VLL-PLD-111W-IV-FT-40LED-875mA-40K	A	0.900	14168

DATE	DESCRIPTION

MYERS MANAGEMENT
SITUATED AT 208 MCRAND COURT
WEST OF HUMP ROAD AND SOUTH OF WEST WASHINGTON STREET
WASHINGTON COUNTY, MARYLAND
MYERS MANAGEMENT
11745 ASHTON RD. CLEAR SPRING, MD 21722
ATTN: LEROY MYERS (301) 867-0763

PROJECT NO.	4566 L5.1
DWN BY	DWH
DATE	02-21-2024
PROJECT MANAGER	ADAM HAGER
EMAIL	AHAGER@FSA-INC.COM
TAX MAP-GRID-PARCEL	0037-0020-0820
SCALE	1" = 20'
SHEET TITLE	

PHOTOMETRIC PLAN
DETAILS & NOTES

E-101
SHEET 12 OF 12

SP-24-010



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Senior Planner

DATE: June 3, 2024

RE: Forest Conservation Mitigation Review for Myers Management Site Plan (SP-24-010)

Attached you will find supporting documentation for a request to meet forest conservation requirements for this project. The applicant is requesting to utilize offsite retention to satisfy the .94-acre planting requirement for the warehouse development located at 225 McRand Court in Hagerstown.

Enclosed for your review are three documents in support of the applicant's request. These include the grading plan, the forest conservation plan; which shows the location of the offsite easement, and a justification letter from Qualified Professional Shannon Stotler that makes their case for this request.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Senior Planner
(240) 313-2432
tallen@washco-md.net

MEMO — Offsite Mitigation

SUBJECT — Myers Management (SP-24-010)

TO — Washington County Planning Commission

CC — Travis Allen

FROM — Shannon Stotler

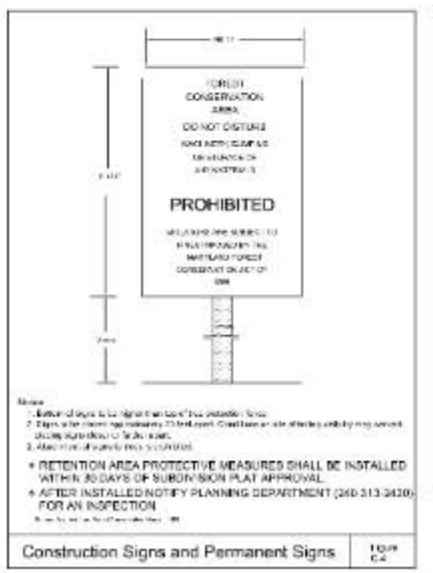
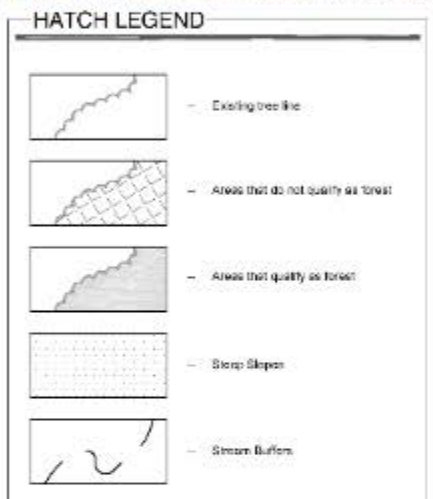
REMARKS:

To meet the necessary requirements for forestation for the Site Plan for Myers Management, the owner is requesting to provide forest mitigation with off-site retention. The entire site is getting disturbed by the proposed construction of a warehouse, pavement, parking, and stormwater management. The western side of the property is being graded for a level pad earmarked for the expansion of the warehouse and associated pavement, parking, and stormwater management. By using the Preferred Sequence of Techniques for Mitigation in the Washington County Forest Conservation Ordinance per Article 10.1, all techniques such as selective clearing and planting, onsite & offsite afforestation and reforestation, and natural regeneration have been exhausted. If the owner is unable to secure off-site mitigation now, it will cause undue hardship by limiting the ability to develop their property as the agreement to lockup off-site with the owner may not be there in the future. I am formally requesting forestation be addressed by off-site retention at a 2:1 ratio.

Respectfully submitted,



Shannon Stotler



FORESTATION NOTES

- Forest areas shown herein have been reviewed and approved by the Washington County Planning Commission. Clearing of forested areas has not been approved. Those areas listed as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a regulated activity as defined in the Forest Conservation Ordinance, which are not in compliance with the requirements of the Forest Conservation Ordinance, are prohibited in these forest areas.
- This note or reference to it is intended to be included in each and every deed of conveyance for any lot shown on this plat.
- The Forest Retention Areas shown on this plat are to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the area of the Forest Retention and Planting Area shall be limited to forest conservation, and no activities which are inconsistent with the preservation of the Forest Retention Area as natural forest land, as defined by the Forest Conservation Ordinance.

FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- After receiving a permit to develop and/or construct, the applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission. The applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission. The applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission.
- A post-construction meeting will be required after the completion of the project. The meeting shall be held within 30 days of the completion of the project. The meeting shall be held within 30 days of the completion of the project. The meeting shall be held within 30 days of the completion of the project.
- Once approved, the applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission. The applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission. The applicant shall not begin construction until the Forest Retention Areas have been reviewed and approved by the Washington County Planning Commission.
- A post-construction meeting will be required after the completion of the project. The meeting shall be held within 30 days of the completion of the project. The meeting shall be held within 30 days of the completion of the project. The meeting shall be held within 30 days of the completion of the project.

NOTES:

- The purpose of this Forest Conservation Easement Plat is to provide forest mitigation for the Site Plan for Myers Management, SP-24-000.
- As the forest mitigation requirement is being provided off-site, a 2:1 ratio of forest retention is being provided.
- The Washington County Planning Commission has granted the variance of off-site forest easements to satisfy forest mitigation requirements for the Site Plan for Myers Management at the meeting on 11/11/2024.

FORESTATION TABLE

FOREST REQUIRED	0.94 AC.±
OR OFFSITE AT 2:1 RATIO	1.88 AC.±
TOTAL OFFSITE FOREST MITIGATION PROVIDED	1.88 AC.±

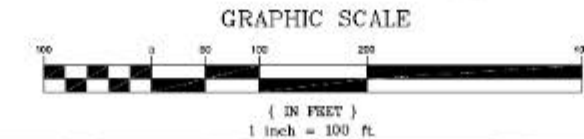
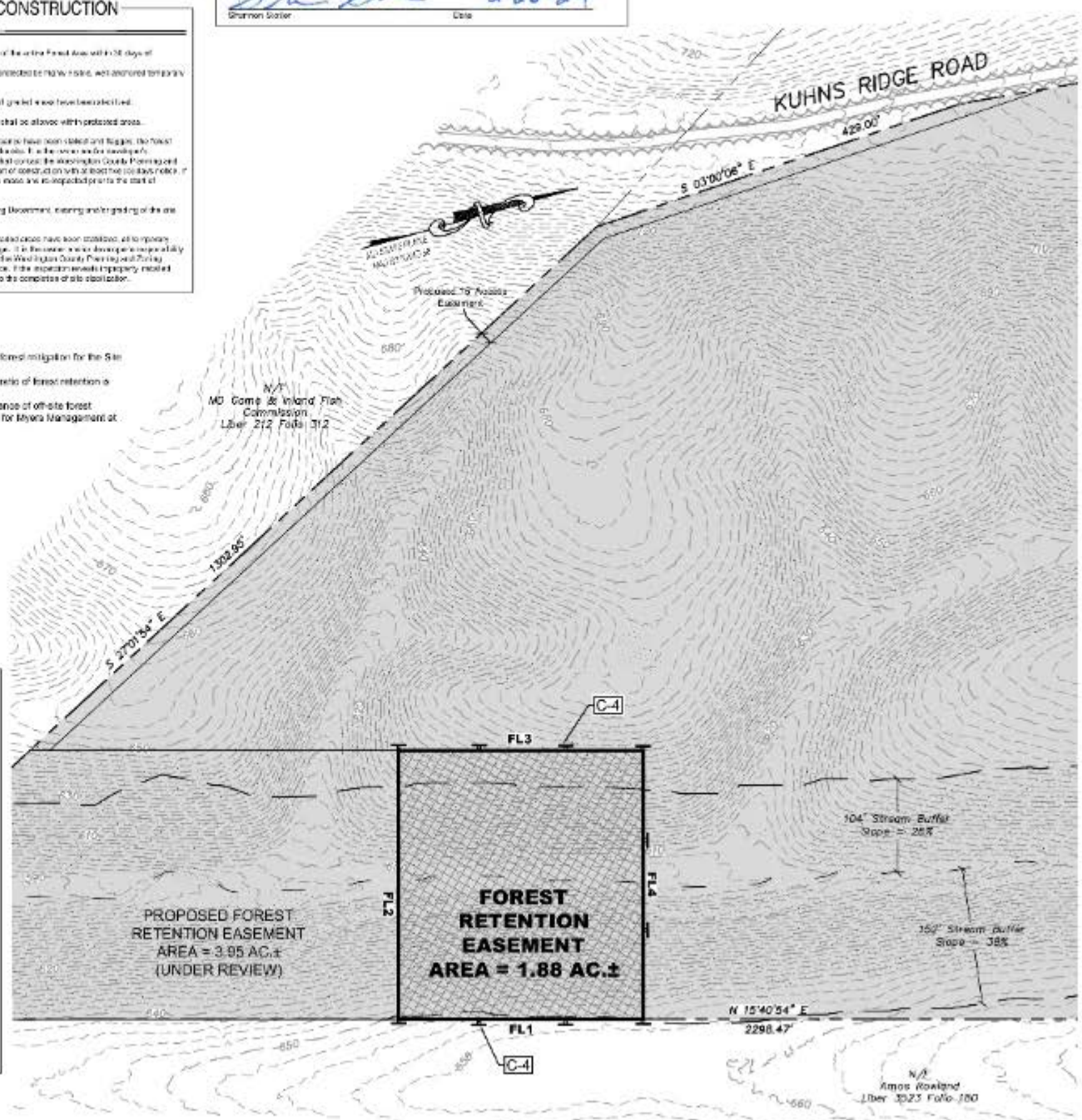
QUALIFIED PROFESSIONAL

I certify that I am a qualified professional per requirements of COMAR 01.10.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that the plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I hereby certify the Forest Retention Easement Plat is accurate and complete.

Shannon Scater Date: 2-28-24

LINE	BEARING	DISTANCE
FL1	S 15°40'54" W	272.98'
FL2	N 74°19'06" W	500.00'
FL3	N 15°40'54" E	272.98'
FL4	S 74°19'06" E	500.00'

PLAT NO. _____
DATE _____
WASHINGTON COUNTY



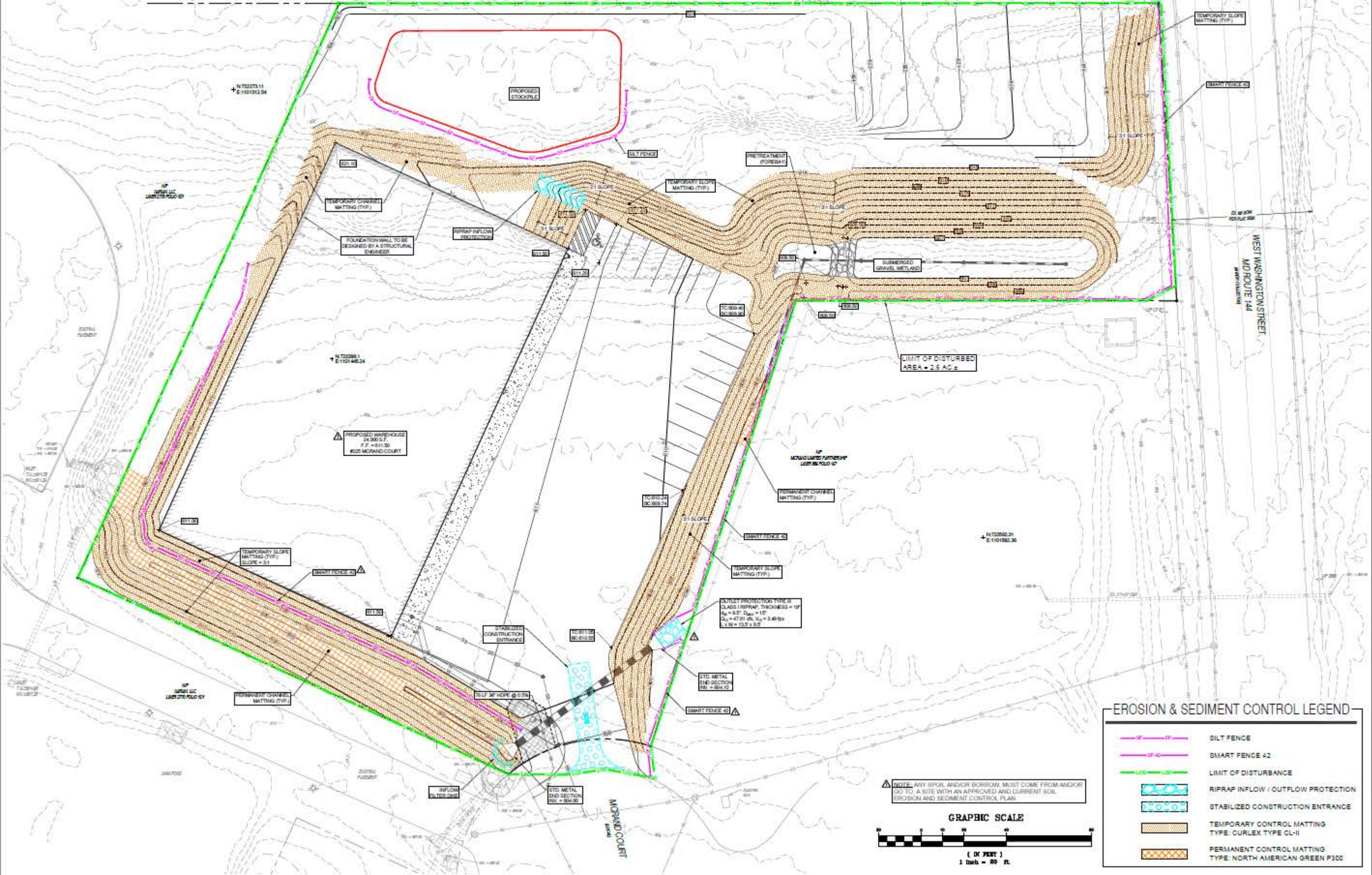
FSA
FREDERICK SEBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • ENVIRONMENTAL • LANDSCAPE ARCHITECTS • LAND PLANNERS

1000 W. MARKET STREET, SUITE 200
FREDERICK, MD 21701
TEL: 301.694.1100
FAX: 301.694.1101
WWW.FSA-INC.COM

MYERS MANAGEMENT
MCRAND COURT

SITUATE ALONG THE EASTERN SIDE OF KUHNS RIDGE ROAD
WEST OF KUHNS SPRINGS ROAD AND NORTH OF KUHNSVILLE ROAD
WASHINGTON COUNTY, MARYLAND
BEAVER CREEK INVESTMENTS, LLC
807 HIGHLAND ST. FREDERICK, MD 21701

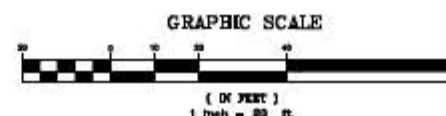
PROJECT NO.	5741
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
DATE	DATE
DATE	DATE



EROSION & SEDIMENT CONTROL LEGEND

	SILT FENCE
	SMART FENCE 42
	LIMIT OF DISTURBANCE
	RIPRAP INFLOW / OUTFLOW PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	TEMPORARY CONTROL MATTING TYPE: CURLEX TYPE CL-II
	PERMANENT CONTROL MATTING TYPE: NORTH AMERICAN GREEN P300

NOTE: ANY SPOIL AND/OR BORROW MUST COME FROM AND/OR GO TO A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.



FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
1000 WASHINGTON STREET
FREDERICK, MARYLAND 21701
TEL: 301-221-1111
FAX: 301-221-1112
WWW.FSA-INC.COM

MYERS MANAGEMENT
EROSION & SEDIMENT CONTROL
1000 WASHINGTON STREET
FREDERICK, MARYLAND 21701
TEL: 301-221-1111
FAX: 301-221-1112
WWW.MYERSMANAGEMENT.COM

PROJECT INFORMATION

PROJECT NO.	4000-LS-1
DATE	05-01-2024
PROJECT MANAGER	ADAM HAGER
EMAIL	AHAGER@PSA-INC.COM
TEL	301-221-1111
FAX	301-221-1112
WWW	WWW.FSA-INC.COM

GRADING, EROSION & SEDIMENT CONTROL PLAN

C-102
SHEET 04 OF 12



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Washington County Planning Commission

FROM: Travis Allen, Senior Planner

DATE: June 3, 2024

RE: Preliminary Forest Conservation Plan Review for Homeplate Mixed Use Development (FP-24-002)

Attached you will find supporting documentation for two requests to meet preliminary forest conservation requirements for this project. The first request is to utilize the fee-in-lieu of payment option to satisfy .22 acres of the overall planting requirement for the new mixed-use development located in the Town of Smithsburg 12230 Cloverly Farm Lane. The second request is to remove 3 specimen trees from the site as a part of its development.

Enclosed for your review are two documents in support of the applicant's request. These include the forest conservation plan (pages 5-6 of the Development Plan); which shows the proposed mix of forest mitigation techniques and depicts the specimen trees proposed for removal, plus a justification letter from Qualified Professional Clint Rock that makes their case for this request.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

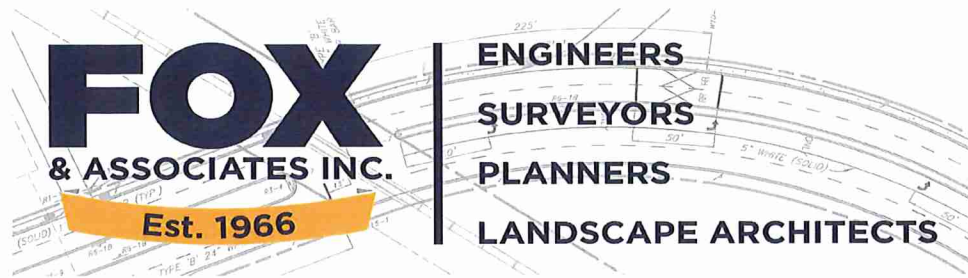
The removal of specimen trees requires that approval of a variance under Article 15 of the FCO. The applicant must demonstrate the conditions of hardship that exist to warrant the removal of the specimen trees and show that their removal would not adversely affect water quality.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen
Senior Planner
(240) 313-2432
tallen@washco-md.net

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET



981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

April 26, 2024

Washington County
Planning & Zoning Department
100 West Washington Street, Suite 2600
Hagerstown, Maryland 21740

Attention: Travis Allen, Senior Planner

Re: Homeplate Final Development Plan – Specimen Tree Variance Request

Mr. Allen,

We are requesting a variance under Article 15 of the Washington County Forest Conservation Ordinance on behalf of our client, Cross & Company, LLC, for the removal of three specimen trees within the proposed limit of disturbance (LOD) associated with the improvements proposed by the above-referenced Final Development Plan (FDP).

The three specimen trees appear on the approved Forest Stand Delineation for the Homeplate property (FS-23-022) and are noted as: 36" Silver Maple, 36" Walnut, and 39 Walnut.

The 36" Silver Maple (*Acer saccharinum*) is located near the eastern point of the property and would be impacted by the grading activities associated with the home construction for proposed lots TH-21 through TH-24. 2' +/- of fill is proposed in this area in order to provide proper drainage of the proposed lots. Fill placed over the root structure would have negative effects on the survivability of this tree. As such, it is proposed to be removed.

The 36" and 39" Black Walnut trees (*Juglans nigra*) are located in the proximity of the existing dwelling on the property, currently labeled as "Future Restaurant Lot" on the FDP. It had been the intention of the developer to repurpose the existing brick farmhouse for use as a restaurant. However, inspections of the dwelling have determined that it is structurally unsound. As such, the building is to be razed and a new restaurant building will be proposed at this location. The disturbance created by the demolition of the existing building and the grading associated with preparing a pad site for the future use would have negative effects on the health/survivability of the trees due to soil compaction from the equipment and the placement of 2'+ of fill material to prepare the pad site. As such, these two trees are proposed to be removed.

The development of the Homeplate parcel is currently restricted by a stream buffer at the existing spring house located on the property, Forest Retention Areas A and B and Forest Planting Areas 1 and 2 in accordance with the Washington County Forest Conservation Ordinance, and the construction of Stormwater Pond #3 in accordance with Washington County Stormwater regulations. Further restriction to preserve these three specimen trees would interfere with the developer's ability to make profitable use of the property, creating an undue hardship.

The areas in which these trees are located are part of the LOD associated with this project which will be provided with sediment and erosion control measures in accordance with County regulations to control the release of sediment and sediment-laden runoff from the project site. These measures are to be approved and inspected by the Washington County Soil Conservation District. Therefore, no adverse effects to water quality are anticipated as a result of the proposed removal of the trees.

We appreciate your consideration of this request. If you have any questions or require additional information, please feel free to contact me.

Sincerely,

Clint Rock, RLA
Landscape Architect
FOX & ASSOCIATES, INC.



STORMWATER MANAGEMENT NARRATIVE

THIS PROJECT IS BEING DESIGNED TO MEET THE MARYLAND STORMWATER ACT OF 2007 WHICH SUPPLEMENTS THE ORIGINAL 2000 MARYLAND DESIGN MANUAL. ENVIRONMENTAL SITE DESIGN (ESD) TECHNIQUES MUST NOW BE PROVIDED THROUGH STRUCTURAL AND NON-STRUCTURAL PRACTICES AT THE SOURCE TO THE MAXIMUM EXTENT PRACTICAL (MEP).

A CHAPTER 3 STRUCTURAL PRACTICE PROPOSED IN CLOVERLY PHASE ONE IDENTIFIED AS "SWM 1" WILL PROVIDE 100% OF THE SITE'S WQV AND THE ESDV AS WELL AS ALL OF THE REV AND THE REQUIRED PHOSPHORUS LOAD REDUCTION.

QUANTITY CONTROL FOR THE 2-AND-10-YEAR STORM EVENTS WILL BE PROVIDED BY THE CLOVERLY PHASE ONE CHAPTER 3 STRUCTURAL PRACTICE WHICH WILL ALSO PROVIDE THE REQUIRED CPV (CHANNEL PROTECTION VOLUME).

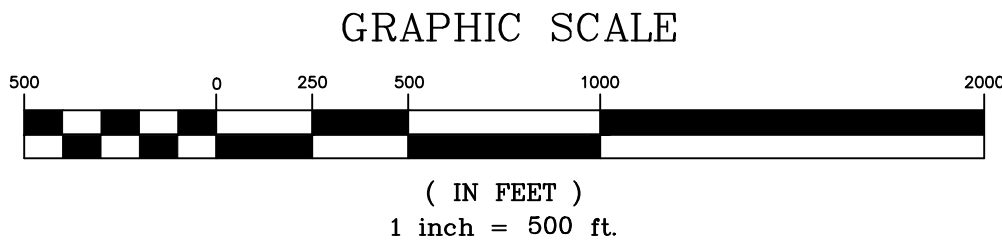
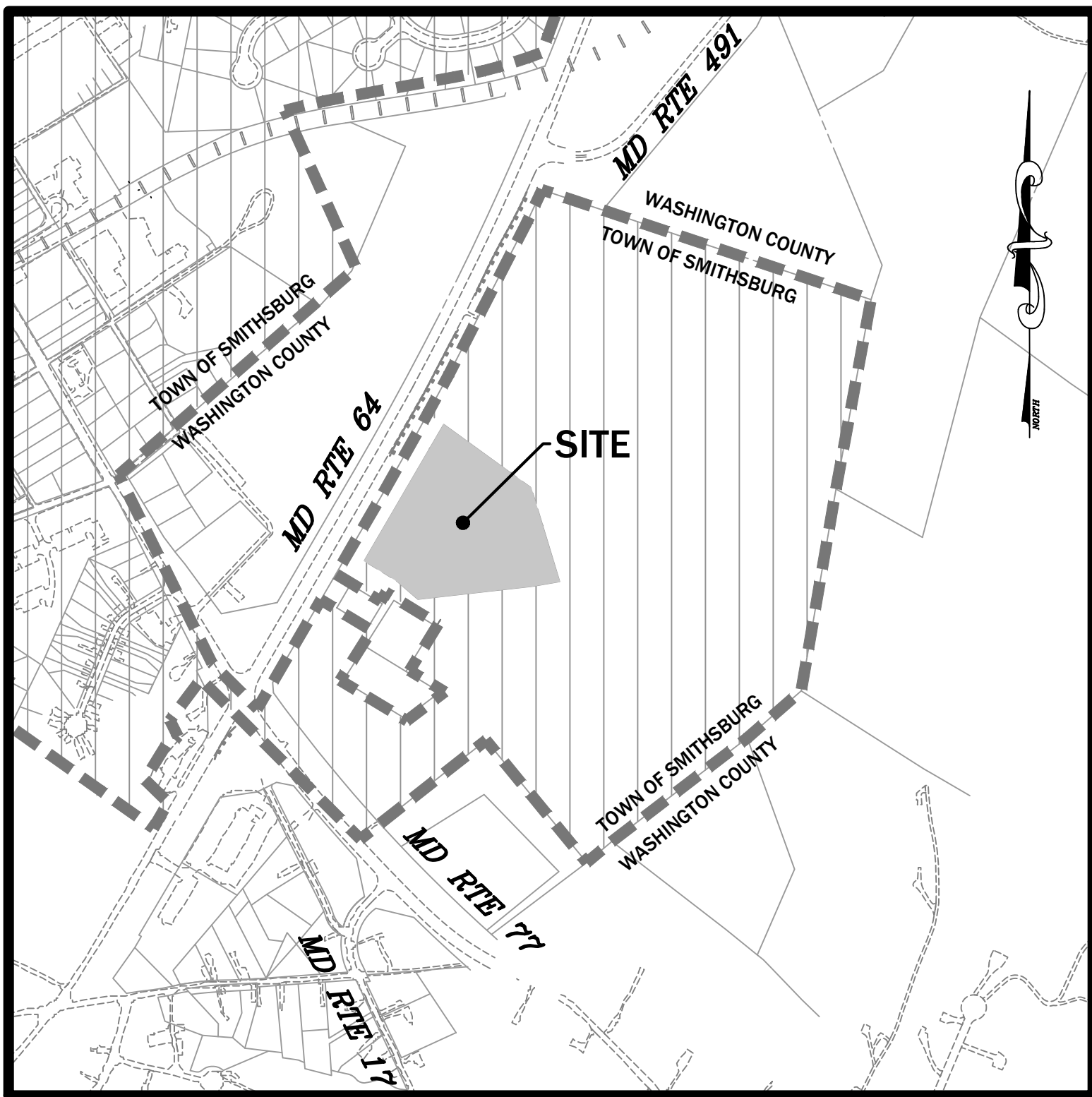
GENERAL NOTES

- TAX MAP/PARCEL 40/350
- ELECTION DISTRICT 7 (CAVETOWN)
- PROPERTY LINES SHOWN PER SURVEY PERFORMED BY FOX AND ASSOCIATES.
- THE SITE IS ZONED "MXD" - MIXED USE DEVELOPMENT.
- MINIMUM BUILDING SETBACK LINES FOR THE MXD DISTRICT ARE BASED ON THE "TC" - TOWN CENTER DISTRICT. SETBACKS ARE SHOWN ON THE TYPICAL LOT LAYOUTS ON SHEET 7.
- TOPOGRAPHY SHOWN HEREON IS FROM FIELD SURVEYS BY FOX & ASSOCIATES, INC. AND ENCOMPASS SERVICES, PLLC. DATUM IS N.A.V.D. 88.
- MARYLAND DEPARTMENT OF THE ENVIRONMENT WATERSHED IS ANTIETAM CREEK (MARYLAND 8-DIGIT WATERSHED CODE 02140502).
- THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY (NWI) MAPPER DOES NOT IDENTIFY ANY WETLAND HABITATS WITHIN THE AOI AT THE SITE.
- THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP 24043C00165D EFFECTIVE DATE 8/15/17.
- THE WASHINGTON COUNTY SOIL SURVEY, MAP 97 ISSUED 2009, DOES NOT IDENTIFY ANY THREE DOT STREAMS ON THE SUBJECT SITE, HOWEVER, THERE IS AN EXISTING SPRING HOUSE WITH A SMALL AREA OF STREAM AS SHOWN ON PLAN.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL PLANNING AREAS SUCH AS THE UPPER BEAVER CREEK BASIN AND BEAVER CREEK (ALBERT M. POWELL) TROUT HATCHERY OR THE WATERSHED BOUNDARIES OF THE EDMONTON OR SMITHSBURG RESERVOIRS.
- THE SITE IS NOT LOCATED WITHIN THE ANTIETAM PARK OR THE ANTIETAM BATTLEFIELD OVERLAY.
- THE SITE IS NOT LOCATED WITHIN 1,000 FEET OF THE APPALACHIAN TRAIL CORRIDOR.
- THERE ARE HYDRIC SOIL TYPES AT THE SITE.
- THERE ARE PRIME FARMLAND SOIL TYPES AT THE SITE.
- THERE ARE NO AREAS OF STEEP SLOPES GREATER THAN 25% AT THE SITE.
- THERE ARE NO SLOPES OF 15% OR GREATER WHERE THE SOIL ERODIBILITY COEFFICIENT OR K FACTOR IS 0.35 OR GREATER AT THE SITE.
- WATER AND SEWER SERVICE WILL BE PROVIDED BY THE TOWN OF SMITHSBURG.
- FOREST CONSERVATION REQUIREMENTS WILL BE MET BY A COMBINATION OF ON-SITE RETENTION OF EXISTING FOREST, PLANTING OF NEW FOREST AREAS, STREET TREE CREDITS, AND PAYMENT-IN-LIEU. THE SITE HAS AN FSD PLAN APPROVED BY WASHINGTON COUNTY ON 7-19-23 (FS-23-022). STREET TREES PLANTED BETWEEN THE CURB AND SIDEWALK SHALL BE THE PROPERTY OF THE HOMEOWNER'S ASSOCIATION (HOA) AND WILL BE MAINTAINED BY THE HOA.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PLANTING AND REPLACEMENT OF THE STREET TREES WITHIN THE INITIAL 5 YEARS OF INSTALLATION. THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE SIDEWALKS IN THE VICINITY OF THE STREET TREES BECAUSE OF PLACEMENT OF STREET TREES BETWEEN STREET AND SIDEWALK. AFTER 5 YEARS, THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF STREET TREES AND OUTLOT 1 PARKING AREA.
- FINAL ON STREET PARKING SPACE LAYOUT WILL BE DETERMINED BASED ON FINAL DRIVEWAY LOCATIONS.
- A FIVE FOOT PEDESTRIAN EASEMENT IS RESERVED ALONG THE FRONTAGE OF ALL LOCAL STREET LOTS TO ALLOW THE SIDEWALK ENCRoACHMENT ONTO THE INDIVIDUAL LOTS.
- HOA SHALL INSPECT NATURE TRAILS FOR EROSION AND/OR DAMAGE MONTHLY OR AFTER LARGE STORM EVENTS. DAMAGE SHALL BE REPAIRED AND ADDITIONAL MULCH ADDED AS NEEDED.
- REFERENCE TO STORMWATER CONCEPT PLAN APPROVAL BY WASHINGTON COUNTY ENGINEERING ON 9-21-23 (SWCP23-022).

FINAL DEVELOPMENT PLAN
HOMEPLATE
MIXED USE DEVELOPMENT

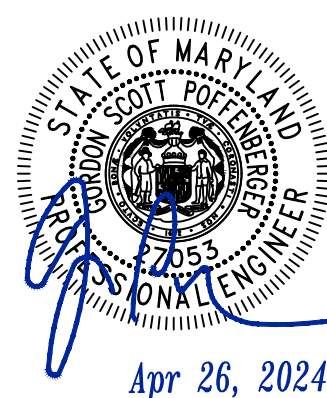
SUBMITTED IN ACCORDANCE WITH APPROVED ZONING DISTRICT LANGUAGE FOR MIXED USE DEVELOPMENT DISTRICTS PARAGRAPH F.2.C "DEVELOPMENT PLAN APPROVAL", LAST PARAGRAPH, TO SERVE AS "MASTER PLAN" AND "OFFICIAL RECORD OF AGREEMENT BETWEEN THE DEVELOPER AND THE TOWN PLANNING COMMISSION."

SITUATE ALONG THE EAST SIDE OF MD RTE 64
ELECTION DISTRICT 07
TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND



OWNER / DEVELOPER

OWNER: CLOVERLY HILL, LLC
DEVELOPER: CROSS & COMPANY, LLC
5301 BUCKEYSTOWN PIKE, SUITE 150
FREDERICK, MD 21704
(301) 682-9015
CONSTRUCTION@CROSSANDCOMPANY.COM



DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 4.45 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 7,600 C.Y. OF EXCAVATION AND 5,200 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

OWNER/DEVELOPER

DANIEL C. CROSS
MARCH 26, 2024
DATE

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

MARCH 26, 2024
DATE
27053
REG. NO.
EXPIRES 12/26

TOWN OF SMITHSBURG PLANNING COMMISSION

SIGNATURE
DATE

DATE	REVISIONS

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

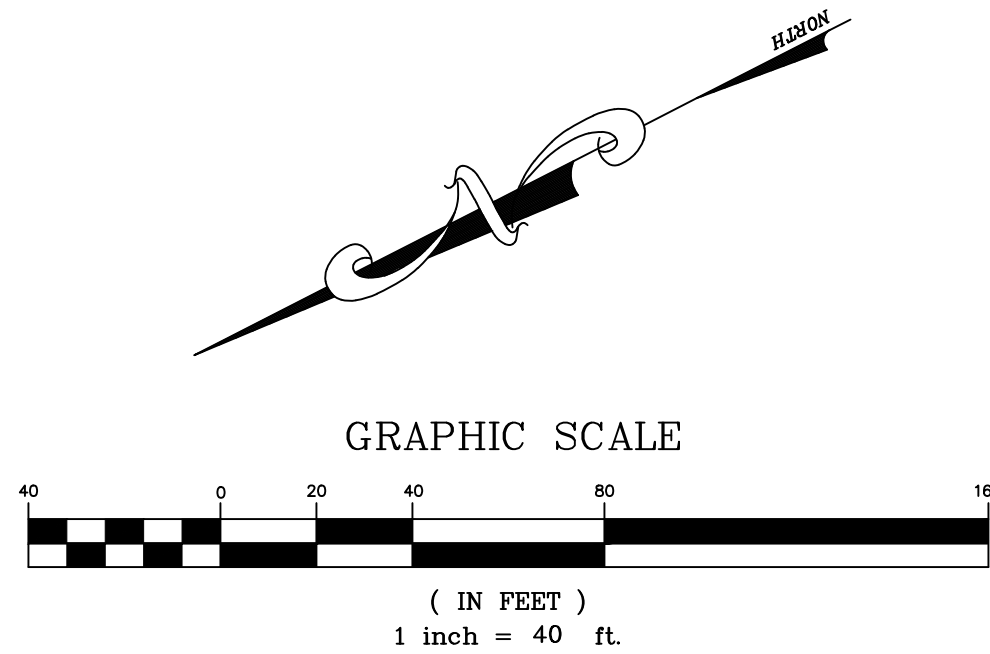
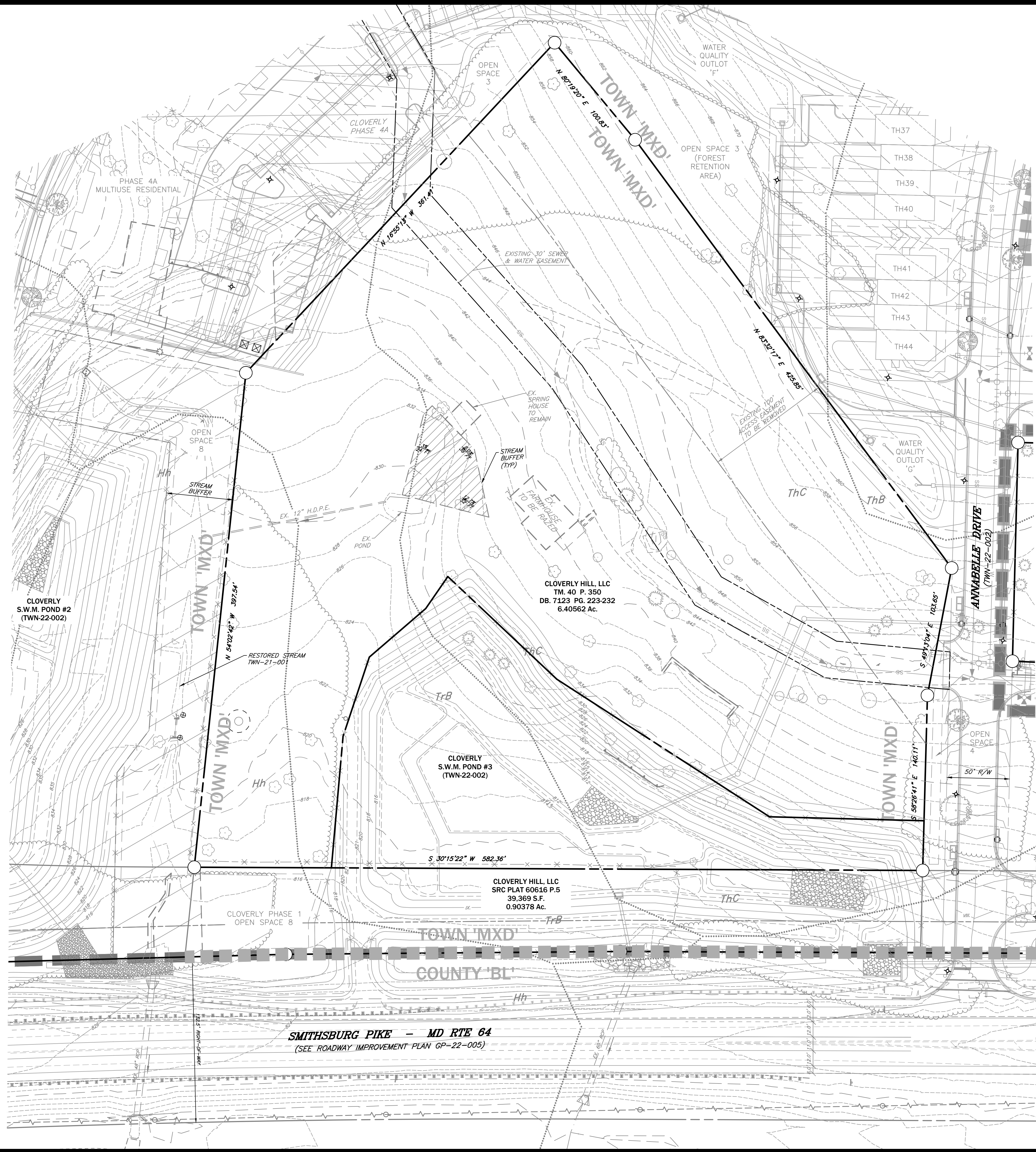
82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

www.foxassociatesinc.com Email: foxassoc@foxassociatesinc.com



INDEX OF SHEETS

COVER SHEET AND GENERAL NOTES	1
EXISTING CONDITIONS PLAN	2
PROPOSED LAYOUT	3
FOREST STAND DELINEATION	4
CONCEPTUAL FOREST CONSERVATION PLAN	5
CONCEPTUAL FOREST CONSERVATION PLAN NOTES & DETAILS	6
NOTES AND DETAILS	7



LEGEND

	PROPERTY CORNER
	EXISTING FENCE
	EASEMENT LINE
	EXISTING STORM DRAIN
	CONTOUR LINE
	OVERHEAD UTILITY LINE
	EXISTING UTILITY POLE
	SOIL LINE
	SOIL TYPE
	SEWER LINE
	EXISTING TREE
	STREAM
	TREELINE
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	MUNICIPAL BOUNDARY
	ZONING BOUNDARY

SOILS

SYMBOL	DESCRIPTION		K FACTOR	HYDROLOGIC GROUP	% COVERAGE
Hh	HATBORO SILT LOAM		0.43	B/D	7.2%
ThB ¹	THURMONT GRAVELLY LOAM	3 TO 8 PERCENT SLOPES	0.20	B	0.8%
ThC	THURMONT GRAVELLY LOAM	8 TO 15 PERCENT SLOPES	0.20	B	68.9%
TtB	TREGO GRAVELLY LOAM	3 TO 8 PERCENT SLOPES	0.20	C	23.1%

¹ PRIME FARMLAND SOIL
² HYDRIC SOIL

FOX & ASSOCIATES INC.
Est. 1966
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FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21701
PHONE: (301) 733-8503
or (301) 116-7250
FAX: (301) 733-1853
Email: foxasso@foxassociaetinc.com
www.foxassociaetinc.com

REVISION	DATE	DRAWN BY

EXISTING CONDITIONS PLAN
HOMEPLATE
FINAL DEVELOPMENT PLAN
SITUATE EAST OF MD RTE 64 AND NORTH OF MD RTE 77
ELECTION DISTRICT 07
TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=40'



I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 23-51234
DRAWING NO. D-9347
DATE: MARCH, 2024
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 2 OF 7



ENGINEERS • SURVEYORS • PLANNERS

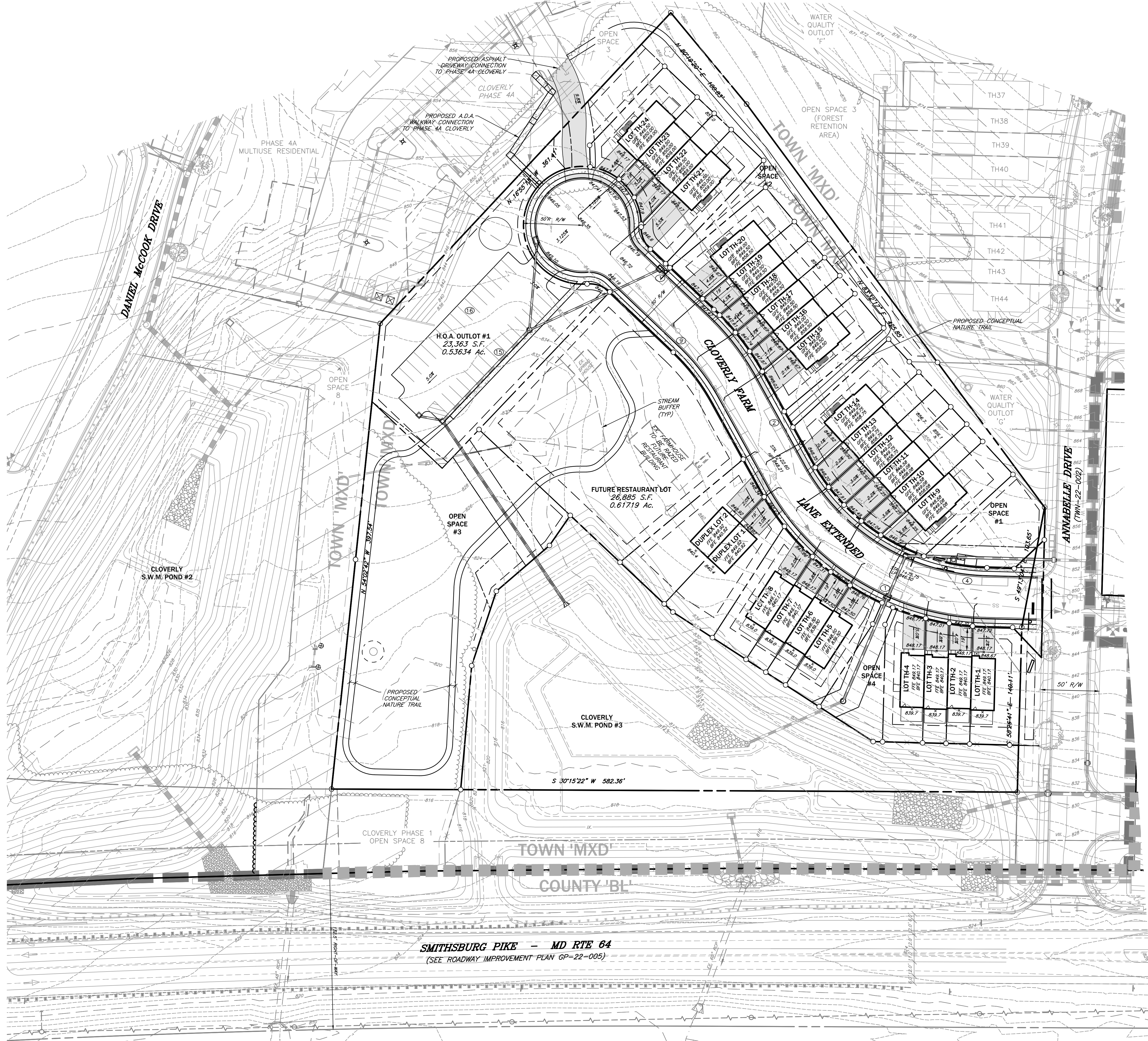
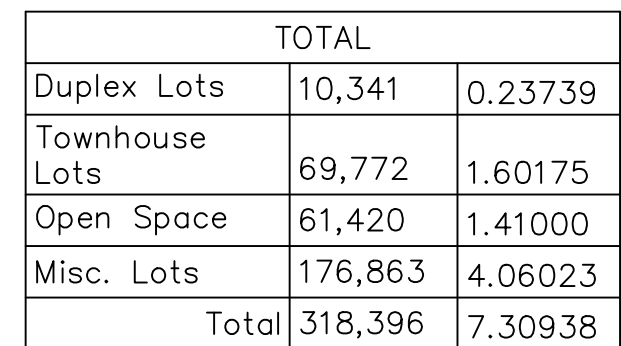
www.foxassociatesinc.com
Email: foxassoc@foxassociatesinc.com

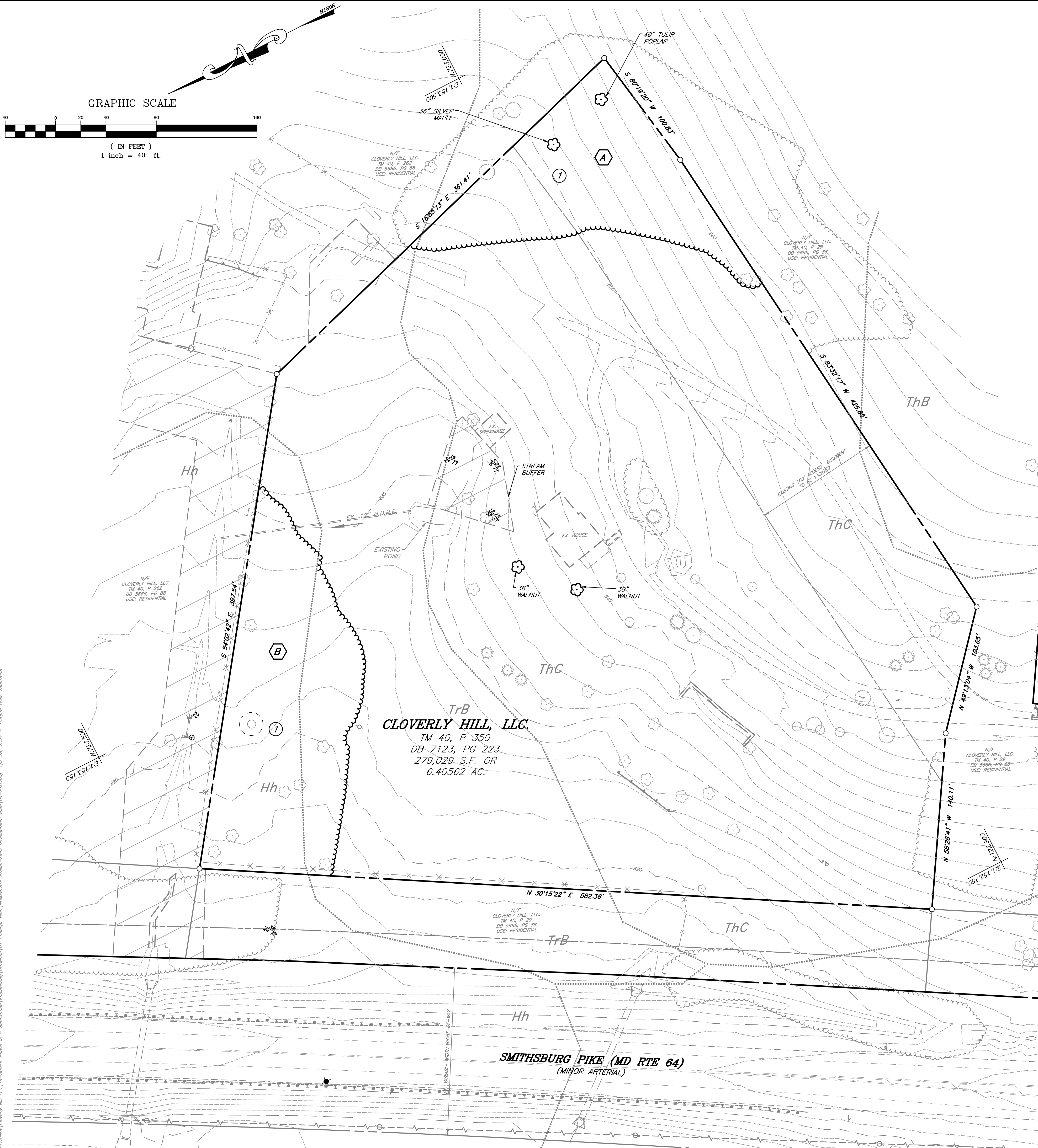
DATE _____

SITUATE EAST OF MD RTE 64 AND NORTH OF MD RTE 77
ELECTION DISTRICT 07
TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND

PROJECT NO. 23-51234
DRAWING NO. D-9347
DATE: MARCH, 2024
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 3 OF 7





CROSS & COMPANY, LLC
Real Estate Investment Development
Management & Brokerage

FOX & ASSOCIATES INC.
Est. 1966
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VICINITY MAP
SCALE: 1" = 2000'
TAX MAP 40 PARCEL 350
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 21004221

ADC MAP 23
GRID G3
H3

EXISTING FOREST AREA		
FOREST STAND	Square Feet	Acreage
A	18,994	0.44
B	25,597	0.59
TOTAL	44,591	1.02

SITE DATA

PROPERTY MAP: 40
GRID: 19
PARCEL: 350
DEED: 7123/223
PARCEL AREA: 6.41 ACRES
ELECTION DISTRICT: 7
ZONING: MXD, MIXED USE DISTRICT
EXISTING USE: RESIDENTIAL

NOTES

- TOPOGRAPHY SHOWN HEREON IS FROM FIELD SURVEYS BY FOX & ASSOCIATES, INC. AND ENCOMPASS SERVICES, PLLC. DATUM IS N.A.V.D. 88.
- ANTIETAM CREEK WATERSHED (MARYLAND B-DIGIT WATERSHED CODE 02140502).
- THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY (NWI) MAPPER DOES NOT IDENTIFY ANY WETLAND HABITATS WITHIN THE AOI AT THE SITE.
- THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP 24043C01650 AND 24043C01700 EFFECTIVE DATE 8/15/17. THE SITE IS IN ZONE 'C'.
- THERE ARE NO STEEP SLOPES ON THE SUBJECT PROPERTY.
- THE WASHINGTON COUNTY SOIL SURVEY, MAP 27 ISSUED 2002, DOES NOT IDENTIFY ANY THREE DOT STREAMS ON THE SUBJECT SITE, HOWEVER, THERE IS AN EXISTING SPRING HOUSE WITH A SMALL AREA OF STREAM AS SHOWN ON PLAN.
- THIS FOREST STAND DELINEATION IS ON THE ENTIRE 6.41 AC. TRACT

LEGEND

- (A) FOREST STAND NUMBER
(1) FOREST SAMPLING PLOT
— STREAM
+ SPECIMEN TREE
— FORESTED AREA
— TREELINE THAT DOES NOT QUALIFY AS FOREST
— MINIMUM BUILDING SETBACK LINE (MBSL)
— EXISTING EDGE OF PAVEMENT
— EXISTING EDGE OF GRAVEL
— EXISTING 2X CONTOUR
— EXISTING 10X CONTOUR
WeB SOIL TYPE & BOUNDARY
WeD
— EXISTING FENCELINE

SOILS

SYMBOL	DESCRIPTION	K FACTOR
Hh	HATBORO SILT LOAM	0.43
ThB	THURMONT GRAVELLY LOAM	0.20
ThC	THURMONT GRAVELLY LOAM	0.20
ThB	TREGO GRAVELLY LOAM	0.20

1 PRIME FARMLAND SOIL
2 HYDRIC SOIL



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING
767 Northern Avenue | Hagerstown, MD 21742-2723 | T: 240.313.2430 | F: 240.313.2485 | Hearing Impaired: 713-1

Date: 07-19-2023

CLOVERLY HILL LLC
C/O CROSS & COMPANY LLC
5301 BUCKEYSTOWN PIKE
FREDERICK, MD 21704

FOREST STAND DELINEATION NAME : Homeplate Forest Stand Delineation
ENGINEER : FOX & ASSOCIATES INC.
APPLICATION NUMBER : FS-23-022
LOCATION : 12230 CLOVERLY FARM Lane
SMITHSBURG, MD 21783

Dear Owner:

This is to inform you that the Forest Stand Delineation referenced above was acted on by Washington County on July 19, 2023 and was approved with the conditions stated at the bottom of this letter.

This letter shall be made a part of the Forest Conservation Plan that must accompany the subdivision plat submittal for the above referenced property.

This Forest Stand Delineation is valid for five (5) years from this date. If not submitted with a subdivision plat within the five-year period, the approval shall become void. If you have questions regarding this plan, please contact the Department of Planning and Zoning at 240-313-2430.

Sincerely,

Jill L. Baker

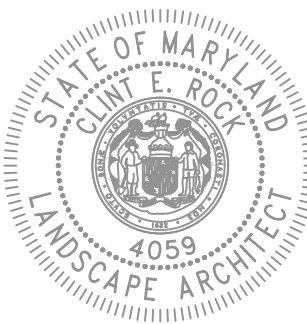
Jill L. Baker, AICP
Director, Department of Planning and Zoning

CC: FOX & ASSOCIATES INC.
TMA/TMA

CONDITIONS:

- See general notes for the plat/plan for detailed conditions.

- This approval is not a notice to proceed with construction. Applicable building permits must be obtained prior to land disturbance and/or construction.



I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

APR 26, 2024
CENT E. ROCK

FS-23-022

FOX & ASSOCIATES INC.
Est. 1966

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FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS
82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21701
PHONE: (301) 695-0880
FAX: (301) 293-6009
Email: foxassoc@foxassocinc.com
www.foxassocinc.com

DRAWN BY

REVISION

DATE

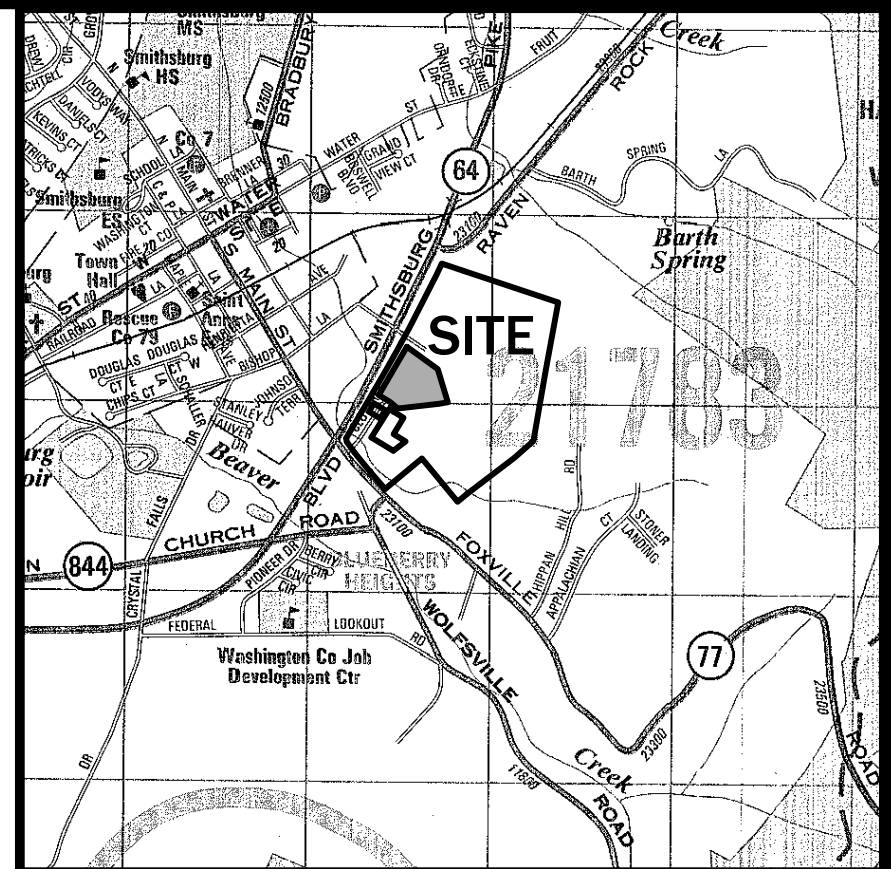
APPROVED FOREST STAND DELINEATION
HOMEPLATE

SITUATE EAST OF MD RTE 64 AND NORTH OF MD RTE 77
ELECTION DISTRICT 07
TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=40'

PROJECT NO. 23-51234
DRAWING NO. D-9117
DATE: AUGUST 4, 2023
DRAWN BY: DCM
CHECKED BY: CER

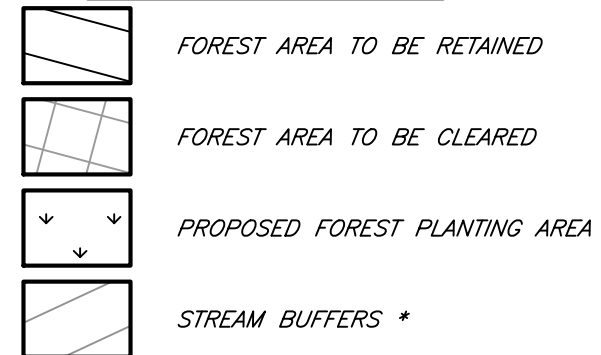
SHEET 4 OF 7



VICINITY MAP
SCALE: 1" = 2000'
TAX MAP 40 PARCEL 350
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 21004221

PLANTING AREAS	= 0.32 Ac.
REMAINING FOREST MITIGATION	= 0.20 Ac.

HATCH LEGEND



EXISTING FOREST AREA		
FOREST STAND	Square Feet	Acreage
A	18,994	0.44
B	25,597	0.59
TOTAL	44,591	1.02

NOTES

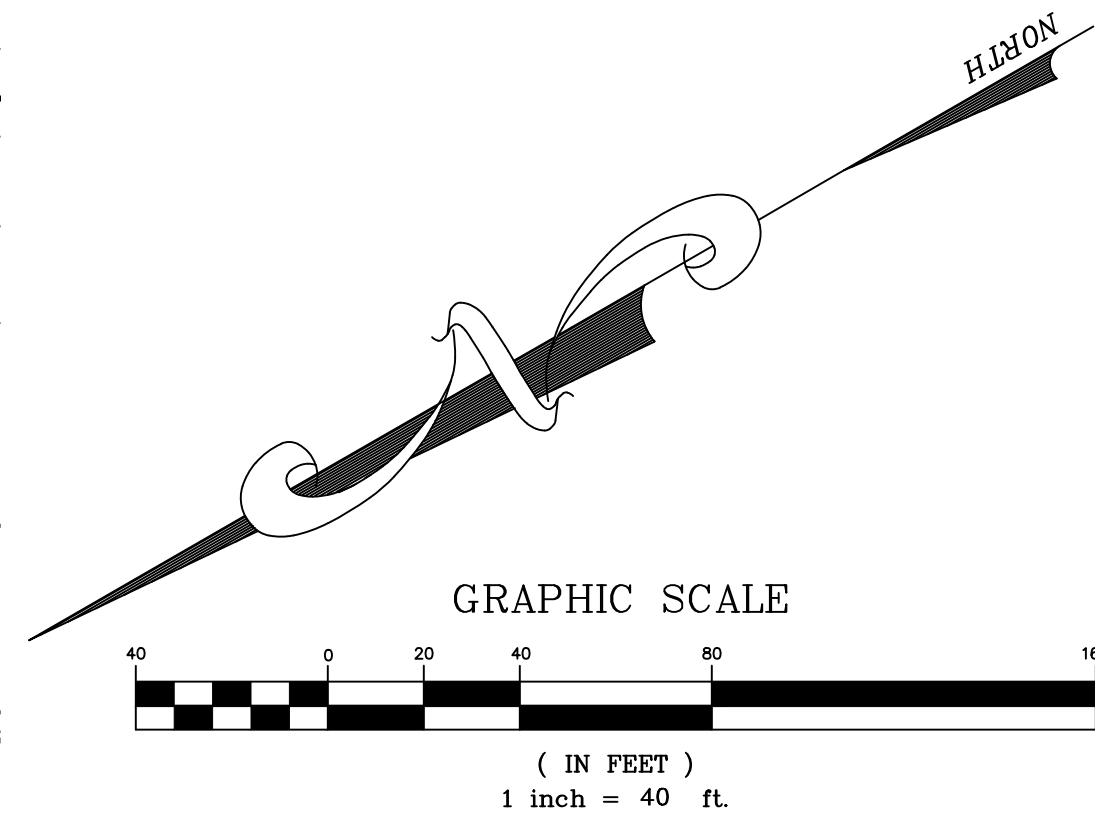
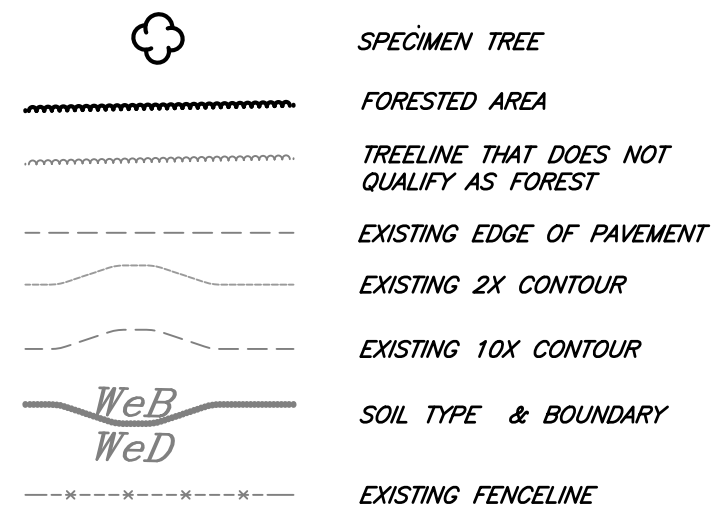
1. TOPOGRAPHY SHOWN HEREON IS FROM FIELD SURVEYS BY FOX & ASSOCIATES, INC. AND ENCOMPASS SERVICES, PLLC. THIS MAP IS N.A.V.D. 88.
2. ANTIUM CREEK WATERSHED (MARYLAND 8-DIGIT WATERSHED CODE 02140502).
3. THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY (NWI) MAPPER DOES NOT IDENTIFY ANY WETLAND HABITATS WITHIN THE AOI AT THE SITE.
4. THIS PARCEL IS NOT AFFECTED BY THE 100-YR FLOODPLAIN AS SHOWN ON MAP 24043-0101650 AND 24043001702 EFFECTIVE DATE 8/15/17. THE SITE IS IN ZONE "C".
5. THERE ARE NO STEEP SLOPES ON THE SUBJECT PROPERTY.
6. THE WASHINGTON COUNTY SOIL SURVEY, MAPS 27 AND 28, ISSUED 2002, IDENTIFIES THREE TOT STREAMS ON THE SUBJECT SITE AS SHOWN ON THIS PLAN.
7. THE INSTALLATION OF THE NATURE TRAIL SHALL NOT REQUIRE ANY ADDITIONAL TREE CLEARING.

Forest Conservation Worksheet 2.2




Net Tract Area							
A.	Total Tract Area					A =	6.41
B.	Deductions					B =	0.00
C.	Net Tract Area					C =	6.41
Land Use Category							
	Input the number "1" under the appropriate land use zoning, and limit to only one entry						
	ARA	MDR	IDA	HDR	MPD	CIA	
	0	0	0	0	1	0	
D.	Afforestation Threshold (Net Tract Area x Conservation Threshold (Net Tract Area x					15%)	D = 0.96
E.						15%)	E = 0.96
Existing Forest Cover							
F.	Existing Forest Cover within the Net Tract Area					F =	1.02
G.	Area of Forest Above Conservation Threshold					G =	0.06
Break Even Point							
H.	Break Even Point					H =	0.97
I.	Forest Clearing Permitted Without Mitigation					I =	0.05
Proposed Forest Clearing							
J.	Total Area of Forest to be Cleared					J =	0.31
K.	Total Area of Forest to be Retained					K =	0.71
Planting Requirements							
L.	Reforestation for Clearing Above the Conservation Threshold					L =	0.01
M.	Reforestation for Clearing Below the Conservation Threshold					M =	0.50
N.	Credit for Retention above the Conservation Threshold					N =	0.00
P.	Total Reforestation Required					P =	0.52
Q.	Total Afforestation Required					Q =	0.00
R.	Total Planting Requirement					R =	0.52

TOTAL REFORESTATION REQUIRED	= 0.52 Ac.
- PLANTING AREA	= 0.21 Ac.
- STREET TREE CREDIT	= 0.09 Ac.
<u>FOREST MITIGATION P.I.L.</u>	<u>= 0.22 Ac.</u>

LEGEND



PHASE 1 STREET TREE LANDSCAPE SCHEDULE

<i>SYMBOL</i>	<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>	<i>QUAN.</i>	<i>SIZE</i>	<i>CONDITION</i>
	ACER RUBRUM (OCTOBER GLORY)	OCTOBER GLORY, RED MAPLE	1	2" - 2½" CAL.	B & B
	PRUNUS SARGENTII (ACCOLADE)	ACCOLADE FLOWERING CHERRY	4	2" - 2½" CAL.	B & B
	AMELANCHIER X GRANDIFLORA (AUTUMN BRILLIANCE)	AUTUMN BRILLIANCE. SERVICEBERRY (SINGLE STEM)	4	2" - 2½" CAL.	B & B

- NOTES:
1. CARE AND MAINTENANCE OF STREET TREES LOCATED WITHIN THE RIGHT-OF-WAY WILL BE THE SOLE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION AND NOT THE TOWN OF SMITHSBURG.
 2. REPLACEMENT IS REQUIRED FOR STREET TREES THAT DON'T SURVIVE BEYOND 5 YEARS AFTER PLANTING.

SOILS

SYMBOL	DESCRIPTION	K FACTOR
Hh ²	HATBORO SILT LOAM	0.43
ThB ¹	THURMONT GRAVELLY LOAM 3 TO 8 PERCENT SLOPES	0.20
TrC	THURMONT GRAVELLY LOAM 8 TO 15 PERCENT SLOPES	0.20
TrB	TREGO GRAVELLY LOAM 3 TO 8 PERCENT SLOPES	0.20

- ¹ PRIME FARMLAND SOIL
² HYDRIC SOIL

<i>LINE</i>	<i>BEARING</i>	<i>DISTANCE</i>
<i>L1</i>	<i>S 04°27'00" E</i>	<i>37.98'</i>
<i>L2</i>	<i>N 50°01'56" E</i>	<i>121.21'</i>
<i>L3</i>	<i>S 24°57'14" W</i>	<i>126.48'</i>
<i>L4</i>	<i>S 58°26'41" E</i>	<i>140.11'</i>
<i>L5</i>	<i>S 49°13'04" E</i>	<i>103.65'</i>
<i>L6</i>	<i>N 80°19'20" E</i>	<i>100.83'</i>
<i>L7</i>	<i>S 28°27'19" W</i>	<i>87.92'</i>
<i>L8</i>	<i>S 58°45'37" E</i>	<i>135.79'</i>
<i>L9</i>	<i>N 31°10'15" E</i>	<i>100.18'</i>
<i>L10</i>	<i>N 58°49'45" W</i>	<i>137.38'</i>
<i>L11</i>	<i>N 52°40'39" E</i>	<i>160.93'</i>
<i>L12</i>	<i>N 59°02'07" W</i>	<i>112.91'</i>

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5654.58'	140.22'	140.22'	S 36°40'38" E	1°25'15"
C2	5654.58'	66.53'	66.53'	N 37°43'29" W	0°40'27"
C3	5654.58'	195.08'	195.07'	N 39°03'00" W	1°58'36"
C4	5654.58'	221.29'	221.28'	N 41°09'35" W	2°14'32"
C5	3760.72'	642.15'	641.37'	S 35°08'51" W	9°47'00"

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.19.06.01A AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

Apr 26, 2024



GENERAL NOTES

1. FOREST STAND DELINEATION PREPARED BY FOX AND ASSOCIATES, INC. APPROVED 7/19/2023 (FS-23-0022).
2. THE FOREST CONSERVATION MEASURES REQUIRED FOR THIS SITE SHALL BE FULLY IMPLEMENTED WITHIN TWO (2) GROWING SEASONS OF APPROVAL OF THE FINAL FOREST CONSERVATION PLAN AND BEFORE DEVELOPMENT PROJECT COMPLETION.
3. THIS FOREST CONSERVATION PLAN HAS BEEN PREPARED PURSUANT TO THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE, ANY DEVIATION FROM THIS APPROVED PLAN MAY BE SUBJECT TO THE OWNER/DEVELOPER SUBJECT TO FINES AND PENALTIES PURSUANT TO ENFORCEMENT ACTION TAKEN BY THE APPROVING AUTHORITY.
4. OWNER / DEVELOPER SHALL NOT BE RESPONSIBLE FOR THE SURVIVABILITY OF EITHER THE EXISTING FOREST OR OF THE PROPOSED AFFORESTATION/REFORESTATION AREA DUE TO CIRCUMSTANCES BEYOND OUR CONTROL; (I.E. ACTS OF NATURE, IMPROPER PLANT HANDLING OR INSTALLATION, IMPROPER TREE PROTECTION OR THE LACK OF FOREST MAINTENANCE).
5. NO DISTURBANCE TO ANY EXISTING FOREST AREAS SHALL BE PERMITTED EXCEPT AS SHOWN ON THIS PLAN.
6. PROTECTION DEVICES:
- A. ALL RETENTION AREAS SHALL BE PROTECTED BY HIGHLY VISIBLE, WELL ANCHORED TEMPORARY PROTECTION DEVICES.
 - B. ALL PROTECTION DEVICES SHALL BE IN PLACE PRIOR TO ANY GRADING OR LAND CLEARING.
 - C. FENCING SHALL BE AS DETAILED.
 - D. ALL PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND ALL GRADED AREAS HAVE BEEN STABILIZED.
 - E. PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - F. ATTACHMENT TO SIGNS, OR ANY OTHER OBJECTS, TO TREES IS PROHIBITED.
 - G. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN PROTECTED AREAS.
7. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AT LEAST FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION. THE DEVELOPER, HIS QUALIFIED PROFESSIONAL, CONTRACTOR AND APPROPRIATE LOCAL INSPECTORS SHALL ATTEND.
8. AFTER THE PRE-CONSTRUCTION MEETING AT THE CONSTRUCTION SITE HAS TAKEN PLACE, THE BOUNDARIES OF THE LIMITS OF DISTURBANCE SHALL BE STAKED AND FLAGGED AND THE FOREST PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING. THE PLANNING AND ZONING DEPARTMENT WILL NEED TO INSPECT AND APPROVE THE PROTECTION DEVICES BEFORE CONSTRUCTION CAN PROCEED.
9. ANY CHANGES MADE TO THE FOREST CONSERVATION PLAN DUE TO ON-SITE CONDITIONS SHALL BE MADE IN CONSULTATION WITH A QUALIFIED PROFESSIONAL AND APPROVED BY THE PLAN PREPARE.
10. FOLLOWING CONSTRUCTION, THE FOLLOWING MEASURES SHALL BE TAKEN WHEN APPROPRIATE:
- A. CORRECTIVE MEASURES IF DAMAGES WERE INCURRED DUE TO NEGLIGENCE:
 - A.1. STRESS REDUCTION: FOLLOW PROCEDURE OUTLINED IN SECTION 3.5.3(A)(1) OF THE FOREST CONSERVATION TECHNICAL MANUAL.
 - A.2. REMOVAL OF DEAD OR DYING TREES: THIS MAY BE DONE ONLY IF TREES POSE AN IMMEDIATE SAFETY HAZARD.
 - B. TEMPORARY STRUCTURES: THE FOLLOWING MINIMUM STANDARDS SHALL BE OBSERVED DURING THE REMOVAL OF TEMPORARY STRUCTURES:
 - B.1. NO BURIAL OF DISCARDED MATERIALS WILL OCCUR ON-SITE.
 - B.2. NO OPEN BURNING WITHIN 100 FEET OF A WOODED AREA.
 - B.3. ALL TEMPORARY FOREST PROTECTION STRUCTURES WILL BE REMOVED AFTER CONSTRUCTION.
11. FOLLOWING THE COMPLETION OF CONSTRUCTION, PRIOR TO USE, THE PROJECT INSPECTOR SHALL INSPECT THE ENTIRE SITE.
12. THE OWNER/DEVELOPER SHALL RETAIN QUALIFIED NURSERY PERSONNEL TO DETERMINE AND IMPLEMENT, AS NECESSARY, A SCHEDULE FOR WATERING, FERTILIZATION AND GENERAL MAINTENANCE OF THE STOCK PLANTED IN THE AFFORESTATION/REFORESTATION AREA AND TO MONITOR THE PROGRESS OF THE EXISTING FOREST.
13. CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777, A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
15. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE UTILIZATION OF MEN, MATERIALS, EQUIPMENT AND SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
16. OWNER / DEVELOPER HAS PERFORMED NO SUBSURFACE INVESTIGATION OF ANY KIND. LOCATION AND EXTENT OF OF ROCK, ALTERABLE, UTILITIES, ETC. ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION

1. CONTACT THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING.
2. CONDUCT PRE-CONSTRUCTION MEETING.
3. STAKEOUT/FLAGGING OF LIMITS OF DISTURBANCE, LIMITS OF AFFORESTATION/REFORESTATION AREA AND PLACEMENT OF TEMPORARY AND APPLICABLE PERMANENT SIGNAGE.
4. INSTALLATION OF PROTECTIVE DEVICES.
5. NOTIFY THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 AFTER PERMANENT SIGNAGE AND PROTECTIVE DEVICES HAVE BEEN INSTALLED. THE DEPARTMENT WILL INSPECT AND APPROVE THE SIGNAGE AND PROTECTIVE MEASURES PRIOR TOO START OF GRADING ACTIVITIES.
6. PREPARE SITE FOR PLANTING (I.E. SOIL AMENDMENTS, DISCING, ETC.)
7. PLANT AFFORESTATION/REFORESTATION AREA IN REQUIRED PHASES.
8. STABILIZE ALL DISTURBED AREAS, REMOVE TEMPORARY PROTECTION DEVICES.
9. CONTACT THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING AT (240) 313-2430 TO SCHEDULE POST-CONSTRUCTION INSPECTION. IF THE PLANTING OF REFORESTATION AREAS HAS NOT OCCURED AT THIS TIME, THE DEPARTMENT SHALL BE NOTIFIED WHEN PLANTING IS COMPLETE IN ORDER TO BEGIN THE 2-YEAR MONITORING AND MAINTENANCE CALENDAR.
10. BEGIN MONITORING PROGRAM.
11. AT ONE YEAR ANNIVERSARY, PERFORM INSPECTION FOR NECESSITY OF REINFORCEMENT PLANTING OR POSSIBLE INCREMENTAL BOND REDUCTION. ITEMS TO CONSIDER ARE: VIGOR, GROWTH RATE, STRUCTURE, CROWN DEVELOPMENT, TRUNK HEALTH AND THREAT OF COMPETING VEGETATION.
12. AT TWO YEAR ANNIVERSARY, PERFORM FINAL INSPECTION WITH LOCAL INSPECTOR FOR FINAL BOND RELEASE.

PLANT SPACING RECOMMENDATIONS

FOR VARIOUS ECOLOGICAL REASONS, PLANTING IN GROUPS OR AGGREGATE DISTRIBUTION IS PREFERRED OVER RECTANGULAR OR GRID PATTERN STYLE OF PLANT DISTRIBUTION. AGGREGATE MASSING OR SWEEPS ARE THE MOST COMMON VEGETATION DISTRIBUTION PATTERNS SEEN IN NATURE. PRINCIPLE SEED BEARERS ARE AT THE CENTRAL CORE, WITH THE SEED DISPERSAL OUTWARD. GROUPINGS BLEND INTO AND THROUGH OTHER GROUPINGS FORMING A COMMUNITY. CLUMPED POPULATIONS ARE VERY COMMON IN NATURAL ECOSYSTEMS. NAMELY, INDIVIDUALS OF A SINGLE SPECIES IS GROUPED CLOSELY WITH OTHERS OF ITS SPECIES IN A CLUMP. MANY POPULATIONS THAT APPEAR RANDOM AT FIRST GLANCE, UPON CAREFUL MEASUREMENT, ARE ACTUALLY CLUMPED. THEREFORE, IT IS SUGGESTED THAT GRID PATTERN SPACING BE AVOIDED AND THAT A MORE NATURALISTIC DISTRIBUTION OF PLANT SPECIES BE UTILIZED IN THE ACTUAL PLANTING OF THE PLANT SPECIES RECOMMENDED BY THIS PLAN.

NOTE: A FOREST RESOURCE ORDINANCE (FRO) PERMIT MUST BE OBTAINED FOR AND OBTAINED IN ORDER TO HAVE THE FOREST IMPROVEMENT INSPECTED. THE PERMIT IS AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS (DPW). THE PERMIT FEE IS ESTABLISHED AT 1% OF THE APPROVED COST ESTIMATE.

MAINTENANCE TIMETABLE

MONITOR PROGRESS (FOR 2 YEARS)..... EACH MID MARCH, JULY & MID NOVEMBER

CONTROL OF COMPETING VEGETATION..... AS NEEDED MARCH THRU AUGUST

FERTILIZATION (AS NEEDED FOR 2 YEARS)..... EACH AUGUST THRU DECEMBER

WATERING (2 YEARS)..... YEAR LONG ON AN AS NEEDED BASIS

SPRAYING OF PESTICIDES AND HERBICIDES (2 YEARS)..... AS NEEDED THROUGH GROWING SEASON

PROTECTIVE FENCING (2 YEARS)..... TWO COMPLETE GROWING SEASONS

PROTECTIVE SIGNAGE (2 YEARS)..... TWO COMPLETE GROWING SEASONS

PLANTING SPECIFICATIONS

1. BARE ROOT STOCK SHALL BE PACKAGED AND HANDLED IN TRANSPORT AND IN THE FIELD SO AS TO RETAIN MOISTURE IN THE ROOTS AT ALL TIMES.
2. IF SEEDLINGS CANNOT BE PLANTED WITHIN TWO (2) DAYS OF SHIPMENT, THEY SHALL BE HEELED IN (SEE DETAIL), AND MUST BE PLANTED BEFORE THEY START TO GROW.
3. EXISTING SOIL SHALL BE TREATED SO AS TO ELIMINATE ANY HERBICIDES OR PESTICIDES THAT MAY HAVE BEEN APPLIED DURING PREVIOUS AGRICULTURAL USE. SOIL AMENDMENTS SUCH AS LIME AND FERTILIZER SHALL BE ADDED AT A RATE DETERMINED BY SOIL ANALYSIS.
4. SITE SPECIFIC SOIL SAMPLING SHALL BE PERFORMED BY THE CONTRACTOR TO DETERMINE NECESSARY SOIL AMENDMENTS FOR THE PLANT MATERIALS SPECIFIED.
5. AFFORESTATION/REFORESTATION AREA SHALL HAVE ALL EXISTING VEGETATION REMOVED AND SHALL BE DISCED, PRIOR TO PLANTING OF SEEDLINGS AND WHIPS.
6. WHIPS AND SEEDLINGS SHALL BE A MINIMUM OF 1/4" TO 1/2" CALIPER WITH ROOTS NO LESS THAN 8".
7. SEEDLINGS AND WHIPS SHALL BE PLANTED IN ACCORDANCE WITH THE DETAILS PROVIDED HEREIN UNLESS OTHERWISE APPROVED BY THE PLAN PREPARER.
8. NO SUBSTITUTIONS OF THE PLANT MATERIAL WILL BE PERMITTED WITHOUT THE CONSENT OF THE PLAN PREPARER AND THE LOCAL INSPECTOR.
9. DEVIATION FROM THESE SPECIFICATIONS AND DETAILS MAY BE MADE ONLY WITH APPROVAL OF THE LOCAL INSPECTOR AND THE PLAN PREPARER.
10. WHIPS SHALL CONSTITUTE 50% OF EACH SPECIES OF PLANT STOCK SPECIFIED AND SHALL BE PLANTED AROUND THE PERIMETER OF THE AFFORESTATION/REFORESTATION AREA.
11. AFTER ALL TREE PLANTINGS ARE COMPLETED, THE SITE SHALL BE OVERSEEDDED WITH A NURSE CROP CONSISTING OF A MIXTURE OF WHITE DUTCH CLOVER, LADINO CLOVER AND ANNUAL RYE GRASS AT THE FOLLOWING RATE:
- WHITE DUTCH CLOVER @ 3lb./ACRE
 - LADINO CLOVER @ 3lb./ACRE
 - ANNUAL RYE @ 2lb./ACRE

SHORT TERM OR TWO YEAR MAINTENANCE AGREEMENT

OWNER / DEVELOPER AGREES TO CONDUCT REFORESTATION AND/OR AFFORESTATION OF THE PROPERTY IN ACCORDANCE WITH THE FOREST CONSERVATION PLAN, AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION. THE FORESTATION SHALL BE PLANTED BY OWNER / DEVELOPER OR AN AGENT OF THE LANDOWNER IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROVED PLAN.

1. PROTECTIVE FENCING AND SIGNAGE WILL BE MAINTAINED ON THE PERIMETERS OF THE FOREST RETENTION AREAS ADJACENT TO PROPOSED DISTURBANCE DURING CONSTRUCTION.
2. PROTECTIVE FENCING AND SIGNAGE WILL BE MAINTAINED ON THE PERIMETER OF THE REFORESTATION AREAS FROM THE DATE OF IMPLEMENTATION FOR A PERIOD OF TWO YEARS.
3. THE COUNTY SHALL BE PROVIDED WITH REASONABLE ACCESS TO THE AREAS OF AFFORESTATION OR REFORESTATION FOR THE PURPOSE OF INSPECTION AND/OR MAINTENANCE.
4. WHIPS AND SEEDLINGS SHALL BE TREATED WITH A PRE-PLANT ROOT DIP INOCULANT WITH BENEFICIAL MYCORRHIZAL FUNGI, TERRA-SORB WATER ABSORBENT GEL, AND NATURAL BIOSTIMULANTS TO IMPROVE AND MAINTAIN SEEDLING SURVIVAL AND GROWTH THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD THUS REDUCING THE WATERING REQUIREMENTS.
5. BIODEGRADABLE WEED PRO WEED CONTROL TREE MATS, OR EQUIVALENT WEED CONTROL MATS, SHALL BE INSTALLED FOR EACH WHIP AND SEEDLING TO CREATE A WEED BLOCKADE, THUS CONTROLLING COMPETING VEGETATION AND INVASIVE SPECIES THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.
6. EACH WHIP AND/OR SEEDLING SHALL BE PLANTED WITH A LONG LASTING TIME RELEASED FERTILIZER TABLET TO PROVIDE NECESSARY FERTILIZATION THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.
7. PHOTODEGRADABLE TREE PRO JUNIOR TREE PROTECTORS, OR EQUIVALENT TREE PROTECTORS, SHALL BE INSTALLED AROUND EACH WHIP AND/OR SEEDLING TO PROVIDE PROTECTION FROM ANIMALS AND INCREASE GROWTH POTENTIAL THROUGHOUT THE TWO YEAR MAINTENANCE PERIOD.
- NOTE: IN AREAS SUSCEPTIBLE TO ANY FLOODING AT ALL, REPLACE WOODEN STAKES WITH FIVE (5) FT. LENGTH, ONE HALF INCH DIAMETER REBAR, DRIVEN TWO (2) FT. INTO THE EARTH TO SECURE THE TREE PROTECTORS.
8. DUE TO THE INSTALLATION PROCEDURES AND PROCESS, MAINTENANCE SUCH AS FERTILIZATION, CONTROL OF INVASIVE SPECIES, SPRAYING OF INSECTICIDES, PESTICIDES, AND HERBICIDES, ETC. SHOULD BE LIMITED. HOWEVER, THE LANDSCAPE CONTRACTOR, SHALL MONITOR PROGRESS FOR A PERIOD OF TWO YEARS EACH MID MARCH, JULY, AND MID NOVEMBER AND IF DETERMINED TO BE NECESSARY, SHALL FOLLOW THE PROVISIONS OF THE MAINTENANCE TIME TABLE AND THE TREE PLANTING AND MAINTENANCE CALENDAR, SHOWN HEREON.
9. IF AT THE END OF THE TWO YEAR PERIOD, SURVIVAL IS BELOW THAT WHICH IS REQUIRED FOR THE TREES ORIGINALLY PLANTED, THEN SUPPLEMENTAL PLANTING WILL BE NECESSARY AND IMPLEMENTED AT THAT TIME. SURVIVAL RATE SHALL BE THE FULL RESPONSIBILITY OF THE OWNER/DEVELOPER.

SURETY

THE OWNER SHALL PROVIDE FINANCIAL SECURITY, AS REQUIRED, TO WASHINGTON COUNTY, MARYLAND IN THE FORM OF AN IRREVOCABLE LETTER OF CREDIT, DRAWN ON A LOCAL BANK, IN THE AMOUNT OF \$2,874.96 ESTIMATED TO COVER THE COST OF PLANTINGS, INSTALLATION, AND MAINTENANCE FOR TWO (2) COMPLETE GROWING SEASONS. IF AFTER ONE (1) YEAR OR ONE (1) COMPLETE GROWING SEASON, INSPECTION VERIFIES THAT THE PLANTING MEETS OR EXCEEDS THE REQUIRED STANDARDS, 50 PERCENT OF THE POSTED SURETY SHALL BE RETURNED UPON REQUEST BY THE PROJECT OWNER OR DEVELOPER. IF AFTER THE TWO (2) YEAR PERIOD THE SURVIVAL REQUIREMENTS HAVE BEEN MET, THE AGREEMENTS FOLLOWED IN GOOD FAITH, THE REMAINING SURETY SHALL BE RELEASED UPON FINAL INSPECTION.

LONG TERM PROTECTION

OWNER WILL EXECUTE A FOREST EASEMENT DEED PLACING A PERPETUAL FOREST CONSERVATION EASEMENT ON THE AREAS SHOWN HEREON TO BE REFORESTED, OR RETAINED UNDER THE APPROVED FOREST CONSERVATION PLAN. THIS EASEMENT, RECORDED WITH THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND PLACES RESTRICTIONS TO RUN WITH THE LAND AND BE IN PERPETUITY AND PROHIBITS ANY CLEARING OF EASEMENT AREAS, AND SHALL FURTHER PROHIBIT ANY USE WHICH IS INCONSISTENT WITH RETAINING SUCH AREAS AS NATURAL FOREST. FURTHERMORE, THE USE OF THE FOREST CONSERVATION EASEMENT AREAS ARE LIMITED TO THOSE ACTIVITIES THAT ARE CONSISTENT WITH FOREST CONSERVATION SUCH AS RECREATIONAL ACTIVITIES, FOREST MANAGEMENT, AND WILDLIFE MANAGEMENT AND ARE IN COMPLIANCE WITH WASHINGTON COUNTY'S FOREST RESOURCE INSPECTION AND MAINTENANCE COVENANTS AND AGREEMENTS. PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATIONS OF THESE RESTRICTIONS. FUTURE PROPERTY OWNERS SHALL RECEIVE TITLE TO SUCH AREAS SUBJECT TO SUCH RESTRICTIONS.



I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMAR 08.18.06.014 AND THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION HEREON SATISFIES THE REQUIREMENTS OF THE WASHINGTON COUNTY FOREST CONSERVATION ORDINANCE.

Clint E. Rock

Apr 26, 2024

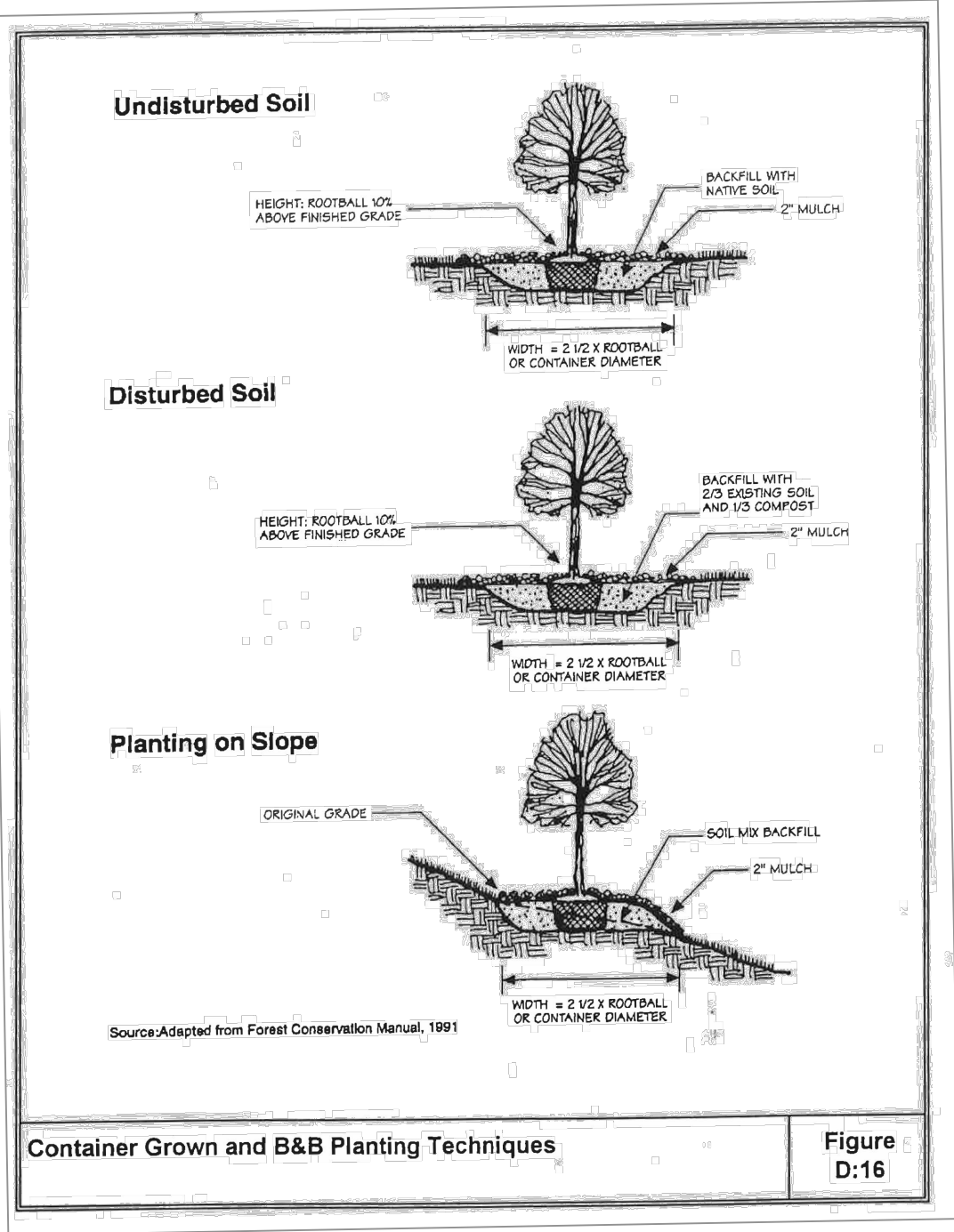
PLANT SCHEDULE FOR REFORESTATION AREA #1 - 0.18 AC.

QTY.	BOTANICAL NAME	COMMON NAME	CAL	CONDITION
12	PRUNUS SEROTINA	WILD CHERRY	1-3 GALLON	CONTAINER
12	ACER RUBRUM	RED MAPLE	1-3 GALLON	CONTAINER
12	LIRIODENDRON TULIPIFERA	YELLOW POPLAR	1-3 GALLON	CONTAINER
13	(CARYA) TOMENTOSA	MOCKERNUT HICKORY	1-3 GALLON	CONTAINER
13	QUERCUS PALUSTRIS	PIN OAK	1-3 GALLON	CONTAINER
63 TOTAL				

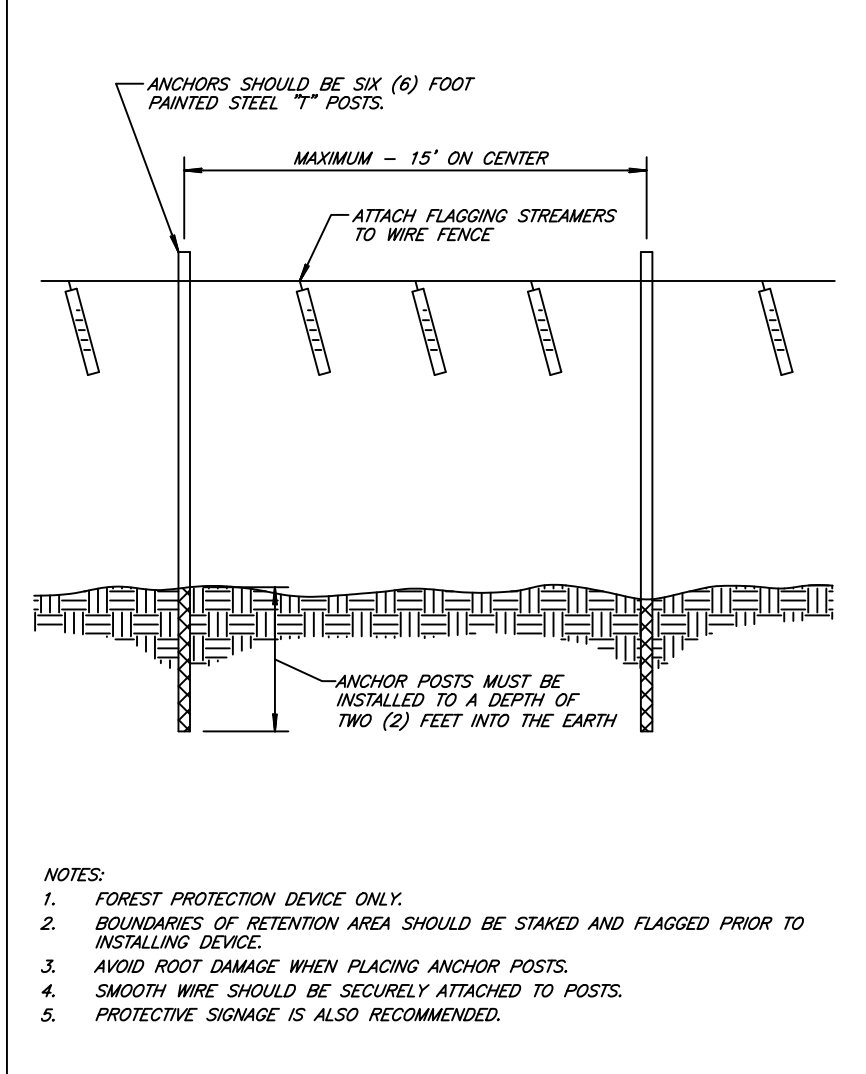
PLANT SCHEDULE FOR REFORESTATION AREA #2 - 0.03 AC.

QTY.	BOTANICAL NAME	COMMON NAME	CAL	CONDITION
2	PRUNUS SEROTINA	WILD CHERRY	1-3 GALLON	CONTAINER
2	ACER RUBRUM	RED MAPLE	1-3 GALLON	CONTAINER
2	LIRIODENDRON TULIPIFERA	YELLOW POPLAR	1-3 GALLON	CONTAINER
2	(CARYA) TOMENTOSA	MOCKERNUT HICKORY	1-3 GALLON	CONTAINER
3	QUERCUS PALUSTRIS	PIN OAK	1-3 GALLON	CONTAINER
11 TOTAL				

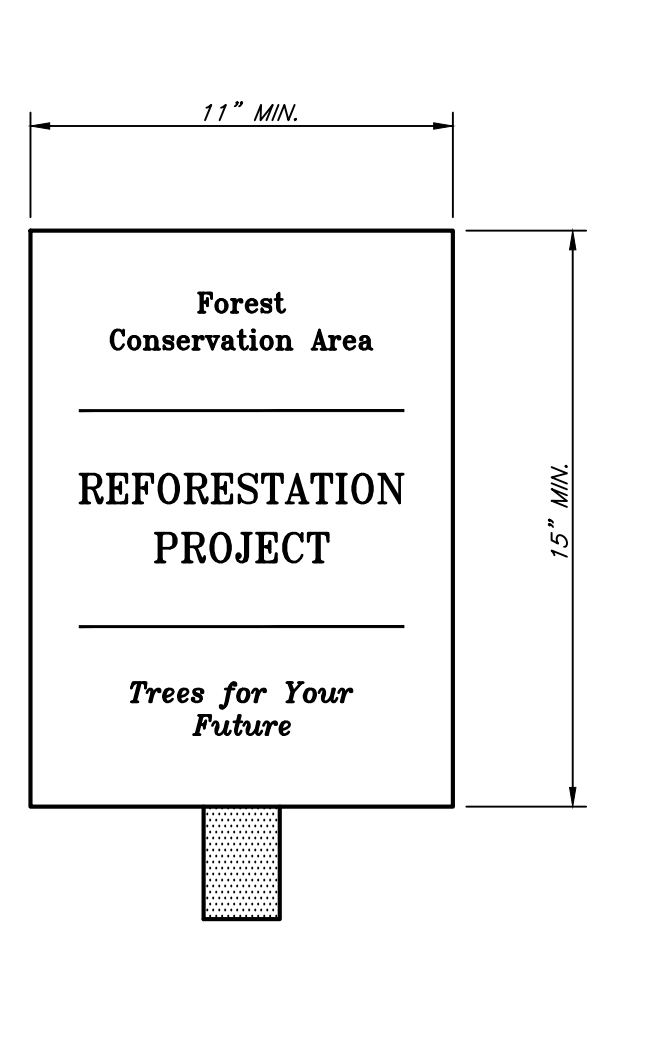
STOCKING RATE: 350 1-3 GALLON CONTAINERS / ACRE
AT 12' x 12' APPROXIMATE SPACING
SURVIVAL REQUIREMENT: 75% OR 260 / ACRE



TWO YEAR PROTECTIVE FENCING
ONE STRAND WIRE FENCE



Reforestation Protection Signage



TREE PLANTING AND MAINTENANCE CALENDAR												
	*J	*F	M	A	M	J	J	A	S	O	N	*D
TRANSPLANT OF 2" DBH OR GREATER TREES												
PLANTING SEEDLINGS AND WHIPS												
CONTROL OF INVASIVE SPECIES (MOWING OR SPRAYING) (AS NEEDED BASIS)												
FERTILIZING (AS NEEDED)												
WATERING (AS NEEDED)												
MONITORING												



FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
HAGERSTOWN, MD. 21740
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PHONE: (301)733-8503
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www.foxassocinc.com

PRELIMINARY FOREST CONSERVATION PLAN NOTES AND DETAILS

HOMEPLATE

FINAL DEVELOPMENT PLAN

SITUATE EAST OF MD RTE 64 AND NORTH OF MD RTE 77
ELECTION DISTRICT 07

TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND

SCALE: 1"=100'

PROJECT NO. 23-51234
DRAWING NO. D-9347
DATE: MARCH, 2024
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 6 OF 7

A diagram of a three-layered structure. The top layer is labeled 5 and has a diagonal hatching pattern. The middle layer is labeled 4 and has a dotted pattern. The bottom layer is labeled 2 and has a cross-hatching pattern. A label 1 points to the interface between the bottom layer and the middle layer. A label 3 points to the interface between the top layer and the middle layer. Arrows on the left and right sides indicate the direction of the layers.

- PAVEMENT SECTION IS BASED UPON A TRUCKS ADT OF 2,500 (TOTAL OF ALL LANES, BOTH DIRECTIONS), WITH A MAXIMUM OF 1.0% TRUCKS. "TRUCKS" SHALL BE DEFINED AS THOSE VEHICLES SATISFYING ANY OF THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION VEHICLE TYPE CLASSIFICATIONS NUMBER 4 (BUSES) THROUGH NUMBER 13 (SEVEN OR MORE AXLE MULTI-TRAILER TRUCKS).
- PAVEMENT SECTION IS BASED UPON A RESILIENT MODULUS OF 7,500 PSI (APPROX. CBR= 5)

A diagram showing a cross-section of a rock structure with three distinct layers. The top layer is hatched with diagonal lines, the middle layer is stippled, and the bottom layer is hatched with a brick-like pattern. Five points are marked: point 5 is in the top layer; point 4 is at the boundary between the top and middle layers; point 3 is in the middle layer; point 2 is at the boundary between the middle and bottom layers; and point 1 is in the bottom layer.

PAVEMENT SECTION IS BASED UPON A MAXIMUM AADT OF 7,000 (TOTAL OF ALL LANES, BOTH DIRECTIONS), WITH A MAXIMUM OF 1,500 TRUCKS. "TRUCKS" SHALL BE DEFINED AS THOSE VEHICLES SATISFYING ANY OF THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION VEHICLE TYPE CLASSIFICATIONS NUMBER 4 (BUSES) THROUGH NUMBER 13 (SEVEN OR MORE AXLE MULTI-TRAILER TRUCKS).

PAVEMENT SECTION IS BASED UPON A RESILIENT MODULUS OF 7,500 PSI (APPROX. CBR = 5)

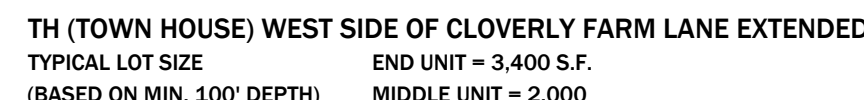
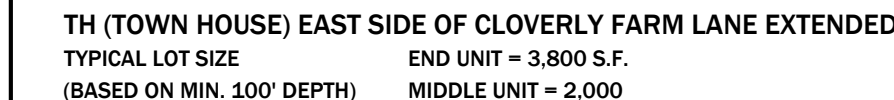
The image displays three cross-sectional diagrams of a curb and gutter assembly, each with specific dimensions and material specifications.

- Parking Curb & Gutter Section:**
 - Top width: 6" (curb) + 1" (batter) = 7" total.
 - Vertical dimensions: 6" (curb height), 12" (gutter depth), 8" (total depth).
 - Labels: "1R" (radius), "GUTTER PAN STD. SLOPE 1/2" PER FT. SEE NOTE #2 FOR EXCEPTIONS.", "PAVEMENT SECTION", "MD S.H.A. GRADED AGGREGATE-BASE", "6" MIN. TYP." (base width).
- No Parking Curb & Gutter Section:**
 - Top width: 6" (curb) + 1" (batter) = 7" total.
 - Vertical dimensions: 8" (curb height), 12" (gutter depth), 8" (total depth).
 - Labels: "1R" (radius), "GUTTER PAN STD. SLOPE 1/2" PER FT. SEE NOTE #2 FOR EXCEPTIONS.", "PAVEMENT SECTION", "MD S.H.A. GRADED AGGREGATE-BASE", "6" MIN. TYP." (base width).
- Arterial Street Curb & Gutter Section:**
 - Top width: 6" (curb) + 1" (batter) = 7" total.
 - Vertical dimensions: 8" (curb height), 12" (gutter depth), 10" (total depth).
 - Labels: "1R" (radius), "GUTTER PAN STD. SLOPE 1/2" PER FT. SEE NOTE #2 FOR EXCEPTIONS.", "PAVEMENT SECTION", "MD S.H.A. GRADED AGGREGATE-BASE", "6" MIN. TYP." (base width).

Below each diagram is a descriptive text block:

- PARKING:** USE THIS CURB & GUTTER SECTION ON BOTH SIDES OF A MAJOR COLLECTOR, MINOR COLLECTOR, OR LOCAL STREET WHEN ON STREET PARKING IS PROPOSED ON ONE OR BOTH SIDES.
- NO PARKING:** USE THIS CURB & GUTTER SECTION ON BOTH SIDES OF A MAJOR COLLECTOR OR MINOR COLLECTOR WHEN ON STREET PARKING IS NOT PROPOSED.
- ARTERIAL STREET:** USE THIS CURB & GUTTER SECTION ON BOTH SIDES OF AN ARTERIAL STREET.

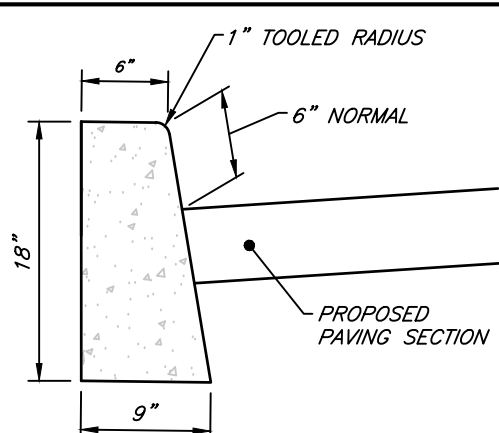
1. ALL CONCRETE FOR CURB AND GUTTER SHALL BE MD DEPT. OF TRANS. S.H.A MIX NO. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I., WITH 58-X-6 INCHES AND 2"-5" SLUMP; DO NOT ADD WATER TO SURFACES FOR FINISHING. ALL EXPOSED SURFACES SHALL HAVE A BROOK FRESHEN FINISH.
2. THE SUBGRADE SHALL BE UNDISTURBED EARTH OR SHALL BE COMPACTED TO RECEIVE GRADE AGGREGATE-BASE STONE BED. ALL
3. EXCAVATED AREAS SHALL MATCH ADJACENT EXISTING DRIVEWAYS, SIDEWALKS, CEMENT CONC. DRIVEWAYS, SIDEWALKS, AND CURBS.
4. EXPANSION JOINT MATERIAL WILL BE POSITIONED TO ALLOW FOR THE REQUIRED 1/2" DEPTH TWO PART ELASTOMERIC GUN-GRADED POLYISOPRENE SEALANT.
5. THE GUTTER PAN SLOPE SHALL BE 1/2" PER FOOT EXCEPT THROUGH SUPERELEVATED SECTIONS OR WHERE STREETS HAVE FULL WIDTH CROSS SLOPE (NO CROWN), THEN THE GUTTER PAN ON THE HIGH SIDE OF THE STREET SHALL SLOPE TO MATCH THE ADJUVANT PAVEMENT. THE CURB AND
6. EXCAVATED SUBGRADE SHALL BE UNDISTURBED EARTH, OR SHALL BE COMPACTED TO RECEIVE GRADE AGGREGATE-BASE STONE BED. ALL
7. EXCAVATIONS SHALL MATCH ADJACENT EXISTING DRIVEWAYS, SIDEWALKS, CEMENT CONC. DRIVEWAYS, SIDEWALKS, AND CURBS.
8. PROCTOR (ASTM D1557 - 98) OR ASHMO T(160) WITH A PLASTE MOISTURE CONTENT OF APPROXIMATELY 32% OF THE OPTIMUM MOISTURE
9. CONTENT. THE CONTRACTOR SHALL DRY OR WET SOIL TO ACHIEVE SATISFACTORY RESULTS, INCIDENTAL TO THIS ITEM.

[illegible]

"T" DIM.	SINGLE FAMILY DRIVEWAY		DUPLEX WITH SHARED DRIVEWAY
	LOCAL STREET	OTHER STREET	
MIN.	12'	20'	25
MAX.	30'	30'	35

Diagram of a depressed pavement cross-section. The total width is 19 inches (12 inches + 7 inches). The depth is 8 inches. A 1/2 inch slope is indicated for the 12-inch section. A maximum depth of 1/2 inch is indicated for the 7-inch section. The label "DEPRESSED" is at the bottom.

1. TRANSVERSE EXPANSION JOINT TO BE PLACED AT INTERVALS NOT TO EXCEED 40 FT.
2. CONCRETE FOR CURB CONSTRUCTION SHALL BE MD S.H.A. STANDARD MIX No. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I..



CLOVERLY FARM LANE EXTENDED

10' FRONT BRL

FRONT STOOP (TYP.)

20' 20' 40' 40' 40' 20' 20'

8' SIDE BRL

8' SIDE BRL

15' REAR BRL

VARIABLES

VARIABLES

DUPLEX LOT
AVERAGE LOT SIZE = 5,170 S.F.

Diagram illustrating the cross-section of a typical local street section, showing various lanes and dimensions:

- STREET TREE (TYP.)**: Located on both sides of the street.
- 50' RIGHT-OF-WAY**: The total width of the street section.
- LANES (from left to right)**:
 - 1' SIDEWALK**
 - 4' STREET TREE (TYP.)**
 - 7' PARKING LANE**
 - 10' LANE**
 - 10' LANE**
 - 7' PARKING LANE**
 - 4' STREET TREE (TYP.)**
 - 1' SIDEWALK**
- SLOPE Varies**: Indicated on the outer edges of the sidewalk.
- Grades**:
 - $\frac{1}{2}''/\text{ft.}$ (on the sidewalk)
 - $\frac{3}{8}''/\text{ft.}$ (on the parking and travel lanes)

TYPICAL LOCAL STREET SECTION

NOTES

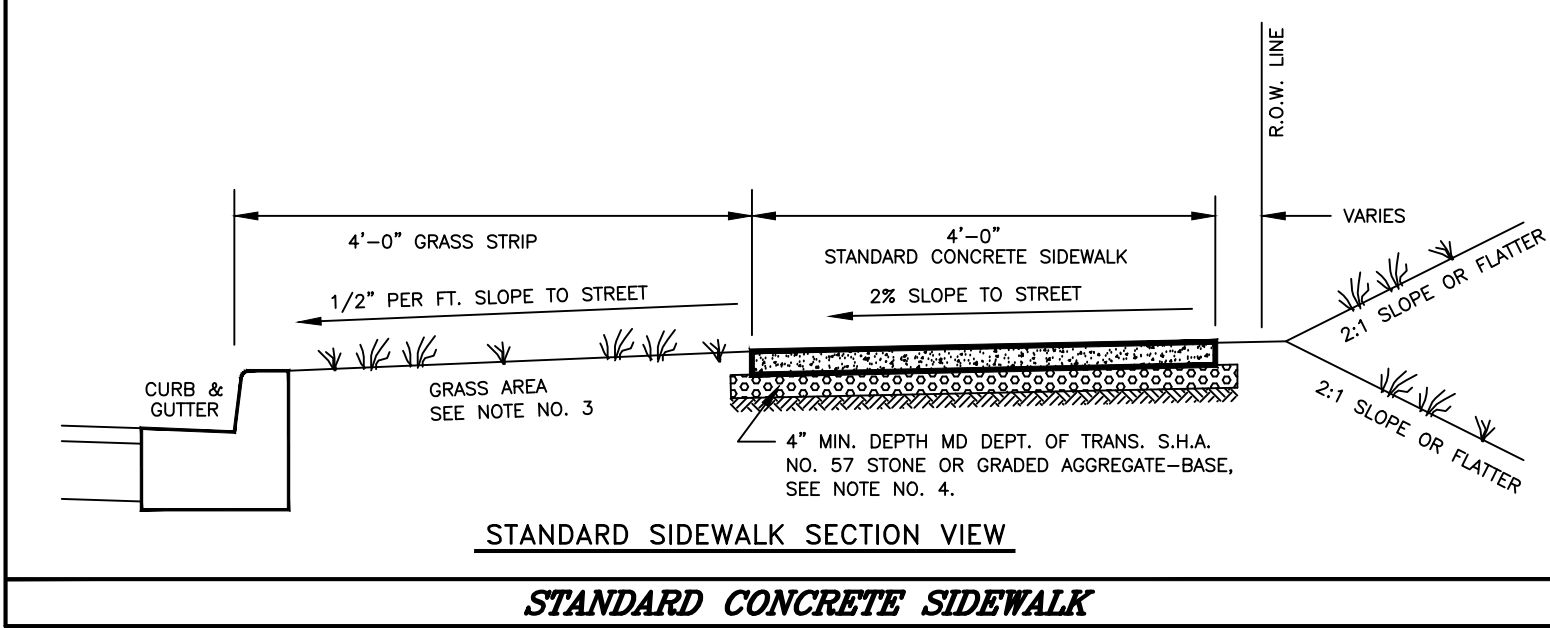
1. CONCRETE FOR STANDARD SIDEWALK SHALL BE MD DEPT. OF TRANS. S.H.A. MIX NO. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I., WITH 55-85 AIR ENTRAINMENT AND 2'-5" SLUMP. ALL EXPOSED SURFACES SHALL RECEIVE A LIGHT TRANSVERSE BROOM FINISH. DO NOT ADD WATER TO THE SURFACE FOR FINISHING. ALL STANDARD SIDEWALK SHALL BE 5'-0" WIDE BY 4" DEEP AND SHALL BE PLACED ON A BED OF 4" MIN. DEPTH MD DEPT. OF TRANS. S.H.A. NO. 57 CLEAN STONE. TRANSVERSE 1/2" BUTIRUS EXPANSION JOINTS SHALL BE LOCATED AT INTERVALS OF 40 FEET AT THE EXPANSION JOINT LOCATION IN THE CURB AND GUTTER. TOOLED TRANSVERSE JOINTS SHALL BE INSTALLED EVERY 5 FEET SO AS TO ORBATE SIDEWALK SQUARES AND EVENLY DIVIDE THE 40 FEET BETWEEN THE EXPANSION JOINTS. EXPANSION JOINT MATERIAL SHALL BE POSITIONED TO ALLOW FOR THE REQUIRED 1/2" DEPTH TWO PART ELASTOMERIC GUN-GRADE POLYSULFIDE SEALANT, SONNEBORN SONOLASTIC OR AN APPROVED EQUAL. SAW CUT JOINTS WILL ALSO RECEIVE THIS SEALANT, BUT AT A 3/8" DEPTH. COVER ALL SEALANT WITH FINE SAND TO REDUCE TRACKING.
2. ALL STANDARD CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE "AMERICANS WITH DISABILITIES ACT" (A.D.A.) REQUIREMENTS. REFER TO SECTION 4.3 FOR INFORMATION CONCERNING "ACCESSIBLE ROUTE".
3. ALL GRASS AREAS ADJACENT TO THE CONCRETE SIDEWALK SHALL RECEIVE A 4" MINIMUM DEPTH OF TOPSOIL AND MD DEPT. OF TRANS. S.H.A. MIX NO. 1 GRASS SEED, SAND, AND MULCH.
4. NO. 57 STONE SHALL BE AGITATED, VIBRATED, OR OTHERWISE SETTLED IN PLACE. GRADED AGGREGATE-BASE SHALL BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 92% OF THE MAXIMUM DRY DENSITY OF THE 40 FEET VECTOR (ASTM D1557-78, OR AASHTO T-180) WITH AN IN PLACE MOISTURE CONTENT OF APPROXIMATELY ±2% OF THE OPTIMUM MOISTURE CONTENT.

3. CONCRETE FOR STANDARD SIDEWALK SHALL BE M DPT. OF TRANS. S.H.A. MIX NO. 3, WITH A 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I., AND SHALL BE PLACED IN THE FORMS TO THE FINISHED SURFACE OF THE CURB. ALL JOINTS SHALL BE KEPT OPEN UNTIL THE CURB IS SET AND WATER TO THE SURFACE FOR FINISHING. ALL STANDARD SIDEWALK SHALL BE 6' WIDE BY 4" DEEP AND SHALL BE PLACED ON A BED OF CRUSHED GRANITE OR QUARTZITE SANDSTONE OF APPROXIMATELY 1/2" MAXIMUM SIZE. ALL JOINTS SHALL BE PLACED AT INTERVALS OF 40 FEET AT THE EXPANSION JOINT IN THE CURB AND JOINTS. TOOLED TRANSVERSE JOINTS SHALL BE INSTALLED EVERY 10 FEET. ALL JOINTS SHALL BE KEPT OPEN UNTIL THE CURB IS SET AND WATER TO THE SURFACE FOR FINISHING. ALL JOINTS WILL BE POSITIONED TO ALLOW FOR THE REQUIRED 1/2" DEPTH TWO PART ELASTOMERIC GUN-GRAD POLYISOBUTYLENE SEALANT, SONNBERGER SONALOGIC OR EQUIVALENT. ALL JOINTS SHALL BE KEPT OPEN UNTIL THE CURB IS SET AND WATER TO THE SURFACE FOR FINISHING.

4. CONCRETE FOR STANDARD SIDEWALK SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE "AMERICANS WITH DISABILITIES ACT" (ADA) REQUIREMENTS. REFER TO SECTION 4.3 FOR INFORMATION CONCERNING "ACCESSIBLE ROUTES".

5. REPAIRS TO EXISTING SIDEWALK SHALL BE MADE TO MATCH THE EXISTING SIDEWALK AND DISPOSAL AND M.D.P.T. OF TRANS. S.H.A. MIX NO. 1, GRASS SEED, AND MULCH.

6. SIDEWALK SHALL NOT BE VIBRATED, OR OTHERWISE SETTLED IN PLACE. GRADED AGGREGATE-BASE SHALL BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 92% OF THE MAXIMUM DRY DENSITY OF THE MODIFIED PROPORTION (ASTM D1557-T-80, OR MSHTO T-180) WITHIN AN IN PLACE LAYER OF 4" TO 6" THICKNESS.



SIDEWALK

www.foxassociatesinc.com
Email: foxassoc@foxassociatesinc.com

REVISION

DATE _____

SITUATE EAST OF MD RTE 64 AND NORTH OF MD RTE 77
ELECTION DISTRICT 07
TOWN OF SMITHSBURG, WASHINGTON COUNTY, MARYLAND

STATE OF MARYLAND
GORDON SCOTT POFFENBERGER
PROFESSIONAL ENGINEER
2706

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 23-51234
DRAWING NO. D-9347
DATE: MARCH, 2024
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 7 OF 7

Plan Review Projects Initialized - April 01, 2024 - April 30, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-24-009	Final Plat	In Review	01-Apr-24	ELMWOOD FARM SECT 5C FINAL PLAT	10110 WILKES DRIVE WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	
FP-24-002	Forest Conservation Plan	In Review	16-Apr-24	HOMEPLATE MXD FINAL DEVELOPMENT PLAN	12230 CLOVERLY FARM LANE SMITHSBURG, MD 21783	FOX & ASSOCIATES INC	CLOVERLY HILL LLC
FS-24-007	Forest Stand Delineation	Approved	05-Apr-24	FOREST STAND DELINEATION FOR JAMES CLARK	1928 REED ROAD KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	James Clark
SIM24-021	IMA	Active	04-Apr-24	NORTH END STORAGE II PHASE 2	19729 LONGMEADOW ROAD, BUILD# 1 HAGERSTOWN, MD 21742	TRIAD ENGINEERING	OLIVER JOHN R COMPANY INC
SIM24-022	IMA	Active	08-Apr-24	5933 CLEVELANDTOWN ROAD BO	5933 CLEVELANDTOWN ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	PALMER STEVEN MICHAEL PALMER WILLIAMS CRYSTAL ANN
SIM24-023	IMA	Active	09-Apr-24	21115 MOUSETOWN ROAD BO	21115 MOUSETOWN ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	MICHELE A MCKENNA REVOCABLE TRUST MCKENNA MICHELE A TRUSTEE
SIM24-024	IMA	Active	09-Apr-24	114 HARVARD ROAD HN	114 HARVARD ROAD HAGERSTOWN, MD 21742	TRIAD ENGINEERING	MASN RELATY LLC
SIM24-025	IMA	Active	09-Apr-24	12706 SPICKER ROAD CS	12706 SPICKLER ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	SHEHADI DAVID E
SIM24-026	IMA	Active	11-Apr-24	20315 BEAVER CREEK ROAD HN	20315 BEAVER CREEK ROAD HAGERSTOWN, MD 21740	BRAVO DESIGN & BUILD LLC	BAY RIDGE BUILDERS LLC
SIM24-027	IMA	Active	12-Apr-24	13251 STUTZ LANE HN		APEX LAND SOLUTIONS LLC	CRAIG RALPH DAVID
SIM24-028	IMA	Active	18-Apr-24	14646 CEARFOSS PIKE HN	14646 CEARFOSS PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	RIDER LAURA ANN ELIZABETH
SIM24-029	IMA	Active	18-Apr-24	7301 MONROE ROAD BO	7301 MONROE ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	WILHIDE MARK
SIM24-030	IMA	Active	23-Apr-24	REGENT PARK	20111 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
SIM24-031	IMA	Active	23-Apr-24	12001 HOPEWELL ROAD PHASE 1	12025 HOPEWELL ROAD HAGERSTOWN, MD 21740	PENNONI ASSOCIATES INC	E AND A HAGERSTOWN LLC
OM-24-002	Ordinance Modification	Approved	22-Apr-24	LLOYD GEARHART LOT 1	11326 MARBERN ROAD HAGERSTOWN, MD 21740		GEARHART LLOYD W JR
S-24-010	Preliminary-Final Plat	Revisions Required	08-Apr-24	ROBERT HILL FARM LOT 5	18821 MANOR CHURCH ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	HILL ROBERT J
S-24-011	Preliminary-Final Plat	In Review	09-Apr-24	LLOYD GEARHART LOT 1	11328 MARBERN ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	GEARHART LLOYD W JR
S-24-012	Preliminary-Final Plat	Revisions Required	10-Apr-24	ELDRIDGE FRAZIER, JR	24111 RAVEN ROCK ROAD SMITHSBURG, MD 21783	R LEE ROYER & ASSOCIATES	FRAZIER ELDRIDGE LAVADA JR
PWA2024-003	PWA	Active	23-Apr-24	REGENT PARK	20111 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
PWA2024-004	PWA	Active	29-Apr-24	12001 HOPEWELL ROAD PHASE 1	12025 HOPEWELL ROAD HAGERSTOWN, MD 21740	PENNONI ASSOCIATES INC	E AND A HAGERSTOWN LLC
SP-20-020.R02	Redline Revision	Approved	03-Apr-24	REDLINE TO CHANGE THE USE OF 1800 SF RETAIL SPACE TO A RESTAURANT	18113 MAUGANS AVE, SUITE# 101 HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DOMINION REALTY LLC ATTN: MICHAEL GODINEZ

Plan Review Projects Initialized - April 01, 2024 - April 30, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SP-22-016.R01	Redline Revision	Approved	19-Apr-24	REDLINE REVISION TO CONSTRUCT THE SECOND/FUTURE GUARD SHACK AT A DIFFERENT LOCATION	16822 NATIONAL PIKE HAGERSTOWN MD 21740	FREDERICK SEIBERT & ASSOCIATES	NP NATIONAL PIKE LOGISTICS I LLC
SI-24-011	Simplified Plat	Pending	26-Apr-24	CATHY SCOTT PARCEL B	17000 SHEPHERDSTOWN PIKE SHARPSBURG, MD 21782		SCOTT CATHY A
SP-24-014	Site Plan	Received	16-Apr-24	CLEVER TRANSPORT CHANGE OF USE SITE PLAN	17950 MAUGANS AVENUE MAUGANSVILLE, MD 21767	FOX & ASSOCIATES INC	CLEVER HOLDINGS LLC
SP-24-015	Site Plan	In Review	29-Apr-24	55 WEST OAK RIDGE DRIVE BUILDING 1 TENANT FIT-OUT	55 WE OAK RIDGE DRIVE HAGERSTOWN, MD 21740	LANGAN ENGINEERING & ENVIRONMENTAL SERVICES	HAGERSTOWN INDUSTRIAL PROPERTIES L
GP-24-004	Site Specific Grading Plan	Pending	30-Apr-24	CASEY BELL RED HILL RD		MORRIS & RITCHIE ASSOCIATES, INC.	WEAVER GARY J & WEAVER PAMELA A
SGP-24-023	Standard Grading Plan	In Review	03-Apr-24	DON YOUNKER	20013 TOMS ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	LINE WALTER E
SGP-24-024	Standard Grading Plan	Approved	09-Apr-24	CHRIS SHAFFER	4820 FOX DEN LANE SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	GOODWIN LUANA G
SGP-24-025	Standard Grading Plan	Approved	12-Apr-24	REYNOLDS HOUSE	11307 WHITE HALL ROAD SMITHSBURG, MD 21783	J.R. SERVICES LLC	Joel Reynolds
SGP-24-026	Standard Grading Plan	In Review	19-Apr-24	JEFFREY S HALL	14549 EDMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	HALL JEFFREY S HALL KIMBERLY K
SGP-24-027	Standard Grading Plan	In Review	25-Apr-24	MATTHEW BROCKWAY	20512 SILK TREE COURT HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	BROCKWAY MATTHEW M BROCKWAY NATALIE P
SGP-24-028	Standard Grading Plan	Approved	25-Apr-24	ELMWOOD FARM OFFSITE WATERLINE	16635 INDUSTRIAL LANE WILLIAMSPORT, MD 21795		ANTIETAM STORAGE SOLUTIONS LLC
SGP-24-029	Standard Grading Plan	In Review	29-Apr-24	TIM WRIDE	6020 RIVER ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	WRIDE TIMOTHY B
SSWP24-016	Stormwater Standard Plan	In Review	01-Apr-24	COREYS CONSTRUCTION - PRATT	1042 HARPERS FERRY ROAD KNOXVILLE, MD 21758		PRATT JOSHUA DEAN
SSWP24-018	Stormwater Standard Plan	Approved	12-Apr-24	REYNOLDS HOUSE	11307 WHITE HALL ROAD SMITHSBURG, MD 21783	J.R. SERVICES LLC	Joel Reynolds
SSWP24-019	Stormwater Standard Plan	In Review	19-Apr-24	JEFFREY S HALL	14539 EDMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	HALL JEFFREY S HALL KIMBERLY K
SSWP24-020	Stormwater Standard Plan	Approved	25-Apr-24	MATTHEW BROCKWAY		FREDERICK SEIBERT & ASSOCIATES	BROCKWAY MATTHEW M BROCKWAY NATALIE P
SSWP24-021	Stormwater Standard Plan	In Review	26-Apr-24	DON YOUNKER	20013 TOMS ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	LINE WALTER E
SSWP24-022	Stormwater Standard Plan	In Review	29-Apr-24	TIM WRIDE	6020 RIVER ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	WRIDE TIMOTHY B
S-24-013	Subdivision Replat	Final Copies Due	15-Apr-24	PEMBERTON SECTION D LOT D-9 REPLAT	9834 PEMBROKE DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	VOOTLA TEJASWI VOOTLA VAMSHIDHAR
S-24-014	Subdivision Replat	In Review	19-Apr-24	LAPKOFF REPLAT LOT 5 & PARCEL A	20313 LOCUST GROVE ROAD ROHRERSVILLE, MD 21779	FREDERICK SEIBERT & ASSOCIATES	LAPKOFF THEODORE LAPKOFF SHARON

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Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
TYU-24-006	Two Year Update	In Review	23-Apr-24	FORTY WEST LANDFILL - CELL 5 & 8 EXCAVATION PLAN	NORTH SIDE OF NATIONAL PIKE	WASHINGTON COUNTY ENGINEERING & CONSTRUCTION DEPT.	WASH CO COMMISSIONERS

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-01477	Entrance Permit	Approved	01-Apr-24	SEMI-DETACHED HOME	S-21-031 19621 LAVENDER LANE, LOT 105		DAN RYAN BUILDERS MID ATLANTIC INC
2024-01483	Entrance Permit	Approved	01-Apr-24	SEMI-DETACHED HOME	S-21-031 19623 LAVENDER LANE, LOT 106		DAN RYAN BUILDERS MID ATLANTIC INC
2024-01566	Entrance Permit	In Progress	05-Apr-24	STICK BUILT HOME	S-24-011 11328 MARBERN ROAD, LOT 1		GEARHART LLOYD W JR
2024-01607	Entrance Permit	Approved	08-Apr-24	STICK BUILT HOME	S-18-035 9438 ALLOWAY DRIVE, LOT 214		WESTFIELDS INVESTMENT LLC
2024-01610	Entrance Permit	Approved	08-Apr-24	STICK BUILT HOME	S-18-035 9413 ALLOWAY DRIVE, LOT 220		WESTFIELDS INVESTMENT LLC
2024-01620	Entrance Permit	In Progress	08-Apr-24	STICK BUILT HOME	S-06-100 7624 SHENANDOAH COURT, LOT 4		OLIVER JOHN R CO INC
2024-01626	Entrance Permit	Approved	09-Apr-24	STICK BUILT HOME	S-18-035 9412 ALLOWAY DRIVE, LOT 228		DRB GROUP MID ATLANTIC LLC
2024-01630	Entrance Permit	In Progress	09-Apr-24	STICK BUILT HOME	4820 FOX DEN LANE, LOT 2		CHRISTOPHER SHAFFER
2024-01679	Entrance Permit	In Progress	10-Apr-24	COMMERCIAL	SP-23-047 13721 OLIVER DRIVE, LOT 1		GHATTAS ENTERPRISES MAUGANS AVE LTD PARTNERSHIP
2024-01837	Entrance Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-18-035 9371 ALLOWAY DRIVE, LOT 772		WESTFIELDS INVESTMENT LLC
2024-01842	Entrance Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-18-035 9344 ALLOWAY DRIVE, LOT 764		DRB GROUP MID ATLANTIC LLC
2024-01846	Entrance Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-18-035 9376 ALLOWAY DRIVE, LOT 224		DRB GROUP MID ATLANTIC LLC
2024-01849	Entrance Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-22-041 11307 WHITE HALL ROAD, LOT 1		WALTZ MARK E
2024-01858	Entrance Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-05-118 14549 EDGEMONT ROAD, LOT 2		HALL JEFFREY S HALL KIMBERLY K
2024-01871	Entrance Permit	Approved	19-Apr-24	FOREST HARVEST	BUENA VISTA ROAD		MOHN RANDY L MOHN ROLAND L
2024-01873	Entrance Permit	In Progress	19-Apr-24	STICK BUILT HOME	S-15-009 10839 HERSHEY DRIVE, LOT 571		CROWN INCORPORATED OF HAGERSTOWN MARYLAND
2024-02026	Entrance Permit	In Progress	25-Apr-24	STICK BUILT HOME	S-22-012 19005 AMESBURY ROAD, LOT 63		PARADISE HEIGHTS LAND
2024-02068	Entrance Permit	Approved	26-Apr-24	KANE TAO DRIVEWAY ENTRANCE			TAO KANE
2024-02089	Entrance Permit	In Progress	30-Apr-24	STICK BUILT HOME	LOR 20512 SILK TREE COURT, LOT 5	SL KOONTZ CONTRACTORS, LLC	BROCKWAY MATTHEW M BROCKWAY NATALIE P
2024-01544	Entrance Permit	Review	04-Apr-24	COMMERCIAL	SP-22-028 12025 HOPEWELL ROAD		E AND A HAGERSTOWN LLC
2024-01548	Floodplain Permit	Review	04-Apr-24	GRADING	SP-22-028 12025 HOPEWELL ROAD		E AND A HAGERSTOWN LLC
2024-01479	Grading Permit	Approved	01-Apr-24	ROSEHILL MANOR LOT #105	S-21-031 19621 & 19623 LAVENDER LANE, LOTS 105 & 106		DAN RYAN BUILDERS MID ATLANTIC INC
2024-01608	Grading Permit	Approved	08-Apr-24	WESTFIELDS LOT #214	S-18-035 9438 ALLOWAY DRIVE, LOT 214		WESTFIELDS INVESTMENT LLC
2024-01611	Grading Permit	Approved	08-Apr-24	WESTFIELDS LOT #220	S-18-035 9413 ALLOWAY DRIVE, LOT 220		WESTFIELDS INVESTMENT LLC
2024-01627	Grading Permit	Approved	09-Apr-24	WESTFIELDS LOT #228	S-18-035 9412 ALLOWAY DRIVE, LOT 228		DRB GROUP MID ATLANTIC LLC
2024-01633	Grading Permit	In Progress	09-Apr-24	CHRIS SHAFFER	4820 FOX DEN LANE, LOT 2		GOODWIN LUANA G
2024-01680	Grading Permit	In Progress	10-Apr-24	COMMERCIAL	SP-23-047 13721 OLIVER DRIVE, LOT 1		GHATTAS ENTERPRISES MAUGANS AVE LTD PARTNERSHIP
2024-01786	Grading Permit	Approved	16-Apr-24	STICK BUILT HOME	S-22-014 13329 LITTLE ANTIETAM ROAD, LOT 5	MT. TABOR BUILDERS	ROLLINS ROBERT H III SCULLY CYNTHIA A
2024-01839	Grading Permit	In Progress	18-Apr-24	WESTFIELDS LOT #772	S-18-035 9371 ALLOWAY DRIVE, LOT 772		WESTFIELDS INVESTMENT LLC
2024-01843	Grading Permit	In Progress	18-Apr-24	WESTFIELDS LOT #764	S-18-035 9344 ALLOWAY DRIVE, LOT 764		DRB GROUP MID ATLANTIC LLC
2024-01847	Grading Permit	In Progress	18-Apr-24	WESTFIELDS LOT #224	S-18-035 9376 ALLOWAY DRIVE, LOT 224		DRB GROUP MID ATLANTIC LLC
2024-01850	Grading Permit	In Progress	18-Apr-24		S-22-041 11307 WHITE HALL ROAD, LOT 1		WALTZ MARK E
2024-01859	Grading Permit	In Progress	18-Apr-24	STICK BUILT HOME	S-05-118 14549 EDGEMONT ROAD, LOT 2		HALL JEFFREY S HALL KIMBERLY K
2024-02027	Grading Permit	In Progress	25-Apr-24		S-22-012 19005 AMESBURY ROAD, LOT 63		PARADISE HEIGHTS LAND

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Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-02085	Grading Permit	Pending Information	30-Apr-24		LOR RED HILL ROAD, LOT 3		WEAVER GARY J & WEAVER PAMELA A
2024-02090	Grading Permit	In Progress	30-Apr-24	STICK BUILT HOME	LOR 20512 SILK TREE COURT, LOT 5	SL KOONTZ CONTRACTORS, LLC	BROCKWAY MATTHEW M BROCKWAY NATALIE P
2024-01532	Grading Permit	Approved	03-Apr-24	GRADING PERMIT - HAGERSTOWN AIRPORT - TAXIWAY F	SP-12-025 18165 AIR PARK ROAD		WASH CO COMMISSIONERS
2024-01535	Grading Permit	Review	03-Apr-24	12001 HOPEWELL ROAD PHASE 1	SP-22-028 12025 HOPEWELL ROAD		E AND A HAGERSTOWN LLC
2024-01840	Non-Residential Ag Certificate	Approved	18-Apr-24	FARM BUILDING	LOR 14847 FAIRVIEW ROAD		ARENA ANTHONY P
2024-01658	Non-Residential New Construction Permit	Review	09-Apr-24	COMMERCIAL	SP-23-047 13721 OLIVER DRIVE, LOT 1	FOX & ASSOCIATES INC	GHATTAS ENTERPRISES MAUGANS AVE LTD PARTNERSHIP
2024-02022	Non-Residential New Construction Permit	Review	25-Apr-24	COMMERCIAL	SP-23-005 13316 MARSH PIKE		OBIDI HOLDINGS LLC
2023-04688.R01	Revision	Approved	01-Apr-24	2023-04688- REVISION- SITE PLAN	S-21-006 7060 GILARDI ROAD, LOT 1	PERSONALIZED HOME SOLUTIONS, LLC	REITER WILLIAM A ENGLEHART SARAH E
2018-00953.R01	Revision	Review	25-Apr-24		17208 TAYLORS LANDING RD SHARPSBURG, MD 21782	ALEXANDER WALTER	JOHNSON WILLIAM R & JOHNSON ROBIN J
2024-01524	Utility Permit	Approved	03-Apr-24	VERIZON	JEROME RD	VERIZON	CUSTER DANIEL
2024-01546	Utility Permit	Review	04-Apr-24	COMCAST	TIMOTHY DRIVE, TAMARACK DRIVE, CARLYLE COURT		MALOTT CHRISTOPHER & PAMELA
2024-01547	Utility Permit	Review	04-Apr-24	COMCAST	10915 DECKER AVENUE		UNGER JASON A & UNGER MEGAN MARIE
2024-01691	Utility Permit	Approved	11-Apr-24	POTOMAC EDISON	12302 WALNUT POINT WEST	POTOMAC EDISON	YOST LARRY E JR & YOST TINA M
2024-01779	Utility Permit	Approved	16-Apr-24	VERIZON	15014 MOUNTAIN ROAD	VERIZON	HENDERSHOT EDNA MAY
2024-01788	Utility Permit	Approved	16-Apr-24	VERIZON	14724 STUMPF ROAD	VERIZON	VALLEY MEADOW FARMS LLC
2024-01789	Utility Permit	Approved	16-Apr-24	VERIZON	14668 HIGH GERMANY ROAD	VERIZON	COOPER WILLIAM WALES COOPER SUSAN WILLIAMS
2024-01790	Utility Permit	Approved	16-Apr-24	VERIZON	14307 HIXON ROAD	VERIZON	ROHM KEVIN F ROHM KAREN S
2024-01925	Utility Permit	Approved	23-Apr-24	COMCAST	5312 RED HILL ROAD		MOORE CODY W MOORE SUMMER L
2024-01968	Utility Permit	Approved	24-Apr-24		10354 SUPERCENTER DRIVE		WASHCO ARNETT FARM LLC
2024-01998	Utility Permit	Review	25-Apr-24		19645 SPRING CREEK ROAD		DIDSON DAVID J SIRFACE DAWN M
2024-02086	Utility Permit	Approved	30-Apr-24	FABRICATED EXTRUSIONS	1455 OAKMONT DRIVE	HUNTZBERRY BROTHERS	FABEXCO LLC

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	Type	Total
LandDev Total by Group: 42	Final Plat	1
	Forest Conservation Plan	1
	Forest Stand Delineation	1
	IMA	11
	Ordinance Modification	1
	Preliminary-Final Plat	3
	PWA	2
	Redline Revision	2
	Simplified Plat	1
	Site Plan	2
	Site Specific Grading Plan	1
	Standard Grading Plan	7
	Stormwater Standard Plan	6
	Subdivision Replat	2
	Two Year Update	1
Permits Total by Group: 55	Entrance Permit	20
	Floodplain Permit	1
	Grading Permit	17
	Non-Residential Ag Certificate	1
	Non-Residential New Construction Permit	2
	Revision	2
	Utility Permit	12
Total		97



DEPARTMENT OF PLANNING & ZONING
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

MEMORANDUM

TO: Planning Commission members

FROM: Jill Baker, Director 

DATE: May 28, 2024

RE: Delegation of approval authority related to Administrative Amendments of the Water and Sewerage plan

In accordance with Appendix B, Section V of the adopted Water and Sewerage Plan for the County, the Planning Commission has the authority to make administrative amendments to the Plan. There are only three (3) conditions, with very limited language, that would allow property owners to request amendments to the Plan without public comment for just cause. The conditions under which an administrative amendment can be approved include:

1. To correct omitted or inaccurate locations of existing facilities on the Plan maps.
2. To correct erroneous service priority classifications which indicate no service provided when in fact service is being provided to a particular area.
3. To correct erroneous data on existing population served, flow, and capacity data on existing facilities, and similar information which is a matter of record.

In an effort to streamline the review process for subdivision plats and site plans, Staff is requesting that the Planning Commission delegate authority to the Planning Director to approve administrative amendments meeting the criteria listed above. As is true with any decision made by the Planning Director, those aggrieved by the decision may appeal to the Planning Commission for further consideration.