



DEPARTMENT OF PLANNING & ZONING  
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

**AGENDA**  
**WASHINGTON COUNTY PLANNING COMMISSION**  
**100 W Washington Street, Room 2000**  
**April 6, 2026, 6:00 PM**

**CALL TO ORDER AND ROLL CALL**

**REZONING PUBLIC INPUT MEETING**

1. **2003 Mason Dixon LLC [WS-25-004]** – Travis Allen \* ***Information/Discussion***  
Proposed amendment to the Water & Sewerage Plan to change the priority classification for water and sewer service from W-5/S-5 to W-3/S-3 and to recognize the public water distribution and public wastewater system of Antrim Township Municipal Authority to provide these services; Location: 17939 Mason Dixon Road
2. **Danielle Eyler Durning [RZ-26-001]** – Travis Allen \* ***Information/Discussion***  
Proposed text amendment to amend sections of the Zoning Ordinance to define the term “small box variety store” and to restrict the location of these types of stores within 1,000 feet of a property with a historic designation or subject to a historic trust easement in the rural zoning districts of Washington County.

**NEW BUSINESS**

**MINUTES**

1. March 2, 2026 Planning Commission meeting minutes \* ***Discussion/Action***

**SITE PLANS**

1. **Terminal Building Expansion [SP-25-021]** – Misty Wagner-Grillo \* ***Discussion/Action***  
Proposed 4,800 sq. ft. expansion to the east of the existing 23,910 sq. ft. terminal at the Hagerstown Regional Airport; Location 18434 Showalter Road; Zoning: AP – Airport
2. **Take 5 Oil Change [SP-25-025]** – Misty Wagner-Grillo \* ***Discussion/Action***  
Redevelopment of an existing car wash to be replaced with a new Take 5 Oil Change facility with three service bays; Location: 10414 Sharpsburg Pike; Zoning: HI – Highway Interchange
3. **Conservit Inc. North Yard [SP-25-042]** – Scott Stotemyer \* ***Discussion/Action***  
Combined stormwater concept plan and site plan to install a large metal shear and new building to house shear motor. Install gravel and concrete pads and relocate an existing railroad siding; Location: 18604 Leslie Drive; Zoning IG – Industrial General

**FOREST CONSERVATION**

1. **Conservit Inc. North Yard [SP-25-042]** – Travis Allen \* ***Discussion/Action***  
Request to meet forest conservation requirements using the payment-in-lieu option to satisfy a portion of the 2.92-acre planting requirement; Location: 18604 Leslie Drive; Zoning: IG – Industrial General

**OTHER BUSINESS**

1. **21223 Twin Springs Drive** – Travis Allen \* ***Discussion/Action***  
Request to change the permitted land use in an existing Rural Business zoning district from a retail plant nursery to a landscaping contractor; Zoning: Rural Village with a Rural Business floating zone
2. **Eldridge Frazier, Jr. [S-24-012]** – Scott Stotemyer \* ***Discussion/Action***  
Request for a one-year extension for the preliminary/final plat for Eldridge Frazier, Jr.; Location: 24111 Raven Rock Road; Zoning: EC – Environmental Conservation
3. **Update of Projects Initialized** – Jennifer Kinzer \* ***Information/Discussion***

## **ADJOURNMENT**

### **UPCOMING MEETINGS**

1. May 4, 2026, 6:00 p.m. – Washington County Planning Commission regular meeting

\*attachments

Disclaimer: Copies of plans contained in this packet do not necessarily reflect the complete plan submission received by our office. The number of pages per plan may be reduced to accommodate size limitations of our website. Complete plans may be viewed in our offices by calling for an appointment.

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.



FOR PLANNING COMMISSION USE ONLY  
 Rezoning No. \_\_\_\_\_  
 Date Filed: \_\_\_\_\_

WASHINGTON COUNTY PLANNING COMMISSION  
 WATER & SEWER PLAN AMENDMENT APPLICATION

2003 Mason Dixon LLC  
 Applicant

Property Owner     Contract Purchaser  
 Attorney             Consultant  
 Other: \_\_\_\_\_

P.O. Box 4217, 11535 Hopewell Road, MD  
 Address

Attn: Brad Fulton  
 Primary Contact

(301) 582-2700  
 Phone Number

Same as Above  
 Address

bfulton@acandt.com  
 E-mail Address

Property Location: 17939 Mason Dixon Road

Tax Map: 10 Grid: 20 Parcel No.: 68 Acreage: +/- 172.29 ac.

Tax Account ID: 13-000239

Current Zoning: PI

Current Priority Service Area: W5/S5

Proposed Priority Service Area: W3/S3

Is this request a:  Text Amendment     Map Amendment     Both



Brad Fulton  
 Applicant's Signature  
 Authorized Person

Subscribed and sworn before me this 17<sup>th</sup> day of April, 20 25.

My commission expires on Aug. 26, 2028

Elizabeth A Loar  
 Notary Public

FOR PLANNING COMMISSION USE ONLY

<input checked="" type="checkbox"/> Application Form	<input type="checkbox"/> Names and Addresses of all Adjoining & Confronting Property Owners
<input checked="" type="checkbox"/> Fee Worksheet	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> Application Fee	<input checked="" type="checkbox"/> Justification Statement
<input checked="" type="checkbox"/> Ownership Verification	<input type="checkbox"/> 25 copies of complete Application Package
<input checked="" type="checkbox"/> Boundary Plat (Including Metes & Bounds)	



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING FEE WORKSHEET

FOR PLANNING COMMISSION USE ONLY  
Rezoning No. \_\_\_\_\_  
Date Filed: \_\_\_\_\_

PLEASE COMPLETE ONLY THE SECTION THAT APPLIES.

Applicant's Name: 2003 Mason Dixon LLC Date: 5/23/25

**Zoning Ordinance Map Amendment** ..... \$ 2,000.00  
 Number of Acres \* \_\_\_\_\_ x \$20.00 [1 acre minimum]  
 per acre ..... \$ \_\_\_\_\_  
 Engineering Review Fee ..... \$ 150.00  
 Technology Fee ..... \$ 15.00  
**TOTAL FEES DUE – MAP AMENDMENT** ..... \$ \_\_\_\_\_

\*Minimum charge of \$20.00 [if less than one acre]

**Text Amendment** ..... \$ 2,000.00  
 Choose One:  Adequate Public Facilities Ordinance  
 Forest Conservation Ordinance  
 Solid Waste Plan  
 Subdivision Ordinance  
 Zoning Ordinance  
 Other: \_\_\_\_\_  
 Technology Fee ..... \$ 15.00  
**TOTAL FEES DUE – TEXT AMENDMENT** ..... \$ 2,015.00

**Water and Sewer Plan Amendment** ..... \$ 2,000.00  
 Technology Fee ..... \$ 15.00  
**TOTAL FEES DUE – WATER AND SEWER PLAN AMENDMENT** .... \$ 2,015.00

**Forest Conservation Exemption** ..... \$ 25.00  
 Technology Fee ..... \$ 15.00  
**TOTAL FEES DUE – FOREST EXEMPTION** .... \$ 40.00

Please make checks payable to "Washington County Treasurer".

Real Property Data Search ( )  
Search Result for WASHINGTON COUNTY

[View Map](#)[View GroundRent Redemption](#)[View GroundRent Registration](#)**Special Tax Recapture: AGRICULTURAL TRANSFER TAX**

Account Number: District - 13 Account Identifier - 000239

**Owner Information**

Owner Name: 2003 MASON DIXON LLC Use: AGRICULTURAL  
Principal Residence:NO  
Mailing Address: 11535 HOPEWELL RD Deed Reference: /02173/ 00676  
HAGERSTOWN MD 21740-2109

**Location & Structure Information**

Premises Address: 17939 MASON DIXON RD Legal Description: 172.29 ACRES  
HAGERSTOWN 21740-0000 17939 MASON DIXON RD

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:  
0010 0020 0068 13010330.22 0000 2023 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use  
172.2900 AC

Stories Basement Type Exterior Quality Full/Half Bath Garage Last Notice of Major Improvements  
/

**Value Information**

	Base Value	Value		
		As of 01/01/2023	Phase-in Assessments As of 07/01/2024	As of 07/01/2025
Land:	129,500	129,500		
Improvements	35,700	46,100		
Total:	165,200	175,600	172,133	175,600
Preferential Land:	69,500	69,500		

**Transfer Information**

Seller: MARTIN LEO E & MARY E ET AL	Date: 10/31/2003	Price: \$1,450,000
Type: ARMS LENGTH VACANT	Deed1: /02173/ 00676	Deed2:
Seller: MARTIN LEO E & MARY E	Date: 04/15/2003	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /01979/ 00339	Deed2:
Seller: MARTIN LEO E	Date: 12/03/1996	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /01308/ 01041	Deed2:

**Exemption Information**

Partial Exempt Assessments:Class		07/01/2024	07/01/2025
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00

**Special Tax Recapture: AGRICULTURAL TRANSFER TAX****Homestead Application Information**

Homestead Application Status: No Application

**Homeowners' Tax Credit Application Information**

Homeowners' Tax Credit Application Status: No Application Date:

CLERK OF CIRCUIT COURT  
WASHINGTON COUNTY

THIS DEED, made this 31st day of October, A.D., 2003, by The Mennonite Foundation, Inc., an Indiana non-profit corporation, Trustee of the Charitable Remainder Unitrust of Leo Martin and Mary Martin, dated March 12, 2003, which maintains its principal office at P.O. Box 483, Goshen, IN 46527 (the "Trustee") and Leo E. Martin and Mary E. Martin, husband and wife, residing at 13729 Paradise Church Road, Hagerstown, MD 21742, hereinafter collectively called "Grantor" and 2003 Mason Dixon LLC, a Maryland limited liability company, hereinafter called "Grantee".

**RECITALS:**

The Trustee is the trustee of a Charitable Remainder Unitrust, established on March 12, 2003 for the benefit of Leo E. Martin and Mary E. Martin. On April 14, 2003, the Martins granted and conveyed to the Trustee an undivided forty (40%) per cent interest in and to the property more particularly described on Schedule "A" attached hereto and made a part hereof with the Martins retaining a sixty (60%) per cent undivided interest therein, both parties holding title as tenants in common.

The Charitable Remainder Unitrust provides, in pertinent part, that the Trustee may continue the investment in the property or in the alternative, it may sell the Trust's interest in such property. The Trustee has elected to so grant and convey its individual interest in accordance with the terms of a contract of sale by and between itself, the Martins and the Grantee for the consideration as hereinafter recited.

WITNESSETH: That for and in consideration of the sum of One Million Four Hundred Fifty Thousand and 00/100 (\$1,450,000.00) Dollars and other good and valuable considerations, the receipt of which is hereby acknowledged, including the Recitals which are incorporated by reference herein, the said Grantor herein does hereby grant and convey unto the said Grantee, all those tracts or parcels of land more particularly described on Schedule "A" which is attached hereto and made a part hereof.

Being all of the same property conveyed to Leo E. Martin and Mary E. Martin by Leo E. Martin, by a Deed dated September 16, 1996 and recorded at Liber 1308, folio 1041; and to The Mennonite Foundation, Inc., an Indiana non-profit corporation, Trustee of the Charitable Remainder Unitrust of Leo Martin and Mary Martin, dated March 12, 2003, by a Deed from Leo E. Martin and Mary E. Martin dated April 14, 2003 and recorded at Liber 1979, folio 339, two of the land records of Washington County, Maryland.

The above described property is subject to all the covenants, conditions, restrictions, easements, limitations and offers of dedication, of record, if any.

And the said Grantor does hereby covenant that it will warrant specially the property hereby conveyed and that it will execute such other and further assurances thereof as may be requisite.

2173 0677

CLERK OF CIRCUIT COURT  
WASHINGTON COUNTY

Whenever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN TESTIMONY WHEREOF, the corporate Grantor has caused this deed to be duly executed by Delmar King, its Asst. Treas. and its corporate seal hereunto affixed and duly attested by Karl C. Sommers its Secretary.

Attest to Signature  
and Corporate Seal:

THE MENNONITE FOUNDATION, INC.  
an Indiana non-profit corporation, Trustee  
of the Charitable Remainder Unitrust of  
Leo E. Martin and Mary E. Martin, dated  
March 12, 2003.

Karl C. Sommers  
Secretary, Karl C. Sommers

By: Delmar King (SEAL)  
Delmar King, Assistant Treasurer

STATE OF INDIANA, COUNTY OF ELKHART, To-Wit:

I HEREBY CERTIFY, That on this 28th day of October A. D., 2003, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Delmar King, who acknowledged himself to be an authorized signatory on behalf of the Mennonite Foundation, Inc., Trustee, and that he, as such party, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of said Trust.

Witness my hand and official Notarial Seal.

Donna J. Joldersma  
Notary Public  
DONNA J JOLDERSMA  
NOTARY PUBLIC STATE OF INDIANA  
ELKHART COUNTY  
MY COMMISSION EXP. JAN. 29, 2008

My Commission Expires:

WASHINGTON COUNTY CIRCUIT COURT (Land Records) DJW 2173, p. 0677, MSA\_CE18\_2123. Date available 03/19/2004. Printed 04/17/2025.

2173 0678

CLERK OF CIRCUIT COURT  
WASHINGTON COUNTY

Witness the hand and seal of said Grantor.

Witness:

Leo E. Martin (SEAL)  
Leo E. Martin

Mary E. Martin (SEAL)  
Mary E. Martin

STATE OF MARYLAND, COUNTY OF WASHINGTON, To-Wit:

I HEREBY CERTIFY, that on this 31st day of October, A.D., 2003, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Leo E. Martin and Mary E. Martin, personally known to me to be the persons whose names are subscribed to the foregoing instrument and who did each acknowledge that they executed the same for the purposes therein contained.

Witness my hand and official Notarial Seal.

Leo E. Martin  
Notary Public

My Commission Expires: 3-24-07

The undersigned, a member in good standing of the Bar of the Court of Appeals of Maryland, hereby certifies that the within instrument was prepared by him.

E. Kenneth Groye, Jr.  
E. Kenneth Groye, Jr.

IMP FD SURE 2	20.00
RECORDING FEE	20.00
REGISTRATION T	11,020.00
TR TAX COUNTY	7,000.00
TR TAX STATE	7,250.00
TOTAL	25,310.00
Rest # WA02	Rcpt # 4654
DJW TLC	Blk # 5668
Oct 31, 2003	02:56 PM

AGRICULTURE TAX \$ 172.29  
 ACREAGE 1.29  
 CLERK 9/21/03

October 31, 2003

RECEIVED FOR TRANSFER  
State Department of  
Assessments & Taxation  
for Washington County

By ARM Date 10/31/03

CLERK OF CIRCUIT COURT  
WASHINGTON COUNTY

**PARCEL #1:** All that tract or parcel of land, together with the improvements thereon, and all the rights, ways, privileges and appurtenances thereto belonging or in anywise appertaining, situate on and along the Mason-Dixon Line and the Cumberland Valley Railway and described as follows:

BEGINNING for the same at a planted stone standing on the Maryland-Pennsylvania Line 1,077.5 feet West of a mile stone on said Line, the aforesaid planted stone being also a corner of the lands hereby conveyed and the lands now or formerly of Charles V. Larrick and Bertha M. Larrick, his wife, and G. Albert McLaughlin, and running thence with said lands of the said Charles V. Larrick and Bertha M. Larrick, his wife, and G. Albert McLaughlin, with true bearings South 20° 30' West 448.95 feet to a stake, thence North 81° 51' West 542.33 feet to a post on the right-of-way line of the Cumberland Valley Railroad, thence leaving the lands of said Charles V. Larrick and Bertha M. Larrick, his wife, and G. Albert McLaughlin, and running with the Cumberland Valley Railroad right-of-way parallel to and 40 feet distant from the center line of said Railroad, South 8° 25-1/2' West 2,774.32 feet to a post, thence leaving said right-of-way South 85° 13' East 1,110.96 feet, thence South 82° 28' East 908.1 feet to a post, thence North 22° 8' East 2,327.86 feet to an iron pipe, thence North 11° 30' East 980.6 feet to a pipe, thence North 62° 35' West 322 feet to the Southwest corner of a barn, thence North 59° 17' West 65.4 feet to a stake in the Maryland-Pennsylvania boundary line, said stake being 558.9 feet East of a

mile stone in the said State Line, and thence West with said State Line a distance of 1,634.4 feet to the point of beginning;

CONTAINING 172.01 acres of land, more or less;

**PARCEL #2:** All that tract or parcel of land situate on the South side of the Public Road leading from State Line to Mason-Dixon, approximately one (1) mile West of State Line, and being described as follows:

BEGINNING for the tract herein conveyed at a point marked by a stake in the Mason-Dixon Line, said point being in the Southern marginal line of the County Road known as the State Line Road, and also at the end of the second or North 54° 03' West 387.29 foot line in the deed to Elmer F. Strite and Edna M. Strite, his wife, from Charles S. Elliott and wife, dated the 9th day of February, A.D., 1967, and recorded in Liber 451, folio 310 among the Land Records of Washington County, and running thence along said Mason-Dixon Line and with part of the third line of the aforementioned deed, South 81° 45' East 226.61 feet to a stake, thence leaving said Mason-Dixon Line and running South 17° 24' West 110.99 feet to a point marked by a stake in the second line of the aforesaid deed, thence with said second line North 54° 03' West 235.59 feet to the end thereof;

CONTAINING 0.28 of an acre of land, more or less.

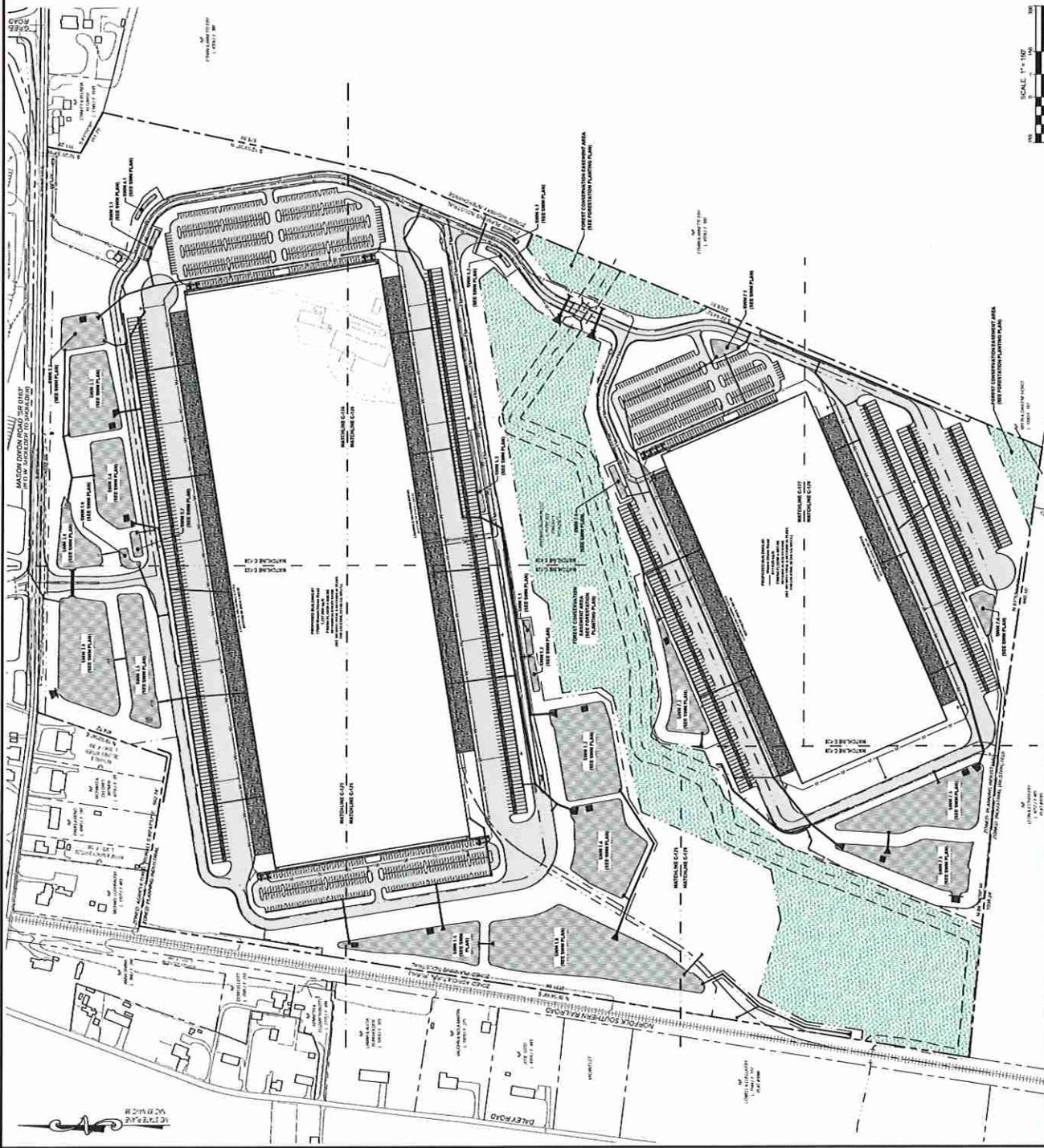


**FSAO**  
 FREDERICK SITE DESIGN & ASSOCIATES, INC.  
 1000 W. BROADWAY, SUITE 200  
 FREDERICK, MARYLAND 21701  
 PHONE: 301-791-1000  
 FAX: 301-791-1001  
 WWW: WWW.FSAO.COM

**KEY MAP**  
 SCALE: 1" = 800'  
 WASHINGTON COUNTY  
 SHEET C-122 OF 74

HATCH	DESCRIPTION	DETAIL / SHEET
[Hatch Pattern]	ASPHALT	1/1C/68
[Hatch Pattern]	PAVEMENT LIGHT DUTY	2/1C/68
[Hatch Pattern]	PAVEMENT MEDIUM DUTY	3/1C/68
[Hatch Pattern]	CONCRETE	SEE DRAWING PLAN
[Hatch Pattern]	RAIN GARDEN	SEE DRAWING PLAN
[Hatch Pattern]	INFILTRATION BASIN	SEE DRAWING PLAN

FOR ADDITIONAL UTILITY CONSTRUCTION DETAILS SEE PROJECTS ON SHEETS C-121 THROUGH C-124



## Water & Sewer Plan Amendment Application

2003 Mason Dixon LLC  
17939 Mason Dixon Road  
Hagerstown, MD 21740  
(TM 10, Parcel 68, Tax ID No. 13-000239)  
+/- 172.29 ac.

Current: W5 / S5 - Planned Service  
Proposed: W3 / S3 - Programmed Service

### JUSTIFICATION STATEMENT

The within amendment is requested for the dual purpose of:

- 1) Recognizing the public water distribution system and public wastewater treatment system of the Antrim Township (Pennsylvania) Municipal Authority (ATMA) as systems which may provide public water and wastewater service to eligible properties in Washington County; and
- 2) Amending the priority classification for water and sewerage service from W5 / S5 "Planned Service" to W3 / S3 "Programmed Service" for the above identified +/- 172.29 ac. property located at 17939 Mason Dixon Road, Hagerstown, MD 21740 (TM 10, Parcel 68, Tax ID No. 13-000239).

### Public Water & Sewer Service from ATMA

The subject property is currently located within the Washington County Urban Growth Boundary and is zoned PI (Planned Industrial) (see attached Zoning Map)

The County's draft 2040 Comprehensive Plan update keeps the property within the Growth Boundary and assigns a "Business – Commercial Mix" classification on the future land-use map. (see attached Land-Use Map)

As per the current 2009 Water and Sewerage Plan for Washington County, the property is classified W5 / S5 "Planned Service." (see attached Service Area Map)

Notwithstanding the foregoing and notwithstanding the property being located in close proximity to I-81 and the Hagerstown Regional Airport, the closest public

water and sewer mains to which the property could connect are cost prohibitive to extend.

Therefore, in furtherance of the planned development of the property for two (2) warehouse / distribution buildings consisting of +/- 1,237,600 sf. and +/- 611,520 sf., respectively (see attached Site Plan Cover Sheet and Site, Utility & Dimensioning Plan) the property owner requested and received permission to have the property served by the ATMA (see attached June 9, 2021 letter from the ATMA agreeing to serve the property and July 22, 2022 letter confirming the available capacity sufficient to serve the property).

As per the August 16, 2022 letter from Washington County Department of Planning and Zoning to the ATMA, a copy of which is attached hereto, no objection was raised to the ATMA's intent to serve the property with public water and sewer service provided the property owner / developer filed the within application for Amendment to the Water and Sewer Plan and all required development plans.

On the basis of these prior acknowledgements and approvals, the property owner has completed the construction of water and wastewater mains from the ATMA's distribution and collection systems to the property. (see attached Construction Plan Cover Sheet and Plan/Profile Sheet)

This request is consistent with the County's adopted Comprehensive Plan for the County (2002) which encourages support for and future investment in economic development activity within the urban growth area, in particular the areas around the Hagerstown Regional Airport (see Art. II, Ch. 4, Economic Development).

The County's draft Comprehensive Plan 2040 continues to identify the urban growth area generally and the area around the Hagerstown Regional Airport specifically as priority economic development areas (see Ch. 9 – Economic Development). As such, the within request is also consistent with the County's draft Comprehensive Plan update.

With regard to the requirements stated in Appendix B of the Plan entitled "Policies, Procedures and Criteria for amendment to the County Plan for Water and Sewerage" the Property Owner provides the following:

**Appendix B, Section II (C)**

Criteria applicable to requests for amendment of priority classifications for water and sewerage service where major water and/or sewerage facilities are proposed by property owners:

**1. Eligibility for S-5/W-5 (Planned Service) Classification:**

- a. As discussed above, the property is currently located within the Urban Growth Area and the provision of service to the Property is consistent with the policies of the Comprehensive Plan for the County.
- b. The method of providing water and sanitary sewer service to the Property has been determined satisfactory to the ATMA, has been previously approved by the ATMA and has been constructed by the Property Owner.
- c. A Preliminary Consultation has been held with the Planning Commission to discuss water and sewer service to the Property, culminating in the letter attached hereto dated August 16, 2022 from County Staff to the ATMA expressing no objection.

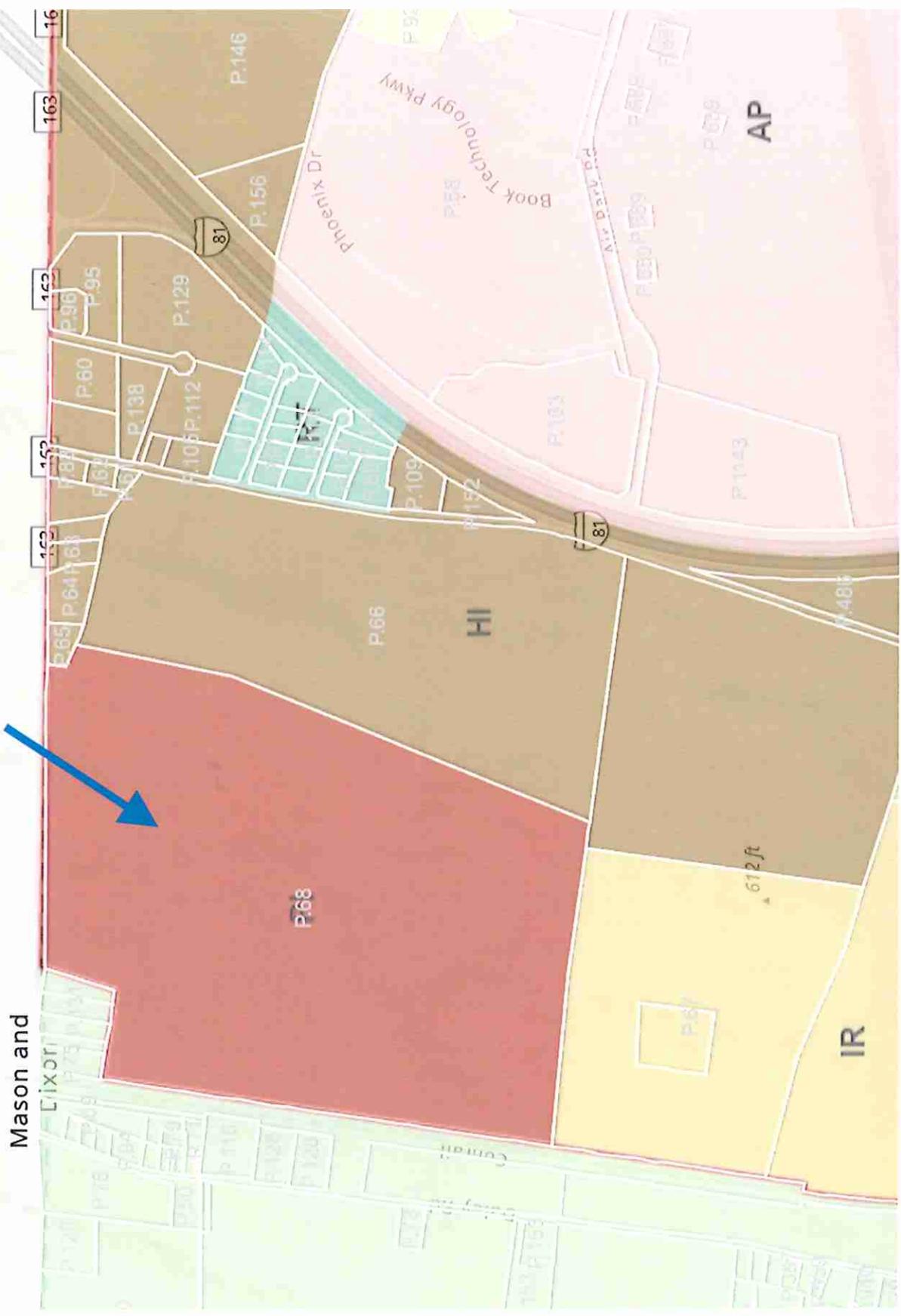
**2. Eligibility for S-3/W-3 (Programmed Service) Classification:**

- a. All of the requirements for S-5/W-5 have been met as per above.
- b. Arrangements have been made with the ATMA for acceptance of the constructed water and sewer facilities, operating and maintenance responsibility, allocation of capacity, and/or connections to the public system.
- c. The proposed development, if approved for service from the ATMA, will not be under the jurisdiction of the Washington County Department of Water Quality.
- d. Adequate capacity currently exists to serve the property.
- e. Preliminary site plan is in the process of being obtained from the Planning Commission and other appropriate public agencies responsible for approval of plans.

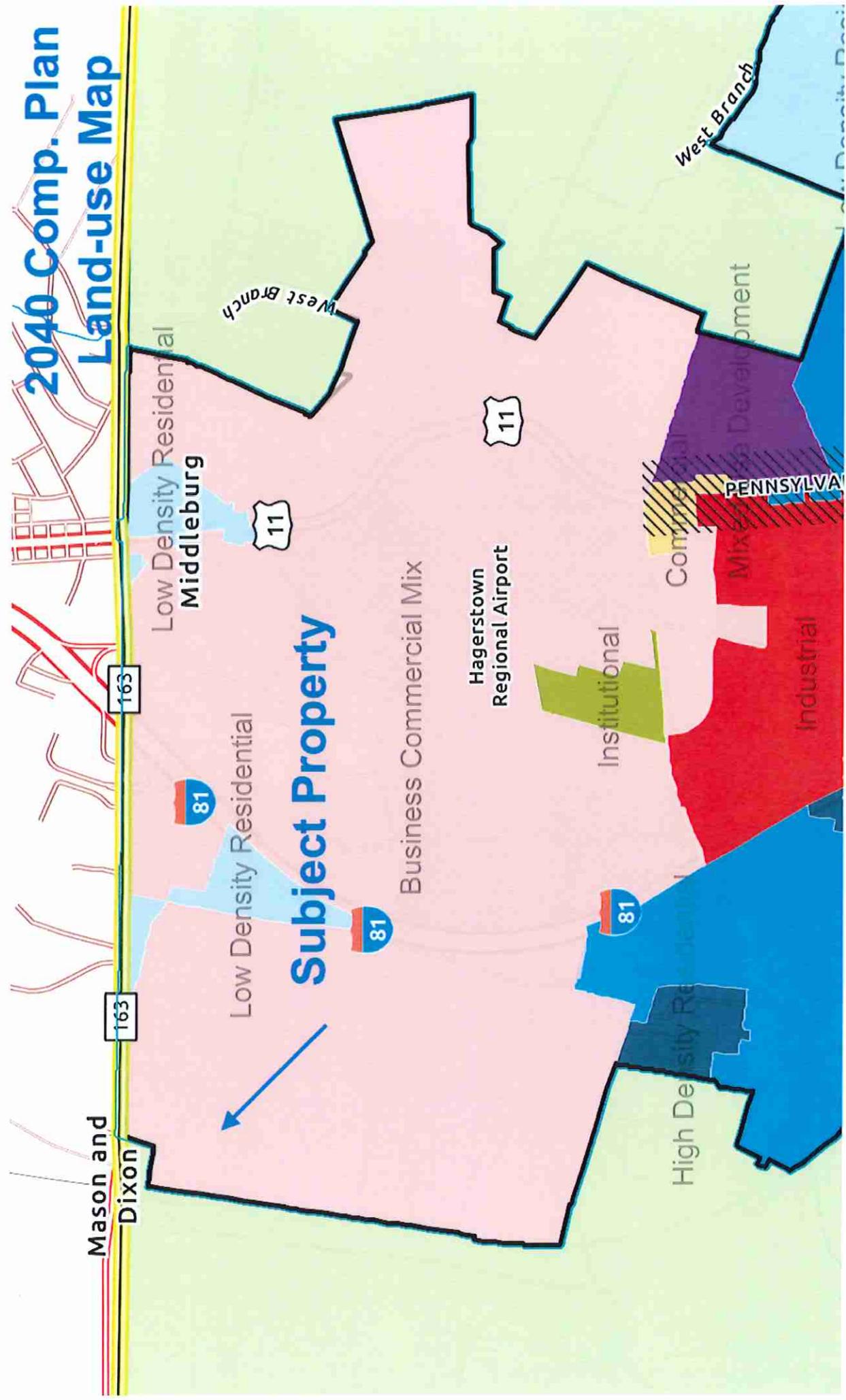
**2003 Mason Dixon LLC**  
**TM 10, Parcel 68**  
**+/- 172.29 ac.**

**Zoning Map**

**Current: W5 / S5 - Planned Service**  
**Proposed: W3 / S3 - Programmed Service**



# 2040 Comp. Plan Land-use Map



**2003 Mason Dixon LLC  
TM 10, Parcel 68  
+/- 172.29 ac.**

**Water and Sewerage Plan  
Service Area Map**

**Current: W5 / S5 - Planned Service  
Proposed: W3 / S3 - Programmed Service**

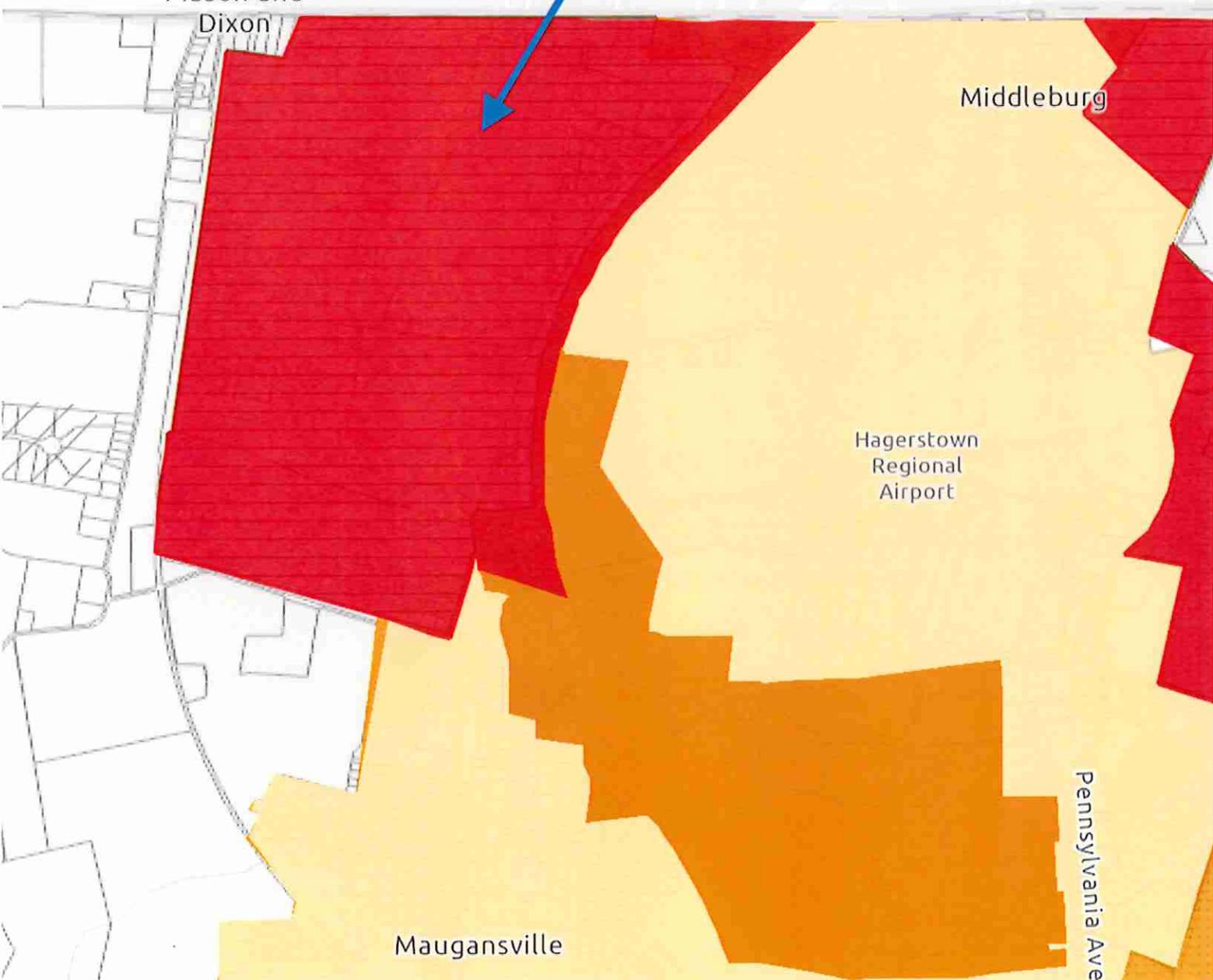
Mason and  
Dixon

Middleburg

Hagerstown  
Regional  
Airport

Maugansville

Pennsylvania Ave





## ANTRIM TOWNSHIP MUNICIPAL AUTHORITY

---

10655 Antrim Church Road, Post Office Box 130, Greencastle, PA 17225  
Phone: (717) 597-3818 Fax: (717) 597-4257 [www.twp.antrim.pa.us](http://www.twp.antrim.pa.us)

2003 Mason Dixon LLC  
17939 Mason Dixon Road  
Hagerstown MD 21740

June 9, 2021

RE: 2003 Mason Dixon LLC  
17939 Mason Dixon Rd  
Hagerstown MD 21740  
Intent to serve Sewer/Water Utilities

To Whom It May Concern:

The Antrim Township Municipal Authority will serve sewer and water utilities to 2003 Mason Dixon LLC subject to the availability of capacity at that time, as approved by the Antrim Township Municipal Authority at its regular meeting on Monday, May 24, 2021. This agreement to serve is transferable for the property located at 17939 Mason Dixon Rd., Hagerstown MD 21740, upon written approval of the Antrim Township Municipal Authority.

Sincerely,

Roger A. Nowell  
Antrim Township Public Works Director  
13431 Worleytown Road  
Greencastle PA 17225  
Office: 717-597-3818 ext. 106  
Mobile: 717-816-1570  
Field Office: 717-597-9798  
Email: [rnowell@twp.antrim.pa.us](mailto:rnowell@twp.antrim.pa.us)  
Website: [www.twp.antrim.pa.us](http://www.twp.antrim.pa.us)



# ANTRIM TOWNSHIP MUNICIPAL AUTHORITY

---

10655 Antrim Church Road, Post Office Box 130, Greencastle, PA 17225  
Phone: (717) 597-3818 Fax: (717) 597-4257 [www.twp.antrim.pa.us](http://www.twp.antrim.pa.us)

2003 Mason Dixon LLC  
17939 Mason Dixon Road  
Hagerstown MD 21740

July 22, 2022

RE: 2003 Mason Dixon LLC  
17939 Mason Dixon Rd  
Hagerstown MD 21740  
Capacity to serve Sewer/Water Utilities

To Whom It May Concern:

Per the Antrim Township Municipal Authority 2021 Primary Facility Report as submitted to DEP, the public water system produced 95,721 GPD during 2021. The system has present capacity to produce <400,000 GPD and permitted capacity to produce up to 792,000 GPD.

Per the Antrim Township 2021 Chapter 94 report as submitted to DEP, the public sewer system treated 0.666 MGD during 2021. The maximum design capacity of the treatment plant is 1.200 MGD, with an increased hydraulic design capacity up to 1.900 MGD as a result of a just completed expansion to the sewer treatment plant.

No capacity issues are expected as a result of this water/sewer expansion into Maryland/Washington County for the referenced project.

Sincerely,

Roger A. Nowell  
Antrim Township Public Works Director  
13431 Worleytown Road  
Greencastle PA 17225  
Office: 717-597-3818 ext. 106  
Mobile: 717-816-1570  
Field Office: 717-597-9798  
Email: [rnowell@twp.antrim.pa.us](mailto:rnowell@twp.antrim.pa.us)  
Website: [www.twp.antrim.pa.us](http://www.twp.antrim.pa.us)



DEPARTMENT OF PLANNING & ZONING  
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

August 16, 2022

Antrim Township Municipal Authority  
c/o Roger Nowell, Director, Antrim Twp. Public Works  
10655 Antrim Church Road  
P.O. Box 130  
Greencastle, PA 17225

Re: 17939 Mason Dixon Road, Hagerstown, MD 21740 (TM 10, Grid 20, Parcel 68)(the "Property")  
Intent to Serve – Sewer/Water Utilities

Mr. Nowell:

As per the letter dated June 9, 2021, the Antrim Township Municipal Authority (ATMA) has agreed and is willing to serve the above referenced Property located in Washington County, Maryland with public water and sewer service, subject to the availability of capacity at the time of development.

As the governing jurisdiction that will review any land development plans for the Property, Washington County hereby acknowledges and has no objection to the ATMA's intent to serve the Property with public water and sewer service. The developer will be required to file the appropriate applications for Washington County Water and Sewer Plan amendments and development plans prior to connection of services.

Please be advised that the Washington County Sewer Service Policy currently provides as follows, which the Property will be expected to comply with in the event Washington County public sanitary sewer infrastructure is extended in the vicinity:

**Article I, Section I – 1 General**

D. *Duty of Owners to Connect* - the owners of all houses, buildings, or properties used for human occupancy, employment, recreation, or other purposes, *situated within the County* and abutting on any street, alley, or right-of-way in which there is now located or may in the future be located a public sanitary sewer of the County, and located *within 350 feet of said sanitary sewer* is hereby required at their expense to ... connect such facilities directly with the proper public sanitary sewer in accordance with all applicable provisions of the County law within the time prescribed by the County. (emphasis added)

Should you have any further questions regarding this action please contact me at 240-313-2430.

Sincerely,



Jill Baker, AICP  
Director

Cc: Mark Bradshaw, Director, Washington County Environmental Management  
John Martirano, County Administrator  
Kirk Downey, County Attorney  
Jason Divelbiss, Esq., JD Law Company Inc.

# CONSTRUCTION PLAN

FOR

# WATER & SEWER LINE EXTENSION 2003 MASON DIXON LLC

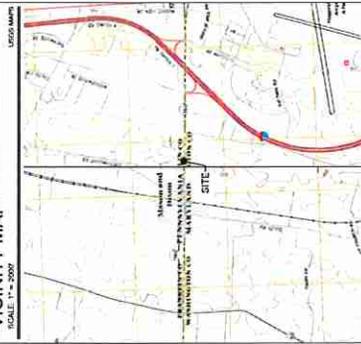
SITUATED IN

ANTRIM TOWNSHIP  
FRANKLIN COUNTY, PENNSYLVANIA &  
WASHINGTON COUNTY, MARYLAND

CIVIL ENGINEER / SURVEYOR:  
FSA INC.  
20 WEST BALTIMORE ST.  
GREENCASTLE, PA 17225  
PHONE: 717-597-1007

CLIENT:  
2003 MASON DIXON LLC  
11585 HOPEWELL RD.  
HAGERSTOWN, MD 21740  
ATTN: BRAD FULTON  
EMAIL: [bfulton@acandt.com](mailto:bfulton@acandt.com)  
PHONE: 301-582-5322

VICINITY MAP



SHEET INDEX

TYPE	NO.	DATE
CONTRACT	1	08/20/07
NOTES	1	08/20/07
CONSTRUCTION DETAILS	1	08/20/07
CONSTRUCTION DETAILS	1	08/20/07

LOCATION PLAN



### ANTRIM TOWNSHIP MUNICIPAL AUTHORITY NOTES

1. ALL SANITARY TOWER AND WATER CONSTRUCTION SHALL BE PERMITTED TO THE ANTRIM TOWNSHIP MUNICIPAL AUTHORITY.
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### LAND DEVELOPER NOTES

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ANTRIM TOWNSHIP MUNICIPAL AUTHORITY.
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2003 MASON DIXON LLC  
ANTRIM TOWNSHIP  
FRANKLIN CO., PA & WASHINGTON CO., MD  
DEVELOPER  
11585 HOPEWELL RD.  
HAGERSTOWN, MD 21740  
PHONE: 301-582-5322

NO.	DATE	DESCRIPTION
1	08/20/07	ISSUED FOR PERMITTING
2	08/20/07	ISSUED FOR PERMITTING
3	08/20/07	ISSUED FOR PERMITTING
4	08/20/07	ISSUED FOR PERMITTING
5	08/20/07	ISSUED FOR PERMITTING
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19	08/20/07	ISSUED FOR PERMITTING
20	08/20/07	ISSUED FOR PERMITTING

COVER SHEET  
C-101  
SHEET 01 OF 05



APPROVALS

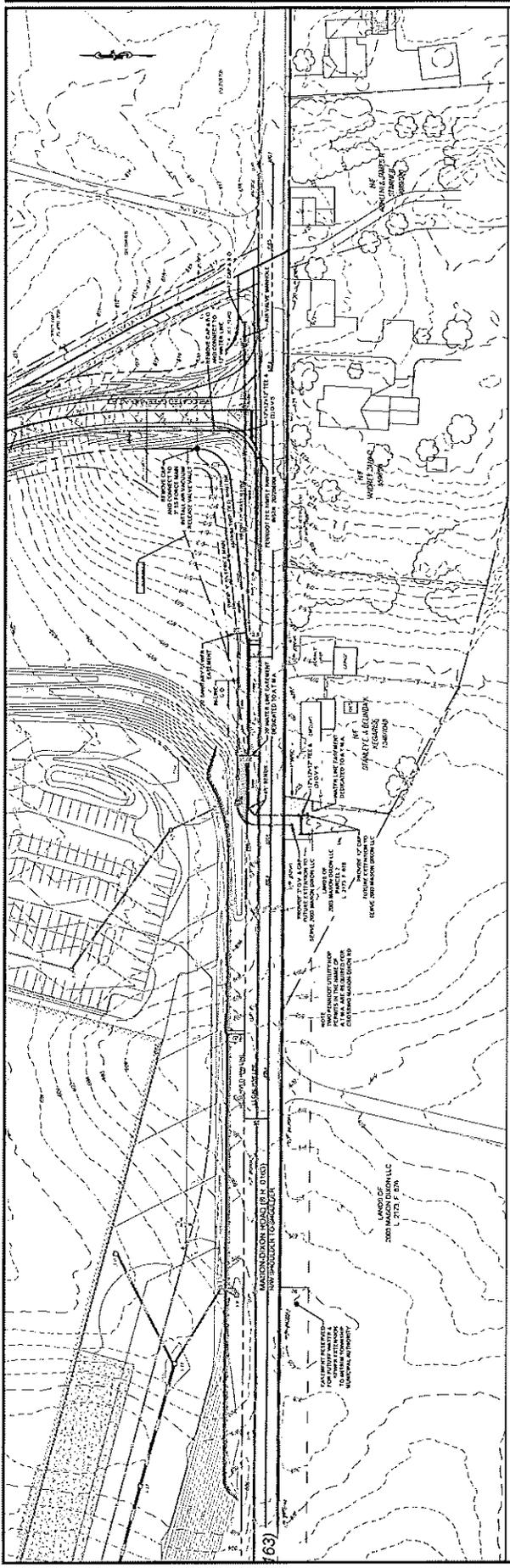
ANTRIM TOWNSHIP MUNICIPAL AUTHORITY

**WATER & SEWER LINE EXTENSION**  
**2003 MASON DIXON LLC**  
 ATRAY TOWNSHIP  
 FRANKLIN CO., PA & WASHINGTON CO., MD

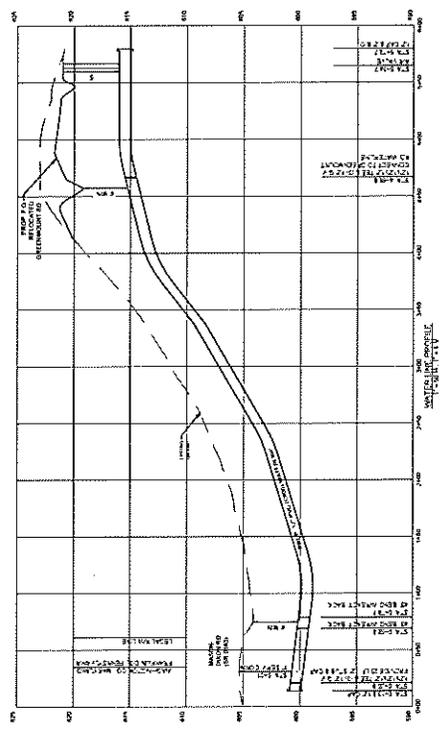
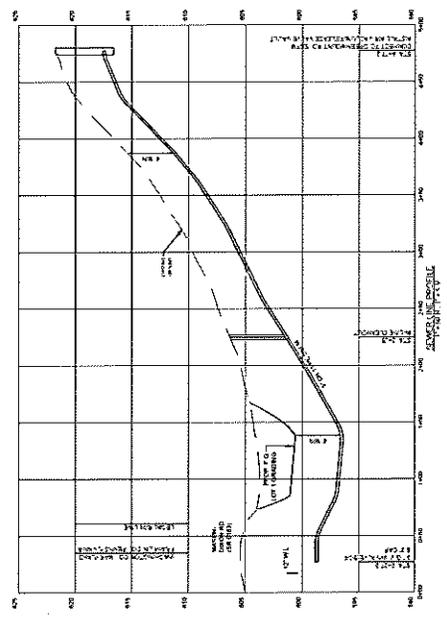
PLAN PROFILE  
**C-103**  
 SHEET 03 OF 05

**FSA**  
 FRANKLIN COUNTY ASSOCIATES, INC.  
 1100 WASHINGTON STREET, SUITE 200  
 FRANKLIN, PA 16801  
 PHONE: 717.795.1111

DATE:	12/15/09
BY:	J.M.
CHECKED BY:	J.M.
SCALE:	AS SHOWN



**LEGEND**  
 WATERLINE CASINGMENT  
 PROPOSED





DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

April 6, 2026

Case #: WS-25-004

## Application for Water and Sewerage Plan Amendment Staff Report and Analysis

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<b>Property Owner(s):</b>	2003 Mason Dixon LLC
<b>Applicant(s):</b>	2003 Mason Dixon LLC
<b>Location:</b>	17939 Mason Dixon Road
<b>Comprehensive Plan Designation:</b>	Business Commercial Mix
<b>Zoning Map:</b>	10
<b>Parcel(s):</b>	P. 68
<b>Acreage:</b>	172.29 acres
<b>Existing Service Area Designation:</b>	W-5/S-5 Planned Service
<b>Requested Service Area Designation:</b>	W-3/S-3 Programmed Service
<b>Date of Public Information Meeting:</b>	April 6, 2026

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### I. Introduction

In accordance with Maryland law, each County is required to prepare, adopt and maintain a Water and Sewer Plan to demonstrate that safe and adequate facilities can and will be provided to support growth and development. Washington County, in cooperation with all other utility providers, last adopted a Water and Sewer Plan in 2011 that forecasted short- and long-term water and wastewater facility needs over a 10-year period. On occasion, amendments can be made to the document to update information regarding new water/sewerage facilities, changes in the type, size or capacity of existing facilities, changes in the priority classification for service, or changes to the boundaries of existing service areas. In this specific case, the applicant is requesting to:

- 1) Change the priority classification for water and sewer service from W-5/S-5 (Planned Service) to W-3/S-3 (Programmed Service); and
- 2) Recognize the public water distribution system and public wastewater system of Antrim Township Municipal Authority (Pennsylvania) to provide these services to eligible properties in Washington County, Maryland.

The applicant seeks these amendments in service of the planned development of two warehouse/distribution facilities consisting of +/- 1,237,600 sf. and +/- 611,520 sf., respectively. A site plan for these two facilities is currently under review by various regulatory agencies (County file SP-23-004).

## II. Background Information

### A. Location and Description of Subject Properties

The subject parcel, totaling 172.29 acres, is located at the northern limit of the County's Urban Growth Area (UGA) boundary at the Pennsylvania border on Mason Dixon Road. The property is zoned Planned Industrial, but is currently being used for agricultural purposes and improved only by agricultural support buildings.

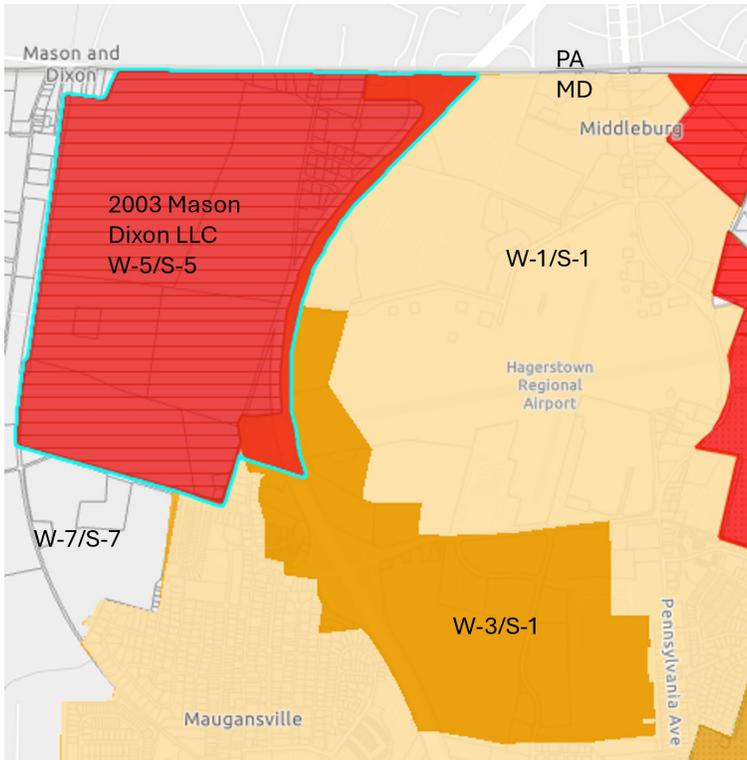


Image: Water and Sewer Service Designations Vicinity Map

As shown in the map at left, the property is designated as W-5/S-5 (Planned Service - shown in red in the image) in the 2009 Water and Sewer Plan. Several properties in this same location are given these same designations, as they represent the current limit of water and sewer service in the northwestern corner of the UGA. Properties within or immediately surrounding the Hagerstown Regional Airport are either W-1/S-1 (Existing Service - yellow) or W-3/S-1 (Programmed Service for water, Existing Service for sewer - orange). Properties west of the CSX railroad line, which runs along the western boundary of the subject site, are designated W-7/S-7 (No Planned Service - gray) with no planned connection to either public water or sewer in the immediately foreseeable

future.

### B. Water and Sewer Plan Amendment Criteria

Appendix B of the 2009 Water and Sewer Plan outlines the policies, procedures and criteria for amendments to the Plan. The eligibility criteria for amendments to the service priority classification specified in Appendix B include the following for a W-3/S-3 classification:

#### 1) Eligibility for S-3/W-3 (Programmed Service) Classification:

- a. All of the requirements for S-5/W-5 have been met (see # 2 below).

- b. Arrangements have been made with the appropriate agency for acceptance of facilities, operating and maintenance responsibility, allocation of capacity, and/or connections to the public system.
- c. When the proposed development is located within an area that is under the jurisdiction of the Washington County Department of Water Quality (WCDWQ), the developer shall have obtained approval of the establishment of a new WCDWQ Service Area or expansion of an existing WCDWQ Service Area pursuant to WCDWQ Policy and Procedures.
- d. Adequate capacity shall be existing or be programmed by the service providing agency responsible for the system that will serve the site. Any capital costs to be incurred by public agencies should be included in the Capital Improvements Program of the appropriate jurisdiction.
- e. Preliminary plat and/or site plan approval has been obtained from the Planning Commission and other appropriate public agencies responsible for approval of plans, or future operating maintenance costs of sanitary facilities.
- f. A discharge permit, where appropriate, has been approved by appropriate State agencies.
- g. A hydrogeologic study, where appropriate, supports the establishment of a community water system which will not be detrimental to adjoining wells.

**2) Eligibility for S-5/W-5 (Planned Service) Classification:**

- a. The provision of service has been determined to be consistent with the policies of the Comprehensive Plan for the County and if applicable, the appropriate municipality.
- b. The method of providing water and sanitary sewer service to the Property has been determined satisfactory and has received written acknowledgement by the appropriate public agencies such as the Health Department, Department of Water Quality, and municipalities. Agency acknowledgement will be for the method of service in concept and not in design.
- c. A Preliminary Consultation has been held with the Planning Commission.
- d. If necessary, the Planning Commission has determined that the property is located within an Urban or Town Growth Area and has determined an appropriate service area designation, i.e. Urban/Town Growth Area, Rural Village, or Restricted Service.

Appendix B also specifies additional criteria for applications which would extend collection or transmission facilities beyond the boundaries of existing ten-year service area, including:

- 1) Location of the proposed development or service area (boundaries, acreage, map) & relationship to existing service area and facilities.
- 2) Number of people existing in development or service area.
- 3) Number of people to be served in development or service area by planned staged development.
- 4) Relationship to Comprehensive Plan.
- 5) Relationship to Water and Sewerage Plan.

### III. Staff Analysis

As noted in the introduction, the applicant seeks a new water and sewer service priority classification, as well as affirmation of Antrim Township Municipal Authority (ATMA) to provide these services to eligible properties in Washington County, Maryland. The staff analysis that follows will utilize the criteria outlined in the previous section of this report to determine whether the requirements for amendments to the currently adopted Water and Sewer Plan have been met. By meeting these criteria, it stands to reason that the provision of water and sewer service by a utility outside of the State of Maryland would be consistent with Washington County plans and policies for these services.

#### A. Requested Change from W-5/S-5 to W-3/S-3

##### 1) Eligibility for W-3/S-3 (Programmed Service) Classification:

- a. All of the requirements for S-5/W-5 have been met
  - **See responses in section #2 below.**
- b. Arrangements have been made with the appropriate agency for acceptance of facilities, operating and maintenance responsibility, allocation of capacity, and/or connections to the public system.
  - **As indicated by the June 9, 2021 letter included in application materials, arrangements have been made with the ATMA for acceptance of the constructed water and sewer facilities, operating and maintenance responsibility, allocation of capacity, and/or connections to the public system.**
- c. When the proposed development is located within an area that is under the jurisdiction of the Washington County Department of Water Quality (WCDWQ), the developer shall have obtained approval of the establishment of a new

WCDWQ Service Area or expansion of an existing WCDWQ Service Area pursuant to WCDWQ Policy and Procedures.

- **The proposed development, if approved for service from the ATMA, will not be under the jurisdiction of the Washington County Department of Water Quality.**
- d. Adequate capacity shall be existing or be programmed by the service providing agency responsible for the system that will serve the site. Any capital costs to be incurred by public agencies should be included in the Capital Improvements Program of the appropriate jurisdiction.
- **ATMA's July 22, 2022 letter included in application materials indicates there is sufficient existing capacity to serve the proposed development.**
- e. Preliminary plat and/or site plan approval has been obtained from the Planning Commission and other appropriate public agencies responsible for approval of plans, or future operating maintenance costs of sanitary facilities.
- **County Site Plan SP-23-004 is currently under agency review. Addressing the water and sewer service issue is one of the key elements in the plan achieving final approval by the Planning Commission.**
- f. A discharge permit, where appropriate, has been approved by appropriate State agencies.
- **The status of the discharge permit is not currently known, but it would be issued by ATMA and is outside of the purview of Maryland water quality regulations.**
- g. A hydrogeologic study, where appropriate, supports the establishment of a community water system which will not be detrimental to adjoining wells.
- **A geotechnical study was conducted as part of SP-23-004 by ECS Mid-Atlantic on July 12, 2022 related to proposed stormwater management facilities. The review revealed that the site is underlain by the Rockdale Run Formation which is susceptible to the formation of sinkholes and sinkholes and karst features were observed during the site walk by the consultant. These conclusions support the requested connection to public water and sewer services as a part of the proposed project to address environmental health concerns that could arise from the use of individual well and septic systems in this part of the County.**

**2) Eligibility for S-5/W-5 (Planned Service) Classification:**

- a. The provision of service has been determined to be consistent with the policies of the Comprehensive Plan for the County and if applicable, the appropriate municipality.
  - **The property is located within the County’s UGA which defines where the highest intensity urbanization in the County has and is planned to occur. The UGA is the centralized location for many of the infrastructure needs of the overall population, including public water and sewer service. All properties within the UGA are anticipated in long range land use plans to connect to public water and sewer facilities when they become available to a given location.**
  - The request aligns with the following goals or policies from the County’s recently adopted Comprehensive Plan:
    - i. **Plan Goal # 4: Maintain policies and strategies that direct growth to areas where the County can provide adequate infrastructure and community resources for existing and future development.**
    - ii. **Community Facilities Chapter Recommendation: Assess the necessity and feasibility to expand the public sewerage facilities to the existing and potential areas within the UGA which are not currently served and where existing on-site systems may need improvement.**
    - iii. **Economic Development Chapter:** The area around Hagerstown Regional Airport is identified as one of the Targeted Economic Development Areas due to the abundance of infrastructure available, the amount of vacant land available for development and its location provides excellent access to local and regional transportation routes.
    - iv. **Growth Management and Land Use Chapter:** The land use proposed for this development falls within the basic parameters of the Business Commercial Mix land use policy area which has been applied to the property on the adopted Land Use Plan. The Policy Area is described as being “... *intended to provide potential areas for mixed employment and commercial uses. They include suitable locations for uses that facilitate access by a large number of employees and the receipt or shipment of goods by highway vehicles.*”

- b. The method of providing water and sanitary sewer service to the Property has been determined satisfactory and has received written acknowledgement by the appropriate public agencies such as the Health Department, Department of Water Quality, and municipalities. Agency acknowledgement will be for the method of service in concept and not in design.
  - **As indicated by the June 9, 2021 letter provided by the applicant, the method of providing water and sanitary sewer service to the Property has been determined satisfactory to the ATMA.**
- c. A Preliminary Consultation has been held with the Planning Commission.
  - **A preliminary consultation with the Planning Commission was completed on October 3, 2022.**
- d. If necessary, the Planning Commission has determined that the property is located within an Urban or Town Growth Area and has determined an appropriate service area designation, i.e. Urban/Town Growth Area, Rural Village, or Restricted Service.
  - **Not applicable – this property was previously given a W-5/S-5 service priority classification at the time the Water and Sewer Plan was adopted and is within the UGA.**

### **3) Additional Appendix B Criteria**

- a. Location of the proposed development or service area (boundaries, acreage, map) & relationship to existing service area and facilities.
  - **ATMA service area boundaries were not provided in application materials or available in a review of publicly available documents on the Township's website. Plans for the water and sewer line extension into Antrim County were not reviewed by Washington County as that part of the project lies outside of our regulatory authority.**
- b. Number of people existing in development or service area.
  - **See 3a above**
- c. Number of people to be served in development or service area by planned staged development.
  - **See 3a above**
- d. Relationship to Comprehensive Plan.
  - **See prior response to this question on page 6.**
- e. Relationship to Water and Sewer Plan.

- **As previously discussed, the property’s inclusion within the UGA in the recently adopted Comprehensive Plan as well as its prior W-5/S-5 service priority classification in the 2009 Water and Sewer Plan clearly indicate an intent to provide public water and sewer facilities to the site when feasible.**
- The request aligns with many goals or objectives in the 2009 Plan, including:
  1. **Goal #1: “To protect the health, safety and welfare of the people of Washington County by providing acceptable and adequate water supply and sanitary sewerage facilities to all areas of the County.”**
  2. **Goal #4: “To provide for the qualified management of water resources in the County in cooperation with the municipalities of the County, in order to effectively cope with water pollution and to conserve and/or improve the quality of streams and groundwater within and adjacent to the County.”**
  3. **Objective #9: “To manage the extension and expansion of existing water and sewer lines and facilities to serve the land which is considered to be within the designated urban and town growth areas and Priority Funding Areas in accordance with capacity analysis.”**

➤ **Reviewing Agency Comments**

The Washington County Health Department offered the following comment when routed a copy of the application:

*“Prior to a site plan being approved, a letter of conformance with the Water and Sewer Plan would be required, along with the allocation form for both water and sewer. The Washington County Health Department has no objection to the proposal.”*

**IV. Recommendation**

The property’s location inside the County’s UGA, as assigned by both the Comprehensive Plan’s recently adopted Land Use Plan and 2009 Water and Sewer Plan, demonstrate a clear intent to connect properties in this portion of the County to public water and sewer facilities when they become available. The unique circumstances of this property being located right on the Pennsylvania border enable the property to seek out more economical public water and sewer service across state lines, potentially preserving local allocation for neighboring properties yet to be fully developed and reducing the burden on City and County water and wastewater systems.



As indicated by the image at left, the property falls within one of the wellhead protection areas identified by the Maryland Department of the Environment and included in the Water Resources Element of the County's Comprehensive Plan update. Wellhead Protection is a strategy designed to protect public drinking water supplies by managing the land surface around a well where activities might affect the quality of the water.

**Wellhead Protection Area**

The wellhead protection area was designated in this area due to the potential for contamination as a result of the groundwater being under the direct influence of surface water (GWUDI). GWUDI has been a long-term issue in the County, resulting from the karst topography in this area, a subsurface characteristic that was specifically noted as being found on the subject property in the geotechnical study conducted as part of SP-23-004 review by ECS Mid-Atlantic on July 12, 2022.

In 2017, the City of Hagerstown approved an exemption to their Water and Wastewater Policy allowing the extension of services outside of the designated MRGA when well testing fails to gain approval of the Health Department due to GWUDI issues. The City will not be the service provider under the terms of the applicant's request, but these environmental constraints support the need for this property to connect to public water and sewer to avoid potential groundwater contamination from the proposed development.

Overall, staff finds that the requested amendment is consistent with the goals and policies of the adopted Comprehensive Plan for the County as well as the goals and policies of the adopted Water and Sewer Plan for the County. Staff recommends approval of this amendment to change the priority service classification (from W-5/S-5 to W-3/S-3) and to recognize the public water distribution system and public wastewater system of Antrim Township Municipal Authority to provide these services to eligible properties in Washington County, Maryland.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Travis Allen".

Travis Allen  
Senior Planner



WASHINGTON COUNTY PLANNING COMMISSION  
ORDINANCE TEXT AMENDMENT APPLICATION

FOR PLANNING COMMISSION USE ONLY  
Rezoning No. \_\_\_\_\_  
Date Filed: \_\_\_\_\_

DEC 17 2025

Washington County  
Dept. of Planning & Zoning

Danielle Eyler Durning  
Applicant

- Property Owner
- Contract Purchaser
- Attorney
- Consultant
- Other: Washington County citizen

25212 Cascade Road, Cascade MD 21719  
Address

Danielle Eyler Durning  
Primary Contact

301-992-4661  
Phone Number

25212 Cascade Road, Cascade MD 21719  
Address

danielleeyler@gmail.com  
E-mail Address

- Adequate Public Facilities Ordinance
- Forest Conservation Ordinance
- Subdivision Ordinance
- Solid Waste Plan

- Water and Sewer Plan
- Zoning Ordinance
- Other \_\_\_\_\_

Section No. Table No. 3.3(1); Chapter 28A (Definitions)

Please provide the proposed text on a separate sheet of paper as follows: strike-through should be used for deletions [~~deletions~~], unchanged wording in regular type, and new wording should be underlined [new wording].

REBECCA JAMISON  
Notary Public-Maryland  
Washington County  
My Commission Expires  
August 06, 2029

Danielle Eyler Durning  
Applicant's Signature

Subscribed and sworn before me this 17<sup>TH</sup> day of DECEMBER, 2025.

My commission expires on AUGUST 06, 2029  
Rebecca Jamison  
Notary Public

FOR PLANNING COMMISSION USE ONLY

- Application Form
- Fee Worksheet
- Application Fee
- Proposed Text Changes
- 30 copies of complete Application



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING FEE WORKSHEET

FOR PLANNING COMMISSION USE ONLY  
Rezoning No. \_\_\_\_\_  
Date Filed: \_\_\_\_\_

PLEASE COMPLETE ONLY THE 2025 SECTION THAT APPLIES.

Applicant's Name: Danielle Eyler Durning Date: December 11, 2025

**Zoning Ordinance Map Amendment** ..... \$ 2,000.00

Number of Acres \* \_\_\_\_\_ x \$20.00 per acre ..... \$ \_\_\_\_\_

Engineering Review Fee ..... \$ 150.00

Technology Fee ..... \$ 15.00

**TOTAL FEES DUE – MAP AMENDMENT** ..... \$ \_\_\_\_\_

**Text Amendment** ..... \$ 2,000.00

Choose One:  Adequate Public Facilities Ordinance  
 Forest Conservation Ordinance  
 Solid Waste Plan  
 Subdivision Ordinance  
 Water and Sewer Plan  
 Zoning Ordinance  
 Other: \_\_\_\_\_

Technology Fee ..... \$ 15.00

**TOTAL FEES DUE – TEXT AMENDMENT** ..... \$ 2,015.00

**Forest Conservation Exemption** ..... \$ 25.00

Technology Fee ..... \$ 15.00

**TOTAL FEES DUE – FOREST EXEMPTION** . . . \$ 40.00

Please make checks payable to "Washington County Treasurer".



WASHINGTON COUNTY PLANNING COMMISSION  
ZONING ORDINANCE TEXT AMENDMENT

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REQUIRED APPLICATION MATERIALS CHECKLIST

All materials must be clearly labeled

Original plus 1 copy and one digital copy sent to  
[askplanning@washco-md.net](mailto:askplanning@washco-md.net) of complete application package

- 1. **Application Form:** A completed and signed application form. A copy of the proposed changes to the existing language must accompany the application.
- 2. **Fee Worksheet and Application Fee:** A completed Fee Worksheet must be submitted at the time application is made. If paying by check, please make checks payable to the “Washington County Treasurer”. If paying by credit card, the application must be accepted for completeness and initialized by the Department prior to accepting payment. An invoice will be e-mailed to the applicant and **must** be paid prior to the deadline specified in the e-mail. The rezoning process will not begin until payment has been received.
- 3. **Justification Statement:** A written explanation of the reasons why the amendment is being requested, setting forth in sufficient detail to properly advise County officials as to the justification for the amendment. The justification statement must include the following:
  - i. Describe how the request is consistent with the County’s most recent adopted Comprehensive Plan; AND
  - ii. Provide a statement describing how the request is logical and appropriate.
- 4. Any other material facts that support the amendment. **2022 Petition; 2025 Petition**

**ZONING CODE TABLE NO. 3.3(1)**  
**TABLE OF LAND USE REGULATIONS**  
**(RURAL AREA USES)**  
**(Zoning Ordinance page 11)**

LAND USES	A(R)	EC	P	RV	RB	IM	Intensity of Use
<b>P. Retail and Wholesale Trade</b>							
Printing, blue printing, photocopying, and similar reproduction services	N	N	N	SE	P	N	LOW
<u>Small Box Variety Store within 1,000 feet of property with a historic designation or subject to a historic trust easement.</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>HIGH</u>
Temporary or Seasonal Retail - provided that the area devoted to the use be limited to less than 2,500 sq. ft. and that the use on the premises occurs for at least 30 days and does not exceed 6 months within a calendar year	SE	E	SE	SE	P	N	LOW

**ZONING CODE CHAPTER 28A (DEFINITIONS)**  
**(Zoning Ordinance pages 341 – 342)**

**Signs:**

A name, identification, description, display, illustration or device which is affixed or represented directly or indirectly upon a building, structure or land and which directs attention to a product, place, activity, person, institution, or business. All signs must be located on the premises of the development so identified.

\* \* \*

- F. Sign Area: The cumulative area of all faces of a sign, including the advertising surface and any framing, trim, or molding; but not including the supporting structure.
- G. Sign Face: The area or display surface of any sign upon, against, or through which the message is displayed or illustrated on said sign.

**Small Box Variety Store:**

A store with 16,000 square feet or less gross square footage which sells assorted physical goods, merchandise and food and non-food products directly to consumers at an average retail cost of \$15.00 or less. A small box variety store does not include a grocery store or convenience store.

**Small Wind Energy System:**

Means a single-towered wind energy system that:

- A. is used to generate electricity;
- B. has a rated nameplate capacity of (50) kilowatts or less; and
- C. has a total height of one hundred fifty (150) feet or less.



December 14, 2025

Mr. John F. Barr, President,  
Board of County Commissioners  
Mr. Jeffrey A. Cline, Vice-President  
Mr. Randall E. Wagner, Commissioner  
Mr. Derek Harvey, Commissioner  
Mr. Randal Leatherman, Commissioner

RE: Request for Zoning Text Amendment  
Small Box Stores: Cascade Maryland

Dear President Barr and Commissioners:

I am a resident of Cascade, where I live with my husband and two young children. For more than three years now, we have been fighting to keep a Dollar General from being built at 14403 McAfee Hill Road. The Board of Zoning Appeals approved a special exception for this use, concluding it is “functionally similar” to a grocery store.

The proposed Zoning Text Amendment (ZTA) would prohibit a “small box variety store” from being located on property in the Rural Village zone if that property is within 1,000 feet of a historic district or a property protected by a historic trust easement. This is a narrowly written text amendment designed specifically to protect property within the Rural Village zone if it is proximate to historically designated or protected resources. This proposal is not a blanket prohibition against Dollar General-type stores on properties zoned Rural Village, but rather a carefully written amendment designed to protect historic resources and the properties around them.

The ZTA is intended to support the purpose clause of the Rural Village zone. The proposed use is entirely inconsistent with the purpose of the zone, as we have explained to the Board and the Circuit Court. The purpose of the Rural Village zone is “to preserve the unique historic or rural character” of our community. Cascade has a unique historic character and a rural character deserving of protection, and we have been fighting for too long to ensure that those protection goals are enforced.

My property, and the neighboring Dollar General site, are zoned Rural Village. We are across the street from the historic – and now revitalizing – Fort Ritchie. We provided the Board with a study confirming that Dollar General stores are highly likely to damage the business interests of existing grocery stores like Sanders Market - our local “mom and pop” grocery store - which has served Cascade for decades. By extension, a Dollar General would threaten the local grocery ventures that have recently opened at revitalizing Fort Ritchie, including a small general store, a bakery, an apothecary, and soon a butcher and pick-your-own flower shop, and by extension eroding the financial viability of Fort Ritchie. There are already three Dollar General stores within 5 miles of my home. We do not need another one.

If built, the Dollar General would be directly across the street from Lake Royer and a highly visible eyesore from the Fort Ritchie property, especially from Lakeside Hall where weddings are routinely held. Like the rural, historic nature of Cascade, Fort Ritchie is a treasured historic resource deserving of protection. A Dollar General at the proposed location would be a deterrent to wedding parties seeking a truly historic, rural setting, further eroding the financial viability of Fort Ritchie.

In addition to the damage to the rural historic nature of Cascade and the historic setting associated with Fort Ritchie that the proposed Dollar General would cause, it also would materially devalue my home. During the Board of Appeals hearings, we presented an appraisal and expert testimony confirming that our house would lose in the neighborhood of \$30,000 in value (as would my closest neighbor). This is because a Dollar General has the same negative effect on home values as convenience stores and liquor stores (both not allowed in the Rural Village zone). The Board agreed with our appraiser, and made a finding that the Dollar General, if built, would have this adverse impact on our home values. The adverse financial impact is undisputed.

We appealed the Board's approval to the Circuit Court for Washington County, which remanded the case to the Board. After the Board approved the Dollar General a second time and we appealed a second time, the Circuit Court again remanded the case to the Board. We and Outdoor Contractors, the special exception applicant on behalf of Dollar General, both appealed to the Appellate Court of Maryland, where the case is now pending.

This legal background confirms that the Zoning Code needs clarification, and I am not alone in this view. The broader Cascade community has rallied behind my family to appear at Board of Appeals hearings, to raise money for a zoning lawyer to represent us before the Board and in Court, and to attend Court hearings to show support for us. A petition filed in the first Board hearing had nearly 500 signatures in opposition to this proposal, and a more recent petition has added several hundred more. I am enclosing those petitions in support of this request. We should not have to spend years, and tens of thousands of dollars – as we have done - to protect our community from a use that does not belong here because it violates the purpose and intent of the Rural Village zone.

Please accept the ZTA Amendment package which I have filed concurrently with this Statement of Justification. I also would ask that you expedite your review, to the extent legally possible under the notice and hearing requirements. As you know, my prior two requests were rejected out-of-hand, the first time by the County Administrator and the second time by Commissioner Cline. Both rejections were based on legal advice from County Attorney Zachary Kieffer, who represented Outdoor Contractors at the first Board of Appeals hearing, in part because he raised concerns that a legislative change would cause "confusion."

I want to be perfectly clear: The purpose of the proposed ZTA is to *eliminate* the confusion surrounding the Zoning Ordinance that has thus far resulted in two Board of Appeals decisions, two Circuit Court decisions, and has led to a pending appellate court hearing pending which we believe will result in a near-certain remand to the Board of Appeals for a third hearing.

Please respect the concerns raised by the hundreds of residents of Cascade and surrounding Washington County communities that are looking to you for help. Protect our mountain community and adopt the requested ZTA.

Sincerely,

*Danielle Marie Durning*

Danielle Marie Durning  
25212 Cascade Road  
Cascade MD 21719  
301-992-4661

[danielleeyler@gmail.com](mailto:danielleeyler@gmail.com)

January 20, 2026

Mr. John F. Barr, President,  
Board of County Commissioners  
Mr. Jeffrey A. Cline, Vice-President  
Mr. Randall E. Wagner, Commissioner  
Mr. Derek Harvey, Commissioner  
Mr. Randal Leatherman, Commissioner

RE: Request for Zoning Text Amendment  
Small Box Stores: Cascade Maryland  
JUSTIFICATION STATEMENT

Dear President Barr and Commissioners:

I am a resident of Cascade, where I live with my husband and two young children. For more than three years now, we have been fighting to keep a Dollar General from being built at 14403 McAfee Hill Road. The Board of Zoning Appeals approved a special exception for this use, concluding it is “functionally similar” to a grocery store. We seek your approval of a proposed Zoning Text Amendment (“ZTA”): (1) as a logical and appropriate clarification of the purpose and scope of the Rural Village zone; and (2) as consistent with, and in furtherance of, the goals of the County’s 2040 Comprehensive Plan for Washington County, adopted on August 26, 2025.

Multiple public officials have told me that they are unable to take up this ZTA while a pending court appeal is underway. As clearly explained in the legal analysis filed as Attachment One to this Justification Statement, the Commissioners have clear authority to consider and approve the requested ZTA while any court proceedings are pending.

Failure to act would be a political *choice* by the Commissioners to reject my request for help – not a legal requirement. I remain highly concerned that the Commissioners’ continued reliance on this misplaced “legal argument” is a carry-over from legal advice offered previously by County Attorney Zacchary Kieffer.

**The Requested Zoning Text Amendment Is A Logical and Appropriate Clarification of the Purpose And Scope Of The Rural Village District.**

The proposed Zoning Text Amendment (ZTA) would prohibit a “small box variety store” on property in the Rural Village zone located within 1,000 feet of a historic district or a property protected by a historic trust easement (“Protected Area”). This is a narrowly written text amendment designed specifically to protect property within the Rural Village zone if it is proximate to historically designated or protected resources. While a Dollar-General-type store is not allowed in the Rural Village zone, the proposed amendment will eliminate any potential ambiguity by expressly protection While it is clear to me that Dollar-General-type stores are not allowed in the Rural Village zone, the proposed amendment will address any potential ambiguity, and clearly protect historic resources and the properties around them.

The ZTA is intended to support the purpose clause of the Rural Village zone. The proposed use is entirely inconsistent with the purpose of the zone, as we have explained to the Board of Appeals and the Circuit Court. The purpose of the Rural Village zone is “to preserve the unique historic or rural

character” of our community. Cascade has a unique historic character and a rural character deserving of protection, and we have been fighting for too long to ensure that those protection goals are enforced.

My property, and the neighboring Dollar General site, are zoned Rural Village. We are across the street from the historic – and now revitalizing – Fort Ritchie. We provided the Board with a study confirming that Dollar General stores are highly likely to damage the business interests of existing grocery stores like Sanders Market - our local “mom and pop” grocery store - which has served Cascade for decades. By extension, a Dollar General would threaten the local grocery and other business ventures that have recently opened at revitalizing Fort Ritchie, including a small general store, a bakery, an apothecary, and soon a butcher and pick-your-own flower shop, and by extension eroding the financial viability of Fort Ritchie. There are already three Dollar General stores within 5 miles of my home. We do not need another one.

If built, the Dollar General would be directly across the street from Lake Royer and a highly visible eyesore from the Fort Ritchie property, especially from Lakeside Hall where weddings are routinely held and a recently announced boutique hotel that will support the Fort’s wedding events (and revenue. Like the rural, historic nature of Cascade, Fort Ritchie is a treasured historic resource deserving of protection). The hotel represents a significant additional investment in the local economy and merits protection. A Dollar General at the proposed location would be a deterrent to wedding parties seeking a truly historic, rural setting, further eroding the financial viability of Fort Ritchie.

In addition to the damage to the rural historic nature of Cascade and the historic setting associated with Fort Ritchie that the proposed Dollar General would cause, it also would significantly devalue my home. During the Board of Appeals hearings, we presented an appraisal and expert testimony confirming that our house would lose in the neighborhood of \$30,000 in value (as would my closest neighbor). This is because a Dollar General has the same negative effect on home values as convenience stores and liquor stores (both not allowed in the Rural Village zone). The Board agreed with our appraiser, and made a finding that the Dollar General, if built, would have this adverse impact on our home values. The adverse financial impact is undisputed.

We appealed the Board’s approval to the Circuit Court for Washington County, which remanded the case to the Board. After the Board approved the Dollar General a second time and we appealed a second time, the Circuit Court again remanded the case to the Board. We and Outdoor Contractors, the special exception applicant on behalf of Dollar General, both appealed to the Appellate Court of Maryland, where the case is now pending.

As is clear from the multiple court decisions, the Zoning Code needs clarification. Adopting the proposed ZTA will assist the courts, not confuse them.

**The Proposed ZTA Is Consistent With And Will Further The Goals Of The County’s Most Recent Comprehensive Plan**

This proposed amendment is consistent with and supportive of the Goals and Objectives set forth in the 2040 Comprehensive Plan for Washington County adopted on August 26, 2025 (the Plan), and, by extension, the purposes of the Rural Village zone as stated in Section 5D.0 of the Zoning Ordinance for Washington County, MD.

The Plan is a comprehensive document intended to guide growth and development, and the general

policy guidelines it describes are meant to inform various land use regulations, including zoning regulations. *See* Plan Page 2-3 (“This policy document in turn serves as the foundational basis for implementing various land use regulations such as zoning which carries out the plan’s recommendations across rural and urban areas alike.”); Plan Page 15-1 (“The Comprehensive Plan is not a stand-alone document, but is supported by (and, in turn supports) related planning program documents including the [Zoning Ordinance].”). Among the stated purposes of the Plan are to “[g]uide and accomplish the coordinated, adjusted, and *harmonious* development of the local jurisdictions and their environs;” and “[t]o promote good civic design and arrangement . . .” Plan Page 2-3 (emphasis added). The Plan proposes to accomplish these purposes by establishing certain Goals and Objectives. Plan Page 3-3. In this case, the proposed ZTA would directly further Items 2, 6, and 8 of the Plan’s Goals and Objectives by imposing a very reasonable restriction on the precise location of small box stores when situated in the Rural Village zone.

1. Item 2: Promote a balanced and diversified economy.

The proposed text amendment serves to protect the highly local, diverse economies in rural villages. In discussing the economic development strategies for the County, the Plan recognizes the “need to sustain and expand *existing* businesses and industries . . .” and places emphasis on, among other factors: “[i]ncreasing efforts to retain and expand *existing* businesses;” “[p]romoting recreational and heritage tourism;” and “[e]ncouraging *redevelopment, revitalization, or rehabilitation of existing developed areas or sites where appropriate.*” Plan Page 9-18; *see also* Plan Page 15-3 (reflecting the general concern of attracting and retaining businesses)(italics added). The proposed ZTA would aid in accomplishing these goals by protecting existing local businesses in the County’s rural villages.

The local economies in Rural Village communities largely consist of a collection of diverse small businesses and “mom-and-pop” stores. Due to the depth and breadth of their product offerings, small box stores are highly likely to damage existing business interests that are focused on recreational and heritage tourism by eroding the aesthetic of those areas, and in particular impeding the revitalization and rehabilitation of business interests on historic properties. Opening one “cookie cutter” nationally-based business at the expense of highly localized business interests does not “[p]romote a balanced and diversified economy.” This is especially true for local businesses that reinvest in their village through community-based service activities. Imposing a minimum distance restriction on the placement of small box stores from historic resources, often foundational to revitalization and rehabilitation efforts, would limit the area of impact of these negative consequences on historical resources and the Rural Villages in which they are situated.

In some Rural Villages, heritage tourism comprises part of the local economy. For example, historic and scenic venues may be hired for social gatherings like weddings. These venues are often sought out for the immersion in a truly historic, rural setting that they can provide. A box store built within the viewshed of these highly unique settings threatens the quality of the historic and rural sight lines from these tourism venues, potentially limiting customers’ interest in that venue. They also are the backdrop for historic tours. Eroding the business revenue that support these resources is detrimental to the continued financial viability of the village economy. While the Rural Village zone prohibits these uses altogether, the proposed ZTA would protect these heritage tourism activities in the Rural Villages by eliminating all ambiguity with respect to Protected Areas.

In addition to adversely affecting local businesses and tourism revenue, small box stores – just like convenience stores and liquor stores – tend to materially devalue the neighboring properties, which is also detrimental to the local economy. The proposed ZTA is consistent with and supportive of the Comprehensive Plan Goal and Objective of promoting a balanced and diversified economy in the

County.

2. Item 6: Enhance the County’s rich historic and cultural heritage through land preservation and historic preservation efforts.

The proposed ZTA would serve the Plan’s Goals and Objectives pertaining to the protection of historic resources. Chapter 5: Historic Element of the Plan recounts Washington County’s rich history and the efforts the County has taken thus far to identify and preserve its approximately 120 historic resources and districts included on the National Register of Historic Places. Plan Pages 5-8–5-9. It is suspected that over 22,000 more historic resources have not yet been evaluated. Plan Page 5-13. Of the 63 Rural Villages listed in Table 5.4 of the Plan, only 25 have been surveyed for the Washington County Historic Sites Inventory. See Plan Pages 5-23–5-24. The Plan advocates for the remaining Rural Villages to be surveyed in order that the Historic District Commission be able to “continue review of changes to identified contributing resources and new construction which may adversely affect those resources.” Plan Page 5-22; see also Plan Page 5-32 (listing a Historic Element Recommendation to “[e]xpand and update the Washington County Historic Sites Inventory . . .”); Plan Page 15-13 (incorporating the foregoing recommendation as a long-term goal in the Plan’s implementation). See Attachment Two: 38 Rural Villages Pending Historic Sites Inventory Survey.

While they await formal study, the historical character of the 38 Rural Villages not yet surveyed should not be eroded by context inappropriate development, a consequence of allowing the development of small box stores in close proximity to a Rural Village’s historical resources. The proposed ZTA would ensure that the character of all of these potential historical resources is protected and preserved until all surveys have been completed. In so doing, the ZTA would also serve the Historic Element Recommendations to “[m]inimize factors which negatively impact historic and cultural resources by balancing growth . . .” and to “[i]dentify and protect additional scenic corridors and areas with a high integrity of historic context through land use policies.” Plan Page 5-32.

Additionally, the proposed ZTA is also in harmony with the Historic Element Recommendation to “[c]ollaborate with historic resource interest groups and connect with new audiences by promoting historic resources and improving cooperative relationships with historic resource interested parties.” Plan Page 5-32. See also Plan Pages 15-12–15-13 (incorporating each of these recommendations as medium- or long-term goals in the Plan’s implementation); Plan Page 2-3 (“Above all, a comprehensive plan offers the opportunity for the communities to develop a shared vision for their future.”).

While the proposed ZTA is narrowly tailored, this type of amendment is clearly within the envisioned scope of regulatory change contemplated by the Plan. *The Plan recommends impactful changes to the Zoning Ordinance and stricter protections for historical resources. See, e.g.,* Plan Page 15-9 (recommending as a medium-term goal “[u]pdat[ing] and revis[ing] the Zoning and Subdivision Ordinance regulations to incorporate appropriate zoning districts and development standards recommended in [the Growth Management & Land Use Element] chapter”); Plan Page 5-32 (including a Historic Element Recommendation to “[m]odernize and create a separate Historic Preservation Ordinance that consolidates terminology for review areas to reduce confusion and also addresses topics specific to Historic Preservation such as demolition and demolition by neglect of historic resources”); Plan Page 15-12 (incorporating the same as a short-term goal in the Plan’s implementation). Pending adoption of a Historic Preservation Ordinance, the proposed ZTA will ensure that the historically designated Protected Areas will receive continued aesthetic and financial protection.

The proposed ZTA is thus consistent with and supportive of the Goal and Objective of enhancing the County's rich historic and cultural heritage through land preservation and historic preservation efforts.

3. Item 8: Encourage infill development and revitalization of existing communities using context sensitive development strategies to maintain and enhance community character.

The proposed ZTA would protect the rural and historical character of the Rural Villages by restricting the placement of small box stores within the very limited 1,000-foot radius of a historic Protected Area. Rural Villages are “definable on the landscape and contribute to the unique character of Washington County.” Plan Page 14-26. They are what one pictures when thinking of the quintessential small town: “a small core of a residential neighborhood associated with a retail establishment or an institution such as a post office, elementary school, church or fire station.” Plan Page 14-26. Retail stores in these rural areas and historic setting tend to be smaller, more product-specific specialty stores (bakeries, candy stores, clothing stores, jewelers, mom-and-pop grocery and general stores, apothecaries, etc.) or service-specific businesses (auction houses, flea markets, upholstery stores, etc.), explicitly allowed under the Rural Village zone, usually against a natural landscape backdrop of ponds or lakes teeming with wildlife, lush green fields, and breathtaking forested mountain views.

Washington County has long focused its efforts on preserving the boundary between these types of rural areas and their more developed urban counterparts. *See, e.g.*, Plan Page 11-14; Plan Page 6-17 (noting in the context of housing that “Washington County has long pursued a strategy of seeking to attract development where it is desirable (in planned growth areas where infrastructure needed to serve development already exists), **while limiting its spillover effects in areas where it is less desired (in rural areas where agriculture is the primary land use and sensitive environmental resources are found in greater abundance)**” (emphasis added)); Plan Page 15-6 (recognizing the need for “context sensitive design” in Rural Villages in the realm of transportation to “preserve community character”). The Plan clearly indicates that in identifying sites for commercial uses, among the factors for consideration are the following: “[t]he ability to mitigate developmental impacts on sensitive environmental, historical or cultural features;” “[a]voidance of areas where there is a high probability of incompatibility with existing residential development;” “[l]ocat[ing] retail commercial sites where they best serve the market niche being targeted whether regional, community, or neighborhood based;” and “[w]hen feasible, associat[ing] development with an approved or proposed incentive area such as Enterprise Zones or Foreign Trade Zones.” Plan Page 9-17.

The County has used “a variety of regulatory tools” to “avoid conflicts from incompatible land uses.” Plan Page 6-18. For instance, the general policy guidelines that undergird the Plan are meant to inform various land use regulations, including zoning regulations. Plan Pages 2-3, 15-1. The Zoning Ordinance recognizes some of the Plan’s policy goals in Section 5D.0, which elaborates the purposes for which the Rural Village zone was established. The underlying purpose of the Rural Village designation is to “preserve the unique historic or rural character of existing villages by encouraging compatible development within a defined village boundary.” To be permitted in this zone, development must be “generally of a similar density, scale and use type and mixture as that which exists in the village,” and is expected to be primarily residential, with only “a limited amount of mixed rural services.” These limitations “prevent large amounts or inappropriately scaled development or uses that would detract from the existing rural or historic character of the village.” *Accord* Plan Page 14-24 (“The challenge of the Land Use Plan dealing with the Rural Area, is to preserve the rural character through policies that will not promote significant development but will

maintain a productive environment for the existing industries located there.”); Plan Page 14-26 (recognizing that attention must be paid to “design criteria thereby preserving the historical nature of the area in terms of scale and compatibility” and recommending that “[d]evelopment should be limited to infill development in accordance with the defined boundaries for the Rural Village”); Plan Page 14-27 (“Non-agricultural commercial uses in the rural areas should be limited to uses that serve the needs of the rural residential population, provide for recreation and tourism opportunities, and that support, complement, and promote the farming, forestry, and heritage tourism industries.”). *See also* Plan Page 14-28 (specifying Land Use and Growth Recommendations to “[r]eview and update definitions of rural business zoning to incorporate an emphasis on retaining scale and compatibility with surrounding properties” and “[r]eview and potentially reduce the number of commercial land uses permitted by right in the Rural Business floating zone to ensure they are meeting the intended purpose of the district [and particularly] intensity of use, appearance in context of the rural area, and potential design standards”).

The proposed ZTA simultaneously promotes the overall spirit and the Goals and Objectives of the Plan with regard to protecting and enhancing community character, as well as the purpose and intent of the Rural Village zone. In contrast to the bucolic setting invoked by the description of the typical Rural Village, the highly commercialized “cookie cutter” design, intrusive lighting, and conspicuous signage of the typical small box stores make it an eminently visible eyesore in close proximity to historical resources. This type of commercial development is terribly out of character with the style and scale of the historic, rural surroundings and the small, local-business oriented economy. Issues such as increased tractor-trailer traffic for deliveries, magnified noise and congestion from additional consumer vehicular traffic 7 days a week, community safety concerns associated with all of this increased traffic, uncharacteristic nighttime lighting, and odor and vermin associated with the presence of dumpsters all significantly detract from the existing unique historic and rural aesthetic of the Rural Villages.

The proposed ZTA is thus consistent with and supportive of the Goal and Objective of encouraging infill development and revitalization of existing communities using context sensitive development strategies to maintain and enhance community character.

### **Conclusion**

The broader Cascade community has rallied behind my family to appear at Board of Appeals hearings, to raise money for a zoning lawyer to represent us before the Board and in Court, and to attend Court hearings to show support for us. A petition filed in the first Board hearing had nearly 500 signatures in opposition to this proposal, and a more recent petition has added several hundred more. I am enclosing those petitions in support of this request. We should not have to spend years, and tens of thousands of dollars – as we have done - to protect our community from a use that does not belong here because it violates the purpose and intent of the Rural Village zone.

Please accept the ZTA Amendment package which I have filed concurrently with this Statement of Justification. I also would ask that you expedite your review, to the extent legally possible under the notice and hearing requirements. As you know, my prior two requests were rejected out-of-hand, the first time by the County Administrator and the second time by Commissioner Cline. Both rejections were based on legal advice from County Attorney Zachary Kieffer, who represented Outdoor Contractors at the first Board of Appeals hearing, in part because he raised concerns that a legislative change would cause “confusion.”

I want to be perfectly clear once again: The purpose of the proposed ZTA is to *eliminate* the

confusion surrounding the Zoning Ordinance that has thus far resulted in two Board of Appeals decisions, two Circuit Court decisions, and has led to a pending appellate court hearing pending which we believe will result in a near-certain remand to the Board of Appeals for a third hearing. The proposed ZTA is a logical, narrowly tailored amendment specifically proposed to clarify the purpose and scope of the Rural Village zone. Moreover, it is consistent with the Comprehensive Plan in that it shows clear support for three of the Plan's Goals and Objectives, and is at least neutral to the remaining five. Plan Page 2-6 ("A consistent regulation or decision may show clear support for the Plan. It may also be neutral – but it should never undermine the Plan.") (quoting Managing Maryland's Growth: Models and Guidelines – Achieving "Consistency" Under The Planning Act of 1992; Maryland Office of Planning; April, 1994; Publication #94-03; page 2)).

Please respect the concerns raised by the hundreds of residents of Cascade and surrounding Washington County communities that are looking for your support, as our elected representatives, in protecting our mountain community by adopting the requested ZTA.

Sincerely,  
/s/ Danielle Marie Durning

Danielle Marie Durning  
25212 Cascade Road  
Cascade MD 21719  
301-992-4661  
[danielleeyler@gmail.com](mailto:danielleeyler@gmail.com)

confusion surrounding the Zoning Ordinance that has thus far resulted in two Board of Appeals decisions, two Circuit Court decisions, and has led to a pending appellate court hearing pending which we believe will result in a near-certain remand to the Board of Appeals for a third hearing. The proposed ZTA is a logical, narrowly tailored amendment specifically proposed to clarify the purpose and scope of the Rural Village zone. Moreover, it is consistent with the Comprehensive Plan in that it shows clear support for three of the Plan's Goals and Objectives, and is at least neutral to the remaining five. Plan Page 2-6 ("A consistent regulation or decision may show clear support for the Plan. It may also be neutral – but it should never undermine the Plan.") (quoting *Managing Maryland's Growth: Models and Guidelines – Achieving "Consistency" Under The Planning Act of 1992*; Maryland Office of Planning; April, 1994; Publication #94-03; page 2)).

Please respect the concerns raised by the hundreds of residents of Cascade and surrounding Washington County communities that are looking for your support, as our elected representatives, in protecting our mountain community by adopting the requested ZTA.

Sincerely,

*Danielle Marie Durning*

Danielle Marie Durning  
25212 Cascade Road  
Cascade MD 21719  
301-992-4661  
[danielleyleyer@gmail.com](mailto:danielleyleyer@gmail.com)

At the request of my client, Danielle Durning, I am providing you with a summary of the established Maryland court decisions that (1) require a local legislative body to apply existing laws while litigation is underway; and (2) will apply the existing laws in a pending case, even if doing so would have the effect of ensuring an earlier agency decision.

This legal analysis confirms that while the Commissioners may choose not to act on the amendment application filed by Ms. Durning, which seeks to clarify the Rural Village Zone, the Commissioners are not precluded from doing so. In other words, declining to act on the pending amendment would be a political choice, not a legal choice.

The legislature's right to amend existing laws pending litigation was established fifty years ago in *Levitt v. Corp. v. Powell*, 237 Md. 121, 124, 203 A.2d 259 (1964), when the Supreme Court of Maryland held as follows:

"Maryland consistently has followed the rule that 'an appellate court is bound to decide a case according to existing laws, even though a judgment rightful when rendered by the court below should be reversed as a consequence,' ... [and] a change in the [zoning] law after a decision below and before final decision by the appellate Court will be applied by that Court unless vested or accrued substantive rights would be disturbed or unless the legislature shows a contrary intent."

ML  
"Vested rights" only accrue if a property owner has begun construction pursuant to a validly issued building permit.<sup>1</sup>

<sup>1</sup> The vested rights principle has been clearly explained as follows: "[W]hen a property owner (1) obtains a lawful building permit, (2) commences to build in good faith, and (3) completes substantial construction on the property, his right to complete and use that structure cannot be affected by any subsequent change of the applicable building or zoning regulations." *Case of Baltimore v. W. Shore Casino, Inc.*, 110 Md. App. 300, 325 (1996). No vested rights are implicated in connection with the proposed text amendments.



January 20, 2026

Mr. John F. Barr, President,  
Board of County Commissioners  
Mr. Jeffrey A. Cline, Vice-President  
Mr. Randall E. Wagner, Commissioner  
Mr. Derek Harvey, Commissioner  
Mr. Randal Leatherman, Commissioner

RE: Legislative Zoning Amendments While Litigation Is Ongoing

Dear Commissioners:

At the request of my client, Danielle Durning, I am providing you with a summary of long-established Maryland court decisions that (1) confirm a local legislature’s legal authority to amend zoning laws while litigation is underway; and (2) will apply the amendment during a pending court case, even if doing so would have the effect of reversing an earlier agency or court decision.

This legal analysis confirms that while the Commissioners may choose not to act on the zoning text amendment application filed by Ms. Durning, which seeks to clarify the Rural Village zone, the Commissioners are not precluded from doing so. In other words, declining to adopt the proposed zoning text amendment would be a political choice, not a legal choice.

The legislature’s right to amend zoning laws pending litigation was established fifty years ago in *Yorkdale Corp. v. Powell*, 237 Md. 121, 124, 205 A.2d 269 (1964), when the Supreme Court of Maryland held as follows:

“Maryland consistently has followed the rule that ‘an appellate court is bound to decide a case according to existing laws, even though a judgment rightful when rendered by the court below should be reversed as a consequence,’ . . . [and] a change in the [zoning] law after a decision below and before final decision by the appellate Court will be applied by that Court unless vested or accrued substantive rights would be disturbed or unless the legislature shows a contrary intent.

*Id.*.

“Vested rights” only accrue if a property owner has begun construction pursuant to a validly issued building permit.<sup>1</sup>

---

<sup>1</sup> The vested rights principle has been clearly explained as follows: “[W]hen a property owner (1) obtains a lawful building permit, (2) commences to build in good faith, and (3) completes substantial construction on the property, his right to complete and use that structure cannot be affected by any subsequent change of the applicable building or zoning regulations.” *Town of Sykesville v. W. Shore Commc’ns*, 110 Md. App. 300, 329 (1996). No vested rights are implicated in connection with the proposed text amendment.

The *Yorkdale* principle has been consistently and repeatedly affirmed by the courts. See *In re Northpoint Realty Partners, LLC*, 265 Md. App. 270, 291 (2025)(confirming *Yorkdale* held a statutory change "after a decision below and before final decision by the appellate Court" applies retroactively "unless vested or accrued substantive rights would be disturbed or unless the legislature shows a contrary intent"); *McHale v. DCW Dutchship Island LLC*, 415 Md. 145, 160 (2010) (noting *Yorkdale* held that in zoning and land use cases a court would apply a substantive change to a statute during the course of litigation"); *Layton v. Howard Cnty. Bd. of Appeals*, 399 Md. 36, 70 (2007) (stating "we reaffirm the *Yorkdale* rule that a substantive change in relevant statutory law that takes place during the course of the litigation of a land use or zoning issue shall be retrospectively applied by appellate courts").

I trust this summary of Maryland law clarifies that the Commissioners have legal authority to adopt the zoning text amendment requested by Ms. Durning.

Respectfully Submitted,

*Michele McDaniel Rosenfeld*

Michele McDaniel Rosenfeld

Cc: Danielle Eyler Durning

Table 5-4: Rural Villages Historic Survey Status (cont.)

Rural Villages Remaining for Survey			
Bagtown	Charlton	Huyett**	Mount Briar
Beaver Creek	Chewsville	Indian Springs	Pecktonville
Big Pool	Dargan	Jugtown	Pinesburg
Big Spring	Eakles Mill	Kemps**	Pondsville
Bostetter**	Edgemont	Kemps Mill	Reid
Breathedsville	Ernstville	Lappans	St. James (Lydia)
Bridgeport**	Fairview	Mapleville	Trego/Rohrersville Station
Cascade	Fiddlersburg/Security**	Mercersville	Yarrowsburg
Cearfoss	Garretts Mill	Middleburg**	
Cedar Lawn**	Greensburg	Mount Aetna	

\*Not Rural Village zoning, however, individual contributing resources to a survey area are included and those resources are now incorporated into the Washington County Historic Sites Inventory by this plan

\*\*Urban Rural Villages of which their contributing resources only are reviewed for Design Review or demolition, not new construction

DOCKET NO. AP2022-034: Outdoor Contractors, Inc.: appeal for a special exception to establish general retail/merchandise store ("Dollar General")

Michele Rosenfeld <michele@marylandpropertylaw.com>

Tue 8/30/2022 9:08 AM

To: Rathvon, Kathryn B. <krathvon@washco-md.net>

 1 attachments (12 MB)

Petition signatures in opposition.pdf

Ms. Rathvon:

Please submit the attached petitions in opposition to the above-referenced application in the record and circulate as appropriate.

Thank you,

Michele Rosenfeld  
The Law Office of Michele Rosenfeld LLC  
1 Research Court, Suite 450  
Rockville MD 20850  
michele@marylandpropertylaw.com  
301-204-0913



**There are other abandoned previously established village lots within the community more suitable including the old Decker store and the old BP station.**

**Our skies will be polluted with extreme bright lights at night. Store will be open every seven days a week from 8 a.m. to 10 p.m.**

**Increased traffic – customers and delivery trucks - will increase accidents and create noise, dust, smoke and fumes pollution.**

**Increased trash and smell due to large concrete dumpsters in the rear of the store.**

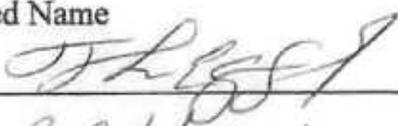
**Increased crime, loitering, vandalism in surrounding homes and neighborhoods.**

**Dollar General is harmful to communities and to the physical health of our residents since they limit access to healthy foods.**

**Dollar General will close down locally owned grocery stores and prevent other grocery stores with healthier food choices from moving in.**

**There are more appropriate uses for this parcel of land.**

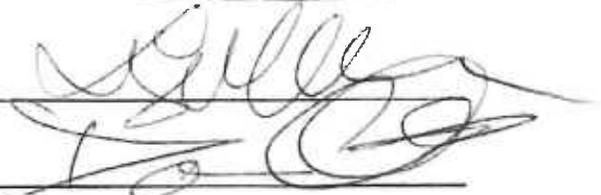
We, the undersigned, are signing this petition to oppose Outdoor Contractors Inc.'s request for a special exception. We are saying NO to Dollar General and yes to preserving and protecting our peaceful, healthy, safe, unpolluted, quiet, starlit nights here in the rural mountaintop village of Highfield-Cascade! Thank you!

Printed Name	Signed Name
1. <u>Thomas Cregger</u>	<u></u>
2. <u>C Robert Stockman</u>	<u>C. Robert Stockman</u>
3. <u>Dennis Abplanalp</u>	<u>Dennis Abplanalp</u>
4. <u>Leslie Cerf</u>	<u>Leslie Cerf</u>

PRINT

SIGN

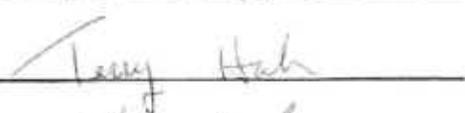
5. Lynn Van Buschick



6. Damien Applabaip



7. Teresa Hahn



8. Terry Hahn



9. Sharon Toms



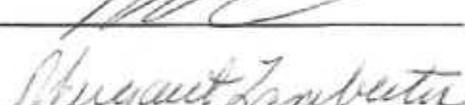
10. Vicki SHARTZEL



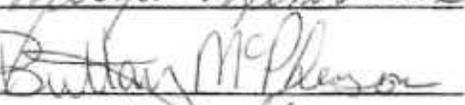
11. David ZITZ



12. Virginia Baker



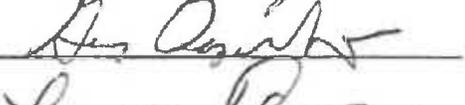
13. MARGARET LAMBERTON



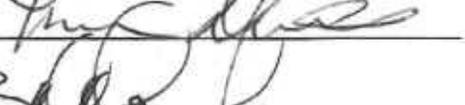
14. MARGARET LAMBERTON



15. Brittany McPherson



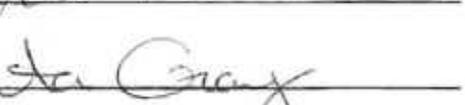
16. William Maguire



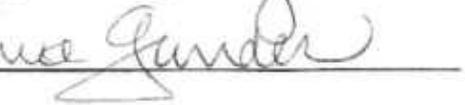
17. Gary Dagenhart



18. Kevin Davis



19. BENJAMIN D. DOMERICK



20. Lisa Devlin



21. Greta Gray



22. DIANA GUNDER



PRINT

SIGN

23. DANNY STOLKSLAGER



24. Tim Clark



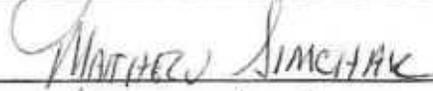
25. Karen Sander



26. Jane Simchak



27. Matthew Simchak



28. KIMBERLY A. KLEPPNER



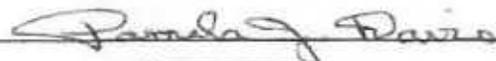
29. Patrick Bragg



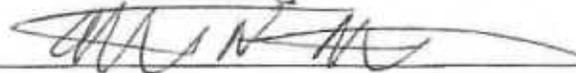
30. Danny L. Davis



31. Pamela J. Davis



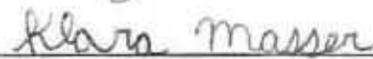
32. MATTHEW MASSER



33. Kathy Masser



34. Klara masser



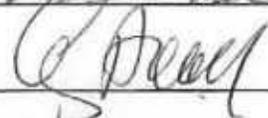
35. Marley Pratt



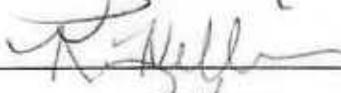
36. Kaela Pratt



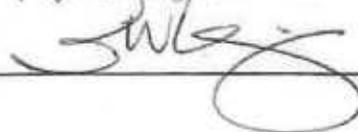
37. Andy Brewer



38. Gay Hillert



39. BRIAN W. IRVING



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40. Roger Willard      Roger L Willard

41. ROBERT MATEER      Robert Mateer

42. Terry Weikert      Terry Weikert

43. Kira Weikert      Kira Weikert

44. Eugenia Fisher      Eugenia Fisher

45. Doug Warren      Doug Warren

46. Linda Crider      Linda Crider

47. Lucille Hammann      Lucille Hammann

48. WILLIAM HAMMANN      William Hammann

49. Clarence Beaver III      Clarence Beaver III

50. Cocture Beaver      Cocture Beaver

51. Deborah Huffman      Deborah Huffman

52. STEPHEN ZAPOTOCKY      Stephen Zapotocky

53. Deb Redden      Deb Redden

54. Patricia Ashby      Patricia Ashby

55. Steven Boun      Steven Boun

56. DON CRUTHER      Donald Cruth

57. Patricia Ashby      Patricia Ashby

58. RANDALL HUMPHREY      Randall Humphrey

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59. BARRY J. CERF

Barry J. Cerf

60. Mark A Cunningham

Mark A Cunningham

61. Daniel Hunt

D Hunt

62. Bradley Hunt

Bradley Hunt

63. John Wisner

John Wisner

64. Michael Norris

Michael Norris

65. Nancy Stefan

Nancy Stefan

66. Shelba Bollinger

Shelba G. Bollinger

67. David E. Bollinger

David E Bollinger

68. Lura Stockman

Lura Stockman

69. Jeff McKenzie

Jeff McKenzie

70. Lawn Bickenstaff

Lawn Bickenstaff

71. Mark Salome

Mark Salome

72. DANNY L. LASPE

Danny L. Laspe

73. Kathleen Kaminski

Kathleen Kaminski

74. Daniel Bernd

Daniel Bernd

75. Stacy Kragh

Stacy Kragh

76. GERALDINE OTREMBA

Geraldine Otremba

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77. Heidi Martin

Heidi Martin

78. Sarah Ryder

Sarah Ryder

79. Jason Prebus

Jason Prebus

80. Stan Tomesky

Stan Tomesky

81. Linda Harbaugh

Linda Harbaugh

82. PAMELA HOWARD

Pamela Howard

83. Ashley Harbaugh

Ashley Harbaugh

84. D Day

D Day

85. Nicole Deavers

Nicole Deavers

86. John Deavers

John Deavers

87. Randy Sutton

Randy Sutton

88. Pat Sutton

Pat Sutton

89. Barbara Robinson

Barbara Robinson

90. Tim GRESS

Tim Gress

91. Peme Emrick

Peme Emrick

92. Andrew Emrick

Andrew Emrick

93. Susan Foyle

Susan Foyle

94. Kathy Weaver

Kathy Weaver

95. Keith M. Cullen

Keith M. Cullen

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SIGN

96. WILLIAM F. JOHNSON W F Johnson

97. ANGELA AUMAR Angela Aum

98. \_\_\_\_\_

99. \_\_\_\_\_

100. \_\_\_\_\_

7A

97

- 5. Allison Morris ~~\_\_\_\_\_~~
- 6. Kayla Cox Kayla B Cox
- 7. Tim Heuser ~~\_\_\_\_\_~~
- 8. Heather Bodnar Heather Bodnar
- 9. Nicholas Shockey ~~\_\_\_\_\_~~
- 10. Ken Buckler ~~\_\_\_\_\_~~
- 11. Valerie Elliott VK Elliott
- 12. William Elliott ~~\_\_\_\_\_~~
- 13. Sheila Wallace ~~\_\_\_\_\_~~
- 14. Steven Rhodes ~~\_\_\_\_\_~~
- 15. Barbara OBryen Barbara OBryen
- 16. Richard Jones ~~\_\_\_\_\_~~
- 17. Dan Bloom Dan B Bloom
- 18. Debbie Answorth Debra Answorth
- 19. Becky Harbaugh Becky Harbaugh
- 20. Roger HARBAUGH ~~\_\_\_\_\_~~
- 21. Brandon Staley ~~\_\_\_\_\_~~
- 22. Allison Severance Allison Severance

- |     |                                  |                     |
|-----|----------------------------------|---------------------|
| 23. | <del>James</del> Jason R. Lowman |                     |
| 24. | Bryce B. Furt                    | Gregory B. DeLarter |
| 25. | <del>David</del>                 | David Fyfe          |
| 26. | <del>David</del>                 | David Sewell        |
| 27. | <del>AMIT</del>                  | AMIT SOOD           |
| 28. | <del>Nancy Kirkpatrick</del>     | Nancy Kirkpatrick   |
| 29. | <del>James Kirkpatrick</del>     | James Kirkpatrick   |
| 30. | <del>Joyce</del>                 | Joyce Johnson       |
| 31. | <del>Judy</del>                  | Judy Johnson        |
| 32. | Michael Downelly                 | Michael Downelly    |
| 33. | Pt Straubs                       | Pt Straubs          |
| 34. | Melissa Gladhill                 | Melissa Gladhill    |
| 35. | Barry Gladhill                   | Barry Gladhill      |
| 36. | Carmen Fox                       | Carmen Fox          |
| 37. | Linda Ott                        | Linda Ott           |
| 38. | Samantha Phillips                | Samantha Phillips   |
| 39. | Judy Fox                         | Judy Fox            |

40. Karen Taylor KAREN TAYLOR

41. KATHRYN RATTIGAN ~~KATHRYN RATTIGAN~~

42. Jean Rattigan Jean Rattigan

43. Diane Guassardo Diane Guassardo

44. mark Guassardo Mark Guassardo

45. Vera Demeduk Vera Demeduk

46. Warren Spaid Warren Spaid

47. Diane Wilkinson Diane C. Wilkinson

48. Nina Thomas Nina Thomas

49. Jae Mann Jae Mann

50. Yes Tilton Yes Tilton

51. Patricia Sorey

52. Ala Clauer

53. \_\_\_\_\_

54. \_\_\_\_\_

55. \_\_\_\_\_

56. \_\_\_\_\_

57. \_\_\_\_\_

58. \_\_\_\_\_

(48)

B3

**There are other abandoned previously established village lots within the community more suitable including the old Decker store and the old BP station.**

**Our skies will be polluted with extreme bright lights at night. Store will be open every seven days a week from 8 a.m. to 10 p.m.**

**Increased traffic – customers and delivery trucks - will increase accidents and create noise, dust, smoke and fumes pollution.**

**Increased trash and smell due to large concrete dumpsters in the rear of the store.**

**Increased crime, loitering, vandalism in surrounding homes and neighborhoods.**

**Dollar General is harmful to communities and to the physical health of our residents since they limit access to healthy foods.**

**Dollar General will close down locally owned grocery stores and prevent other grocery stores with healthier food choices from moving in.**

**There are more appropriate uses for this parcel of land.**

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Printed Name

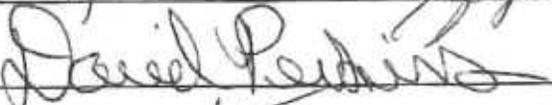
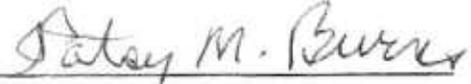
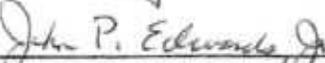
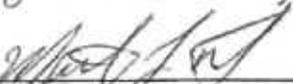
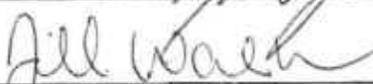
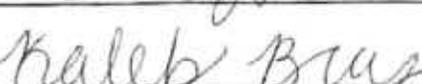
Signed Name

1. Megan Ames - Merri Hill
2. Aimee Dr Bessly
3. Janet Wainmaker
4. Angela Jones

CI

5. Debora Ettore
6. Carla Ottaway
7. ~~Tom~~ Tom
8. Ashley Cuduff
9. Matthew Cuduff
10. Adam Rock
11. ~~Ben~~ Ben
12. MATT NORRIS
13. JEREMY CHANDLER
14. Shauna Lawrence
15. Donald Chiswick
16. Lisa Band
17. ~~Carrie~~ Carrie
18. Josh Stadar
19. ~~Salmon Jones~~ Salmon Jones
20. ~~Donna Jones~~ Donna Jones
21. Hannah Greco                      Hannah Greco
22. ~~Bill Greco~~ Bill Greco

23. Jesse Creitz
24. Paige Kennedy
25. John Sprinkle
26. Meagan Moka
27. James Harris
28. Herb Brown
29. ~~Herb Brown~~
30. Patricia Jones
31. Peggy Heiston - Cascade
32. Kourtney Schmidt
33. Jonathan Schmidt
34. Jill Wachter
35. Mike Bray
36. Rileigh Bray
37. Kaleb Bray
38. Terri Leonard
39. Jason Freeman

40. Dylan Kerns 
41. Neely Mills
42. Shraw Buck
43. Tyler Wile 
44. David Perkins 
45. Katie Guth
46. Rob Flan 
47. ~~Dan~~ 
48. ~~Blm/Dr~~ 
49. Keriie Nugent 
50. Kati D. Dine 
51. Ann Dible 
52. Patsy Burns 
53. John Edwards 
54. Matthew Nugent 
55. Jill Wachter 
56. Mike Bray 
57. Rileigh Bray 
58. Kaleb Bray 

- |     |                       |                           |
|-----|-----------------------|---------------------------|
| 59. | Kelly Savinck         | Kelley Salunck            |
| 60. | Danny Laspo           | Danny Loape               |
| 61. | Hope Woodford         | Hope Woodford             |
| 62. | Bonnie McLaughlin     | Bonnie McLaughlin         |
| 63. | Tracy Ebersole        | Tracy Ebersole            |
| 64. | John Hirst            | <del>John Hirst</del>     |
| 65. | <del>John Hirst</del> |                           |
| 66. | Kathy Burdette        | Kathy Burdette            |
| 67. | Steve Burdette        | Steve Burdette            |
| 68. | Hope Whitlock         | Hope Whitlock             |
| 69. | Kris Burgett          | Kris Burgett              |
| 70. | Jennifer Frasier      | Jennifer Frasier          |
| 71. | Angela Auman          |                           |
| 72. | Vanessa Thomas        |                           |
| 73. | Kim Massett           | Kim Massett               |
| 74. | RD RAPPLEYE II        | <del>RD RAPPLEYE II</del> |
| 75. | Bernadette M. Harris  | Bernadette Harris         |
| 76. |                       |                           |

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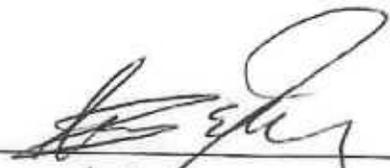
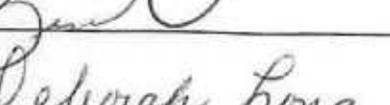
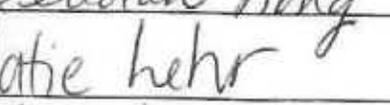
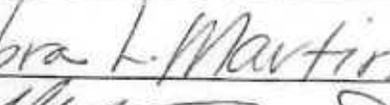
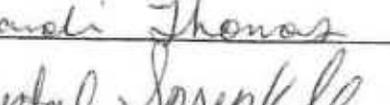
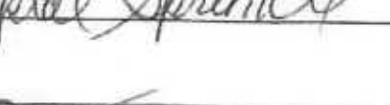
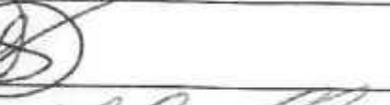
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Printed Name	Signed Name
1. Jon Seibamer	Jon Seibamer
2. Tiffany Fox	Tiffany Fox
3. Lynn Martin	Lynn A. Martin
4. N. Vicki Vicino	N. Vicki Vicino

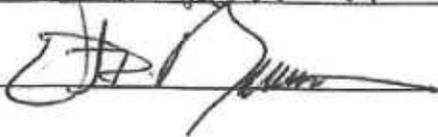
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|---------------------------------|-----------------------------|
| 5. <u>Ronald E Hainwo</u>       | <u>Ronald E Hainwo</u>      |
| 6. <u>Matt Stewart</u>          | <u>Matt Stewart</u>         |
| 7. <u>CHRISTOPHER KENDIG</u>    | <u>Christopher Kendig</u>   |
| 8. <u>Mike Swartz</u>           | <u>Mike Swartz</u>          |
| 9. <u>DAVID PERKINS</u>         | <u>David Perkins</u>        |
| 10. <u>Madalyn Eiker</u>        | <u>Madalyn Eiker</u>        |
| 11. <u>Amanda Black</u>         | <u>Amanda Black</u>         |
| 12. <u>Cheyenne Worth</u>       | <u>Cheyenne Worth</u>       |
| 13. <u>Harp Worth</u>           | <u>Harp Worth</u>           |
| 14. <u>Curtis STINE</u>         | <u>Curtis Stine</u>         |
| 15. <u>Kathy Wleaver</u>        | <u>Kathy Wleaver</u>        |
| 16. <u>Mary Fox</u>             | <u>Mary Fox</u>             |
| 17. <u>Misty Stull DeGrange</u> | <u>Misty Stull DeGrange</u> |
| 18. <u>Jeremy DeGrange</u>      | <u>Jeremy DeGrange</u>      |
| 19. <u>David Thomas</u>         | <u>David Thomas</u>         |
| 20. <u>George R. Kuhn</u>       | <u>George R. Kuhn</u>       |
| 21. <u>Devin Wallace</u>        | <u>Devin Wallace</u>        |
| 22. <u>Zachary Faust</u>        | <u>Zachary Faust</u>        |

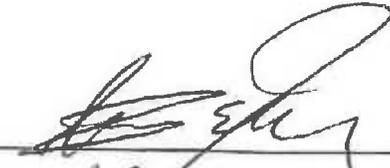
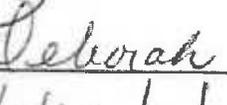
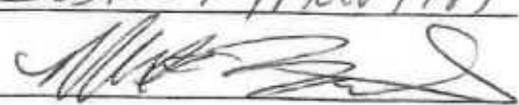
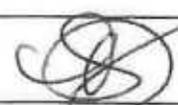
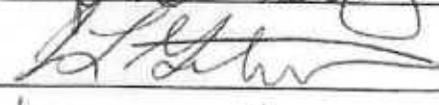
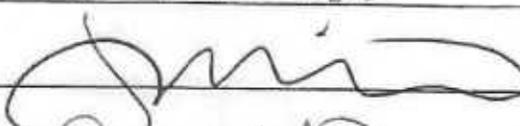
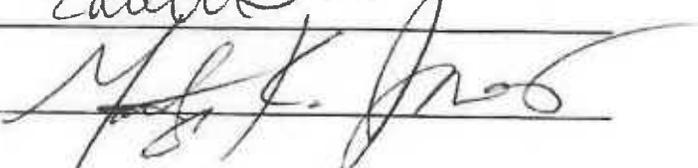
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|-----|------------------------|------------------------|
| 23. | Denise Green           | Denise Green           |
| 24. | Vince Drenner          | Vince Drenner          |
| 25. | Fusene munn            |                        |
| 26. | Michael Lipchack       | Michael Lipchack       |
| 27. | Dan Arrison            | Dan Arrison            |
| 28. | <del>Matt</del> NORRIS | <del>Matt</del> Norris |
| 29. | Jake Lorenzen          | Jake Lorenzen          |
| 30. | MARY S. MILLER         | Mary S. Miller         |
| 31. | Joe Morris             | Joe Morris             |
| 32. | BS Smith               | BS Smith               |
| 33. | Captin Hook            |                        |
| 34. | TOM WARR               |                        |
| 35. | DANNY LASPE            | Danny T. Laspe         |
| 36. | Robin Sward            | Robin Sward            |
| 37. | Katherine Zebrowski    | Thomas Zebrowski       |
| 38. | Schubert               | Schubert               |
| 39. | Andrea Woodring        | Andrea Woodring        |

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| 40. | TERRY WILEY        |    |
| 41. | Gerald Hutchins    |    |
| 42. | Kortney McCullough |    |
| 43. | Bryan Overmire     |    |
| 44. | Deborah Long       |    |
| 45. | Katie Hehr         |    |
| 46. | Debra L. Martin    |    |
| 47. | Matt Thomas        |   |
| 48. | Brandi Thomas      |  |
| 49. | Crystal Sprinkle   |  |
| 50. | Karen Lantz        |  |
| 51. | Micuelle Strong    |  |
| 52. | Michael Liles      |  |
| 53. | Jenna Coblenz      |  |
| 54. | JEFF GILCHRIST     |  |
| 55. | LISA TRIND         |  |
| 56. | Shanon Murphy      |  |
| 57. | Zachary Wolford    |  |
| 58. | Marilyn K. Jones   |  |

59. Wendy Rose Virginia Rose
60. JAMES T. HARRIS James T. Harris
61. Lillian E. Harris Lillian E. Harris
62. Quinn S. Tremaine Quinn S. Tremaine
63. Bryce Rock Bryce Rock
64. Jessica Bennett Jessica Bennett
65. William Crain William Crain
66. Craig Lewis Craig W. Lewis
67. Tyler Royer Tyler Royer
68. Rebekah Raum Rebekah Raum
69. Lori Curbon Lori Curbon
70. Russell Matthews Russell Matthews
71. Sydney Stull Sydney Stull
72. Rebecca Baker Rebecca Baker
73. Daniel Gufos Daniel Gufos
74. Jim Atkinson Jim Atkinson
75. Angeline Johnson Angeline J.
76. Captain Gunch Captain Gunch

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|-----|-----------------|------------------------|
| 77. | Molly Lane      | Molly Lane             |
| 78. | Iley Torres     | <del>Iley Torres</del> |
| 79. | Kate Grove      | Kate Grove             |
| 80. | Hope Whitlock   | Hope Whitlock          |
| 81. | Joseph DiMaggio | Joseph DiMaggio        |
| 82. | Tobie Davies    | Tobie Davies           |
| 83. | Shane Ruby      | <del>Shane Ruby</del>  |
| 84. |                 |                        |
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| 23. | Denise Green           | Denise Green   |
| 24. | Vince Drenner          |    |
| 25. | Eugene Munn            |  |
| 26. | Michael Lipchack       | Michael Lipchack   |
| 27. | Dan Arrison            |    |
| 28. | <del>Matt</del> NORRIS | <del>Matt</del> Dan  |
| 29. | Jake Lorenzen          |     |
| 30. | Mary S. Miller         | Mary S. Miller   |
| 31. | Joe Morris             | Joe M  |
| 32. | BS Smith               | BS   |
| 33. | Captin Hook            |  |
| 34. | Tom Wank               |  |
| 35. | Danny L. Lapse         | Danny L. Lapse   |
| 36. | Robin Sward            | Robin Sward  |
| 37. | Katherine Zebroski     | Thomas Zebroski  |
| 38. | Scha Woodring          |  |
| 39. | Andrea Woodring        |  |

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|-----|--------------------|--|
| 40. | Terry Wiley        |    |
| 41. | Gerald Watson      |    |
| 42. | Kortney McCullough |    |
| 43. | Bryan Hooverman    |    |
| 44. | Deborah Long       | Deborah Long   |
| 45. | Katie Hehr         | Katie Hehr   |
| 46. | Debra L. Martin    | Debra L. Martin  |
| 47. | Matt Thomas        |    |
| 48. | Brandi Thomas      | Brandi Thomas  |
| 49. | Crystal Sprinkle   | Crystal Sprinkle   |
| 50. | Karen Lantz        |  |
| 51. | Micuelle Strong    |  |
| 52. | Michael Liles      |  |
| 53. | Jenna Coblenz      | Jenna Coblenz  |
| 54. | JEFF GILCHRIST     |  |
| 55. | LYSA TORIND        |  |
| 56. | Shanon Murphy      | Shanon Murphy  |
| 57. | Zachary Wolford    | Zachary Wolford  |
| 58. | Marilyn K. Jones   |  |

59. Virginia Rowe Virginia Rowe
60. JAMES T. HARRIS James T. Harris
61. Lillian E. Harris Lillian E. Harris
62. Quinn S. Tremaine Quinn S. Tremaine
63. Bryce Rock Bryce Rock
64. Jessica Bennett Jessica Bennett
65. William Crain William Crain
66. Craig Lewis Craig W. Lewis
67. Tyler Royer Tyler Royer
68. Rebekah Raum Rebekah Raum
69. Lori Curbow Lori Curbow
70. Russell Matthews Russell Matthews
71. Sydney Stull Sydney Stull
72. Rebecca Baker Rebecca Baker
73. Daniel Gilfoos Daniel Gilfoos
74. Jan Atkinson Jan Atkinson
75. Angeline Johnson Angeline J.
76. Captain Cunch Captain Cunch

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|-----|-----------------|------------------------|
| 77. | Molly Lane      | Molly Lane             |
| 78. | Iley Torres     | <del>Iley Torres</del> |
| 79. | Katie Grove     | Katie Grove            |
| 80. | Hope Whitlock   | Hope Whitlock          |
| 81. | Joseph DiMaggio | Joseph DiMaggio        |
| 82. | Tobie Davies    | Tobie Davies           |
| 83. | Shane Ruby      | Shane Ruby             |
| 84. |                 |                        |
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| 86. |                 |                        |
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**There are other abandoned previously established village lots within the community more suitable including the old Decker store and the old BP station.**

**Our skies will be polluted with extreme bright lights at night. Store will be open every seven days a week from 8 a.m. to 10 p.m.**

**Increased traffic – customers and delivery trucks - will increase accidents and create noise, dust, smoke and fumes pollution.**

**Increased trash and smell due to large concrete dumpsters in the rear of the store.**

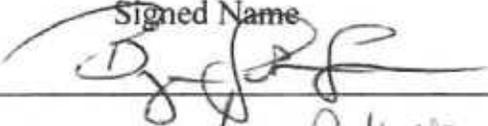
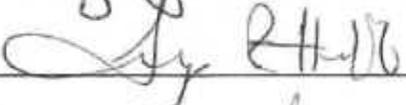
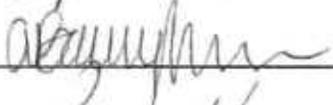
**Increased crime, loitering, vandalism in surrounding homes and neighborhoods.**

**Dollar General is harmful to communities and to the physical health of our residents since they limit access to healthy foods.**

**Dollar General will close down locally owned grocery stores and prevent other grocery stores with healthier food choices from moving in.**

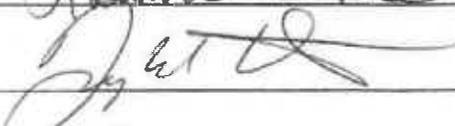
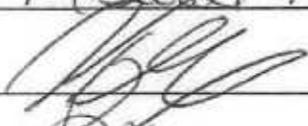
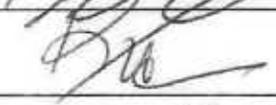
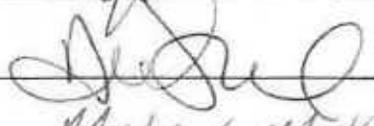
**There are more appropriate uses for this parcel of land.**

We, the undersigned, are signing this petition to oppose Outdoor Contractors Inc.'s request for a special exception. We are saying NO to Dollar General and yes to preserving and protecting our peaceful, healthy, safe, unpolluted, quiet, starlit nights here in the rural mountaintop village of Highfield-Cascade! Thank you!

Printed Name	Signed Name
1. Bryon Smith	
2. Jennifer Huff	
3. Amber Baumgardner	
4. Pat Kump	

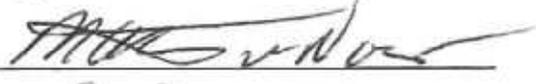
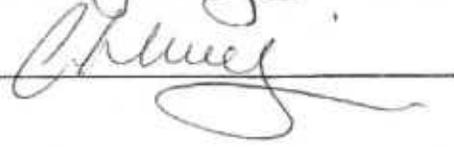
PRINT

SIGN

- |                        |  |
|------------------------|--|
| 5. Laura White         | Laura White  |
| 6. TYLER BENTZ         |    |
| 7. Marnie Mortenson    | M. Joseph Mortenson  |
| 8. Kyle Shorb          |    |
| 9. KEVIN WADE          |    |
| 10. Makaila Miller     | Makaila Miller   |
| 11. Cathy Earhart      | Cathy M. Earhart   |
| 12. Brian Poy          |     |
| 13. Tracy Delauter     |    |
| 14. Sheila Seiss       |   |
| 15. Charles Miller     | Charles L Miller   |
| 16. Ashley Heaton      | Ashley Heaton  |
| 17. Sheila Foy         |  |
| 18. Angie Crouse       | Angie Crouse   |
| 19. Kyrina McGlaughlin | Kyrina McGlaughlin   |
| 20. Diana Shepard      |  |
| 21. Michael Mellott    | Michael Mellott  |
| 22. Jason C. Hurd      | Jason C Hurd   |

PRINT

SIGN

- |                             |  |
|-----------------------------|--|
| 23. Kenna Gisriel           | Ken Griel  |
| 24. Terry M. Sebald         | Terry M Sebald   |
| 25. Elaine Robinet          | Elan Robinet   |
| 26. Wendy Gisriel           | Wendy Gisriel  |
| 27. Terra Salazar           |    |
| 28. MATT Norris             |    |
| 29. Donnie Travis           | Donnie Travis  |
| 30. Lon <sup>D</sup> Warner | Lon D Warner   |
| 31. BEAD EYLER              |  |
| 32. Steve Smith             | Steve Smith  |
| 33. Laurie Vierra           | Laurie Vierra  |
| 34. Diana Flannery          | DMF  |
| 35. Sandy Ford              | Sandy Ford   |
| 36. Krissy Schulte          |  |
| 37. Heather Sellner         | Heather Sellner  |
| 38. Alyson Krogh            | Alyson Krogh   |
| 39. Catherine Harvey        |  |

PRINT

SIGN

40. James Lehr

James Lehr

41. Dylan Spearin

Dylan Spearin

42. Sydney Biser

Sydney Biser

NO please  
▽

43. Sara Smith

Sara Smith

44. Ava Garner

Ava Garner

45. J.M. Hookway.

JM Hookway

46. Madeline Krogh

Madeline Krogh

47. Macy Delphney

Macy Delphney

48. Amy Garner

Amy Garner

49. Tara Baker

Tara Baker

50. Lacy Barnhart

Lacy Barnhart

51. Sue Kemp

Sue Kemp

52. D.E. Bay

D.E. Bay

53. Kylie Eiker

Kylie Eiker

54. Pearl Seiss

Pearl Seiss

55. Rick Seiss

Rick Seiss

56. Lee Thomas Sebold

Lee Thomas Sebold

57. Jenna Seiss

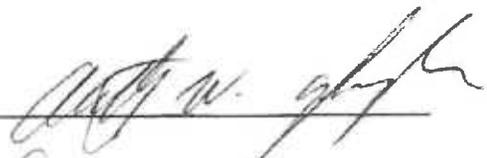
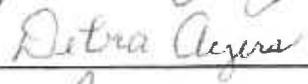
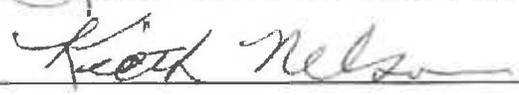
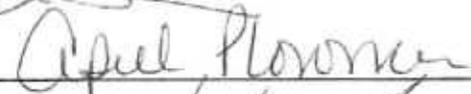
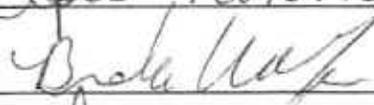
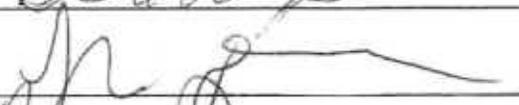
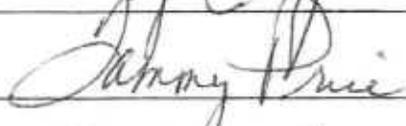
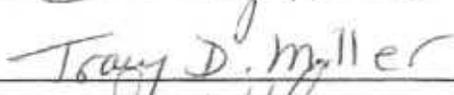
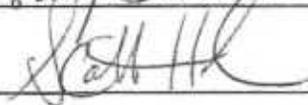
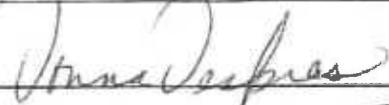
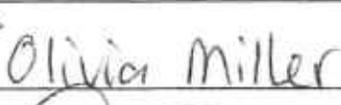
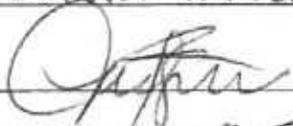
Jenna Seiss

58. Hayley Boser

Hayley Boser

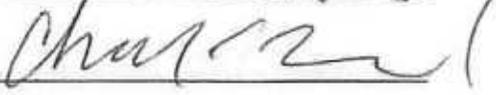
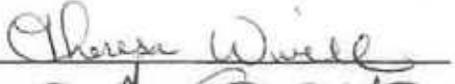
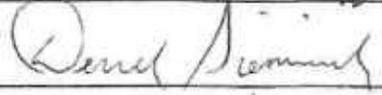
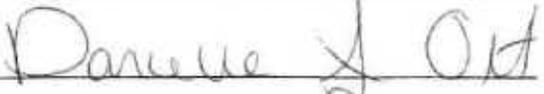
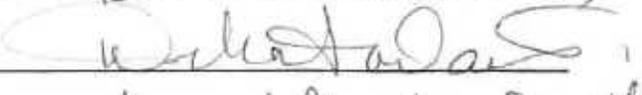
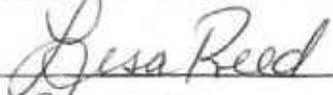
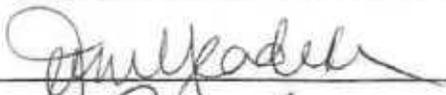
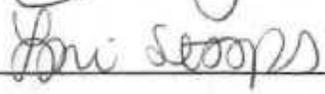
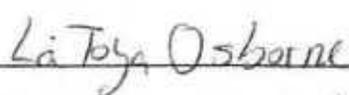
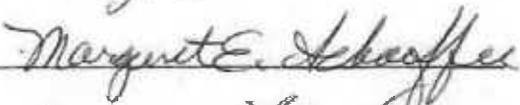
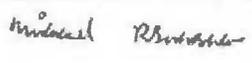
PRINT

SIGN

- 50. Anthony Aug. Linkugel 
- 49. Debra Ayers 
- 41 42. Audrey Marahan 
- 62 43. Jean Churnesky 
- 63 44. Keith Nelson 
- 64 45. Erica Henson 
- 65 46. Jim Sevens 
- 66 47. APRIL PLOWMAN 
- 67 48. Brenda Wolfe 
- 68 49. Sherry Morris 
- 69 50. Tammy Price 
- 70 51. Tracy D. Miller 
- 71 52. Scott D Hahn 
- 72 53. ~~Thomas~~ 
- 73 54. Olivia Miller 
- 74 55. Timothy Seiss 
- 75 56. Mason Still 
- 76 57. Elizabeth Wagoner 
- 17 58. Elizabeth Farmer 

PRINT

SIGN

78 48.	Terry Bowman	
79 49.	FRED HOLDAWAY	
80 48.	Chad Farace	
81 48.	Theresa Wivell	
82 49.	Jude Bertrand	
83 45.	Dennel Sienieruk	
84 46.	Danielle Ott	
85 49.	Keth Sanders	
86 48.	Debra Davis	
87 49.		Jamie Custer Smith
88 39.	Lisa Reed	
89 38.	RICK SANDERS	
90 41.	Jennifer Yeadeke	
91 38.	Arnie Stoops	
92 34.	Loni Stoops	
93 35.	Robert L Miller	
94 35.	Li Toya Osborne	
95 37.	Margaret E. Schaeffer	
96 38.	Anthony Forrest	
	Michael Bradshaw	

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Printed Name

Signed Name

- |    |                     |                     |
|----|---------------------|---------------------|
| 1. | <u>Wayne Jones</u>  | <u>Wayne Jones</u>  |
| 2. | <u>Vickie Gipp</u>  | <u>Vickie Gipp</u>  |
| 3. | <u>Ashley Boone</u> | <u>Ashley Boone</u> |
| 4. | <u>Deborah Baer</u> | <u>Deborah Baer</u> |

PRINT

SIGN

- |                                       |                              |
|---------------------------------------|------------------------------|
| 5. <u>Bernard Baer</u>                | <u>Paul Baer</u>             |
| 6. <u>Brian Faulkner</u>              | <u>Brian Faulkner</u>        |
| 7. <u>Jessica Brown</u>               | <u>Jessica Brown</u>         |
| 8. <u>GARY HARRIS AUGUST</u>          | <u>Gary &amp; Kimberly A</u> |
| 9. <u>Kevin Law</u>                   | <u>Kevin Law</u>             |
| 10. <u>Jeffrey Small</u>              | <u>J &amp; M</u>             |
| 11. <u>Dennis Sewell</u>              | <u>Dennis Sewell</u>         |
| 12. <u>John Friend</u>                | <u>J</u>                     |
| 13. <u>Denise Stauter</u>             | <u>Denise Stauter</u>        |
| 14. <u>Julie Sanders</u>              | <u>Julie Sanders</u>         |
| 15. <u>Tracey Bare</u>                | <u>Nacey M. Bare</u>         |
| 16. <u>Rachel Keller</u>              | <u>Rachel Keller</u>         |
| 17. <u>Rosalie Sanders-Luke</u>       | <u>Rosalie Sanders-Luke</u>  |
| 18. <u>L. Michele Firme</u>           | <u>L. Michele Firme</u>      |
| 19. <u>Robert + Janis Strubelmyer</u> | <u>Robert Strubelmyer</u>    |
| 20. <u>MITCHELL E SHOCKEN</u>         | <u>Mitchell E Shocken</u>    |
| 21. <u>Susan Mason</u>                | <u>Susan Mason</u>           |
| 22. <u>Kristi DAVIS</u>               | <u>Kristi Dief</u>           |

PRINT

SIGN

23. ANTHONY GROVE

Anthony Grove

24. Joan Fry

Joan Fry

25. Anthony Butler

Anthony Butler

26. Brian Lee

Brian Lee

27. RHEFF SANDERS

Rheff Sanders

28. BRIAN LEWIS

Brian Lewis

29. David Cecil

David Cecil

30. Gary Hill

Gary Hill

31. ROSEMARY HILL

Rosemary Hill

32. JOHN GERMAN

John German

33. PETER KROGH

Peter Krogh

34. Lee Loucosky

Lee Loucosky

35. Hollie Wauter

Hollie Wauter

36. Karel A Blinck

Karel A Blinck

37. Shawn C. Wolfe

Shawn C Wolfe

38. Devin Galicia

Devin Galicia

39. EVALYN HENRY

Evelyn M Henry

- |     |                         |                   |
|-----|-------------------------|-------------------|
| 40. | FARA EVE BARNET         | Fara              |
| 41. | Pamela Reed             | Pamela            |
| 42. | Charles Henson          | Charles           |
| 43. | Derek Frey              | Derek Frey        |
| 44. | Troy Simmons            | Troy Simmons      |
| 45. | Susan Donnelly          | Susan Donnelly    |
| 46. | Tressa Palmer           | Tressa Palm       |
| 47. | HELGA Fox               | Helga Fox         |
| 48. | Sue Shockey Sue Shockey | Sue Shockey       |
| 49. | Thomas Fink             | Tom Fink          |
| 50. | DAVID SANDERS           | David Sanders     |
| 51. | Natasha Fitz            | Natasha Fitz      |
| 52. | Rodney Harbaugh         | Rodney Harbaugh   |
| 53. | Crystal Sprengle        | Crystal Sprengle  |
| 54. | Deborah Zimmerman       | Deborah Zimmerman |
| 55. | Dennis Proberizer       | Dennis Proberizer |
| 56. | Wendy Hopkins           | Wendy Hopkins     |
| 57. | Carin Forrest           | Carin Forrest     |
| 58. | Denny Forrest           | Denny Forrest     |

PRINT

SIGN

- |                      |                  |
|----------------------|------------------|
| 59. Reese Fox        | Reese fox        |
| 60. CELIE WILLY      | Celie Willy      |
| 61. Angie Hahn       | Angie Hahn       |
| 62. Rachel Fox       | Rachel Fox       |
| 63. Tammy Fox        | Tammy Fox        |
| 64. STEVEN FOX       | Steve            |
| 65. Michael Bradshaw | Michael Bradshaw |
| 66. Corey Muddick    | Corey Muddick    |
| 67. Dale Parn        | Dale Parn        |
| 68. David Shackley   | David Shackley   |
| 69. Kevin Bilder     | Kevin Bilder     |
| 70. Steve King       | Steve King       |
| 71. Jeremy Harshman  | Jeremy Harshman  |
| 72. Brian Kutter     | Brian Kutter     |
| 73. Judy Barton      | Judy Barton      |
| 74. Brian Wolfe      | Brian Wolfe      |
| 75. Robin Karpitsky  | Robin Karpitsky  |

# PRINT

# SIGN

- |                               |                           |
|-------------------------------|---------------------------|
| 77. <u>Sheila Fox</u>         | <u>Sheila Fox</u>         |
| 78. <u>ALBERT G. HOBBS</u>    | <u>Albert Hobbs</u>       |
| 79. <u>Kimberly S. Geric</u>  | <u>Kelly S/G</u>          |
| 80. <u>Tina Hadley</u>        | <u>Tina Hadley</u>        |
| 81. <u>Lee Sturtevant</u>     | <u>Lee Sturtevant</u>     |
| 82. <u>Terry Bowman</u>       | <u>Terry Bowman</u>       |
| 83. <u>Ryan Bowman</u>        | <u>Ryan Bowman</u>        |
| 84. <u>ANGELA SPÉGAL</u>      | <u>Angela Spegal</u>      |
| 85. <u>Josh Kristiney</u>     | <u>Josh Kristiney</u>     |
| 86. <u>PAUL SANDERS</u>       | <u>Paul Sanders</u>       |
| 87. <u>OWEN SANDERS</u>       | <u>Owen Sanders</u>       |
| 88. <u>Harper Sanders</u>     | <u>Harper Sanders</u>     |
| 89. <u>Jason Umpierrez</u>    | <u>Jason Umpierrez</u>    |
| 90. <u>Laure McLaughlin</u>   | <u>Laure McLaughlin</u>   |
| 91. <u>Leah Walter</u>        | <u>Leah Walter</u>        |
| 92. <u>Hershel Ridener</u>    | <u>Hershel Ridener</u>    |
| 93. <u>TOM ZIMMERMAN</u>      | <u>Tom Zimmerman</u>      |
| 94. <u>Caleb McLeaf</u>       | <u>Caleb McLeaf</u>       |
| 95. <u>Frederick Loukford</u> | <u>Frederick Loukford</u> |

PRINT

SIGN

96. Stacey Green

Stacey Green

97. Shane Biser

Shane Biser

98. Kristin McInnis

Kristin McInnis

99. VERONICA COHEMAN

Veronica Cohean

100. John Sprinkle

John Sprinkle

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- **DOLLAR GENERAL WOULD UNDERMINE THE AESTHETIC AND COMMERCIAL STRENGTH OF OUR COMMUNITY.**

➤ **HELP STOP THIS INSULT TO CASCADE AND ITS RESIDENTS.**

	<u>NAME</u>	<u>MAILING ADDRESS (Washington County)</u>	<u>EMAIL ADDRESS</u>
1	Tory Fitzgerald	14351 Pen Mar High Rock Rd Cascade, MD 21719	Tory.Fitzgerald204@gmail.com
2	Cary Blackdeer	14525 Maryland Ave Cascade md 21719	ccBlackdeer70@gmail.com
3	Cindy Shafer	735 Interval Rd Hagerstown, MD 21740	tazscouter@gmail.com
4	Larry Potter	735 Interval Rd Hagerstown, MD 21740	lpyankeefan@gmail.com
5	Richard Thompson	11425 McAfee Hill Rd Cascade, md. 21719	Rthomps66@yahoo.com
6	Carmen Fox	24843 Pen Mar Rd Cascade MD 21719	Kaycarmar@aol.com
7	Mark Fox	24843 Pen Mar Rd Cascade MD 21719	Kaycarmar@aol.com

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8	Kay Fox	24843 Pen War Rd Cascade MD 21719	kofx95@gmail.com
9	Michal Metcalf	14530 Pennersville Rd Cascade MD 21719	mandem816@gmail.com
10	Emily Metcalf	14530 Pennersville Rd Cascade MD 21719	Emilmetcalf812@gmail.com
11	Abigail Brewer	14849 Malisa Pike Apt A	AbigailBrewer@gmail.com
12	Sage DMU	25250 Military Rd Cascade	
13	Kathy Ashkorman	12123 Thure Rd Smithsburg MD	Totrad104@AOL.COM
14	Tammy L Richards	25450 Highfield Rd, Cascade	TLRichards1000@gmail.com

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	<u>NAME</u>	<u>MAILING ADDRESS (Washington County)</u>	<u>EMAIL ADDRESS</u>
15	Cori Whidden	12510 Pleasant Valley Rd Smithsburg	coriwhidden@gmail.com
16	David Creaser	P.O. Box 263 390 N Main St Smithsburg	desa@hottmail.com
17	Stephanie Lida	P.O. Box 413 Smithsburg MD	S11ida1@ychoo.com
18	Paul Sanders	25407 Military Rd Cascade MD 21719	paul.sanders.legmail.com
19	Jean Bellerive	10911 Millbrook Rd Keedysville MD 21756	JBellerive@aol.com
20	Margaret Phelps	13525 Melrose Rd. Whore 17268	mphelps@ymail
21	Tracy Sallee	5103 Wigwags Rd Thurmont MD 21788	TracySallee32@gmail.com

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22	Gary Sullivan	5103 Wiggsville Rd Thurmont MD 21788	Sullivan2@yahoo.com
23	David Leishman	20 Pleasant Acres Dr Thurmont MD 21788	midgetdaniga@yahoo.com
24	Gres Smith	12510 Pleasant Valley Rd Smithsburg MD 21783	Sustar@128 Yahoo.com
25	Shirley Bush	9834 Crossfield Rd Hagerstown, MD 21940	_____
26	Heather Lantz	14189 Cushman Ave Cascade MD 21119	hstarr2008@gmail.com
27	Ther Lee	17130 Raven Rock Rd. Cascade MD 21719	thealee318@gmail.com
28	Mark Simon	17130 Raven Rock Rd. Cascade MD 21719	Mark A Simon@gmail.com

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	<b><u>NAME</u></b>	<b><u>MAILING ADDRESS</u></b> (Washington County)	<b><u>EMAIL ADDRESS</u></b>
29	Ruth Chichester	14338 Reckord Ave Cascade, MD 21719	r-golden700@hotmail.com
30	Ally Spaid	12910 Quirkauk Schoss Rd Sabillasville MD 21786	ally@myactv.net
31	Yvonne Ford	12840 Red Heifer Winery Ln. Smithsburg, MD 21783	yvonne@redheiferwinery.com
32	Kevin Ford	" "	kevin@redheiferwinery.com
33	Penny Tolson	13044 Mount Zion Rd. Sabillasville MD 21780	pennylaneRVA@gmail.com
34	Cathy & McClure	11706 Pineburg Rd. Wmpt. MD 21779	catservice6263@gmail.com
35	Sarah Hoffmann	11535 Pineburg Rd. Williamsport, MD, 21795	Sarah0376@gmail.com

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	<u>NAME</u>	<u>MAILING ADDRESS</u> (Washington County)	<u>EMAIL ADDRESS</u>
36	Tim McCartney	11595 PINEBROOK RD, WILLIAMSPORT, MD 21795	twmccart75@gmail.com
37	Dwayne McClure	11706 Pinesburg El. Williamsport, Md. 21795	Cat service 60263@gmail.com <del>cat@cat.com</del>
38	Susan Mason	PO Box 1037 Cascade MD 21719	susank518@gmail.com
39	Bob Ruppberg	PO Box 1037 Cascade MD 21719	thereahobsteale@gmail.com
40	Tommy Ruppberg	25255 Cascade Rd Cascade MD 21719	tkirk130@verizon.net
41	Paul Ruppberg	25255 Cascade Rd Cascade MD 21719	jimbobk107@verizon.net
42	Stephanie Mordock	14237 Pen Mar Highock rd cascade MD 21719	stephnmordock@gmail.com

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	<u>NAME</u>	<u>MAILING ADDRESS</u> (Washington County)	<u>EMAIL ADDRESS</u>
43	Danielle Lasher	16 Mckee Ave Hagerstown MD 21742	dlasher@info.mechicemaryland.com
44	Savannah Bosley	16 Mckee Ave Hagerstown MD 21742	sbosley21@gmail.com
45	Umchele Thompson	14216 Umchele Wood Rd Cascade MD 21716	K.15.2@hotmail.com
46	Nelson Rodrick	25210 Cascade Rd Cascade MD 21719	KroderrickEAST@gmail.com
47	Kevin Zarrin	2510 Cascade Rd Cascade MD 21719	Kevin.zarrin@landscape.com
48	Jason Berger	24955 Rayer Run Rd. SABILLVILLE MD 21780	jberger@gmail.com
49	WARREN SPAIN	12910 Birchack School Rd Sabbillsville, MD 21780	wspain@mycraft.net

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50	Makaila Walker	14561 Pennersville RD Cascade, MD, 21719	Vintage Kitch @ ypskus
51	Janae Apr	2468 Linden Ave. Cascade, MD 21719	lapebaum@gmail.com
52	Kyara Lapanski	17601G Sunshine Tr. Sabillasville MD 21780	Karen Syme @ yahoo.com
53	Sungmin Gummery	25314 Milton Rd. Cascade, MD 21719	Schumsterg@notmail.com
54	Jeanne Merten	2146 Garinger Ave Hagerstown, MD 21740.	Jeanne-F74@live.com
55	Pat Straubs	9648 Downsville Pike Hagerstown, MD 21740	Pastraub@aoutlook.com
56	Staci Luchman	22149 Jugford Rd. Hagerstown, MD 21742	Staci@hagerstownmanagement.com

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57	MARK FOX	24843 Rowles Rd Cascade Md	Kaycarmer@f401.com
58	<del>Billie</del> <sup>Billie</sup> Dwyardin-Woodball	17744 Virginia Ave Hagerstown MD	Apothecarydwyardin@gmail.com
59	Austin Woodball		awood2817@gmail.com
60	Stacey Durning	1606 Sunbreak Ln Hagerstown MD	Stacyd3@verizon.net
61	Joyce Shull	1302 Oak Hill Ave Hager MD	JOYCE_SHULL@hotmail.com
62	Allison Severance	39 N Main Street Keedysville	allison@allisonseverancepottery.com
63	Ram Spicer	25525 Heiston Lane Cascade, MD 21715	Rammyspice.BG@gmail.com

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65	Denise Stauffer	Cascade rd 21719	hastmsd@comcast.net
66	Sharon Smith	2222 Jefferson Blvd Smithsburg, MD 21783	smsmith21783@gmail.com
67	Lorie Dixon	18306 Ashley Drive 303 HAWKSBURG MD 21740	strudel56@gmail.com
68	Jill Snapp	12916 Baltwood St 526 Hoes, md 21114 D	TFlake1904@yahoo.com
69	Molly Love	14108 Cushman Ave Cascade MD 21719	molly@theFoxTeam.net
70	Robert Scott	7214 Eyles Valley Flint Road Sublissville MD <del>20858</del> 21780	RobbieESP@ESPES.CO.WV

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75	Michael Brooks	1309 Oak Hill Ave Hagerstown, MD 21742	speed924@rol.com
76	Ann Brooks	1309 Oak Hill Ave Hagerstown, MD 21742	annbrooks@aol.com
77	Beth Neisser	42 McKee Ave. Hagerstown, MD 21742	b.neisser@verizon.net

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79	Rebecca Harmon	Same	↗
80	William L Lizne J	↗	↗
81	Charlotte Harshman	22149 Sugarbush Rd Hoopersville MD 21742	Charlotteharshman@icloud.com
82			
83			
84			

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➤ **HELP STOP THIS INSULT TO CASCADE AND ITS RESIDENTS.**

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4	Hannah Best	16 Maple Trout, Fairfield, PA 17320	
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6	Holly Best	16 Maple Trl, Fairfield, PA 17320	
7	Deanna Best	16 Maple Trl, Fairfield, PA 17320	

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11	See Miller	" "	" "
12	Michelle Spang	11962 Furness Rd. B05 PA 17214	msfrang196@aol.com
13	Frank Tomke	327 W. NORTH ST. WYNEBORO PA 17258	
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18	John G. Carlson	337 Northford Ave Marynesboro PA 17268	
19	Danielle Grossnickle	13115 Redbud Ct Marynesboro PA 17268	daniellemg24@gmail.com
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21	Scott Simmons	11709 Bellwood Dr Marynesboro PA 17268	ssimmon1@gmail.com

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33	Tom Kaous	↓	tkous1979@yahoo.com
34	Barb O'Brien Richard Jones	5836 Rowland Hill Rd Cascade, MD 21719	brb@bnde@gmail.com
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48	Phyllis Leisinger	13157 Kaiser Ridge Rd Hagerstown, MD	_____
49	Steve Trindle	110711 Oak Forest Dr Hagerstown, MD	_____

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**WASHINGTON COUNTY ZONING ORDINANCE  
STAFF REPORT AND ANALYSIS**

**ARTICLES 3, 28A**

**Proposal:** Application is being made to amend multiple sections of the Zoning Ordinance to define the term “*small box variety store*” and to restrict the location of “*small box variety stores within 1,000 feet of a property with a historic designation or subject to a historic trust easement*” in rural zoning districts of the County.

**Discussion:** The purpose of this text amendment is to create a new definition for a “*small box variety store*.” This newly defined type of land use would then be restricted to only being allowed in a Rural Business Zoning District (RB), and further limited by the distance restriction noted above. RB Zoning Districts are established as a floating zone through the rezoning process which may be located on any parcel in an Agricultural, Environmental Conservation, Preservation or Rural Village Zoning District.

**Background:**

The contract purchaser at 14413 McAfee Hill Road (Tax ID: 14006443) seeks to create a new Dollar General store at this location, specifically a DG Market. The DG Market concept plan includes dedicating approximately one-third (1/3) of the retail sales area to fresh produce, dairy products, baked goods and other grocery items. The remainder of the sales area is reserved for household products, non-prescription medications and first aid products, personal care items, cleaning products and pet care products.<sup>1</sup>

To this point, the Washington County Board of Zoning Appeals (BZA) has granted a special exception for the “general retail/merchandise store” sought in their application, finding it functionally similar to a grocery store, as is permitted under Section 5D.2 of the RV Zoning District. The author of the proposed text amendment has appealed this decision, first to the Washington County Circuit Court and most recently to the Appellate Court of Maryland, where the case is now pending.

In the interim period, the applicant seeks to address the relative ambiguity in how to classify a modern retail establishment of this nature which combines multiple traditional retail stores under one roof, as has become common in the industry. The proposed text amendment seeks to classify this type of land use as a “*small box variety store*,” which would only be permitted in an RB Zoning

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<sup>1</sup> Board of Zoning Appeals Appeal No. AP2023-029, p.3.

District, and prohibited in all other rural zoning districts in Washington County. The proposed amendment is silent on whether the newly defined land use would be allowed in urban zoning districts.

As noted above, RB Zoning Districts are established as floating zones which are applied on a given property only after a rezoning map amendment has been approved by the Board of County Commissioners of Washington County (BOCC). Only land uses identified on rezoning application materials are allowed within an approved RB Zoning District, and any land use changes require further review by the Planning Commission and/or the BOCC.

The proposed amendments would further limit the location of these stores, even within an RB Zoning District, by prohibiting them “*within 1,000 feet of a property with a historic designation or subject to a historic trust easement.*” Their proposed definition for a “*small box variety store*” reads as follows:

*“A store with 16,000 square feet or less gross square footage which sells assorted physical goods, merchandise and food and non-food products directly to consumers at an average retail cost of \$15.00 or less. A small box variety store does not include a grocery store or a convenience store.”*

### **Analysis:**

The analysis that follows looks at the specific standards proposed by the applicant’s text amendments through the two primary questions required as part of the submission of application materials for this type of zoning amendment:

#### **1) Provide a statement describing how the request is logical and appropriate**

For a variety of reasons outlined in the paragraphs that follow, the request does not seem logical and appropriate for how the County has treated similar land uses under current zoning regulations. The logic of the each of the two proposed amendments will be analyzed in greater depth: A) Changes to the Table of Land Use Regulations for Rural Area Uses (Table No. 3.3(1)); and B) The newly defined term of “*small box variety store.*”

##### **A. Changes to the Table of Land Use Regulations for Rural Area Uses (Table No. 3.3(1))**

###### **a. Past County Zoning Classification for Dollar General Stores**

First, multiple Dollar General stores have opened up in recent years throughout Washington County which provide examples to look at how County zoning regulations have been applied to this type of land use previously. Of these stores which have opened, the one at 18206 Lappans Rd (at the intersection of Sharpsburg Pike) provides a very similar context to the store

being proposed at 14413 McAfee Hill Road (which is the genesis for this text amendment). The parcel at 18206 Lappans Road is also zoned RV, as the intersection of Lappans Road and Sharpsburg Pike is a rural village with multiple individual historic structures that were previously inventoried by the Maryland Historic Trust (MHT). These historic resources are within immediate proximity of where the store was built.

The Dollar General at Lappans Road was also permitted by special exception (Appeal No. AP2019-004) by the BZA, using very similar rationale in their approval for that project, as was outlined in the most recent opinions for the 14413 McAfee Hill Road request. The 2019 special exception request was also for a “general retail/merchandise store” and required the BZA to determine functional similarity to other uses permitted in the RV zoning district. The opinion concluded that:

*“Pursuant to Article 3, Section 3.3 of the Zoning Ordinance, bakery shops, candy stores, florist shops, garden shops, and laundry or dry-cleaning services are all principally permitted uses in the Rural Village (RV) zoning district. In addition, auction houses, flea markets, clothing stores, dairy product stores, furniture and upholstery stores, gift or jewelry stores, grocery stores and hardware stores are all permitted by special exception. The proposed use is retail sales facility which necessarily includes the sale of candy, dairy and food products, some clothing items, some garden items, some items commonly found in grocery stores and hardware stores. In sum, the proposed use is a compilation of other enumerated uses which are permitted by right or by special exception in the zoning district. Accordingly, the proposed use is substantially similar to those uses specified by the Ordinance as special exception or permitted uses.”*

b. Treatment of New Construction Adjacent to Historic Resources

Another concern is the use of historic resources as a tool to prohibit new construction that may be undesirable to some. As introduced in the preceding section, the Dollar General store at 18206 Lappans Road is zoned RV and is located in a rural village with multiple individual historic structures within immediate proximity of where the store was built that were previously inventoried by the Maryland Historic Trust (MHT). The larger community at Lappans has not been surveyed and adopted as a “Historic Rural Village.” Therefore, the Historic District Commission of Washington County (HDC) would not have commented on the exterior appearance of the new construction proposed at the Lappans Road location.

The main difference between the rural village at Lappans Road location and Fort Ritchie is that the latter has had this larger survey completed and was encumbered with a MHT easement (Deed Reference: L5971/F255) in 2019. In each of these two locations, however, the parcel where a Dollar General was either built or currently proposed was only adjacent to these historic resources and not located within a designated “Historic Rural Village” or encumbered with a

historic preservation easement of any kind. Therefore, the HDC would not have done design review of the new construction proposed in either location.

It is not the stated or implied intent of the Rural Village Zoning District to grant ultimate approval or denial authority to the HDC for the land use that is proposed.<sup>2</sup> That authority lies with the Zoning Administrator. The HDC's authority is limited to architectural review of structures located within a fully surveyed and adopted "Historic Rural Village." HDC review is limited to approval of exterior changes that require a building permit or applications for local tax credit purposes. It is the broader zoning standards (such as permitted uses, setbacks, lot sizes, etc.) that ultimately determine what types of land uses may be located in specific zoning districts. The input of the HDC is focused on ensuring that the land uses which are permitted by zoning conform in appearance to the context of the rest of the surrounding rural village by accounting for standards such as<sup>3</sup>:

- a. *The exterior appearance of existing structures in the Rural Village including materials, style, arrangement of doors and windows, mass, height and number of stories, roof style and pitch, proportion.*
- b. *Building size and orientation*
- c. *Landscaping*
- d. *Signage*
- e. *Lighting*
- f. *Setbacks*
- g. *Accessory structures*

The proposed text amendment language clearly utilizes the proximity to historic structures to severely restrict, to the point of near prohibition in rural areas of the County, the creation of a Dollar General-type variety store. This contradicts the intent of the Zoning Ordinance to focus primarily on the exterior appearance when reviewing new construction of permitted land uses in the RV Zoning District. The Ordinance specifically states: "*It is the intention of the Rural Village designation to promote new development that is consistent in type, scale and appearance with existing development in the village.*"

Further, it would become impossible to open a Dollar General-type variety store in the rural zoning districts of Washington County without going through a full-rezoning process, since the applicant proposes only to allow this type of land use in an RB Zoning District. New RB Zoning Districts are established only after a rezoning has been approved by the BOCC. The rezoning process typically takes several months to complete and incurs substantial costs to the applicant without a pre-determined outcome of success. These are hurdles the applicant would face just to get zoning approval for this type of land use on the property, let alone the time and money that

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<sup>2</sup> See Historic District Commission March 5, 2026 Comment Letter page 1 for further explanation.

<sup>3</sup> Washington County Zoning Ordinance, Section 5D.5, p. 52.

would be required for the subsequent review and approval of their actual development plans and permits.

c. Distance Requirements

Even if someone was able to get a new RB Zoning District established on their property to meet these requirements, they would face still another hurdle to overcome. They would have to now be more than 1,000 feet away from a “*property with a historic designation or subject to a historic trust easement.*”

The 1,000-foot distance requirement is equivalent to, or even exceeds, the most intensive land uses identified in the Zoning Ordinance Article 3 Table of Land Use Regulations for Rural Area Land Uses.<sup>4</sup> Only Trap, skeet, rifle, or archery ranges, (including gun clubs) and various adult entertainment facilities and require a 1,000-foot setback. Industrial mineral operations (mining), landfills and racetracks all have a smaller setback in rural areas than is proposed for these amendments. There is not convincing evidence offered in the BZA opinions or elsewhere in application materials submitted to conclude the operations of a Dollar General-type variety store would be more impactful to neighboring properties than the above-mentioned land uses to warrant a distance requirement of this magnitude.<sup>5</sup> Particularly since many parcels zoned RV are smaller in size, the effect of this distance requirement would essentially make it impossible to establish a new RB Zoning District on top of an existing RV Zoning District for the purpose of creating a “*small box variety store.*”

Another important point related to this distance requirement proposed by the text amendment is the language pertaining to historic properties. The specific meaning of a “*property with a historic designation*” is not clearly defined by the plain language of the amendment or further defined elsewhere in the proposal to draw a clear line at what historic properties this does and does not include.<sup>6</sup> As should be clear from the preceding discussion of the subtle differences between properties that are merely zoned Rural Village, and those which have been officially recognized as “Historic Rural Villages” through an adopted formal survey of historic resources occurring throughout the entire community, specific language matters when it comes to regulations. It is highly possible, for example, that the proposed language could be interpreted even more restrictively to include properties without legal recognition of their historic qualities (such as a listing on the National Historic Register or a County Historic Preservation Overlay Zoning District). Inclusion on the Maryland Inventory of Historic Properties, for example, is simply for informational and planning purposes and has no bearing on regulation or financial incentives. Thus, the ambiguity in the language proposed in the Table of Land Use Regulations for rural areas

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<sup>4</sup> Table No. 3.3(1), p. 6-12.

<sup>5</sup> See Historic District Commission March 5, 2026 Comment Letter page 2 for further explanation.

<sup>6</sup> See Historic District Commission March 5, 2026 Comment Letter page 2 for further explanation.

could very easily lead to either confusion or overreach in administration of the proposed zoning standards.

Finally, it should also be noted that while the greatest impact of the proposed distance requirement would be felt by properties zoned RV, properties zoned A(R), EC or P could also be affected. Since a RB Zoning District can be established on any of the four zoning districts listed in the prior sentence, properties zoned A(R), EC or P with historic resources might also be impacted by the distance requirement. Thus, the potential effect of the proposed amendment is not nearly as narrow as is contended by the applicant in their proposal.<sup>7</sup>

d. Consistency in Zoning Definitions and Applications in Urban and Rural Areas

The proposed amendment language is clearly focused on where “*small box variety stores*” may be located in rural areas of Washington County, particularly in RV Zoning Districts. It is silent on their fate in urban areas, however, as the amendment makes no changes to any of the urban zoning districts expressly authorizing “*small box variety stores*” as a permitted land use.

Once again, this omission leaves room for ambiguity and confusion in zoning application. On one hand, this type of land use could probably still be allowed in urban areas if, for example, a Dollar General-type store was classified as under a different permitted land use or found functionally similar to a permitted land use in a given urban zoning district. It makes little sense, however, for an identical land use to be considered a “*small box variety store*” if located in a rural area, but a grocery store if developed in an urban area, to provide one possibility. An extreme interpretation of the proposed amendment language could lead some to conclude that “*small box variety stores*” should not be allowed in urban zoning districts either, based upon language contained in the purpose statements of Zoning Ordinance (Article 1). Zoning regulations should define similar or identical land uses in a consistent manner wherever they occur throughout the County to the greatest possible extent to provide clarity to all users of the Ordinance.

B. The Definition of a “*Small Box Variety Store*”

The intended definition of a “*small box variety store*” is highly specific to the development project that has been proposed at 14413 McAfee Hill Road. The 16,000 gross square foot limit directly matches the current store model of a DG Market.<sup>8</sup> The \$15 average retail cost also targets the specific pricing of most Dollar General merchandise.<sup>9</sup> In most cases, it is advisable that zoning definitions be written specifically enough that they clearly define the land use, but not so specific that they cannot be generalized to similar types of land use that may occur throughout the County. As currently written, the proposed definition largely fails to achieve those dual purposes as it would

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<sup>7</sup> See Historic District Commission March 5, 2026 Comment Letter page 3 for further explanation.

<sup>8</sup> Retrieved from <https://www.supermarketnews.com/finance/dollar-general-boosts-store-size> on February 23, 2026.

<sup>9</sup> Retrieved from <https://perfectunion.us/dollar-general-prices/> on February 23, 2026.

largely only apply to the Dollar General-type of model for a variety store. A second entirely new definition might be necessary to describe a variety store that fell outside of the applicant’s defined parameters.

There is also concern that the 16,000, “or less”, gross square foot size limit could severely restrict smaller variety stores that could conceivably fit onto a smaller parcel in an RV Zoning District. Though the RV Zoning District is one which is intended to be primarily residential in nature, the District also expects to have “... *a limited amount of mixed rural services.*”<sup>10</sup> Thus, while development in rural villages is mostly intended to be composed of residential infill, with limited expansion beyond the current footprint of the community due to infrastructural concerns, RV does not seek to exclude all commercial opportunities for development that is “... *of a similar density, scale and use type and mixture as that which exists in the village.*”<sup>11</sup> These details are the crux of the opening purpose statement for the RV Zoning District which reads: “*The Rural Village designation is provided to preserve the unique historic or rural character of existing villages by encouraging compatible development within a defined village boundary.*”<sup>12</sup>

The inclusion of the term “*box*” in the new definition also leaves the strong impression that this type of variety store is undesirable if owned by a national retailer, but may not be if owned by a local resident. Zoning does not typically regulate land use on the basis of ownership alone, particularly to the level of excluding certain types of land use based solely upon that characteristic. In laying out a zoning map of an entire County, many different characteristics are considered in applying different zoning categories spatially across the land. Almost uniformly, these characteristics are objective in nature (i.e. – proximity to water and sewer infrastructure, road capacity, the presence of environmental or historic resources, etc.). Introducing subjective criteria into zoning definitions, such as ownership status, as a fundamental test to whether or not a specific land use is allowed runs the risk of being intentionally exclusionary to a degree which may or may not be legal if challenged in court.

**2) Describe how the request is consistent with the County’s most recently adopted Comprehensive Plan;**

The discussion points above provide a case study on the interaction between zoning and land use in locations where historic resources are present. Having this specific knowledge of County regulations informs a broader understanding of the intent of Comprehensive Plan goals, objectives and policies which relate to economic development and historic resource protection.

The applicant’s Justification Statement cites three goals from the Comprehensive Plan which they contend support the proposed text amendment:

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<sup>10</sup> Washington County Zoning Ordinance, Article 5E, p. 49.

<sup>11</sup> See Zoning Ordinance reference above

<sup>12</sup> See Zoning Ordinance reference above

- Goal #2: *Promote a balanced and diversified economy.*

This goal ties almost exclusively to the policies advanced in the Economic Development chapter of the Comprehensive Plan. A complete reading of this chapter unequivocally defines an economic development strategy that seeks to support communities through the retention of existing businesses as well as the attraction of new businesses. There is no intent to focus solely on one part of this dual strategy at the expense of the other.

As detailed previously in this report, rural villages do anticipate and encourage new development to a limited extent, as long as it fits the character of the existing community and is supported by the available infrastructure. The former Fort Ritchie, in particular, is identified as a Targeted Economic Development Area in the Economic Development chapter of the Comprehensive Plan due to the available infrastructure in the area including public water, public sewer, natural gas, and a private internal road network. By excluding a type of land use which has the potential to fit within an existing community if designed properly, the range of goods and services immediately available to rural communities without traveling to distant population centers becomes more limited. It is debatable whether the proposed amendments would serve to spur additional economic development in rural communities or to deter it.

The impact of new commercial businesses on the property values of adjacent home and existing businesses in rural villages is also utilized by the applicant as justification for the proposed amendments. As discussed previously when talking about the inclusion of property ownership in zoning definitions, the impact on adjacent property values is another subjective criteria that should not be a primary determinant in deciding which types of land use are appropriate in a specific zoning district, unless the proposed use is likely to result in a complete loss in economic value for adjacent properties (i.e. – a taking that occurs when the government claims land through the eminent domain process). Nonetheless, this reasoning was examined further in the BZA opinion for the first special exception granted for the McAfee Hill Road property as follows:

*“There were several opposition witnesses who raised a concern for property values and the opposition presented testimony from a Certified Residential Appraiser. Mr. Bentson testified that it was his opinion it would be reasonable to expect a five percent to ten percent loss of value when compared to similar properties that were not affected by the proposed project. He testified further that the proposed Dollar General Store would have the same negative impact on property values as a 7-11 Convenience Store or a liquor store. Mr. Bentson also acknowledged that the impact to value would be the same regardless of the location in the zoning district. It is this last part that is particularly important to the Board’s analysis. It is not surprising that a commercial use such as the one proposed would have some impact on adjacent residential property values. However, the real question is whether the impact is unique to this location, and therefore greater, as compared*

*to other locations in the zoning district. The Board finds that the impact is no greater at the subject property than it would be at another location within the district.*”<sup>13</sup>

- Goal #6: *Enhance the County's rich history and cultural heritage through land preservation and historic preservation efforts.*

It should be noted that, other than in cases where a given historic property has been permanently preserved in an easement, most historic preservation at the federal, state and local levels of government is incentive based. Most often, the use of tax incentives is used to encourage private sector investment in the rehabilitation and re-use of historic buildings. While an incentive-based system for preserving historic resources certainly has its limitations, it also recognizes the fundamental fact that most historic resources are owned privately. This limits how much the government can require of properties not held publicly when the fundamental concern is not one of protecting public health, safety or welfare; concerns which form the traditional legal justification behind land use controls. Accordingly, many of the objectives which accompany Goal #6 in the Implementation chapter of the Comprehensive Plan reference incentive-based policies the County wishes to use to encourage further preservation of its historic resources. Until the County completes and adopts surveys of the remaining rural villages that haven't been done yet, there are limits on what regulations it can impose on new development in those locations.

- Goal #8: *Encourage infill development and revitalization of existing communities using context sensitive development strategies to maintain and enhance community character.*

The above responses to Goals #2 & 6 then feed into the idea of context sensitive development mentioned in Goal #8. It's been reiterated multiple times in this report that County regulations in RV Zoning Districts focus on regulating the exterior appearance of new construction, not restricting or prohibiting land uses which are allowed by right or by special exception. Context sensitive development recognizes that new development should be consistent in type, scale and appearance with existing development. In the case of rural villages, it is certainly not hard to imagine the fit of a variety store to serve the rural residential population. Therefore, the question becomes more one of how to best accommodate that type of land use into the specific context of a rural community. Ultimately this can be achieved through a project design that is of a similar scale, intensity and appearance as the land uses in the immediate surrounding area. Infill, redevelopment and new development must work together hand-in-hand, even in rural villages, to maintain the vitality of that place into the future.

#### **Additional Agency Comments:**

The Washington County Department of Business Development offered the following comments when routed a copy of the application:

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<sup>13</sup> Board of Zoning Appeals Appeal No. AP2022-034, p.6.

*“The proposed RZ-26-001 text amendment creates a potential governance concern for Washington County Government. Under the amendment as written, the Board of County Commissioners (BOCC) would have no authority over determinations made by the Washington County Historical Society regarding what constitutes or is designated as a historic structure or landmark.*

*As a result, this amendment would effectively shift control over business site selection within Rural Business Village zoning districts from the BOCC to the Historical Society. Specifically, the Historical Society could, either now or in the future, exert influence over the siting of businesses under 16,000 square feet that sell retail products to consumers at an average price of \$15 or less.*

*This business category is broadly defined and could unintentionally encompass a wide range of commercial uses beyond those likely intended. Given that the BOCC lacks the authority to approve or deny historic site designations, the amendment would grant the Washington County Historical Society substantial influence over business site selection within this zoning district and industry segment.”*

#### **Staff Recommendation:**

In the focus to exclude a specific type of land use from a specific place, the proposed amendments are highly likely to result unintended consequences that would severely restrict the ability of rural properties to open a variety store in a rural setting under the proposed zoning regulations. In doing so, the amendments undercut the ability of the Rural Business Zoning District to function as it is intended to. In particular, the proposed requirement for a 1,000-foot setback from historic structures makes it all but impossible to establish a new RB District for the purpose of opening a variety store in a rural village setting because of the small parcels sizes that characterize most of those locations throughout the County.

The RB Zoning District is intended “... to establish locations for businesses and facilities not otherwise permitted in the rural areas of the County.”<sup>14</sup> This purpose statement recognizes the necessity of having limited services in the rural areas of the County to “... serve the needs of the rural residential population...” The public review process inherent in the procedures for establishing a new RB Zoning District enable citizens to assist the BOCC in determining the appropriateness of a given project at a given location. The same could also be said of the public comment process for special exception requests to the BZA. The proposed amendment would largely remove those opportunities for variety stores that might seek to locate in rural zoning districts.

The use of historic resources as a tool for excluding land uses deemed undesirable by some runs contrary to the intent of the Zoning Ordinance. The intent of the Ordinance concerning the

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<sup>14</sup> Zoning Ordinance Article 5E, p.54

Staff Report & Analysis  
RZ-25-002 – Accessory Dwelling Units

effect of development on historic resources is principally focused on regulating the exterior appearance of new construction (particularly in RV Zoning Districts), not the outright prohibition of land uses that have the potential to be compatible with the location with a proper project design.

It is staff's view that, however well-intentioned these amendments may be, they do not logically support or augment current zoning regulations that govern new development in the general proximity of historic resources in rural villages specifically, or rural areas overall. Nor do the proposed amendments echo the true intent of Comprehensive Plan goals, objectives and policies for rural area development and protection.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Travis Allen".

Travis Allen  
Senior Planner

Lloyd Yavener, Chair  
Justin Bedard, Vice Chair  
Ann Aldrich  
Brianna Candelaria



Michael Lushbaugh  
Tyler Milam  
Gregory Smith  
Randal Leatherman, BOCC Rep

## HISTORIC DISTRICT COMMISSION OF WASHINGTON COUNTY, MARYLAND

DATE: March 5, 2026

TO: Planning Commission  
c/o Travis Allen  
747 Northern Avenue  
Hagerstown, MD 21742

FROM: Washington County Historic District Commission (HDC)

SUBJ: RZ-26-001, Text Amendment - Small Box Variety Stores - Table 3.3(1), Chapter 28A Definitions

The proposed text amendment requests the addition of language to table 3.3(1) describing uses in the rural area that “small box variety stores within 1,000 feet of property with a historic designation or subject to a historic trust easement” not be permitted with the exception of the rural business overlay. It also notes the intensity of this use as “HIGH”. The request also includes updates to Chapter 28A Definitions to include a “Small Box Variety Store: A store with 16,000 square feet or less gross square footage which sells assorted physical goods, merchandise and food and non-food products directly to consumers at an average retail cost of \$15.00 or less. A small box variety store does not include a grocery store or convenience store.”

The Historic District Commission (HDC) will focus their comments on the update to table 3.3(1) specifically regarding language “within 1,000 feet of property with a historic designation or subject to a historic trust easement”. Historic resources do not appear in Table 3.3(1) in any land use. The Zoning Ordinance for Washington County (the Ordinance) instead includes Article 20: “HP” Historic Preservation District, Article 20A: “AO” Antietam Overlay, Section 5D.5 Architectural Review and a definition of historic resources in Chapter 28A. The HP, AO and Rural Village zoning categories reviewed by the HDC have limits to their extent which are justified by documentation or study of historic resources. These categories have outlined activities that are subject to the approval or recommendations of the HDC. Activities are reviewed based on the guidelines included in Article 20 and the adopted Design Guidelines for Historic Properties which both reference the Secretary of Interior (SOI) Standards for Rehabilitation. The guidelines in place for review do not limit the use of property but rather the compatibility of new construction with the documented historic resources. The applicant’s justification letter states that the proposed language “is a narrowly written text amendment designed specifically to protect property within the Rural Village zone if it is proximate to historically designated or protected resources.” (Justification Statement 1/20/26, p.1) The Ordinance already provides mechanisms for review by the HDC in specific zoning categories as well as involvement in the review of applications such as special exceptions or rezoning applications county-wide.

In the Ordinance the terminology most frequently referenced regarding historic resources includes the National Register of Historic Places (NR), the Maryland Historical Trust’s (MHT) Inventory of Historic Properties (MIHP), Washington County Historic Sites Inventory and Historic Preservation Overlay (HP). These are referenced in the

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Ordinance where the County has determined impact to historic resources should be reviewed by the HDC. The term “historic trust easement” in the proposed amendment is assumed to be an MHT Preservation Easement. MHT easements are an agreement between a property owner and MHT and it is not advisable to then extend a regulatory buffer to adjacent property owners. The term “historic designation” is ambiguous. It is not consistent with naming conventions utilized in the Ordinance. The HDC does not recommend this language nor does it recommend impacting adjacent property owners when they are not included in the documentation of the historic resources.

The applicant has included a 1,000 foot buffer in the proposed amendment. For historic resource protection, it is not advisable to include buffers without documentation studying any impacts to the integrity of the setting of the historic resources to support the buffer. For example, the Ordinance does include the AO around Antietam National Battlefield to protect the context of that site. That land management regulation was a result of analyses including viewshed around the battlefield. There has been no analysis provided indicating the reason a 1,000 buffer was chosen specific to the associated land use. It appears arbitrary in both distance and the inconsistent use of terminology regarding historic resources.

It is important to note that the table language requested would still allow applications for the Small Box Variety Stores in all rural zoning categories that are able to successfully obtain a Rural Business Overlay, including the Rural Village. The proposed language merely removes the Special Exception process. Both rezoning and special exceptions include the potential for the HDC’s review and comment, and both still include a public notification process. There appears to be no additional historic resource protection resulting in the restriction of the use to the Rural Business Overlay.

The applicant also provides support for their application stating that Comprehensive Plan 2040 (CP2040) notes a need for remaining rural villages in the County to be surveyed. While true that there are rural villages remaining to be surveyed, the rural village mentioned repeatedly in the application “Cascade” has had several surveys completed in 1999, 2001 and 2012 and is considered adequately documented at this time with design review by the HDC in place. CP2040 Historic Element goals encourage a holistic approach to historic resource protection rather than narrowly written amendments. This includes identification of additional historic resources, study of scenic corridors and a modernization of historic policies and ordinances currently in place.

In summary, the HDC reviews activities and applications in areas designated for their review as well as commenting on applications for special exception or rezonings where historic resources may be impacted. The proposed amendment is ambiguous in its terminology regarding historic resources, and it does not include any analysis to support a 1,000 foot buffer. While the HDC supports the expansion of historic resource protections, there is no current recommendation in the CP2040 that proposes limiting individual land uses.

Thank you for the opportunity to review and comment on this application.

Sincerely,



Meghan Jenkins, GISP  
HDC Staff

ATT: 1, Statistics

HDC staff offers the following statistics for consideration during this text amendment review to determine impact to property owners. There are ~20,200 parcels in the rural area. It is important to note that the count of parcels involved that follows is not cumulative as some of these designations overlap. There are ~715 (4% of total rural) parcels within 1,000 feet of the County's Historic Preservation Zoning (HP) properties. There are ~3,980 (20% of total rural) parcels within 1,000 feet of National Register of Historic Places (NR) properties. The term "historic trust easement" is assumed to be an MHT Preservation Easement. There are ~425 (2% of total rural) tax parcels in the County rural area which are within 1,000 feet of a MHT Preservation Easement. There are 10 MHT Preservation Easements in the rural area of the County. These include:

- **Kennedy House**, 2406 Chestnut Grove Road, Sharpsburg (Current Zoning EC w/ HP Overlay)
- **Plumb Grove Mansion**, 12654 Broadfording Road, Clear Spring (Current Zoning EC)
- **Rohrer House**, 12346 Hopscotch Lane, Hagerstown (Current Zoning AR)
- **Baker Farm**, 19522 Shepherdstown Pike, Keedysville (Current Zoning P)
- **Wilson's Bridge**, 15033 Wilson Bridge Park Lane (Current Zoning RV)
- **Moore Farm**, 14404 Cearfoss Pike, Hagerstown (Current Zoning AR)
- **Antietam Railroad Station**, 17230 Shepherdstown Pike, Sharpsburg (Current Zoning P w/ AO2)
- **Snively Farm/Felfoot Parcel**, 5660 Mount Briar Road, Keedysville (Current Zoning P)
- **Wiles Tract at Williamsport Battlefield**, 14926 Falling Water Road, Williamsport (Current Zoning EC)
- **Fort Ritchie**, 25036 Pen Mar Road, Cascade (Current Zoning SED)

The applicant's justification statement, again, stated this amendment was intended "to protect property within the Rural Village zone if it is proximate to historically designated or protected resources." For that reason, the numbers provided by staff cover the entirety of the County's rural area. For context, the HDC currently reviews applications for ~500 parcels within adopted/surveyed rural villages, and an additional ~250 parcels through Antietam Overlay or Historic Preservation Overlay. There are ~1100 Washington County Historic Sites Survey properties that are flagged for potential review depending on their proposed activities. There is significant variation in potential impacts due to the ambiguous language used.

**WASHINGTON COUNTY PLANNING COMMISSION  
REGULAR MEETING  
March 2, 2026**

The Washington County Planning Commission held its regular monthly meeting on Monday, March 2, 2026 at 6:00 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

**CALL TO ORDER AND ROLL CALL**

The Chairman called the meeting to order at 6:00 p.m.

Planning Commission members present were: Jeff Semler, Chairman, Jay Miller, Vice-Chairman, Terrie Shank, Laura Lane-Unsworth, BJ Goetz, Doug Wright, Jr. and Ex-officio County Commissioner Randy Wagner. Staff members present were: Washington County Department of Planning & Zoning: Jennifer Kinzer, Interim Director; Misty Wagner-Grillo, Planner; and Debra Eckard, Office Manager; and Washington County Division of Public Works: Andrew Eshelman, Director.

**NEW BUSINESS**

**MINUTES**

**Motion and Vote:** Ms. Shank made a motion to approve the minutes of the February 2, 2026 Planning Commission meeting as presented. The motion was seconded by Mr. Miller and unanimously approved.

**SITE PLAN**

**Antietam Drive Water Trail Park [SP-25-009]**

Ms. Wagner-Grillo presented a site plan for the proposed Antietam Drive Water Trail Park located at 458 Antietam Drive. The property is currently zoned RS (Residential Suburban) and is 1.49 acres in size. The County is proposing to install a public park with personal watercraft access to Antietam Creek as well as parking facilities, sidewalks and elevated wooden observation deck. Two existing road culverts and outfalls will be repaired due to erosion. The park will be open from dawn to dusk. A ground mounted sign and pole mounted lighting for security are proposed. A photometric plan was submitted showing no light spillage on existing roadways and adjacent properties from these lights. Six parking spaces are required; 11 spaces will be provided. Forest Conservation mitigation will be handled through on-site retention.

The applicant is requesting that the screening requirement be waived along the parking lot on Antietam Drive. A split rail fence is proposed in this area. There is a residential property across the street from the parking lot; however, the park will only be open from dawn until dusk each day. Gates are proposed to keep visitors from accessing the site during non-operating hours. Staff recommends approval of the request with the stipulation that if the hours of operation change or the use changes, screening would be required at that time.

**Discussion and Comments:** Mr. Wright suggested that parking face the creek to avoid light trespass onto the residential properties. Mr. Eshelman stated that this is the preferred layout to use the site most effectively due to grading, topography and traffic flow. Ms. Grillo noted there is an elevation change of four feet.

**Motion and Vote:** Mr. Goetz made a motion to approve the site plan without screening with the stipulation that if the hours of operation change or the use changes, screening would be required at that time. The motion was seconded by Mr. Miller and the motion passed 6-1 with Mr. Wright opposed.

**OTHER BUSINESS**

**Update of Projects Initialized**

Ms. Kinzer provided a written report for land development plan review projects initialized during the month of January including two preliminary/final plats and two site plans.

**ADJOURNMENT**

Mr. Miller made a motion to adjourn the meeting at 6:09 p.m. The motion was seconded by Ms. Lane-Unsworth and so ordered by the Chairman.

**UPCOMING MEETINGS**

1. April 6, 2026, 6:00 p.m. – Washington County Planning Commission regular meeting

Respectfully submitted,

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Jeff Semler, Chairman

DRAFT



**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

<b>SITE NAME.....:</b>	Terminal Building Expansion
<b>NUMBER.....:</b>	SP-25-021
<b>OWNER.....:</b>	WASH CO COMMISSIONERS
<b>LOCATION.....:</b>	18434 SHOWALTER Road Hagerstown, MD 21742
<b>DESCRIPTION.....:</b>	The project consists of a two structural bay (4,800 square foot) expansion to the East of the existing 23,910 SF Terminal. The proposed 4,800 sf addition will emulate the existing architectural features of the terminal building. Prominent architectural features in the terminal building are the large stone and brick masonry pilasters and heavy tubular steel trusses with tubular steel purlins and painted architectural roof decking. End wall tubular steel trusses are exposed to the exterior with triangular openings infilled with glazing systems and architectural metal panels.
<b>ZONING.....:</b>	Airport Airport Overlay
<b>COMP PLAN LU.....:</b>	Industrial/Flex
<b>PARCEL.....:</b>	13022550
<b>PLANNING SECTOR.....:</b>	1
<b>ELECTION DISTRICT.....:</b>	13
<b>TYPE.....:</b>	Unspecified Non-Residential
<b>GROSS ACRES.....:</b>	25.85
<b>DWELLING UNITS.....:</b>	
<b>TOTAL LOTS.....:</b>	1
<b>DENSITY.....:</b>	0 Units Per Acre
<b>PLANNER.....:</b>	Misty Wagner-Grillo
<b>ENGINEER.....:</b>	ADCI
<b>RECEIVED.....:</b>	June 27, 2025

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

<b>FLOOD ZONE.....:</b>	No
<b>WETLANDS.....:</b>	No
<b>WATERSHED.....:</b>	Conococheague Creek
<b>ENDANGERED SPECIES.....:</b>	None
<b>STEEP SLOPES.....:</b>	No
<b>STREAM BUFFER.....:</b>	No
<b>HISTORIC INVENTORY.....:</b>	I285
<b>EASEMENTS PRESENT.....:</b>	None

Staff Comments:

*Not Applicable*



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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SITE DESIGN		
Impervious Area Plan 0.42	Impervious Maximum Allowed 80	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements No	Landscaping Meets Requirements Yes
Lighting Plan Meets Requirements Yes	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned 0	Parking Spaces - Per Dwelling Unit	
Parking Spaces - Minimum Required 0	Recreational Parking Provided	

ACCESS SPACING VARIANCE NEEDED: No  
 NUMBER OF ACCESS POINTS: 1

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Maugansville	Western Heights	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION	
FIRE DISTRICT.....:	Maugansville
AMBULANCE DISTRICT.....:	MAUGANSVILLE

	WATER & SEWER INFORMATION	
	WATER	SEWER
METHOD.....:	City	County Line - City Treatment
SERVICE AREA.....:	City	County Line - City Treatment
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

GENERAL NOTES

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY ADCI TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- ADCI WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO ASHTO T180A STANDARDS.
- PARKING AND DRIVE AISLES SHALL BE MAINTAINED BY PROPERTY OWNER.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- THERE IS NO 100 YEAR FLOODPLAIN ON THIS SUBJECT PROJECT AREA AS SHOWN ON FEMA PANEL No. 24043C0128D EFFECTIVE DATE AUGUST 15, 2017.
- THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- THERE ARE NO AREAS OF STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 ON THE LANDS SHOWN HEREON. THERE ARE NO WETLANDS ON THIS SITE PER MAPPING BY THE U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- THERE ARE NO KNOWN FOREST CONSERVATION AREAS OR WETLANDS WITHIN 200 FT. OF THE PROPOSED CONSTRUCTION AREA.

# SITE PLAN

# HAGERSTOWN REGIONAL AIRPORT

# TERMINAL EXPANSION

## SITUATE AT 18434 SHOWALTER ROAD, HAGERSTOWN, MD 21742

## ELECTION DISTRICT 13

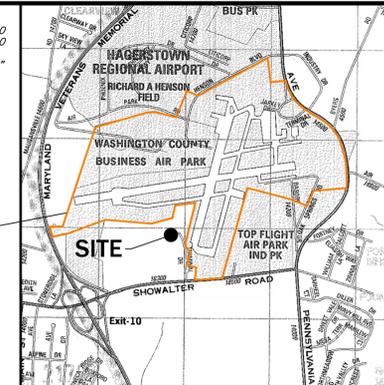
## WASHINGTON COUNTY, MARYLAND

TOTAL TAX GRID INFO: 24-04-0889-0000  
10-23-0028-0000

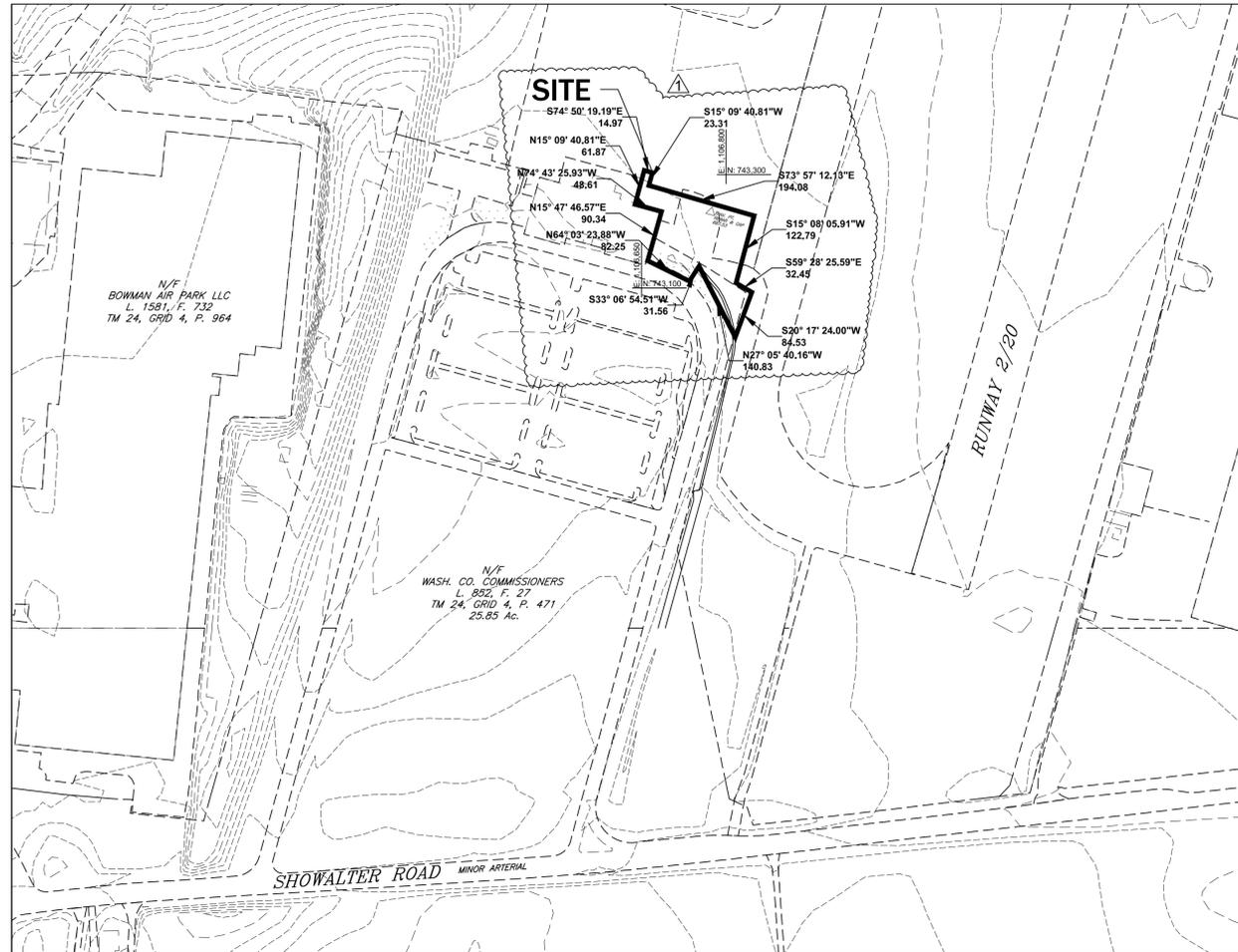
A. N.G.S. MONUMENT A17966 "MIDDLE 2"  
(NADB3, NAVD 88)  
N 742,943.925  
E 1,109,133.128  
ELEV. = 695.66'

B. 550 MTS  
(NADB3, NAVD 88)  
N 744,254.673  
E 1,107,883.953  
ELEV. = 696.05'

APPROX. BOUNDARY  
OF TM 24/P. 689  
378 AC. ±



VICINITY MAP  
SCALE: 1" = 2000'  
TAX MAP 24 PARCEL 471  
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 21004221



WASHINGTON COUNTY  
DIVISION OF ENGINEERING

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF TWO YEARS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

STORMWATER MANAGEMENT NARRATIVE

THE HAGERSTOWN REGIONAL AIRPORT (HGR) HAS TWO REGIONAL STORMWATER MANAGEMENT FACILITIES. THESE PONDS WERE DESIGNED AND CONSTRUCTED TO PROVIDE QUANTITY AND QUALITY CONTROLS FOR ALL EXISTING AND FUTURE DEVELOPMENT AT HGR PER THE AIRPORT LAYOUT PLAN (ALP). SINCE THESE PONDS ARE EXISTING, PROJECTS INCLUDED ARE GRANDFATHERED UNDER THE REGULATIONS IN FORCE AT THIS TIME.

GRABBER FROM THIS PROJECT DRAINS TO AIRPORT POND BMP 3, LOCATED NORTH OF SHOWALTER ROAD AND OUTLETS UNDER SHOWALTER ROAD TO RUSH RUN. THIS PROJECT INCREASES THE IMPERVIOUS AREA IN THAT WATERSHED BY 0.11 ACRES BUT WILL BE COVERED BY AVAILABLE CREDITS (5.04 ACRES).

AGENCY & UTILITY CONTACTS

COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION (240) 313-2400  
CITY UTILITIES DEPT., WATER & SEWER DIVISION ED NORMAN (301) 739-8577 X 653  
POTOMAC EDISON RICK USARY (301) 582-5271  
WASH. CO. SCD DENISE PRICE (301) 797-0821  
ANTETAM CABLE KEN BUCKLER (301) 797-1835  
VERIZON JULIE LUDWIG (301) 790-7135  
COLUMBIA GAS VONDA GRIFFIN (800) 440-6111

UTILITY NOTIFICATION:

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NONEXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS REQUIRED BY LAW THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 28,888 SF OR 0.66 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 269 C.Y. OF EXCAVATION AND 10 C.Y. OF FILL.

\* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

03/17/2026 32705  
DATE REG. NO. EXPIRES 02/21/2028

Ronald N. Morris

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

03/17/2026 32705  
DATE REG. NO.

Ronald N. Morris  
RONALD N. MORRIS

OWNER/DEVELOPERS CERTIFICATION FOR CO. DPW

I/WE CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3)

03/17/2026 NEIL DORAN, AIRPORT DIRECTOR  
DATE NAME SIGNATURE

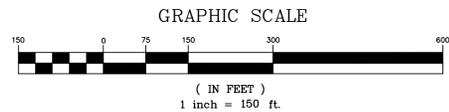
Neil R. Doran

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/MY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

03/17/2026 NEIL DORAN, AIRPORT DIRECTOR  
DATE NAME SIGNATURE

Neil R. Doran



OWNER / DEVELOPER  
WASHINGTON COUNTY COMMISSIONERS  
100 WEST WASHINGTON STREET  
HAGERSTOWN, MD 21740  
240-313-2200

INDEX OF SHEETS

- COVER SHEET, GENERAL CONSTRUCTION AND SAFETY NOTES ..... 1
- EXISTING CONDITIONS PLAN/DEMOLITION PLAN ..... 2
- FINAL CONDITIONS PLAN ..... 3
- SITE PLAN ..... 4
- GRADING/SEDIMENT CONTROL PLAN ..... 5
- DRAINAGE AND EROSION/SEDIMENT CONTROL NOTES AND DETAILS ..... 6
- PIPE PROFILE ..... 7
- SITE DETAILS 1 ..... 8
- SITE DETAILS 2 ..... 9

FILE NAME: O:\HGR\Projects\2024-HGR-1305 Terminal East Expansion\CAD\Sheets\0018\_CV1\_Cover Sheet\_GENERAL CONSTRUCTION AND SAFETY NOTES.dwg PLOTTED: Tuesday, March 17, 2026 - 10:48am USER: rnmundorf

CONSULTANT:

**ADCI**  
AIRPORT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLICOTT CITY, MD 21043  
TEL: 410.465.9606  
FAX: 410.465.9602

SEAL:

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 32705  
EXPIRATION DATE: 2/21/2028

DESIGNED:	NO.	DATE	DESCRIPTION
B.J.D.			
DRAWN:			
J.A.A.			
CHECKED:			
V.J.D.	▲	03/17/2026	FIELD REVISION NO. 1
APPROVED:			
R.N.M.			

**HAGERSTOWN REGIONAL AIRPORT**  
Washington County, MD

PROJECT TITLE: **TERMINAL BUILDING EXPANSION**

SHEET TITLE: **COVER SHEET, GENERAL CONSTRUCTION AND SAFETY NOTES**

SCALE: **AS SHOWN** DATE: **MAY 2025**

FAA ATP No.: 3-24-0019-XX-2025  
Bid No.: PUR-1751  
MAA Grant No.: MAA-GR-XX-XXX

SUBMISSION: **CONFORMED**

SHEET No.: **CV1.0**

19 OF 102

SP-25-021  
CIVIL SHEET 1 of 9

**NOTES:**

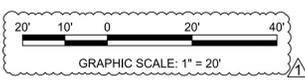
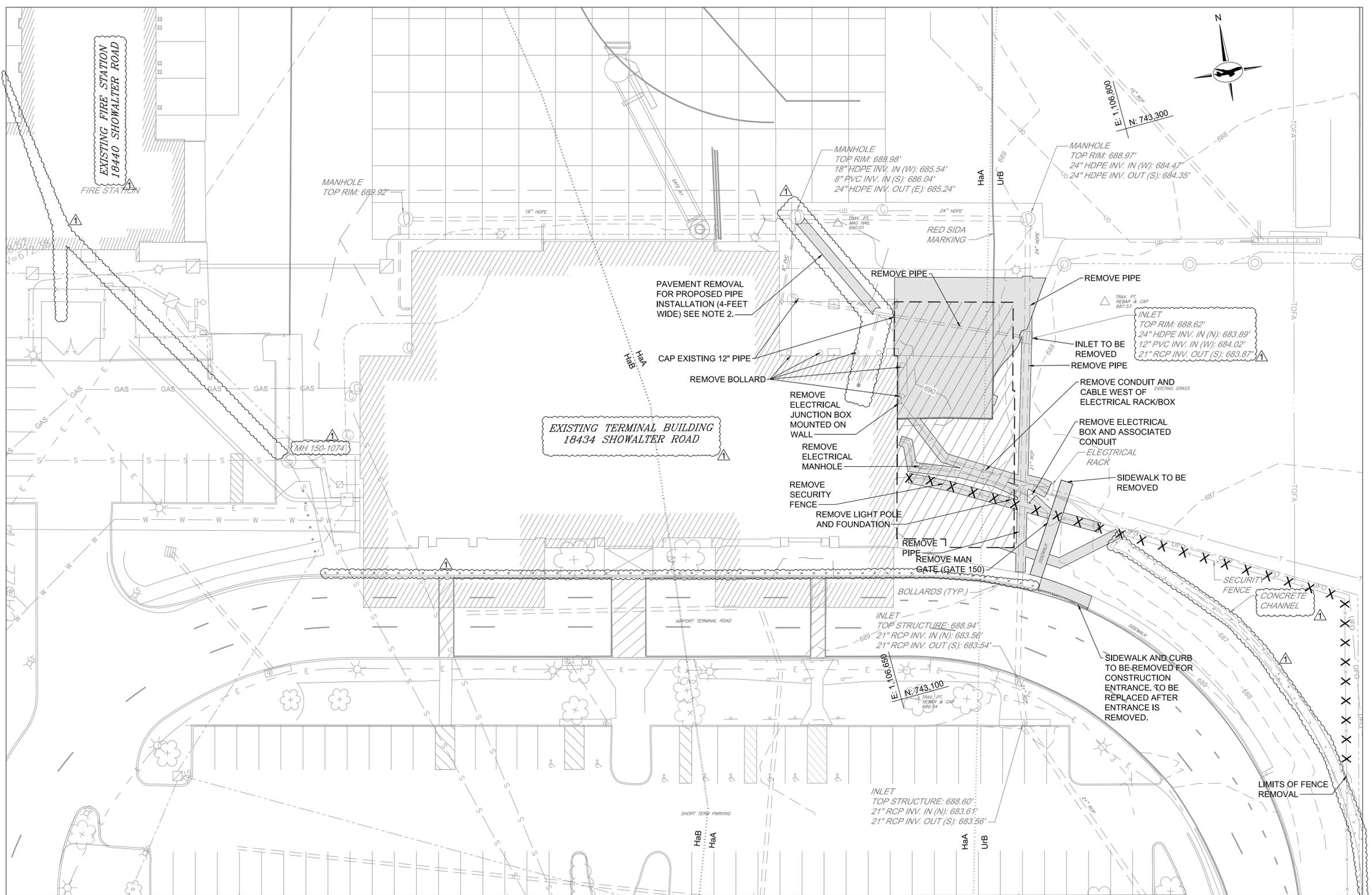
- REFER TO CIVIL PHASING SERIES FOR PHASING AND GENERAL PROJECT LAYOUT PLANS.
- THIS WORK MUST BE COMPLETED WITHIN A DAY THERE IS NO SCHEDULED SERVICE OPERATIONS AT THE AIRPORT.

**EXISTING LEGEND:**

- LIGHT POLE
- TAXIWAY EDGE LIGHT
- ELECTRICAL HANDHOLE
- DRAINAGE MANHOLE
- INLET
- CLEANOUT
- SANITARY SEWER MANHOLE
- BOLLARD
- FLOOR DRAIN
- STORM DRAIN
- ELECTRICAL
- TELEPHONE LINE
- UNDERGROUND FIBER OPTIC
- UNDERDRAIN
- FENCE LINE
- SHRUBS
- TAXIWAY OBJECT FREE AREA
- SOILS BOUNDARY
- 670 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

**PROPOSED LEGEND:**

- PROPOSED STRUCTURE
- EXISTING IMPERVIOUS COVER TO BE REMOVED



**SOIL DESCRIPTIONS:**

SYMBOL	DESCRIPTION		% COVERAGE
HaA	HAGERSTOWN SILT LOAM	0 TO 3 PERCENT SLOPES	26.5%
UrB	URBAN LAND-HAGERSTOWN COMPLEX	0 TO 8 PERCENT SLOPES	73.5%
		<b>TOTAL</b>	<b>100.0%</b>

SP-25-021  
CIVIL SHEET 2 of 9

**CONSULTANT:**

**ADCI**  
AIRPORT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLICOTT CITY, MD 21043  
TEL: 410.465.9600  
FAX: 410.465.9602

**SEAL:**

**PROFESSIONAL CERTIFICATION:**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 32705  
EXPIRATION DATE: 2/21/2028

DESIGNED:	NO.	DATE	DESCRIPTION
B.J.D.	1	06/06/2025	ADDENDUM 1
	2	06/13/2025	ADDENDUM 3
	3	06/20/2025	ADDENDUM 5
	4	03/17/2026	FIELD REVISION NO. 1

DRAWN: J.A.A.  
CHECKED: V.J.D.  
APPROVED: R.N.M.

**HAGERSTOWN REGIONAL AIRPORT**  
Washington County, MD

**PROJECT TITLE:** TERMINAL BUILDING EXPANSION

**SHEET TITLE:** EXISTING CONDITIONS AND DEMOLITION PLAN

**SCALE:** AS SHOWN

**DATE:** MAY 2025

**FAA ATP No.:** 3-24-0019-XX-2025  
**Bid No.:** PUR-1751  
**MAA Grant No.:** MAA-GR-XX-XXX

**SUBMISSION:** CONFORMED

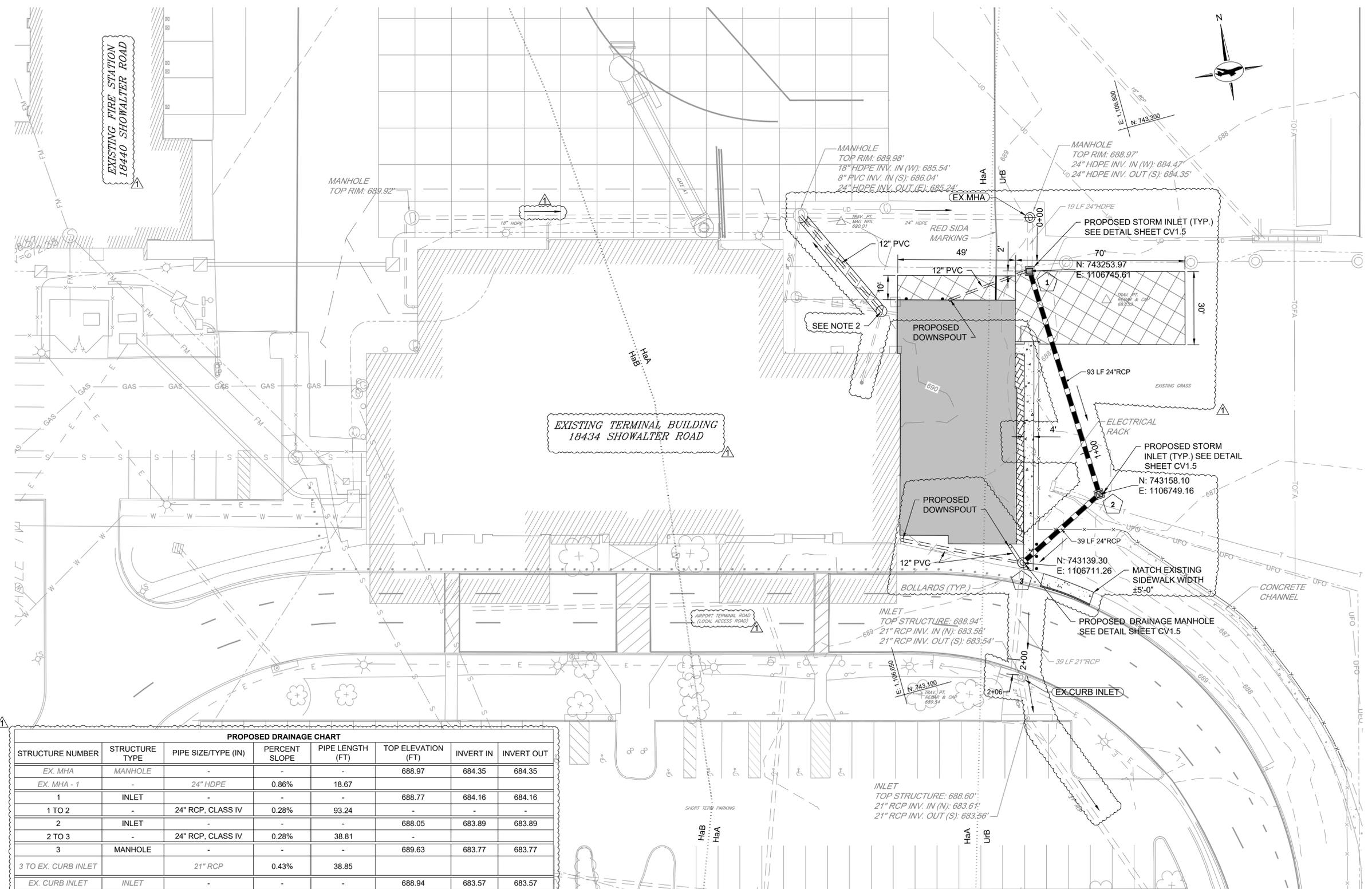
**SHEET No.:** CV1.1  
20 OF 102

FILE NAME: O:\HGR\Projects\2024\HR-1305 Terminal East Expansion\CAD\Sheets\020\_CV1\_1\_EXISTING CONDITIONS AND DEMOLITION PLAN.dwg PLOTTED: Tuesday, March 17, 2026 - 10:58am USER: amundorff

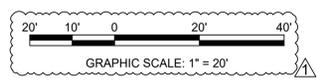
- NOTES:**
- REFER TO CIVIL PHASING SERIES FOR PHASING AND GENERAL PROJECT LAYOUT PLANS.
  - THE LOCATION AND DEPTH OF THE EXISTING 12" PVC PIPE AND FLOOR DRAIN IS APPROXIMATELY BASED ON OLD AS-BUILT. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE LOCATION AND THEN INSTALL THE JUNCTION STRUCTURE AND THE NEW 12" PVC PIPE AT POSITIVE SLOPE TO OUTLET INTO THE EXISTING MANHOLE.
  - PIPE LENGTHS SHOWN ARE INSIDE EDGE OF STRUCTURE TO INSIDE EDGE OF THE STRUCTURE

- EXISTING LEGEND:**
- LIGHT POLE
  - TAXIWAY EDGE LIGHT
  - ⊠ ELECTRICAL HANDHOLE
  - ⊙ DRAINAGE MANHOLE
  - ▭ INLET
  - ⊕ CURB INLET
  - ⊙ CLEANOUT
  - ⊙ SANITARY SEWER MANHOLE
  - BOLLARD
  - FLOOR DRAIN
- STORM DRAIN  
 --- ELECTRICAL  
 --- TELEPHONE LINE  
 --- UFO UNDERGROUND FIBER OPTIC  
 --- UD UNDERDRAIN  
 --- EXISTING FENCE LINE  
 --- SHRUBS  
 --- TOFA TAXIWAY OBJECT FREE AREA  
 --- SOILS BOUNDARY  
 --- 670 EXISTING MAJOR CONTOUR  
 --- EXISTING MINOR CONTOUR

- PROPOSED LEGEND:**
- ▭ BUILDING EXPANSION
  - ▨ PROPOSED BITUMINOUS CONCRETE PAVEMENT REFER TO TYPICAL BITUMINOUS SECTION SHEET CV5.1
  - ▨ SIDEWALK
  - ▨ RIVER ROCK LANDSCAPE AREA
  - STORM DRAIN
  - ▭ INLET
  - ⊕ JUNCTION STRUCTURE
  - ⊕ PROPOSED STORM DRAIN STRUCTURE REFER TO DETAIL SHEET CV1.5
  - ⊕ PROPOSED DRAINAGE MANHOLE
  - PROPOSED FENCE LINE
  - ▭ PROPOSED CURB



PROPOSED DRAINAGE CHART							
STRUCTURE NUMBER	STRUCTURE TYPE	PIPE SIZE/TYPE (IN)	PERCENT SLOPE	PIPE LENGTH (FT)	TOP ELEVATION (FT)	INVERT IN	INVERT OUT
EX. MHA	MANHOLE	-	-	-	688.97	684.35	684.35
EX. MHA - 1	-	24" HDPE	0.86%	18.67	-	-	-
1	INLET	-	-	-	688.77	684.16	684.16
1 TO 2	-	24" RCP, CLASS IV	0.28%	93.24	-	-	-
2	INLET	-	-	-	688.05	683.89	683.89
2 TO 3	-	24" RCP, CLASS IV	0.28%	38.81	-	-	-
3	MANHOLE	-	-	-	689.63	683.77	683.77
3 TO EX. CURB INLET	-	21" RCP	0.43%	38.85	-	-	-
EX. CURB INLET	INLET	-	-	-	688.94	683.57	683.57



**SOIL DESCRIPTIONS:**

SYMBOL	DESCRIPTION	SLOPE	% COVERAGE
HaA	HAGERSTOWN SILT LOAM	0 TO 3 PERCENT SLOPES	26.5%
UB	URBAN LAND-HAGERSTOWN COMPLEX	0 TO 8 PERCENT SLOPES	73.5%
TOTAL			100.0%

SP-25-021  
 CIVIL SHEET 3 of 9

FILE NAME: C:\HGR\Projects\2024\HR-1305 Terminal East Expansion\CAD\Sheets\02L\_CV1.2\_FINAL CONDITIONS PLAN.dwg PLOTTED: Thursday, March 19, 2026 - 12:00pm USER: sthikarathna

**CONSULTANT:**

**ADCI**  
 AIRPORT DESIGN CONSULTANTS  
 6011 UNIVERSITY BLVD, SUITE 490  
 ELLICOTT CITY, MD 21043  
 TEL: 410.465.9600  
 FAX: 410.465.9602

**SEAL:**

PROFESSIONAL CERTIFICATION:  
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 LICENSE NO. 32705  
 EXPIRATION DATE: 2/21/2028

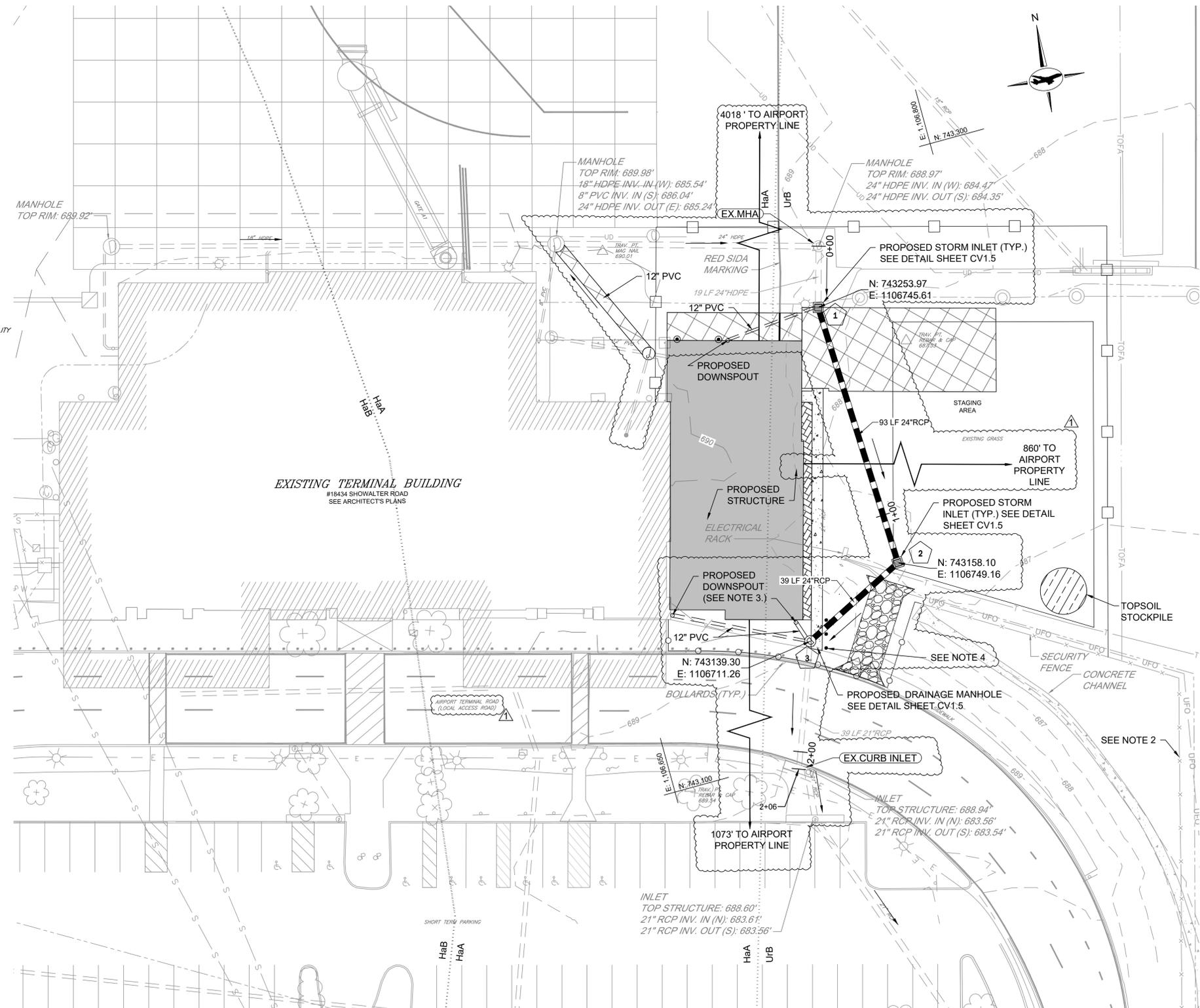
DESIGNED:	NO.	DATE	DESCRIPTION
B.J.D.	1	06/06/2025	ADDENDUM 1
J.A.A.	3	06/13/2025	ADDENDUM 3
V.J.D.	5	06/20/2025	ADDENDUM 5
R.N.M.	1	03/17/2026	FIELD REVISION NO. 1

**HGR**  
**HAGERSTOWN REGIONAL AIRPORT**  
 Washington County, MD

<b>PROJECT TITLE:</b> TERMINAL BUILDING EXPANSION		FAA ATP No.: 3-24-0019-XX-2025
<b>SHEET TITLE:</b> FINAL CONDITIONS PLAN		Bid No.: PUR-1751
<b>SCALE:</b> AS SHOWN		MAA Grant No.: MAA-GR-XX-XXX
<b>DATE:</b> MAY 2025		SUBMISSION: CONFORMED
		SHEET No.: <b>CV1.2</b>
		21 OF 102

**SITE DATA**

TAX MAP/PARCEL	24 / 471
ELECTION DISTRICT	13
ZONING	AP, AIRPORT DISTRICT
WATERSHED	CONOCOHEAGUE CREEK (02140504)
PARCEL ACREAGE	25.85 AC. PER SDAT
FUNCTIONAL DESCRIPTION	EXIST. AIRPORT TERMINAL
<b>MINIMUM BUILDING SETBACK LINES (MBSL)</b>	
FRONT	50' FROM SHOWALTER ROAD
SIDE	75'
REAR	75'
<b>EXISTING TERMINAL BUILDING AREA</b> ..... 23,910 S.F.	
<b>PROPOSED BUILDING ADDITION</b> ..... 4,800 S.F.	
<b>NET INCREASE IN IMPERVIOUS COVER</b> ..... 4,836 S.F.	
<b>PROPOSED BUILDING HEIGHT</b> ..... 32.5 FEET	
<b>No. of EMPLOYEES</b> ..... 65	
<b>HOURS OF OPERATION</b> ..... AIRFIELD 24/7/365, AIRPORT ATTENDANCE 5AM-10PM DAILY	
<b>SITE USERS TRANSPORTATION</b> ..... AUTOMOBILE	
<b>ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE</b> ..... BY OWNER (COUNTY)	
<b>PARKING REQUIRED</b> ..... NO CHANGE	
<b>PARKING PROVIDED</b> ..... NO CHANGE	
<b>PARKING LANDSCAPE REQUIREMENT</b> ..... NO CHANGE	
<b>PARKING LANDSCAPE AREAS PROVIDED</b> ..... NO CHANGE	
<b>HANDICAP PARKING REQUIRED &amp; PROVIDED</b> ..... 5	
<b>FREIGHT &amp; DELIVERIES</b> ..... NO CHANGE	
<b>WATER</b> ..... CITY OF HAGERSTOWN	
<b>SEWER</b> ..... WASHINGTON COUNTY DEPT. OF WATER QUALITY	
<b>SOLID WASTE STORAGE &amp; DISPOSAL</b> ..... EX. DUMPSTER PAD	
<b>PROJECTED EMISSIONS</b> ..... NONE	
<b>EXISTING WATER ALLOCATION</b> ..... 18,831 GPD	
<b>EXISTING WATER USAGE</b> ..... 1,081 GPD	
<b>PROPOSED ADDITIONAL ALLOCATION</b> ..... 0 GPD	



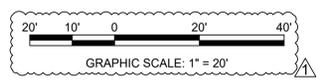
- NOTES:**
- REFER TO CIVIL PHASING SERIES FOR PHASING AND GENERAL PROJECT LAYOUT PLANS.
  - EXISTING SECURITY FENCE TO BE DEMOLISHED AFTER NEW PERMANENT SECURITY FENCE IS INSTALLED.
  - SEE DWG P2.2.91 OF 102 TO MATCH LOCATION OF DOWN SPOUTS FROM PLUMBING DRAWINGS
  - PROPOSED BOLLARDS ARE LOCATED IN CLOSE PROXIMITY TO THE PROPOSED PIPE ALONG THE SIDEWALK. BOLLARDS SHALL BE INSTALLED IN A STAGGERED CONFIGURATION RELATIVE TO THE PIPE ALIGNMENT TO ENSURE ADEQUATE CLEARANCE IS MAINTAINED.

- EXISTING LEGEND:**
- LIGHT POLE
  - TAXIWAY EDGE LIGHT
  - ELECTRICAL HANDHOLE
  - DRAINAGE MANHOLE
  - INLET
  - CURB INLET
  - CLEANOUT
  - SANITARY SEWER MANHOLE
  - BOLLARD
  - FLOOR DRAIN
  - STORM DRAIN
  - ELECTRICAL
  - TELEPHONE LINE
  - UNDERGROUND FIBER OPTIC
  - UNDERDRAIN
  - EXISTING FENCE LINE
  - SHRUBS
  - TOFA
  - SOILS BOUNDARY
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR

- PROPOSED LEGEND:**
- BUILDING EXPANSION
  - PROPOSED BITUMINOUS CONCRETE PAVEMENT REFER TO TYPICAL BITUMINOUS SECTION SHEET CV5.1
  - CONSTRUCTION ENTRANCE
  - TOPSOIL STOCKPILE
  - STAGING AREA
  - SIDEWALK
  - STORM DRAIN
  - STORM DRAIN
  - TEMPORARY SECURITY FENCE
  - TEMPORARY CONSTRUCTION FENCE
  - INLET
  - JUNCTION STRUCTURE
  - PROPOSED STORM DRAIN STRUCTURE REFER TO DETAIL SHEET CV1.5
  - PROPOSED BOLLARD (OWNER-SUPPLIED MATERIAL: REBAR CAGE, BOLLARD PIPE AND COVER)
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED BOLLARD (CONTRACTOR SUPPLIED AND INSTALLED)

**SOIL DESCRIPTIONS:**

SYMBOL	DESCRIPTION	% COVERAGE
HaA	HAGERSTOWN SILT LOAM	0 TO 3 PERCENT SLOPES 26.5%
UrB	URBAN LAND-HAGERSTOWN COMPLEX	0 TO 8 PERCENT SLOPES 73.5%
		<b>TOTAL 100.0%</b>



FILE NAME: O:\HGR\Projects\2024\HR-1305 Terminal East Expansion\CAD\Sheets\0022\_CV1.3\_Site Plan.dwg PLOTTED: Thursday, March 19, 2026 - 12:01pm USER: ahhikarathna

**CONSULTANT:**

**ADCI**  
AIRPORT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLCOTT CITY, MD 21043  
TEL: 410.465.9600  
FAX: 410.465.9602

**SEAL:**

STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
No. 32705  
EXPIRES 12/31/2028

**PROFESSIONAL CERTIFICATION:**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 32705  
EXPIRATION DATE 12/31/2028

DESIGNED:	NO.	DATE	DESCRIPTION
B.J.D.	1	06/06/2025	ADDENDUM 1
J.A.A.	3	06/13/2025	ADDENDUM 3
V.J.D.	5	06/20/2025	ADDENDUM 5
R.N.M.	1	03/17/2026	FIELD REVISION NO. 1

**HGR**  
**HAGERSTOWN REGIONAL AIRPORT**  
Washington County, MD

**PROJECT TITLE:** TERMINAL BUILDING EXPANSION

**SHEET TITLE:** SITE PLAN

**SCALE:** AS SHOWN

**DATE:** MAY 2025

**FAA ATP No.:** 3-24-0019-XX-2025  
**Bid No.:** PUR-1751  
**MAA Grant No.:** MAA-GR-XX-XXX

**SUBMISSION:** CONFORMED

**SHEET No.:** CV1.3  
22 OF 102

SP-25-021  
CIVIL SHEET 4 of 9

**NOTES:**

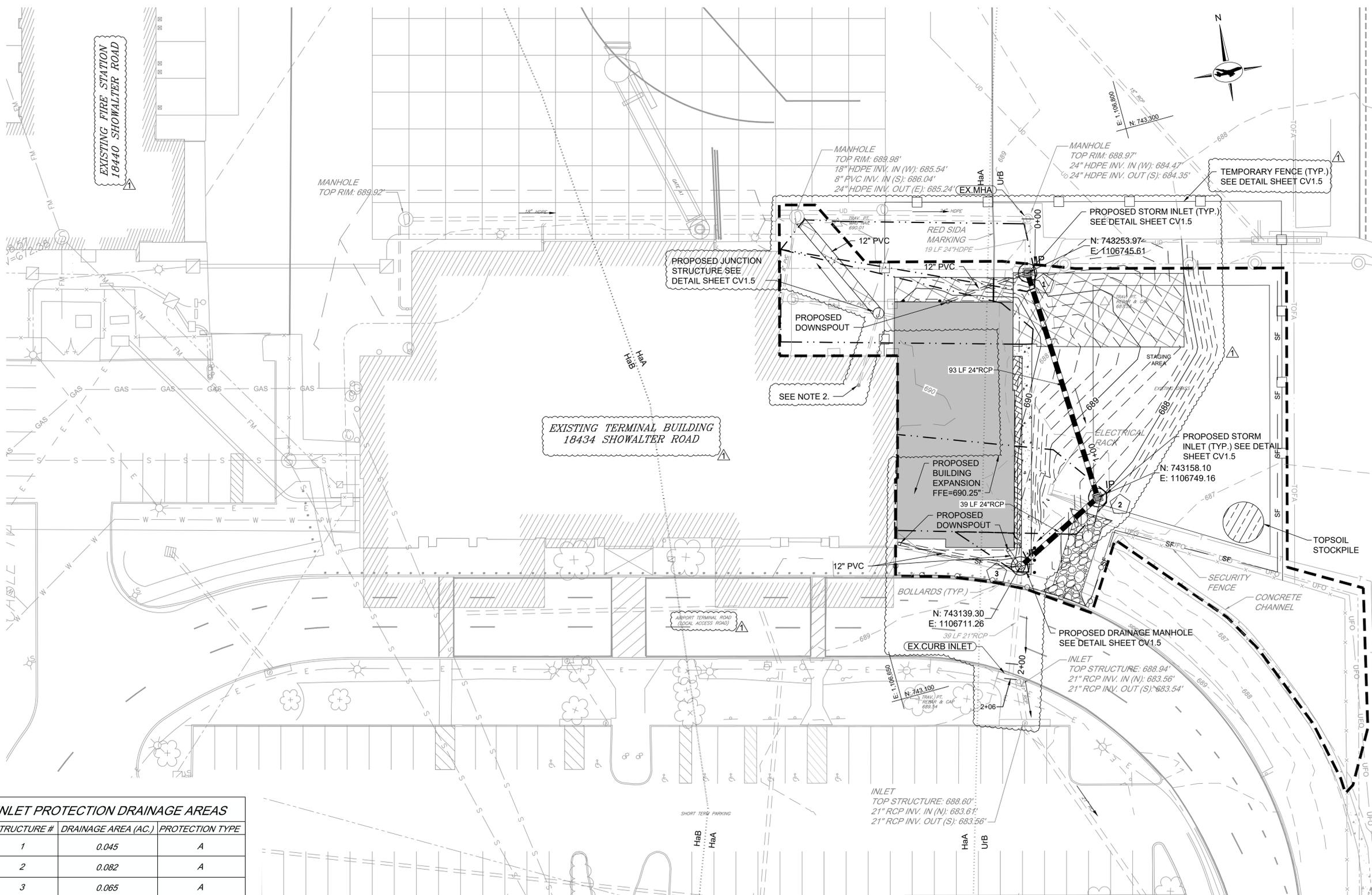
- REFER TO CIVIL PHASING SERIES FOR PHASING AND GENERAL PROJECT LAYOUT PLANS.
- THE LOCATION AND DEPTH OF THE EXISTING 12" PVC PIPE AND FLOOR DRAIN IS APPROXIMATELY BASED OLD AS-BUILT. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE LOCATION AND THEN INSTALL THE JUNCTION STRUCTURE AND THE NEW 12" PVC PIPE AT POSITIVE SLOPE TO OUTLET INTO THE EXISTING MANHOLE.
- PIPE LENGTHS SHOWN ARE INSIDE EDGE OF STRUCTURE TO INSIDE EDGE OF THE STRUCTURE

**EXISTING LEGEND:**

- LIGHT POLE
- TAXIWAY EDGE LIGHT
- ELECTRICAL HANDHOLE
- DRAINAGE MANHOLE
- INLET
- CURB INLET
- CLEANOUT
- SANITARY SEWER MANHOLE
- BOLLARD
- FLOOR DRAIN
- STORM DRAIN
- ELECTRICAL
- TELEPHONE LINE
- UNDERGROUND FIBER OPTIC
- UNDERDRAIN
- EXISTING FENCE LINE
- SHRUBS
- TAXIWAY OBJECT FREE AREA
- SOILS BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

**PROPOSED LEGEND:**

- BUILDING EXPANSION
- PROPOSED BITUMINOUS CONCRETE PAVEMENT REFER TO TYPICAL BITUMINOUS SECTION SHEET CV5.1
- STABILIZED CONSTRUCTION ENTRANCE
- RIVER ROCK AREA
- TOPSOIL STOCKPILE
- STAGING AREA
- SIDEWALK
- TEMPORARY SECURITY FENCE
- TEMPORARY CONSTRUCTION FENCE
- INLET PROTECTION DRAINAGE AREA
- 690 PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SF SILT FENCE
- PAVEMENT MARKING
- IP INLET PROTECTION
- STORM DRAIN
- INLET
- JUNCTION STRUCTURE
- PROPOSED STORM DRAIN STRUCTURE REFER TO DETAIL SHEET CV1.5
- PROPOSED BOLLARD (OWNER-SUPPLIED MATERIAL: REBAR CAGE, BOLLARD PIPE AND COVER)
- PROPOSED DRAINAGE MANHOLE
- LIMITS OF DISTURBANCE



INLET PROTECTION DRAINAGE AREAS		
STRUCTURE #	DRAINAGE AREA (AC.)	PROTECTION TYPE
1	0.045	A
2	0.082	A
3	0.065	A
4	0.006	A
EX	0.060	A



SOIL DESCRIPTIONS:		
SYMBOL	DESCRIPTION	% COVERAGE
HaA	HAGERSTOWN SILT LOAM	0 TO 3 PERCENT SLOPES 26.5%
UrB	URBAN LAND-HAGERSTOWN COMPLEX	0 TO 8 PERCENT SLOPES 73.5%
		TOTAL 100.0%

FILE NAME: C:\HGR\Projects\2024-HER-1305 Terminal East Expansion\CAD\Sheets\0023\_CV1.4 GRADING AND SEDIMENT CONTROL PLAN.dwg PLOTTED: Thursday, March 19, 2026 - 1:28pm USER: ahlakratina

**CONSULTANT:**

**ADCI**  
AIRPORT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLCOTT CITY, MD 21043  
TEL: 410.465.9600  
FAX: 410.465.9602

**SEAL:**

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APPROVED:			
R.N.M.			

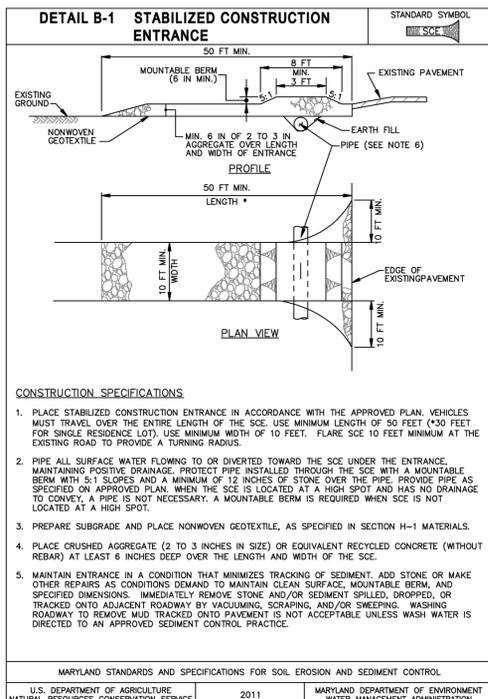
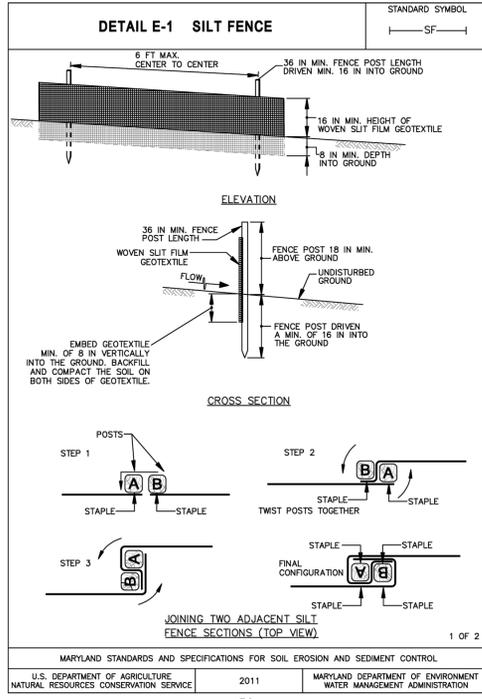
**HAGERSTOWN REGIONAL AIRPORT**  
Washington County, MD

<b>PROJECT TITLE:</b>	
TERMINAL BUILDING EXPANSION	
<b>SHEET TITLE:</b>	
GRADING AND SEDIMENT CONTROL PLAN	
<b>SCALE:</b>	<b>DATE:</b>
AS SHOWN	MAY 2025

<b>FAA ATP No.:</b> 3-24-0019-XX-2025
<b>Bid No.:</b> PUR-1751
<b>MAA Grant No.:</b> MAA-GR-XX-XXX
<b>SUBMISSION:</b>
CONFORMED
<b>SHEET No.:</b>
CV1.4
23 OF 102

STANDARD UTILITY NOTES

- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
- CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED TO AN APPROVED LOCATION TO WASTED MATERIALS TO PAVED AREAS.
- CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORKING DAY.
- IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
- CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
- CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.



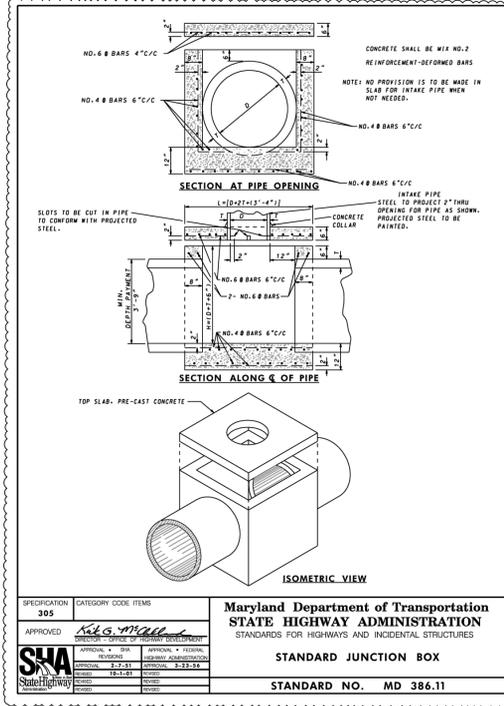
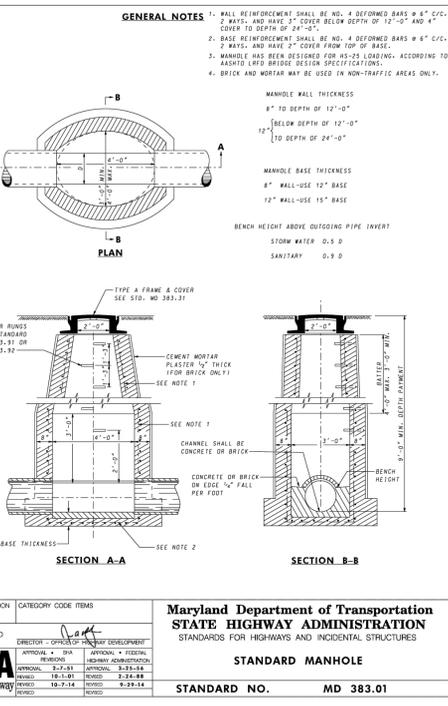
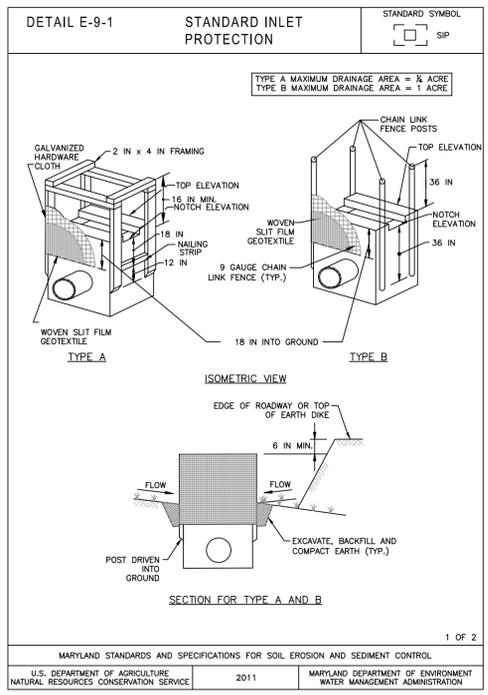
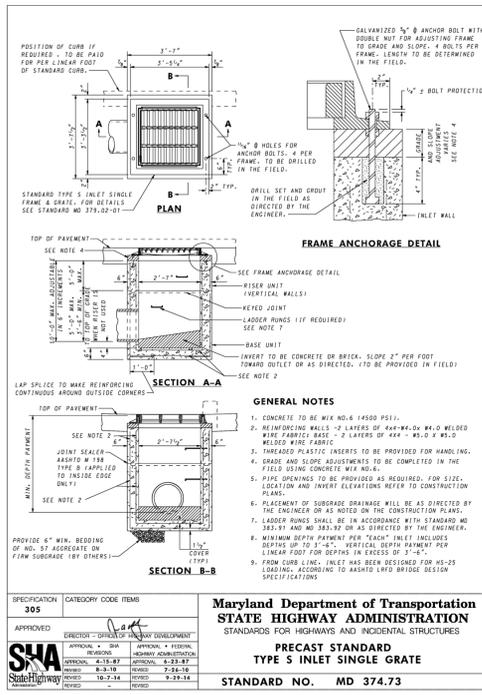
SEQUENCE OF CONSTRUCTION

- PHASE 1 - INITIAL DISTURBANCE
- CONTACT THE WASHINGTON COUNTY DPW - ENGINEERING & CONSTRUCTION AT (240) 313-2400 AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT (301) 797-6821 FIVE (5) DAYS PRE TO THE START OF CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING.
  - CONDUCT PRE-CONSTRUCTION MEETING.
- PHASE 2 - SITE WORK CONSTRUCTION
- INSTALL TEMPORARY SECURITY FENCE.
  - INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLAN.
  - INSTALL INLET PROTECTION AND TOPSOIL STOCKPILE AS SHOWN. ANY SPOIL AND/OR BORROW MUST COME FROM OR GO TO A SITE THAT HAS A CURRENT AND APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
  - SAWCUT EXISTING CONCRETE AND PAVING AS SHOWN ON PLAN.
  - WORKING DOWNSTREAM AND PROCEEDING UPSTREAM, INSTALL PROPOSED STORM DRAIN SYSTEM.
  - BEGIN SITE DEMOLITION.
  - BEGIN UTILITY CONSTRUCTION.
  - BEGIN FOOTER AND BUILDING ADDITION ERECTION.
  - BEGIN INSTALLATION OF ASPHALT PAVING SECTION.
  - BEGIN INSTALLATION OF CONCRETE SIDEWALK AND LANDSCAPE STONE.
  - BEGIN BOLLARD AND PERMANENT FENCE INSTALLATION
  - STABILIZE ALL GRASS AREAS, SEED AND MULCH.

- PHASE 3 - PROJECT CLOSE-OUT
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.
  - CONTACT THE WASH. CO. SCD AT 301-797-6821 AND THE WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS-ENGINEERING & CONSTRUCTION AT 240-313-2400 TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW MEETING. OBTAIN PERMISSION FROM SCD TO REMOVE PERIMETER CONTROLS. STABILIZE AREAS LEFT DISTURBED BY PERIMETER CONTROL REMOVAL.

PROPOSED DRAINAGE CHART

STRUCTURE NUMBER	STRUCTURE TYPE	PIPE SIZE/TYPE (IN)	PERCENT SLOPE	PIPE LENGTH (FT)	TOP ELEVATION (FT)	INVERT IN	INVERT OUT
EX. MHA	MANHOLE	-	-	-	688.97	684.35	684.35
EX. MHA - 1	-	24" HDPE	0.86%	19	-	-	-
1	INLET	-	-	-	688.77	684.16	684.16
1 TO 2	-	24" RCP, CLASS IV	0.28%	93	-	-	-
2	INLET	-	-	-	688.05	683.89	683.89
2 TO 3	-	24" RCP, CLASS IV	0.28%	39	-	-	-
3	MANHOLE	-	-	-	689.63	683.77	683.77
3 TO EX. CURB INLET	-	21" RCP	0.43%	39	-	-	-
EX. CURB INLET	INLET	-	-	-	688.94	683.57	683.57



SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL". "SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY), UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
  - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, "ADEQUATE VEGETATIVE STABILIZATION", IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

- FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:
- MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDR, STATE DISCHARGE PERMIT NUMBER 20CP, OR AN INDIVIDUAL PERMIT.
  - THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
  - DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'s) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).
  - FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E., ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

PERMANENT SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P205	K20	
6	TALL FESCUE WHITE CLOVER PERENNIAL RYE GRASS	40 8 25	3/15 - 6/1 6/1 - 10/15	1/2" - 3/4"	45 LB/AC (1.0 LB/1000 S.F.)	90 LB/AC (2 LB/1000 S.F.)	90 LB/AC (2 LB/1000 S.F.)	2 TONS/AC (90 LB/1000 S.F.)

PERMANENT SEEDING SHALL COMPLY WITH SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.

TEMPORARY SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					N	P205	
2	BARLEY (HORDEUM VULGARE)	96	3/1 - 5/15 6/1 - 9/30	1.0"	436 LBS./AC. (10 LBS/1000 S.F.)	2 TONS/AC. (90 LBS/1000 S.F.)	

TEMPORARY SEEDING SHALL COMPLY WITH SECTION B-4-4 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.

CONSULTANT:

ADCI  
AIRPORT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLICOTT CITY, MD 21043  
TEL: 410.465.9600  
FAX: 410.465.9602

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DRAWN:	J. A. A.		
CHECKED:	V. J. D.	03/17/2026	FIELD REVISION NO. 1
APPROVED:	R. N. M.		

HAGERSTOWN REGIONAL AIRPORT  
Washington County, MD

PROJECT TITLE: **TERMINAL BUILDING EXPANSION**

SHEET TITLE: **DRAINAGE AND EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

SCALE: AS SHOWN

DATE: MAY 2025

FAA ATP No.: 3-24-0019-XX-2025  
Bid No.: PUR-1751  
MAA Grant No.: MAA-GR-XX-XXX

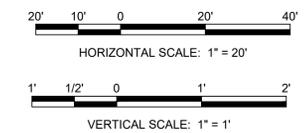
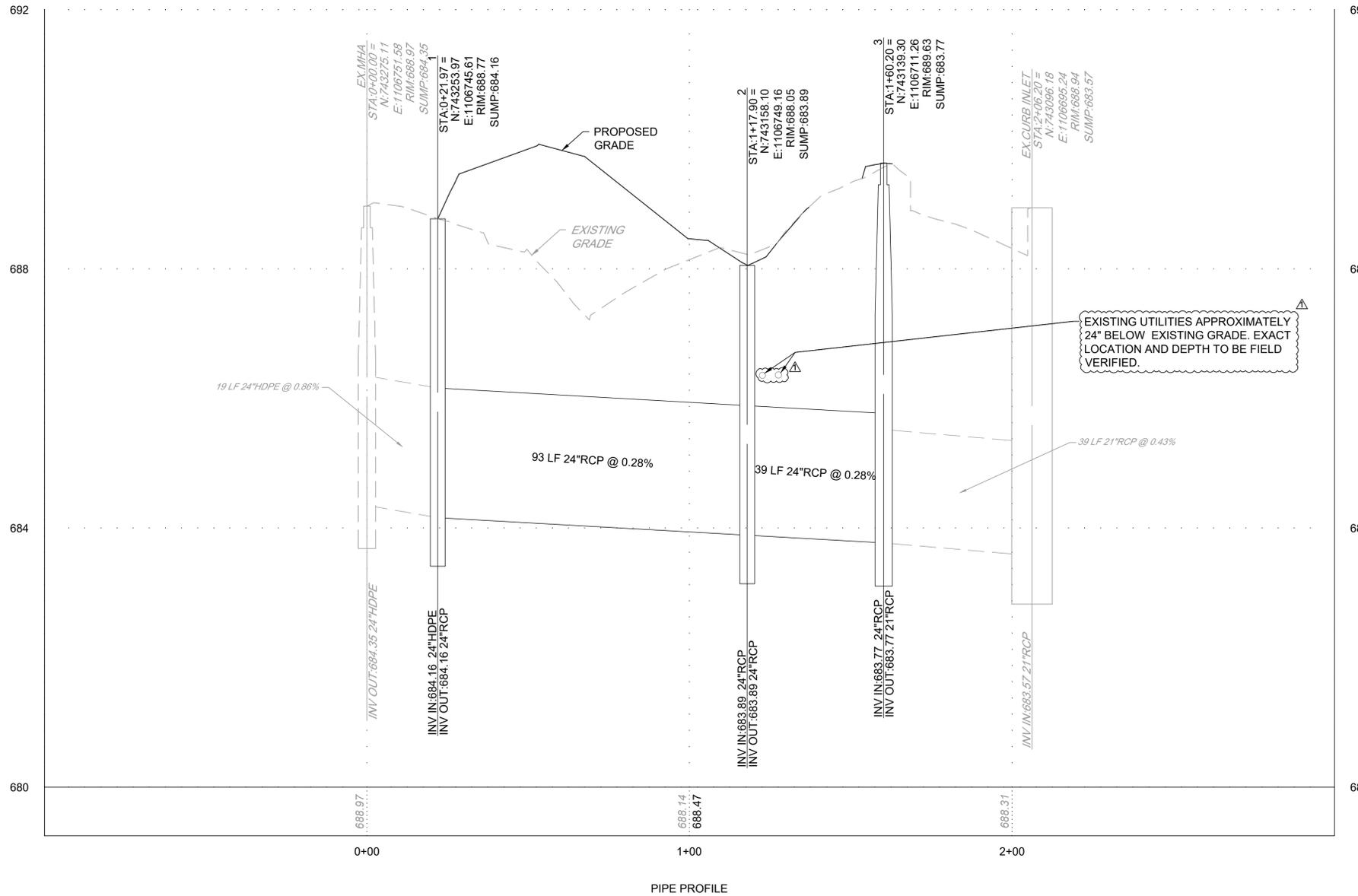
SUBMISSION: CONFORMED

SHEET No.: **CV1.5**

24 OF 102

FILE NAME: O:\HGR\Projects\2024-HGR-1305 Terminal East Expansion\CAD\Sheets\024-CV1.5\_DRAINAGE AND EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.dwg PLOTTED: Thursday, March 19, 2026 - 2:27pm USER: shikharathna

FILE NAME: O:\HGR\Projects\2024-HER-1305 Terminal East Expansion\CAD\Sheets\002A\_CV1.6\_PIPE PROFILE.dwg PLOTTED: Thursday, March 19, 2026 - 12:03pm USER: sthikarathna



SP-25-021  
 CIVIL SHEET 7 of 9

CONSULTANT:

**ADCI**  
 AIRPORT DESIGN CONSULTANTS  
 6011 UNIVERSITY BLVD, SUITE 490  
 ELLICOTT CITY, MD 21043  
 TEL: 410.465.9600  
 FAX: 410.465.9602

SEAL:

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 NO. 32705  
 EXPIRATION DATE: 2/21/2028

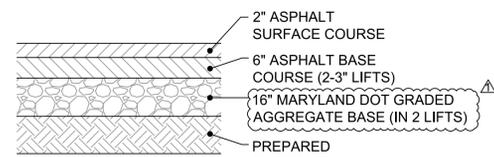
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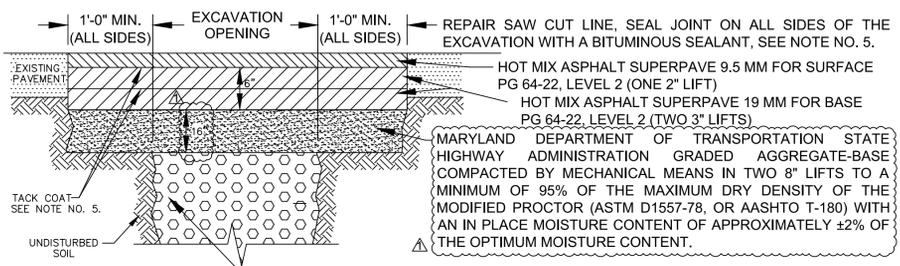
**HGR**  
 HAGERSTOWN REGIONAL AIRPORT  
 Washington County, MD

PROJECT TITLE:	<b>TERMINAL BUILDING EXPANSION</b>
SHEET TITLE:	<b>PIPE PROFILE</b>
SCALE:	AS SHOWN
DATE:	MAY 2025

FAA ATP No.:	3-24-0019-XX-2025
Bid No.:	PUR-1751
MAA Grant No.:	MAA-GR-XX-XXX
SUBMISSION:	CONFORMED
SHEET No.:	<b>CV1.6</b>
	24A OF 102



**1 BITUMINOUS PAVING SECTION**  
CV5.1 SCALE: NTS



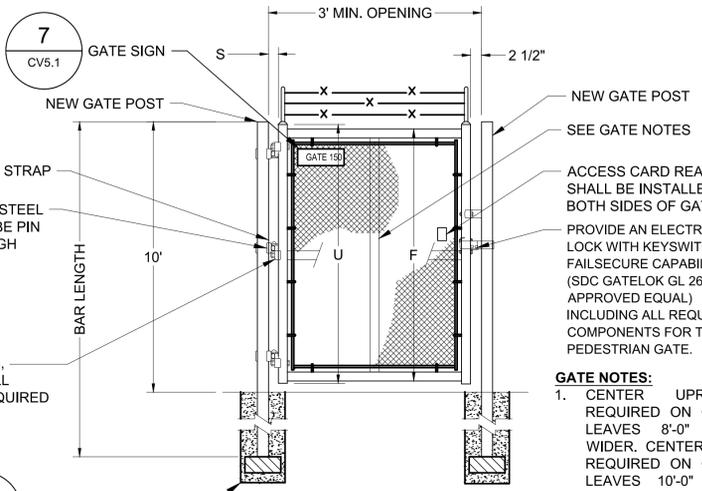
INSTALL BACKFILL MATERIAL AS SPECIFIED FOR THE PARTICULAR UTILITY INVOLVED PERFORMING MECHANICAL COMPACTION TO ADEQUATELY SUPPORT STRUCTURAL PAVEMENT. IF NO SPECIFIC DETAIL IS DESCRIBED IN THE CONTRACT DOCUMENTS OR IF NO UTILITY IS INVOLVED OR ENCOUNTERED (SUCH AS IN SOME TYPES OF TEST PIT EXCAVATIONS) THEN INSTALL SUITABLE SOIL FREE FROM ORGANIC MATERIAL, TRASH, ASH, CONCRETE, FROZEN MATTER, OR OTHER OBJECTIONABLE SUBSTANCES AND CONTAINING NO ROCKS GREATER THAN 6" IN ANY DIMENSION. THIS SOIL SHALL BE COMPACTED BY MECHANICAL MEANS IN 6" LIFTS TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE MODIFIED PROCTOR (ASTM D1557-78, OR AASHTO T-180) WITH AN IN PLACE MOISTURE CONTENT OF APPROXIMATELY ±2% OF THE OPTIMUM MOISTURE CONTENT.

- NOTES:**
- ALL EXCAVATION, TRENCHING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH CATEGORY 200 OF THE MD DEPT. OF TRANS. S.H.A. "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS" LATEST EDITION.
  - ALL PAVEMENT OPENINGS SHALL BE TEMPORARILY RESTORED WITH BITUMINOUS MATERIAL (HOT OR COLD) WHICH WILL BE REMOVED PRIOR TO THE INSTALLATION OF THE FINAL REPAIR PAVEMENT.
  - PAVEMENT OPENINGS 50 FEET OR GREATER IN LENGTH SHALL REQUIRE THE USE OF A PAVING MACHINE FOR PLACEMENT OF THE 2" LIFT FINAL SURFACE COURSE ASPHALT.
  - THE EDGES OF THE REPAIR OPENINGS SHALL BE NEATLY SAW CUT TO STRAIGHT CLEAN LINES AT A MINIMUM DEPTH OF 4". THESE SAW CUTS SHALL BE SEALED WITH A BITUMINOUS SEALANT AFTER FINAL PAVEMENT INSTALLATION. BITUMINOUS SEALANT AND TACK COAT SHALL BE IN ACCORDANCE WITH MD DEPT. OF TRANS. S.H.A. "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS", LATEST EDITION, SECTION 913.

**2 TRENCH REPAIR**  
CV5.1 SCALE: NTS

SINGLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT
3'-0" through 6'-0"	2 1/2" SQ or 2.875" OD	FOR SQUARE & ROUND GATE POSTS: 2 1/4"

SINGLE OR DOUBLE LEAF GATES		
NOM HEIGHT (H)	UPRIGHT HT (U)	FRAME HT (F)
WITHOUT BARBED WIRE	ACTUAL DIM	ACTUAL DIM
8'-0"	7'-10"	7'-8 1/2"
9'-0"	8'-10"	8'-8 1/2"
10'-0"	9'-10"	9'-8 1/2"
11'-0"	10'-10"	10'-8 1/2"
12'-0"	11'-10"	11'-8 1/2"



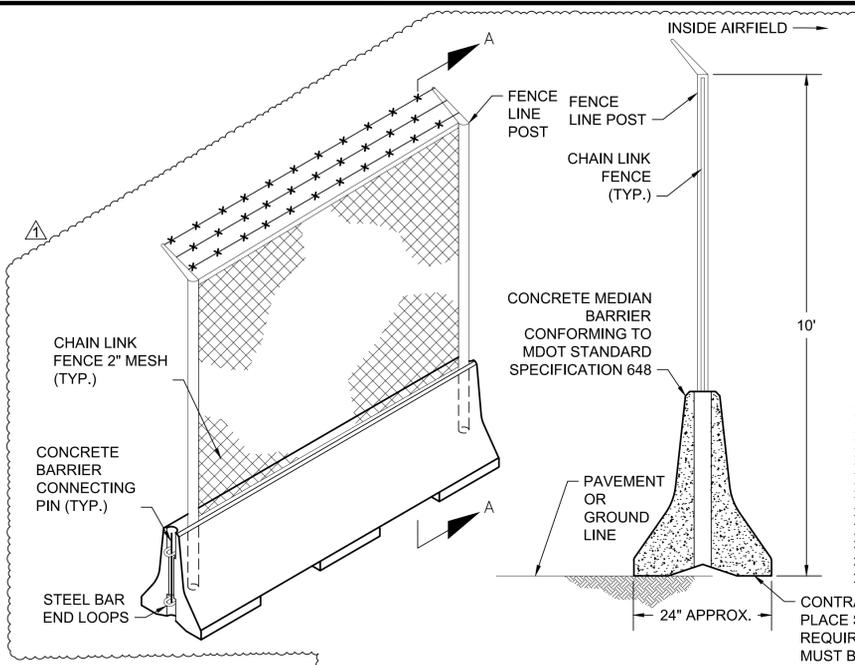
**GATE NOTES:**

- CENTER UPRIGHT REQUIRED ON GATE LEAVES 8'-0" AND WIDER. CENTER RAIL REQUIRED ON GATE LEAVES 10'-0" AND HIGHER.

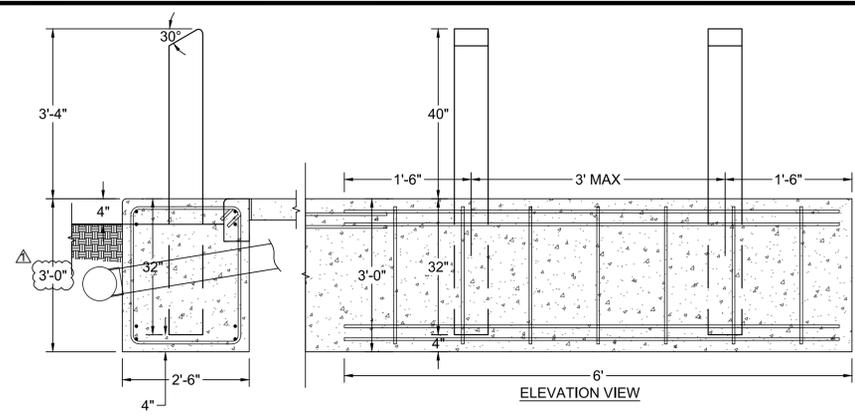
**3 PEDESTRIAN GATE**  
CV5.1 SCALE: NTS

**PEDESTRIAN GATE NOTES:**

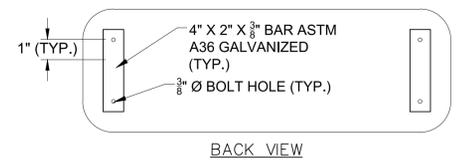
- PEDESTRIAN GATES SHALL BE EQUIPPED WITH A TRANSOM AND A HYDRAULIC DOOR CLOSER.



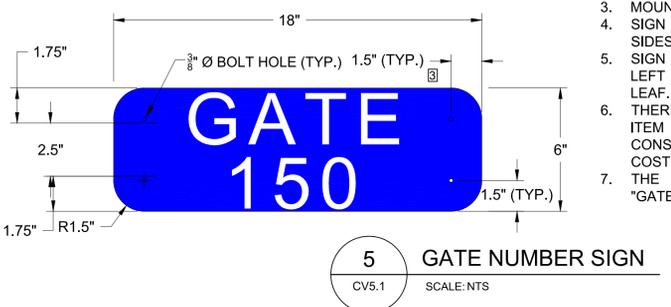
**8 BARRIER FENCE**  
CV5.1 SCALE: NTS



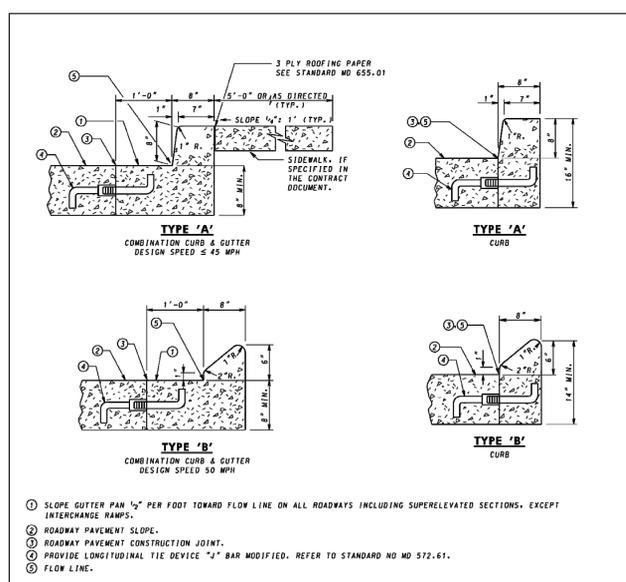
**4 TERMINAL PROTECTION BOLLARD DETAIL**  
CV5.1 SCALE: NTS



- GATE SIGN NOTES:**
- WHITE (REFLECTIVE) LEGEND ON BLUE (REFLECTIVE) BACKGROUND.
  - SIGN THICKNESS - 12 GAUGE.
  - MOUNT SIGNS LEVEL TO FENCE.
  - SIGN SHALL BE INSTALLED ON BOTH SIDES OF THE GATE.
  - SIGN SHALL BE PLACED IN THE UPPER LEFT HAND CORNER OF THE GATE LEAF.
  - THERE WILL BE NO SEPARATE PAY ITEM FOR SIGNS THEY SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE GATE (F-162).
  - THE PEDESTRIAN GATE SHALL BE "GATE 150" (2 SIGNS).



**5 GATE NUMBER SIGN**  
CV5.1 SCALE: NTS



**NOTES:**

- RIGID PAVEMENT ROADWAY ADJACENT TO COMBINATION CURB AND GUTTER AND CLOSED SECTION ROADWAY USING RIGID PAVEMENT WITH COMBINATION CURB AND GUTTER SHALL BE TIED AT THE ROADWAY PAVEMENT CONSTRUCTION JOINT. REFER TO STANDARD NO. 572.61 FOR METHOD OF LONGITUDINAL TIE DEVICES. SPACING OF THE TIE BARS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS. RIGID PAVEMENT AND CURB SHALL BE CONSTRUCTED AS INDICATED. TIE DEVICES ARE NOT REQUIRED WHEN USING FLEXIBLE PAVEMENT FOR ROADWAY.
- MAXIMUM JOINT SPACING FOR CONCRETE CURB AND COMBINATION CURB & GUTTER IS 10'. SEE SPECIFICATION FOR LOCATIONS AND DESCRIPTION OF TREATMENT FOR THE TYPES OF JOINTS USED.
- TYPE A OR B COMBINATION CURB AND GUTTER SHALL BE USED FOR ALL APPLICABLE NEW CONSTRUCTION AND IN THOSE AREAS WHERE THE COMBINATION CURB AND GUTTER IS TO BE REPLACED IN KIND.
- TYPE A OR B CURB SHALL BE USED FOR THE REPLACEMENT OF LIKE KIND OF CURB ONLY. NOT TO BE USED FOR NEW CONSTRUCTION EXCEPT WHERE INDICATED ON APPROPRIATE INLET STANDARDS.

**STATE HIGHWAY ADMINISTRATION**  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES  
**STANDARD TYPES A & B CONCRETE CURB AND COMBINATION CONCRETE CURB & GUTTER**  
STANDARD NO. MD 620.02

**NOTES:**

- ALL REPLACEMENT CONCRETE SIDEWALK SHALL BE MD DEPT. OF TRANS. S.H.A. MIX NO. 3 WITH A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I. WITH 5%-8% AIR AND 2"-5" SLUMP. PLACED AT 4" MINIMUM THICKNESS. THE EXPOSED SURFACE SHALL BE BROOM FINISHED. DO NOT ADD WATER TO THE SURFACE FOR FINISHING. CONCRETE SHALL BE PLACED ON 4" MINIMUM DEPTH MD DEPT. OF TRANS. S.H.A. NO. 57 STONE ON FIRM SUBGRADE.
- THE REPLACEMENT CONCRETE SIDEWALK'S LOCATION, DIMENSIONS, JOINT PATTERN, JOINT TYPES, "BOX OUTS" FOR STRUCTURES, ETC. SHALL BE CONSTRUCTED AS DIRECTED BY THE CITY INSPECTOR. THE CITY INSPECTOR SHALL BE NOTIFIED IN ADVANCE OF ANY CONCRETE PLACEMENT. OBTAIN A CITY OF HAGERSTOWN, MD SIDEWALK REPLACEMENT PERMIT AND CONTACT MISS UTILITY (1-800-257-7777) BEFORE PROCEEDING WITH DEMOLITION OR CONSTRUCTION.
- IF THE REPLACEMENT SIDEWALK IS REQUIRED TO BE RAISED IN ELEVATION FROM ITS PREVIOUS ELEVATION, TRANSITION REPLACEMENT SIDEWALK MAY BE REQUIRED. THIS TRANSITION SIDEWALK SHALL BE CENTERED ON THE PROPERTY LINE WITH THE ADJACENT PROPERTY AND SHALL BE 12 INCHES IN LENGTH FOR EVERY 1 INCH OF ELEVATION CHANGE OR FLATTER AS DIRECTED BY THE CITY INSPECTOR.
- REPLACEMENT SIDEWALK AND REPLACEMENT CURB SHALL NOT BE MONOLITHIC. CONCRETE FOR THE REPLACEMENT SIDEWALK SHALL BE PLACED SEPARATELY FROM THE CONCRETE FOR THE REPLACEMENT CURB.
- TRANSVERSE 1/2" EXPANSION JOINTS SHALL BE REQUIRED AT 40' MAXIMUM INTERVALS AND SHALL ALSO BE PLACED ALONG THE BACK SIDE OF CURB WHERE SIDEWALK IS CONFINED BY CURB ON ONE EDGE AND STRUCTURES ON THE OTHER EDGE. EXPANSION JOINT MATERIAL WILL BE POSITIONED TO ALLOW FOR THE REQUIRED 1/2" DEPTH TWO PART ELASTOMERIC GUN-GRADE POLYSULFIDE SEALANT, SONNEBORN SONOLASTIC OR APPROVED EQUAL.
- WHEN SIGN POSTS EXIST IN THE SIDEWALK (TO BE REMOVED AND REPLACED) A 4" DIAMETER SCH 40 PVC SLEEVE MUST BE INSTALLED FOR EACH POST AT ITS FORMER LOCATION, UNLESS OTHERWISE DIRECTED BY THE CITY INSPECTOR. IF PARKING METERS EXIST IN SIDEWALK TO BE REPLACED CONTACT THE CITY PARKING METER TECHNICIAN AT CITY HALL TO MAKE ARRANGEMENTS TO HAVE THE METER HEAD REMOVED AND STORED BY THE CITY TECHNICIAN (CALL AGAIN TO ARRANGE REPLACING OF THE METER HEAD).
- ALWAYS PROVIDE 36" MINIMUM "CLEAR WIDTH" ON SIDEWALKS IN COMPLIANCE WITH A.D.A. REQUIREMENTS.

**CITY OF HAGERSTOWN, MARYLAND - ENGINEERING DIVISION**  
TRANSPORTATION STANDARD DETAIL  
REPLACEMENT CONCRETE SIDEWALK  
ISSUE DATE: 03-01-2018  
REVISIONS  
Plate T-052

**5 SIDEWALK**  
CV5.1 SCALE: NTS



DESIGNED: B.J.D.  
DRAWN: J.A.A.  
CHECKED: V.J.D.  
APPROVED: R.N.M.

NO.	DATE	DESCRIPTION
3	06/13/2025	ADDENDUM 3
5	06/20/2025	ADDENDUM 5
1	03/17/2026	FIELD REVISION NO. 1



PROJECT TITLE: **TERMINAL BUILDING EXPANSION**

SHEET TITLE: **SITE DETAILS 1**

SCALE: AS SHOWN

DATE: MAY 2025

FAA ATP No.: 3-24-0019-XX-2025  
Bid No.: PUR-1751  
MAA Grant No.: MAA-GR-XX-XXX

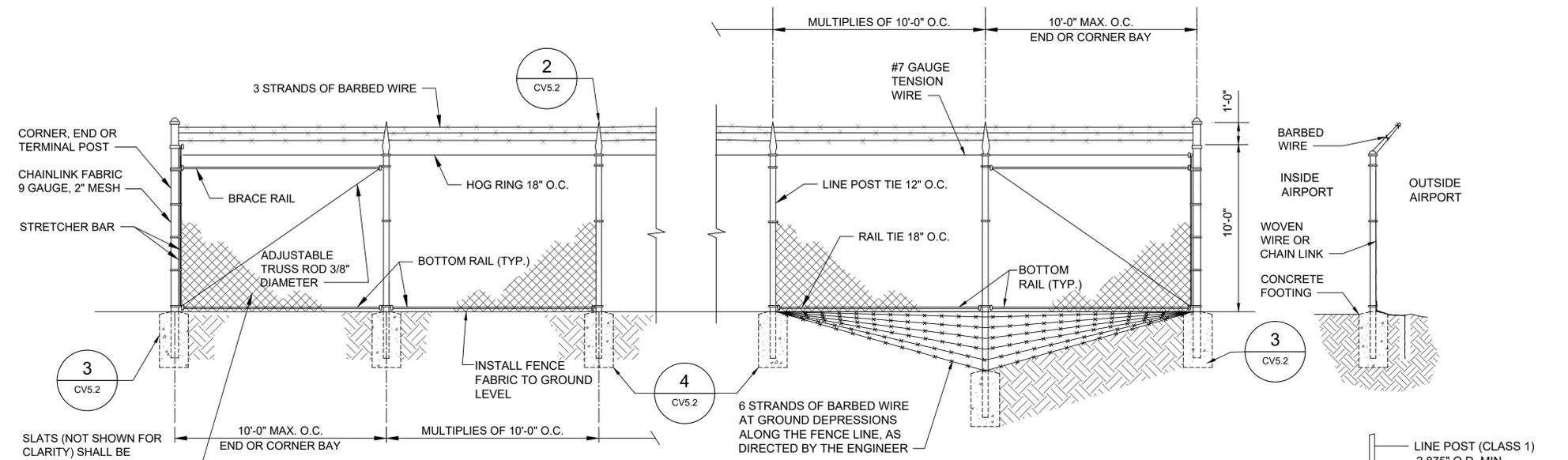
SUBMISSION: CONFORMED

SHEET No.: **CV5.1**  
25 OF 102

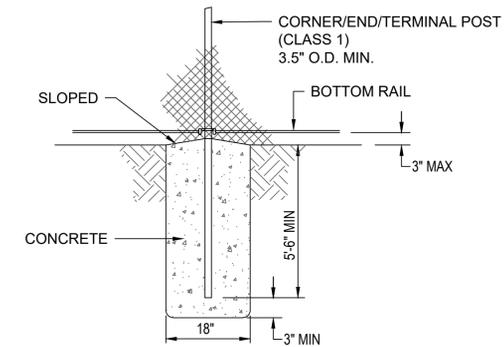
FILE NAME: G:\HGR\Projects\2024-HGR-1305 Terminal East Expansion\CAD\SHEETS\025\_CV5.1\_SITE DETAILS.dwg PLOTTED: Tuesday, March 17, 2026 - 12:07pm USER: amunderff

FENCE NOTES:

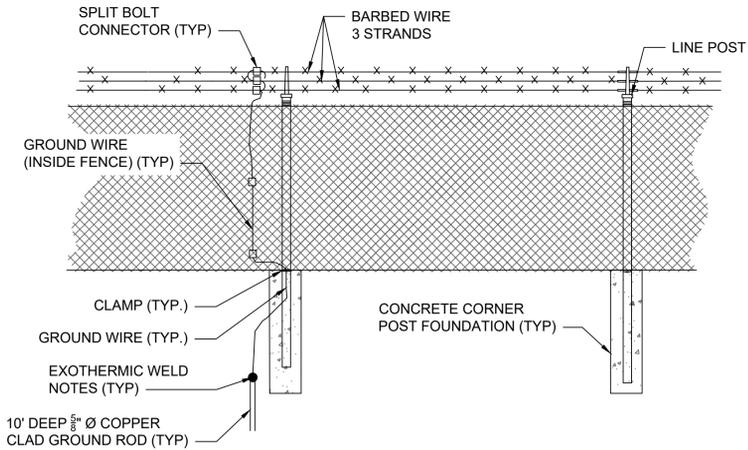
- AIRPORT AOA WARNING SIGNS SHALL BE INSTALLED AT ≈200 FOOT INTERVALS MINIMUM ALONG THE NEW FENCE LINE, SEE DETAIL ON SHEET CV5.2.
- ALL DIMENSIONS, SIZES, GAUGES, WEIGHTS, THICKNESS SHOWN ARE THE MINIMUM ACCEPTABLE, UNLESS OTHERWISE INDICATED.
- THE FEDERAL SPECIFICATIONS SHOWN SHALL BE INTERPRETED TO MEAN THE LATEST ISSUE OR AMENDMENT OF SUCH SPECIFICATIONS, IN EFFECT OF THE DATE OF BIDDING.
- FAA SPECIFICATIONS SHOWN ARE FROM THE FEDERAL AVIATION ADMINISTRATION(FAA) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF AIRPORTS.
- MATERIALS AND CONSTRUCTION METHODS NOT DETAILED HEREIN, SHALL BE IN ACCORDANCE WITH THE FAA SPECIFICATION LISTED, UNLESS OTHERWISE NOTED ON CONTRACT PLANS.
- FENCE ARE MEASURED IN PLACE, FROM OUTSIDE TO OUTSIDE OF END CORNER OR GATE POSTS. MEASUREMENT DOES NOT INCLUDE GATE OPENINGS.
- FABRIC ON BOUNDARY AND SECURITY FENCE SHALL BE ON THE SIDE OF POSTS AWAY FROM AIRPORT PROPERTY. CHAIN LINK FABRIC SHALL BE 9 GAUGE WIRE WITH A 2" MESH AND SHALL MEET THE REQUIREMENTS OF ASTM A392, CLASS 2. SELVEGE SHALL BE TWISTED AND BARBED. BOTTOM SELVEGE SHALL BE TWISTED AND KNUCKLED.
- BARB WIRE SHALL BE ZINC COATED, MEETING ASTM A121, CLASS 3, OR ALUMINUM COATED MEETING ASTM A585, CLASS 2, AS APPROPRIATE. WIRE SHALL BE TWO STRANDED TWISTED NO. 12-1/2 ASW GAUGE STEEL, WITH FOUR POINT BARBS, NO 14 ASW GAUGE MINIMUM, 1/2" MINIMUM LENGTH, SPACED ON APPROXIMATELY 5' CENTERS. 3 STRANDS OF BARB WIRE SHALL BE STRUNG ALONG THE TOP OF FENCE ON AN INCLINED BARB WIRE ARM. THE BARBED WIRE ARM SHALL HAVE A 45 INCLINATION AWAY FROM THE SECURE SIDE.
- END POSTS SHALL INCLUDE STRETCHER BARS, CLAMPS, BRACES AND TRUSS RODS.
- ALL DEPRESSIONS GREATER THAN 3" AND LESS THAN 1' SHALL BE FILLED WITH ROCKS OR COMPACTED EARTH TO PREVENT ANIMALS FROM GOING UNDER THE FENCE. FENCE TREATMENT AT GROUND DEPRESSIONS GREATER THAN OR EQUAL TO 1 FOOT SHALL BE CLOSED WITH ONE OR MORE ADDITIONAL LINE POST NEAR THE OPENING CENTER WITH ADDITIONAL FENCE FABRIC STRECHED BETWEEN POST. SEE DETAIL ON SHEET CF502. THIS WORK SHALL BE INCIDENTAL TO THE FENCE INSTALLATION COST.
- THE FENCE SHALL BE CONSTRUCTED VERTICAL, STRAIGHT, AND TRUE OF LINE, THE LONGITUDINAL GRADIENT SHALL PARALLEL THE GENERAL SLOPE OF THE GROUND.
- CONCRETE FOOTINGS SHALL MEET STRENGTH REQUIREMENTS OUTLINED IN SPECIFICATION F-162. FOOTING TOPS SHALL BE 1" MINIMUM ABOVE GROUND AT POST, AND TROWEL FINISHED TO SLOPE AWAY FROM POST. ALL END POSTS, CORNER POSTS, PULL POSTS, AND GATE POSTS SHALL HAVE A 18" X 5'-6" DEEP(MIN.) FOUNDATION. LINE POSTS SHALL HAVE A 12" X 3'-6" DEEP (MIN.) FOUNDATION.
- PLACE PULL POSTS AT ANGLE POINTS IN A VERTICAL ALIGNMENT, AT A MAX OF 500 FOOT INTERVALS BETWEEN END AND/OR CORNER POST IN LEVEL TERRAIN, OR AS DIRECTED BY THE RPR.
- THE MATERIALS SHALL MEET THE REQUIREMENTS, AND THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH F-162 OF THE DETAILED SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE AMOUNT OF POST, FENCE, ETC. BEFORE ANY MATERIAL IS ORDERED OR CONSTRUCTION WORK CAN BEGIN.
- PUT FASTENERS AT 12" CENTER TO CENTER STAGGERED ON EACH EDGE OF FABRIC ALONG THE JOINT.
- CONTRACTOR SHALL PROVIDE A PADLOCK TO TEMPORARILY LOCK VEHICLE OR MAN GATES UNTIL THE ACCESS CONTROLS CAN BE INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCK THE GATE AT THE END OF EACH SHIFT.
- PLACE TOP CAPS ON ALL NEW FENCE POSTS.
- MODIFICATIONS TO THESE PLANS MAY BE MADE AT THE TIME OF INSTALLATION. MINOR MODIFICATIONS MAY INCLUDE DEVIATIONS IN THE FENCE AND GATE LOCATIONS.
- THE CONTRACTOR SHALL PEEN ALL BOLTS TO ELIMINATE THE REMOVAL OF THE BOLT NUT.
- THE CONTRACTOR SHALL SEAL THE CONCRETE/ASPHALT JOINT FOR ALL NEW POST FOUNDATIONS LOCATED IN EXISTING PAVEMENT. THIS IS INCIDENTAL TO THE FENCE INSTALLATION COST.
- ALL PROPOSED FENCE AND GATES SHALL BE CHAIN LINK FENCE WITH BLACK VINYL COATING. ALL MATERIALS TO COMPLY WITH ASTM F668, CLASS B (VINYL COATING OVER GALVANIZED STEEL).



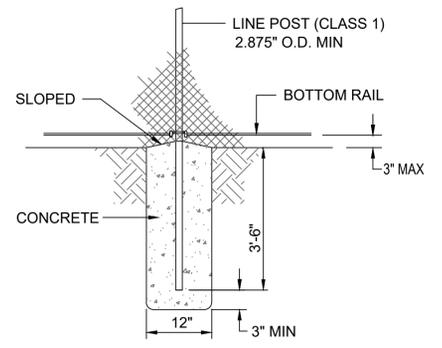
**1 PERMANENT AOA FENCE**  
CV5.2 SCALE: NTS



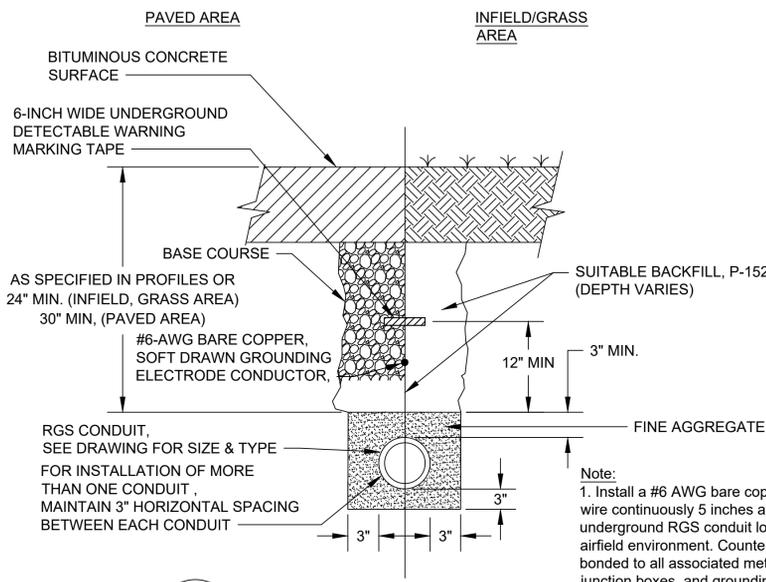
**3 TYPICAL CORNER END TERMINAL POST**  
CV5.2 SCALE: NTS



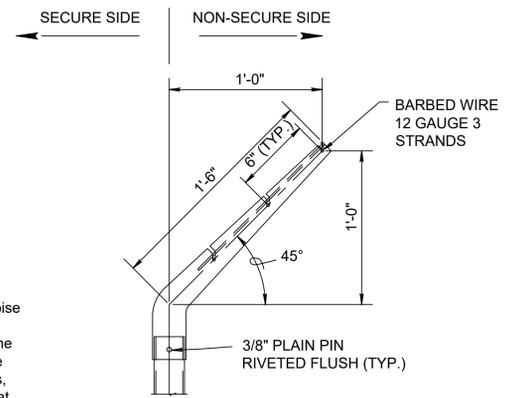
**5 FENCE GROUNDING**  
CV5.2 SCALE: NTS



**4 TYPICAL LINE POST**  
CV5.2 SCALE: NTS



**7 SECTION - CONDUIT - 1W**  
CV5.2 SCALE: NTS



**2 FENCE TOP DETAIL**  
CV5.2 SCALE: NTS

- GROUNDING NOTES:**
- GROUND ALL END POSTS, CORNER POSTS, PULL POSTS, AND GATE POSTS AS SHOWN IN THE GROUNDING ROD DETAIL. PLACE GROUND RODS AT LEAST EVERY 500 FEET ALONG THE FENCE LINE.
  - IMPEDANCE TO GROUND OF EACH GROUND ROD SHALL NOT EXCEED 25 OHMS PRIOR TO ESTABLISHING CONNECTION TO OTHER GROUND ROD ELECTRODES. THE FALL-OF-POTENTIAL GROUND IMPEDANCE TEST SHALL BE USED, S DESCRIBED IN THE ANSI/IEEE STANDARD 81 TO VERIFY THIS REQUIREMENT.
  - ALL UNDERGROUND FENCE GROUNDING CONNECTIONS SHALL BE EXOTHERMIC. ALL ABOVE GROUND CONNECTIONS SHALL BE MECHANICAL.
  - A GROUND ROD SHALL BE INSTALLED AT SPACING'S NO GREATER THAN 500 FEET, AND BONDED (MECHANICAL CLAMP) TO A FENCE POST WITH A #6 AWG SOLID COPPER CONDUCTOR.
  - INSTALL A BONDING STRAP FROM ANY GATE TO THE ADJACENT POST USING MECHANICAL CONNECTIONS. THE BONDING STRAP SHALL BE A 1 INCH BY 1/8 INCH FLEXIBLE TINNED COPPER BOND STRAP AND SHALL NOT RESTRICT THE FULL MOTION OF THE GATE.
  - CLAMP #6 AWG SOLID BARE COPPER CONDUCTOR FROM THE POSTS AT EACH SIDE OF THE GATE TO GROUND RODS INSTALLED AT EACH SIDE OF THE GATE. CONNECT THE CONDUCTOR TO THE GATEPOSTS AT A HEIGHT NO GREATER THAN ONE FOOT ABOVE GRADE.



**6 FENCE SIGNS**  
CV5.2 SCALE: NTS

FILE NAME: C:\HGR\Projects\2024\HR-1305 Terminal East Expansion\CAD\SHEETS\0025\_CV5.L SITE DETAILS.dwg PLOTTED: Thursday, March 19, 2026 - 3:43pm USER: sthikarathna

CONSULTANT:

AIRCRAFT DESIGN CONSULTANTS  
6011 UNIVERSITY BLVD, SUITE 490  
ELLICOTT CITY, MD 21043  
TEL: 410.465.9600  
FAX: 410.465.9602

SEAL:

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 32705  
EXPIRATION DATE: 2/21/2028

DESIGNED:	NO.	DATE	DESCRIPTION
B. J. D.	3	06/13/2025	ADDENDUM 3
J. A. A.	4	06/19/2025	ADDENDUM 4
V. J. D.	Δ	03/17/2026	FIELD REVISION NO. 1

APPROVED: R. N. M.

**HAGERSTOWN REGIONAL AIRPORT**  
Washington County, MD

PROJECT TITLE: **TERMINAL BUILDING EXPANSION**

SHEET TITLE: **SITE DETAILS 2**

SCALE: **AS SHOWN**

DATE: **MAY 2025**

FAA ATP No.: 3-24-0019-XX-2025  
Bid No.: PUR-1751  
MAA Grant No.: MAA-GR-XX-XXX

SUBMISSION: **CONFORMED**

SHEET No.: **CV5.2**

**26 OF 102**



**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

**SITE NAME.....:** Take 5 Oil Change at 10414 Sharpsburg Pike  
**NUMBER.....:** SP-25-025

**OWNER.....:** BEAVER CREEK SELF STORAGE LLC  
**LOCATION.....:** 10418 SHARPSBURG Pike  
Hagerstown, MD 21740

**DESCRIPTION.....:** Redevelopment of site that contains existing Car Wash to be replaced with a new Take 5 Oil Change use at 10414 Sharpsburg Pike. Existing carwash facility to be demolished and replaced by Take 5 Oil Change facility with 3 service bays. No net increase in impervious area, ex. stormwater facilities to remain in-tact. Existing automobile access from adjacent roadway to remain as is.

**ZONING.....:** Highway Interchange  
**COMP PLAN LU.....:** Commercial  
**PARCEL.....:** 10015103  
**PLANNING SECTOR.....:** 1  
**ELECTION DISTRICT.....:** 10

**TYPE.....:** Commercial  
**GROSS ACRES.....:** 0.585  
**DWELLING UNITS.....:**  
**TOTAL LOTS.....:** 1  
**DENSITY.....:** 0 Units Per Acre

**PLANNER.....:** Misty Wagner-Grillo  
**ENGINEER.....:** KEVIN SZYMANIK  
**RECEIVED.....:** August 6, 2025

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

**FLOOD ZONE.....:** No  
**WETLANDS.....:** None  
**WATERSHED.....:** Antietam Creek  
**ENDANGERED SPECIES.....:** None  
**STEEP SLOPES.....:** No  
**STREAM BUFFER.....:** No  
**HISTORIC INVENTORY.....:** No Resources Present  
**EASEMENTS PRESENT.....:** None

Staff Comments:

*Not Applicable*



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE DESIGN		
<b>Impervious Area Plan</b> 69.47	<b>Impervious Maximum Allowed</b> 85	<b>Open Space Area Planned</b>
<b>Open Space Minimum Required</b>	<b>Residential Amenity Plans</b>	<b>Solid Waste Disposal Plans</b> Dumpster
<b>Materials Stored on Site</b>	<b>Buffer Design Meets Requirements</b>	<b>Landscaping Meets Requirements</b> Yes
<b>Lighting Plan Meets Requirements</b> Yes	<b>Pedestrian Access is Adequate</b>	<b>Bus Stop is Within Walking Distance</b>
<b>Loading Area Meets Requirements</b>		<b>Not Fast Track</b>
<b>Parking Spaces - Total Planned</b> 12	<b>Parking Spaces - Per Dwelling Unit</b>	
<b>Parking Spaces - Minimum Required</b> 12	<b>Recreational Parking Provided</b> No	

ACCESS SPACING VARIANCE NEEDED: No  
 NUMBER OF ACCESS POINTS: 2

	SCHOOL INFORMATION		
	ELEMENTARY	MIDDLE	HIGH
<b>SCHOOL DISTRICT</b>	Rockland Woods	E Russell Hicks	South Hagerstown
<b>PUPIL YIELD</b>			
<b>CURRENT ENROLLMENT</b>			
<b>MAXIMUM CAPACITY</b>			

PUBLIC FACILITIES INFORMATION	
<b>FIRE DISTRICT.....:</b>	Funkstown
<b>AMBULANCE DISTRICT.....:</b>	HAGERSTOWN

	WATER & SEWER INFORMATION	
	WATER	SEWER
<b>METHOD.....:</b>	City	County
<b>SERVICE AREA.....:</b>	City	County
<b>PRIORITY.....:</b>	1-Existing Service	1-Existing Service
<b>NEW HYDRANTS.....:</b>		
<b>GALLONS PER DAY SEWAGE...:</b>		
<b>PLANT INFO.....:</b>		Conococheague

**SITE DATA**

- SITE LOCATION: 10418 SHARPSBURG PIKE HAGERSTOWN, MD 21740
- PREMISE ADDRESS: 10418 SHARPSBURG PIKE HAGERSTOWN, MD 21740
- TAX MAP AND PARCEL: MAP 57, PARCEL 110
- DEED REFERENCE: 6145/105
- TOTAL PARCEL AREA: 0.585 ACRE
- PLAT REFERENCE: L. KRT 6145 F 105
- ZONING: "HI" HIGHWAY INTERCHANGE
- ELECTION DISTRICT: 10-2 FUNKSTOWN
- EXISTING USE: 3,154 SF CAR WASH (TO BE DEMOLISHED)
- PROPOSED USE: 1,978 SF OIL CHANGE USE
- BUILDING SETBACKS AND HEIGHT ALLOWANCE (MOTOR VEHICLE USE):
  - FRONT: 40' MINIMUM
  - SIDE: 10' MINIMUM
  - REAR: 10' MINIMUM
  - MAXIMUM STRUCTURE HEIGHT: NO STRUCTURE SHALL EXCEED 75'
- PARKING REQUIRED: 5 EMPLOYEE + 6 SERVICE (2/BAY) + 1 ACCESSIBLE SPACE = 11 REGULAR SPACES + 1 ACCESSIBLE SPACE REQUIRED  
PARKING PROVIDED: 11 REGULAR SPACES + 1 ACCESSIBLE SPACE = 12 SPACES TOTAL
- BASE INFORMATION SHOWN IN THE AREA OF WORK ON THIS PLAN IS FROM A SURVEY PERFORMED BY EN ENGINEERING, LLC IN JUNE 2025. BASE INFORMATION IN ALL OTHER AREAS IS FROM WASHINGTON COUNTY GIS.
- MAXIMUM IMPERVIOUS SURFACE ALLOWED: 85% OF GROSS SITE AREA = 0.497 AC  
EXISTING IMPERVIOUS SURFACE: 0.408 AC (69.7%)  
IMPERVIOUS SURFACE PROPOSED: 0.406 AC (69.4%).
- THIS SITE IS NOT LOCATED WITHIN ANY WATER RESOURCE PROTECTION DISTRICTS.
- ALL OPEN SPACE, INTERIOR ROADS, AND PARKING AREAS TO BE MAINTAINED PRIVATELY BY THE OWNER.
- THERE IS NO 100 YEAR FLOODPLAIN ON THIS SITE, PER FEMA PANEL 24043C0305D, DATED 8-15-2017.
- THIS SITE IS LOCATED IN THE MDE 8 DIGIT WATERSHED ANTIETAM CREEK (02140502)
- THIS SITE IS NOT LOCATED WITHIN THE CRITICAL AREAS DISTRICT.
- THERE ARE NO KNOWN HISTORIC STRUCTURES ON THIS SITE.
- THERE ARE NO KNOWN RARE, THREATENED OR ENDANGERED SPECIES ON THIS SITE.
- THIS PROPERTY IS EXEMPT FROM THE FOREST CONSERVATION REGULATIONS.
- NO NEW STORM WATER MANAGEMENT FACILITIES ARE REQUIRED FOR REDEVELOPMENT OF THIS SITE.
- TRAFFIC IMPACT STUDY EXEMPTION STATEMENT SUBMITTED VIA ACCELA PORTAL AS PART OF THIS LAND DEVELOPMENT APPLICATION
- EXISTING COUNTY SEWER AND CITY WATER SERVICES ALREADY EXIST AT THE SITE AND CONTRACT #S ARE NOT ASSIGNED. PROJECT/CONTRACT #S MAY BE ASSIGNED AT THE TIME OF PLAN SUBMISSION.
- EXISTING WASHINGTON COUNTY SEWER ALLOCATION = 2,800 GPD  
PROPOSED WASHINGTON COUNTY SEWER ALLOCATION = 830 GPD
- EXISTING CITY OF HAGERSTOWN WATER ALLOCATION = 2,002 GPD  
PROPOSED CITY OF HAGERSTOWN WATER ALLOCATION = 2,002 GPD
- PROPOSED FREESTANDING ILLUMINATED PYLON SIGN MOUNTED ON NEW CONCRETE BASE. SIGN DIMENSIONS = 20'H X 7'(MAX) X 16"D
- NEW WATER SERVICE PIPING SHALL CONFORM TO WASHINGTON COUNTY STANDARD SPECIFICATION FOR CONSTRUCTION OF SANITARY SEWER & WATER FACILITIES CHAPTER 2, SECTION 208, VII, B WATER LINE PIPE AND FITTINGS
- LIGHTING PROVIDED: 3 POLE LIGHTS AND 6 WALL LIGHTS (SEE SHEET 12 PHOTOMETRIC PLAN)
- HOURS OF OPERATION: MON-SUN, 7AM-7PM NUMBER OF EMPLOYEES: 5
- SOLID WASTE TO BE COLLECTED WEEKLY
- DELIVERIES TO BE RECEIVED DURING HOURS OF OPERATION

**GENERAL NOTES:**

- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- THERE IS A 10' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL FRONT LOT LINES AND AN 8' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL SIDE AND REAR LOT LINES HEREBY RESERVED UNLESS OTHERWISE SHOWN HEREON.
- A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY PERMIT OR ENTRANCE PERMIT.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 49 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MORIO) HAS BEEN ISSUED BY MDE.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- IN CONFORMANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AN AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

**WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY**  
THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR TWO YEARS.

SIGNATURE DATE

**A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE AND SEWER LINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577, EXT 653 FOR THE PERMIT APPLICATION**

**CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER & WASTEWATER DIVISIONS**

This approval is for the design and layout of the proposed water and wastewater system improvements. All water and wastewater system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water or wastewater service. Water and wastewater service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE DATE

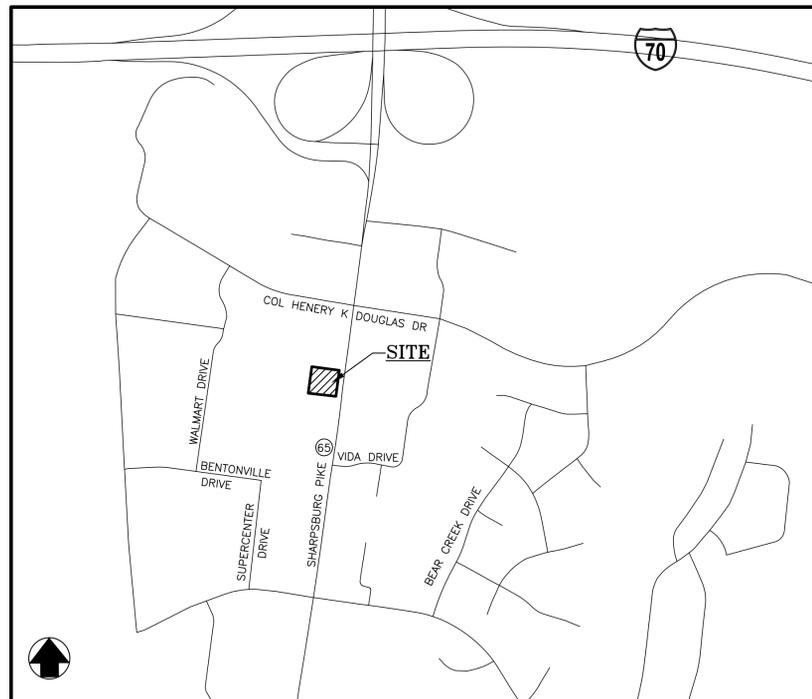
# FINAL SITE PLAN SET

## FOR

# TAKE 5 HAGERSTOWN

## HAGERSTOWN

### WASHINGTON COUNTY, MARYLAND



**VICINITY MAP**

1" = 500'

**INDEX OF SHEETS**

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS PLAN
- SHEET 3 DEMOLITION PLAN
- SHEET 4 FINAL SITE PLAN
- SHEET 5 LAYOUT & UTILITY PLAN
- SHEET 6 CONSTRUCTION DETAILS
- SHEET 7 GRADING/SEDIMENT & EROSION CONTROL PLAN
- SHEET 8 SEDIMENT & EROSION CONTROL DETAILS
- SHEET 9 STORMWATER MANAGEMENT/DRAINAGE AREA MAPS
- SHEET 10 LANDSCAPE PLAN
- SHEET 11 LANDSCAPE DETAILS
- SHEET 12 LIGHTING/PHOTOMETRIC PLAN

**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- s - s - EX. SEWER
- v - v - EX. WATER
- - - EX. CURB
- t - t - EX. TELECOM
- sd - sd - EX. STORM DRAIN
- - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- LDD - LIMIT OF DISTURBANCE
- s - s - EX. SEWER TO BE REMOVED
- v - v - EX. WATER TO BE REMOVED
- - - EX. SIDEWALK TO BE REMOVED (SEE KEY NOTES #2)
- // - // - SAWCUT FULL DEPTH PAVEMENT
- [Pattern] PROPOSED CONCRETE

**OWNER/DEVELOPER CERTIFICATION**

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

2/26/2026 DATE BRECK DEHART PRINTED NAME *B.E. DHS* SIGNATURE

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Kevin L. Szymanski* SIGNATURE 3/18/2026 DATE  
KEVIN L. SZYMANIK P.E. #53562

PLANNING FILE REFERENCE NO. SP-25-025

**ENEngineering** 1630 Robin Circle Forest Hill, Maryland 21060 Phone (443) 652-8112 www.enengineering.com



**COVER SHEET**  
FOR TAKE 5 OIL CHANGE AT  
10418 SHARPSBURG PIKE  
TAX MAP 57 PARCEL 110  
COMMERCIAL ZONING  
HAGERSTOWN, MARYLAND 21740  
10TH ELECTION DISTRICT WASHINGTON COUNTY, MARYLAND

Date	Revisions	Date:	Scale:
		3/18/2026	AS SHOWN
		Drawn By: ACG	Job No: 2513937.00
		Design By: ACG	Sheet: 1 of 12
		Review By: KLS	

**DISTURBED AREA QUANTITIES**

The total area to be disturbed shown on these plans has been determined to be approximately 0.295 acres or 12,863 square feet and the total amount of excavation and fill as shown on these plans has been computed to be approximately 200 cubic yards of excavation and 200 cubic yards of fill.

**ENGINEER'S CERTIFICATION**

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 53562, Expiration Date: 12/9/2026.

3/18/2026 DATE KEVIN SZYMANIK PRINTED NAME *Kevin Szymanski* SIGNATURE

**OWNER/DEVELOPER CERTIFICATION - WASHINGTON COUNTY**

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WITHIN THE COUNTY RIGHT OF WAY WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORM WATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

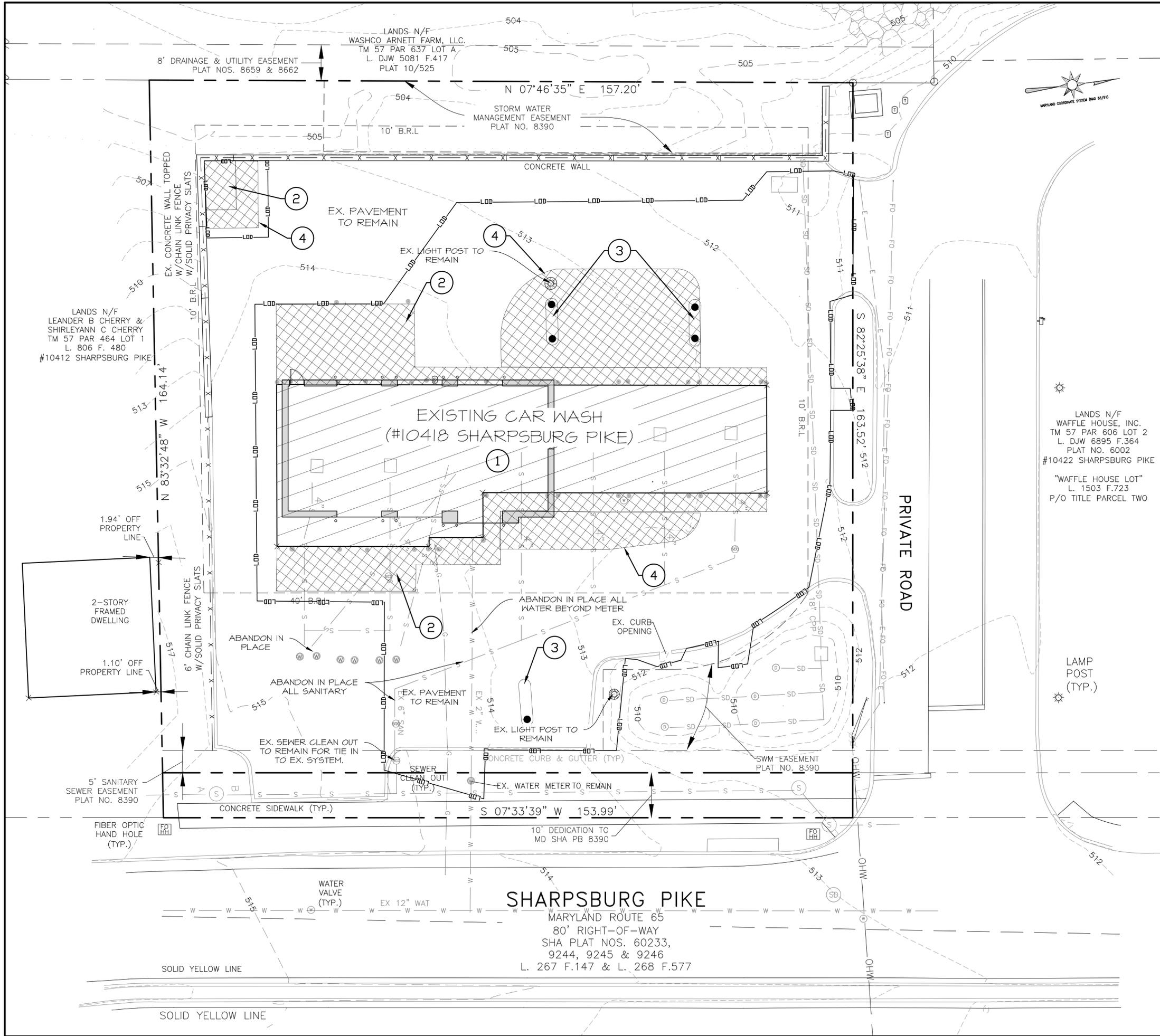
2/25/2026 DATE BRECK DEHART PRINTED NAME *B.E. DHS* SIGNATURE

**WASHINGTON COUNTY DIVISION OF ENGINEERING**

APPROVED BY: DATE:

**ESD PRACTICE SUMMARY TABLE**

Construction Type (New, Redevelopment, Restoration): Redevelopment						
NON-ESD Practices (Chapter 3 - Structural Practices)						
Type	No.	BMP Inventory#	DA to Structure (AC)	Impervious DA to Structure (AC)	WQv (CF)	Target WQv (CF)
BIORETENTION	1	WA06BMP000644	0.25	0.18	706	601
BIORETENTION	2	WA06BMP000644	0.27	0.21	1095	630
						FE Addressed (IN)
						1.12"
						1.50"

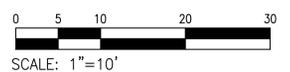


**KEY NOTES**

- 1 REMOVE EXISTING CAR WASH
- 2 REMOVE EXISTING CONCRETE, ASPHALT, AND BOLLARDS
- 3 REMOVE VACUUM, ISLAND AND CURBING
- 4 SAWCUT FULL DEPTH PAVEMENT

**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- - - EX. SEWER
- - - EX. WATER
- - - EX. CURB
- - - EX. TELECOM
- - - EX. STORM DRAIN
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- LOD --- LIMIT OF DISTURBANCE
- [Hatched Box] EXISTING CAR WASH TO BE REMOVED
- [Cross-hatched Box] REMOVE FULL DEPTH PAVEMENT



PLANNING FILE REFERENCE NO. SP-25-025

**ENEngineering** 1630 Robin Circle  
Forest Hill, Maryland 21050  
Phone (443) 652-6112  
www.enengineering.com

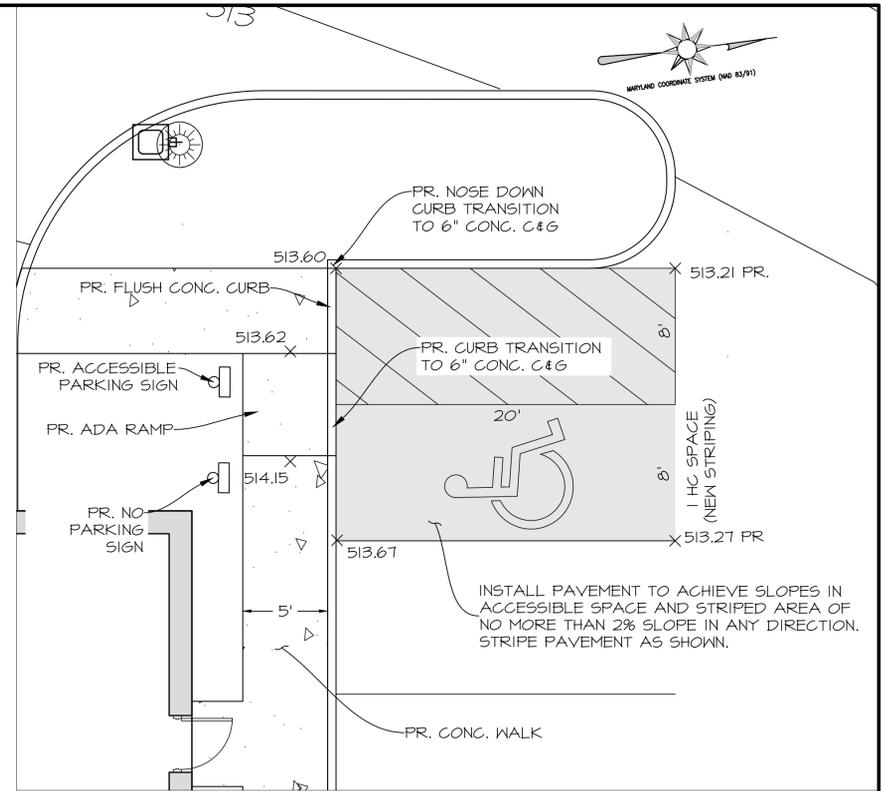
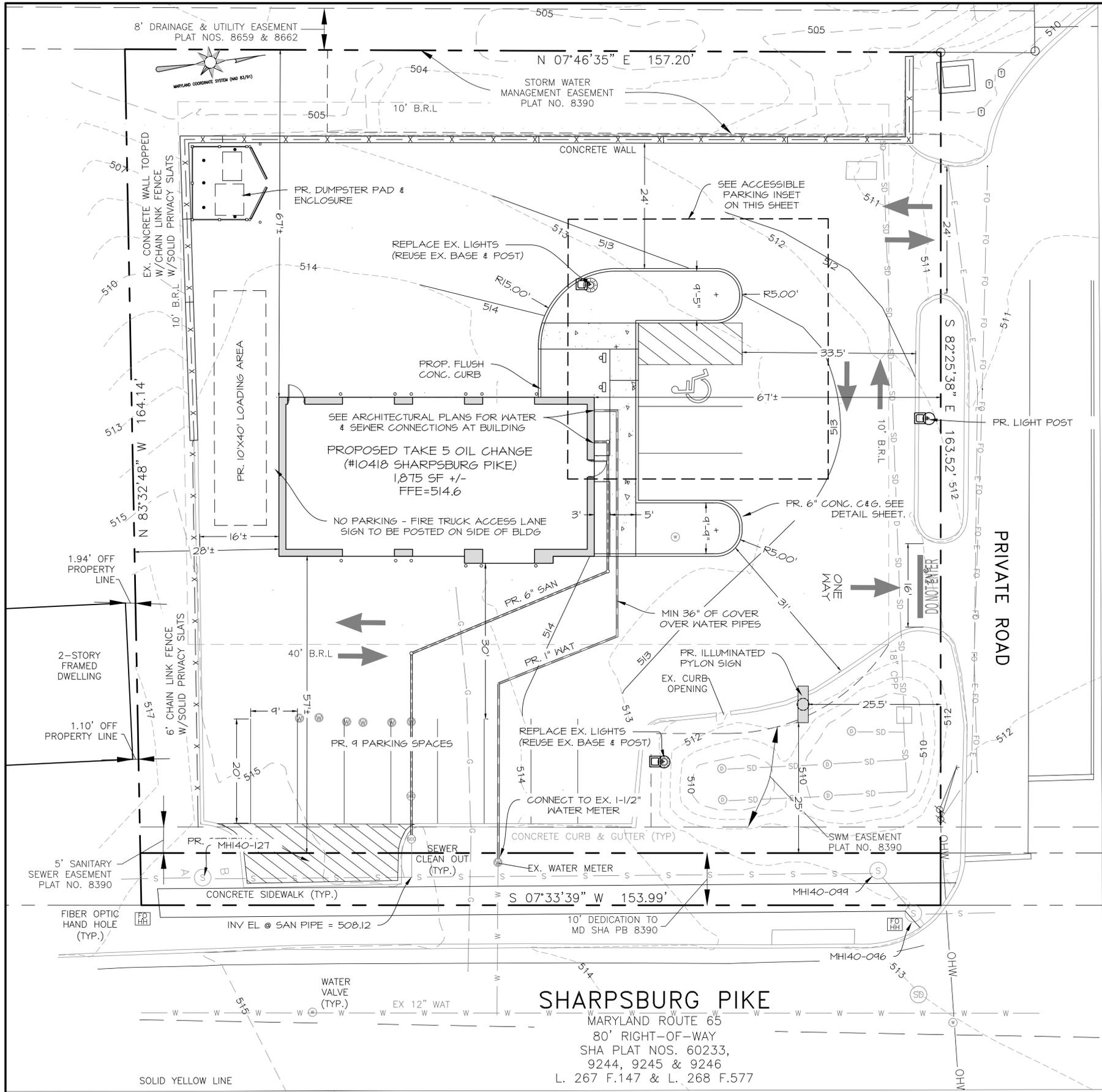
10TH ELECTION DISTRICT

**DEMOLITION PLAN**  
FOR TAKE 5 OIL CHANGE  
AT  
10418 SHARPSBURG PIKE  
TAX MAP 57 PARCEL 110  
COMMERCIAL ZONING  
HAGERSTOWN, MARYLAND 21740

Date	Revisions	Date:	Scale:
		3/18/2026	1"=10'
		Drawn By: ACG	Job No: 2513937.00
		Design By: ACG	Sheet: 3 of 12
		Review By: KLS	

**OWNER:**  
BEAVER CREEK SELF STORAGE, LLC  
1044 VIRGINIA AVENUE  
HAGERSTOWN, MD 21740  
jeffsmachs@gmail.com

**DEVELOPER/CONTRACT PURCHASER:**  
TWO AUTO RE HAGERSTOWN, LLC  
3060 PEACHTREE ROAD NW, SUITE 560  
ATLANTA, GA 30305  
(404)791.7603



ACCESSIBLE PARKING INSET  
1" = 5'

- LEGEND**
- SITE BOUNDARY
  - - - EX. EASEMENT
  - - - EX. SEWER
  - - - EX. WATER
  - - - EX. CURB
  - - - EX. TELECOM
  - - - EX. STORM DRAIN
  - - - EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - - - LDD
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT PAVING
  - PROP. SEWER
  - PROP. WATER

NOTE: ALL PROPOSED WALL MOUNTED AND FREESTANDING SIGNS SHALL MEET CURRENT WASHINGTON COUNTY SIGN CODE REQUIREMENTS

PLANNING FILE REFERENCE NO. SP-25-025

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Phone (443) 652-6112  
www.enengineering.com

PROFESSIONAL ENGINEER

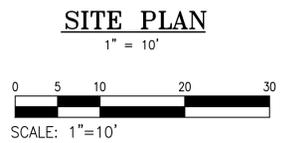
FINAL SITE PLAN  
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AT  
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HAGERSTOWN, MARYLAND 21740

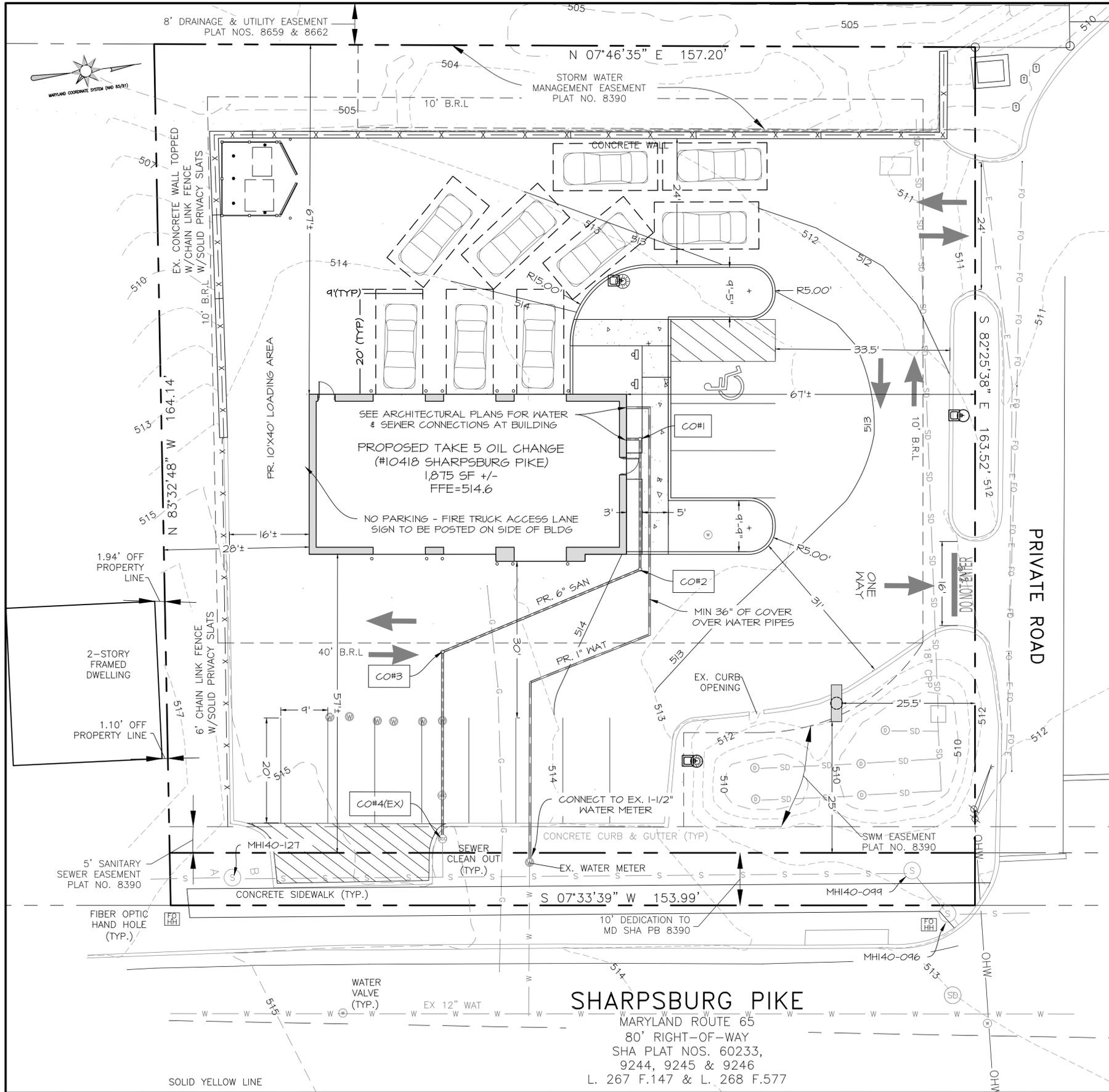
10TH ELECTION DISTRICT WASHINGTON COUNTY, MARYLAND

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**CLEAN OUT INFORMATION**

	TOP ELEVATION	INVERT
CO 1	514.50	510.43
CO 2	514.42	509.86
CO 3	514.36	508.97
CO 4(EX)	515.13	508.27 (EST)

NOTE: INSTALL PROPOSED 6" SANITARY TO CO-4 AT PROPOSED SLOPE OF 2%. CONTRACTOR SHALL VERIFY THAT INVERT PROPOSED AT CLEANOUT 4 WILL ALLOW SEWAGE TO CONTINUE TO FLOW SOUTH INTO THE EXISTING SEWER SYSTEM. IF PROPOSED INVERT AT CLEANOUT 4 NEEDS TO BE ADJUSTED TO MEET EXISTING INVERT, CONTRACTOR SHALL ADJUST SLOPE OF NEW SEWER LINE ACCORDINGLY MAINTAINING MINIMUM HEALTH DEPT. SLOPE REQUIREMENTS.

CURRENT WASHINGTON COUNTY SEWER ALLOCATION = 2,800 GPD  
PROPOSED WASHINGTON COUNTY SEWER ALLOCATION = 830 GPD

CURRENT CITY OF HAGERSTOWN WATER ALLOCATION = 2,002 GPD  
PROPOSED CITY OF HAGERSTOWN WATER ALLOCATION = 2,002 GPD

**UTILITY NOTES**

1. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN CONFORMANCE WITH CITY OF HAGERSTOWN UTILITIES DEPARTMENT AND STATE OF MARYLAND DEPARTMENT OF THE ENVIRONMENT STANDARDS AND SPECIFICATIONS.
2. ALL FITTINGS, BENDS, AND APPURTENANCES SHALL BE INSTALLED WITH PROPER AND REQUIRED CONCRETE BUTTRESSES. ALL DEAD END SERVICES SHALL BE PROPERLY CAPPED AND BUTTRESSED.
3. ALL PIPE JOINTS SHALL BE LEFT OPEN UNTIL WATER LINE HAS BEEN HYDROSTATICALLY TESTED.
4. ALL UNDERGROUND WATER LINES ARE TO BE INSTALLED WITH A COVER OF 3.5' BELOW FINISHED GRADE.
5. ALL SEWER LINES TO BE PVC-SDR-35 (PUBLIC), OR SCH. 40 (PRIVATE).
6. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES BEFORE STARTING CONSTRUCTION.
7. THE CONTRACTOR SHALL SUPPLY ALL BENDS, FITTINGS, AND BUTTRESSES AS REQUIRED TO ACHIEVE THE HORIZONTAL AND VERTICAL ALIGNMENTS AS SHOWN ON THE PLANS. BENDS AND FITTINGS MAY NOT BE SHOWN ON THE PLAN AND PROFILE BUT ARE TO BE INCLUDED IN THE CONTRACTOR'S COST AND THEIR EXACT LOCATION IS AT THE OPTION OF THE CONTRACTOR TO ACHIEVE THE HORIZONTAL LAYOUT SHOWN HEREON.
8. CONTRACTOR TO VERIFY WITH UTILITY COMPANIES THAT PROPOSED SEDIMENT EROSION CONTROL MEASURES ARE LOCATED SO AS TO AVOID CONFLICTS WITH THEIR PROPOSED UTILITY INSTALLATION BEFORE PLACEMENT OF SEDIMENT EROSION CONTROL MEASURES.
9. ALL MANHOLES NOT LOCATED WITHIN A PAVED SURFACE MUST BE SET 6" ABOVE THE SURROUNDING GRADE.
10. SERVICE LINES SHALL BE STUBBED, CAPPED, AND MARKED AT RIGHT OF WAY LINE.
11. THE CONTRACTOR SHALL INSTALL A MINIMUM OF ONE IN-LINE FLUSHING CONNECTION FOR EACH RESIDENTIAL SYSTEM.

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE AND SEWER LINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577, EXT 653 FOR THE PERMIT APPLICATION

CITY OF HAGERSTOWN UTILITIES DEPARTMENT  
WATER & WASTEWATER DIVISIONS

This approval is for the design and layout of the proposed water and wastewater system improvements. All water and wastewater system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water or wastewater service. Water and wastewater service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water and/or wastewater service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NOTE: NEW WATER SERVICE PIPING SHALL CONFORM TO WASHINGTON COUNTY STANDARD SPECIFICATION FOR CONSTRUCTION OF SANITARY SEWAGE & WATER FACILITIES CHAPTER 2, SECTION 208, VII, B WATER LINE PIPE AND FITTINGS

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR TWO YEARS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- - - EX. SEWER
- - - EX. WATER
- - - EX. CURB
- - - EX. TELECOM
- - - EX. STORM DRAIN
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PROP. SEWER
- PROP. WATER
- [Pattern] PROPOSED CONCRETE

PLANNING FILE REFERENCE NO. SP-25-025

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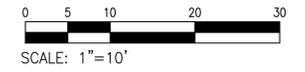
LAYOUT & UTILITY PLAN  
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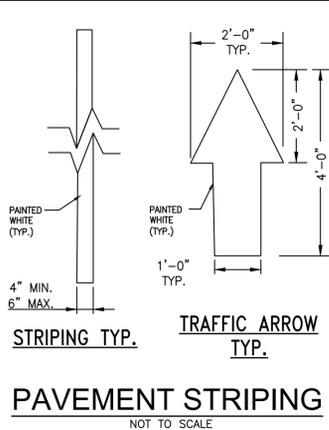
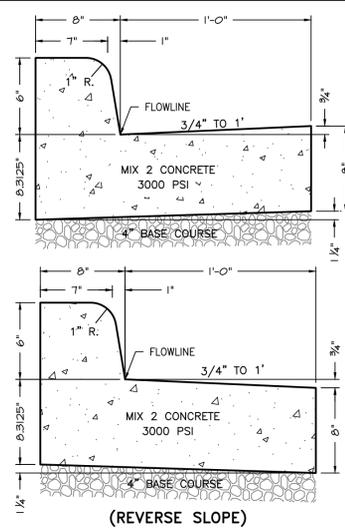
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		ACG	5 of 12
		Review By:	
		KLS	

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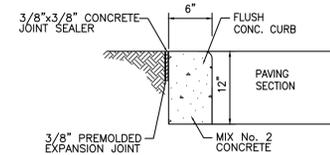
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ATLANTA, GA 30305  
(404)791.7603

**LAYOUT & UTILITY PLAN**

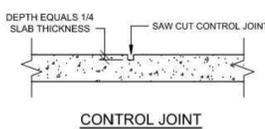
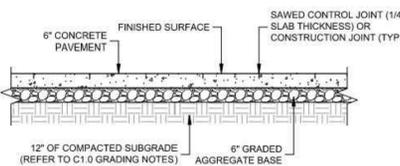
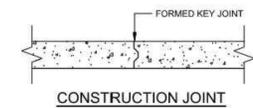
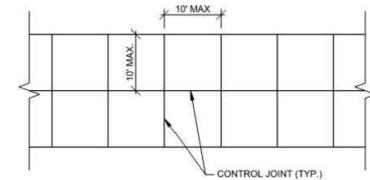




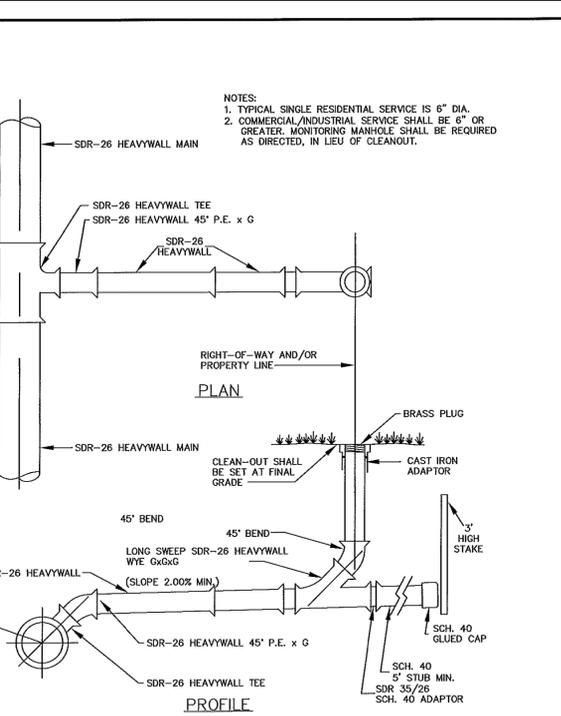
- NOTES**
1. SLOPE GUTTER PAN 3/4" PER FOOT TOWARD FLOWLINE. PROVIDE KEY AND LONGITUDINAL TIE BAR.
  2. REVERSE CURB USED ONLY WHEN WATER FLOWS AWAY FROM CURB.



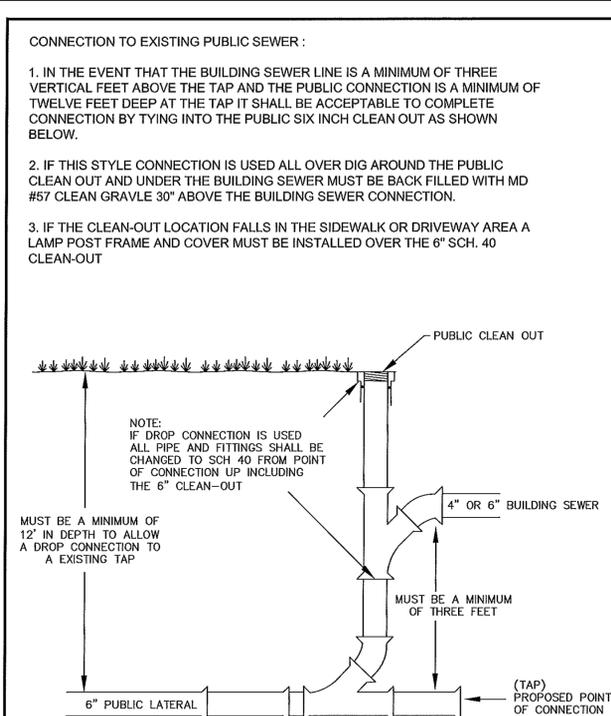
**FLUSH CONC. CURB (NO GUTTER PAN)**  
NOT TO SCALE



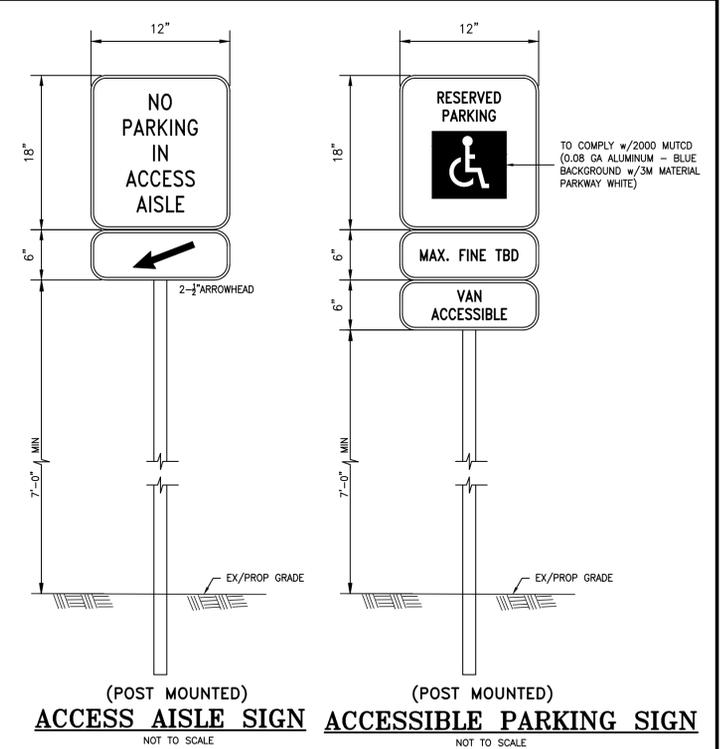
**CONCRETE PAVEMENT DETAIL**  
NTS



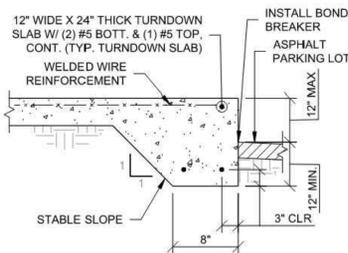
Washington County, MD Div. of Environmental Management  
*David Lopez*  
Director of Environmental Management  
**Conventional Gravity Sewer Service Lateral SDR-26 Heavywall Sewer Main**  
Detail **S-3.1**



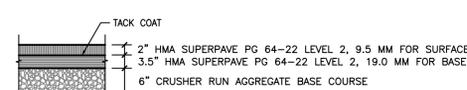
Washington County, MD Div. of Environmental Management  
*David Lopez*  
Director of Environmental Management  
**ALTERNATIVE GRAVITY SEWER DEEP SERVICE LATERAL**  
Detail **S-3.2**



(POST MOUNTED) **ACCESS AISLE SIGN** (POST MOUNTED) **ACCESSIBLE PARKING SIGN**  
NOT TO SCALE



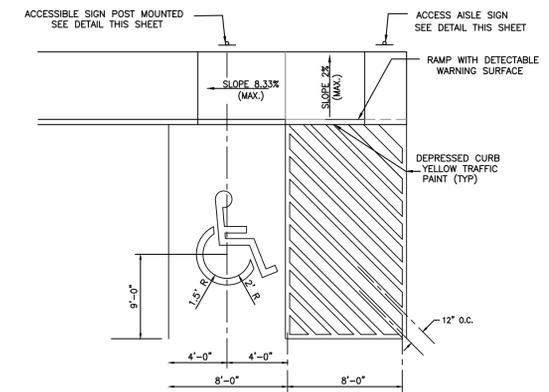
**CONCRETE TURNDOWN SLAB DETAIL**  
NTS



**MEDIUM DUTY PAVEMENT**

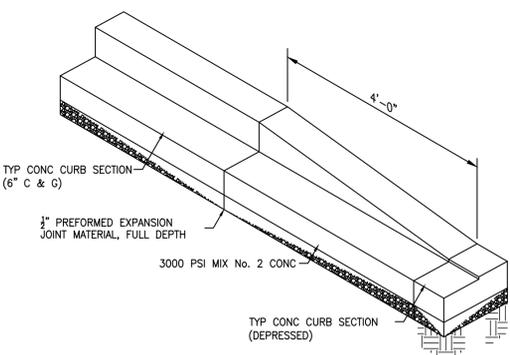
- GENERAL NOTES:**
1. UPPER 12" OF PAVEMENT SUBGRADE SHOULD BE IMPORTED AND CONSTRUCTED OF MATERIALS MEETING THE FOLLOWING CHARACTERISTICS:
 

A. LIQUID LIMIT (AASHTO Y-89)	40 OR LESS
B. PLASTICITY INDEX (AASHTO T-89, T-90)	10 OR LESS
C. MAXIMUM DRY DENSITY	105 pcf OR GREATER
D. CALIFORNIA BEARING RATIO	3.2 OR GREATER
  2. PAVEMENT SUBGRADE AND AGGREGATE BASE COURSE MATERIALS SHOULD BE UNIFORMLY COMPACTED TO 95% OF THEIR MODIFIED PROCTOR MAXIMUM DRY DENSITY.
  3. PAVEMENT SECTION BASED ON A SOAKED CALIFORNIA BEARING RATIO (CBR) VALUE OF 3.2. A DESIGN 18 - KIP EQUIVALENT SINGLE AXLE LOAD (ESAL) OF APPROX. 178,000 REPETITIONS AND DESIGN LIFE OF 20 YEARS.
  4. A PAVEMENT ANALYSIS, INCLUDING PLASTICITY AND CBR TESTING, SHOULD BE PERFORMED PRIOR TO THE PAVEMENT SECTION CONSTRUCTION TO VERIFY THAT THE MATERIALS MEET THE REQUIREMENTS MENTION ABOVE.

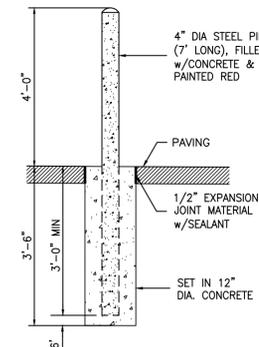


**ACCESSIBLE PARKING DETAIL**  
NOT TO SCALE

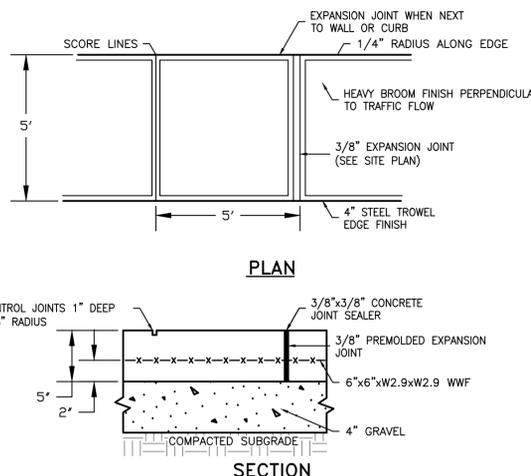
**NOTE**  
SLOPE OF ACCESSIBLE RAMP AND GUTTER PAN SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.



(w/6" CURB & GUTTER) **CURB TRANSITION**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE



**CONCRETE WALK**  
NOT TO SCALE

**PAVING SECTIONS**  
NOT TO SCALE

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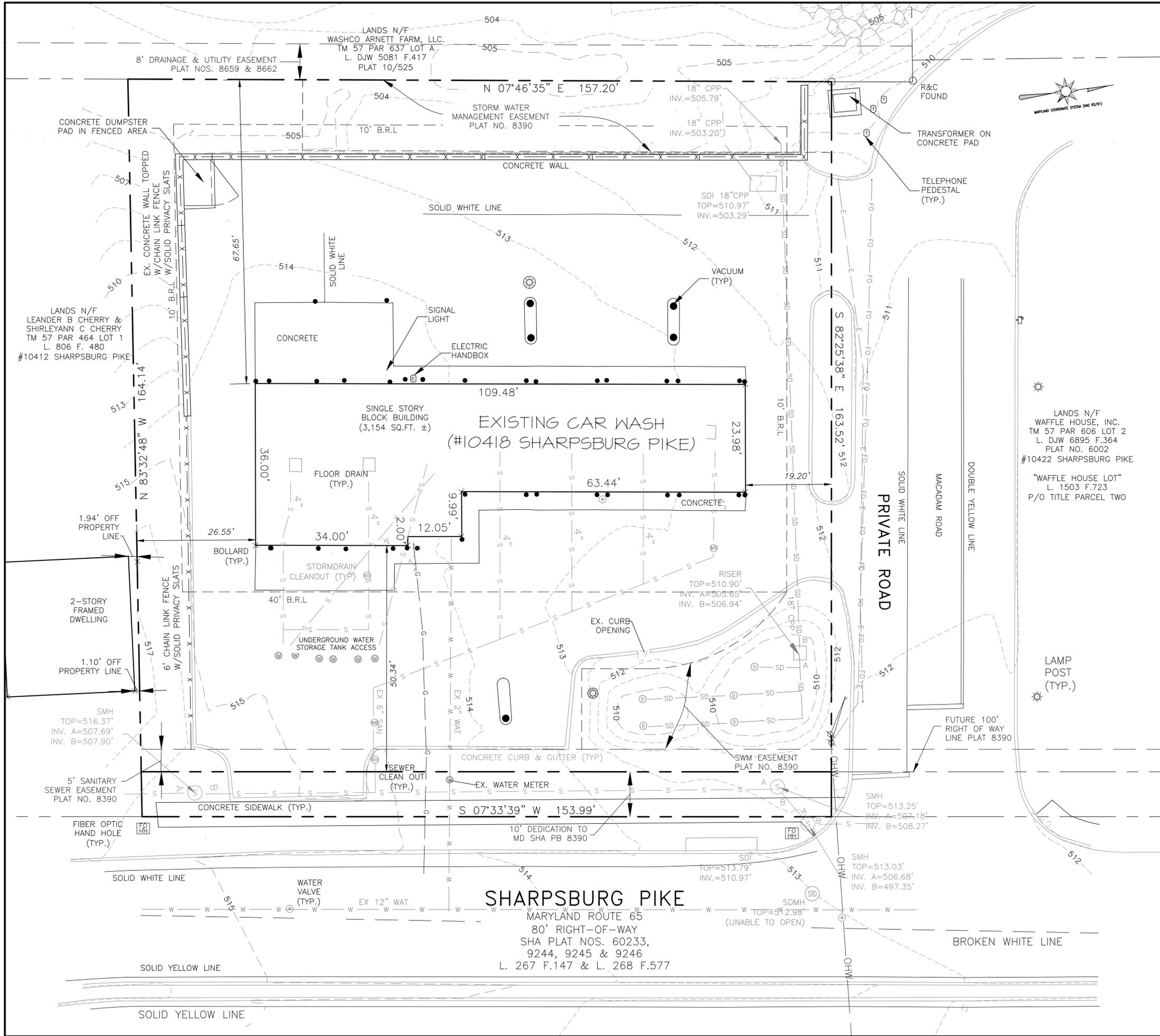
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1630 Robin Circle  
Forest Hill, Maryland 21050  
Phone (443) 652-6112  
www.enengineering.com

CONSTRUCTION DETAILS  
FOR TAKE 5 OIL CHANGE  
AT  
10418 SHARPSBURG PIKE  
TAX MAP 57 PARCEL 110  
COMMERCIAL ZONING  
HAGERSTOWN, MARYLAND 21740  
10TH ELECTION DISTRICT WASHINGTON COUNTY, MARYLAND

Date	Revisions	Date:	Scale:
		3/18/2026	AS SHOWN
		Drawn By: ACG	Job No: 2513937.00
		Design By: ACG	Sheet: 6 of 12
		Review By: KLS	

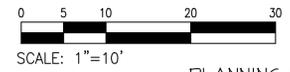
OWNER:  
BEAVER CREEK SELF STORAGE, LLC  
1044 VIRGINIA AVENUE  
HAGERSTOWN, MD 21740  
jeffsmachs@gmail.com

DEVELOPER/CONTRACT PURCHASER:  
TWO AUTO RE HAGERSTOWN, LLC  
3060 PEACHTREE ROAD NW, SUITE 560  
ATLANTA, GA 30305  
(404)791.7603



**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- OHW— OVERHEAD WIRES
- SD— UNDERGROUND STORM DRAIN
- S— UNDERGROUND SANITARY
- G— UNDERGROUND GAS
- W— UNDERGROUND WATER
- T— UNDERGROUND COMMUNICATIONS
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- ⊕ FIRE HYDRANT
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC HAND BOX
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER VALVE
- ⊙ UTILITY POLE
- ⊙ STORM DRAIN CLEANOUT
- ⊙ SEWER CLEANOUT
- ⊙ SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ SIGNAL LIGHT
- BOLLARD
- ⊙ LIGHT POST
- ⊙ RIP RAP
- ⊙ TRAVERSE STATION
- ⊙ GUY WIRE
- ⊙ FIBER OPTIC HAND HOLE
- ⊙ WATER MAN HOLE



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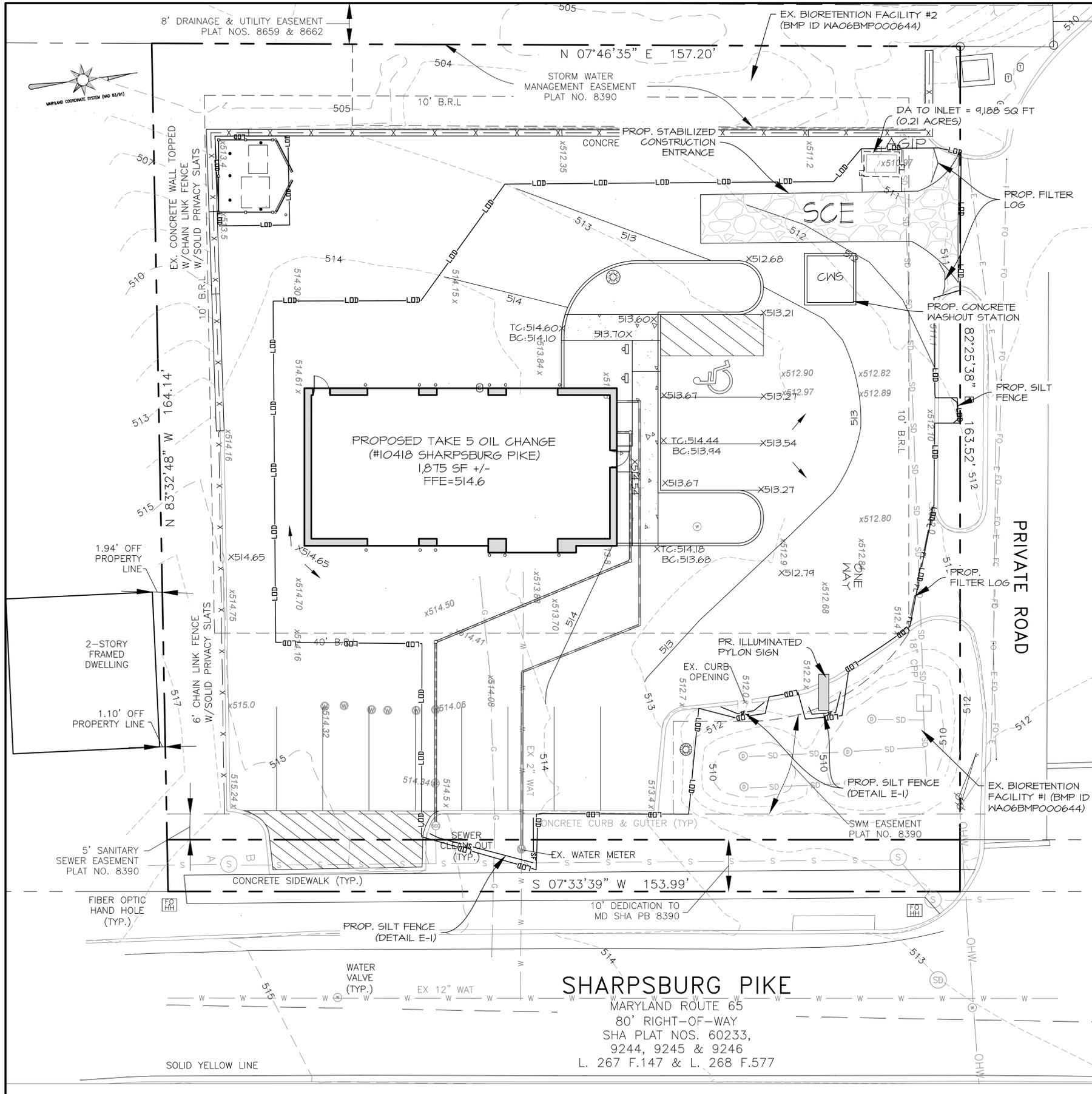
EXISTING CONDITIONS PLAN  
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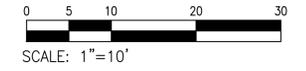
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Review By:	KLS		

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**GRADING/SEDIMENT & EROSION CONTROL PLAN**



**OVERALL SITE ANALYSIS**

1. TOTAL SITE AREA: 0.585 AC.±
2. DISTURBED AREA: 0.295 AC.± (12,863 SQ. FT.)
3. ESTIMATED EARTHWORK:
  - a.) GRADING CUT: 200 C.Y.
  - b.) GRADING FILL: 200 C.Y.
  - c.) TOPSOIL: 50 C.Y.
4. EXISTING IMPERVIOUS AREA: 0.305 AC.±
5. PROPOSED IMPERVIOUS AREA: 0.273 AC.±
6. AREA TO BE VEGETATIVELY STABILIZED: 0.022 AC.±
7. WATERSHED: ANTIETAM CREEK

THE EARTHWORK QUANTITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY OF ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.

**OVERALL SUMMARY OF SEDIMENT CONTROL QUANTITIES**

SWALE:	±0	L.F.
EARTH DIKE:	±0	L.F.
DIVERSION FENCE:	±0	L.F.
SILT FENCE:	±54	L.F.
SILT FENCE ON PAVEMENT:		L.F.
FILTER LOG:	±64	L.F.
SEDIMENT BASIN:	0	EA.
MOUNTABLE BERM:	0	EA.
STABILIZED CONSTRUCTION ENTRANCE:	1	ENTRANCE(S)
STONE OUTLET STRUCTURE:	0	EA.
GABION OUTLET STRUCTURE:	0	EA.
INLET PROTECTION/SEALED INLET:	1	EA.

**SEQUENCE OF CONSTRUCTION**

1. NOTIFY WDCD AT 301-797-6821 AT LEAST (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. NOTIFY THE WASHINGTON COUNTY INSPECTORS 240-313-2460 AT LEAST (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRECONSTRUCTION MEETING.
2. CLEAR AND GRUB AREA FOR AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL ALL PERIMETER SEDIMENT CONTROLS INCLUDING SILT FENCE, FILTER LOG, AND AT-GRADE INLET PROTECTION.
4. BEGIN SITE DEMOLITION INCLUDING REMOVAL OF PAVING, CURBING, BOLLARDS, AND BUILDINGS AS NOTED ON THE DEMOLITION PLANS ON CONSTRUCTION SET.
5. BEGIN GRADING SITE & UTILITY INSTALLATION.
6. INSTALL PROPOSED WATER AND SEWER.
7. ENSURE ALL SEDIMENT CONTROLS ARE FUNCTIONING PROPERLY AND BEGIN PAVEMENT WORK & BUILDING CONSTRUCTION.
8. BEGIN PAVEMENT WORK & BUILDING CONSTRUCTION.
9. INSTALL STONE BASE COURSE THEN INSTALL CURB AND GUTTER, AND ASPHALT BASE PAVING. VEGETATIVELY STABILIZE THE DISTURBED UNPAVED LOCATIONS.
10. STABILIZE AREAS IN ACCORDANCE WITH THE SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES AND SUMMARIES.
11. NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 AND THE WASHINGTON COUNTY INSPECTORS 240-313-2460 AT LEAST (5) DAYS PRIOR TO THE REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSURE REVIEW MEETING (VEGETATION MUST MEET THE 95% OVERALL STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL- PRIOR TO SCHEDULING SAID MEETING).
12. AFTER ALL CONSTRUCTION OPERATIONS ARE ALL COMPLETE, ALL DISTURBED AREAS HAVE BEEN STABILIZED AND UPON AUTHORIZATION OF SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROLS.

**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- s - s - EX. SEWER
- v - v - EX. WATER
- c - c - EX. CURB
- t - t - EX. TELECOM
- sd - sd - EX. STORM DRAIN
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PROP. SEWER
- PROP. WATER
- [ ] PROP. CONCRETE
- x512.90 EXISTING SPOT ELEVATION
- X513.54 PROPOSED SPOT ELEVATION
- 513 PROPOSED CONTOUR
- LOD LIMIT OF DISTURBANCE
- SF PROPOSED SILT FENCE
- [ ] PROP. AT GRADE INLET PROTECTION
- FL FL PROPOSED FILTER LOG

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PROFESSIONAL ENGINEER

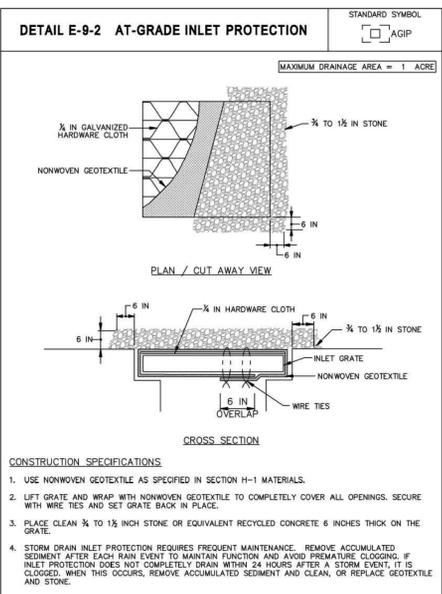
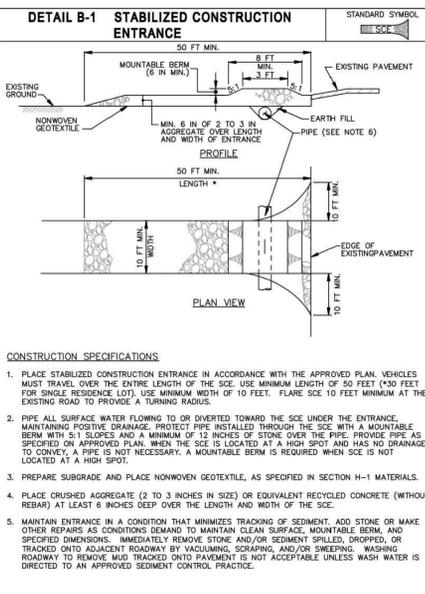
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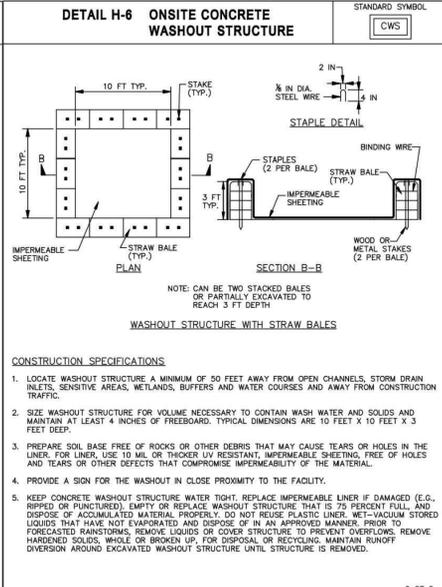
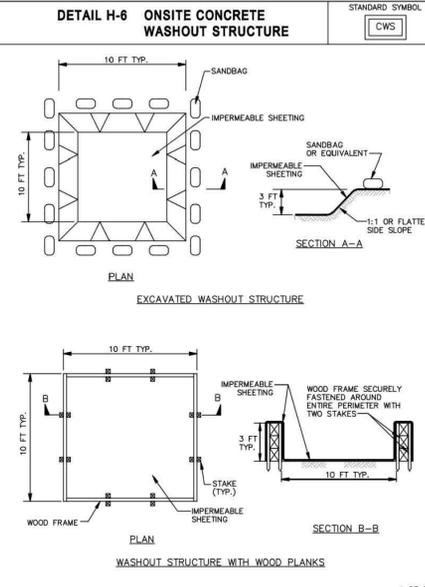
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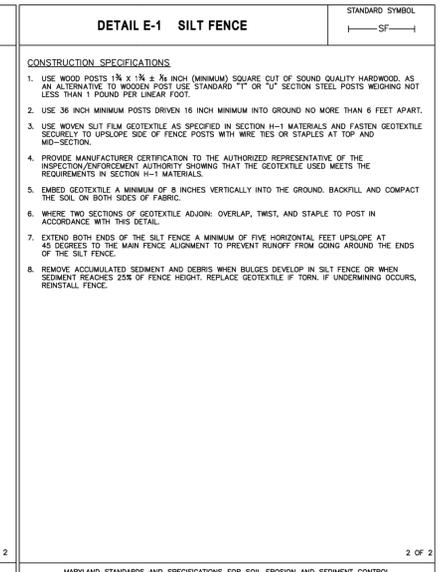
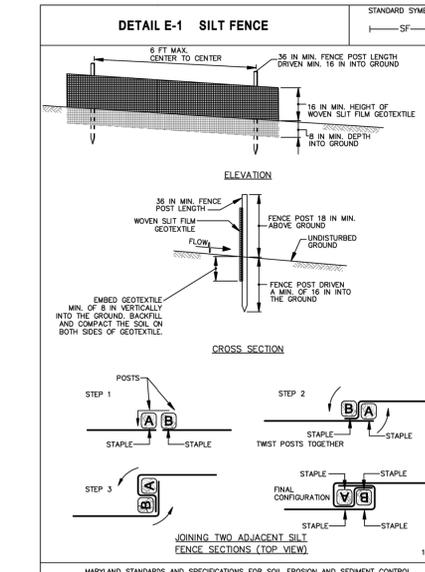
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

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**SOIL EROSION, SEDIMENT CONTROL, & SEEDING NOTES**

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMP's) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
  - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
  - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

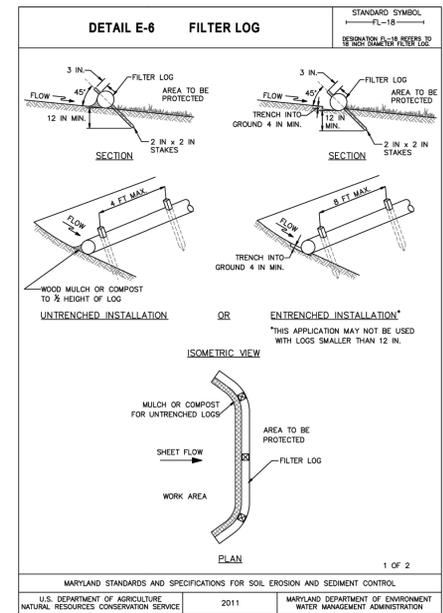
For sites 1.0 acre or more, the following are required:

- Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDRC, State Discharge Permit Number 20CP, or an Individual Permit.
- The Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI) application and permit shall be posted and/or available on-site at all times.
- During construction, all soil erosion and sediment control practices (BMP's) shall be inspected and recorded on the "Standard Inspection Form", "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent - NOI).
- Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

TEMPORARY SEEDING SUMMARY						
SEEDING MIXTURE (FOR HARDNESS ZONE 6B) (FROM TABLE B.1)						
NO.	SPECIES	APPLICATION RATE (lb/oc)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LINE RATE
1	BARLEY	96	3/1-5/15 8-1-10/15	1"	436 lb/oc (10 lb/1000 sf)	2 tons/oc (90 lb/1000 sf)
2	FORKAL MILLET	30	5/16-7/31	1/2"		

PERMANENT SEEDING SUMMARY							
SEED MIXTURE (FOR HARDNESS ZONE 6B) (FROM TABLE 2.3)							
MIX	SPECIES	APPLICATION RATE (lb/oc)	SEEDING DATES	SEEDING DEPTHS	N	P2O5	K2O
2	BIG BLUESTEM	6	3/1-5/15 8/15-10/15	1/2"	45 lb/oc (1.0 lb/1000 sf)	90 lb/oc (2.0 lb/1000 sf)	90 lb/oc (2.0 lb/1000 sf)
	INDIAN GRASS	6					
	LITTLE BLUESTEM	4					
	CREEPING RED FESCUE PARTRIDGE PEA	15 4					
6	TALL FESCUE	40	3/1-5/15 8/15-10/15	1/2"	45 lb/oc (1.0 lb/1000 sf)	90 lb/oc (2.0 lb/1000 sf)	90 lb/oc (2.0 lb/1000 sf)
	PERENNIAL BROMGRASS	25					
	BIRDFOOT TREFLOL	8					
	WHITE CLOVER	5					

SEE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

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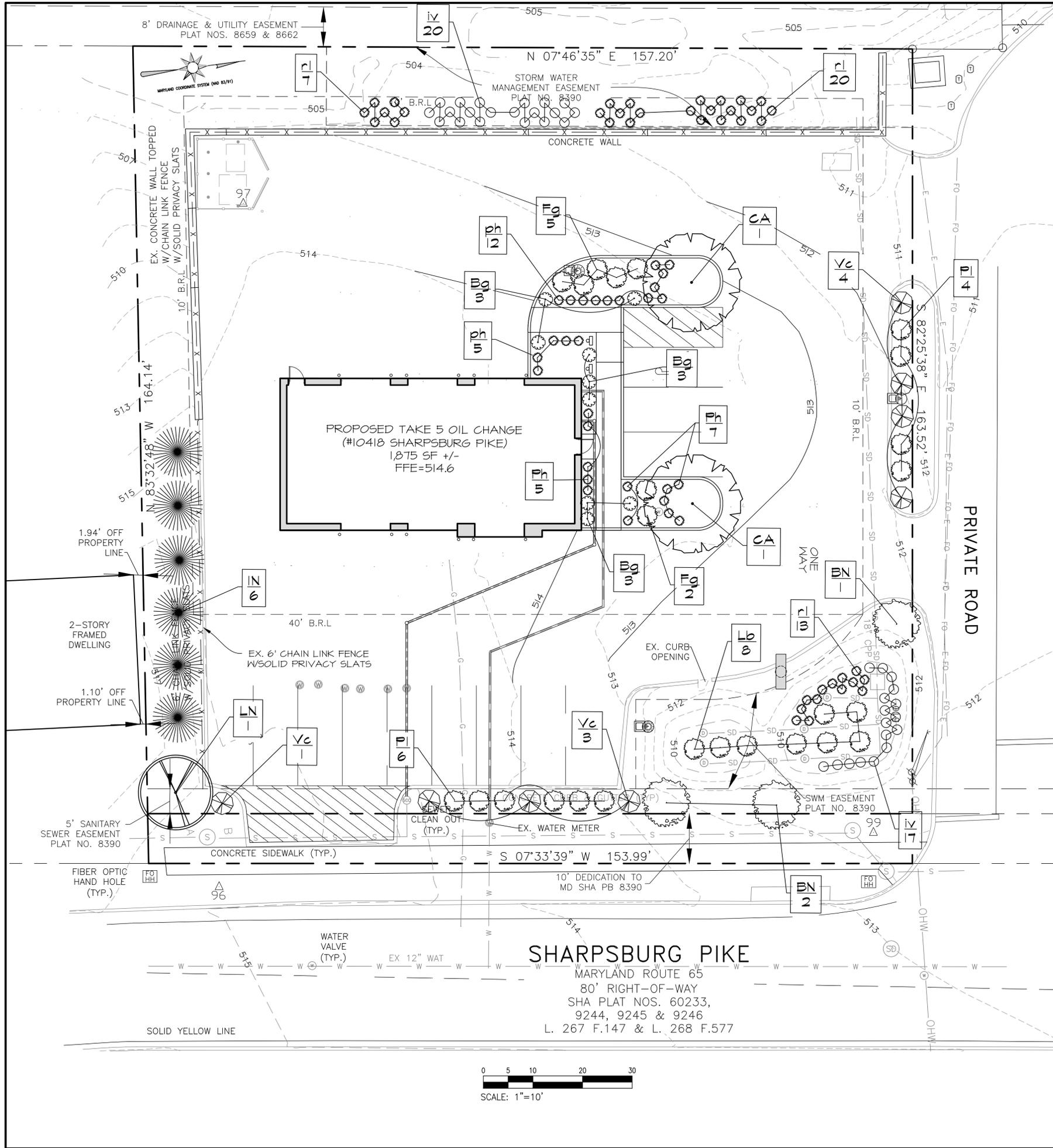
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PLANT SCHEDULE									
Sym.	QTY	Botanical Name	Common Name	Size	Notes	Native	Type	HEIGHT (FT)	SPREAD (FT)
<b>Small Trees</b>									
BN	3	<i>Betula nigra</i>	River Birch	8-10' ht	Space as shown	x	Decid	25-30	15-25
CA	2	<i>Carpinus caroliniana</i>	American Hornbeam	8-10' ht.	Space as shown	x	Decid	25-30	15-25
IN	6	<i>Ilex Nellie Stevens</i>	Nellie Stevens Holly	8-10' ht	Space as shown		Evrgrn	15-25	8-12
LN	1	<i>Lagerstroemia x 'Natchez'</i>	Natchez Crape Myrtle	8-10' ht.	Space as shown		Decid	15-25	15-20
<b>Shrubs</b>									
Bg	9	<i>Buxus 'Green Mound'</i>	Green Mound Boxwood	Min. 18" ht.	Space as shown		Evrgrn	2-3	2-3
Fg	7	<i>Fothergilla 'Mount Airy'</i>	Mt. Airy Dwarf Fothergilla	Min. 24" ht.	Space as shown	x	Decid	3-5	3-5
Lb	8	<i>Lindera benzoin</i>	Spice Bush	Min. 24" ht.	Space as shown	x	Evrgrn	3-4	4-5
Pl	10	<i>Prunus laurocerasus 'Otto'</i>	Otto Luyken Cherry Laurel	Min. 24" ht.	Space as shown		Evrgrn	3-4	4-5
Vc	8	<i>Viburnum carlesii</i>	Korean Spice Viburnum	Min. 24" ht.	Space as shown		Decid	4-6	3-4
<b>Perennials/Grasses</b>									
iv	37	<i>Iris versicolor</i>	Blue Flag Iris	Min. 18" ht.	Space as shown	x	Per	18-24"	24"
ph	29	<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	Min. 18" ht.	Space as shown		Per	18-24"	24"
rl	40	<i>Rudbeckia Lanciniata</i>	Tall Coneflower	Min. 18" ht.	Space as shown	x	Per	18-24"	24"

**NOTES:**

- PER SECTION 19.8(b) BUFFER YARDS SHALL NOT BE REQUIRED BETWEEN COMMON BOUNDARIES THAT ARE BOTH ZONED HI. IT IS ASSUMED THAT USES ALLOWED AND SETBACKS PROVIDED WITHIN THE HI DISTRICT ARE SUFFICIENT TO ACHIEVE THE PURPOSE OF THE DISTRICT.
- SCREENING OF PARKING FACILITIES TO ADJACENT NEIGHBOR PROVIDED PER SECTION 22.11.2(b)
- TOTAL SURFACE PARKING AREA = 2840 SQ FT, WHICH IS LESS THAN 10,000 SQ FT, THEREFORE LANDSCAPE REQUIREMENTS PER ARTICLE 22 SECTION 22.12.8 DO NOT APPLY

**LEGEND**

- SITE BOUNDARY
- - - EX. EASEMENT
- - - EX. SEWER
- - - EX. WATER
- - - EX. CURB
- - - EX. TELECOM
- - - EX. STORM DRAIN
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - PROP. SEWER
- - - PROP. WATER
- - - LANDSCAPE STRIP MEASUREMENT

**NOTES:**

- QUANTITIES OF TREES, EVERGREENS AND SHRUBS, WHEN NOTED ON THE PLANT LIST, ARE BASED UPON THE GRAPHIC SYMBOLS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AND INSTALL THIS PLANT MATERIAL BASED UPON GRAPHIC SYMBOL QUANTITIES. CONTACT AN ENGINEER IF A DIFFERENCE IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE SYMBOL COUNT OF MATERIALS SHOWN ON THE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANTING MATERIAL. IF CONFLICTS ARISE, AN ENGINEER MUST BE NOTIFIED PRIOR TO ANY GROUND BREAKING.
- ALL PLANT MATERIAL SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY AND KEPT FREE OF REFUSE AND DEBRIS.
- THE LESSEE OR OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPE AND SCREENING MATERIALS.
- BIORETENTION PLANTING SPECIES AND QUANTITIES CONSISTENT WITH PLANTINGS SHOWN IN FINAL SITE PLAN FOR PSP-05-001 (LOUDERBACK CARWASH), 2005.

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**LANDSCAPE ARCHITECT CERTIFICATION**

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Landscape Architect under the laws of the State of Maryland, License No. 3730, Expiration Date: 7/09/2027.

3/18/2026 ADAM GANSER

DATE PRINTED NAME SIGNATURE

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HAGERSTOWN, MD 21740  
jeffsmachs@gmail.com

**DEVELOPER/CONTRACT PURCHASER:**

TWO AUTO RE HAGERSTOWN, LLC  
3060 PEACHTREE ROAD NW, SUITE 560  
ATLANTA, GA 30305  
(404)791.7603

# PLANT MATERIALS AND PLANTING METHODS

## A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP, AND TRANSPLANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

### 1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", LATEST EDITION.

### 2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HEREAFTER REFERRED TO AS "AAS STANDARDS"). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH, AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL BRANCHED AND WITH HEALTHY, WELL FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

- ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- COLLECTED PLANTS OR TRANSPLANTED TREES MAY BE CALLED FOR BY THE LANDSCAPE ARCHITECT AND USED, PROVIDED, HOWEVER, THAT LOCATIONS AND SOIL CONDITIONS WILL PERMIT PROPER BALLING.

### 3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE CITY OF CAMBRIDGE DEPARTMENT OF PLANNING AND ZONING REVIEWING OFFICIAL.

- CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR INCHES (4") CALIPER AND TWELVE INCHES (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.
- MINIMUM BRANCHING HEIGHT FOR ALL TREES SHALL BE SIX FEET (6"), MAXIMUM EIGHT FEET (8").
- MINIMUM SIZE FOR PLANTING SHADE TREES 2 1/2" - 3" CALIPER 12" - 14" IN HEIGHT.
- CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
1 1/2" - 2"	4' - 6'	4' - 6'	24" DIAMETER
2" - 2 1/2"	10' - 12'	5' - 7'	36" DIAMETER
3 1/2" - 4"	14' - 16'	8' - 10'	36" DIAMETER
4" - 4 1/2"	16' - 18'	8' - 10'	40" DIAMETER
4 1/2" - 5"	18' - 18'	10' - 12'	34" DIAMETER
5" - 5 1/2"	16' - 20'	10' - 12'	48" DIAMETER
5 1/2" - 6"	18' - 20'	12' - 14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAS STANDARDS".

### 4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

### 5. PLANT INSPECTION

THE CITY OF CAMBRIDGE DEPARTMENT OF PLANNING AND ZONING REVIEWING OFFICIAL MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

## B. PLANTING METHODS

PLANTING SEASONS ARE DESCRIBED AS FOLLOWS:

ALL PROPOSED PLANT MATERIAL THAT MEET THE SPECIFICATIONS IN THIS SECTION ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING PLANTING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING: 1. PLANTING SEASONS: THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST FREE TOPSOIL PLANTING MIXTURES ARE USED. THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 1ST. NO PLANTING SHALL BE DONE WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

### 2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B+B) IN ACCORDANCE WITH THE "AAS STANDARDS."

### 3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

- LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.
- BALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.
- IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.
- DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL DIAMETER	DEPTH
1 1/2" - 2" CAL.	24"	40"
2" - 2 1/2" CAL.	26"	48"
3 1/2" - 4" CAL.	36"	72"
4" - 4 1/2" CAL.	40"	80"
4 1/2" - 5" CAL.	44"	88"
5" - 5 1/2" CAL.	48"	96"
5 1/2" - 6" CAL.	52"	104"

A 20% COMPACTING FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

### 4. STAKING, GUYED AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

- STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7' - 0" FOR MAJOR TREES AND 5' - 0" MINIMUM FOR MINOR TREES.
- WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKEUP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16", 7 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
- HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 3/4" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREE BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.
- ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE "TYPICAL TREE STAKING DETAIL". ALL TREES OVER 3" IN CALIPER ARE TO BE PLANTED AND GUYED IN ACCORDANCE WITH THE "TYPICAL TREE GUYING DETAIL".

### 5. PLANT PRUNING, EDGING AND MULCHING

- EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.
- ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAR LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.
- AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF TAN BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

### 6. PLANT INSPECTION AND ACCEPTANCE

THE CITY OF CAMBRIDGE DEPARTMENT OF PLANNING AND ZONING OFFICIAL SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A REGULAR BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

### 7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF TWO FULL GROWING SEASONS, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

- FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.
- GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

### SEEDING AND SODDING

ALL SEEDING AND SODDING SHALL BE AS PER "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN URBANIZED AREAS" AS PUBLISHED BY THE DEPARTMENT OF NATURAL RESOURCES.

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANTING MATERIAL. IF CONFLICTS ARISE, EN ENGINEERING MUST BE NOTIFIED PRIOR TO ANY GROUND BREAKING.
- CONTRACTOR IS RESPONSIBLE FOR GENERAL MAINTENANCE INCLUDING WATERING.
- QUANTITIES OF TREES, EVERGREENS AND SHRUBS, WHEN NOTED ON THE PLANT LIST, ARE BASED UPON THE GRAPHIC SYMBOLS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AND INSTALL THIS PLANT MATERIAL BASED UPON GRAPHIC SYMBOL QUANTITIES. CONTACT EN ENGINEERING IF A DIFFERENCE IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE SYMBOL COUNT OF MATERIALS SHOWN ON THE DRAWINGS.

### TAKE 5 OIL CHANGE, LLC STORAGE SYSTEM REVIEW

SYSTEMS ARE DIVIDED INTO 2 SEPARATE PROCESSES.

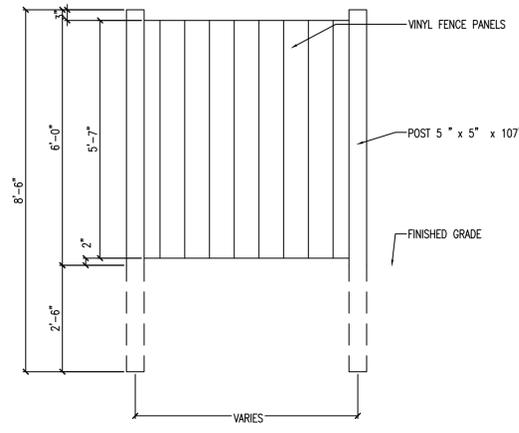
- USED OIL -**  
AFTER A TAKE 5 TECHNICIAN DIRECTS AND GUIDES THE CUSTOMER OVER A SHALLOW TRENCH THE USED OIL IS DRAINED INTO A ROLLING DRAIN PAN THAT IS POSITIONED UNDER THE VEHICLE. THE OIL FILTER IS ALSO CHANGED ABOVE THE DRAIN PAN. WHEN NECESSARY, THE DRAIN PANS ARE EMPTIED TO DESIGNATED OIL TANKS VIA 3/4" GASOLINE-RATED HOSE, ROUTED THROUGH CHASES TO THE STORAGE ROOM. THE HOSES ARE CONNECTED VIA A VACUUM DIAPHRAGM PUMP. SO THE SYSTEM IS TOTALLY NON-PRESSURIZED. 100% OF TAKE 5'S USED OIL AND OIL FILTERS ARE RECLAIMED AND RECYCLED BY OSHA CERTIFIED USED OIL RECYCLING COMPANIES.
- NEW OIL -**  
WE STORE NEW BULK OILS IN RHINO GRAVITY FEED SYSTEMS INSIDE THE BAY AREAS. THESE SYSTEMS HAVE NO PUMPS OR PRESSURE, ARE APPROVED BY OSHA AND DOT, AND ARE LOCATED WITHIN A RECESSED AREA WITHIN THE SHOP. TAKE 5 ALSO CARRIES A MINIMUM AMOUNT OF RETAIL BOTTLED OILS FOR SPECIALTY VEHICLES AS NECESSARY.

**NOTES -**

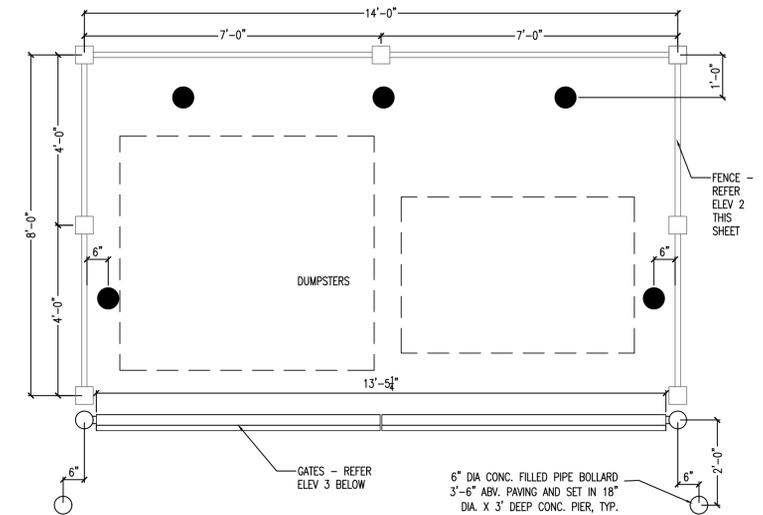
- TYPE OF LIQUIDS BEING STORED ARE CLASS IIIB LUBRICANTS ONLY.
- ALL TANKS ARE ABOVE GROUND, SINGLE WALL. 3 ARE STEEL AND 12 ARE HIGH-DENSITY POLYETHYLENE.
- VOLUME OF TANKS:  
(3) WASTE OIL TANKS OF APPROXIMATELY 330 GALLONS EACH  
(8) NEW OIL RHINO TANKS OF 220 GALLONS EACH, (4) STACKS OF (2) EACH

FOR CONTAINMENT - BULK TANKS ARE PLACED WITHIN RECESSED AREAS. THE RECESSED AREAS ARE CONNECTED VIA 3" CHASES TO THE SHALLOW TRENCHES, PROVIDING SECONDARY CONTAMINATION. EACH TRENCH MEASURES 10' X 3' X 30", YIELDING A TOTAL EXTRA VOLUME OF 1683 GALLONS, IN ADDITION TO THE RECESSED AREAS WHERE THE TANKS ARE LOCATED.

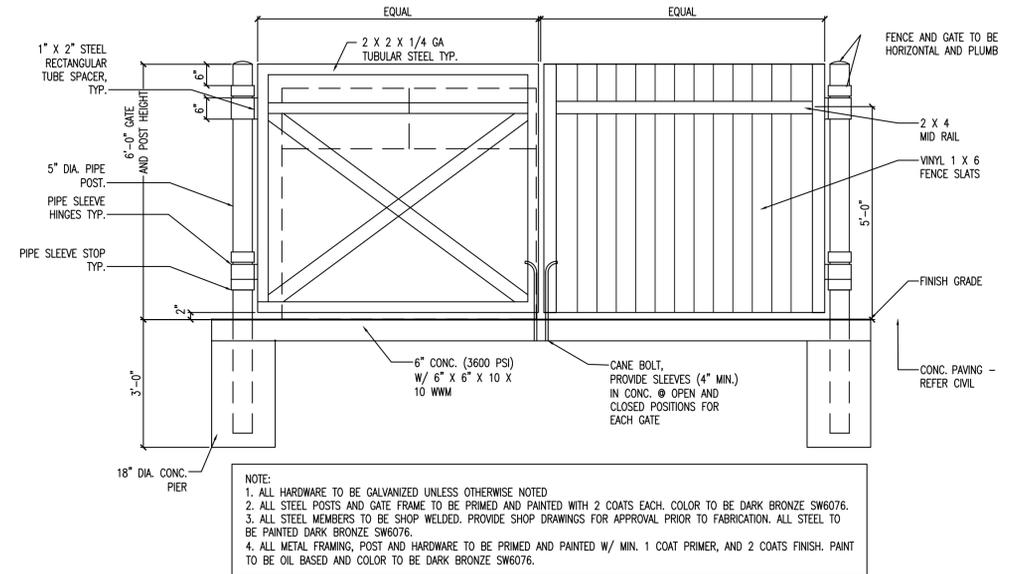
- TAKE 5 DOES NOT INCORPORATE DRAINS IN THEIR SHOP, SHALLOW TRENCH, OR STORAGE AREAS. THE ONLY DRAIN IN A TAKE 5 IS LOCATED IN THE RESTROOM.
- WE MOP OUR FLOORS, RINSING THE MOP IN A MOP SINK THAT IS CONNECTED DIRECTLY TO AN OIL SEPARATOR.
- THE OIL SEPARATOR IS CLEANED/EMPTIED/MAINTAINED BY THE OSHA CERTIFIED RECYCLING COMPANY THAT COLLECTS AND RECYCLES THE USED OIL.
- SOME TANKS ARE PLACED ON SHOP FLOOR BETWEEN BAYS.



DUMPSTER SCREEN ELEVATIONS  
1/2"=1'-0"

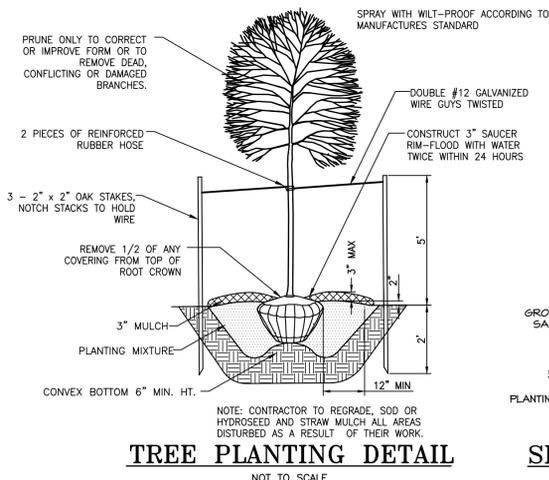


DUMPSTER SCREEN PLAN  
1/2"=1'-0"

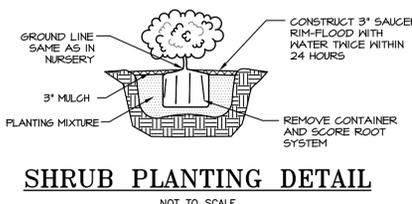


DUMPSTER SCREEN ELEVATIONS  
1/2"=1'-0"

PLANNING FILE REFERENCE NO. SP-25-025



TREE PLANTING DETAIL  
NOT TO SCALE



SHRUB PLANTING DETAIL  
NOT TO SCALE

1630 Robin Circle  
Forest Hill, Maryland 21050  
Phone (443) 652-8112  
www.enengineering.com

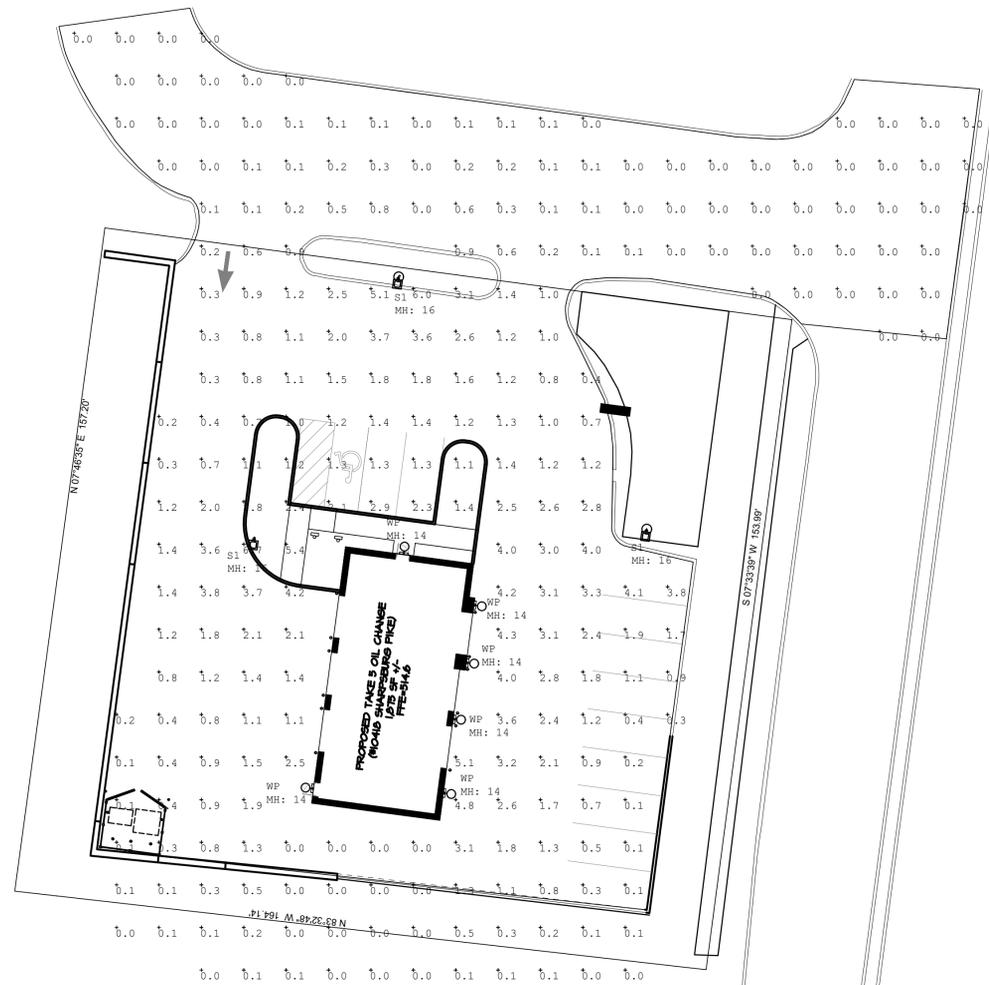
LANDSCAPE DETAILS  
FOR TAKE 5 OIL CHANGE  
AT  
10418 SHARPSBURG PIKE  
TAX MAP 57 PARCEL 110  
COMMERCIAL ZONING  
HAGERSTOWN, MARYLAND 21740  
10TH ELECTION DISTRICT WASHINGTON COUNTY, MARYLAND

Date	Revisions	Date:	Scale:
		3/18/2026	
		Drawn By:	Job No:
		ACG	2513937.00
		Design By:	Sheet:
		ACG	11 of 12
		Review By:	
		KLS	

**OWNER:**  
BEAVER CREEK SELF STORAGE, LLC  
1044 VIRGINIA AVENUE  
HAGERSTOWN, MD 21740  
jeffsmachs@gmail.com

**DEVELOPER/CONTRACT PURCHASER:**  
TWO AUTO RE HAGERSTOWN, LLC  
3060 PEACHTREE ROAD NW, SUITE 560  
ATLANTA, GA 30305  
(404)791.7603

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① PHOTOMETRIC PLAN  
SCALE: 1"=20'-0"

**DRAWING NOTES**

- ① COORDINATE FIXTURE COLOR WITH ARCHITECT PRIOR TO ORDERING FIXTURES/POLES

Symbol	Qty	Label	Arrangement	Description	LLF
S1	3	PGR-2_T4_64LC_3_4K	Single	PGR-2-T4-64LC-3-4K-UNV	0.900
WP	6	PGRS-2_T3_16LC_5_4K_UNV_WM	Single	PGRS-2_T3_16LC_5_4K_UNV_WM_ies	0.900

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE_Planar_1	Illuminance	Fc	1.14	6.7	0.0	N.A.	N.A.

**PGRS-2 LED Specifications**



The PGRS-2 LED luminaire from Visonaire combines contemporary design with new LED technology and mounting to a traditional fluorescent fixture. The LED luminaire is available in a variety of mounting options for recessed or surface mount. It is an ideal replacement for the high-maintenance HID fixtures of yesterday.

The LED housing is cast aluminum with internal heat sink for maximum heat dissipation with 16.2 LEDs. The cast aluminum driver compartment above the driver to operate cooler for long life.

Three optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years and is available in standard or custom colors.

The PGRS-2 LED series is an exceptional choice for parking garage lighting and other wall-mount applications.

**Ordering Information**

MODEL	OPTICS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
PGRS-2	T2 Type 2	16LC	3 300mA	3K 3000K	UNV 120/277V	WM Wall Mount	BZ Bronze	PC-190 Diffuse Light	ESPL Emergency
	T3 Type 3	S2LC	5 500mA	4K 4000K	5 50V	BK Black	PC-208 Diffuse Light	ESPL Emergency	ESPL Emergency
	T4 Type 4		7 700mA	5K 5000K	5 48V	WH White	PC-240 Diffuse Light	ESPL Emergency	ESPL Emergency

TYPE WP

**PGR-2 LED Specifications**



The PGR-2 LED luminaire from Visonaire incorporates our single chip LED technology and mounting to a traditional fluorescent fixture. The LED luminaire is available in a variety of mounting options for recessed or surface mount. It is an ideal replacement for the high-maintenance HID fixtures of yesterday.

The LED housing is cast aluminum with internal heat sink for maximum heat dissipation with 16.2 LEDs. The cast aluminum driver compartment above the driver to operate cooler for long life.

Three optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years and is available in standard or custom colors.

The PGR-2 LED series is an exceptional choice for universities, shopping centers, parks and recreational areas and general site lighting.

**Ordering Information**

MODEL	OPTICS	LEDS	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
PGR-2	T1 Type 1	64LC	3 300mA	3K 3000K	UNV 120/277V	WM Wall Mount	BZ Bronze	PC-190 Diffuse Light	ESPL Emergency
	T2 Type 2	36LC	5 500mA	4K 4000K	5 50V	BK Black	PC-208 Diffuse Light	ESPL Emergency	ESPL Emergency
	T3 Type 3	36LC	7 700mA	5K 5000K	5 48V	WH White	PC-240 Diffuse Light	ESPL Emergency	ESPL Emergency

TYPE S1 & S2

**SNTS Specifications**



**Square Non-Tapered Steel Pole**

**Pole Shaft**

- ASTM A500 Grade B tubing with minimum yield strength of 55,000 PSI. Shaft is furnished with ground lug inside pole, opposite hand hole opening. Center line of hand hole is 12" from base pole.

**Base Plate**

- Steel Plate base is ASTM A36 hot rolled steel, meets or exceeds minimum yield strength of 36,000 PSI.

**Base Cover**

- Base flanges provided with order. Do not pre-pour.

**Pole Cap**

- Color-integrated polymer snap-to-close pole cap provided in black.

**Anchor Bolts**

- Poles are provided with hot-dip galvanized anchor bolts, with a 1/2" band on one end and two full thread ends and two full washers per bolt. Anchor bolts meet or exceed a minimum of 36,000 PSI. Anchor bolts conform to ASTM F1554 grade 36 and are provided.

POLE

**SNTS Specifications**

MODEL	SHAFT SIZE	GAUGE	HEIGHT	BASE	ANCHORAGE
SNTS Square Non-Tapered Steel	48	11	12'	18" x 18" x 3/4"	18" x 18" x 3/4"
	48	11	12'	18" x 18" x 3/4"	18" x 18" x 3/4"
	48	11	12'	18" x 18" x 3/4"	18" x 18" x 3/4"
	48	11	12'	18" x 18" x 3/4"	18" x 18" x 3/4"

**Ordering Information**

MOUNTING	FINISH	OPTIONS
S1	BZ Bronze	ESPL Emergency
S2	BK Black	ESPL Emergency



"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #19994, Expiration Date: 3/31/27"

**REVISIONS:**

No.	Description

**MECHANICAL & ELECTRICAL DESIGN CONSULTANTS, INC.**  
1901 N. Fountain Green Road  
Bel Air, Maryland 21015-1411  
410-895-2822 • Fax: 410-803-0442  
web site: www.jrdesign.net

**TAKE 5 OIL CHANGE**  
**10414 & 10418 SHARPSBURG PIKE**  
**HAGERSTOWN, MARYLAND 21740**

**SHEET TITLE:**  
**PHOTOMETRIC PLAN**

**JLR JOB #:** 25-128  
**DRAWN BY:** TEF  
**CHECKED BY:** TEF  
**SCALE:** AS NOTED  
**DATE:** 2/26/2026  
**SHEET NO:**



**SITE PLAN STAFF REPORT**

**BASE INFORMATION**

**SITE NAME.....:** Combined Stormwater Concept Plan and Site Plan for Conservit Inc. North Yard  
**NUMBER.....:** SP-25-042

**OWNER.....:** CONSERVIT INC  
**LOCATION.....:** 18604 LESLIE Drive  
Hagerstown, MD 21740

**DESCRIPTION.....:** Combined stormwater concept plan and site plan for Conservit Inc to install a large metal shear and new building to house shear motor. Install gravel and concrete pads. Relocate an existing railroad siding.

**ZONING.....:** Industrial, General  
**COMP PLAN LU.....:** Industrial  
**PARCEL.....:** 10027713  
**PLANNING SECTOR.....:** 1  
**ELECTION DISTRICT.....:** 10

**TYPE.....:** Industrial  
**GROSS ACRES.....:** 13.38  
**DWELLING UNITS.....:** 0  
**TOTAL LOTS.....:** 1  
**DENSITY.....:** 0 Units Per Acre

**PLANNER.....:** Scott A Stotelmyer  
**ENGINEER.....:** FREDERICK SEIBERT & ASSOCIATES  
**RECEIVED.....:** October 13, 2025

**SITE ENGINEERING**

*HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION*

**FLOOD ZONE.....:** No  
**WETLANDS.....:** Yes  
**WATERSHED.....:** Marsh Run  
**ENDANGERED SPECIES.....:** None  
**HISTORIC INVENTORY.....:** No Resources Present  
**EASEMENTS PRESENT.....:** None

Staff Comments:

*Not Applicable*



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

	<i>SCHOOL INFORMATION</i>		
	<b>ELEMENTARY</b>	<b>MIDDLE</b>	<b>HIGH</b>
SCHOOL DISTRICT	Rockland Woods	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	Fairplay
AMBULANCE DISTRICT.....:	HALFWAY

	<i>WATER &amp; SEWER INFORMATION</i>	
	<b>WATER</b>	<b>SEWER</b>
METHOD.....:	City	County
SERVICE AREA.....:	City	County
PRIORITY.....:	1-Existing Service	5-Long Term Planned Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Conococheague

APPROVALS

<p>MD-ENG-6A 1/99</p> <p>UTILITY NOTIFICATION The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777</p>	<p>USDA SCS</p> <p>OWNER / DEVELOPERS CERTIFICATION "I/We certify all parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment." 02/23/2026 Holden Metzner DATE PRINTED NAME [Signature]</p>
<p>DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 8.20 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 12,090 CU. YDS. OF EXCAVATION AND APPROXIMATELY 17,550 CU. YDS. OF FILL.</p>	<p>ENGINEER / ARCHITECT DESIGN CERTIFICATION I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control. 02/24/2026 44044 DATE REG. NO. [Signature]</p>
<p>ENGINEERS STORMWATER MANAGEMENT CERTIFICATION "I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."</p>	<p>WASHINGTON COUNTY DIVISION OF ENGINEERING</p> <p>APPROVED BY: _____ DATE: _____</p> <p>WASHINGTON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL PLAN APPROVAL</p> <p>By: _____ Date: _____ (PLAN IS VALID FOR TWO YEARS FROM DATE OF APPROVAL)</p>
<p>OWNER / DEVELOPERS CERTIFICATION - WASHINGTON COUNTY I/We hereby certify that all clearing, grading, construction, and/or development on this site will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County.</p> <p>02/23/2026 Holden Metzner DATE PRINTED NAME [Signature]</p>	

# COMBINED STORMWATER CONCEPT PLAN AND SITE PLAN FOR CONSERVIT INC. NORTH YARD

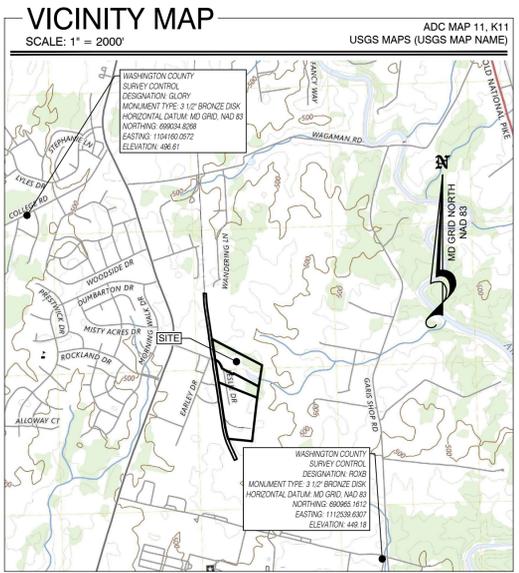
SITUATED  
18604 Leslie Drive  
Hagerstown, MD 21740

CLIENT/OWNER/DEVELOPER:  
Conservit Inc.  
PO Box 1517  
Hagerstown, MD 21742

ATTN: Holden Metzner  
EMAIL: hmetzner0@conservit.biz  
PHONE: 301.791.0110

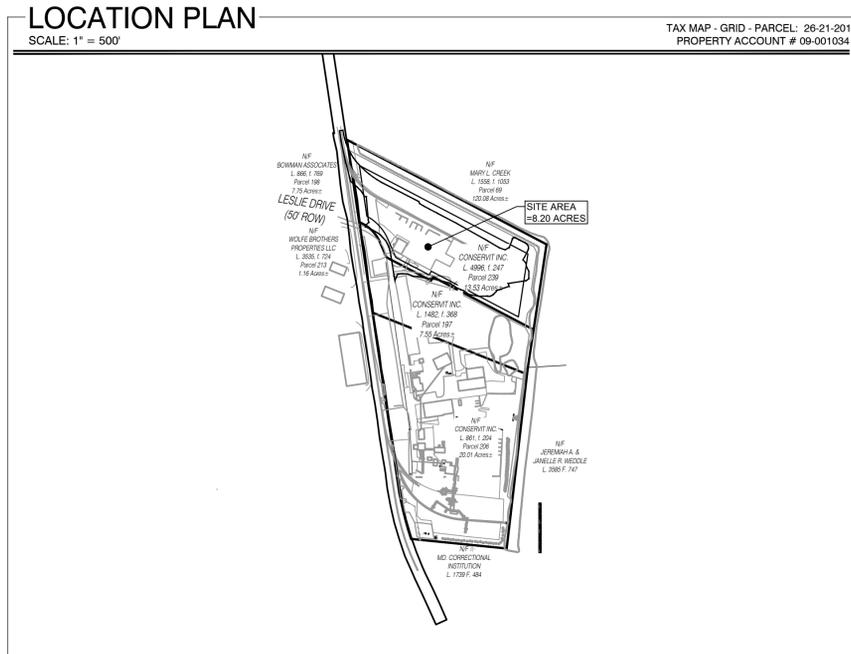
CIVIL ENGINEER / SURVEYOR:  
FSA INC.  
128 S. Potomac St.  
Hagerstown, MD 21740

PROJECT MANAGER: Trevor Frederick  
EMAIL: TFrederick@fsa-inc.com  
PHONE: 301.791.3650



SHEET INDEX

TYPE	NUMBER	TITLE
C-001	SHEET 01	COVER SHEET
C-002	SHEET 02	NOTES & LEGENDS
C-101	SHEET 03	ENVIRONMENTAL RESOURCE MAP
C-102	SHEET 04	EXISTING CONDITIONS AND DEMO PLAN
C-103	SHEET 05	SITE PLAN
C-104	SHEET 06	GRADING AND EROSION & SEDIMENT CONTROL PLAN
C-301	SHEET 07	STORMWATER MANAGEMENT PLAN
C-302	SHEET 08	STORMWATER MANAGEMENT DETAILS & NOTES
C-501	SHEET 09	CONSTRUCTION DETAILS & NOTES - E & S CONTROLS
C-502	SHEET 10	CONSTRUCTION DETAILS & NOTES - SITE



ESD NARRATIVE

**Introduction**  
This site plan is for the redevelopment of an existing metal recycling facility located on the Conservit recycling facility at the end of Leslie Drive at 18604 Leslie Drive. The existing metal building, railroad siding and some existing paved areas will be demolished. Some of the existing paved areas will remain and have fill placed on top and paved over. A new metal shear will be installed on a foundation and a 30'x40' metal building is proposed to house the motor for the shear. A new railroad siding will be constructed along the north side of the improvements. The proposed site disturbed area is 8.20 acres, and the proposed impervious area is 5.38 acres. The existing impervious area on the site is 2.72 acres. The parcel is identified as Parcel 239 within Tax Map 62 and is zoned IG (Industrial General) as determined by Washington County.

**Past, Present and Proposed Land Use**  
The site has been previously developed, and currently contains a metal building and concrete/gravel pads. The land cover currently consists of lawn/meadow/brush and impervious area (i.e. building, concrete, and asphalt pavement). The existing impervious area is 2.72 acres. There are man-made areas of steep slopes and highly erodible soils within the site that will be stabilized with erosion control matting during construction. There are no mapped floodplains within the limit of disturbance but there is a wetland shown on the National Wetland Inventory Maps. Wetlands were identified within the delineation per National Wetland Inventory. Classification code: PUBFH System Palustrine (P); The Palustrine System includes all non-riverine wetlands dominated by trees, shrubs, persistent emergents, emergent mosses or lichens, and all such wetlands that occur in total areas where salinity due to ocean-derived salts is less than 0.5 ppt. It also includes wetlands lacking such vegetation, but with all of the following four characteristics: (1) area less than 8 ha (20 acres); (2) active wave-formed or bedrock shoreline features lacking; (3) water depth in the deepest part of basin less than 2.5 m (8.2 ft) at low water; and (4) salinity due to ocean-derived salts less than 0.5 ppt.

**Water Regime**  
Class Unconsolidated Bottom (UB): Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6-7 cm), and a vegetative cover less than 30%.

**Special Modifier: Direct Impounder (DI)**: Surface water persists throughout the growing season in most years. When surface water is absent, the water table is usually at or very near the land surface.

**Soil Types/Description/Limitations**  
The soils on site with Hydrologic Soil Group and Hydric Rating classification are, as follows:

Soil Type	Map Unit Name	K-factor	HSG	% of Area
HaB	Hagerstown silt loam, 3 to 8 percent slopes	0.37	B	1.6%
HsC	Hagerstown silt loam, 8 to 15 percent slopes	0.37	B	3.8%
HsB	Hagerstown Outfield-Urban land complex, 0 to 8 percent slopes	0.37	B	92.1%

**Import/Export Fill**  
The site will require an import of material in regards to excavation.

Any fill material required for the site or excess material to be wasted from the site is required to be hauled from or to, as applicable, a site with an approved soil erosion and sediment control plan. The Owner/Developer and/or Operator is responsible to perform environmental due diligence and determine that all fill imported to the site or exported from the site meets the MDE definition of clean fill.

**Clean Fill**: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the state unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

**Environmental due diligence** includes: Investigative techniques such as, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing and environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substances.

**Site Drainage Description**  
The site currently is currently has a high point in the approximate middle of the existing concrete pad area and drains to the east and west side of the property. The eastern watershed drains to an existing sediment trap that was constructed over 30 years ago. The trap drains onto the adjacent farmers field and there is an intermittent stream shown on the soils map through the trap. The watershed is less than 15 acres and there is no evidence of flow downstream. The western watershed drains to a closed depression created by the existing railroad and railroad siding. There is no outfall for this watershed as the surrounding areas are higher in elevation. The runoff enters the low point and infiltrates.

**Stormwater Management Requirements**  
Plans have been prepared in accordance with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance (Ordinance) and the Maryland Storm Water Design Manual, Volumes 1 and II (October 2000, Revised 2009) (Manual).

The planning techniques, nonstructural practices, and design methods contained in the design manual shall be used to implement the ESD to the MEP. Stormwater management plans shall be developed using ESD sizing criteria, recharge volume, water quality volume, and channel protection storage volume criteria from the design manual. To meet the requirements, the matter was discussed with Washington County Engineering Plan Review staff and the predevelopment condition of the site is as the site existed in 2010 due to the undocumented work at the site throughout the years.

**ESD Planning Techniques**  
The following ESD planning techniques are proposed: reducing runoff volume. Other ESD planning techniques are not applicable due to the site being previously developed.

A portion of the site is being treated as redevelopment for the existing impervious from 2010. The remaining impervious areas must provide ESD to the MEP within the limit of disturbance (LOD).

Per the Ordinance, the project is required to provide WQv for 50% of the existing impervious area within the LOD and 100% of the new impervious area within the LOD. The existing impervious area is 2.72 acres therefore we must provide treatment for 1.36 acres. The proposed new impervious area within the LOD is 2.66 acres therefore we must provide treatment for 4.02 acres of impervious area which equates to 28,540 c.f. of ESDv.

Three (3) Surface Sand Filters will provide approximately 34,837 cubic feet of volume for this project.

**Quantity Management**  
The west predevelopment watershed has an area of 1.88 acres, a CN of 83 with a Tc of 6.0 minutes. The east predevelopment watershed has an area of 5.18 acres, a CN of 72 with a Tc of 6.0 minutes. The west post development watershed has an area of 3.11 acres, a CN of 87 with a Tc of 6.0 minutes. The east 1 post development watershed has an area of 3.35 acres, a CN of 93 with a Tc of 6.0 minutes. The east 2 post development watershed has an area of 1.45 acres, a CN of 77 with a Tc of 6.0 minutes. Both post development watersheds control the 2, 10 and 100 year post development runoff rates to below their respective predevelopment rates.

**Downstream Impact**  
The post-development watersheds discharge in the same locations as they currently do and drain to the same off-site locations. There will be no adverse impacts to downstream structures and properties, as the overall post development discharge rates are less than their respective predevelopment rates.

ESD PRACTICES SUMMARY TABLE

CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): REDEVELOPMENT

ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL)

TYPE	NO.	DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	ESDv (CF)	ESDv (AC, FT)	Pe ADDRESSED (IN)
SURFACE SAND FILTER	WEST	2.20	1.77	7260	0.17	1.18
SURFACE SAND FILTER	EAST 1	3.35	2.87	16654	0.38	1.67
SURFACE SAND FILTER	EAST 2	1.51	0.61	10923	0.25	4.85



MARK	DESCRIPTION	DATE
Δ	Revised per agency comments	01/03/2026

CONSERVIT INC. NORTH YARD  
SITUATED AT 18604 LESLIE DRIVE  
HAGERSTOWN, MD 21740  
WASHINGTON COUNTY, MD  
CONSERVIT INC. CO HOLDEN METZNER  
PO BOX 1517 HAGERSTOWN, MD 21742  
PHONE: 301.791.0110

PROJECT NO	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fsa-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	As Shown
SHEET TITLE	

COVER SHEET  
C-001  
SHEET 01 OF 10

GENERAL NOTES

- 1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information.

Table with utility providers and contact information: Miss Utility (1-800-257-7777), Potomac Edison (1-800-255-3443), Columbia Gas (New Business) (1-800-440-6111), Columbia Gas (Conflicts) (301) 964-1065, Verizon (301) 790-7124, Anitietam Cable (240) 420-2082, Washington County Engineering Department (240) 313-2430, Washington County Soil Conservation District (301) 797-6821.

- 8. The contractor shall be responsible for coordination of his construction with the construction of other contractors.
9. Site benchmark survey iron pin & cap 524.49'.
10. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
11. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.

DIVISION OF PLAN REVIEW & PERMITTING NOTES

- 1. In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
2. This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.

FIRE DEPARTMENT NOTES

- 1. Construction occurring on this site shall comply with NFPA 241, standard for safeguarding construction, alteration, and demolition operations, and chapter 16 of NFPA 1, uniform fire code.
2. No open burning is permitted. Permits are required to perform blasting operations within the city of Hagerstown.

STANDARD UTILITY NOTES:

- 1. Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
2. Contractor to place excavated materials in a dump truck and hauled to an approved location to wasted materials to paved areas.
3. Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.

- 1. A Pre-Construction meeting, Interim (Water Quality) Inspection, and a Final Site Close Out Review are required for all projects with soil disturbances greater than 15,000 square feet or 500 cubic yards of cut or fill.
2. All soil erosion/sediment control measures, grading, stabilization and soil erosion and sediment control practices (BMP's) shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.

ZONING DATA

ZONING DISTRICT: IG - INDUSTRIAL GENERAL
BUILDING HEIGHT: 100 FT
MINIMUM YARD SETBACK: FRONT 50 FT, SIDE 100 FT, REAR 100 FT

\* WHERE THE PROPOSED USES OR BUILDING ABUT A LOT ZONED FOR OR OCCUPIED BY A DWELLING
BOARD OF ZONING APPEALS' CASE: NONE

SITE DATA

Table with site details: TAX MAP - GRID - PARCEL: 0062-0005-0239, ELECTION DISTRICT: 10, ACCOUNT NUMBER: 027713, AREA SUMMARY: 13.38 Ac, DISTURBED AREA: 357,192 SF / 8.20 Ac, EXISTING IMPERVIOUS: 118,540 SF / 2.72 AC (20.33%), PROPOSED TOTAL IMPERVIOUS: 239,181 SF / 5.49 AC (41.0%).

PARKING, LOADING & BICYCLE DATA

Table with parking requirements: USE: INDUSTRIAL PLANT, REQUIREMENT: 1 SPACE PER EMPLOYEE + 1 SPACE, CALCULATION: 4 EMPLOYEES X PER 350 S.F. OFFICE AND/OR SALES SPACE, REQUIRED: 4 SPACES.

ALL EMPLOYEES PARK AT THE PARKING LOT AT THE MAIN OFFICE AND USE COMPANY PROVIDED GOLF CARTS TO TRAVEL TO VARIOUS POINTS WITHIN THE WORK AREAS ON SITE. ALL EMPLOYEES ARE REQUIRED TO CLOCK IN/CHECK IN AT THE MAIN OFFICE BEFORE BEGINNING WORK AT THEIR ON-SITE DESIGNATED AREAS.

Summary of parking spaces: TOTAL REGULAR SPACES PROVIDED: 4 SPACES, TOTAL HANDICAP SPACES PROVIDED: 2 SPACES, TOTAL REQUIRED SPACES: 4 SPACES.

LEGEND

Legend table with columns: DEMO, EXISTING, PROPOSED. Lists items like SILT FENCE, SMARTFENCE 36, SMARTFENCE 42, COMPOST SILT SOXX, SWALE DIKE, FILTER LOG 8", etc.

LEGEND

Legend table with columns: EXISTING, PROPOSED. Lists items like SUBJECT BOUNDARY, BUILDING SETBACK LINE, RIGHT OF WAY, EASEMENT LINE, ADJOINER BOUNDARY, FENCE (METAL), etc.

LEGEND - ABBREVIATIONS

Table of abbreviations: AASHTO - AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS, ADS - ADVANCED DRAINAGE SYSTEM, ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIAL, AWWA - AMERICAN WATER WORKS ASSOCIATION, etc.



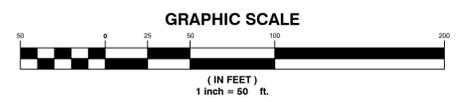
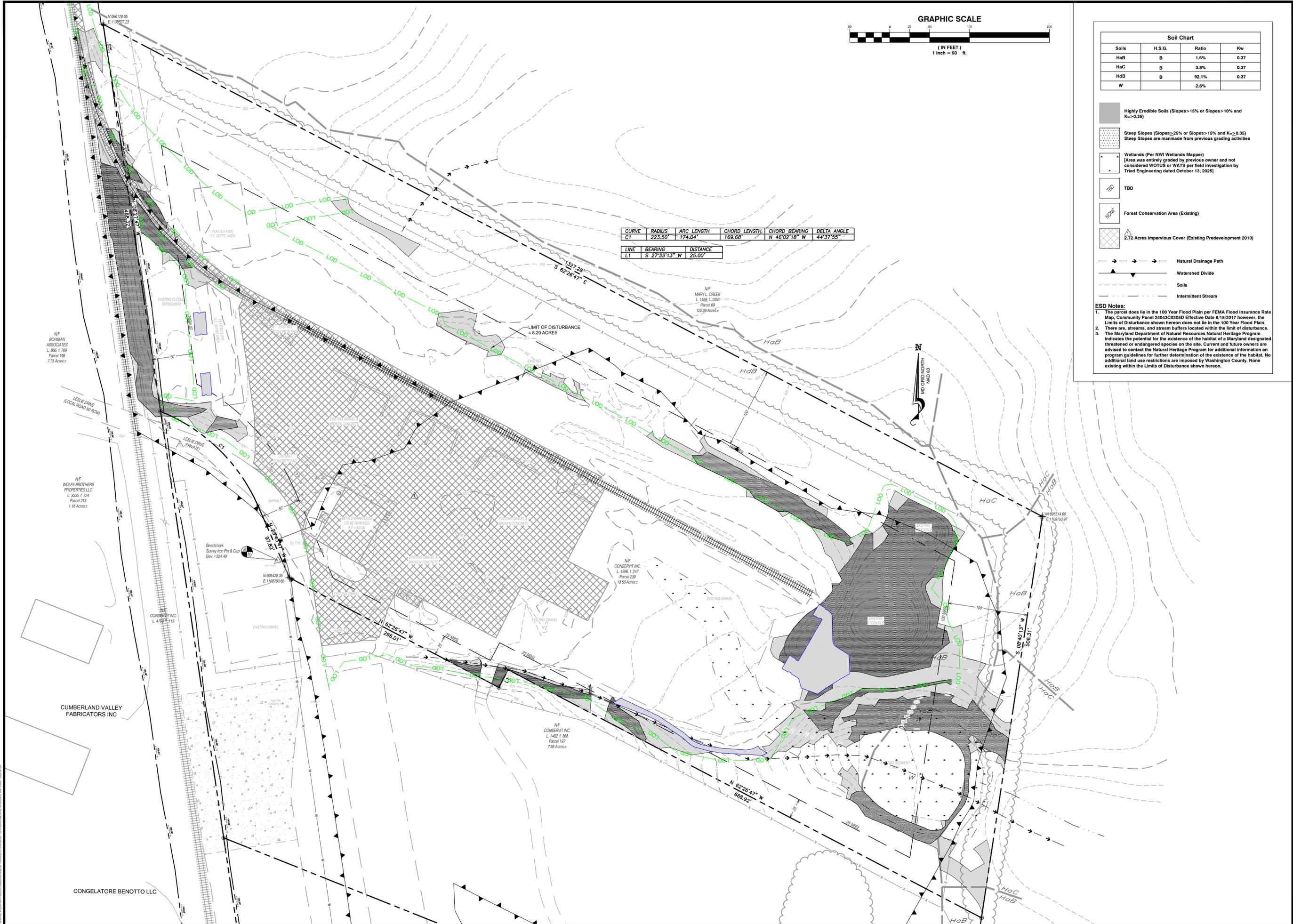
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 48542. Expiration Date: 02/24/2026.

FSA logo and company information: FREDERICK, SEIBERT & ASSOCIATES, INC. CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS. 1500 SOUTH POTOMAC STREET, WASHINGTON, MD 20004.

Table with columns: DATE, REVISION, DESCRIPTION. Shows revision 01 on 02/02/2026.

PROJECT NO: 6256.1
DWN BY: ALT
DATE: 10-07-2025
PROJECT MANAGER: T. Taylor
EMAIL: TTaylor@fsa-inc.com
PROPERTY INFORMATION: TM 62-05-239
SCALE: N.T.S.

Project title block: CONSERVIT INC. NORTH YARD, WASHINGTON COUNTY, MD. SHEET 02 OF 10.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.50	174.04	169.68	N 46°02'16" W	44°37'55"

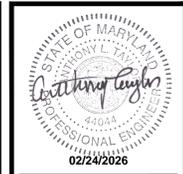
LINE	BEARING	DISTANCE
L1	S 27°33'13" W	25.00'

Soil Chart			
Soils	H.S.G.	Ratio	Kw
HaB	B	1.6%	0.37
HaC	B	3.8%	0.37
HdB	B	92.1%	0.37
W		2.6%	

- Highly Erodible Soils (Slopes > 15% or Slopes > 10% and  $K_w > 0.35$ )
- Steep Slopes (Slopes > 25% or Slopes > 15% and  $K_w > 0.35$ )  
Steep Slopes are manmade from previous grading activities
- Wetlands (Per NWI Wetlands Mapper)  
[Area was entirely graded by previous owner and not considered WOTUS or WATS per field investigation by Triad Engineering dated October 13, 2025]
- TBD
- Forest Conservation Area (Existing)
- 2.72 Acres Impervious Cover (Existing Predevelopment 2010)
- Natural Drainage Path
- Watershed Divide
- Soils
- Intermittent Stream

**ESD Notes:**

- The parcel does lie in the 100 Year Flood Plain per FEMA Flood Insurance Rate Map, Community Panel 24043C0305D Effective Date 8/16/2017 however, the Limits of Disturbance shown hereon does not lie in the 100 Year Flood Plain.
- There are, streams, and stream buffers located within the limit of disturbance.
- The Maryland Department of Natural Resources Natural Heritage Program indicates the potential for the existence of the habitat of a Maryland designated threatened or endangered species on the site. Current and future owners are advised to contact the Natural Heritage Program for additional information on program guidelines for further determination of the existence of the habitat. No additional land use restrictions are imposed by Washington County. None existing within the Limits of Disturbance shown hereon.



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 48424  
Expiration Date 02/24/2026

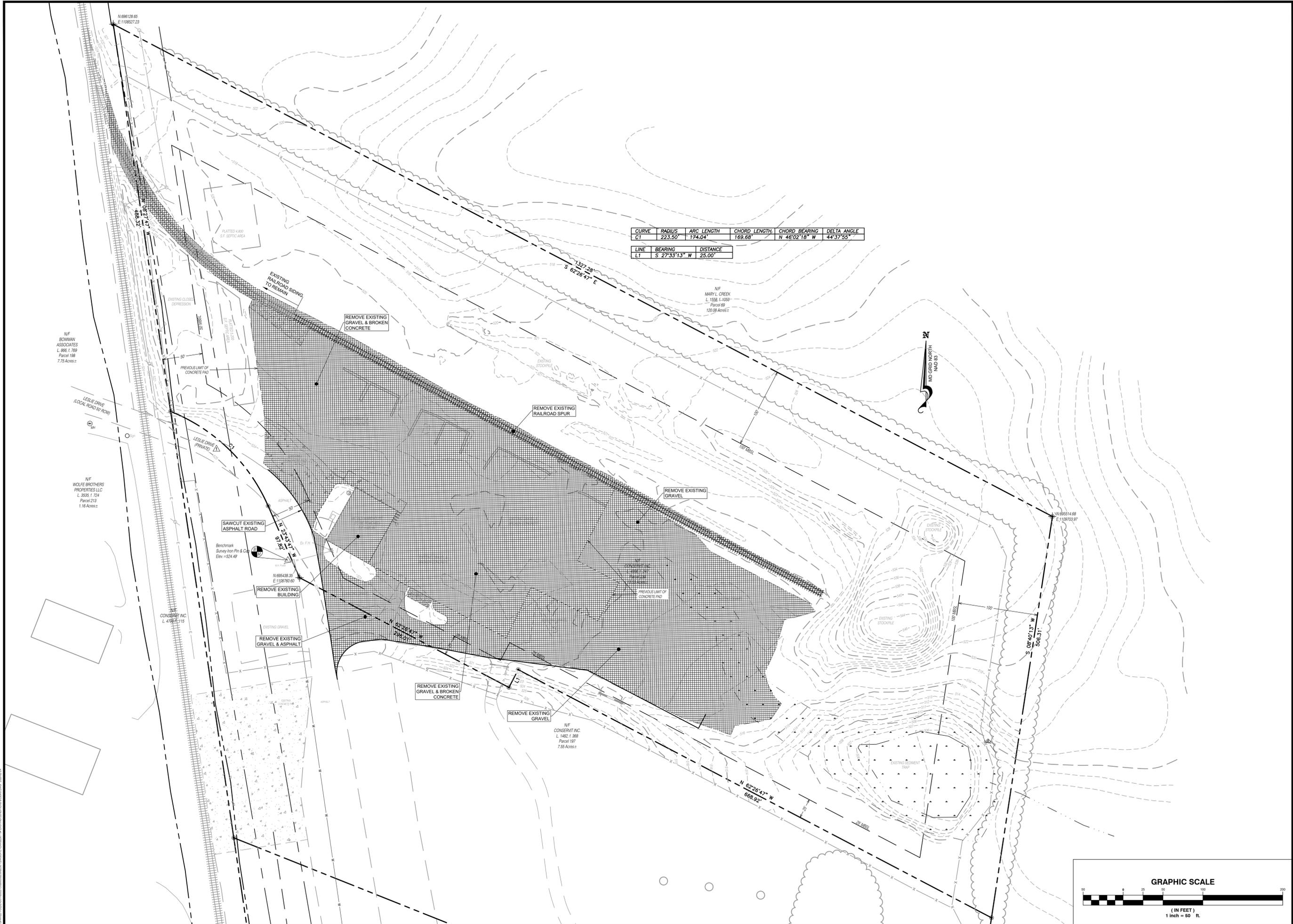
**FSA**  
**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTS • LAND PLANNERS  
 100 SOUTH POTOMAC STREET  
 SUITE 200  
 WASHINGTON, DC 20004  
 202.779.1007  
 202.779.1007

DATE	DESCRIPTION
10/07/2025	Revised per agency comments

**CONSERVIT INC. NORTH YARD**  
 SITE AT 1800 LESLIE DRIVE  
 HAGERSTOWN, MD 21740  
 WASHINGTON COUNTY, MD  
 CONSERVIT INC. CO HOLDEN METZNER  
 PO BOX 1517 HAGERSTOWN, MD 21742  
 PHONE: 301.917.0100

PROJECT NO	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fss-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	1" = 50'
SHEET TITLE	

**ENVIRONMENTAL RESOURCE MAP**  
**C-101**  
 SHEET 03 OF 10



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.50'	174.04'	169.88'	N 48°02'18" W	44°37'55"

LINE	BEARING	DISTANCE
L1	S 27°33'13" W	25.00'



Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.  
License # 110670397  
Expiration Date 02/24/2026

**FSA**  
**FREDERICK SEBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

100 SOUTH POTOMAC STREET  
 SUITE 200  
 FREDERICK, MD 21702  
 PHONE: 301.791.8000  
 FAX: 301.791.8007

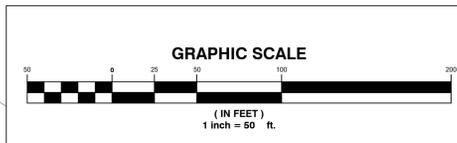
DATE	DESCRIPTION
10/03/2026	Revised per agency comments

**CONSERVIT INC. NORTH YARD**  
 SITE AT 1800 LESLIE DRIVE  
 HAGERSTOWN, MD 21740  
 WASHINGTON COUNTY, MD  
 CONSERVIT INC. CO HOLDEN METZNER  
 PO BOX 1517 HAGERSTOWN, MD 21742  
 PHONE: 301.791.0100

PROJECT NO.	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fss-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	1" = 50'

EXISTING CONDITIONS & DEMO PLAN

**C-102**  
 SHEET 04 OF 10



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PERIMETER CONTROL TABLE					
I.D.	TYPE	LOCATION	SITE SLOPE	SLOPE LENGTH	CONTROL LENGTH
SF#1	SF42	West Edge LOD Between Ex. Gravel Pad & Railroad	1%	250'	202'
SF#2	SF	South of Ex. Railroad West Side of LOD	33%	23'	95'
SF#3	SF42	North Side Proposed Railroad Along North LOD	33%	22'	925'
SF#4	SF	Northeast Corner of LOD Along Ex. Spoils Pile	33%	20'	240'
SF#5	SF42	East Side of LOD	40%	70'	285'
SF#6	SF	Southeast Corner Toe of Sand Filter	33%	27'	220'
SF#7	SF42	Southeast Corner of Proposed Gravel Pad	2%	480'	490'
SF#8	SF	Low Side of Topsoil Stockpile	33%	21'	109'
DF#1	DF	South Edge of LOD (Clearwater Diversion)	3.2% (avg.)	1.81 Ac.	490'

- STANDARD UTILITY NOTES:**
- Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
  - Contractor to place excavated materials in a dump truck and hauled to an approved location to waste materials to paved areas.
  - Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.
  - In areas where the construction takes to place outside of the existing roadbed, Contractor to install silt fence along the downhill side of the trench before beginning construction and place excavated material from the trench on the uphill side.
  - If dewatering of the trench is required, Contractor to pump water to a filter bag to dewater.
  - Contractor to sweep streets of any debris or sediments caused by construction operations and dispose of at an approved location.
  - Contractor to stabilize all disturbed areas with seed & mulch or appropriate street repair.

- STANDARD STABILIZATION NOTES:**
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:
- Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1), and
  - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

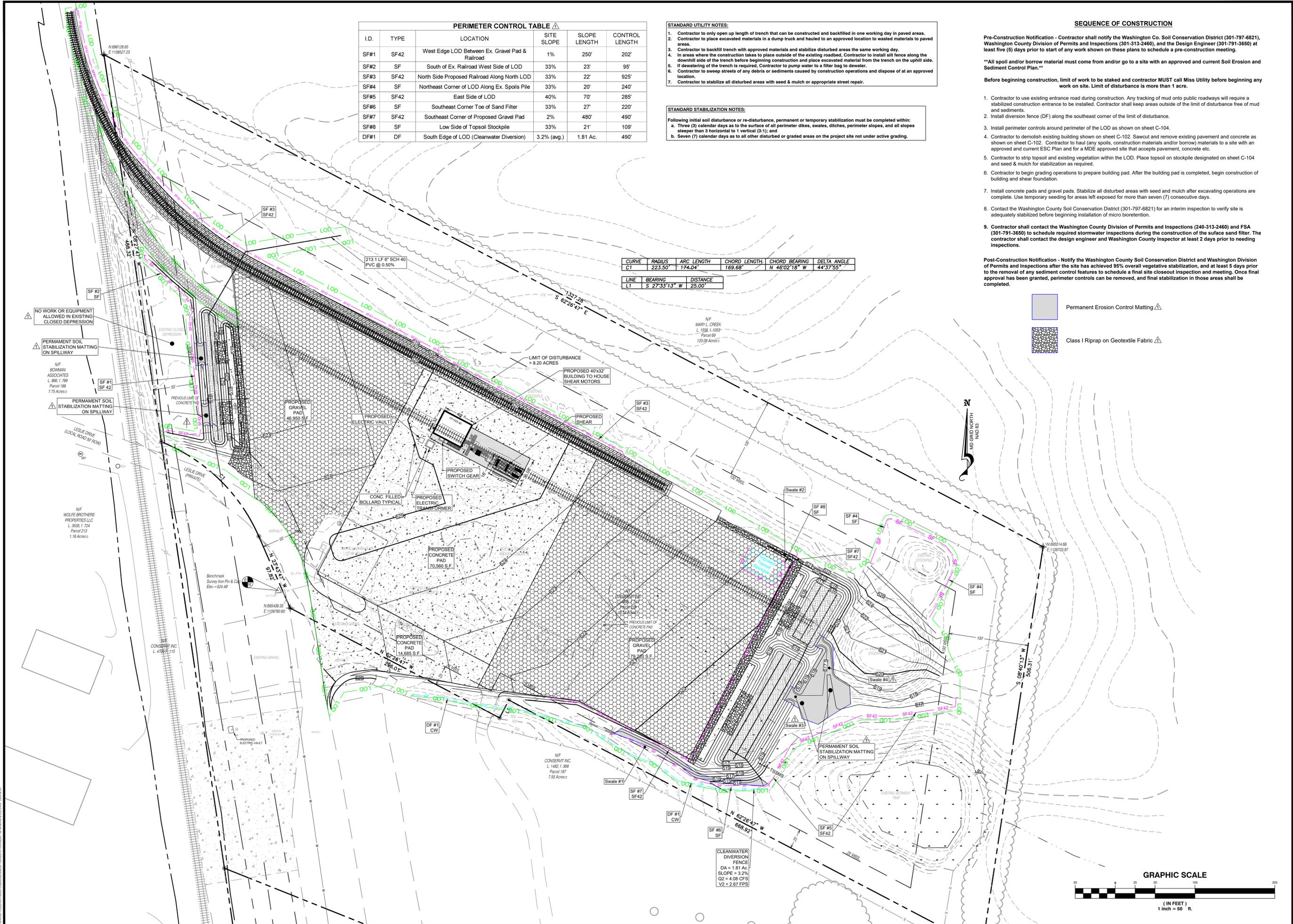
- SEQUENCE OF CONSTRUCTION**
- Pre-Construction Notification - Contractor shall notify the Washington Co. Soil Conservation District (301-797-6821), Washington County Division of Permits and Inspections (301-313-2460), and the Design Engineer (301-791-3650) at least five (5) days prior to start of any work shown on these plans to schedule a pre-construction meeting.
- \*\*All spoil and/or borrow material must come from and/or go to a site with an approved and current Soil Erosion and Sediment Control Plan.\*\***
- Before beginning construction, limit of work to be staked and contractor MUST call Miss Utility before beginning any work on site. Limit of disturbance is more than 1 acre.
- Contractor to use existing entrance road during construction. Any tracking of mud onto public roadways will require a stabilized construction entrance to be installed. Contractor shall keep areas outside of the limit of disturbance free of mud and sediments.
  - Install diversion fence (DF) along the southeast corner of the limit of disturbance.
  - Install perimeter controls around perimeter of the LOD as shown on sheet C-104.
  - Contractor to demolish existing building shown on sheet C-102. Sawcut and remove existing pavement and concrete as shown on sheet C-102. Contractor to haul (any spoils, construction materials and/or borrow) materials to a site with an approved and current ESC Plan and for a MDE approved site that accepts pavement, concrete etc.
  - Contractor to strip topsoil and existing vegetation within the LOD. Place topsoil on stockpile designated on sheet C-104 and seed & mulch for stabilization as required.
  - Contractor to begin grading operations to prepare building pad. After the building pad is completed, begin construction of building and shear foundation.
  - Install concrete pads and gravel pads. Stabilize all disturbed areas with seed and mulch after excavating operations are complete. Use temporary seeding for areas left exposed for more than seven (7) consecutive days.
  - Contact the Washington County Soil Conservation District (301-797-6821) for an interim inspection to verify site is adequately stabilized before beginning installation of micro bio-retention.
  - Contractor shall contact the Washington County Division of Permits and Inspections (240-313-2460) and FSA (301-791-3650) to schedule required stormwater inspections during the construction of the surface sand filter. The contractor shall contact the design engineer and Washington County Inspector at least 2 days prior to needing inspections.
- Post-Construction Notification - Notify the Washington County Soil Conservation District and Washington Division of Permits and Inspections after the site has achieved 95% overall vegetative stabilization, and at least 5 days prior to the removal of any sediment control features to schedule a final site closeout inspection and meeting. Once final approval has been granted, perimeter controls can be removed, and final stabilization in those areas shall be completed.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.50'	174.04'	169.68'	N 46°02'18" W	44°37'55"

LINE	BEARING	DISTANCE
L1	S 27°33'13" W	25.00'

- Permanent Erosion Control Matting
- Class I Riprap on Geotextile Fabric



**FSA**  
 FREDERICK SEBERT & ASSOCIATES, INC.  
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

100 SOUTH POTOMAC STREET  
 WASHINGTON, DC 20004  
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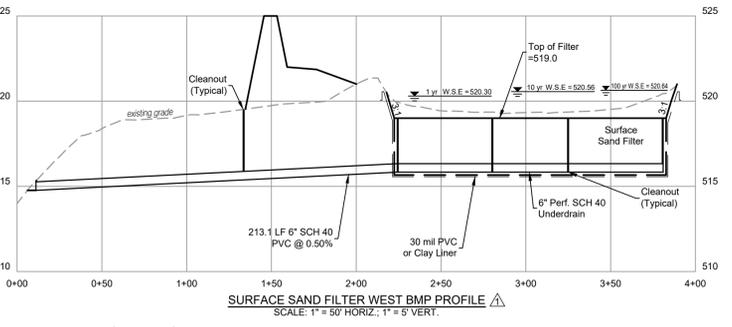
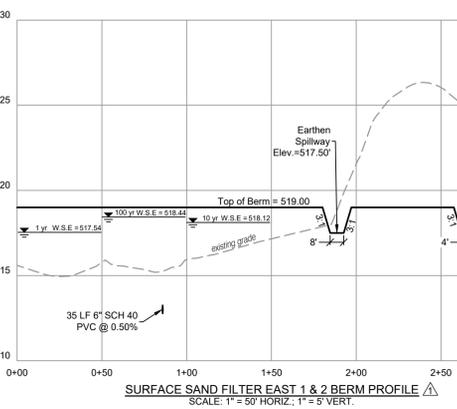
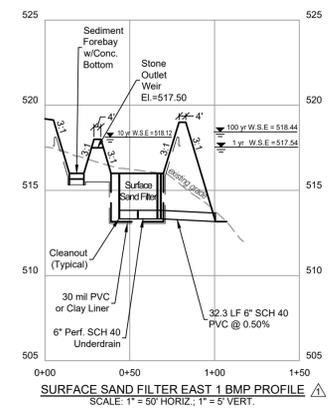
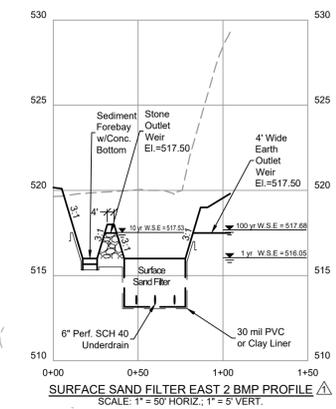
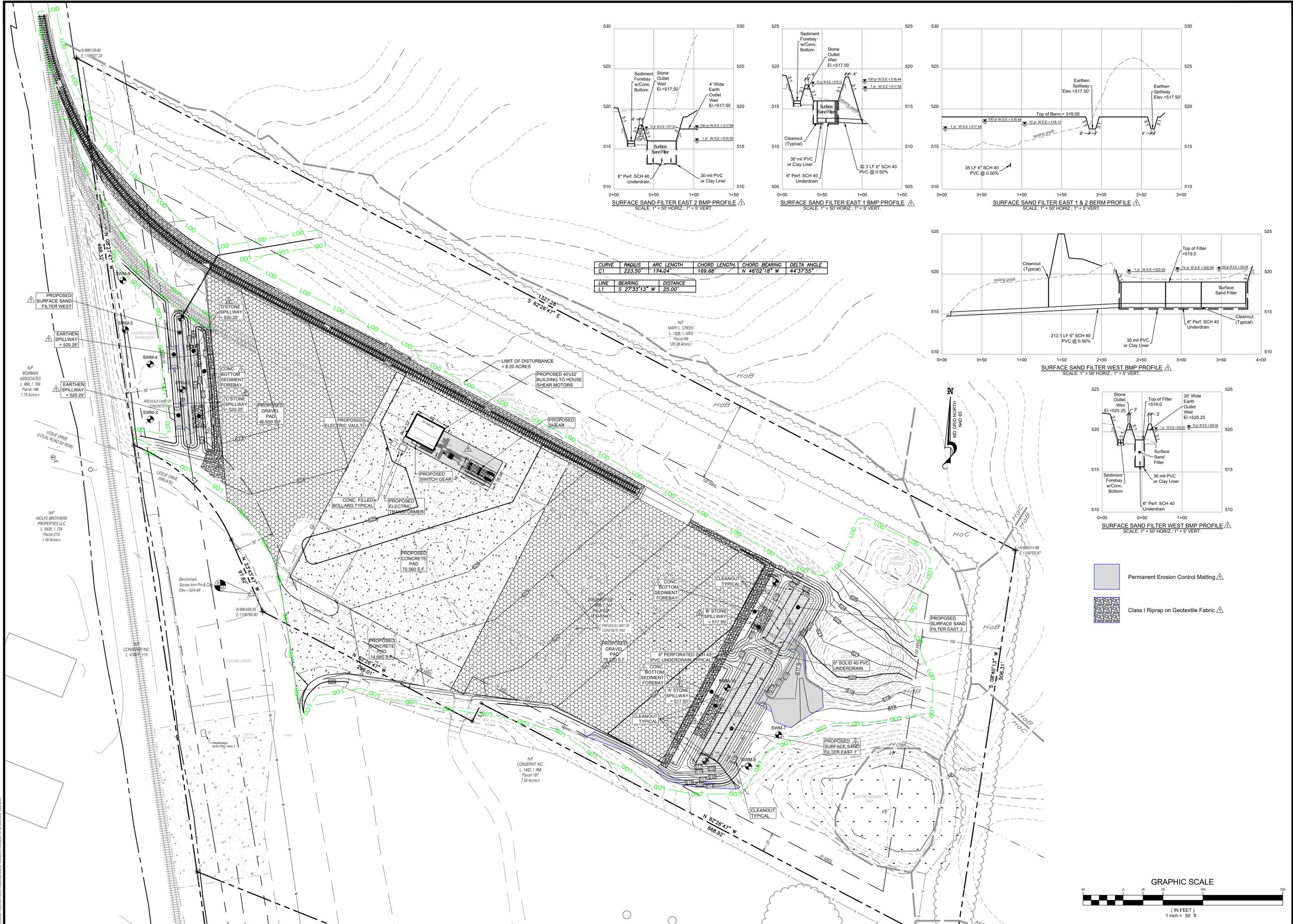
DATE	DESCRIPTION
07/03/2026	Revised per agency comments

**CONSERVIT INC. NORTH YARD**  
 SITUATE AT 1800 LESLIE DRIVE  
 HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MD  
 CONSERVIT INC. CO HOLDEN METZNER  
 PO BOX 1517 HAGERSTOWN, MD 21742  
 PHONE: 301.791.0100

PROJECT NO	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fsa-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	1" = 50'
SHEET TITLE	GRADING & ESC PLAN

**C-104**  
 SHEET 06 OF 10

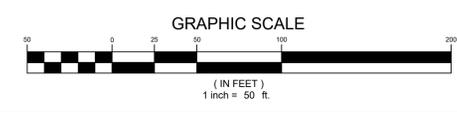


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.50'	174.04'	169.68'	N 46°02'18" W	44°37'55"

LINE	BEARING	DISTANCE
L1	S 27°33'13" W	25.00'

- Permanent Erosion Control Matting
- Class I Riprap on Geotextile Fabric



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 4424  
Expiration Date: 02/24/2026

**FS&A**  
FREDERICK SEBERT & ASSOCIATES, INC.  
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

1401 JEFFERSON AVE. SUITE 200  
FREDERICK, MD 21704  
301.791.8000

DATE	DESCRIPTION
10/03/2025	Revised per agency comments

**CONSERVIT INC. NORTH YARD**  
SITELINE AT 1800 LESLIE DRIVE  
HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MD  
CONSERVIT INC. CO HOLDEN METZNER  
PO BOX 1517 HAGERSTOWN, MD 21742  
PHONE: 301.919.0100

PROJECT NO	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fsa-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	1" = 50'
SHEET TITLE	STORMWATER MANAGEMENT PLAN

NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES				
The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.				
Inspection Item	CERTIFYING ENGINEER	BMP West	BMP East 1	BMP East 2
EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.	DATE			
	COUNTY INSPECTOR			
	DATE			
PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uplift fabric roll overlaps two (2) feet over downhill roll.	DATE			
	COUNTY INSPECTOR			
	DATE			
PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover	DATE			
	COUNTY INSPECTOR			
	DATE			
PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.	DATE			
	COUNTY INSPECTOR			
	DATE			
PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.	DATE			
	COUNTY INSPECTOR			
	DATE			
STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.	DATE			
	COUNTY INSPECTOR			
	DATE			
The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.				

Table B.3.1 Material Specifications for Sand Filters

Material	Specification/Test Method	Size	Notes
sand	clean AASHTO-M-6 of ASTM-C-33 concrete sand	0.02" to 0.04"	Sand substitution such as Diabase and Graystone #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
peat	ash content < 15% pH range: 5.2 to 4.9 loose bulk density 0.12 to 0.15 g/cc	n/a	The material must be reed-sedge hemi peat, shredded, uncompacted, uniform, and clean
leaf compost		n/a	
underdrain gravel	AASHTO-M-43	0.375" to 0.75"	
geotextile fabric (if required)	ASTM-D-4833 (puncture strength - 125 lb.) ASTM-D-4632 (Tensile Strength - 300 lb.)	0.08" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-12 (tensile strength 1100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in.) ASTM-D-471 (water absorption: +8 to -2%, mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 758, Type PS 28 of AASHTO-M-278	4" - 6" rigid schedule 40 PVC or SDR35	1/2" per 6" on center, 4 holes per row, minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f-c=3500 psi, normal weight, air-entrained, re-inforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 days strength and slump test; all concrete design (cast-in-place or precast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM-A-123

Operation and Maintenance Plan  
Bioretention & Sand Filters

Inspection Item	Inspection Requirements	Remedial Action
<b>Maintenance Access</b>		
General	Check for accessibility to facility; excessive vegetation; surface stability	Repair erosion and maintain access surface in good condition
<b>Pre-treatment</b>		
Grass filter strip or sand layer	Check for sediment accumulation	Remove sediment as needed
Optional sand layer	Check sand for staining and sediment accumulation	If contaminated, replace first three inches of sand layer
Gravel diaphragm	Check for sediment accumulation and evidence of erosion	Remove sediment and replace gravel as needed
Mulch layer	Check for a 2-3 inch mulch layer	Remove mulch and replace as needed
<b>Filter Bed</b>		
Dewatering	Check for dewatering within 48 hours of rainfall; noticeable odors; water stains on the filter surface or at the outlet; presence of algae or aquatic vegetation	Remove mulch and the top 3-6 inches of soil/sediment and replace with suitable materials per plan specifications; follow up inspection to confirm adequate dewatering; contact the plan approval authority if the facility does not function as intended
Sediment	Check for sediment accumulation	Remove sediment as needed
Mulch layer	Check for adequate cover; sediment accumulation; discoloration	Remove and replace mulch and excess sediment as needed
<b>Vegetation</b>		
Plant composition and health	Check for plant composition according to approved plans; invasive species, weeds, and dead or dying vegetation	Remove and replace plants as necessary
Vegetative cover/erosion	Check for erosion, runoff channeling, or bare spots	Repair/grade and stabilize as needed
<b>Outlets</b>		
Underdrain system	Check outlet end to ensure that discharge is not obstructed, check for erosion	Remove any flow obstructions; grade and stabilize any eroded areas to provide stable conveyance
Overflow spillway	Check for displacement of rip-rap, stable conveyance, and erosion below the outlet	Repair and replace as needed
<b>Conveyance Systems</b>		
General	Check for erosion, flow blockages or bypass, and stable conveyance	Repair/replace and stabilize as needed
Flow diversion	Check flow splitter for proper functioning	Repair as necessary
<b>Trash and Debris</b>	Check for trash and debris accumulation	Trash and debris shall be disposed of in an acceptable manner
<b>Structural Components</b>	Check for structural deterioration, spalling or cracking	Repair according to specifications on the approved plans

Field conditions may require a modification to the original approval in order to achieve the intended design function. The plan approval authority should be contacted for review and approval of all proposed modifications. Inspection and maintenance should occur after any major rain event (e.g., meeting or exceeding the design rainfall depth for the facility).

**Specifications for Bioretention & Sand Filter**  
(Reference - Maryland Stormwater Design Manual, Volume Two, Appendix B.4)

**Material Specifications**  
The allowable materials to be used in bioretention areas are detailed in Table B.4.1

**Planting Soil**  
The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:  
 • Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)  
 • Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).  
 • Clay Content - Media shall have a clay content of less than 5%.  
 • pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

**Compaction**  
It is very important to minimize compaction of both the base of the bioretention area and the required backfill. When possible, use excavation hoes to remove original soil. If bioretention areas area excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause compaction resulting in reduced infiltration rates and storage volumes and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention area facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the required sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand / topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts of 12 inches or greater. Do not use heavy equipment within the bioretention area. Heavy equipment may be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

**Plant Material**  
Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

**Plant Installation**  
Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. Root stock of the plant material shall be kept moist during transport and on-site storage. Planting pits shall follow LCA planting guidelines. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed shall be tilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling, the primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch is used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

**Underdrains**  
Underdrains should meet the following criteria:  
 • Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).  
 • Perforations - If perforated pipe is used, perforations should be 1/2" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.  
 • Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.  
 • The main collector pipe shall be at a minimum 0.5% slope.  
 • A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.  
 • A 4" layer of pea gravel (1/4" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

**Miscellaneous**  
These practices may not be constructed until all contributing drainage area has been stabilize.  
Bio-retention berms are to be constructed per the MD 378 small pond standards with respect to materials, placement, and compactions.

**Pond MD-378**  
**NRCS - MARYLAND JANUARY 2000**  
**CONSTRUCTION SPECIFICATIONS**

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

**Site Preparation**  
Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut up approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**Earth Fill**  
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #20 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out. When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within ±2% of the optimum. Each layer of fill shall be compacted as necessary to that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

**NOTES:**

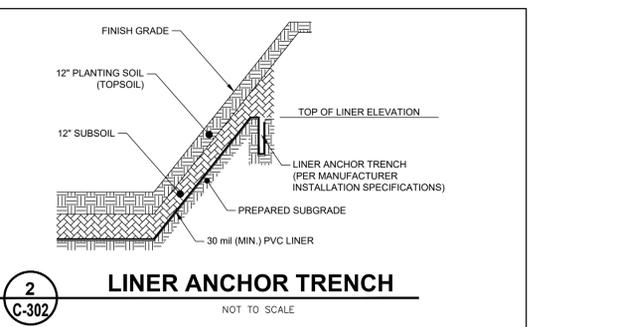
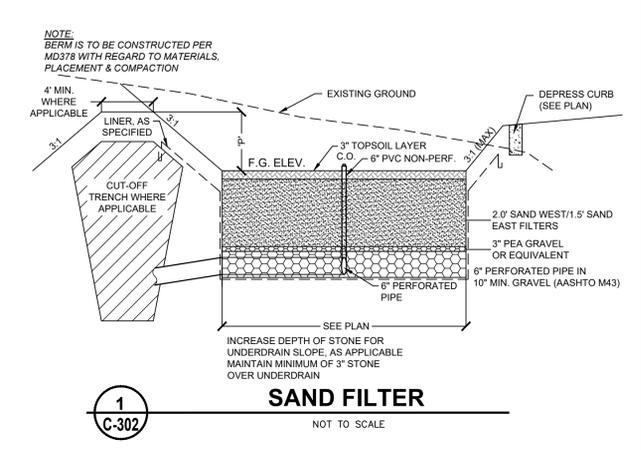
- ALL PIPE JOINTS SHALL BE WATERTIGHT.
- THE CONTRACTOR IS TO CONTACT MISS UTILITY A MINIMUM OF 2 DAYS PRIOR TO ANY DIGGING ON THE SITE. (1-800-257-7777)
- ALL GRADING ON LOT, EITHER BEFORE OR AFTER THE CONSTRUCTION OF A DWELLING OR APPURTENANCES, SHALL BE THE FULL RESPONSIBILITY OF THE LOT OWNER.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLANT EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- DEVELOPER / CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- PIPES FOR UNDERGROUND DETENTION FACILITY TO BE LAID ON PREPARED SUBGRADE WITH 12" GRAVEL OR SAND BED.
- ALL STORM DRAIN STRUCTURES (INLETS, MANHOLES, ENDWALLS, ETC.), REGARDLESS IF PRECAST OR CONSTRUCTED IN PLACE OF BRICK OR CONCRETE, SHALL BE PLACED ON A 6" DEPTH OF AASHTO NO. 57 CLEAN STONE AGITATED IN PLACE AND TO GRADE ON TOP OF FIRM UNDISTURBED SOIL SUBGRADE.
- BACKFILL MATERIAL FOR ALL STRUCTURES IN TRAFFIC BEARING OR STRUCTURAL AREAS SHALL BE MD DEPT. OF TRANSPORTATION SHA GRADED AGGREGATE-BASE. BACKFILL MATERIAL FOR STRUCTURES IN NON-TRAFFIC BEARING AREAS SHALL BE SUITABLE EXCAVATED OR BORROW SOILS.
- WHERE SPECIFIED FOR USE AASHTO NO. 57 CLEAN STONE SHALL BE AGITATED, VIBRATED, OR OTHERWISE SETTLED IN PLACE IN LIFTS OF 12" MAXIMUM. WHERE SPECIFIED FOR USE MD DEPT. OF TRANSPORTATION SHA GRADED AGGREGATE-BASE, SECTION 901.01 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SHALL BE COMPACTED BY MECHANICAL MEANS IN 6" LIFTS TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OF THE MODIFIED PROCTOR (ASTM D1557-78, OR AASHTO T-199) WITH AN IN PLACE MOISTURE CONTENT OF APPROXIMATELY 42% OF THE OPTIMUM MOISTURE CONTENT.
- A THIRD PARTY QUALIFIED PROFESSIONAL SHALL BE PRESENT AT THE PRECONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY DEPARTMENT OF PUBLIC WORKS AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES" DATED OCTOBER 17, 2008.

**NOTES:**

- DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE CITY AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIME TABLES.
- IF ROCK IS ENCOUNTERED, UNDERCUT 18" S.W.M. FACILITY AND BACKFILL WITH CL. TYPE SOIL.
- CORE TRENCH AND EARTH DAMS SHALL BE COMPACTED TO A MINIMUM 95% DRY DENSITY.
- NO TREES OR SHRUBS ARE PERMITTED ON THE EMBANKMENT.
- POND EMBANKMENT SHALL BE PLANTED WITH GRASS ONLY.
- ALL PIPE JOINTS SHALL BE WATERTIGHT. HDPE CONNECTIONS SHALL MEET THE 10.8 PSI WATER-TIGHT REQUIREMENTS OF ASTM D3212.
- ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T180A STANDARDS.
- THE CONTRACTOR IS TO CONTACT MISS UTILITY A MINIMUM OF 2 DAYS PRIOR TO ANY DIGGING ON THE SITE. (1-800-257-7777)

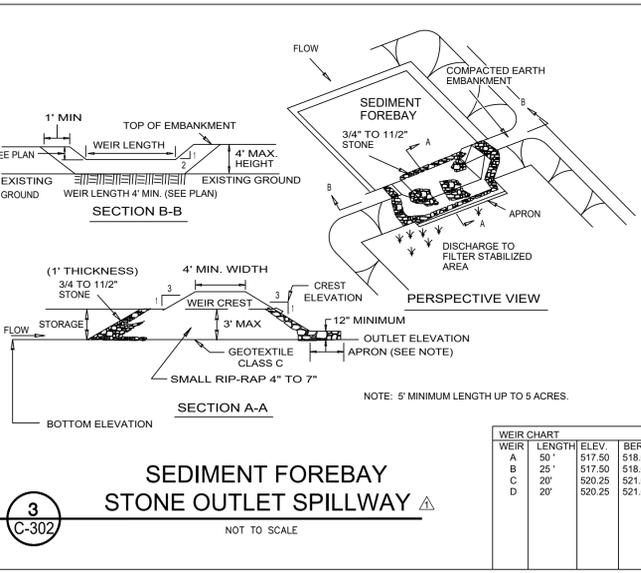
**LINER NOTES:**

- POND SHALL BE UNDERCUT FOR IMPERMEABLE LINER INSTALLATION.
- LINER MATERIAL WILL BE DETERMINED BY GEOTECHNICAL ENGINEER. IMPERVIOUS LINER INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SITE GEOTECHNICAL ENGINEER SHALL DETERMINE IF A CLAY LINER CAN BE INSTALLED VERSUS 30 MIL HDPE LINER.
- PREPARED SUBGRADE SHALL BE SMOOTH, ROCK AND DEBRIS FREE PER THE LINER SPECIFICATIONS.
- A LINER SHALL EXTEND, AT A MINIMUM, TO THE 10 YR. W.S. ELEVATION.
- THE CONTRACTOR IS TO FOLLOW ALL MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR THE ANCHORING OF THE LINER AT THE TERMINUS.
- THE CONTRACTOR IS TO FOLLOW ALL MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR THE ATTACHMENT OF THE LINER TO PIPES AND INLETS. WATERTIGHT CONNECTIONS ARE REQUIRED FOR ALL CONNECTIONS AND SEAMS OF THE LINER.



**Stormwater Management Facilities Construction Inspection Requirements**

- The developer/contractor shall notify the Division of Public Works ("DPW") at least five (5) days before commencing any work in conjunction with the approved final stormwater management plan and upon completion of the project when a final inspection will be conducted.
- Regular inspections shall be made and documented for each structural ESD planning technique and practice and structural stormwater measures every 2 weeks and at the required critical inspection stages identified in the attached checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance.
- All non-structural practices shall be inspected, at a minimum, upon completion of final grading, the establishment of permanent stabilization, and before issuance of use and occupancy permit.
- Inspections shall be conducted by DPW, the MDE (as applicable), and by the Verifying Professional. Inspections performed by the DPW are not to be considered a substitute for those inspections required by the Verifying Professional. Written inspection reports shall be prepared by the Verifying Professional during construction of ESD planning techniques and practices plans. Copies of all inspection reports shall be provided to DPW by the person performing the inspection and kept on file with DPW.
- Written inspection reports are required and shall be submitted in a manner consistent with the Public Works Agreement and this Article and in a format approved by DPW, and shall include, at a minimum:
  - The date and location of the inspection;
  - Work observed;
  - Photos;
  - Tests performed;
  - Whether construction was in compliance with the approved stormwater management plan;
  - Any variations from the approved construction specifications;
  - Any violations that exist;
  - Signature and date of Verifying Professional.
- Failure to comply with these inspection requirements and/or obtain approval from the Verifying Professional or DPW at the required construction stages will result in disapproval of the facility, delays of final acceptance and permit release.
- The developer, DPW, the MDE, Verifying Professional, and on-site personnel shall be notified in writing when violations are observed. Written notification shall be made by the person discovering the violation and shall describe the nature of the violation and the required corrective action. No further work affected by the violation shall proceed until the corrective action is inspected and approved in writing by the Verifying Professional, the Division, MDE (as applicable), and the District (as applicable).
- DPW may require adjustments to address items overlooked or inappropriately addressed by the plans. Such adjustments may be required during construction or at the final inspection.
- The County may require a revision to the approved construction drawings or site plans be submitted and approved by the DPW, the Division of Planning and Community Development (as applicable), the MDE (as applicable) and the District prior to continuation of construction activity.
- No work shall proceed beyond the construction stages specified in attached Checklists and the Washington County SWM, Grading, Soil Erosion and Sediment Control Ordinance until DPW and the Verifying Professional inspect and approve the work previously completed and the Verifying Professional furnishes the DPW and developer with the results of the inspection reports as soon as possible after completion of each required inspection.



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 4454  
Expiration Date: 02/24/2026

for the use of:  
**ES&A**  
 ENGINEERING, SURVEYING, LANDSCAPE ARCHITECTS & LAND PLANNERS  
 FREDERICK SEIBERT & ASSOCIATES, INC.  
 100 SOUTH HANOVER STREET  
 SUITE 200 BALTIMORE, MARYLAND 21201  
 PHONE: 410.771.2923  
 FAX: 410.771.2924

DATE:	REVISION:
10/03/2008	Revised per agency comments

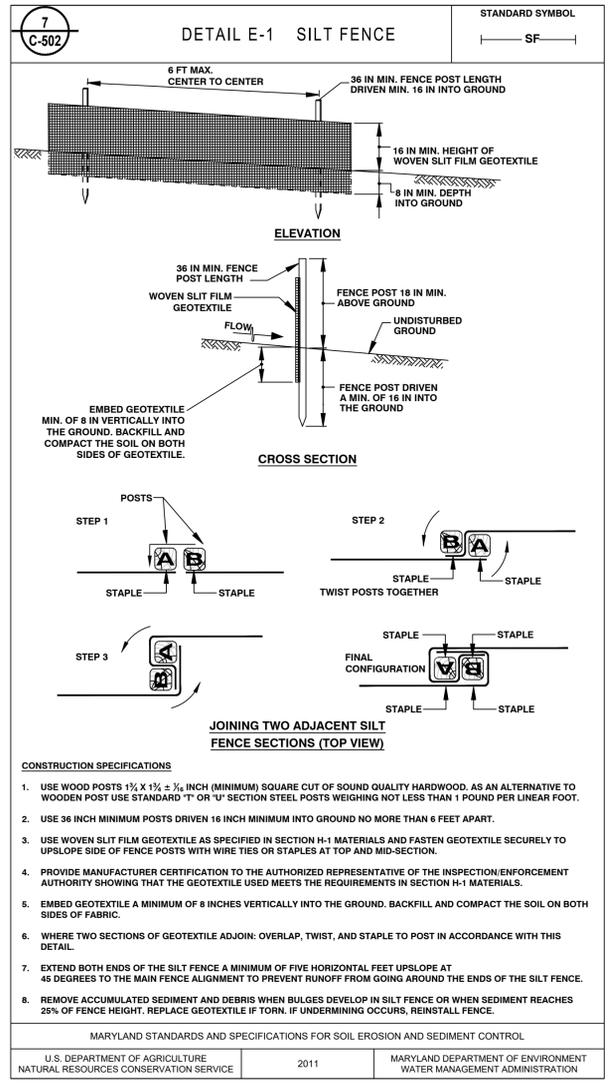
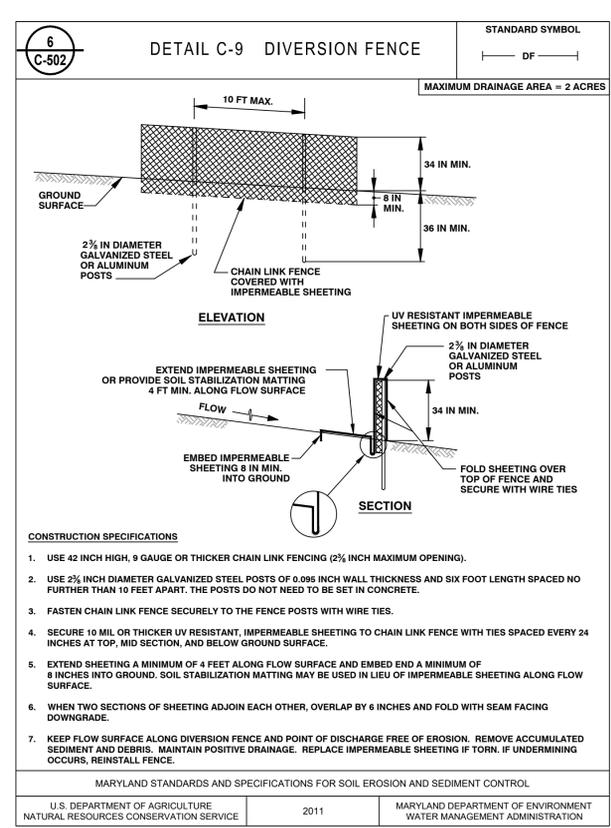
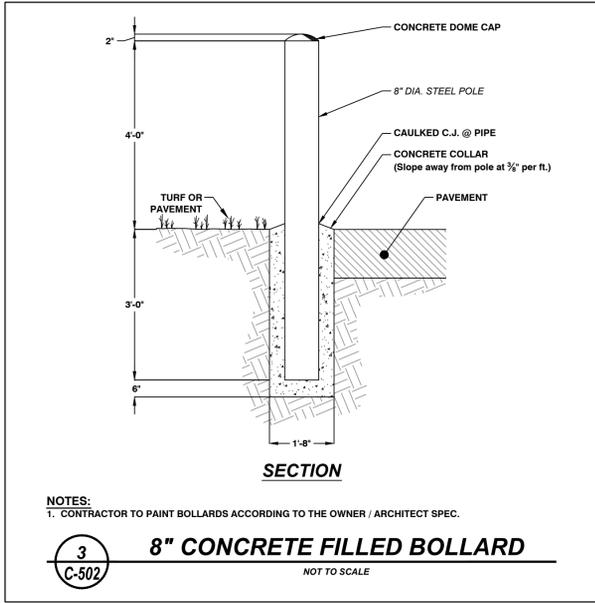
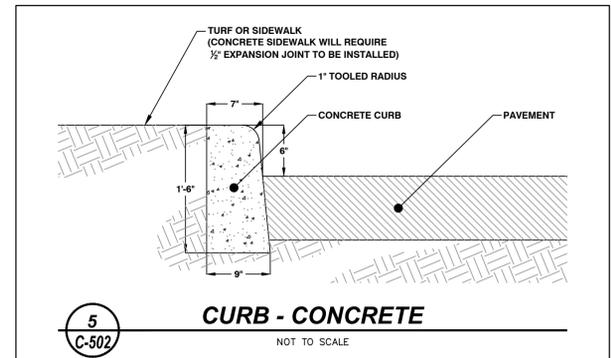
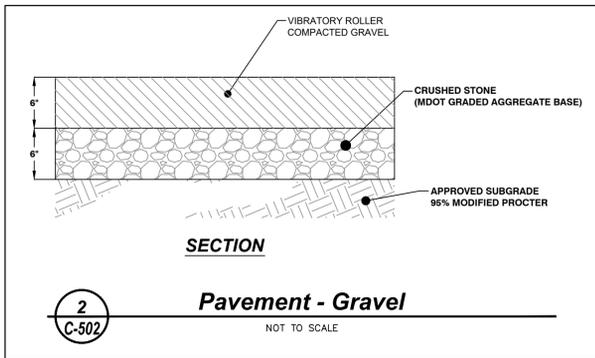
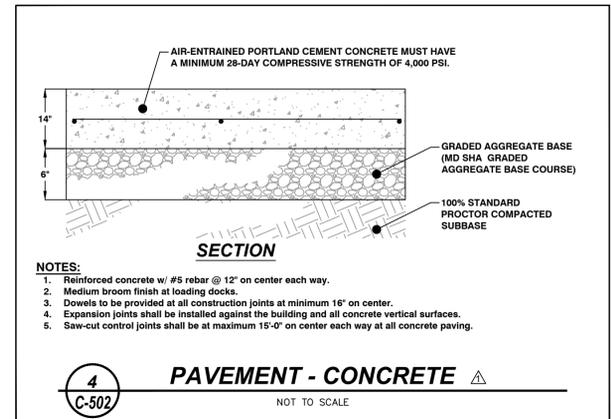
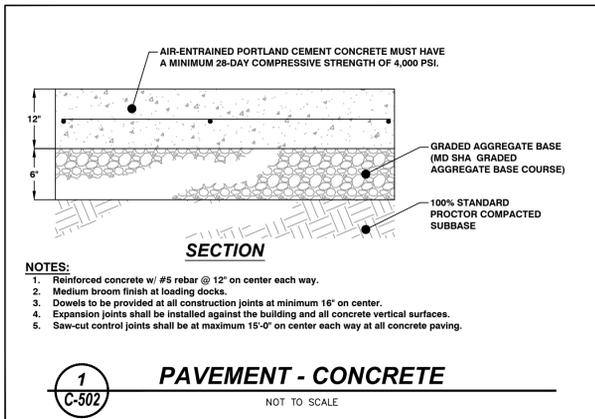
**CONSERV INC. NORTH YARD**  
 11001 LESLIE DRIVE  
 HAGERSTOWN, MD 21740  
 WASHINGTON COUNTY, MD  
 CONSERV INC. CO. HOLDER METZNER  
 PO BOX 1517 HAGERSTOWN, MD 21742  
 PHONE: 301.261.0100

PROJECT NO: 6256.1  
 DWN BY: ALT  
 DATE: 10-07-2025  
 PROJECT MANAGER: T. Taylor  
 EMAIL: T.Taylor@esa-inc.com  
 PROPERTY INFORMATION  
 TM 62-05-239

SCALE: N.T.S.  
 SHEET TITLE: STORMWATER DETAILS & NOTES

**C-302**  
 SHEET 08 OF 13





Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 44542  
Expiration Date 02/24/2026

**FSA**  
FREDERICK SEIBERT & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS • LAND PLANNERS  
128 SOUTH POTOMAC STREET  
FREDERICK, MARYLAND 21702  
PHONE: 301.791.8000  
FAX: 301.791.8007  
WWW.FSA-INC.COM

DATE	DESCRIPTION
02/18/2026	Revised per client changes

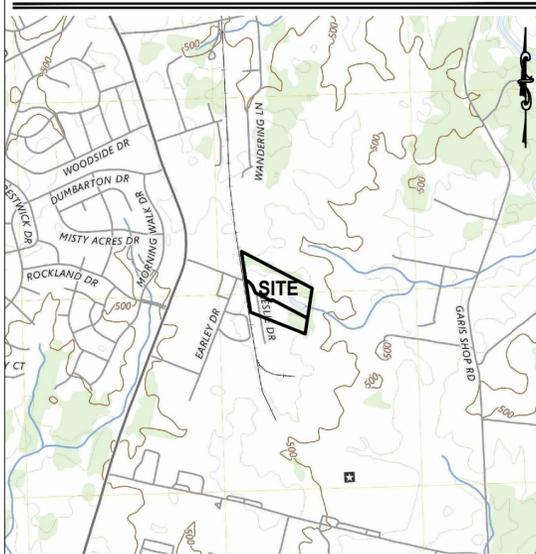
**CONSERVIT INC. NORTH YARD**  
SITUATE AT 16801 LESLIE DRIVE  
HAGERSTOWN, MD 21740  
WASHINGTON COUNTY, MD  
CONSERVIT INC. CO HOLDEN METZNER  
PO BOX 1517 HAGERSTOWN, MD 21742  
PHONE: 301.791.0100

PROJECT NO	6256.1
DWN BY	ALT
DATE	10-07-2025
PROJECT MANAGER	T. Taylor
EMAIL	TTaylor@fss-inc.com
PROPERTY INFORMATION	TM 62-05-239
SCALE	N.T.S.
SHEET TITLE	

ESC & SITE  
DETAILS & NOTES  
C-502  
SHEET 10 OF 10

# VICINITY MAP

ADC MAP 26, D4  
SCALE: 1" = 2,000'  
USGS MAP: FUNKSTOWN, MARYLAND



## LONG TERM PROTECTION NOTES

Long term protection for land shown hereon as Existing Forest or Afforestation Areas shall be provided by way of a perpetual conservation easement. This deed restriction, recorded with the land records of this property, limits the use of the existing forest and afforestation areas to those activities which are consistent with the conservation of forest such as recreational activities, forest management, and wildlife management. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of forest, or inhibition of its natural growth are permitted in the forest areas. The County or its agents are authorized to inspect the Forest Conservation and Afforestation Easement Areas. A Proposed 15 foot Right-of-way to serve as access for the purpose of ingress and egress of the Existing Forest and Afforestation Areas.

## FORESTATION NOTES

- Forest areas shown hereon have been reviewed and approved by the Washington County Planning Commission and are in compliance with the requirements of the Washington County Forest Conservation Ordinance. Clearing of forested areas have not been approved. Those areas noted as "Forest Retention Areas" are not to be disturbed by a regulated activity as defined in the Forest Conservation Ordinance until that regulated activity and its associated forest disturbance is reviewed and approved by the Washington County Planning Commission according to the requirements and standards of the Forest Conservation Ordinance in effect at the time.
- Property owners are advised that there are penalties and fines associated with violation of these restrictions. Activities of a recreational or passive nature, as long as there is no forest disturbance, removal of the existing forest, or inhibition of its natural growth processes are permitted in these forest areas.
- This note or reference to its existence on this plat shall be included in each and every deed of conveyance for any lot shown on this plat.
- The Retention Area shown on this plat is to be retained by the respective property owners in a natural forested condition, pursuant to the Washington County Forest Conservation Ordinance of 1993. Furthermore, the use of the Retention and Planting Area shall be limited to forest conservation practices activities which are consistent with the preservation of the Retention Area as natural forest land, as stipulated by the same Ordinance.

## QUALIFIED PROFESSIONAL

I certify that I am a qualified professional per requirements of COMAR 08.19.06.01 for qualified professional status and, therefore, am qualified to prepare the attached Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision using the methods provided by the Washington County Forest Conservation Ordinance and Forest Conservation Manual. I certify that this Forest Conservation Plan is accurate and complete.

*Dustin Horst*  
Dustin Horst Date: 02-05-2026

## FOREST CONSERVATION SEQUENCE OF CONSTRUCTION

- All temporary protection devices and/or permanent devices shall be put into place.
  - Permanent signage will be placed as shown on the plan around the perimeter of the entire Forest Area within 30 days of subdivision plat approval and/or completion of construction.
  - During any building or site construction, the forest retention area(s) shall be protected by highly visible, well anchored temporary fencing.
  - All temporary fencing shall be in place prior to any grading or land clearing.
  - All temporary fencing shall be maintained throughout construction and until all graded areas have been stabilized.
  - Attachment of signs or any other objects to trees is prohibited.
  - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- A pre-construction meeting will be required after the boundaries of the limits of disturbance have been staked and flagged, the forest protection devices have been installed, and before any disturbance has taken place on the site. It is the owner and/or developer's responsibility to arrange for the pre-construction meeting. The owner and/or developer shall contact the Washington County Planning and Zoning Department (240-313-2430) for inspection of the installed devices prior to the start of construction with at least five (5) days notice. If the inspection reveals improperly installed protection devices, corrections will have to be made and re-inspected prior to the start of construction.
- Once approval has been granted by the Washington County Plan Review & Permitting Department, clearing and/or grading of the site for construction of street, utility, and building areas may commence.
- A post-construction meeting will be required after all construction has ceased and graded areas have been stabilized, all temporary protective devices shall be removed and replaced with the appropriate permanent signage. It is the owner and/or developer's responsibility to arrange for the post-construction meeting. The owner and/or developer shall contact the Washington County Department of Plan Review and Permitting (240-313-2430) for inspection of the final installed devices with at least five (5) days notice. If the inspection reveals improperly installed permanent protection devices, corrections will have to be made and re-inspected prior to the completion of site stabilization.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.39'	174.02'	169.65'	N 46°02'44" W	44°37'55"

LINE	BEARING	DISTANCE
L1	S 27°33'13" W	25.00'
L2	N 23°43'47" W	97.82'

NOTE: The remaining forest requirement for this development is 0.42 acres (18,295.2 s.f.). It will be mitigated by pay-in-lieu (PIL) fee into the Washington County Forest Conservation Fund in the amount of \$5,488.56. This amount was determined at the rate of 30 cents per square foot.

## FORESTATION TABLE

<b>FOREST REQUIRED</b>	<b>2.92 AC.±</b>
<b>FOREST PROVIDED</b>	<b>2.50 AC.±</b>
<b>EASEMENT #1</b>	<b>1.92 AC.±</b>
<b>EASEMENT #2</b>	<b>0.58 AC.±</b>
<b>TOTAL FOREST PROVIDED</b>	<b>2.50 AC.±</b>

NOTE: The "Total Tract Area" within the Forest Conservation Worksheet is larger than the Limit of Disturbance (8.2 ac.) due to the previous forest clearing and unpermitted disturbance. This plan is addressing forest mitigation for the previous forest clearing and the proposed site development from the Site Plan for Conservit Inc. North Yard SP-25-042.

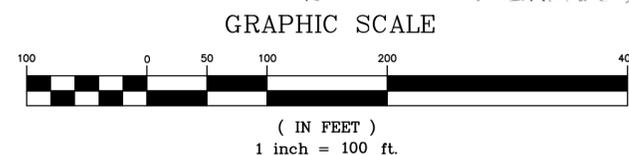
## FOREST CONSERVATION WORKSHEET 2.2

<b>NET TRACT AREA</b>	
A. Total Tract Area	= 9.41 Ac.
B. Deductions	= 0.00 Ac.
C. Net Tract Area	= 9.41 Ac.
<b>LAND USE CATEGORY, CIA</b>	
D. Afforestation Threshold ( Net Tract Area x 15% )	= 1.41 Ac.
E. Conservation Threshold ( Net Tract Area x 15% )	= 1.41 Ac.
<b>EXISTING FOREST COVER</b>	
F. Existing Forest Cover within the Net Tract Area	= 1.78 Ac.
G. Area of Forest Above Conservation Threshold	= 0.37 Ac.
<b>BREAK EVEN POINT</b>	
H. Break Even Point	= 1.49 Ac.
I. Forest Clearing Permitted Without Mitigation	= 0.29 Ac.
<b>PROPOSED FOREST CLEARING</b>	
J. Total Area of Forest to be Cleared	= 1.78 Ac.
K. Total Area of Forest to be Retained	= 0.00 Ac.
<b>PLANTING REQUIREMENTS</b>	
L. Reforestation for Clearing Above the Conservation Threshold	= 0.09 Ac.
M. Reforestation for Clearing Below the Conservation Threshold	= 2.82 Ac.
N. Credit for Retention above the Conservation Threshold	= 0.00 Ac.
P. Total Reforestation Required	= 2.92 Ac.
Q. Total Afforestation Required	= 0.00 Ac.
R. Total Planting Requirement	= 2.92 Ac.
or 127,195.2 S.F.	

LINE	BEARING	DISTANCE
FL1	S 62°26'47" E	1257.11'
FL2	S 08°40'13" W	506.31'
FL3	N 62°26'47" W	56.33'
FL4	N 09°58'17" E	69.52'
FL5	N 38°53'05" E	51.28'
FL6	N 08°00'11" E	51.75'
FL7	N 18°47'43" W	54.46'
FL8	N 09°16'29" E	216.34'
FL9	N 28°09'31" W	39.02'
FL10	N 62°38'20" W	515.78'
FL11	N 62°34'08" W	488.70'
FL12	N 62°37'25" W	153.21'
FL13	N 09°28'17" W	65.12'
FL14	S 32°15'14" W	101.26'
FL15	N 70°36'19" W	74.06'
FL16	N 22°44'38" W	50.00'
FL17	N 19°04'17" E	63.19'
FL18	N 08°39'23" W	40.87'
FL19	N 20°11'39" E	95.45'
FL20	S 62°18'09" E	68.97'
FL21	S 29°30'06" E	61.56'
FL22	S 12°25'54" W	53.06'
FL23	S 22°57'49" E	40.54'

## SPECIMEN TREES

NUMBER	SIZE	COMMON NAME
ST1	31.0"	COMMON HACKBERRY, SAVE
ST2	31.6"	COMMON HACKBERRY, SAVE
ST3	31.0"	COMMON HACKBERRY, SAVE
ST4	38.6"	BLACK WALNUT, SAVE



# CONSERVIT, INC.

SITUATE ALONG THE EASTERN END OF LESLIE DRIVE  
EAST OF SHARPSBURG PIKE AND NORTH OF ROXBURY ROAD  
WASHINGTON COUNTY, MARYLAND

CONSERVIT, INC.  
PO BOX 1517 HAGERSTOWN, MD 21742  
ATTN: CHESTER SMITH (301) 791-0100

PROJECT NO.	6256.1
DWN BY	DWH
DATE	10-06-2025
PROJECT MANAGER	TONY TAYLOR
EMAIL	TTAYLOR@FSA-INC.COM
TAX MAP GRID/PARCEL ELECTION DISTRICT	0062-0005-0239, 10
SCALE	1" = 100'
SHEET TITLE	

## FOREST CONSERVATION PLAT

**C-101**  
SHEET 01 OF 01



FSA+  
FREDERICK, SEIBERT & ASSOCIATES, INC.  
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS  
© 2025  
16 EAST MAIN STREET  
NEW BLADES, MD 21776  
717.275.3531  
305 SOUTH HANOVER STREET  
GREENBELT, MD 21738  
717.761.8111  
20 WEST BATAVIA STREET  
GREENBELT, MD 21738  
717.597.1007  
128 SOUTH POTOMAC STREET  
HAGERSTOWN, MD 21740  
301.791.3650



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

## MEMORANDUM

---

TO: Washington County Planning Commission  
FROM: Travis Allen, Senior Planner  
DATE: April 6, 2026  
RE: Forest Conservation Mitigation Approval for Conservit – North Yard (SP-25-042)

---

Attached you will find supporting documentation for a request to meet forest conservation requirements for this project. The request is to use payment in lieu to satisfy a portion of the 2.92-acre planting requirement for the planned expansion of the recycling facility at 18604 Leslie Drive.

Enclosed for your review are two documents in support of the applicant's request. These include the forest easement plat; which shows the location of the location of onsite easements and worksheet mitigation calculations, and the justification letter from Qualified Professional Dustin Horst that make their case for the request.

Article 10.1 of the Washington County Forest Conservation Ordinance (FCO) describes the Preferred Sequence of Techniques for Mitigation for forest conservation plans. This list describes a hierarchy of of techniques ranging from onsite retention and planting to payment of fee in lieu. The overall intent of the FCO is to preserve or create as much forest onsite as is feasible within the constraints of each development project before meeting mitigation obligations offsite.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Senior Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)

**MEMO — PIL Request**

**SUBJECT — Site Plan for Conservit, Inc. North Yard  
SP-25-042**

**TO — Washington County Planning Commission**

**DATE — February 5, 2026**

**FROM — Dustin Horst**

**REMARKS:**

This site consists of approximately 41 acres with 3.67 acres of forest. The property is an industrial use consisting of a metal recycling center with little forest wrapped around the northern edge of the property. The proposed development for this site is approximately 8.2 acres beyond the existing 30 acres developed under the existing metal recycling facility. All undeveloped areas remaining are to be locked up in a forest retention easement. Due to the amount of forest clearing, an additional 0.42 acres of forest mitigation is required. All onsite reforestation, retention and afforestation have been exhausted. On behalf of the property owner, I request the remaining forest mitigation be addressed by payment-in-lieu due to the hardship as stated above.

Sincerely,



Dustin Horst



DEPARTMENT OF PLANNING & ZONING  
COMPREHENSIVE PLANNING | LAND PRESERVATION | FOREST CONSERVATION | GIS

# MEMORANDUM

---

TO: Washington County Planning Commission  
FROM: Travis Allen, Senior Planner  
DATE: April 6, 2026  
RE: Rural Business Zoning District - Land Use Change Request

---

Attached you will find supporting documentation for a request to change the permitted land use in an existing Rural Business Zoning District (RB) located at 21223 Twin Springs Drive. Rural Business Zoning Districts are established as floating zones which permit only the land uses specified at the time their creation through a rezoning map amendment. The property operated most recently as a retail plant nursery. The owner is requesting to update the RB District to authorize the use of the property as a landscaping contractor.

Enclosed for your review are two documents in support of the applicant's request. These documents include: a letter outlining the nature of their request and a concept plan for the proposed landscaping contractor operation.

The criteria for change in land use requests for RB Districts is specified in Section 5E.7 of the Washington County Zoning Ordinance. The Planning Commission must determine whether or not the proposal would constitute a significant change in the use and intensity of the property from the existing land uses that were previously authorized by the establishment of the RB District. If the requested change is not deemed significant, the applicant may proceed with the submission of a site plan and/or building permits. If the requested change is deemed significant, the applicant would first need to apply for a new rezoning to authorize the new land use on the property.

If you have questions or comments regarding this request, please contact me using the information provided below.

Travis Allen  
Senior Planner  
(240) 313-2432  
[tallen@washco-md.net](mailto:tallen@washco-md.net)

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

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WWW.WASHCO-MD.NET

**MEMO — Summary Letter**

**SUBJECT — JR Services**  
2025-0399

**FROM — Adam Hager**

This letter is to request a change in land use for 21223 Twin Spring Drive. The purpose of this letter is as best I can, detail the proposed land use (JR Services) in comparison to the previous land use (Otts Nursery).

Otts Nursery was a retail plant nursery with mulch bins on site. They also would be described as a small landscape contractor, the business had operated equipment such as dump trucks, loaders, sifters for topsoil. The combined business had approximately 16 employees in total. According to a former employee, the employees consisted of retail salespersons, estimators, designers, and installation crews. The retail nursery had approximate hours of operation from 9-5 Monday – Saturday. The traffic generated by this use would have been minimal and generated primarily by the retail nursery traffic and the 16 employees.

Attached to this letter is an aerial image from when Ott nursery was in business. It shows customer parking plants displayed for sale, multiple green houses for retail sales, mulch piles with a loader.

JR Services purchased this property because the previous use was so similar to what he does. They are landscape contractors that primarily offer residential grading and septic installation. This site will continue to offer mulch, stone, and gravel sales on a limited basis. They currently have 11 employees that will meet at this site and drive to the job site each morning. The equipment will primarily travel from job site to job site and come to this site for maintenance. The maintenance will be done in the existing barn. The only equipment that is expected to remain on site is a loader for the mulch bins. Traffic from this proposed business will be very minimal with the limited retail sales of mulch and 11 employees. This will be reduced from the previous business. The demand for water and sewer will be reduced with less employees and fewer customers at the property.

Attached to this letter is a color rendering of what JR Services is proposing. They are proposing to improve the landscape screening for the property by adding evergreens around the perimeter. The customer parking is in front of the barn and very minimal. The employee will park to the west of the barn where the equipment maintenance will take place. There is a proposed pole barn to replace the existing pole. This will be where equipment will be kept on site.

Thank you



Adam Hager  
Project manager





**CONCEPT NOTES**

- 1. THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.
- 2. THE BASE MAP COMPRISES OF GIS, AERIAL IMAGERY & TAX MAPS.
- 3. ALL DRIVEWAYS AND ENTRANCES ARE TO BE APPROVED BY THE APPROPRIATE REVIEW AGENCIES.
- 4. NO GRADING AND UTILITY STUDIES HAVE BEEN COMPLETED FOR THIS SCOPE OF WORK.
- 5. FOREST CONSERVATION HAS NOT COMPLETED FOR THIS SCOPE OF WORK.

**CONCEPT DATA**

PARCEL AREA	5.3 ACRES ±
ZONING	RB-RURAL
PROPOSED USE	EXCAVATING CONTRACTOR / RETAIL MULCH SALES
BUILDING HEIGHT	35' MAXIMUM
SETBACKS	
FRONT	40' - TWIN SPRING DRIVE 50' - JEFFERSON BOULEVARD
SIDE	25'
REQUIRED PARKING	
CONTRACTOR	1 SPACE PER EMPLOYEE 8 EMPLOYEES = 8 SPACES REQUIRED
PROPOSED PARKING	25 AUTO SPACES

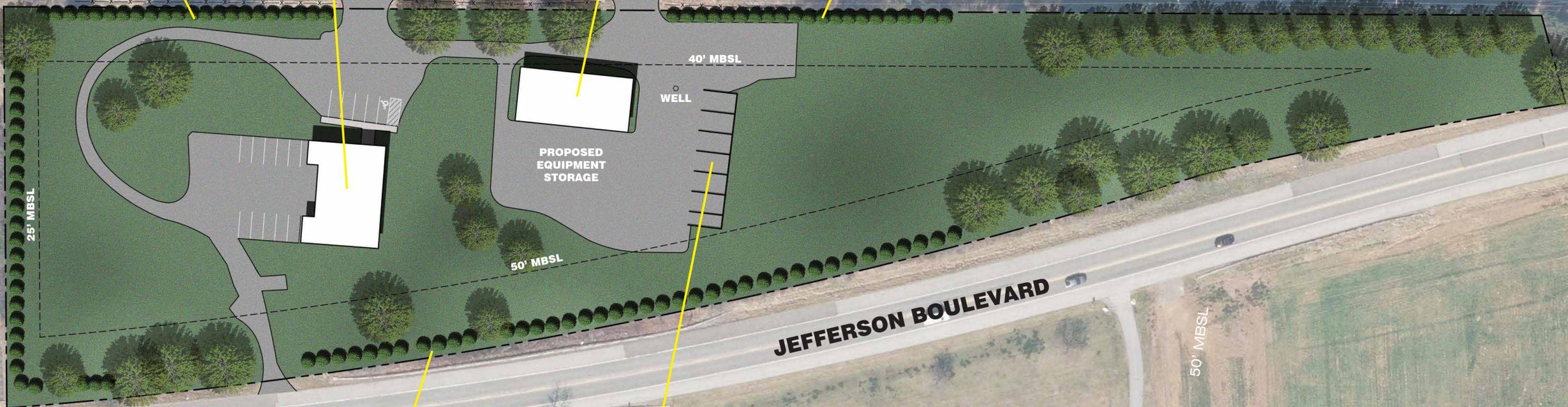
**PROPOSED EVERGREEN SCREENING**

**EXISTING BARN  
(PROPOSED OFFICE  
& STORAGE)**

**POLE BARN FOR  
STORAGE (40' X 84')**

**PROPOSED EVERGREEN SCREENING**

**TWIN SPRINGS DRIVE**



**JEFFERSON BOULEVARD**

**PROPOSED  
MULCH BINS**

**PROPOSED EVERGREEN  
SCREENING**



## *R. Lee Royer & Associates*

*Professional Land Surveying · PA - MD*

*10764 Buchanan Trail East, Waynesboro, PA 17268-9496*

*Ph. 717- 762-5619 Fax 717-762-8211*

*Email: leeroyerassociates@comcast.net*

---

Emailed Only

March 19, 2026

Washington County Planning Commission  
Attn: Scott Stotelmyer, Planner 1  
747 Northern Avenue  
Hagerstown, MD 21742

Re: S-24-012 Frazier

Dear Planning Commissioners;

Mr. Frazier is requesting to be placed on the next available Planning Commission meeting agenda for an extension to his plan request due to requirements of the County and State to be able to create this lot.

This lot is a separate lot now but to use it as a house we have to place a well on the property. In order to do that we have to cross the stream which requires a bridge. The stream crossing and bridge have been approved but the cost is such that it is not affordable at this time.

Therefore, we are asking for a 1-year extension to allow him to accumulate enough funds to build the bridge so the well can be drilled.

Please contact me to discuss any further questions or concerns here at the office. Thank you for your time in this matter.

Sincerely,

R. Lee Royer, P.S.

Cc: Eldridge Frazier, via email

**Plan Review Projects Initialized - February 01, 2026 - February 28, 2026**

Land Development Reviews								
Record #	Type	Status	Opened Date	Accepted Date	Title	Location	Consultant	Owner
AR-26-001	APFO Road Adequacy	Pending	02/05/2026		BOWMAN CEDAR SPRING/SUNFISH	16300 WORKFORCE WAY HAGERSTOWN, MD 21740		BOWMAN 2000 LLC
FS-26-003	Forest Stand Delineation	Approved	02/20/2026	2/20/2026	SIMPLIFIED FOREST STAND DELINEATION FOR SERVICE TIRE TRUCK CENTER, INC.		FREDERICK SEIBERT & ASSOCIATES	PERINI INDUSTRIAL LAND LLC
SIM26-009	IMA	Active	02/24/2026		11952 BIG SPRING ROAD CS	11952 BIG SPRING ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	CORWELL KEITH G CORWELL MELISSA M
SIM26-007	IMA	Active	02/03/2026		5415 AMOS REEDER ROAD BO	5415 AMOS REEDER ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	BIRKY GEOFFREY D
SIM26-008	IMA	Active	02/12/2026		CEDAR SPRINGS BUSINESS PARK LOTS 1 & 2	16300 WORKFORCE WAY HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN 2000 LLC
S-26-007	Preliminary-Final Plat	In Review	02/17/2026	2/20/2026	LORRAINE SUE THARP, LOT 1	923 SECURITY ROAD HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	THARP ALBERT G THARP LORRAINE SUE
S-26-008	Preliminary-Final Plat	Revisions Required	02/18/2026	2/20/2026	BUNKER LOT 2	15229 NATIONAL PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BUNKER JOHN J BUNKER LAILA S
S-26-011	Preliminary-Final Plat	In Review	02/25/2026	3/2/2026	AARON J. SCHROYER SUBDIVISION	20511 LEITERSBURG PIKE HAGERSTOWN, MD 21742	R LEE ROYER & ASSOCIATES	SCHROYER AARON J
S-26-006	Preliminary-Final Plat	In Review	02/03/2026	2/6/2026	GHATTAS ENTERPRISES, LOT 7	13620 CRAYTON BOULEV HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	GHATTAS ENTERPRISES MAUGANS AVE LMTD PTNRSHP
PWA2026-006	PWA	Active	02/17/2026		JONATHAN CASTILLO	11337 ASHTON ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	CASTILLO JONATHAN ENRIQUE
PWA2026-003	PWA	Active	02/06/2026		HAGER MEADOWS - MCDADE ROAD	17601 BROADFORDING ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	HAGER MEADOWS LLC
PWA2026-004	PWA	Active	02/06/2026		HAGER MEADOWS - BROADFORDING ROAD	17601 BROADFORDING ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	HAGER MEADOWS LLC
PWA2026-005	PWA	Active	02/12/2026		CEDAR SPRINGS BUSINESS PARK LOTS 1 & 2	16300 WORKFORCE WAY HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN 2000 LLC
PWA2026-002	PWA	Active	02/04/2026		45 W OAK RIDGE DRIVE FRONTAGE IMPROVEMENTS	45 WE OAK RIDGE DRIVE HAGERSTOWN, MD 21740	HDR ENGINEERING INC	NEWCOLD READING LLC
SP-22-032.R02	Redline Revision	Approved	02/19/2026	2/19/2026	REDLINE REVISION TO REINSTATE THE ORIGINAL BUILDING SIZE	16965 VIRGINIA AVENUE WILLIAMSPORT, MD 21795	FREDERICK SEIBERT & ASSOCIATES	VA AVE LLC C/O TED SHANK
SP-07-028.R01	Redline Revision	Approved	02/06/2026	2/10/2026	REDLINE REVISION FOR PROPOSED FRONT VESTIBULE AND REAR BUILDING ADDITION FOR EXISTING GAS STATION.	16921 HALFWAY BOULEVARD PILOT HAGERSTOWN, MD	JONATHAN LIETZKE	BOWMAN DONALD M. JR. C/O THE BOWMAN GROUP, LLP

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					Land Development Reviews			
Record #	Type	Status	Opened Date	Accepted Date	Title	Location	Consultant	Owner
SP-08-028.R02	Redline Revision	Approved	02/13/2026	2/13/2026	REDLINE TO DOCUMENT THE INTENT TO ADD A MODULAR CLASSROOM BUILDING	10745 VAN LEAR DRIVE WILLIAMSPORT, MD 21795	CUMP / TRIAD ENGINEERING	VAN LEAR BRETHERN IN CHRIST CHURCH 10743 VAN LEAR DRIVE
SI-26-004	Simplified Plat	Approval Letter Issued	02/20/2026	2/23/2026	RIDENOUR PARCELS A-C		FREDERICK SEIBERT & ASSOCIATES	RIDENOUR LIMITED LIABILITY CO
SI-26-003	Simplified Plat	In Review	02/02/2026	2/3/2026	JAMES FREDERICK YOST TESTAMENTARY TRUST	11806 OREBANK ROAD CLEAR SPRING, MD 21722	FOX & ASSOCIATES INC	JAMES FREDERICK YOST TESTAMENTARY MORRSION SCOTT ALAN TRUSTEE
SP-26-003	Site Plan	In Review	02/23/2026	2/23/2026	MINOR SITE PLAN FOR ROBERTS OXYGEN COMPANY	14515 INDUSTRY DRIVE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	2018 INDUSTRY DRIVE LLC
SGP-26-011	Standard Grading Plan	In Review	02/26/2026	3/3/2026	JANET ROBERTSON		FREDERICK SEIBERT & ASSOCIATES	ROBERTSON JANET ELLIS
SGP-26-009	Standard Grading Plan	In Review	02/02/2026	2/25/2026	ZABI HAMID	10903 SASSAN LANE HAGERSTOWN, MD 21742		HAMID ZABI KHALEEQ MALALI
SGP-26-010	Standard Grading Plan	In Review	02/11/2026	2/23/2026	FATH		COREY'S CONSTRUCTION	FATH TYLER FATH KATHLEEN
SWCP26-003	Stormwater Concept Plan	In Review	02/18/2026	2/20/2026	SERVICE TIRE TRUCK CENTER - CRAYTON BLVD			PERINI INDUSTRIAL LAND LLC
SSWP26-008	Stormwater Standard Plan	In Review	02/27/2026	3/3/2026	JANET ROBERTSON		SL KOONTZ CONTRACTORS, LLC	ROBERTSON JANET ELLIS
SSWP26-007	Stormwater Standard Plan	In Review	02/11/2026	2/23/2026	FATH		COREY'S CONSTRUCTION	FATH TYLER FATH KATHLEEN
S-26-010	Subdivision Replat	In Review	02/24/2026	3/2/2026	SHOPS AT SHARPSBURG PIKE, LOTS 2,4&6 REALLOTMENT		FREDERICK SEIBERT & ASSOCIATES	SHARPSBURG PIKE HOLDING LLC
S-26-012	Subdivision Replat	In Review	02/26/2026	3/2/2026	JONES REPLAT OF LOT 2 FOR MILLER	15712 NATIONAL PIKE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	MILLER NANCY LERU
S-26-005	Subdivision Replat	In Review	02/03/2026	2/3/2026	JONE BOWMAN, LOT 3 REPLAT	11111 HOPEWELL ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN DONALD M TRUSTEE
S-26-009	Subdivision Replat	In Review	02/18/2026	2/20/2026	HILL-N-DALE ACRES, LOT 28 REPLAT	16413 KAISER COURT HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	COOPER HERBERT L & CHRISTIE L
TYU-26-002	Two Year Update	In Review	02/04/2026	2/10/2026	LANDMARK INDUSTRIES LLC	MD ROUTE 58 E/S	FREDERICK SEIBERT & ASSOCIATES	LANDMARK INDUSTRIES LLC
GPT-26-007	Type 2 Grading Plan	Approved	02/02/2026	2/10/2026	FLETCHERS GROVE. 213 GAGE CT. LOT 3	213 GAGE COURT BOONSBORO, MD 21713	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-26-012	Type 2 Grading Plan	Approved	02/25/2026	2/27/2026	FLETCHERS GROVE. 41 EVERETT DR. LOT 34	41 EVERETT DRIVE BOONSBORO, MD 21713	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-26-011	Type 2 Grading Plan	Approved	02/25/2026	2/27/2026	FLETCHERS GROVE. 37 EVERETT DR. LOT 33	37 EVERETT DRIVE BOONSBORO, MD 21713	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN

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Land Development Reviews								
Record #	Type	Status	Opened Date	Accepted Date	Title	Location	Consultant	Owner
GPT-26-009	Type 2 Grading Plan	Approved	02/09/2026	2/18/2026	FLETCHERS GROVE. 204 GAGE CT. LOT 12	204 GAGE COURT BOONSBORO, MD 21713	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-26-006	Type 2 Grading Plan	Approved	02/02/2026	2/10/2026	FLETCHERS GROVE. 209 GAGE CT. LOT 2	209 GAGE COURT BOONSBORO, MD 21713	RICHMOND AMERICAN HOMES OF MARYLAND, INC	RICHMOND AMERICAN HOMES OF MARYLAN
GPT-26-008	Type 2 Grading Plan	Approved	02/03/2026	2/18/2026	REGENT PARK LOT 3	20158 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
GPT-26-010	Type 2 Grading Plan	Approved	02/16/2026	2/20/2026	ROSEHILL MANOR LOTS 97 & 98	13347 SNAPDRAGON WAY HAGERSTOWN, MD 21742		DAN RYAN BUILDERS MID ATLANTIC INC

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Permits Reviews							
Record #	Type	Status	Opened Date	Title	Location	Consultant	Owner
2026-00646	Entrance Permit	Pending	02/19/2026		LOR 2046 REED ROAD		HARMON LAWRENCE R HARMON HEIDI J
2026-00415	Entrance Permit	Approved	02/03/2026	STICK BUILT HOME	S-08-022 20158 REGENT CIRCLE, LOT 3		LAH CARRIAGE FORD LLC
2026-00587	Entrance Permit	Approved	02/16/2026	SEMI-DETACHED HOME	S-24-034 13347 SNAPDRAGON WAY, LOT 97		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00394	Entrance Permit	In Progress	02/02/2026	STICK BUILT HOME	S-08-022 20118 REGENT CIRCLE, LOT 13		LAH CARRIAGE FORD LLC
2026-00622	Entrance Permit	In Progress	02/18/2026	STICK BUILT HOME	LOR 18029 ALPINE DRIVE		LONG MARLIN OBRYAN
2026-00647	Entrance Permit	Review	02/19/2026	FOREST HARVEST	LOR 2046 REED ROAD		HARMON LAWRENCE R HARMON HEIDI J
2026-00652	Entrance Permit	In Progress	02/19/2026	STICK BUILT HOME	S-21-002 21105 WINCHESTER DRIVE, LOTS 12-13	WOODBIDGE HOMES LLC	
2026-00386	Entrance Permit	Review	02/02/2026		S-99-092 3424 HARPERS FERRY ROAD	PARKTON WOODLAND SERVICES	MACBRIDE SHAWN H MACBRIDE ANNMARIE C
2026-00591	Entrance Permit	Approved	02/16/2026	SEMI-DETACHED HOME	S-24-034 13349 SNAPDRAGON WAY, LOT 98		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00560	Entrance Permit	In Progress	02/13/2026	STICK BUILT HOME	S-26-005 11111 HOPEWELL ROAD		BOWMAN DONALD M TRUSTEE
2026-00667	Floodplain Permit	Review	02/20/2026	FLOODPLAIN	LOR 12630 EARTH CARE ROAD		WASH CO COMMISSIONERS
2026-00699	Floodplain Permit	Review	02/23/2026	NON-RESIDENTIAL STRUCTURE	13278 STUTZ LANE HAGERSTOWN, MD 21740		CRAIG DMITRIY CRAIG OLGA
2026-00574	Grading Permit	In Progress	02/13/2026	COMMERCIAL	SP-25-049 14704 CITICORP DRIVE		BSE STATELINE LLC
2026-00487	Grading Permit	Approved	02/09/2026	FLETCHERS GROVE. 204 GAGE CT. LOT 12	TWN-25-008 204 GAGE COURT, LOT 12		RICHMOND AMERICAN HOMES OF MARYLAN
2026-00414	Grading Permit	In Progress	02/03/2026	LYNN DILLER/LARWIN MARTIN	S-25-005 21604 JEFFERSON BOULEVARD, LOT 1		DILLER LYNN M
2026-00555	Grading Permit	Pending	02/12/2026	STICK BUILT HOME	S-86-66, CRESSPOND ROAD, LOT 8A		MULLINS GENE E JR & MULLINS TINA M
2026-00395	Grading Permit	In Progress	02/02/2026	STICK BUILT HOME	S-08-022 20118 REGENT CIRCLE, LOT 13	MARONDA HOMES OF MARYLAND, LLC	LAH CARRIAGE FORD LLC
2026-00391	Grading Permit	Approved	02/02/2026	FLETCHERS GROVE. 213 GAGE CT. LOT 3	TWN-25-008 213 GAGE COURT, LOT 3		RICHMOND AMERICAN HOMES OF MARYLAN
2026-00388	Grading Permit	Approved	02/02/2026	FLETCHERS GROVE. 209 GAGE CT. LOT 2	TWN-25-008 209 GAGE COURT, LOT 2		RICHMOND AMERICAN HOMES OF MARYLAN
2026-00561	Grading Permit	In Progress	02/13/2026	STICK BUILT HOME	S-26-005 11111 HOPEWELL ROAD		BOWMAN DONALD M TRUSTEE
2026-00588	Grading Permit	Approved	02/16/2026	ROSEHILL MANOR LOTS 97 & 98	S-24-034 13347 SNAPDRAGON WAY, LOT 97 & 13349 SNAPDRAGON WAY, LOT 98		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00653	Grading Permit	In Progress	02/19/2026	STICK BUILT HOME	S-21-002 21105 WINCHESTER DRIVE, LOTS 12-13	WOODBIDGE HOMES LLC	
2026-00535	Grading Permit	In Progress	02/11/2026	MOBILE HOME	LOR 12948 PECKTONVILLE ROAD	ANTRIM HOMES INC. DBA SMITTY'S	CLIPP WAYNE CECIL JR
2026-00729	Grading Permit	Approved	02/25/2026	FLETCHERS GROVE. 41 EVERETT DR. LOT 34	41 EVERETT DRIVE, LOT 34		RICHMOND AMERICAN HOMES OF MARYLAN
2026-00446	Grading Permit	Approved	02/05/2026	STICK BUILT HOME	S-08-022 20158 REGENT CIRCLE, LOT 3		LAH CARRIAGE FORD LLC
2026-00728	Grading Permit	Approved	02/25/2026	FLETCHERS GROVE. 37 EVERETT DR. LOT 33	37 EVERETT DRIVE		RICHMOND AMERICAN HOMES OF MARYLAN

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Permits Reviews							
Record #	Type	Status	Opened Date	Title	Location	Consultant	Owner
2026-00405	Grading Permit	Review	02/03/2026	40 WEST LANDFILL GLOBAL EROSION AND SEDIMENT CONTROL PLANS	LOR 12630 EARTH CARE ROAD		WASH CO COMMISSIONERS
2026-00461	Grading Permit	Approved	02/06/2026	THOMAS COMPANIES GRADING PERMIT	PP-24-003 17755 HALFWAY BOULEVARD		KREYKENBOHM HELEN Z
2026-00748	Non-Residential Ag Certificate	Approved	02/26/2026	FARM BUILDING	LOR 9738 DOWNSVILLE PIKE		9738 DOWNSVILLE PIKE LLC
2026-00460	Utility Permit	Approved	02/06/2026	COMCAST	17635 VALLEY MALL ROAD		PR VALLEY LIMITED PARTNERSHIP
2026-00459	Utility Permit	Approved	02/05/2026	CAVETOWN WATER LINE	11842 MAPLEVILLE ROAD		BOWMAN CAVETOWN LLC
2026-00632	Utility Permit	Review	02/18/2026	COMCAST	11661 HOPEWELL ROAD		THOMAS BENNETT & HUNTER INC
2026-00630	Utility Permit	Approved	02/18/2026	COMCAST	12014 WALNUT POINT ROAD		FUNK SHELBY KELLEY JOSHUA
2026-00580	Utility Permit	Approved	02/16/2026	COMCAST	18909 NEWHAVEN TERRACE		RADTKE MARK
2026-00538	Utility Permit	Review	02/11/2026	COLUMBIA GAS	11414 ENGLEWOOD ROAD		SCHIANODICOLA CIRO
2026-00777	Utility Permit	Approved	02/27/2026	CITY OF HAGERSTOWN UTILITIES	11007 BOWER AVENUE		BOWER AVE PROPERTIES LLC
2026-00631	Utility Permit	Approved	02/18/2026	COMCAST	14201 MAUGANSVILLE ROAD		KEENER LYNN A KEENER JUDITH H
2026-00598	Utility Permit	Approved	02/17/2026	POTOMAC EDISON	1423 OAKMONT DRIVE		TNT PROPERTIES OAKMONT LLC
2026-00674	Utility Permit	Approved	02/23/2026	POTOMAC EDISON	20409 BENT WILLOW ROAD		HALL WENDELL HALL DAWN
2026-00715	Utility Permit	Approved	02/24/2026	CITY OF HAGERSTOWN UTILITIES	10756 APPLETREE LANE		PALMER RAYMOND D II
2026-00579	Utility Permit	Approved	02/16/2026	COMCAST	18804 PERFECTION COURT		MESSERSMITH ELLSWORTH W MESSERSMITH BARBARA A
2026-00780	Utility Permit	Approved	02/27/2026	CITY OF HAGERSTOWN UTILITIES	20731 EMERALD DRIVE	CITY OF HAGERSTOWN (WATER DEPT)	SOUDERS TANYA BROWN MELVIN
2026-00633	Utility Permit	Approved	02/18/2026	COMCAST	17937 REIFF CHURCH ROAD		THOMAS BUSH BRENDA
2026-00776	Utility Permit	Approved	02/27/2026	CITY OF HAGERSTOWN UTILITIES	801 QUEEN ANNES COURT		WASHINGTON LAND CO C/O DANIEL M SHEEDY

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	Type	Total
<b>LandDev</b>	APFO Road Adequacy	1
<b>Total by Group: 38</b>	Forest Stand Delineation	1
	IMA	3
	Preliminary-Final Plat	4
	PWA	5
	Redline Revision	3
	Simplified Plat	2
	Site Plan	1
	Standard Grading Plan	3
	Stormwater Concept Plan	1
	Stormwater Standard Plan	2
	Subdivision Replat	4
	Two Year Update	1
	Type 2 Grading Plan	7
<b>Permits</b>	Entrance Permit	10
<b>Total by Group: 44</b>	Floodplain Permit	2
	Grading Permit	16
	Non-Residential Ag Certificate	1
	Utility Permit	15
<b>Total</b>		<b>82</b>