



Washington County

MARYLAND

DEPARTMENT OF PLANNING & ZONING

PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA

WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
March 2, 2026, 6:00 PM

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. February 2, 2026 Planning Commission meeting minutes * *Discussion/Action*

SITE PLANS

1. **Antietam Drive Water Trail Park [SP-25-009]** - Misty Wagner-Grillo * *Discussion/Action*
Site plan to construct a County Park at the intersection of Antietam Drive and Security Road; Zoning: RS – Residential Suburban

OTHER BUSINESS

1. Update of Projects Initialized – Jennifer Kinzer * *Information/Discussion*

ADJOURNMENT

UPCOMING MEETINGS

1. April 6, 2026, 6:00 p.m. – Washington County Planning Commission regular meeting

*attachments

Disclaimer: Copies of plans contained in this packet do not necessarily reflect the complete plan submission received by our office. The number of pages per plan may be reduced to accommodate size limitations of our website. Complete plans may be viewed in our offices by calling for an appointment.

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

WASHINGTON COUNTY PLANNING COMMISSION

REGULAR MEETING

February 2, 2026

The Washington County Planning Commission held its regular monthly meeting on Monday, February 2, 2026 at 6:00 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

CALL TO ORDER AND ROLL CALL

The Vice-Chairman called the meeting to order at 6:00 p.m.

Planning Commission members present were: Jay Miller, Vice-Chairman, Terrie Shank, Laura Lane-Unsworth, Doug Wright, Jr. and Ex-officio County Commissioner Randy Wagner. Staff members present were: Washington County Department of Planning & Zoning: Jennifer Kinzer, Interim Director; Travis Allen, Senior Planner; Misty Wagner-Grillo, Planner; and Debra Eckard, Office Manager.

NEW BUSINESS

MINUTES

Motion and Vote: Ms. Shank made a motion to approve the minutes of the January 5, 2026 Planning Commission meeting as presented. The motion was seconded by Mr. Wright and unanimously approved.

PRELIMINARY CONSULTATION

The Shops at Sharpsburg Pike, Lot 8 [PC-25-008]

Ms. Wagner-Grillo presented a concept plan for The Shops at Sharpsburg Pike, Lot 8 located off Vida Drive along the east side of Sharpsburg Pike. A preliminary consultation was held on December 3, 2025. The final subdivision plat for Lot 8 was approved in 2024. Lot 8 is 7.84 acres in size and is currently zoned HI (Highway Interchange). The developer is proposing a two-story building consisting of office, retail and restaurant space. Comments from reviewing agencies were provided in the consultation summary, which was provided to the Commission.

Discussion and Comments: Mr. Trevor Frederick of Frederick, Seibert & Associates explained that bordering Lot 8 to the east is a common open space area for the Cross Creek residential development. The developer of Lot 8 is asking if the Planning Commission would require a buffer since the adjacent lot is an open space area. There was a brief discussion regarding the buffer yard requirement. Ms. Kinzer stated that in accordance with the Zoning Ordinance, a 25-foot buffer would be required. Ms. Wagner-Grillo explained that the Zoning Ordinance states that a buffer "shall" be required; therefore, the Planning Commission may not have the authority to eliminate the requirement.

Mr. Wright believes that lights from the proposed building and its parking area could potentially trespass onto the adjacent residential properties. It was the consensus of the Commission members that a landscaping buffer should be provided.

MODIFICATIONS

The Shops at Sharpsburg Pike, Lot 2 [OM-25-013]

Ms. Wagner-Grillo presented a modification request to reduce the panhandle width of Lot 2 of The Shops at Sharpsburg Pike. Lot 2 is 1.28 acres in size and is currently zoned HI (Highway Interchange). The final subdivision plat for Lot 2 was approved in 2019. The applicant is requesting a reduction from the required 25-foot width to a width of 21-feet. The panhandle is currently not being used as an access; access for Lot 2 is from Vida Drive. In 2018, the Planning Commission approved a modification for Lot 2 to be developed as a lot without usable road frontage. The applicant is requesting a reduction in the panhandle width to allow for the adjustment of property lines for Lot 4 so a freestanding sign can be located along Vida Drive for the business located on Lot 6. Zoning Ordinance Article 22, Division II, states that a business may erect a freestanding sign providing the road frontage is 40-feet. Granting this modification would allow the developer to meet the 40-foot width requirement for Lot 6.

Discussion and Comments: Mr. Wright asked if Lot 6 is sold, will the property line that is being adjusted as part of this modification for the sign always be part of Lot 6. Mr. Frederick stated the property would be conveyed in fee simple and Lot 6 would always have the 40-foot wide panhandle.

Motion and Vote: Ms. Shank made a motion to approve the modification request as presented. The motion was seconded by Mr. Wright and unanimously approved.

FOREST CONSERVATION

Doub Farm Lots 1-6 and 7-13 [S-25-021]

Mr. Allen presented a request to remove 3 specimen trees as part of a 13-lot subdivision located at the junction of Landis Road and Whitehall Road. There is a 16.51-acre total planting requirement resulting from the disturbance of 118.76 acres of land. Mr. Allen explained that specimen trees are 30-inches in diameter at chest height and are prioritized for retention in Article 8 of the Forest Conservation Ordinance. The applicant's justification letter states that the trees are to be removed due to their proximity of the driveway for Lot 8. The proposed driveway cannot be moved due to the minimum lot size requirement of the adjacent lots. The applicant also claims that several switchbacks are needed for this driveway due to steep slopes on the property. There are currently 14 specimen trees located on the property; 11 trees are proposed for retention. Mr. Allen also noted that all forest conservation requirements will be met on site either by planting or retention.

Motion and Vote: Ms. Shank made a motion to approve the request to remove 3 specimen trees as presented. The motion was seconded by Ms. Lane-Unsworth and unanimously approved.

OTHER BUSINESS

Update of Projects Initialized

Ms. Kinzer provided a written report for land development plan review projects initialized during the month of December including four site plans.

ADJOURNMENT

Ms. Shank made a motion to adjourn the meeting at 6:30 p.m. The motion was seconded by Ms. Lane-Unsworth and so ordered by the Chairman.

UPCOMING MEETINGS

1. March 2, 2026, 6:00 p.m. – Washington County Planning Commission regular meeting

Respectfully submitted,

Jay Miller, Vice-Chairman

DRAFT



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....	Site Plan for Antietam Drive Water Trail Park
NUMBER.....	SP-25-009
OWNER.....	WASH CO COMMISSIONERS BOARD OF
LOCATION.....	
DESCRIPTION.....	Site plan to construct a County Park on the intersection of Antietam Drive and Security Road. Park consists of 11 paved parking spaces, concrete walkway to a wood elevated view platform/deck overlooking the Antietam Creek, bark mulch walkway to Antietam Creek access and improvements to two existing road culverts under Antietam Drive.
ZONING.....	Residential, Suburban
COMP PLAN LU.....	Low Density Residential
PARCEL.....	18013150
PLANNING SECTOR.....	1
ELECTION DISTRICT.....	18
TYPE.....	Unspecified Non-Residential
GROSS ACRES.....	1.49
DWELLING UNITS.....	0
TOTAL LOTS.....	1
DENSITY.....	0 Units Per Acre
PLANNER.....	Misty Wagner-Grillo
ENGINEER.....	FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....	May 28, 2025

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....	Yes
WETLANDS.....	Yes
WATERSHED.....	Antietam Creek
ENDANGERED SPECIES.....	None
STEEP SLOPES.....	No
STREAM BUFFER.....	No
HISTORIC INVENTORY.....	I123
EASEMENTS PRESENT.....	None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

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SITE DESIGN		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
24	80	
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Private Hauler Landscaping Meets Requirements
	Yes	
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	
11		
Parking Spaces - Minimum Required	Recreational Parking Provided	
8	No	

ACCESS SPACING VARIANCE NEEDED: No

SCHOOL INFORMATION			
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Pangborn	Northern	North Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			
PUBLIC FACILITIES INFORMATION			
FIRE DISTRICT.....:	Long Meadow		
AMBULANCE DISTRICT.....:	CRS		
WATER & SEWER INFORMATION			
	WATER	SEWER	
METHOD.....:	City	City	
SERVICE AREA.....:	City	City	
PRIORITY.....:	5-Long Term Planned Service	5-Long Term Planned Service	
NEW HYDRANTS.....:			
GALLONS PER DAY SEWAGE....:			
PLANT INFO.....:		Hagerstown (City)	

GENERAL NOTES

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where iron piping wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

Miss Utility	1-800-257-7777
Potomac Edison	1-800-255-3443
Columbia Gas (New Business)	1-800-440-6111
Columbia Gas (Conflicts)	(301) 964-1065
Verizon	(301) 790-7124
Antietam Cable	(240) 420-2082
Washington County Division of Engineering	(240) 313-2430
City of Hagerstown Utilities Department	(301) 739-8577 Ext. 650
Washington County Soil Conservation District	(301) 797-6821

- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- Benchmarks is an existing mag nail in the east shoulder of Antietam Drive. See Sheet C-102 for location.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown herein are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown herein due to the correction of field data.
- Load bearing fills (Class 2) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
- Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
- All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- It is to be clearly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- The existing site contours shown herein are LIDAR 1' contours and field checked by FSA in June 2023. (Contour accuracy is to plus or minus one half the contour interval).
- Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- Pole mounted exterior lighting is being proposed.
- The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
- Applicant to provide built mylars at the completion of the project.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
- There are no Board of Zoning Appeals for this property.
- Proper Stormwater management of existing submersed ground wetlands to achieve Water Quality requirements. An offsite regional pond will control the remainder of the requirements for this site.
- All existing drainage culverts and drainage easements are to be maintained and unaltered.
- This project is exempt from Washington County Landscaping Requirements (Article 22, Division XI).
- There are no habitat of threatened or endangered species identified by the U.S. Fish and Wildlife Service per 50 CFR 17 as required to be shown by section 314 of the subdivision ordinance and section 4.21 of the Zoning Ordinance.
- A Washington County Floodplain Permit will be required for the work proposed in this site plan.
- The ADA compliant raised wood deck patio/viewing platform will require its own Building Permit and corresponding Washington County Floodplain Permit.

ZONING DATA

ZONING DISTRICT RS - RESIDENTIAL SUBURBAN
 MAX BUILDING HEIGHT 35 FT
 MINIMUM YARD SETBACK:
 FRONT 40 FT.
 *SIDE 25 FT.
 *REAR 50 FT.
 *CORNER LOT FRONT YARD SETBACK ALONG BOTH STREETS. SETBACKS FROM REMAINING PROPERTY LINES SHALL BE SIDE YARDS.
 BOARD OF ZONING APPEALS' CASE NONE

SITE DATA

TAX MAP - GRID - PARCEL 0038 - 020 - 0615 & 617
 ELECTION DISTRICT 18
 ACCOUNT NUMBER 013150 & 010933
 LIBER / FOLIO 06731 / 0431 & 07345 / 0045
 AREA SUMMARY:
 PARCEL PARCEL 615 - 1.26 Ac. & PARCEL 617, TRACT NO. 1 - 0.23 Ac.
 DISTURBED AREA 0.70 AC
 EXISTING IMPERVIOUS 0.49 AC
 PROPOSED TOTAL IMPERVIOUS 0.19 AC
 BUILDING SUMMARY:
 FOOTPRINT 0 SF (NO BUILDING PROPOSED)
 HEIGHT 0 FT
 PROPOSED USE RECREATIONAL PARK
 HOURS OF OPERATION DAWN TO DUSK / 7 DAYS A WEEK
 WATER & SEWER USAGE:
 WATER PROVIDED N/A
 SEWER PROVIDED N/A
 WASTE & RECYCLABLES:
 SOLID WASTE REMOVAL PRIVATE HAULER
 RECYCLE REMOVAL PRIVATE HAULER
 SITE LIGHTING:
 EXISTING NONE
 PROPOSED POLE MOUNTED
 SITE SIGNAGE:
 EXISTING NONE
 PROPOSED GROUND MOUNTED
 ADDRESS ASSIGNMENT 458 ANTETAM DRIVE HAGERSTOWN, MD 21742
 WAIVER AND/OR VARIANCE NONE
 FOREST CONSERVATION ON SITE RETENTION EASEMENT
 WATERSHED:
 NAME ANTETAM CREEK
 NUMBER 02-14-05-02
 FEMA PANEL # 24043C0139D EFF. 08/15/2017

PARKING DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
PARK (OUTDOOR)	4 SPACES PER ACRE OF OUTDOOR AREA	4 SPACES x 1.49 ACRES	6 SPACES
TOTAL REQUIRED SPACES			6 SPACES
TOTAL PROVIDED PARKING SPACES			10 REGULAR SPACES 1 VAN ACCESSIBLE HANDICAP

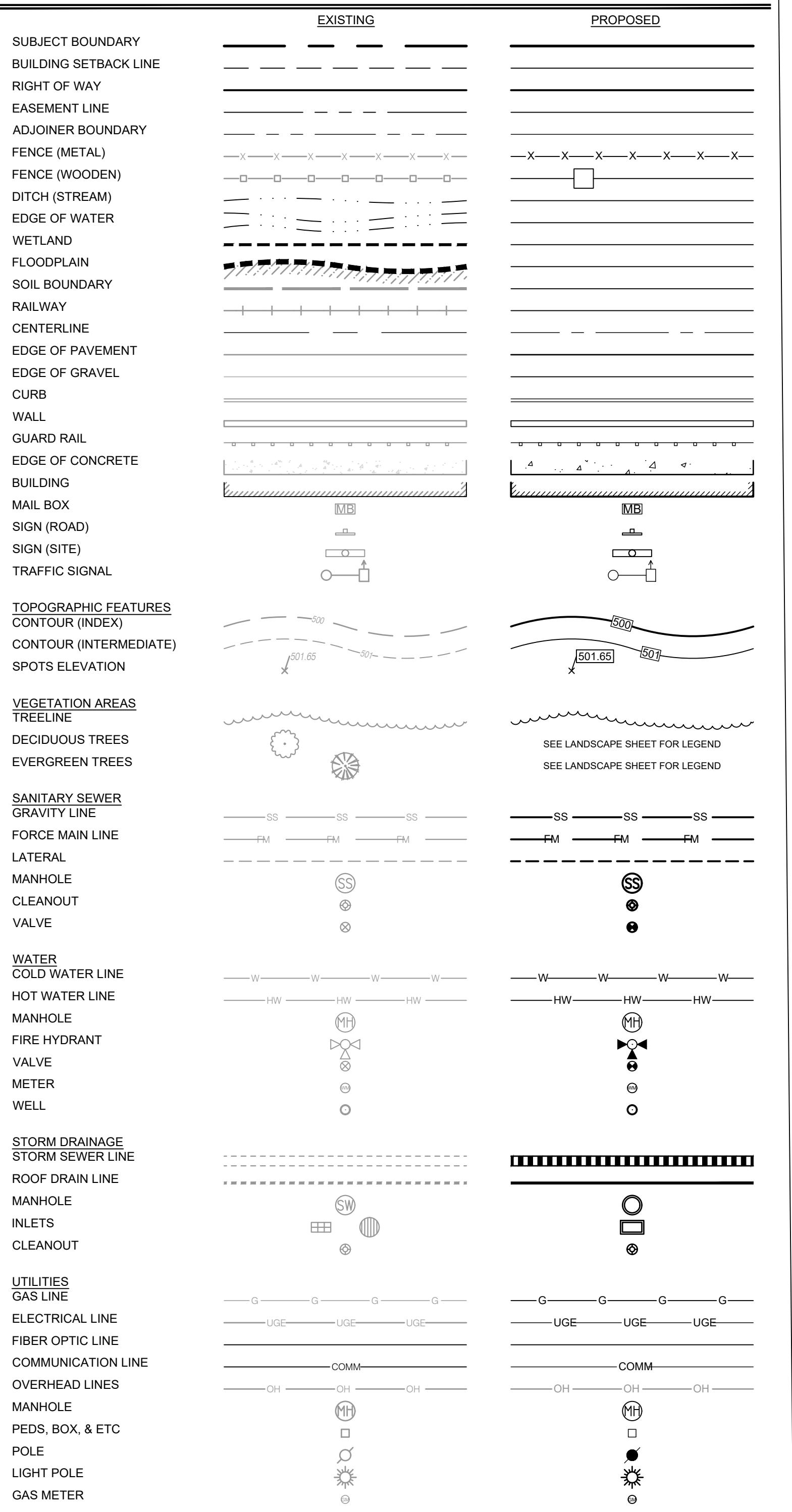
DIVISION OF PLAN REVIEW & PERMITTING NOTES

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.
- A Public Works Agreement and performance security will be required for all improvements within the County right-of-way that are not otherwise regulated under a utility permit or entrance permit.

FIRE DEPARTMENT NOTES

- Construction occurring on this site shall comply with NFPA 241, standard for safeguarding construction, alteration, and demolition operations, and chapter 10 of NFPA 1, uniform fire code.
- No open burning is permitted. Permits are required to perform blasting operations within the city of Hagerstown.
- New buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property (NFPA 1-10-13.1).
- A fire department access box (knox box) shall be installed. This box will be required to contain keys to the building, gates, fire protection system keys and other areas as requested by the fire department. Plans should reflect the location of box near the main entrance. Application information may be obtained from this office by the general contractor or online at www.knoxbox.com.

LEGEND



LEGEND - ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
ADS	ADVANCED DRAINAGE SYSTEM	PC	POINT OF CURVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	POC	POINT OF COMPOUND CURVE
AWWA	AMERICAN WATER WORKS ASSOCIATION	PGL	PROPOSED GRADE LINE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVE
BOT	BOTTOM	PT	POINT OF TANGENT
CIP	CAST IRON PIPE	PVC	POINT OF VERTICAL CURVE
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENT
CO	SANITARY SEWER CLEAN-OUT	ROW	RIGHT-OF-WAY
COMM	COMMUNICATION	SAN	SANITARY
CONC	CONCRETE	SCE	STABILIZED CONSTRUCTION ENTRANCE
DA	DRAINAGE AREA	SDR	STANDARD DIMENSION RATIO
DIA	DIA	SE	SE
DIA	DIA	SD	STORM DRAINAGE
DIA	DIA	SDMH	STORM DRAIN MANHOLE
DIA	DIA	SF	SQUARE FEET
EGL	EXISTING GRADE LINE	SS	SANITARY SEWER
EGL	EXISTING GRADE LINE	SSMH	SANITARY SEWER MANHOLE
EX	EXISTING	STA	STATION
EIP	EXISTING IRON PIN	STD	STANDARD
FFE	FLOOR FLOOR ELEVATION	ST	SQUARE YARDS
FH	FIRE HYDRANT	TAN	TYPE AS NOTED
GV	GATE VALVE	TEMP	TEMPORARY
HGL	HYDRAULIC GRADE LINE	TS	TOP OF STRUCTURE
HDPE	HIGH DENSITY POLYETHYLENE	TG	TOP OF GRADE
INV	INVERT	TR	TOP OF RIM
LF	LEAD FEET	TYP	Typical
MAX	MAXIMUM	UP	UTILITY POLE
MB	MAIL BOX	VIF	VERIFY IN FIELD
MIN	MINIMUM	WL	WATERLINE
MJ	MECHANICAL JOINT	WM	WATER METER
NO	NUMBER	WV	WATER VALVE
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
OAC	OR APPROVED EQUAL		



feasinc.com

FEARON SPRING & DALE, PA 21740

7/17/2026



FREDERICK SEIBERT & ASSOCIATES, INC.

CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

©2022

150 SOUTH POTOMAC STREET

GREENTON, MD 21725

7/17/2026

20 WEST BALTIMORE STREET

SUITLAND, MD 20746

7/17/2026

MARK DESCRIPTION

REVISED PER AGENCY COMMENTS

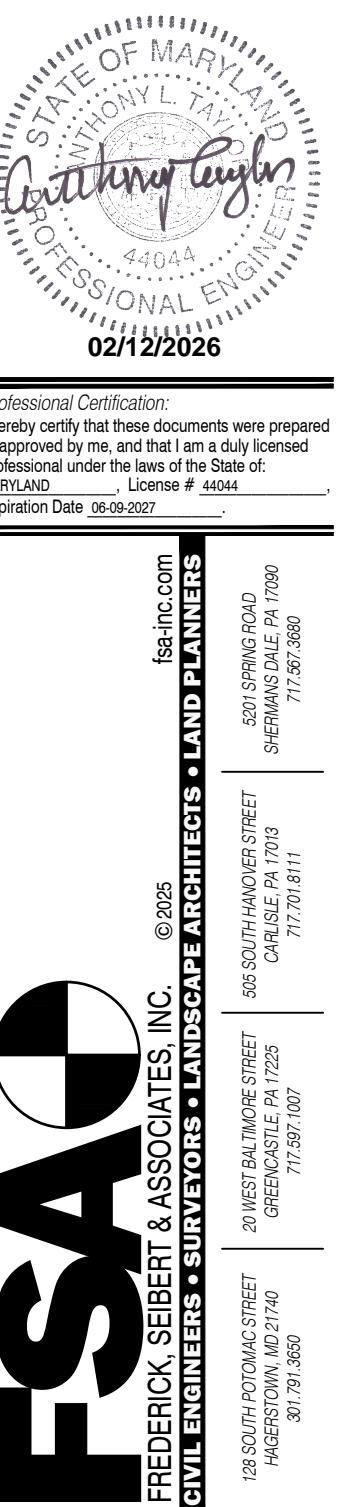
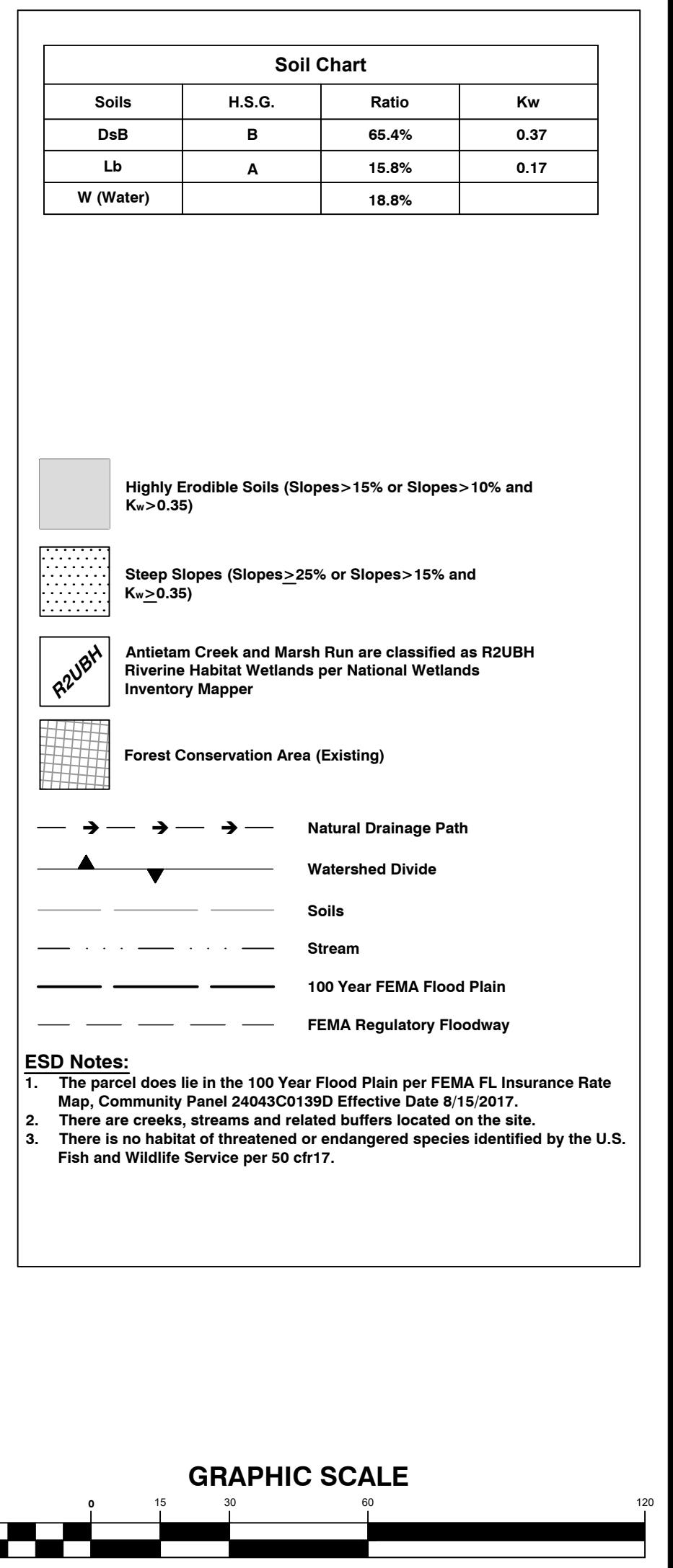
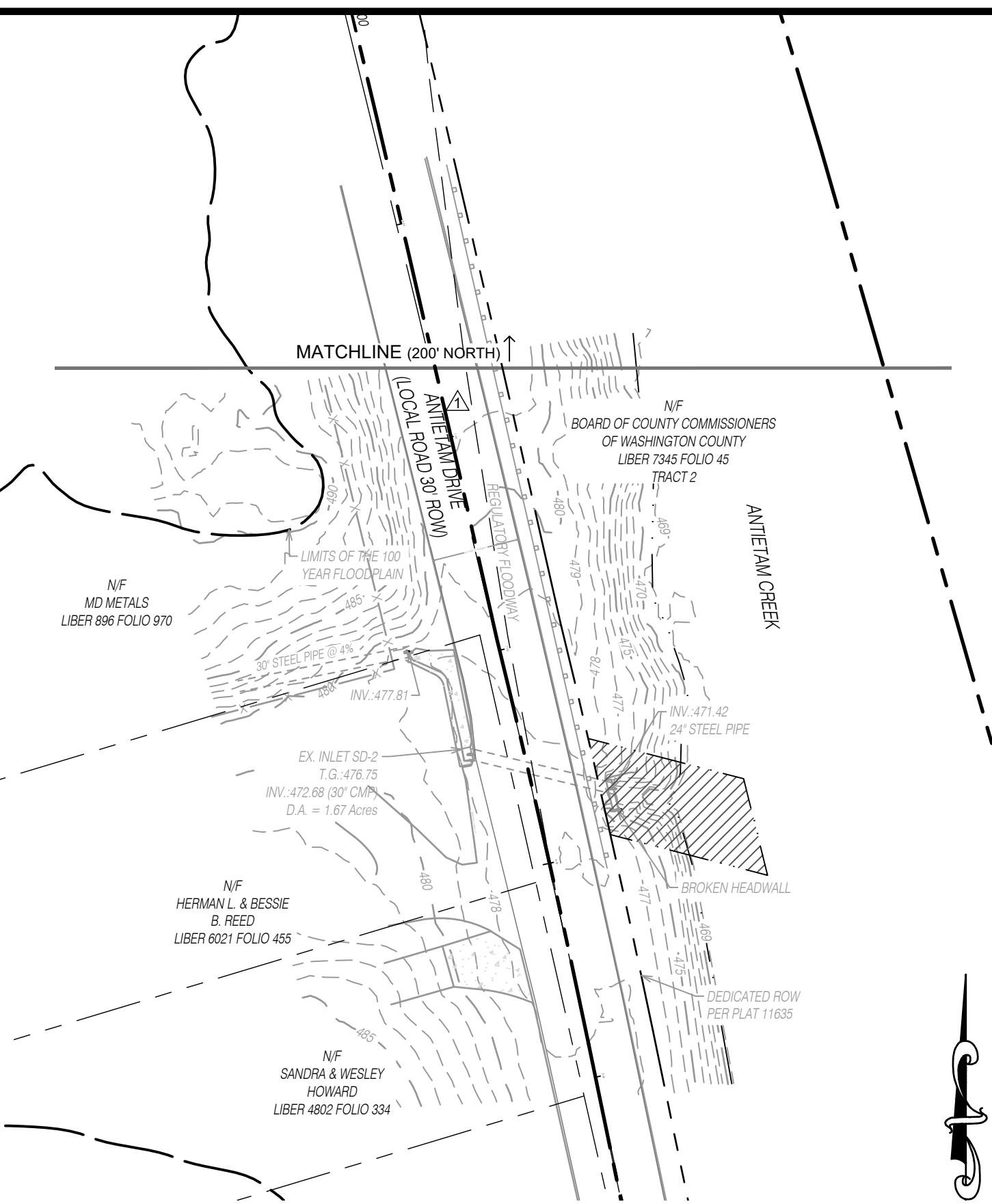
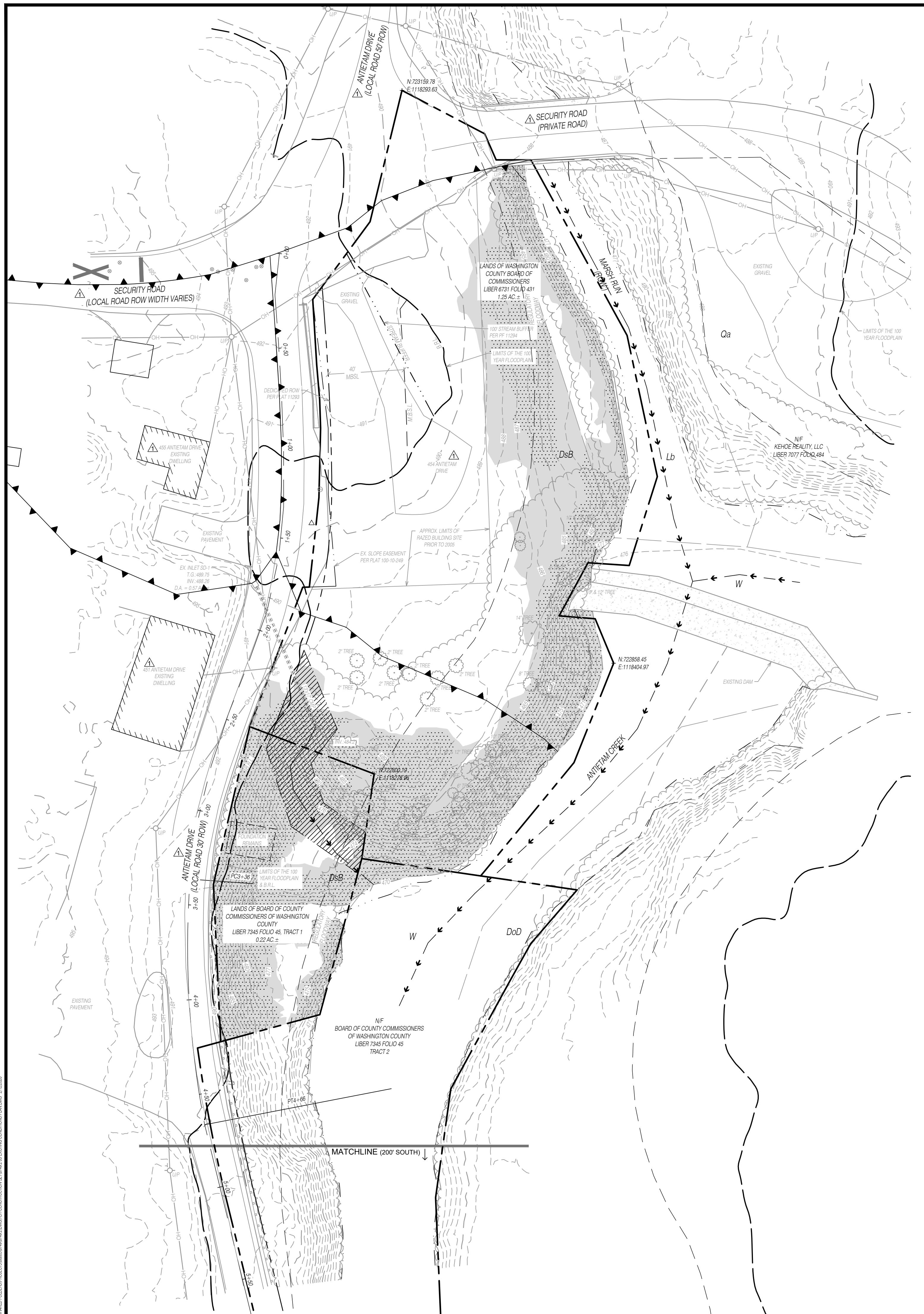
11/1/2025

DATE

11/1/2025

RE-REVISED PER AGENCY COMMENTS

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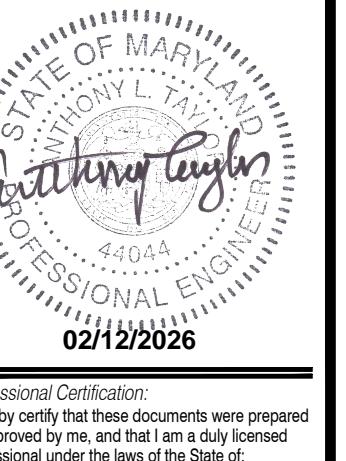
PROJECT NO. 8149.2
DATE 7.30.25
MARK □
DESCRIPTION REvised per Agency Comments

ANTETAM DRIVE
SITUATED AT 455 ANTETAM DRIVE
HAGERSTOWN, MD 21742

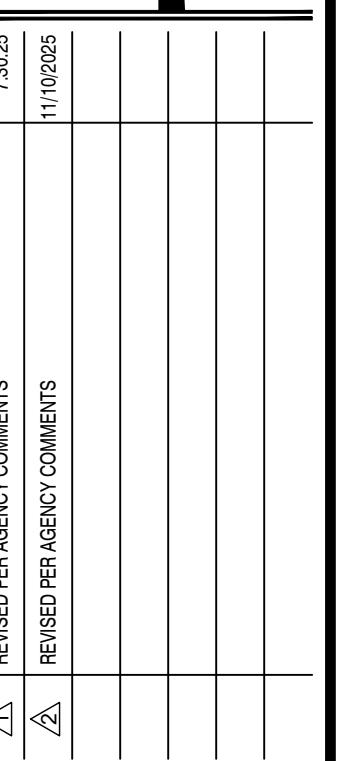
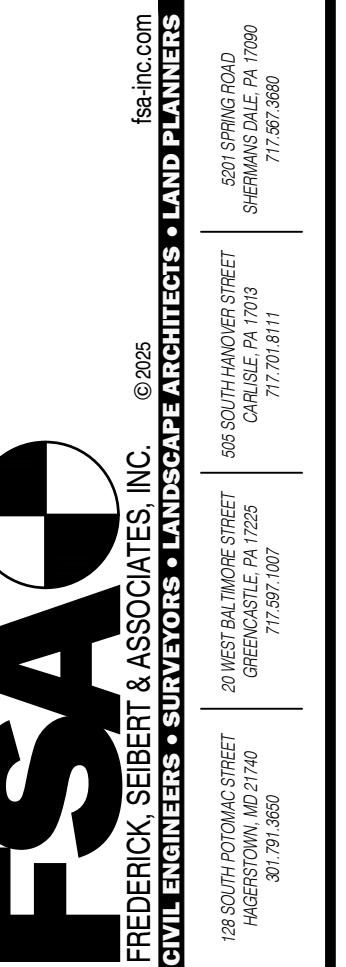
WASHINGTON COUNTY
BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY, MD
100 W. WASHINGTON STREET, SUITE 1101, HAGERSTOWN, MD 21742
PHONE: 240.312.2200

PROJECT NO. 8149.2
DWY BY ALT
DATE 03-18-2025
PROJECT MANAGER Trevor Frederick
EMAIL Trevor.Frederick@fsa-inc.com
TAX MAP C00-2402L
0038-020-0615
SCALE 1" = 30'
SHEET TITLE

EXISTING CONDITIONS PLAN
C-101
SHEET 03 OF 09



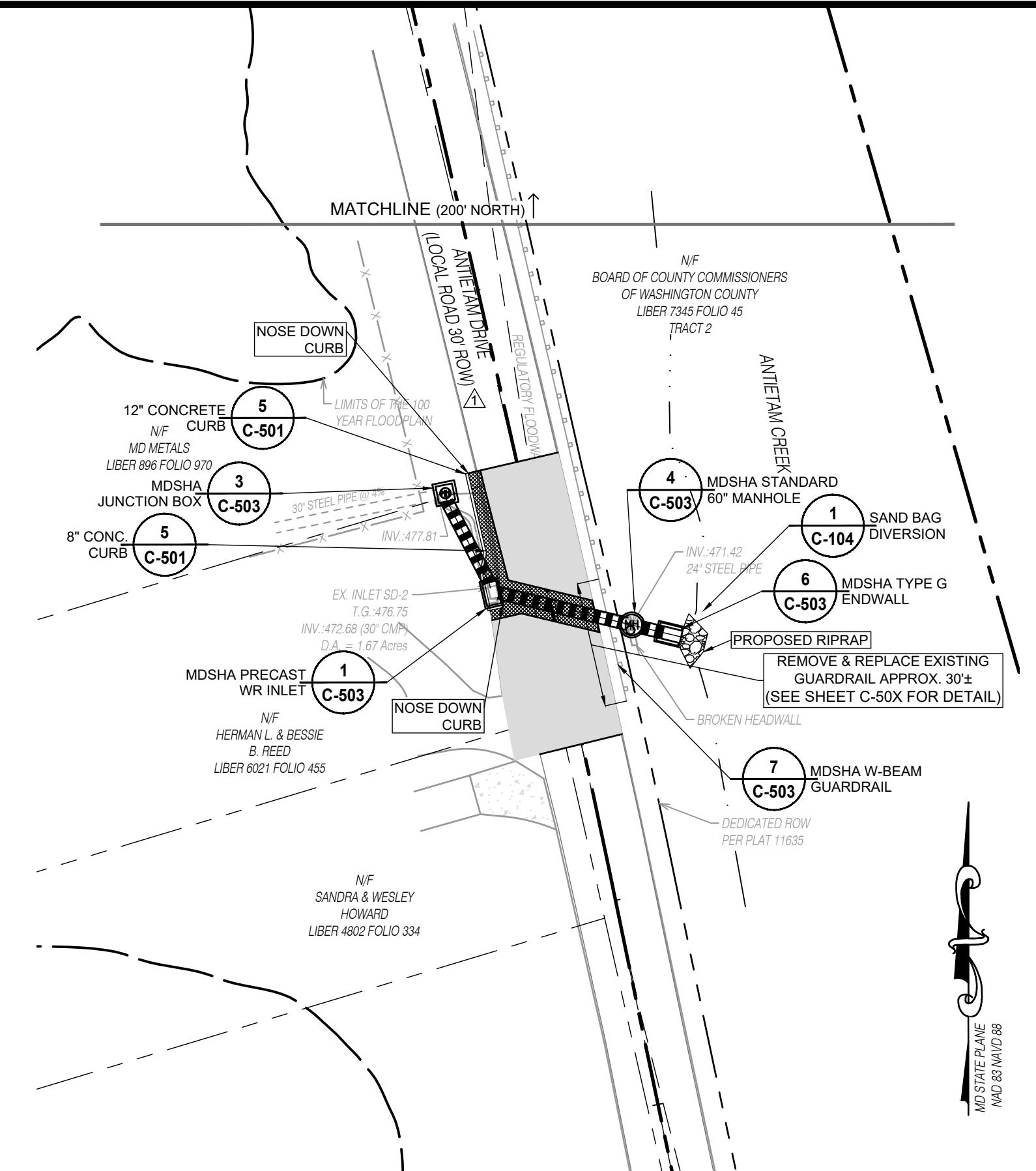
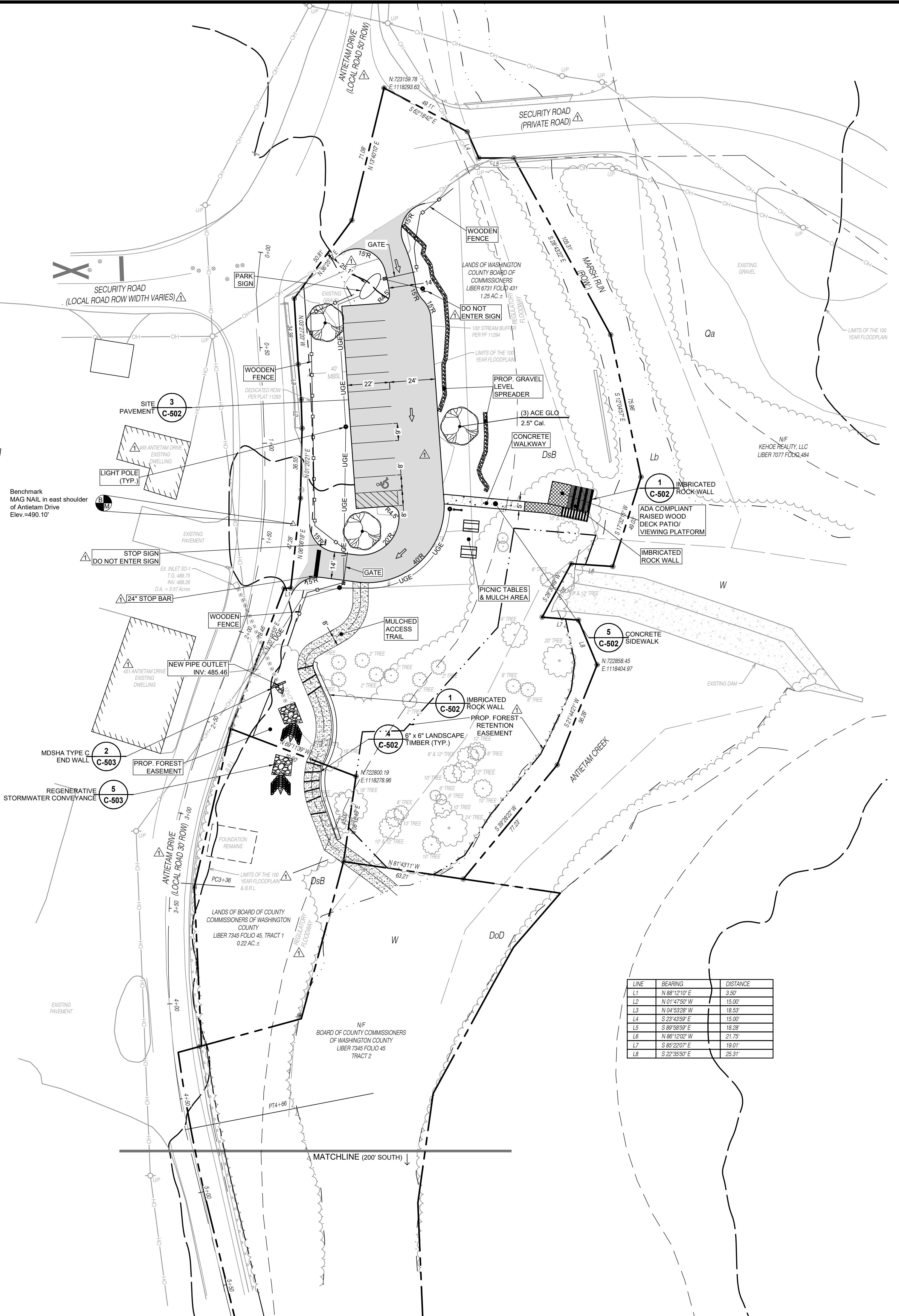
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland.
Map No. 8149.2
Expiration Date 06-09-2027



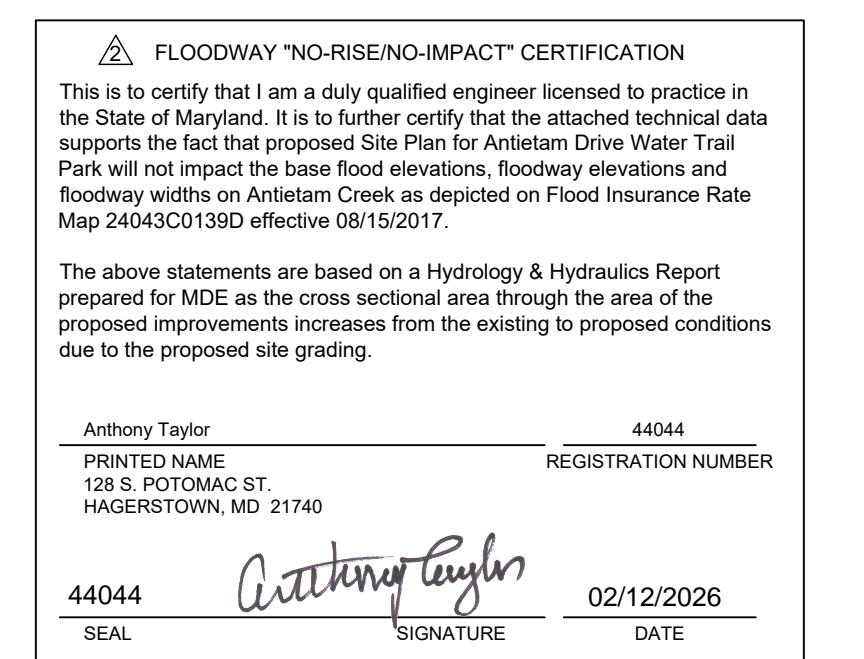
ANTETAM DRIVE WATER TRAIL PARK

WASHINGTON COUNTY
SITUATED AT 45 ANTETAM DRIVE
HAGERSTOWN, MD 21742
BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY, MD
100 W. WASHINGTON STREET, SUITE 1101, HAGERSTOWN, MD 21742
PHONE: 240-312-2200

PROJECT NO. 8149.2
DRAWN BY ALT DATE 03-18-2025
PROJECT MANAGER EMAIL Trevor.Frederick@fsae.com
TAN MAP. 8149.2-0402Z
0038-020-0615
SCALE 1" = 30'
SHEET TITLE
SITE & DIMENSIONING PLAN
C-102
SHEET 04 OF 09
SP-25-009



PAVING LEGEND		
HATCH	DESCRIPTION	DETAIL / SHEET
PAVEMENT-LIGHT DUTY	3 / C-502	
SITE- CONCRETE	5 / C-502	
RAISED WOOD DECK		

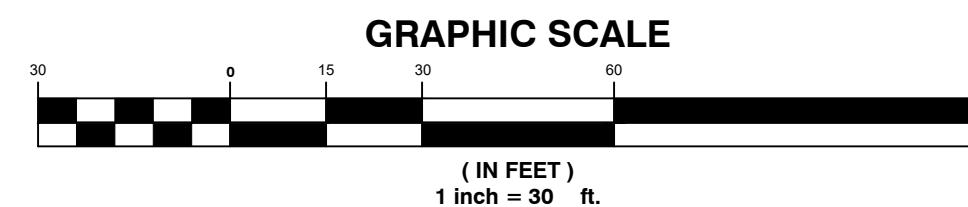
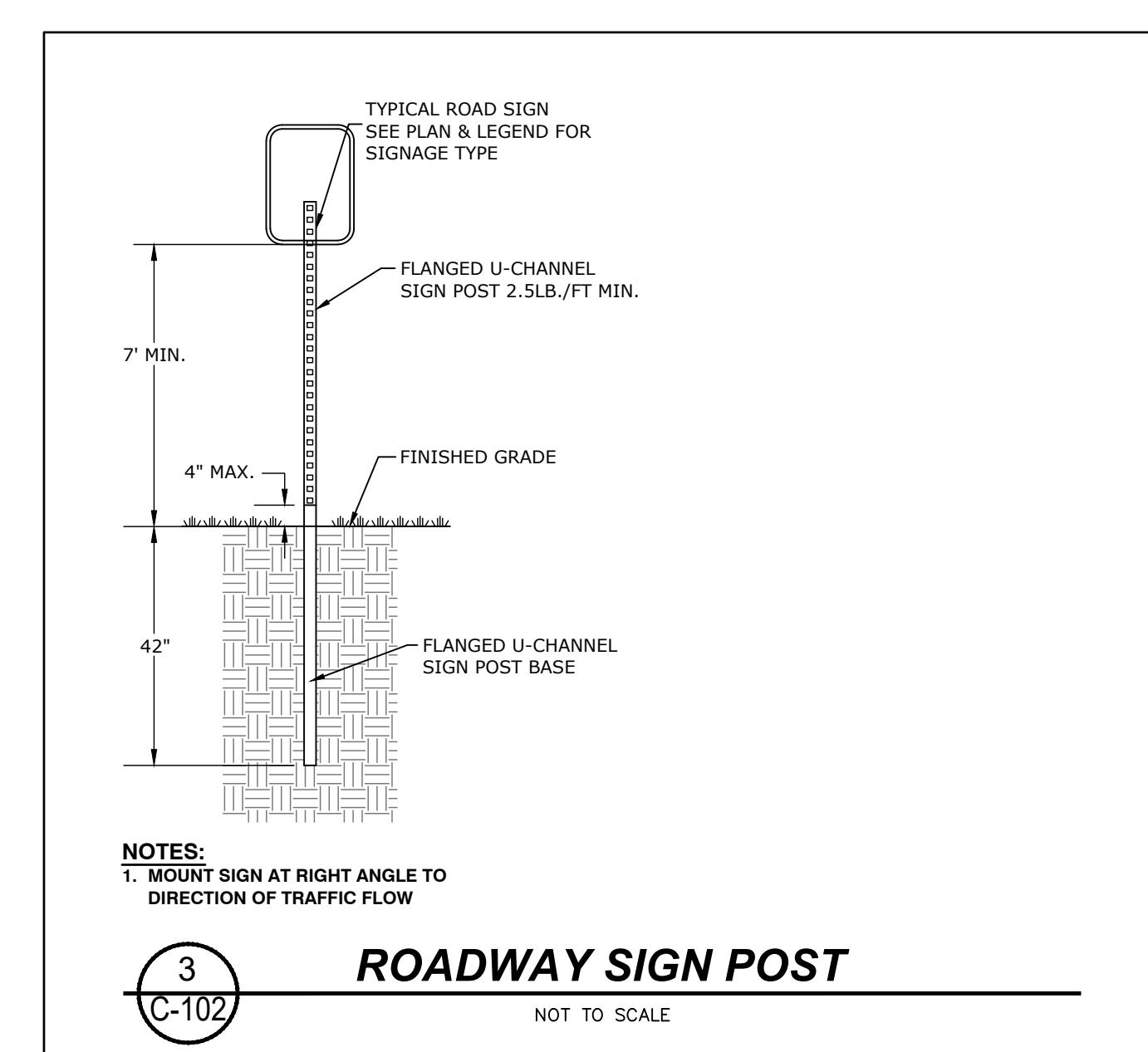
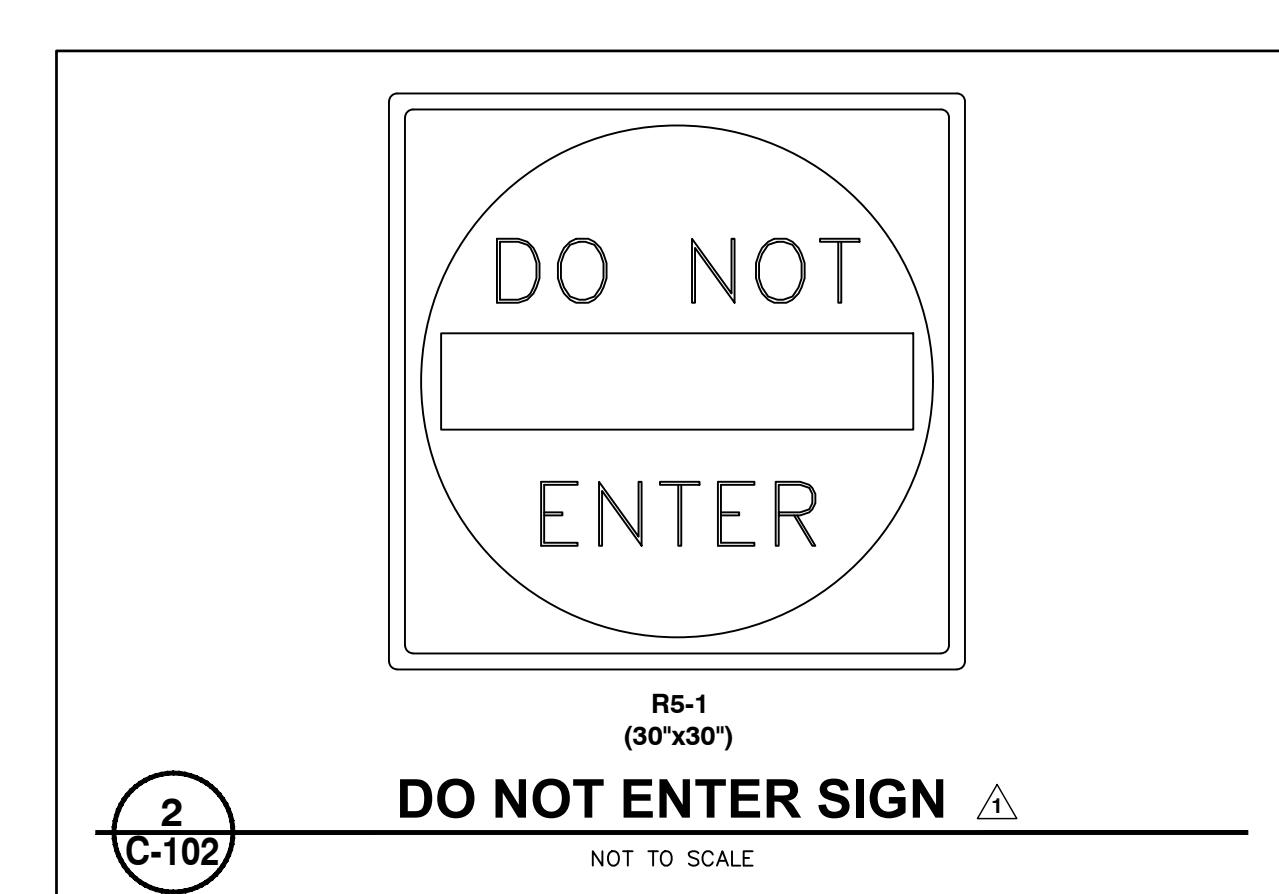
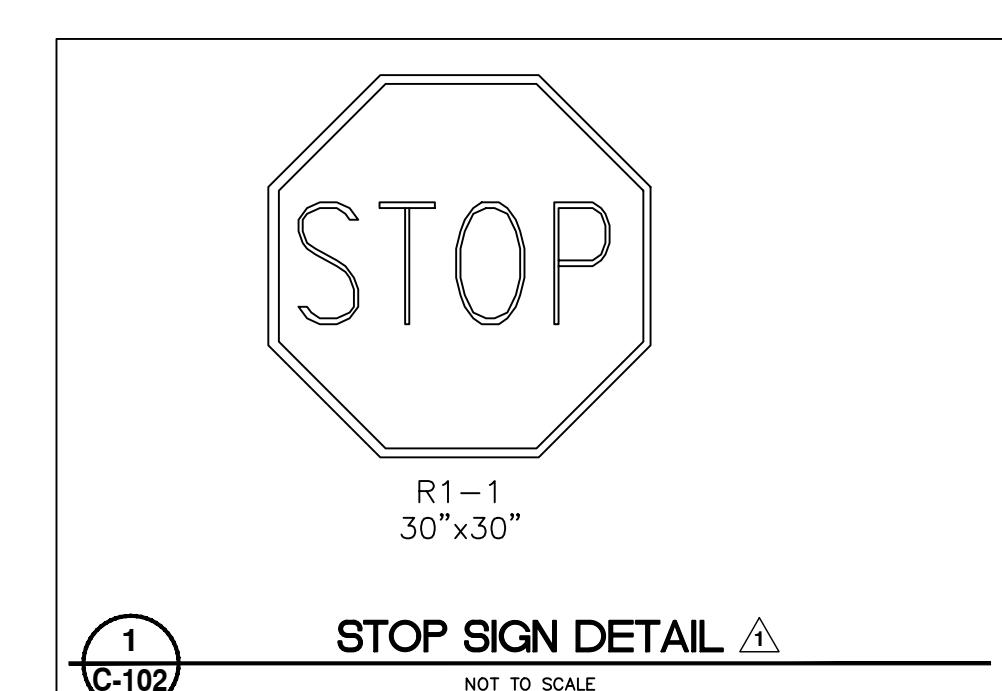


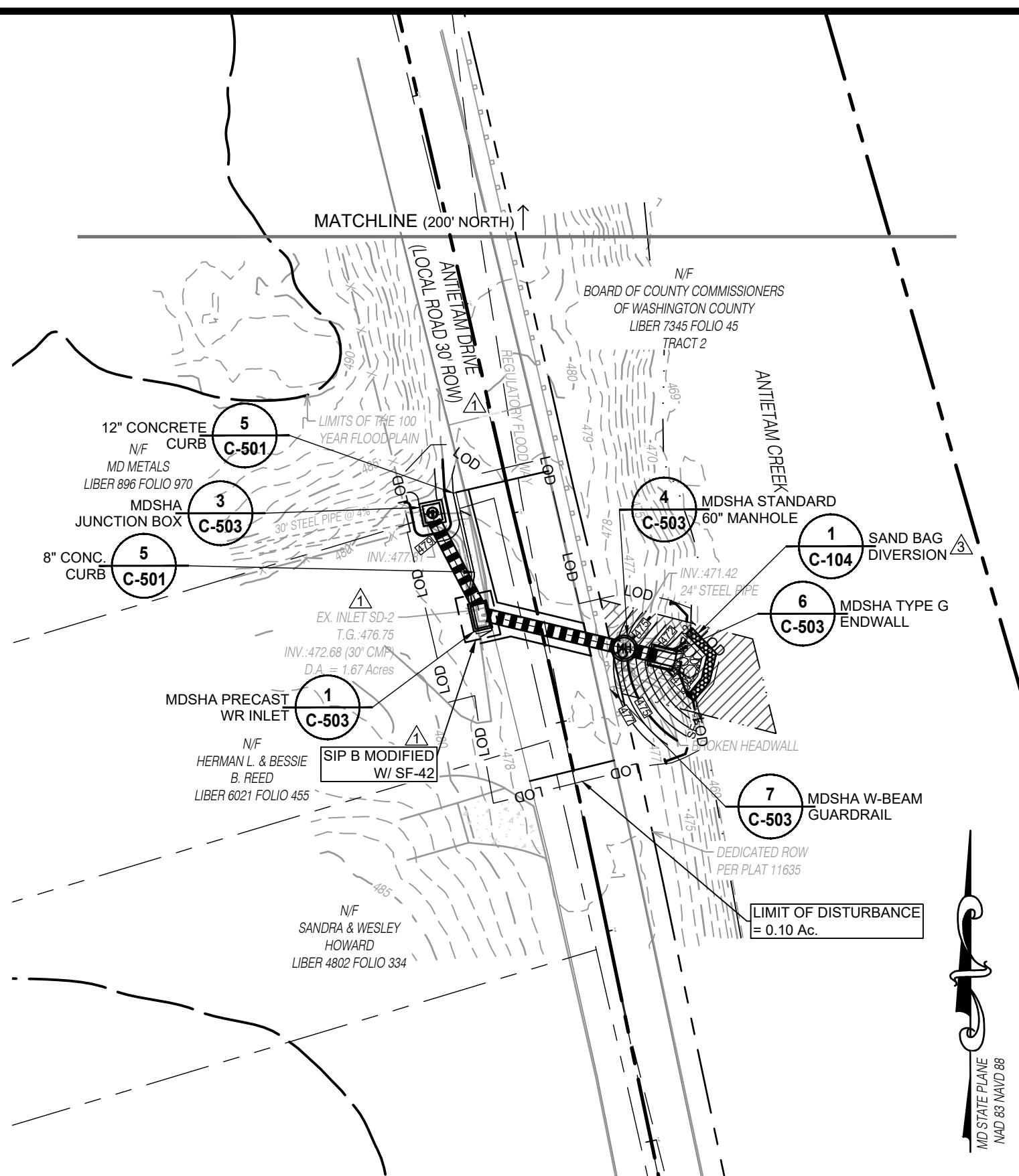
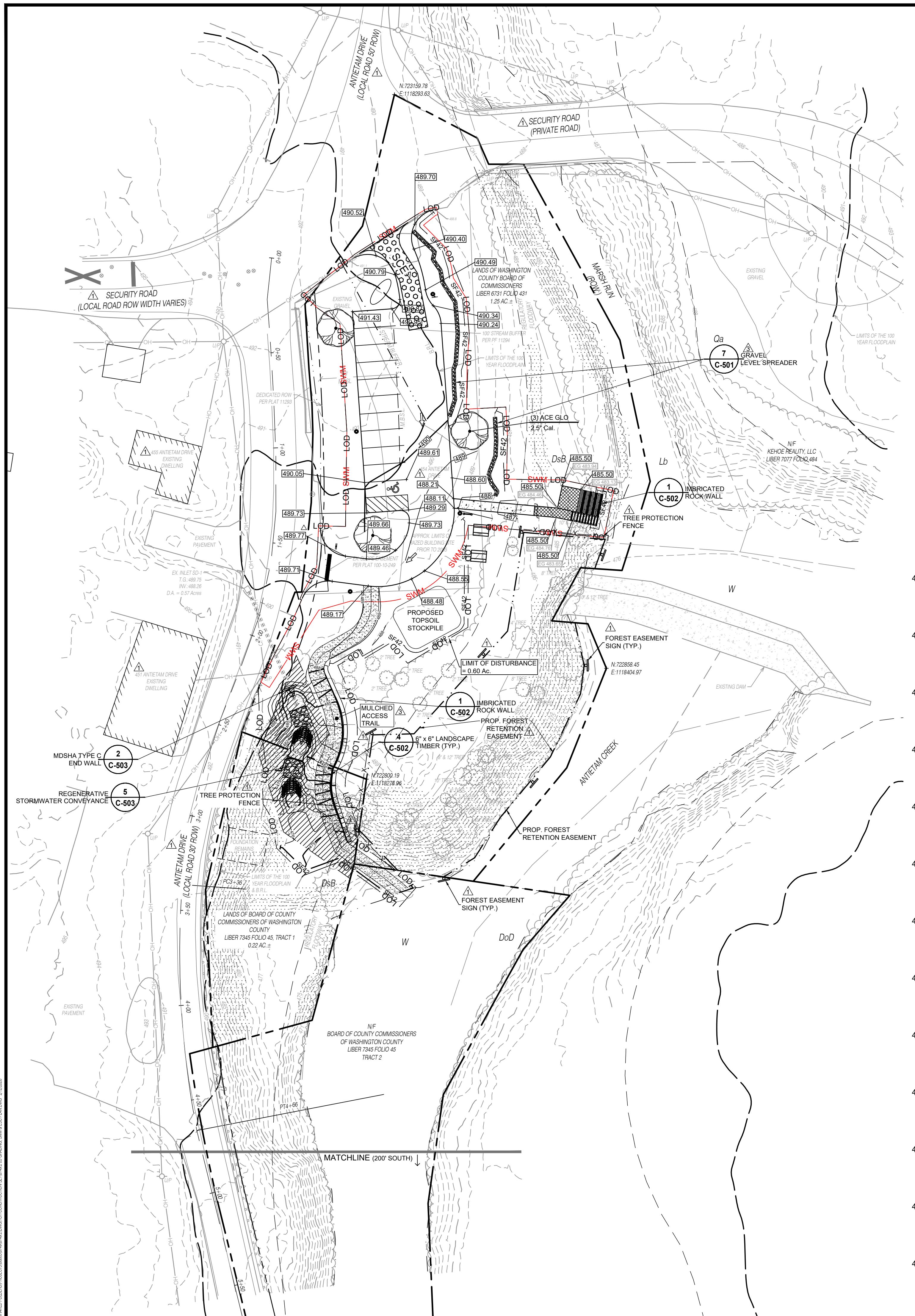
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
	ACE GLO	Acer rubrum 'October Glory' TM	October Glory Maple	2.5" Cal.	B&B	3	2/L-501

LANDSCAPE TABULATIONS		
PARKING AREA	LANDSCAPE REQUIRED	LANDSCAPE PROPOSED
5.015 SF	5.015 SF < 10,000 SF NOT REQUIRED	3 SHADE TREES

△ NOTES:
1. A Washington County Floodplain Permit will be required for the work proposed in this site plan.
2. The ADA compliant raised wood deck patio/viewing platform will require its own Building Permit and corresponding Washington County Floodplain Permit.





STORMWATER MANAGEMENT QUALIFIES FOR REDEVELOPMENT

CONSTRUCTION LIMIT OF DISTURBANCE = 0.50 ACRES
(INCLUDES MULCH ACCESS PATH AND ROAD CULVERT OUTFALL REMEDIATION)

PARCEL AREA = 1.25 ACRES

EXISTING IMPERVIOUS ON SITE = 0.49 ACRES
(INCLUDED DEM'D BUILDING/SITE FROM EARLY 2000's)

SWM LIMIT OF DISTURBANCE = 0.37 ACRES

EXISTING IMPERVIOUS W/I SWM LOD = 0.29 ACRES (80.6%)

PROPOSED IMPERVIOUS = 0.18 ACRES (52.8%)

AMOUNT OF EXISTING IMPERVIOUS REQUIRED TO BE REMOVED OR TREATED FOR WATER QUALITY = 0.15 ACRES

AMOUNT OF IMPERVIOUS REDUCED BY ADDED GREENSPACE/LANDSCAPING = 0.11 ACRES

AMOUNT OF IMPERVIOUS AREA TO BE TREATED BY ESD PRACTICES = 0.04 ACRES

AMOUNT OF IMPERVIOUS AREA TREATED BY N-3 SHEETFLOW TO CONSERVATION AREA (SFCA-1)
DA = 0.149 ACRES IMPERVIOUS = 0.084 ACRES WQv = 180 C.F. Pe = 0.6"

WATER QUALITY VOLUME REQUIRED = 129 C.F.

WATER QUALITY VOLUME PROVIDED = 180 C.F.

THE POST DEVELOPMENT WATER QUANTITY RUNOFF VOLUME FOR THIS SITE IS REDUCED FROM ITS PRE DEVELOPMENT CONDITION DUE TO THE REDUCTION IN SITE IMPERVIOUS AREA OF 0.11 ACRES

STANDARD UTILITY NOTES:

1. Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
2. Contractor to place excavated materials in a dump truck and haul to an approved location to wasted materials to paved areas.
3. Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.
4. In areas where the construction takes place to outside of the existing roadbed, Contractor to install silt fence along the downhill side of the trench before beginning construction and place excavated material from the trench on the uphill side.
5. If dewatering of the trench is required, Contractor to pump water to a filter bag to dewater.
6. Contractor to sweep street of any debris or sediments caused by construction operations and dispose of at an approved location.
7. Contractor to stabilize all disturbed areas with seed & mulch or appropriate street repair.

STANDARD STABILIZATION NOTES:

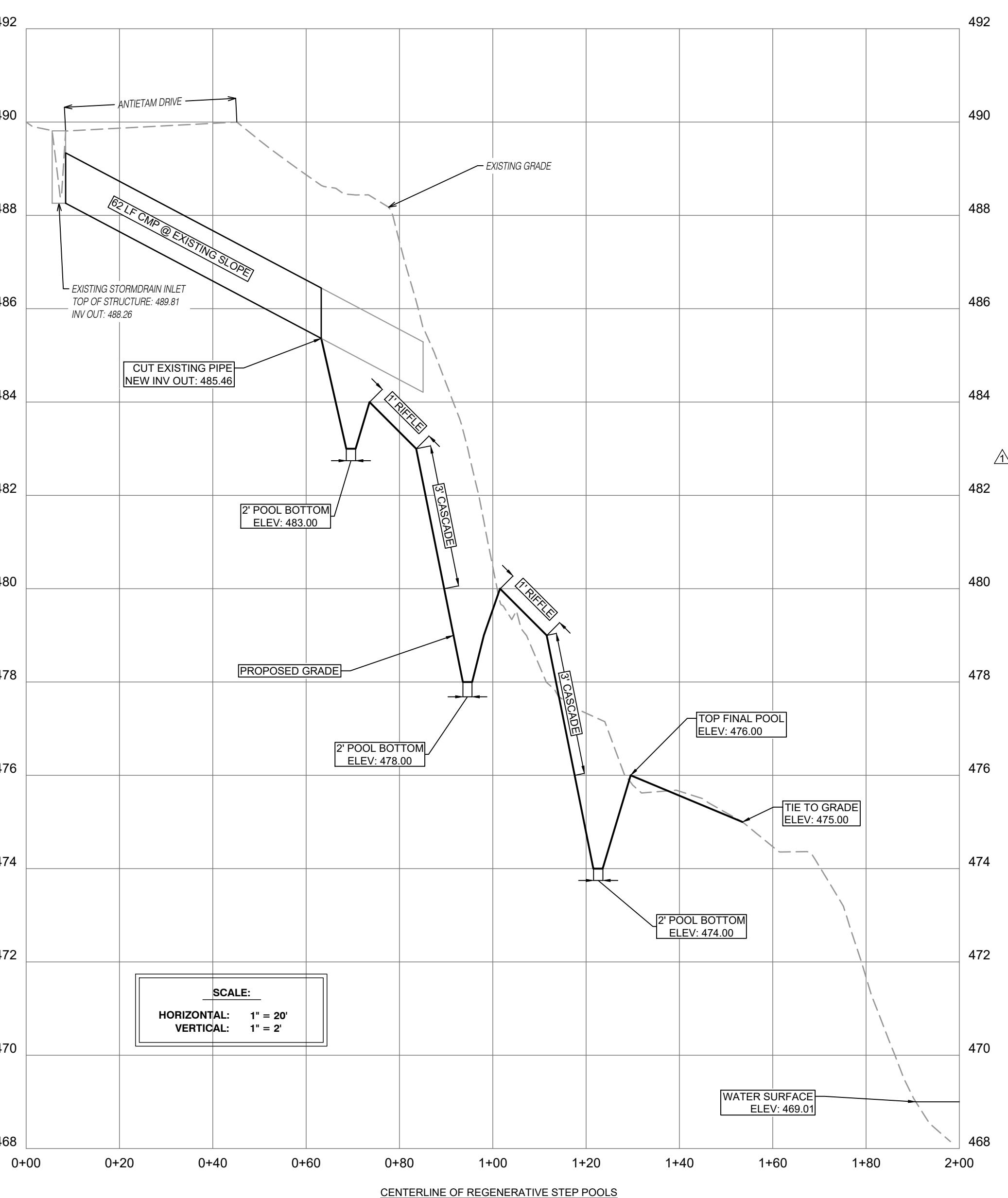
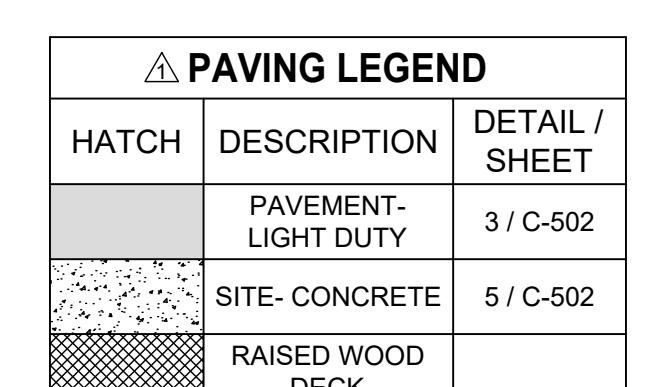
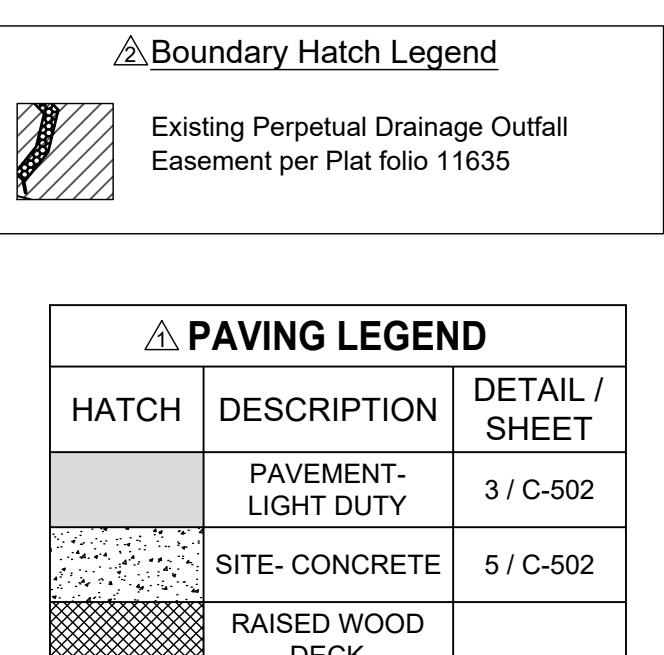
Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

- a. Three (3) calendar days as to the surface of all perimeter dikes, swales, ditchles, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
- b. Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

NOTE:

Any spoil and/or borrow, must come from and/or go to, a site with an approved and current Soil Erosion and Sediment Control Plan.

INLET PROTECTION SCHEDULE			
Type	Inset I.D.	Drainage Area (Ac.)	Allowable Drainage Area (Ac.)
SIP-B	SD-2	1.67	1.00
W/SF-42			4/C-501



SEQUENCE OF CONSTRUCTION

Pre-Construction Notification - Contractor shall notify the Washington Co. Soil Conservation District (301-797-6321), Washington County Division of Permits and Inspections (301-313-2460), and the Design Engineer (301-791-3680) at least five (5) days prior to start of any work shown on these plans to schedule a pre-construction meeting.

All spoil and/or borrow material must come from and/or go to a site with an approved and current Soil Erosion and Sediment Control Plan.

Before beginning construction, limit of work to be staked and contractor MUST call Miss Utility before beginning any work on site. Limit of disturbance is less than 1 acre.

1. Contractor to access site through existing paved driveway, cut asphalt and install stabilized construction entrance as shown on the plans. If tracking of mud onto public roads becomes an issue, stop work immediately and clean roadway.
2. Contractor to install perimeter controls as shown on plans.
3. Once perimeter controls are in place, contractor to begin remainder of asphalt demolition.
4. Contractor to topsoil and stockpile in location shown on plans.
5. Contractor to begin rough grading site. As site is brought to grade, contractor to install utilities as shown on plans. Contractor to begin installation of regenerative stormwater conveyance working downstream upstream to maintain positive drainage and stable outlet.
6. Contractor to begin construction of downstream stormdrain improvements by installing sand bag to control water disturbance in creek. Contractor to install stormdrain working from outlet upstream to maintain positive drainage. Install outlet protection and inlet protection as installation progresses.
7. Contractor to begin construction of raised wood deck patio/viewing platform and install mulched access trail and landscape timbers for the access to the creek after RSC is completed.
8. Contractor to concrete sidewalk and base pavement.
9. Contractor to Washington County Soil Conservation District (301-797-6821) for an interim inspection to verify site is adequately stabilized before beginning installation of the gravel level spreader.
10. Contractor shall contact the Washington County Division of Permits and Inspections (240-313-2460) and FSA (301-791-3680) to schedule required stormwater inspections during the construction of the gravel level spreader. The contractor shall contact the design engineer and Washington County Inspector at least 2 days prior to needing inspections.
11. Complete surface course paving with pavement markings.

Post-Construction Notification - Notify the Washington County Soil Conservation District and Washington Division of Permits and Inspections after the site has achieved 95% overall vegetative stabilization, and at least 5 days prior to the removal of any sediment control features to schedule a final site closeout inspection and meeting. Once final approval has been granted, perimeter controls can be removed, and final stabilization in those areas shall be completed.

GRAPHIC SCALE



ANTETAM DRIVE WATER TRAIL PARK

WASHINGTON COUNTY
SITUATED AT 451 ANTETAM DRIVE
HAGERSTOWN, MD 21742

BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY, MD
100 WASHINGTON STREET, SUITE 1101, HAGERSTOWN, MD 21742
PHONE: 240-313-2200



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, license #4044, Expiration Date 06-09-2027

500 SPRINGFIELD
SHERWOOD DALE, PA 17073
717.361.5860

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CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

20 WEST BALTIMORE STREET
GREENSBORO, NC 27403
335 SOUTHPOTOMAC STREET
HAGERSTOWN, MD 21740
317.591.1000

DATE: 7/30/25
REVISED PER AGENCY COMMENTS: 11/16/2025
DATE: 7/30/25
REVISED PER AGENCY COMMENTS: 11/16/2025
DATE: 7/30/25
REVISED PER AGENCY COMMENTS: 11/16/2025

02/02/2026

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02/02/2026



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
Trevor Frederick
Expiration Date: 06/09/2027

feasible.com
500 SPRINGFIELD
SHERMAN DALE, PA 17073
717-361-1000

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CONTRACTORS • SURVEYORS • LANDSCAPE ARCHITECTS
TEMPERARY SEEDING SUMMARY

HARDNESS ZONE (FIGURE B.3): 6b
SEED MIXTURE (TABLE B.1)

FERTILIZER RATE (10-20-20)

SEEDING DEPTHS

NO. SPECIES APPLICATION RATE (lb/ac) SEEDING DATES

1 Barley 96 Zone 6b: Mar 1-May 15/Aug 1-Oct 15 1" (10 lb/1000 s.f.)

2 tons/ac. (90 lb/1000 s.f.)

PERMANENT SEEDING SUMMARY

HARDNESS ZONE (FIGURE B.3): 6b
SEED MIXTURE (TABLE B.1)

FERTILIZER RATE (10-20-20)

SEEDING DATES

NO. SPECIES APPLICATION RATE (lb/ac)

6 Tall Fescue 40 Zone 6b: Mar 1-May 15/Aug 1-Oct 15 1/4"-1/2" (1 lb/1000 s.f.)

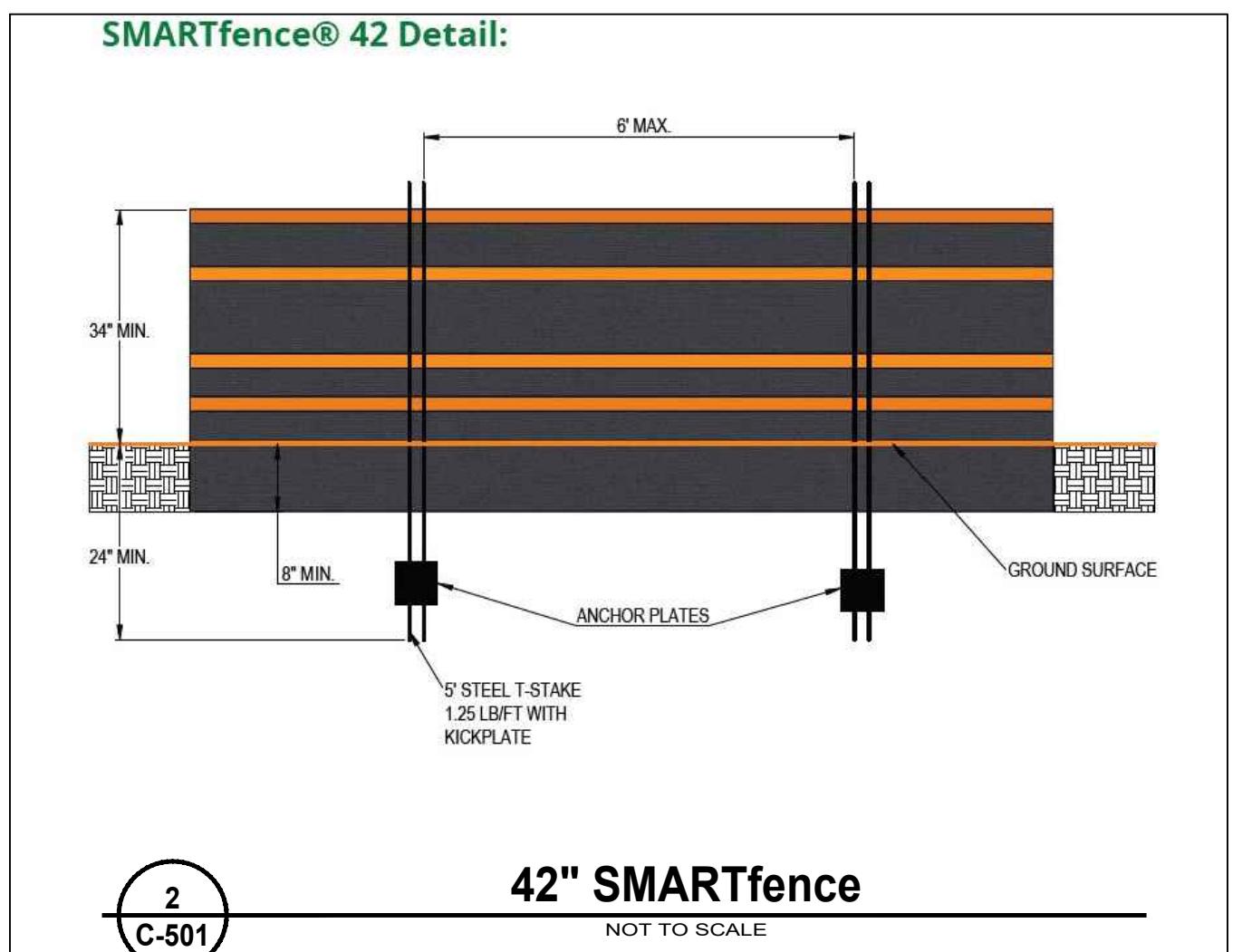
45 lb/ac. (90 lb/1000 s.f.)

90 lb/ac. (90 lb/1000 s.f.)

White Clover 5 2 tons/ac. (90 lb/1000 s.f.)

CONSTRUCTION SPECIFICATIONS

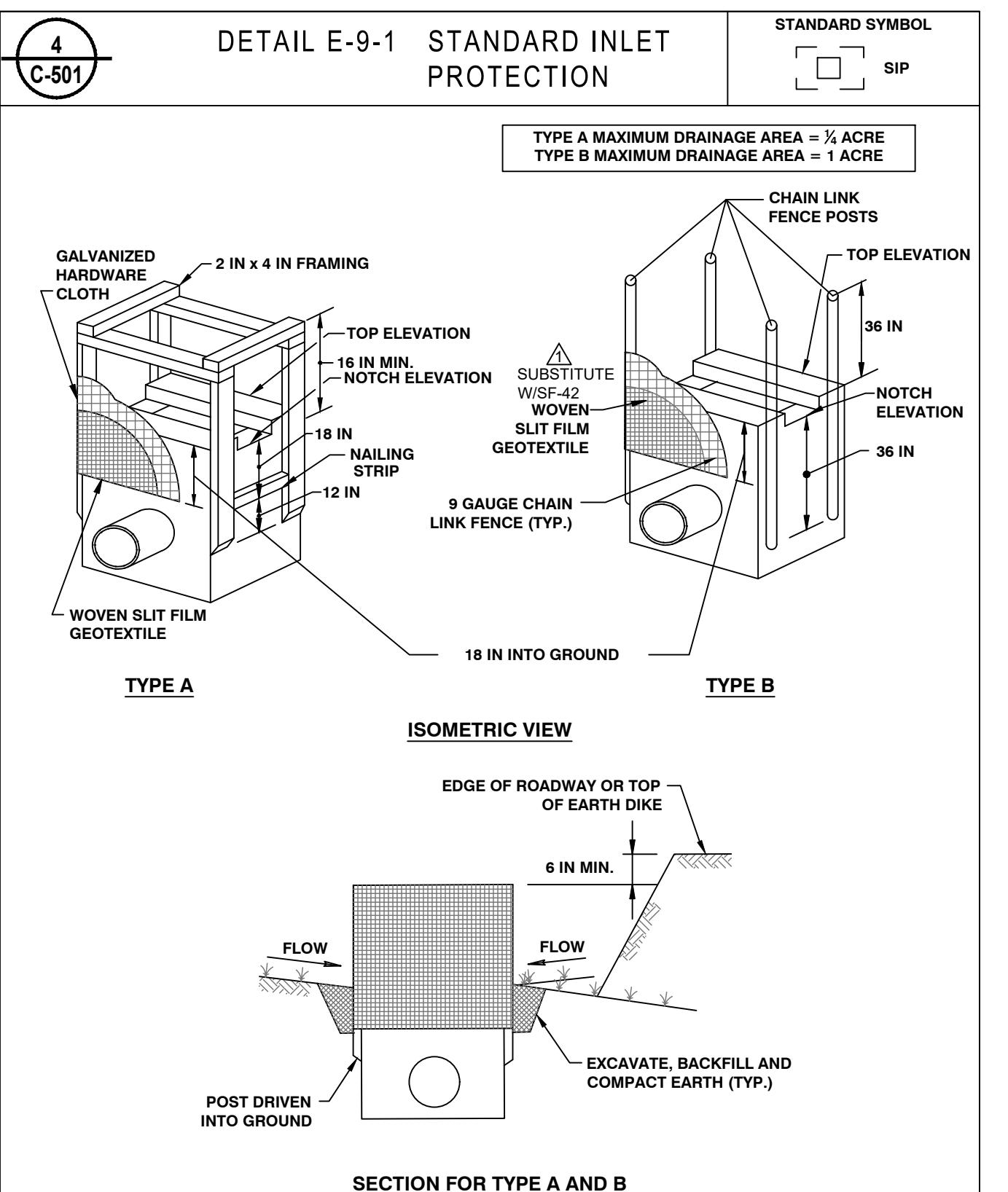
SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES				
1. All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.				
2. All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.				
3. All soil erosion and sediment control practices (BMPs) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.				
4. A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.				
5. For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:				
a. Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and				
b. Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.				
6. Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).				
7. All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.				
8. All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.				
9. Electric power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.				
10. No slope shall be greater than 2:1.				
11. As required by Section B, of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.				



SMARTfence® 42 installation instructions:

- Excavate a minimum on 4" wide and 6" deep. The trench shall be hand-cleaned following excavation to remove bulky debris such as rocks, sticks, and soil cords from the trench. Drive standard metal T-posts into ground a minimum of 12.5 lb/ft and a minimum 5 ft length. Drive standard metal T-posts into ground a minimum of 18" depth. Post spacing must be no greater than 6' max.
- Layout SMARTfence® 42 along proposed fence line next to anchor trench. Locate one end of the SMARTfence® 42 and position near the first post. Position SMARTfence® 42 vertically along the initial post.
- For initial post, tie SMARTfence® 42 to the first post using 16 gauge wire and 1/2" diameter hardware cloth.
- For initial post, tie SMARTfence® 42 to the first post using 16 gauge wire and 1/2" diameter hardware cloth.
- For fastening, then retighten it 360 degrees to maintain tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with the steel wire or nylon ties per Step 4.
- Method 1 (T-Post): 16-gauge wire - attach SMARTfence® 42 to metal T-posts using 16 gauge 304 SS wire with mitered ends, securing the fence to the post using safety pliers.
- Method 2 (T-Post): 8" nylon heavy-duty, UV-stabilized, cable ties (zip-ties) with minimum 120 lb tensile strength. Puncture two 0.25" diameter holes in the fence fabric, then insert the cable tie through the holes and secure the fence to the post.
- Drive the initial post with the attached fence into the ground to an 18" depth.
- Drive the interior i-posts of the fence system into the ground at least 18".
- Move to the next i-post while pulling SMARTfence® 42 tightly. Position the SMARTfence® 42 in front of the adjacent i-post in preparation for fastening the fence to the post. Fasten the fence to all four (4) orange-colored band locations in Step 4.
- After the interior posts have been fastened to SMARTfence® 42, fasten the fence to the final post by pulling the final i-post of fencing taught, then retighten it 360 degrees to maintain tension on the fence system. Secure the fence to the post at all four (4) orange colored band locations with the steel wire or nylon ties per Step 4. Drive the final post into the ground to a 18" depth.
- Place bottom 8" of fabric into the trench. Backfill trench (overfill) with soil placed around the fence. Compact soil backfill with either manual tamping (or other manual means) or via mechanical equipment such as the front wheel of a tractor, skid-steer, roller, or other device per Note 5 of ASTM D 6462 Standard Practice for Silt Fence Installation. Do not damage the fabric during compaction (damaged fence shall be replaced).

For more information, contact SMARTfence® Sales Team at: 800.448.3636
Email at info@acfenv.com

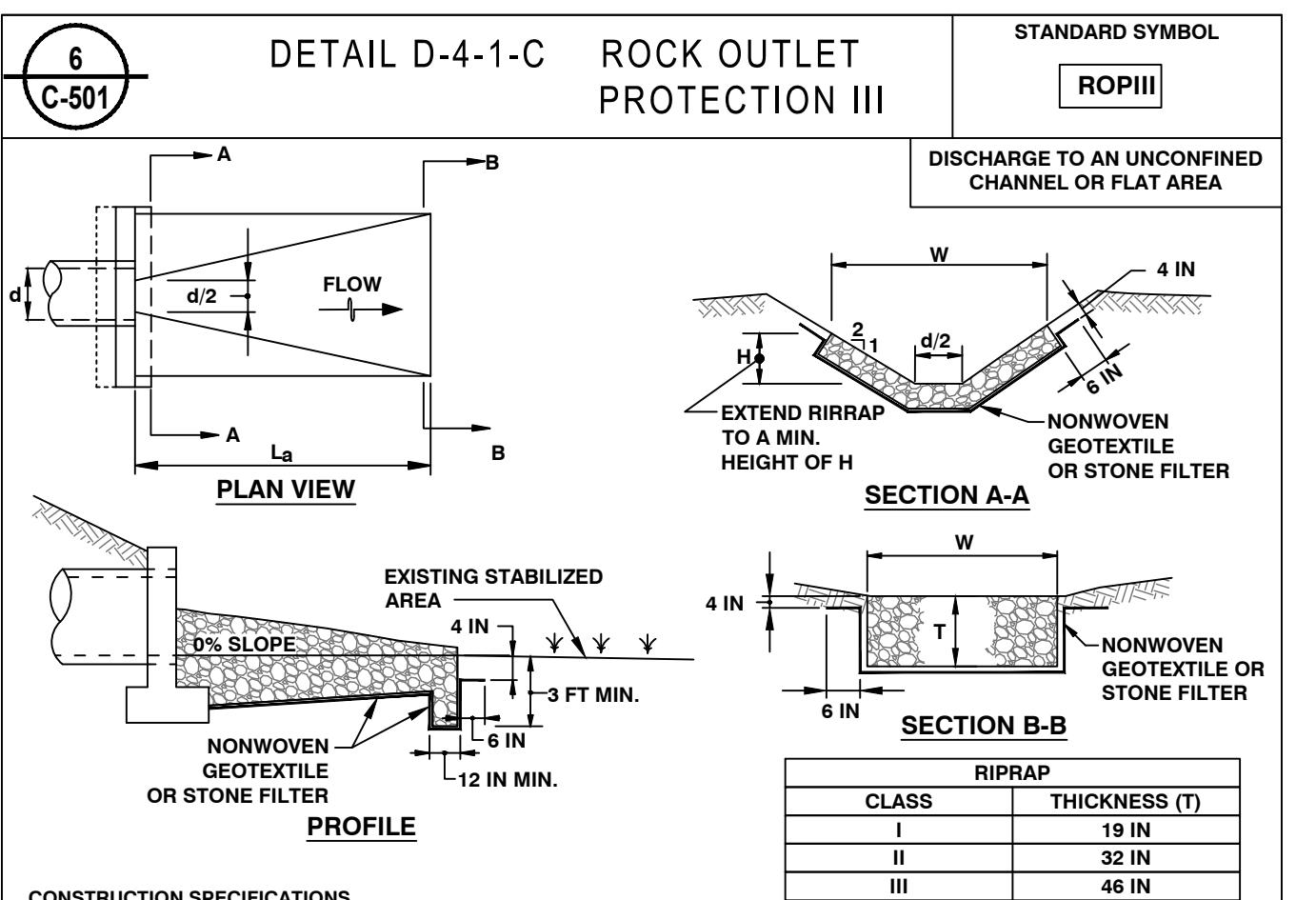


CONSTRUCTION SPECIFICATIONS

- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.
- FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONCRETE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE STRIPS BETWEEN THE POSTS ON THE HEDGES OF THE INLET. ASSEMBLE THE POSTS OF THE INLET AS SHOWN. EMBED THE POSTS WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.
- FOR TYPE B, USE 2/3" INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.
- BACKFILL AROUND THE INLET IN LOOSE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

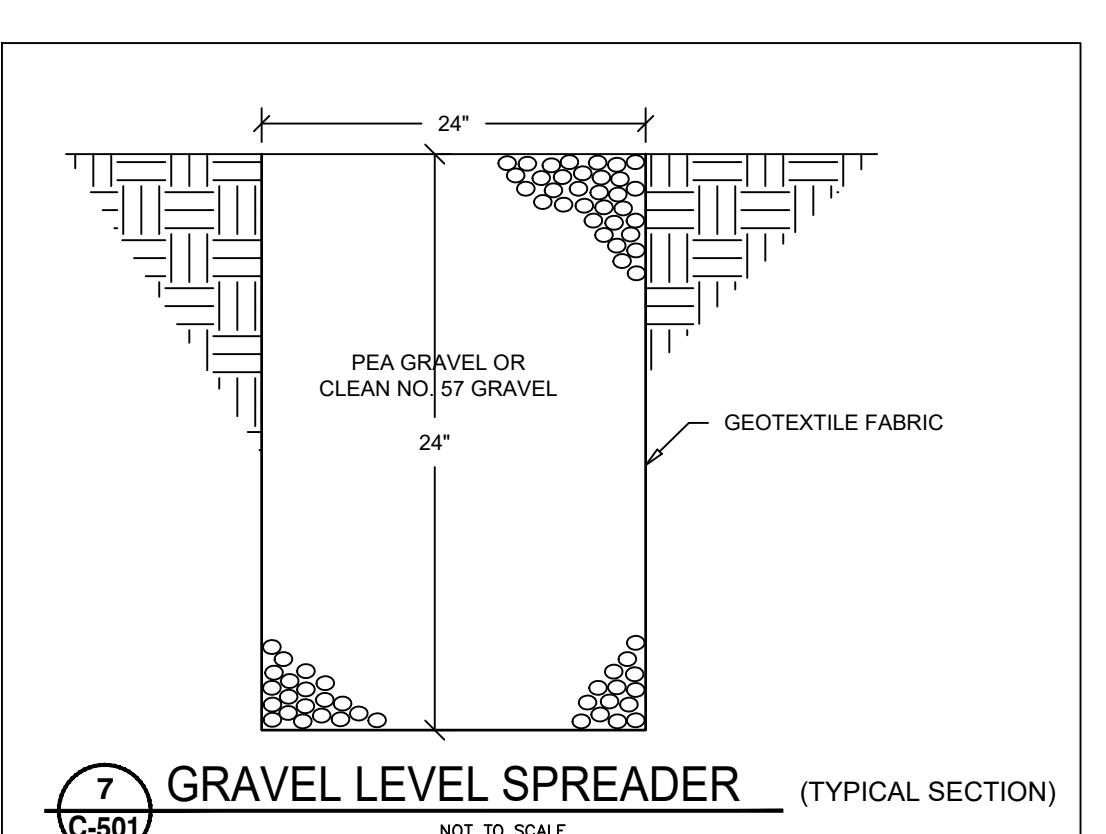


CONSTRUCTION SPECIFICATIONS

- RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER % TO 1/2 INCH MINIMUM STONE FOR THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE Voids BETWEEN THE LARGER STONES.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BELTS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOODS INSPECT FOR SCOUR AND RIPRAP DISLODED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

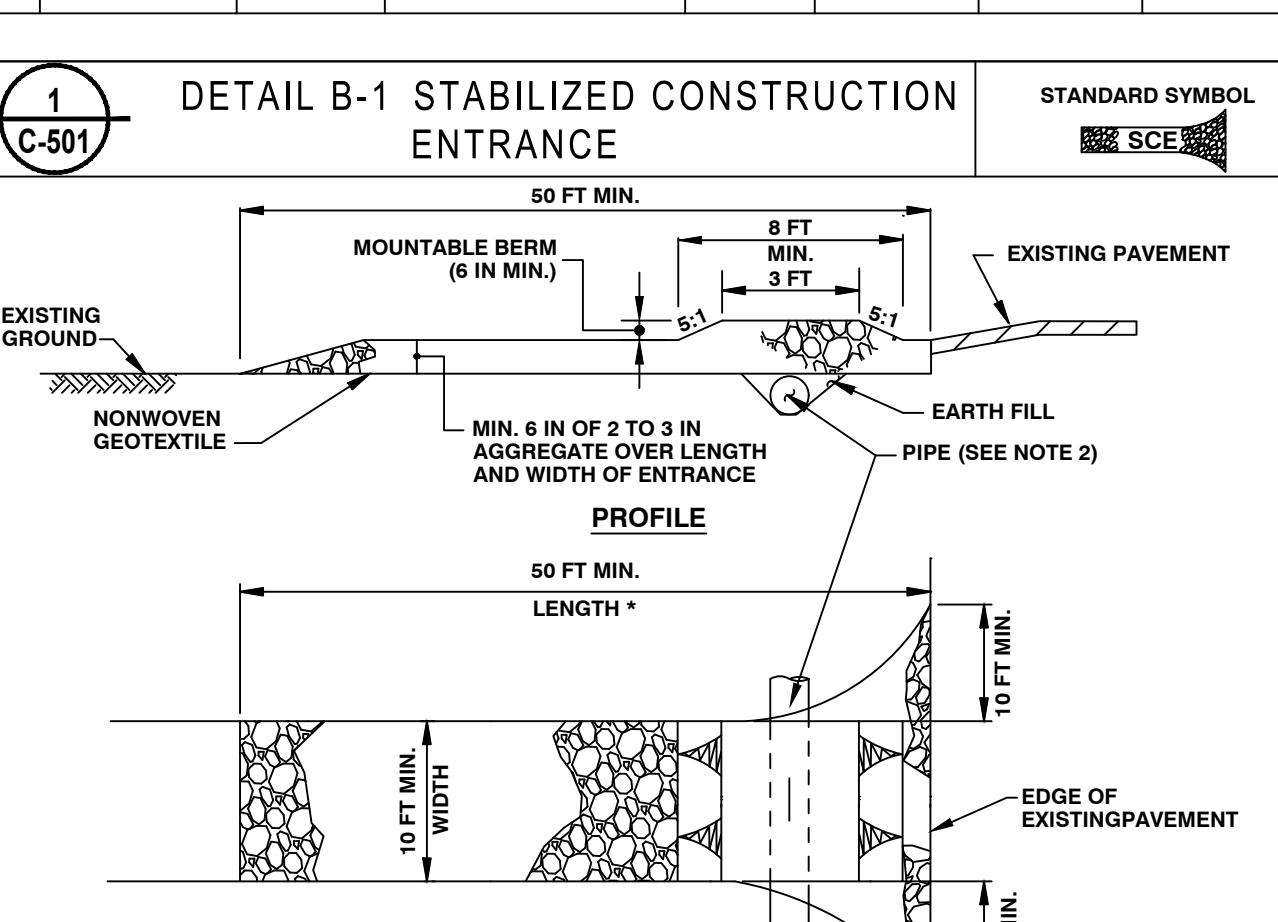


CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MATT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MATT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SOIL. MATT MUST NOT CONTAIN ANY SUBSTANCE THAT IS HARMFUL TO THE ENVIRONMENT. MATT MUST HAVE A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 1 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 4 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1.5 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MALLEABLE LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE HIGH-SAWN HEMLOCK 12 TO 24 INCHES IN LENGTH, 1x3 INCHES IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDABLE PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MATT SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MATT OVERLAPPING ON TOP OF THE DOWNSLOPE MATT.
- KEY IN THE UPSLOPE END OF MATT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MATT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MATT END IN THE KEY.
- STAPLE STAKE MATT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET FOR SINGLE RESIDENCE LOT, USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
- MOUNTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ON PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

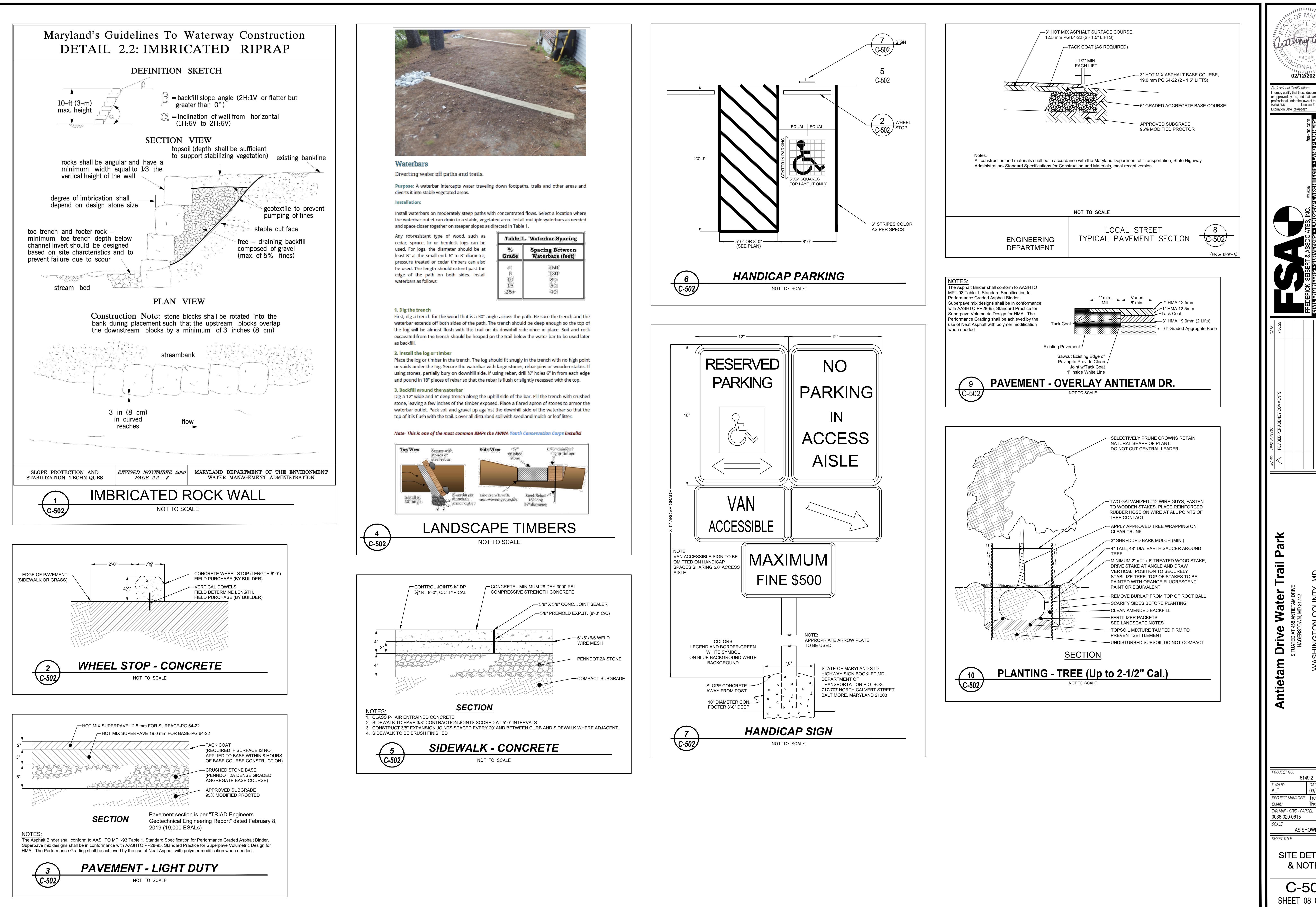
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Antietam Drive Water Trail Park

SITUATED AT 455 ANTETIM DRIVE
HAGERSTOWN, MD 21742
1992 JEFFERSON BOULEVARD HAGERSTOWN, MD 21742
PHONE: 301/791/1702

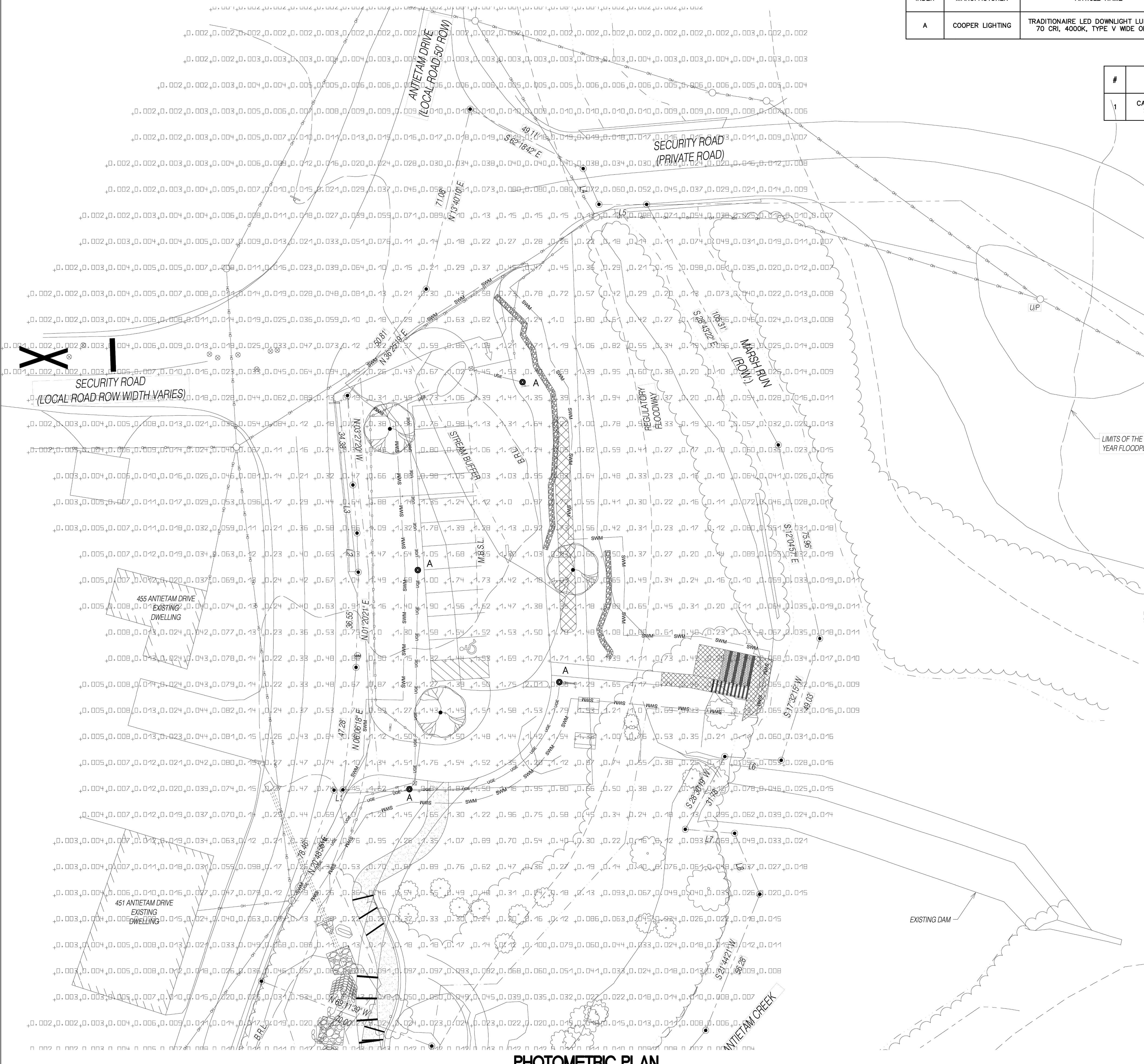
PROJECT NO. 8149.2
DRAWN BY ALT. DATE 03/18/2025
PROJECT MANAGER EMAIL Trevor Frederick
Trevor.Frederick@fscainc.com
TAN MAP: 0300-0400-0402
0038-020-0615
SCALE AS SHOWN
SHEET TITLE
ESC DETAILS & NOTES
C-501
SHEET 07 OF 09



5

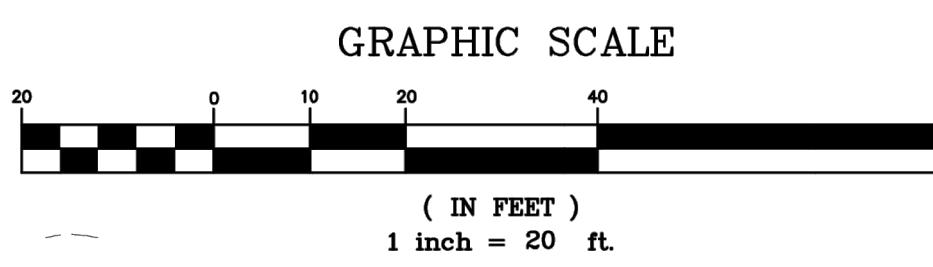
INDEX	MANUFACTURER	ARTICLE NAME	ITEM NUMBER	FITTING	LUMINOUS FLUX	MAINTENANCE FACTOR	CONNECTED LOAD	MOUNTING HEIGHT	QUANTITY
A	COOPER LIGHTING	TRADITIONAIRE LED DOWNLIGHT LUMINAIRE 70 CRI, 4000K, TYPE V WIDE OPTICS	UTLD-PA1-100-740-U-5WQ	24x	10691 lm	0.80	96 W	18'-0"	4

#	NAME	PARAMETER	MIN	MAX	AVERAGE
1	CALCULATION SURFACE	PERPENDICULAR ILLUMINANCE	0.001 fc	2.01 fc	0.26 fc



POLE BASE DETAIL

NOT TO SCALE



PHOTOMETRIC PI AN

ESLIE SCOTT GHIM, P.E.	
Professional Certification	
<p>I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland.</p>	
<p>CO PROF. ENG. NO. PE0050461 DC PROF. ENG. NO. PE901201 DE PROF. ENG. NO. 19513 HI PROF. ENG. NO. PE13943 MD PROF. ENG. NO. 14401 NC PROF. ENG. NO. 033364 NJ PROF. ENG. NO. 39497 NY PROF. ENG. NO. 075414 PA PROF. ENG. NO. PE032636E VA PROF. ENG. NO. 023240 WV PROF. ENG. NO. 10764</p>	
<p>License Number: <u>14401</u> Expiration Date: <u>4/21/2027</u></p>	

ESLIE SCO
CO PROF. ENG.
DC PROF. ENG.
DE PROF. ENG.
H PROF. ENG.
MD PROF. ENG.
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VA PI
WV PI

10 of 10 | Page | [Home](#) | [About](#) | [Contact](#) | [Feedback](#) | [Help](#)

Plan Review Projects Initialized - January 01, 2026 - January 31, 2026

Land Development Reviews								
Record #	Type	Status	Opened Date	Accepted Date	Title	Location	Consultant	Owner
FP-26-002	Forest Conservation Plan	Approved	01/30/2026	2/2/2026	WHISPERING HILLS LOTS 431 & 432		FREDERICK SEIBERT & ASSOCIATES	SMITHSBURG DEVELOPMENT CORP
FS-26-001	Forest Stand Delineation	Revisions Required	01/16/2026	1/21/2026	FOREST STAND DELINEATION FOR JAMISON DOOR		FREDERICK SEIBERT & ASSOCIATES	HAGERSTOWN WASHINGTON CO INDUSTRIA
FS-26-002	Forest Stand Delineation	Approved	01/20/2026	1/26/2026	FSD BROADFORDING CHURCH		TRIAD ENGINEERING	CHURCH BROADFORDING OF BRETHREN
SIM26-003	IMA	Active	01/09/2026		1112 WILLIAM WAY KN	1112 WILLIAM WAY KNOXVILLE, MD 21758	FREDERICK SEIBERT & ASSOCIATES	ROSENCRANTZ INGRID TRAINOR SUSAN
SIM26-002	IMA	Active	01/07/2026		14545 EDGEMONT ROAD SM	14545 EDGEMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	HARRIS WILLIAM KYLE WILLIAMS JESSICA
SIM26-004	IMA	Active	01/09/2026		10822 HERSHEY DRIVE WI	10822 HERSHEY DRIVE WILLIAMSPORT, MD 21795	TRIAD ENGINEERING	DOWNEY RICHMOND LEE
SIM26-001	IMA	Active	01/06/2026		11515 ORANGE BLOSSOM COURT SM	11515 ORANGE BLOSSOM SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	STUPAR STEPHEN RAYMOND STUPAR ALETHEA NICOLE
SIM26-005	IMA	Active	01/09/2026		20406 TROUT DRIVE HN	20406 TROUT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	KELLGARD GENERAL CONTRACTING LLC
SIM26-006	IMA	Requested	01/22/2026		14541 EDGEMONT ROAD SM	14541 EDGEMONT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	MITCHELL NICHOLAS MITCHELL NICOLE
PC-26-001	Preliminary Consultation	In Review	01/29/2026	1/29/2026	SWC E OAK RIDGE DR & S POTOMAC	13 WE OAK RIDGE DRIVE HAGERSTOWN, MD 21740	NO CONSULTANT LLC	NAVARRO JOHN C NAVARRO JULIA C
S-26-004	Preliminary-Final Plat	In Review	01/29/2026	2/3/2026	HAGER MEADOWS SEWER PUMP STATION, LOT 6	17506 BROADFORDING ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOSTETTER GROUP LLC THE
S-26-001	Preliminary-Final Plat	Pending	01/21/2026		PRELIMINARY FINAL SUBDIVISION PLAT BROADFORDING		TRIAD ENGINEERING	CHURCH BROADFORDING OF BRETHREN
PWA2026-001	PWA	Active	01/14/2026		CASCADE TOWN CENTRE LOT #3	14475 MOLLEVILLE AVENUE CASCADE, MD 21719	FOX & ASSOCIATES INC	CASCADE TOWN CENTRE DEVELOPMENT LL
SP-16-014.R04	Redline Revision	Approved	01/23/2026	1/23/2026	REDLINE REVISION EMERALD POINTE PUD COMMERCIAL BLDG B		FOX & ASSOCIATES INC	EMERALD POINTE INC. C/O PAUL CRAMPTON
SP-19-009.R02	Redline Revision	Final Approvals	01/29/2026	1/29/2026	HUB CITY VINEYARD	SOUTHEAST SIDE OF OAK RIDGE DRIVE	FREDERICK SEIBERT & ASSOCIATES	HUB CITY VINEYARD INC
SP-20-019.R01	Redline Revision	Approved	01/29/2026	1/29/2026	ROYAL FARMS STORE #387	EAST SIDE OF GREENCASTLE PIKE ON FRENCH LANE	DEWBERRY ENGINEERS, INC	WILLIAMSPORT REAL ESTATE LLC
SI-26-002	Simplified Plat	In Review	01/29/2026	2/2/2026	BONNIE FORSYTHE	13931 DRY RUN ROAD CLEAR SPRING, MD 21722	FOX & ASSOCIATES INC	BROWN KURTIS A BROWN KIMBERLY S
SI-26-001	Simplified Plat	Revisions Required	01/21/2026	1/26/2026	SIMPLIFIED PLAT PARCEL B MELMARK, INC	13535 BROADFORDING CHURCH ROAD HAGERSTOWN, MD 21740	TRIAD ENGINEERING	STAR COMMUNITY INC
SP-26-001	Site Plan	In Review	01/07/2026	2/3/2026	SITE PLAN FOR AG DRIVELINES, LLC	13705 RAILROAD STREET MAUGANSVILLE, MD 21767	FREDERICK SEIBERT & ASSOCIATES	RAILSIDE PROPERTIES LLC
SP-26-002	Site Plan	In Review	01/27/2026	1/28/2026	RIVER BEND FAMILY MEDICINE	10302 EZRA DRIVE, SUITE# 102 HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	SHARPSBURG PIKE HOLDING LLC

Plan Review Projects Initialized - January 01, 2026 - January 31, 2026

Land Development Reviews								
Record #	Type	Status	Opened Date	Accepted Date	Title	Location	Consultant	Owner
GP-26-001	Site Specific Grading Plan	In Review	01/07/2026	1/12/2026	VOLVO HAGERSTOWN GRADING PLAN	13302 PENNSYLVANIA AVENUE HAGERSTOWN, MD 21742		MACK TRUCKS INC C/O MS ECHENIQUE
SGP-26-002	Standard Grading Plan	Approved	01/07/2026	1/12/2026	MICHAEL ALLEN	14541 EDGEMONT ROAD SMITHSBURG, MD 21783		MICHAEL ALLEN MITCHELL NICOLE
SGP-26-004	Standard Grading Plan	In Review	01/21/2026	1/29/2026	MOHAMMAD YOSUFY			TRUSTECH PRO INC
SGP-26-001	Standard Grading Plan	In Review	01/06/2026	1/6/2026	VOOTLA	9834 PEMBROKE HAGERSTOWN, MD 21740		VOOTLA TEJASWI VOOTLA VAMSHIDHAR
SGP-26-006	Standard Grading Plan	In Review	01/28/2026	1/30/2026	CLIPP, WAYNE & WENDY	12948 PECKTONVILLE ROAD BIG POOL, MD 21711	FREDERICK SEIBERT & ASSOCIATES	CLIPP WAYNE CECIL JR
SGP-26-003	Standard Grading Plan	In Review	01/16/2026	1/27/2026	GENE MULLINS		FREDERICK SEIBERT & ASSOCIATES	MULLINS GENE E JR & MULLINS TINA M
SGP-26-007	Standard Grading Plan	In Review	01/30/2026	2/6/2026	JR AND LINDA BOWMAN - EBERSOLE RESIDENCE	11111 HOPEWELL ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN DONALD M TRUSTEE
SWCP26-002	Stormwater Concept Plan	Approved	01/26/2026	1/27/2026	JAMSION DOOR			HAGERSTOWN WASHINGTON CO INDUSTRIA
SWCP26-001	Stormwater Concept Plan	In Review	01/22/2026	1/23/2026	HUB CITY VINEYARD PARKING LOT			HUB CITY VINEYARD INC
SSWP26-002	Stormwater Standard Plan	Approved	01/07/2026	1/12/2026	MICHAEL ALLEN	14541 EDGEMONT ROAD SMITHSBURG, MD 21783		MICHAEL ALLEN MITCHELL NICOLE
SSWP26-005	Stormwater Standard Plan	In Review	01/28/2026	2/6/2026	JR AND LINDA BOWMAN - EBERSOLE RESIDENCE	11111 HOPEWELL ROAD HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	BOWMAN DONALD M TRUSTEE
SSWP26-001	Stormwater Standard Plan	In Review	01/06/2026	1/6/2026	VOOTLA	9834 PEMBROKE HAGERSTOWN, MD 21740		VOOTLA TEJASWI VOOTLA VAMSHIDHAR
SSWP26-006	Stormwater Standard Plan	In Review	01/28/2026	1/30/2026	CLIPP, WAYNE & WENDY	12948 PECKTONVILLE ROAD BIG POOL, MD 21711	FREDERICK SEIBERT & ASSOCIATES	CLIPP WAYNE CECIL JR
SSWP26-003	Stormwater Standard Plan	Received	01/16/2026	1/27/2026	GENE MULLINS		FREDERICK SEIBERT & ASSOCIATES	MULLINS GENE E JR & MULLINS TINA M
SSWP26-004	Stormwater Standard Plan	In Review	01/20/2026	1/29/2026	MOHAMMAD YOSUFY			TRUSTECH PRO INC
S-26-003	Subdivision Replat	In Review	01/29/2026	2/2/2026	BRAGUNIER FARMS , LOT 1 REPLAT	13814 BARNHART ROAD CLEAR SPRING, MD 21722	FREDERICK SEIBERT & ASSOCIATES	EMBLY ANGELA R
S-26-002	Subdivision Replat	In Review	01/22/2026	2/2/2026	REPLAT LOT 8 SHENANDOAH ESTATES	7605 SHENANDOAH COURT BOONSBORO, MD 21713	TRIAD ENGINEERING	EMSWILER KIMBERLY
GPT-26-003	Type 2 Grading Plan	In Review	01/27/2026	1/29/2026	MARONDA HOMES (REGENT PARK LOT 17)	20102 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
GPT-26-004	Type 2 Grading Plan	In Review	01/28/2026	1/29/2026	REGENT PARK LOT 13	20118 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
GPT-26-002	Type 2 Grading Plan	In Review	01/20/2026	1/27/2026	MARONDA HOMES (REGENT PARK LOT 22)	20133 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
GPT-26-005	Type 2 Grading Plan	In Review	01/30/2026	2/6/2026	MANONDA HOMES (REGENT PARK LOT 4)	20154 REGENT CIRCLE HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	LAH CARRIAGE FORD LLC
GPT-26-001	Type 2 Grading Plan	Approved	01/09/2026	1/20/2026	ROSEHILL MANOR - LOTS 69 & 70	13312 SNAPDRAGON WAY HAGERSTOWN, MD 21742		DAN RYAN BUILDERS MID ATLANTIC INC

Plan Review Projects Initialized - January 01, 2026 - January 31, 2026

Permits Reviews							
Record #	Type	Status	Opened Date	Title	Location	Consultant	Owner
2026-00115	Entrance Permit	In Progress	01/13/2026	COMMERCIAL	SP-25-016 19815 REIDTOWN ROAD		MARTIN RALPH E MARTIN LEAH A
2026-00359	Entrance Permit	In Progress	01/30/2026	STICK BUILT HOME	S-08-022 20154 REGENT CIRCLE. LOT 4		LAH CARRIAGE FORD LLC
2026-00309	Entrance Permit	In Progress	01/27/2026	STICK BUILT HOME	S-08-022 20102 REGENT CIRCLE, LOT 17		LAH CARRIAGE FORD LLC
2026-00329	Entrance Permit	Review	01/28/2026	INDUSTRIAL	33 WEST OAK RIDGE DRIVE		HAGERSTOWN INDUSTRIAL PROPERTIES L
2026-00163	Entrance Permit	Approved	01/15/2026	SEMI-DETACHED HOME	S-24-034 13314 SNAPDRAGON WAY, LOT 70		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00170	Entrance Permit	In Progress	01/15/2026	STICK BUILT HOME	5-08-022 20133 REGENT CIRCLE, LOT 22		LAH CARRIAGE FORD LLC
2026-00015	Entrance Permit	Approved	01/06/2026	FOREST HARVEST	10853 SHANKTOWN ROAD, LOT 2		BEACHLEY GARY L BEACHLEY BRENDA K
2026-00159	Entrance Permit	Approved	01/15/2026	SEMI-DETACHED HOME	S-24-034 13312 SNAPDRAGON WAY, LOT 69		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00282	Entrance Permit	Review	01/26/2026	COMMUNITY	17601 BROADFORDING ROAD		HAGER MEADOWS LLC
2026-00281	Entrance Permit	Review	01/26/2026	COMMUNITY	17601 BROADFORDING ROAD		HAGER MEADOWS LLC
2026-00055	Floodplain Permit	Review	01/07/2026	UTILITY	GP-25-024 10302 GRUMBACKER LANE		BOWMAN 2000 LLC
2026-00221	Grading Permit	In Progress	01/21/2026	COMMERCIAL	LOR 13324 PENNSYLVANIA AVENUE		HAGERSTOWN KITCHEN INC
2026-00116	Grading Permit	In Progress	01/13/2026	COMMERCIAL	SP-25-016 19815 REIDTOWN ROAD		MARTIN RALPH E MARTIN LEAH A
2026-00160	Grading Permit	Approved	01/15/2026	ROSEHILL MANOR LOTS 69 & 70	S-24-034 13312 SNAPDRAGON WAY, LOT 69 & 13314 SNAPDRAGON WAY, LOT 70		DAN RYAN BUILDERS MID ATLANTIC INC
2026-00310	Grading Permit	In Progress	01/27/2026	MARONDA HOMES	S-08-022 20102 REGENT CIRCLE, LOT 17		LAH CARRIAGE FORD LLC
2026-00100	Grading Permit	In Progress	01/12/2026	STICK BUILT HOME	S-05-118 14541 EDGEMONT ROAD, LOT 4		MICHAEL D. ALLEN III CRYSTAL M. ALLEN
2026-00166	Grading Permit	In Progress	01/15/2026	GRADING PERMIT	SP-25-042 18604 LESLIE DRIVE		CONSERVIT INC
2026-00360	Grading Permit	In Progress	01/30/2026	MARONDA HOMES	S-08-022 20154 REGENT CIRCLE. LOT 4		LAH CARRIAGE FORD LLC
2026-00172	Grading Permit	In Progress	01/15/2026	MONONDA HOMES	5-08-022 20133 REGENT CIRCLE, LOT 22		LAH CARRIAGE FORD LLC
2026-00053	Grading Permit	In Progress	01/07/2026	EV CHARGER INSTALLATION DBA7 OFFSITE VAN PARKING	GP-25-024 10302 GRUMBACKER LANE		BOWMAN 2000 LLC
2026-00054	Non-Residential Addition-Alteration Permit	Review	01/07/2026	SOLAR PANELS	SP-16-023 19813 LETIERSBURG PIKE		LEITERSBURG PIKE ONE LLC
2026-00112	Non-Residential New Construction Permit	Revisions Required	01/13/2026	COMMERCIAL	SP-25-016 19815 REIDTOWN ROAD		MARTIN RALPH E MARTIN LEAH A
2026-00052	Non-Residential New Construction Permit	Review	01/07/2026	INDUSTRIAL	GP-25-024 10302 GRUMBACKER LANE		BOWMAN 2000 LLC
2026-00141	Utility Permit	Approved	01/14/2026	COLUMBIA GAS	10923 ROESSNER AVENUE		MULLER DANIEL
2026-00125	Utility Permit	Approved	01/13/2026	COMCAST	17006 BENTWOOD DRIVE		DORAN DAVID H DORAN MARY E
2026-00157	Utility Permit	Approved	01/15/2026	COLUMBIA GAS	308 EAST MAGNOLIA AVENUE		BAKER ROBERT K BAKER BRENDA K
2026-00033	Utility Permit	Approved	01/06/2026	CITY OF HAGERSTOWN UTILITIES	18625 ORCHARD HILLS		KENT MEGAN ELIZABETH
2026-00202	Utility Permit	Review	01/20/2026	10829 LINCOLN AV	10829 LINCOLN AVENUE		DAVY DAMIAN A
2026-00305	Utility Permit	Review	01/27/2026	COMCAST	11115 KEMPS MILL ROAD		HAYS RONALD LEON HAYS JOSEPHINE
2026-00028	Utility Permit	Approved	01/06/2026	CITY OF HAGERSTOWN UTILITIES	19224 WOODHAVEN DRIVE		DILLER ROSALIE

Plan Review Projects Initialized - January 01, 2026 - January 31, 2026

Permits Reviews								
Record #	Type	Status	Opened Date	Title	Location	Consultant	Owner	
2026-00032	Utility Permit	Approved	01/06/2026	CITY OF HAGERSTOWN UTILITIES	18419 ROXBURY		MD STATE OF C/O CORRECTIONAL INSTITUTION	
2026-00257	Utility Permit	Review	01/22/2026	BUCKY AVE	12213 BUCKY LANE		SCHROCK ROBERT N SCHROCK SHARON E	
2026-00279	Utility Permit	Review	01/26/2026	HAGER MEADOWS	17601 BROADFORDING ROAD		HAGER MEADOWS LLC	

Plan Review Projects Initialized - January 01, 2026 - January 31, 2026

	Type	Total
LandDev	Forest Conservation Plan	1
Total by Group:	Forest Stand Delineation	2
42	IMA	6
	Preliminary Consultation	1
	Preliminary-Final Plat	2
	PWA	1
	Redline Revision	3
	Simplified Plat	2
	Site Plan	2
	Site Specific Grading Plan	1
	Standard Grading Plan	6
	Stormwater Concept Plan	2
	Stormwater Standard Plan	6
	Subdivision Replat	2
	Type 2 Grading Plan	5
Permits	Entrance Permit	10
Total by Group:	Floodplain Permit	1
33	Grading Permit	9
	Non-Residential Addition-Alteration Permit	1
	Non-Residential New Construction Permit	2
	Utility Permit	10
Total		75